

LAND USE FULL C MF \$0 4229 7TH AVE NE
Appl: Prty: Filed at: 4229 7TH AVE NE Use:
Land Use application for Streamline Design Review to allow a 23-unit residential building. ZONING PAID
COACHING 12/9/14) - The proposal for this site (approx. 37 x 100) is to demolish a two-story boarding hou
Parent: Related AP: 6437153 Build ID: 3018965

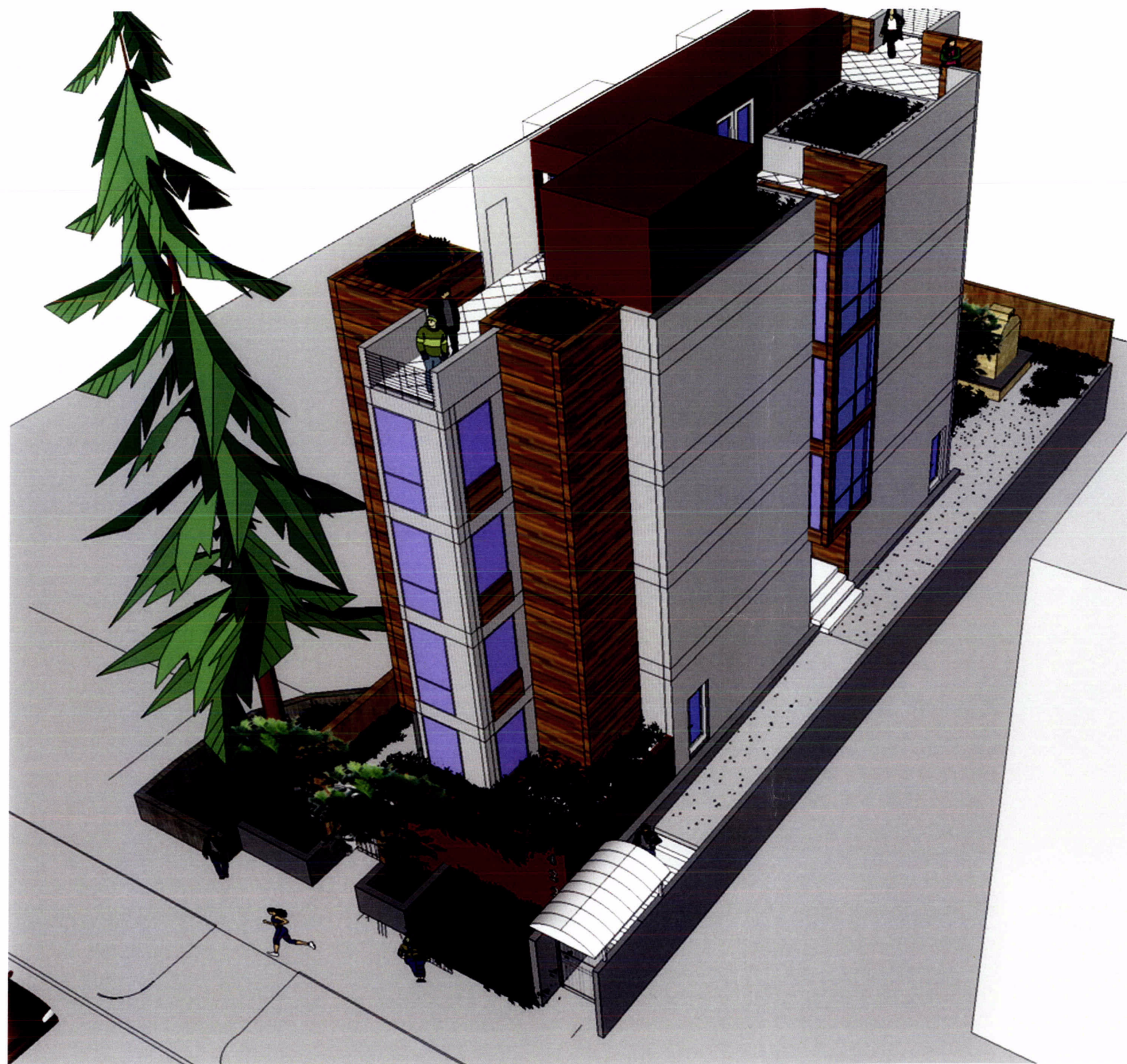
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Dept. of Planning and Development

Streamlined Design Review Packet
4229 - 7th Avenue NE
New Multifamily Project
Draft: February 9, 2015
Project Number 3018965/643753

4229 - 7th Avenue NE



Project View from the Northeast



4229 - 7th Avenue NE

PROJECT SITE and DEVELOPMENT GOALS

The proposed project for the 3700 square foot LR3 zoned site located at 4229 - 7th Avenue NE in Seattle is for a four story multifamily building with a full basement designed primarily to meet the needs of students looking to live off campus but attend the University of Washington. The site is within 9 blocks of the west entry to the UW campus and embedded in a neighborhood predominantly housing University students. The site is located within the boundaries of the University Urban Center and is well served by public transportation. The units will be built to fulfill the needs of individuals with lifestyles that focus on student life, academic activities and simple domestic needs.

Primary project elements include:

- 23 autonomous, independent dwelling units satisfying the City of Seattle Small Efficiency Dwelling Unit development guidelines
- shared amenity spaces including a private ground level patio and a roof top gathering space
- private and gate secured entries
- ground floor design that accommodate potential tenants with accessibility challenges
- secured and covered bicycle storage
- shared access laundry facilities
- green building design features



Key factors driving the design include:

- design style is informed by recently developed student related housing
- create a project that is consistent with neighborhood massing
- develop dwelling spaces that are varied and customized to student life
- design units to maximize daylighting and privacy
- provide a well landscaped street edge and protect an exceptional tree
- proactively incorporate green design principles
- design style consistent with new housing developments on the west campus
- provide varied and unique shared amenity/gathering spaces
- incorporate elements of personal scale to articulate building massing

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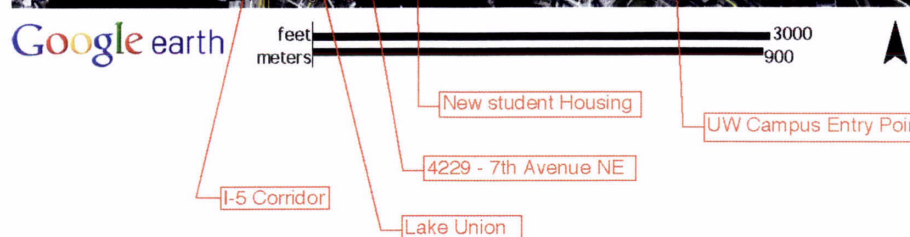
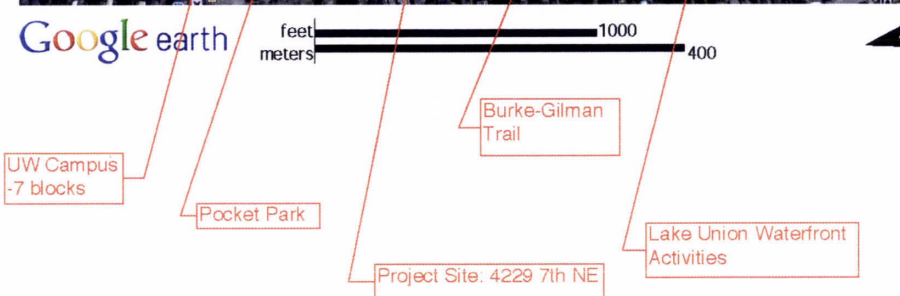
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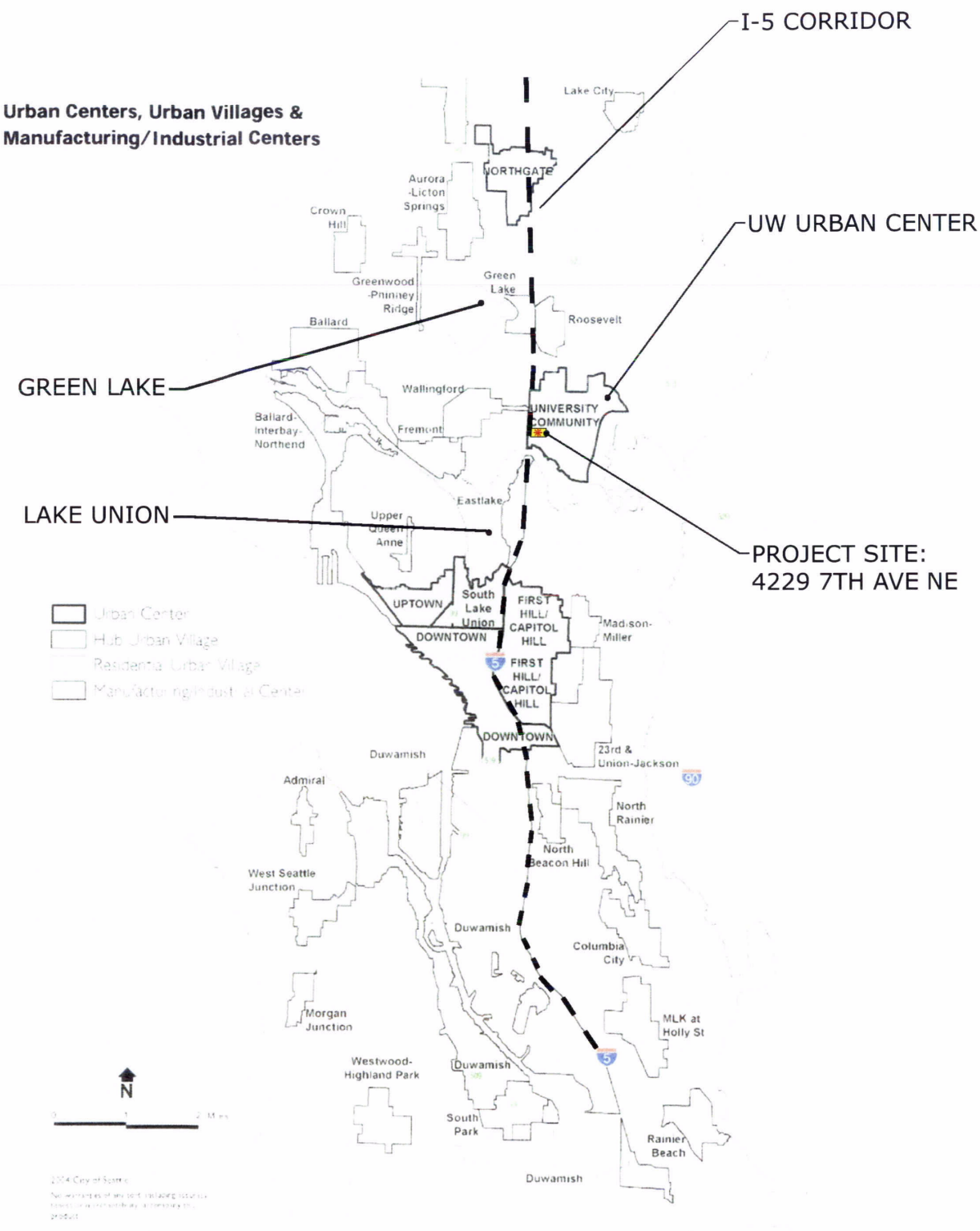
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4229 - 7th Avenue NE



Urban Centers, Urban Villages & Manufacturing/Industrial Centers



CONTEXT ANALYSIS

URBAN FRAMEWORK

CITYWIDE SCALE

- Project site lies within the UW Urban Center
- University Neighborhood Design Guidelines apply in addition to Citywide Design Guidelines
- Project site is embedded in the west campus community, specifically the residential zone

Site influences include:

- Walkable UW distances,
- Interstate Highway 5
- Frequent public transit service
- New mass transit Brooklyn Station

NEIGHBORHOOD SCALE

- Access to commercial district
- Access to Burke-Gilman Trail
- Predominantly student housing
- Near Lake Union

4229 - 7th Avenue NE

CONTEXT ANALYSIS

LOCAL NEIGHBORHOOD

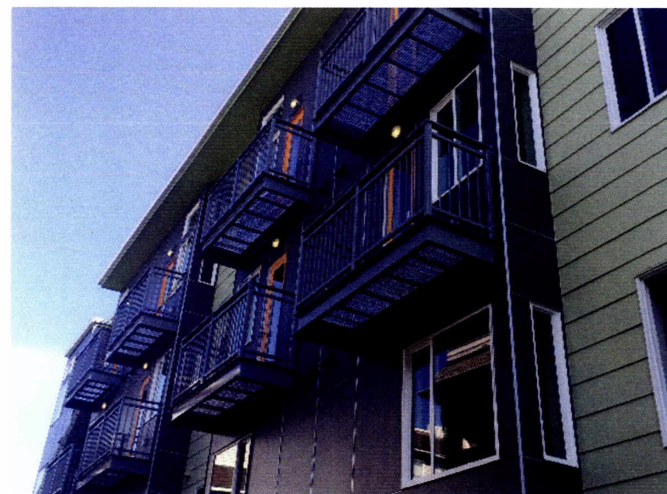
VIEWS OF COMPARABLE
DEVELOPMENTS IN THE WEST
CAMPUS NEIGHBORHOOD



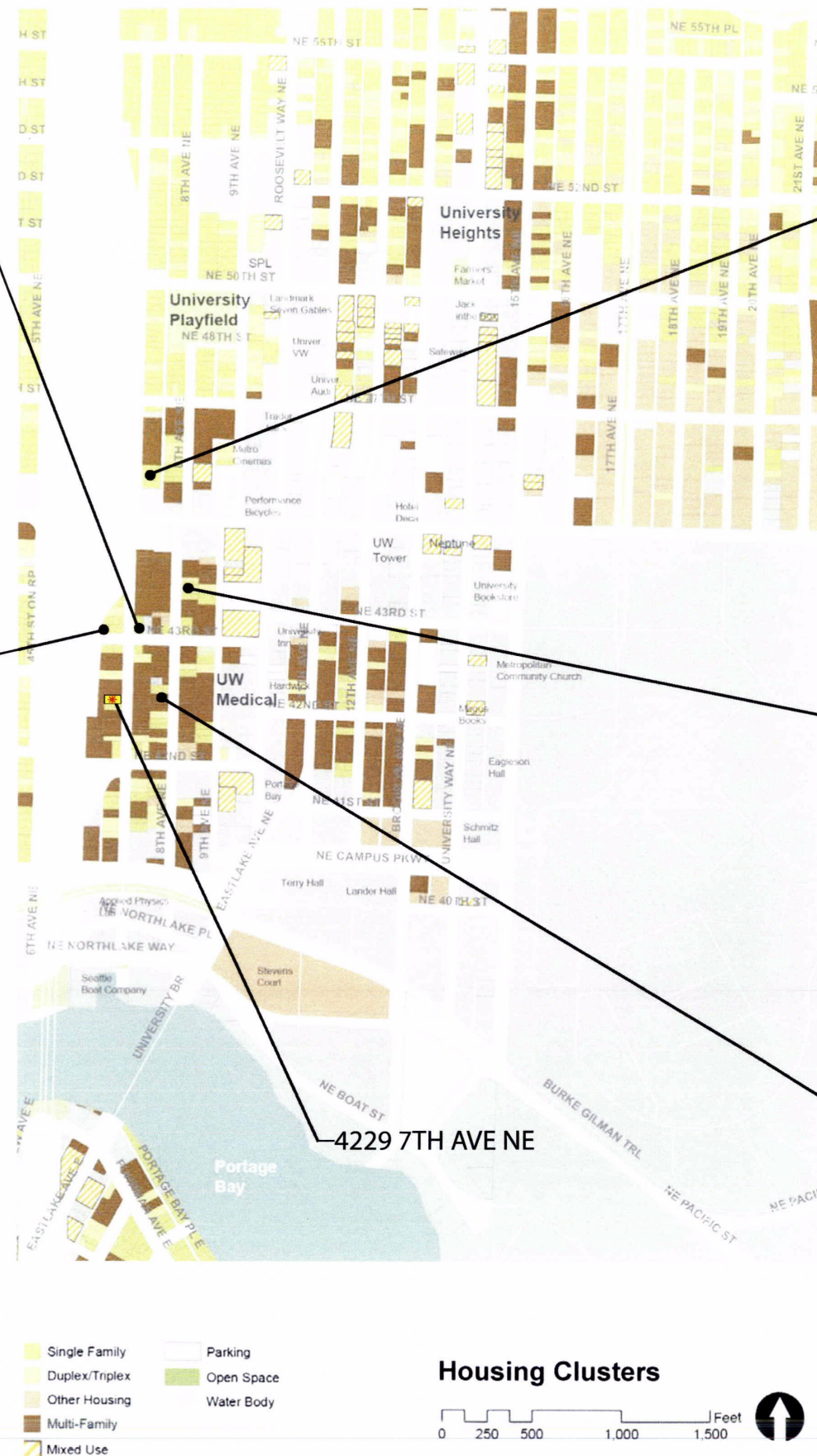
4309 7th Ave NE - Building I



4309 7th Ave NE - Building II



3642 Woodland Park Ave.



4516 7th Ave NE



4324 8th Ave NE



4047 8th Ave NE

4229 - 7th Avenue NE

PROJECT SITE



662 NE 42nd St.



4211 7th Ave NE



4219 7th Ave NE



4225 7th Ave NE



SITE: 4229 7th Ave

7 t h A v e . N E



703 NE 43rd St.



4258 7th Ave NE



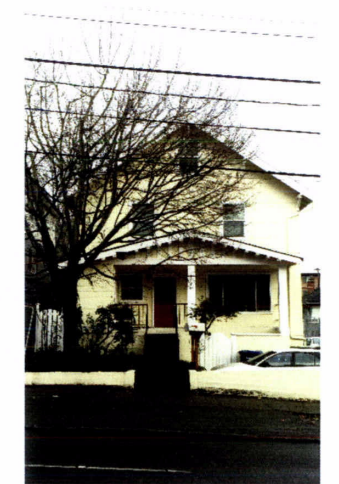
4254 7th Ave NE



4244 7th Ave NE



4236 7th Ave NE



4226 7th Ave NE

7 t h A v e . N E

EXISTING CONTEXT BETWEEN NE 42ND ST AND NE 43RD ST - ALONG 7TH AVE NE

4229 - 7th Avenue NE

CONTEXT ANALYSIS

7th Ave NE STREET CHARACTER



4233 7th Ave NE



4247 7th Ave NE



4253 7th Ave NE



4263 7th Ave NE

LOOKING WEST



4222 7th Ave NE



4218 7th Ave NE



4210 7th Ave NE



4206 7th Ave NE



702 NE 42nd St.

LOOKING EAST

EXISTING CONTEXT BETWEEN NE 42ND ST AND NE 43RD ST - ALONG 7TH AVE NE

4229 - 7th Avenue NE



LANDER HALL



4029 7TH AVE. NE



ELM HALL



ELM DETAIL



ALDER HALL



ALDER COURTYARD



MERCER COURT



MERCER COURT FARM



STEVENS COURT



STEVENS COURT



CEDAR WEST



LANDER DETAIL

CONTEXT ANALYSIS

NEW STUDENT RELATED HOUSING

The current surge in construction of new student related housing is evident in this immediate neighborhood.

New student housing is both University sponsored and led by private developers. University housing is typically congregate housing.

The larger new projects are 4 to 5 stories of wood frame construction over ground related community spaces. Some recent building are up to 7 stories and are of non combustible construction.

Smaller projects ranging from 4 to 45 dwelling units are typically 4 stories over a basement and of wood frame construction. They are a combination of SEDU style autonomous units and some as congregate housing.

4229 - 7th Avenue NE

CONTEXT ANALYSIS

SITE INFLUENCES

TOPOGRAPHY

The site is located within a zone that generally slopes down evenly and gently Portage Bay.

SOLAR

The long side of the site rectangle is exposed to the solar path, this is well suited for solar collection, heat gain and direct sun.

NOISE

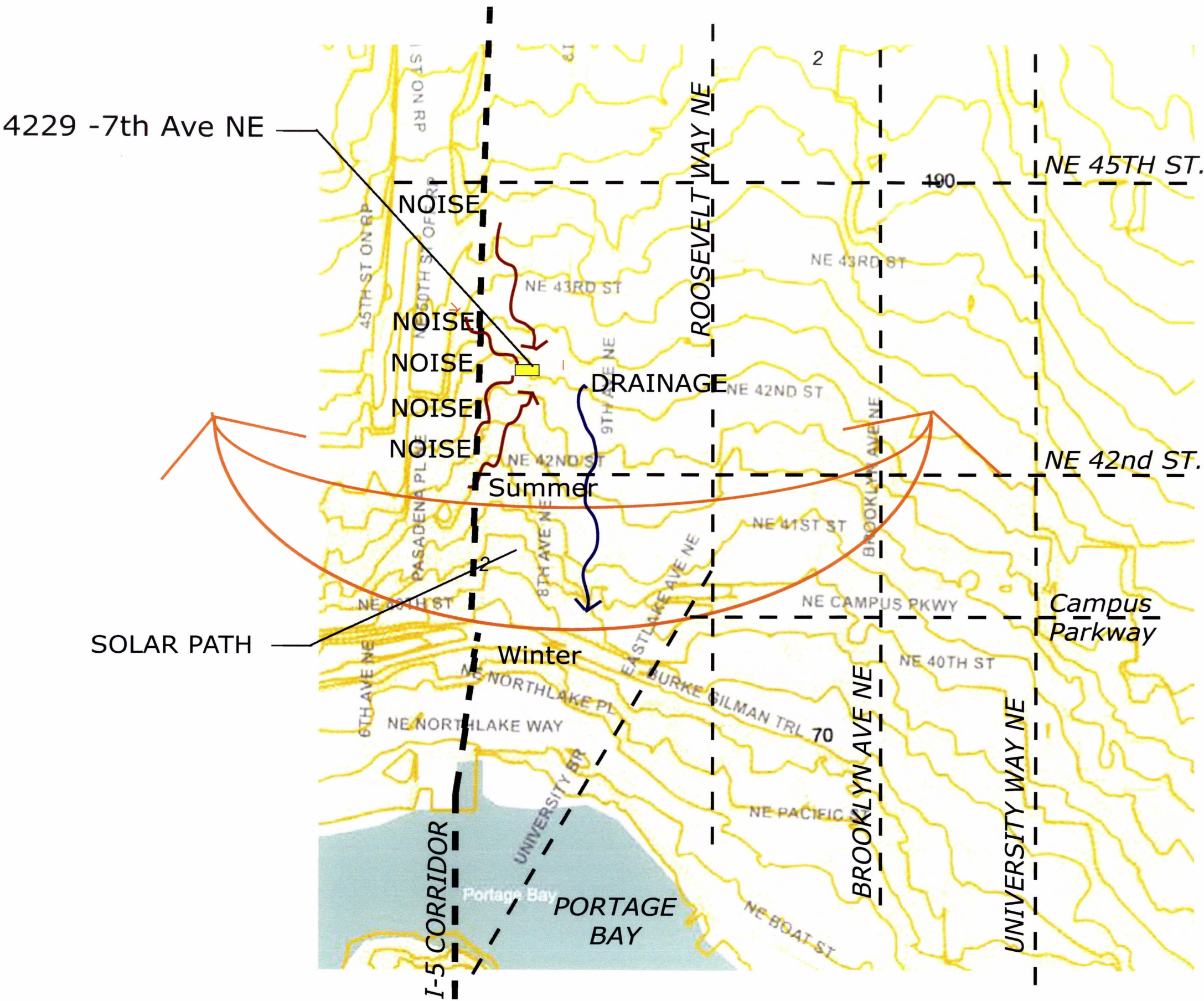
Close proximity to the I-5 corridor exposes the site to high levels of sound pollution, day and night.

PREVAILING WINDS

The site, exposed to the prevailing southwesterly breezes means that South facing operable windows can be maximized for ventilation. Inclement winds from the west and north suggest minimizing that exposure to protect the building envelope.

NATURAL VEGETATION

Vegetation on the site is urban and non-native. The nearby exceptional Redwood is constrained in an urban setting but provides shade and privacy.



4229 - 7th Avenue NE

CONTEXT ANALYSIS

AREA ZONING

The project site is zoned LR3 without any designated overlays but falls within the University Urban Center boundaries.

The site is outside of the University District Parking Impact Area.

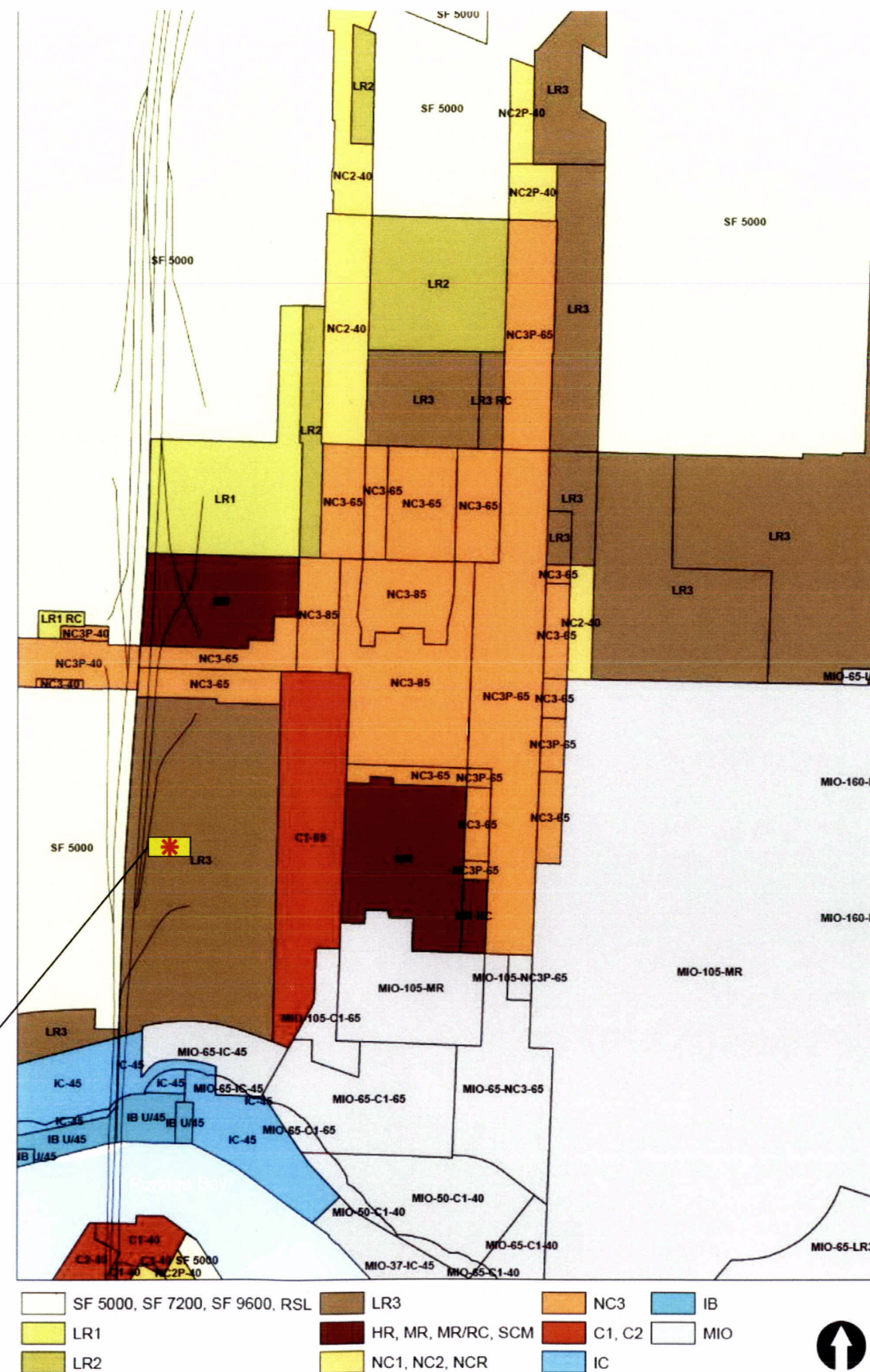
All immediate neighbors to the site are zoned LR3. Zoning becomes Commercial four blocks to the east. To the north and south L-3 zoning remains for a minimum of four blocks. To the east, zoning changes to single family residential within two blocks, however it is separated by the I-5 Highway corridor.

Student housing on properties located five blocks east are zoned MR. The University District commercial area is within seven blocks and is zoned NC3.

The predominant land use near this site is the University of Washington campus whose east entry is within nine blocks east of the project site.

Waterfront zoning and water related uses/activities are located within nine blocks due south of the site.

4229 7TH AVE NE



4229 - 7th Avenue NE

CONTEXT ANALYSIS

CIRCULATION NETWORKS

MASS TRANSIT/ LIGHT RAIL:
Future service anticipated by 2018 at the Brooklyn Station less than 1/2 mile from the project site

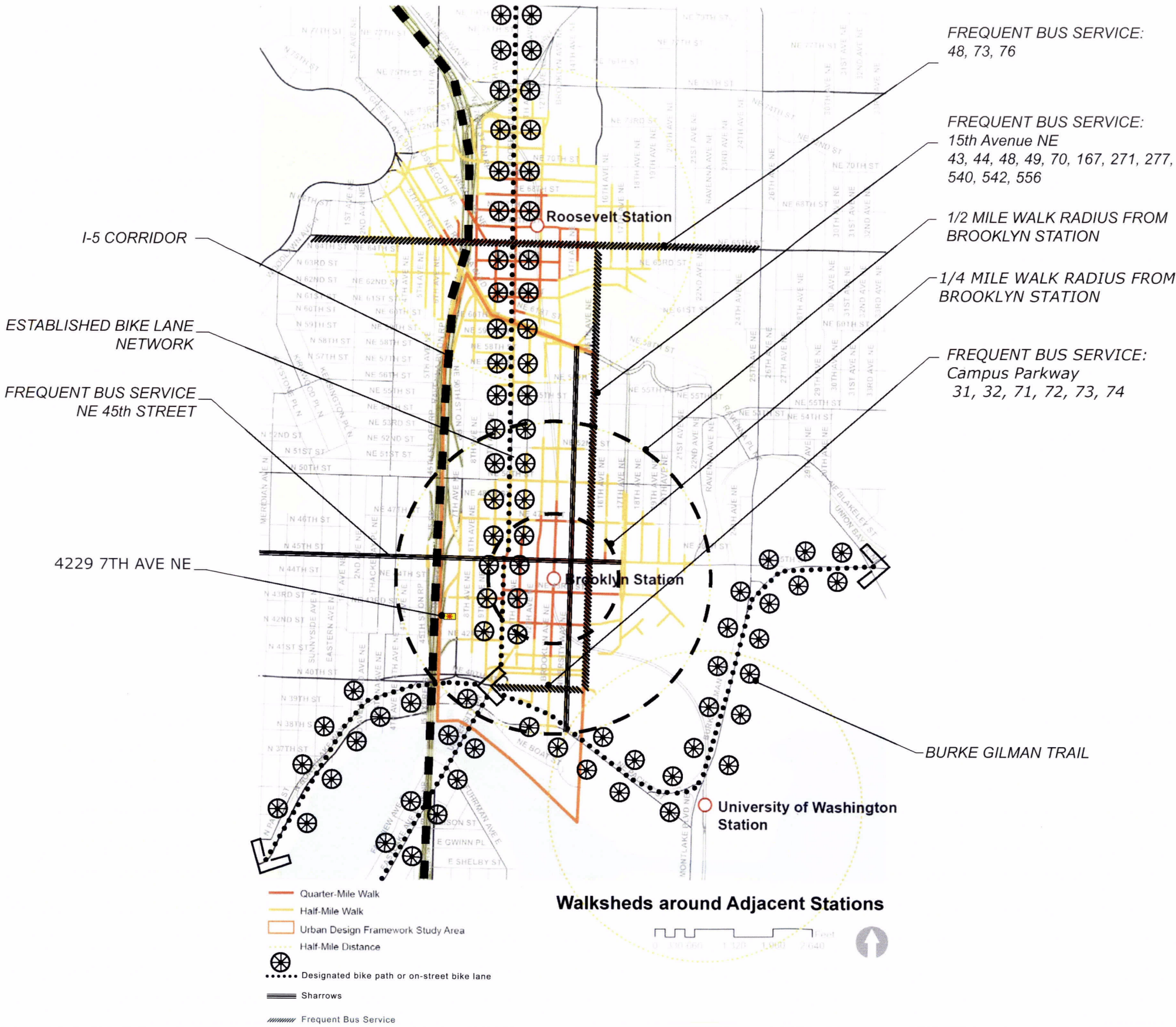
METRO TRANSIT SERVICE
Frequent service, 15 min each way during peak hours with bus lines:
#16, #26, #31, #32, #43, #44, #46, #48, #70, #71, #72, #73, #74, #76, #167, #271, #277, #540, #542, #556

COMMUNITY TRANSIT SERVICE
North King County and Snohomish County service with bus lines:
#810, #821, #855, #860, #871, #880

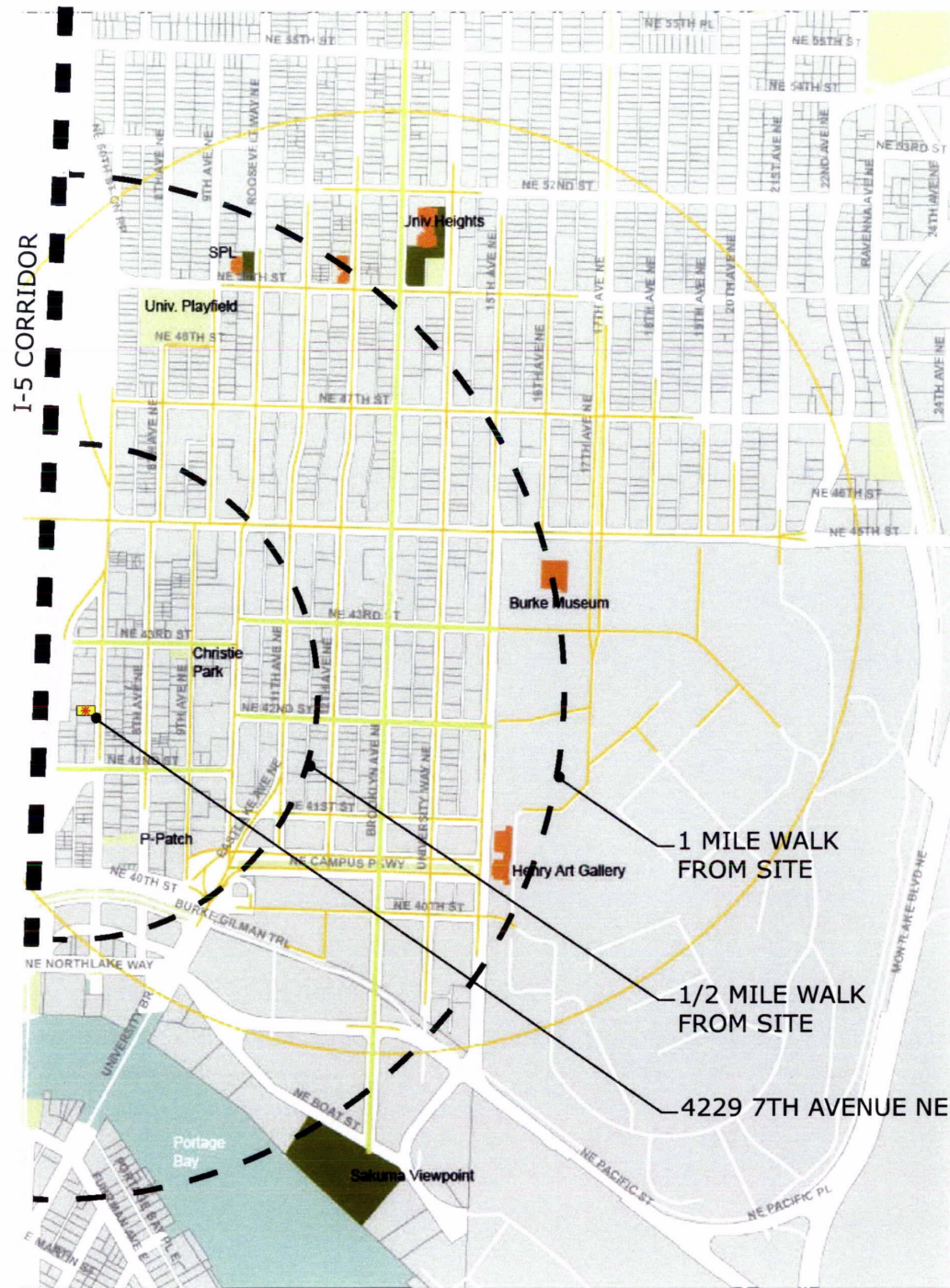
RECREATIONAL BIKE TRAIL
Links from Ballard to the east side of Lake Washington passing through Lake Forest Park Bothell and Woodinville via the Burke Gilman Trail

URBAN NETWORKS
On-street bicycle lanes

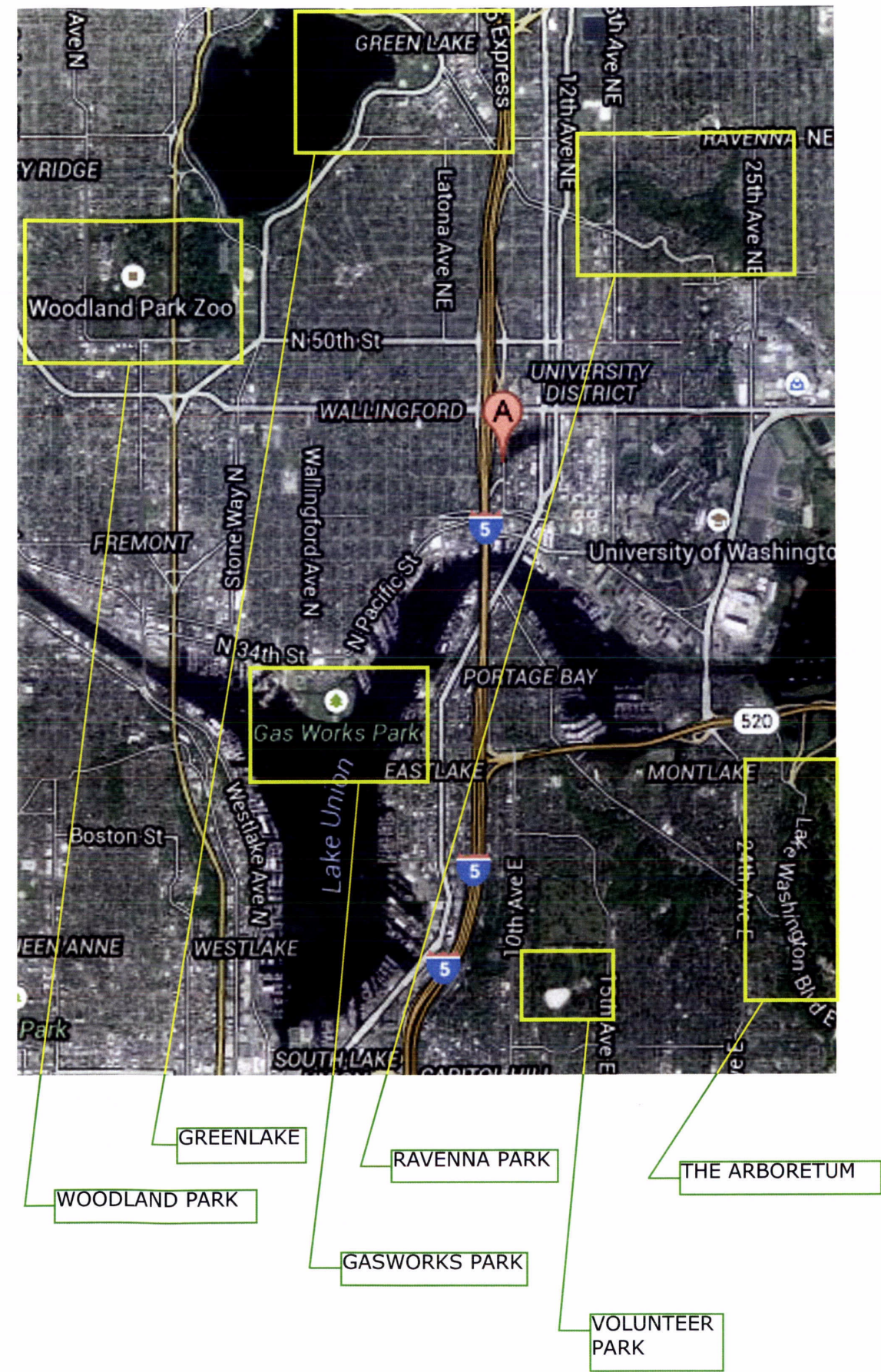
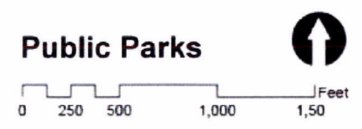
SHARROWS
Shared motorist and bicycle lanes



4229 - 7th Avenue NE



- existing public parks
- proposed parks
- green streets
- public buildings



CONTEXT ANALYSIS

RECREATION AND OPEN SPACE

REGIONAL PARKS

Major destinations within easy access via auto, foot or bicycle include Greelake Park, Gasworks Park, Ravenna Park, the University of Washington Arboretum and Volunteer Park.

The University campus also offers extensive recreation, activity zones and facilities as well sports facilities.

LOCAL OPEN SPACE

In addition to open space on the UW campus, several readily accessible pocket park open spaces near the project site offer pet walking and recreational opportunities.

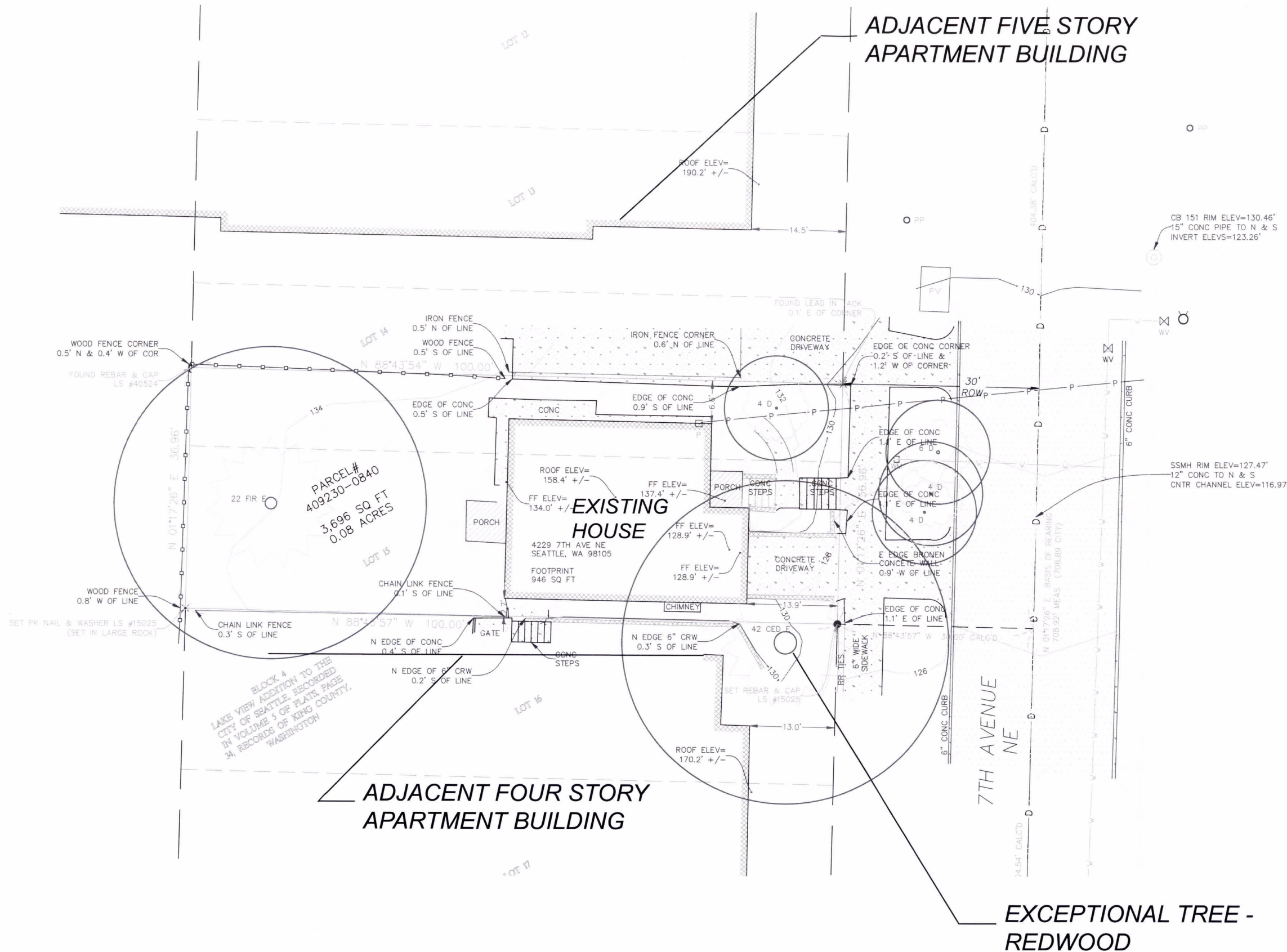
Burke-Gilman Trail is within four block of the site and links users to a diverse range of open space and recreational opportunities.

4229 - 7th Avenue NE

EXISTING CONDITIONS

SITE SURVEY FEATURES

- Vegetation
 - Existing 22" Douglas Fir
 - Multiple small size trees
 - Three unintentional street trees
 - Adjacent "exceptional" tree
- Gentle topography
 - Slopes down from NW to SE
 - Total grade approx. 7 feet
 - 7th NE ROW slopes @ 5%
- 7th Ave NE
 - North bound one way street
 - Developed with curbs and sidewalks
 - Parking lane on east and west sides
 - Existing curb cut to site
- Existing structure
 - Two story building with basement
 - Brick veneer with wood trim
 - Original structure is 60+ years old
 - Currently occupied as rental
- Orientation
 - Mid block without alley
 - Adjacent buildings are apartments
 - Adjacent structure are 5 story



SITE SURVEY

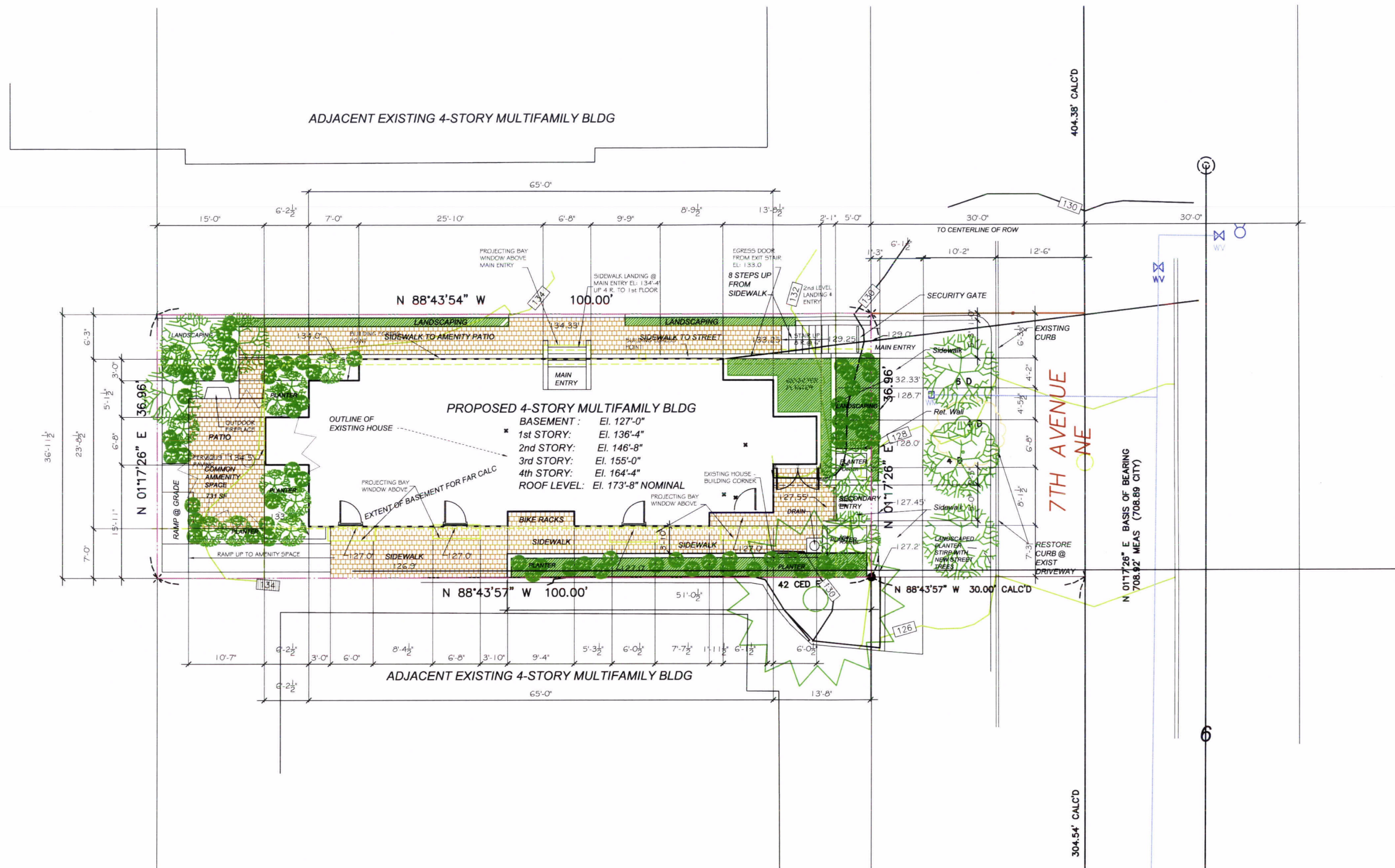
4229 - 7th Avenue NE

SITE PLAN

General Description

The compact building envelope responds to both the gentle slope of the site and excellent solar orientation creating orientations that take advantage of the following opportunities:

- it allows for placement of the primary entrance at the northeast corner of the site so that residents may easily enter the building at one level above the lowest floor and therefore reduce vertical stair travel
- by placing the primary entrance at the north, there is an opportunity to design a lower level access that promotes separation of the service and bike storage area as well as creating potential for apartments on the lowest floor to have ADA accessible features
- with the long side of the site roughly parallel to the solar path the site is ideal for solar collection opportunities, building daylighting and view potential
- well developed landscaped areas define areas of privacy as well as a soft edge interaction with the public Right of Way. Walking surfaces will have a pervious paver system to maximize rain water infiltration on site.



ARCHITECTURAL SITE PLAN

4229 - 7th Avenue NE

ZONING DATA

SMC 23.45.510 Floor Area Ratio

For this project, with LR3 zoning and located within the boundaries of the University Village/Urban Center, the applicable base floor area ratio is 1.5.

The proposed design will incorporate sustainable design features that will qualify it for LEED Silver Certification or Built Green 4 Star rating.

The table provided summarizes this FAR calculation and includes that portion of the basement that does not extend more than 4 feet above existing or finished grade. See diagonal line on Site Plan.

SMC 23.45.512 Density Limits

Per section A, footnote (3), 23.45.510. There is no density limit for this project meeting green building performance standards.

SMC 23.45.522 Amenity Area

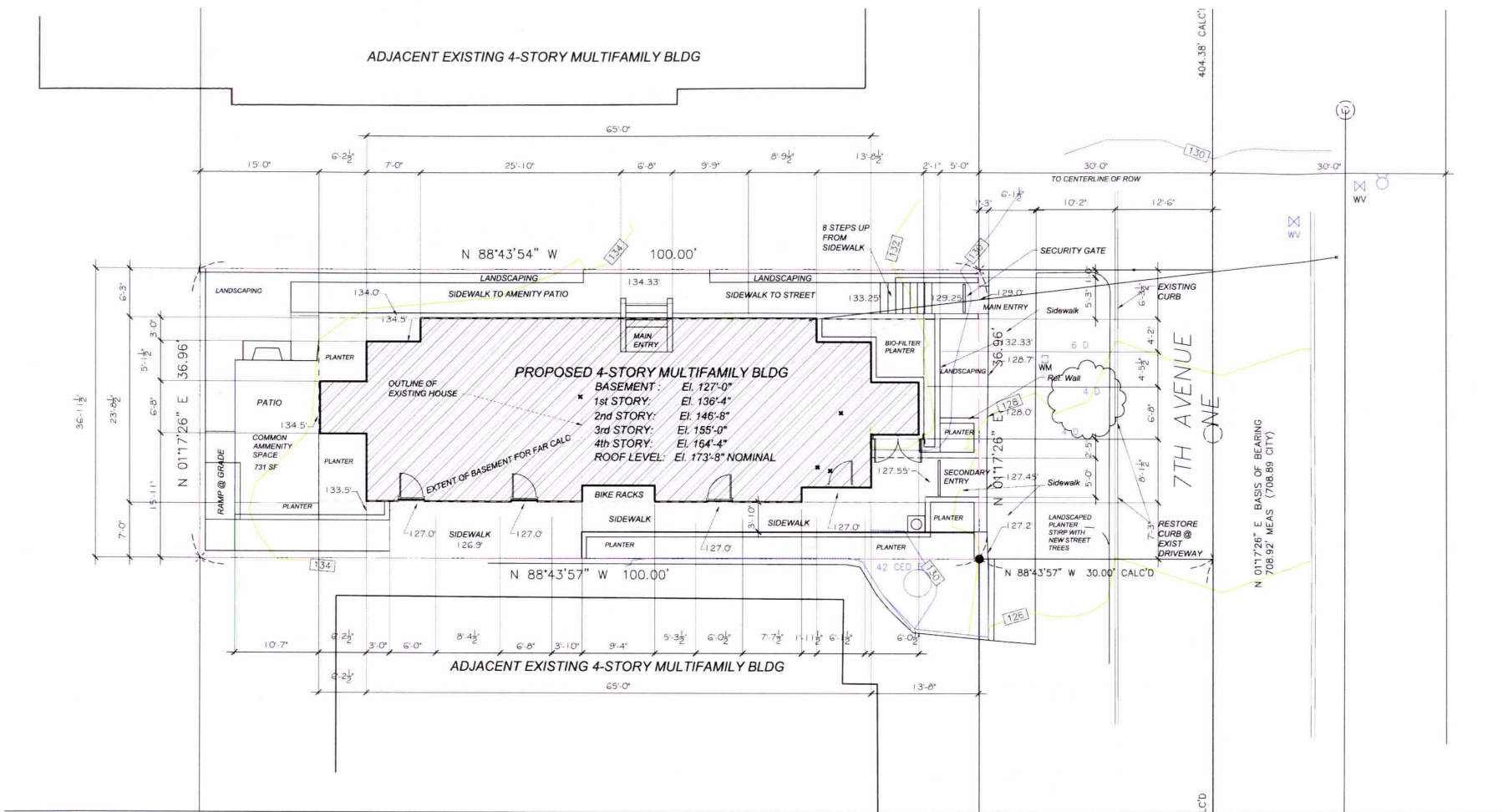
The project site area is 3700 square feet. Accordingly, the required amenity area is 25% of the lot area. Amenity space is provided at grade on the west side of the building and on the roof deck. See table on this page for calculation.



AMENITY SPACE AT GRADE



AMENITY SPACES



ARCHITECTURAL SITE PLAN

LEGAL DESCRIPTION: RECORDING NO. 20000202000025

THE SOUTH 12 FEET OF LOT 14 AND ALL OF LOT 15, BLOCK 4, LAY VIEW ADDITION TO THE CITY OF SEATTLE, ACCORDING TO THE PLAT THEREOF, RECORDED IN VOLUME 5 OF PLATS, PAGE 34, RECORDS OF KING COUNTY, WASHINGTON.

AMMENITY SPACE CALCULATION

AMENITY SPACE REQUIRED	100x37x.25 = 925 SF
AMENITY PATIO AT GRADE	665 SF
ROOF DECK AREAS	466 SF
TOTAL:	1,131 SF

PROPOSED 4-STORY MULTIFAMILY BUILDING W/BASMENT DEVELOPMENT SUMMARY:

BASMENT:	EI. 128'-0"	3 SEDU UNITS PLUS ONE TYPE A ACCESSIBLE UNIT	1748 GSF
1st STORY:	EI. 137'-4"	4 SEDU UNITS AND MAIN ENTRY	1609 GSF
2nd STORY:	EI. 146'-8"	5 SEDU UNITS	1609 GSF
3rd STORY:	EI. 156'-0"	5 SEDU UNITS	1609 GSF
4th STORY:	EI. 165'-4"	5 SEDU UNITS	1609 GSF
ROOF LEVEL:	EI. 174'-8"	ROOF PAVILION, DECK AND GREENROOF	300 GSF

TOTAL FLOOR AREA:	8484 GSF
FLOOR AREA BELOW GRADE NOT IN FAR:	967 GSF
MINUS BIKE STORAGE AREA:	125 GSF

GROSS FLOOR AREA:	7392 GSF
--------------------------	-----------------

SITE ZONING:	L3
LOCATION:	U of W Urban Village (outside parking overlay) 850 Feet to frequent transit service (45th, University Ave, 40th)
SITE AREA:	3696 SF
MAXIMUM FAR:	2.0 (URBAN CENTER + LEED SILVER) = 3696 x 2 = 7392 gsf

ZONING DATA

SMC 23.45.514 Structure Height

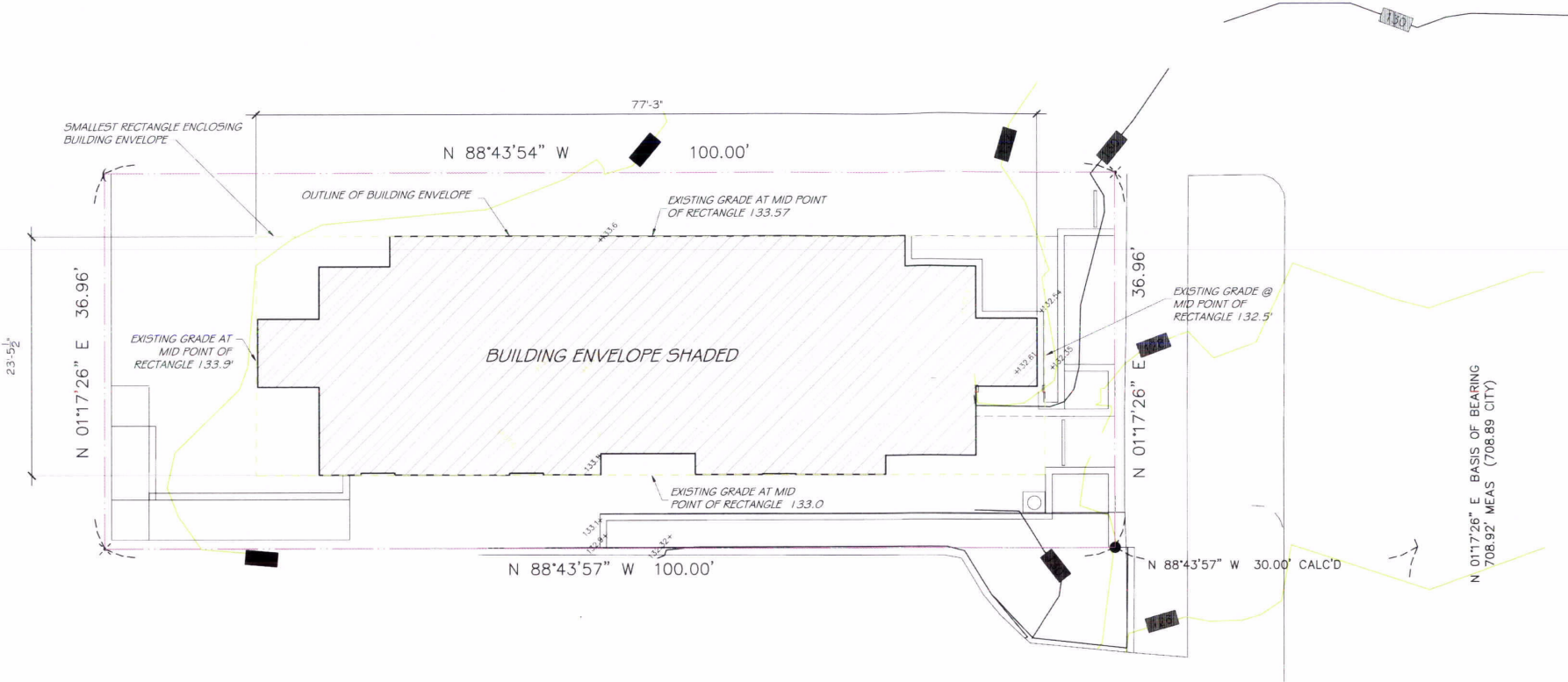
Per Section A, for sites with LR3 zoning within Urban Centers, the base height limit is 40 feet above average grade.

The height calculation method used is per DR4-2012 and 23.86.006.A.2 employing the smallest enclosing rectangle method.

Per Section F, the applicable height may be increased 4 feet since the design meets the four stipulated criteria; 1) proximity to a single family zoned property, 2) the number of stories above the partially below grade, 3) for the street facing facade, the story above the partially below grade story exceeds 18" above the elevation of the street, 4) the average height of the exterior facade of the portion of the story that is partially below grade does not exceed 4 feet.

See the Roof Plan drawing for a calculation of roof top features that exceed allowed height limit as excepted in sections H, I, J.4, and 8.h.

Adjustment Request
We would like the roof access stair to be located within the 10 foot setback limit per section J.8 See shadow studies provided



AVERAGE GRADE and BUILDING HEIGHT CALCULATION
SCALE: 1/8" = 1'-0"

AVERAGE GRADE CALCULATION

EXISTING GRADE AT MID-POINT OF WALL	LENGTH OF WALL	
NORTH WALL : 133.5'	x 77.1'	= 10,292.85
WEST WALL I: 133.9'	x 23.5'	= 3,146.65
SOUTH WALL : 133.0'	x 77.1'	= 10,254.30
EAST WALL : 132.5'	x 23.5'	= 3,113.75
SUM :		26,807.55
TOTAL RECTANGLE LENGTH:		77.1+23.5+77.1+23.5 = 201.2
AVERAGE GRADE ELEVATION =		133.24'

PROPOSED BUILDING HEIGHT:

BASEMENT :	127'-0"
FIRST FLOOR :	136'-4"
SECOND FLOOR :	146'-8"
THIRD FLOOR :	155'-0"
FOURTH FLOOR :	164'-4"
ROOF :	173'-3.5"
TOP OF PARAPET :	177'-3"

PROPOSED BUILDING HEIGHT ABOVE AVERAGE GRADE : 177'-3" - 133'-3" = 44.0'

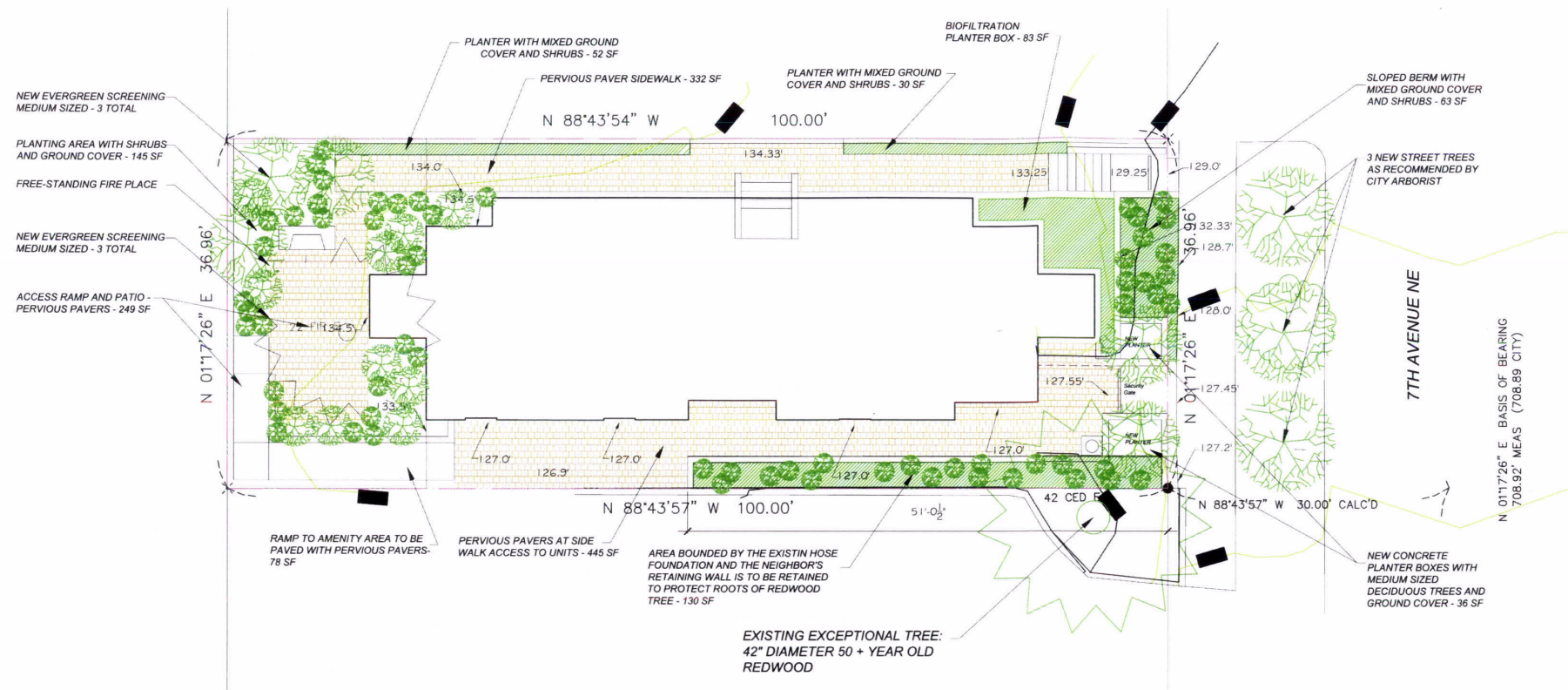
ZONING DATA

SMC 23.45.524 Landscaping Standards

Section A.2.a required this project to acheive a green factor rating of 0.6. See calculations provided with this drawing showing the dsign intent for meeting this requirement.

Note that in addition to on site at grade landscaping, the project design includes roof top planters and teh addition of new street trees.

Section B.1 street trees species and spacing will be as determined by the City Arborist and Seattle Department of Transportation.



LANDSCAPING AND GREEN FACTOR INFORMATION
SCALE: 1/8" = 1'-0"

GREEN FACTOR MIN = 3696 x .6 = 2218

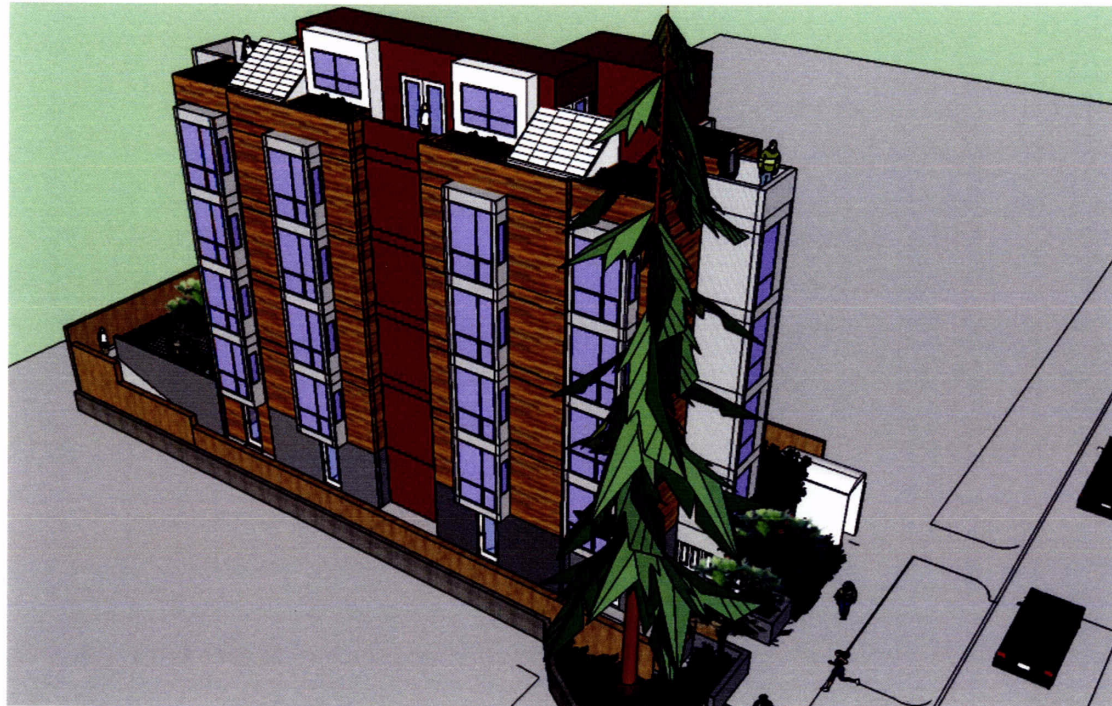
A. LANDSCAPED AREAS		
1. Soil depth exceeding 24"	610 SF x 0.6	= 275.4
2. Bioretention planter	83 SF x 1.0	= 83.0
B. PLANTINGS:		
1. ground covers	275 SF x 0.1	= 27.5
2. shrubs	63 x 12 x 0.3	= 226.8
3. small trees	10 x 75 x 0.3	= 225.0
4. small-medium trees	5 x 150 x 0.3	= 225.0
5. medium-large trees	3 x 250 x 0.4	= 300.0
C. GREEN ROOF		
1. over 4" growth medium	665 SF x 0.7	= 465.5
F. PERMEABLE PAVING		
	1104 SF x 0.5	= 552.0
SUBTOTAL:		2,380.2
BONUSES:		
1. Drought tolerant/native plants	610 SF x 0.1	= 61.0
2. Landscaping in view of public ROW	210 SF x 0.1	= 21.0
TOTAL:		2,462.2

4229 - 7th Avenue NE

Context and Site

Emphasis is on creating a pleasant human scale to the street with well defined building modulation, use of varied materials to modulate the massing and establishing an main entry that begins at the public Right of Way. Building features at grade including planter boxes, landscaped berm, a "red box" bioretention feature and an entry pergola extend the greenscape providing a fine grained breakdown of the project as it addresses the street.

The building form is clearly modern and reflective of recent housing developments in the neighborhood.



Importance of the adjacent Redwood tree

Design Concept

Solar orientation has a high priority in the design so that maximum exposure is available access to daylight within the units and expansion of views via projecting bay window fenestration. The bay windows modulate the facade, provide good material change transitions and expand views from each residence. The building envelope is clearly informed by recent similar development in the West Campus district.

By creating an at grade amenity area and separate roof top amenity area there is both choice and flexibility for socializing.

The proposed use of metal panel in warm color tones is intentionally driven by durability, weather resistance and green material use. By varying colors and adding composite panel siding, the material choices support the volumetric variations. See building elevations.



Importance of the Mid-Block Street image

Public Life

Special attention is given to the project elements adjacent and visible from the public Right of Way with emphasis on creating a diverse composition of design elements. Of high priority is clearly identifying the entry points at the sidewalk versus at the building envelope both as means of creating security but to establish an opportunity for visual interest from the public areas.

Service access has been separated and given a lower visual priority and allows for removal of clutter from the street image. Multiple additional benefits are derived from creating a secondary entry at the sidewalk, including ease of access on the sloping site for bicycle storage and an "at grade" entry to create opportunities for accessible housing configurations.

DESIGN GUIDELINE PRIORITIES

Seattle Design Guidelines with University Neighborhood Design Guidelines

Context and Site

- CS1.D1/UNDG.II.i: Retain large trees
- CS1.E.2/UNDG.CS2.I: Add project drainage features that provide interest to the streetscape
- CS2.A Location/Sense of Place and Architectural presenc, respecting site and existing tree.
- CS2.B.3C.2/D.1/UNDG.CS2.IV: Design consistent with mid-block location and adjacent massing and connecting to sidewalk

Public Life

- PL2.A Provide for access to people of all abilities as topography of the site permits
- PL2.B Create a safe environment
- PL3.A.2/B.1/UNDG.I.ii : Residential edges with entrances having an ensemble of elements emphasizing security and separating service access
- PL4.B.2 Provide adequate bike storage

Design Concept

- DC1.A.4: Arrange units for views/daylight
- DC2.A.2/B.1/C.3.c/D.2/UNDG.IV.ii: Design should fit with similar recent buildings, modulate facade composition, articulate detail for fine grained image and visual interest
- DC3.B.4/C.2: incorporate common spaces to encourage interaction
- DC4.A.1/D.4/UNDG.1.i.f/iii.b: Use appropriate, durable materials like metal siding but warmed with wood siding accents for residential character.

4229 - 7th Avenue NE

ARCHITECTURAL CONCEPT

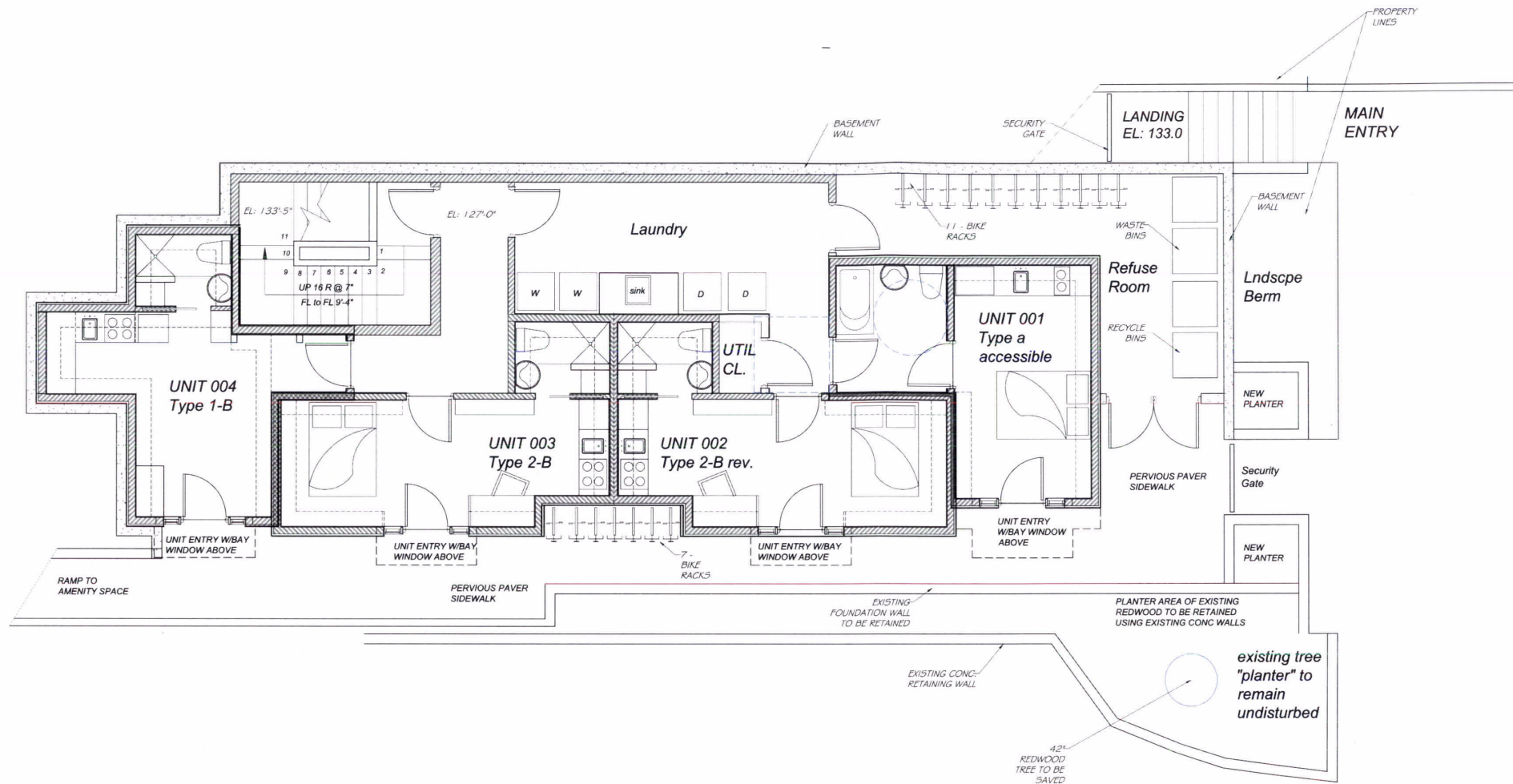
BASEMENT and SUB-BASEMENT FLOORS

The lowest floors afford the opportunity to incorporate unit designs that meet the design standards for accessibility according to the criteria in ANSI117.1-2003. There will be one Type A and three Type B configurations.

The buried portion of this level is developed to support basic communal functions such as laundry facilities, bike storage and refuse management. Aggregate area for this function meets the SMC 23.54.040 Table A requirement of 225 square feet for between 16-25 units.

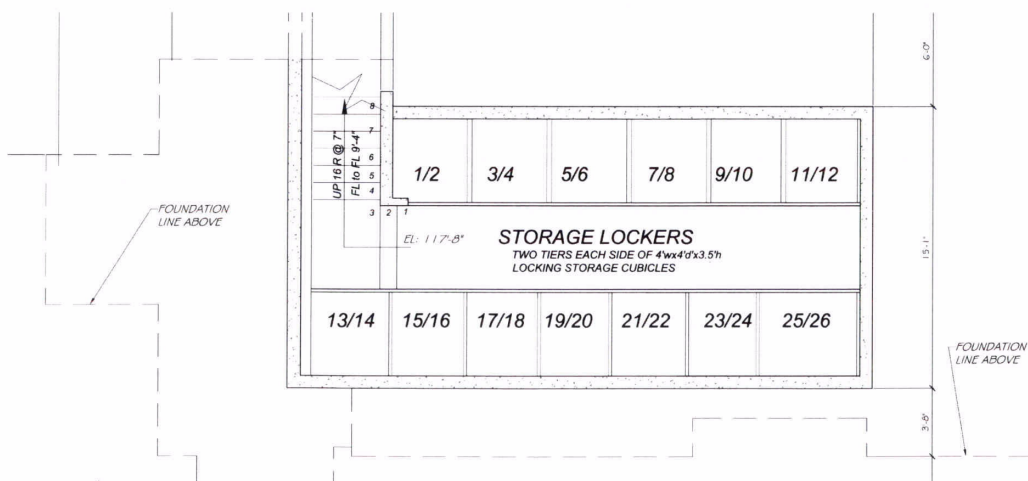
A secondary entrance to this level providing an accessible route of travel that also creates a minor access for building service and bike storage. It is anticipated that there will be 18 personal securable bike storage devices.

Centered below the basement floor will be an over-excavated area where a sub-basement is created for the purpose of adding addition personal storage spaces.



Floor Plan - Basement Level

0 2' 4' 6' 10' 20' NORTH



Floor Plan - Sub-Basement Level

0 2' 4' 6' 10' 20' NORTH

4229 - 7th Avenue NE

ARCHITECTURAL CONCEPT

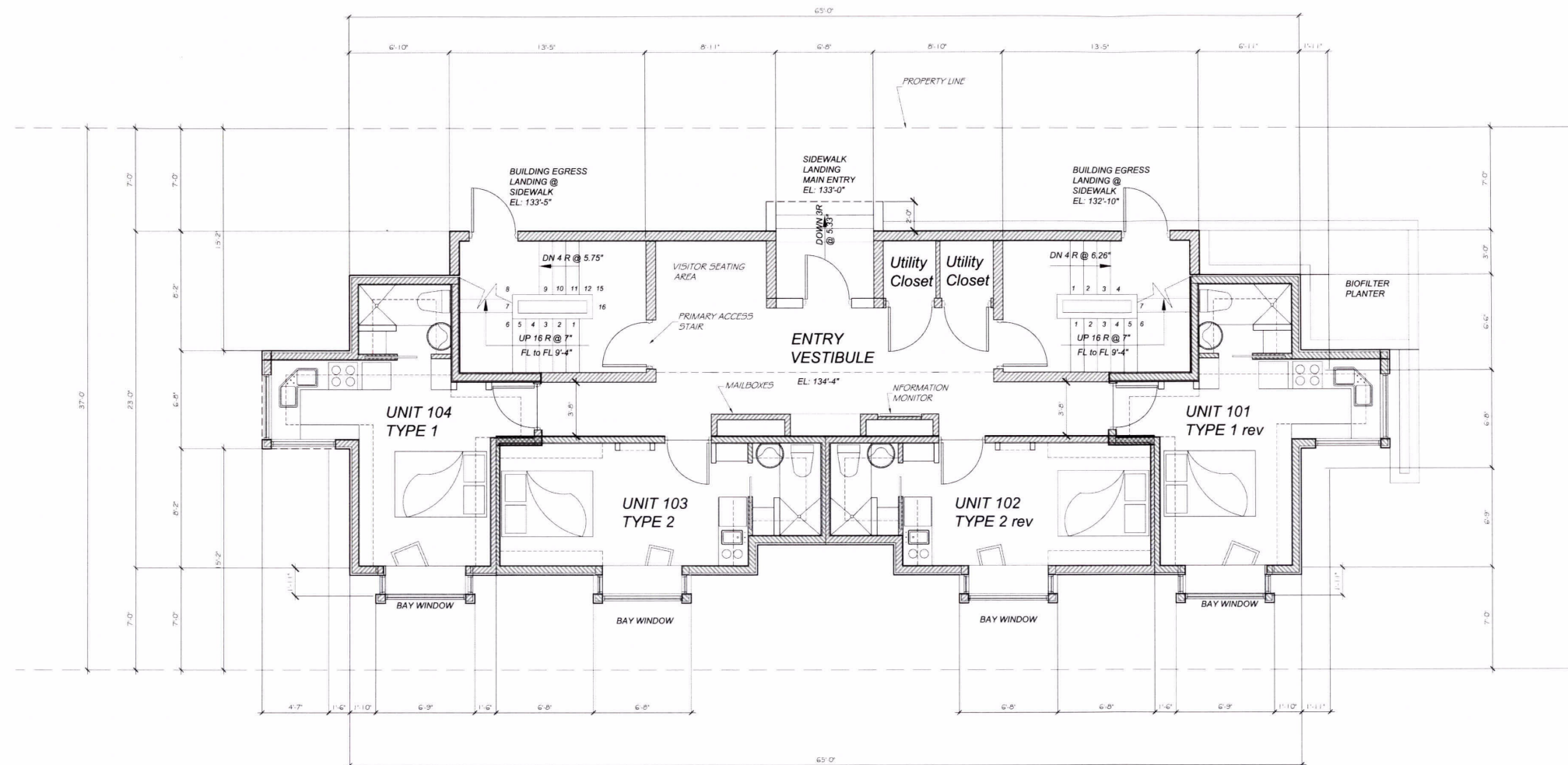
Main Entry Floor Plan

Primary entrance to the building's upper level dwelling units is along the north facade. As described with the site plan, residents will enter the walkway to this entry through a prominent pergola dtructure located adjacent to the sidewalk forminf a linear entry court. Detailed design for the pergola will be guided by SMC 23.45.518, Section J.9.

Access to the upper floors will be by via two separate stairwells linked together in a common lobby space. Space for a mail drop, message information and a small meeting/waiting area. J.9.

The floor plan and unit configuration has been laid out to maximize exterior wall surface oriented towards the solar path with bay windows gathering in daylight and warmth.

Carefuk attention has been paid to follow the design standards for Small Efficiency Dwelling Units (SEDU) as described in Director's Rule 9-2014 as modified by the recently adopted Ordinance 124608 as it pertains to SEDU's.



Floor Plan Level 1 - MAIN ENTRY

0 2' 4' 6' 10' 20'



4229 - 7th Avenue NE

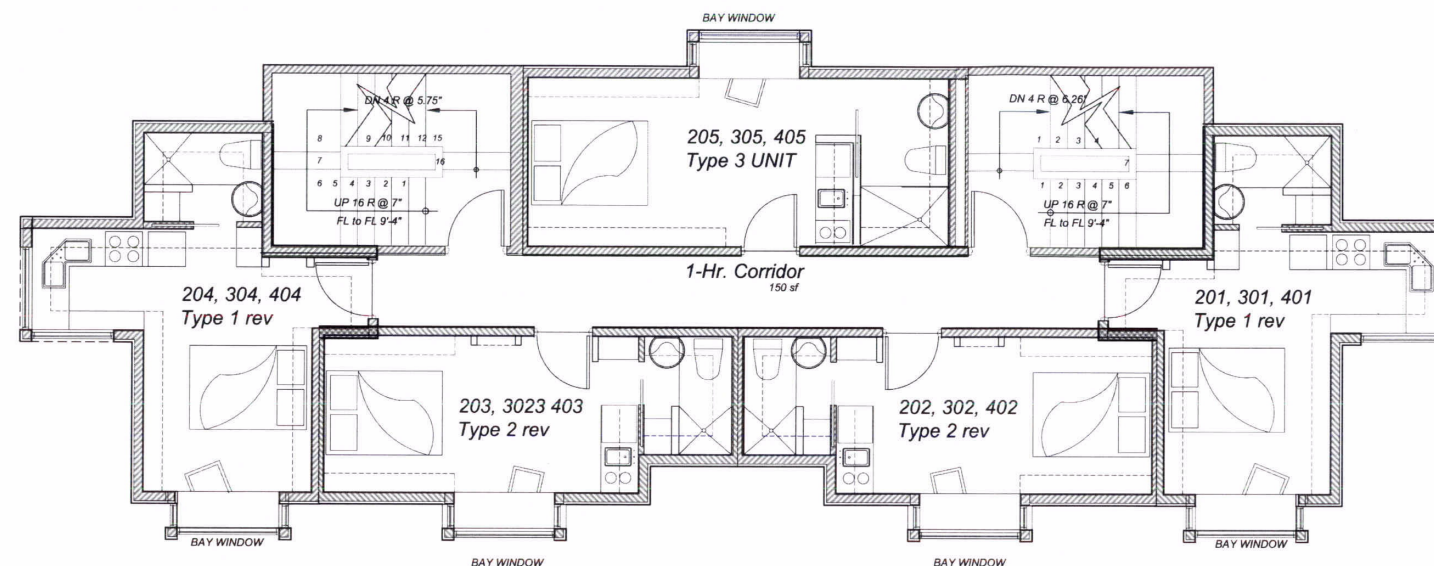
ARCHITECTURAL CONCEPT

TYPICAL UPPER FLOOR PLANS

The project has three floors above the main entry floor that will be nearly identical in plan. Each will have five Small Efficiency Dwelling Units organized around a central hallway and two vertically enclosed stairs.

Units are designed to wrap around the circulation core to take the best advantage of solar access for daylighting and warmth. Projecting bay windows will enhance the open view to the south from the site.

Each unit is an autonomous dwelling unit though the design encourages socialization on each level and offers community gathering spaces at grade and at the roof level.



2nd, 3rd and 4th Level Floor Plan - Typical

0 2' 4' 6' 10' 20'



4229 - 7th Avenue NE

ARCHITECTURAL CONCEPT

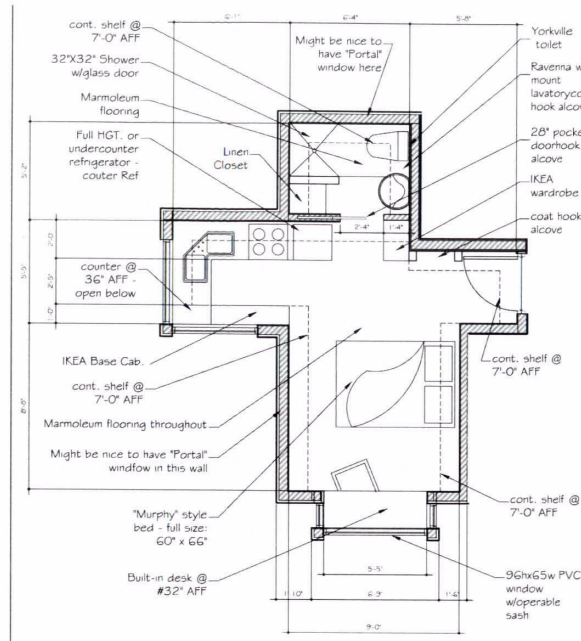
TYPICAL UNIT PLANS

There are six basic unit types designed to stack vertically for construction efficiency. Each unit has typical functional elements meeting or exceeding design standards established in the zoning ordinance for Small Efficiency Dwelling Units.

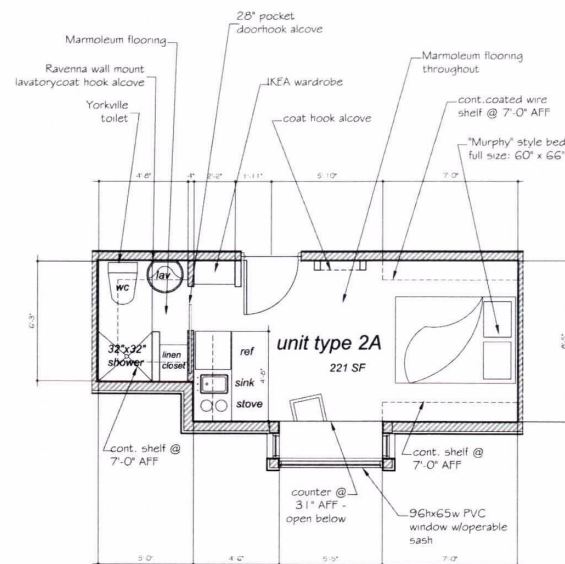
Typical features will include:

- built-in kitchenettes
- sink, refrigerator, cook top and microwave
- bathrooms with lavatories, toilets and showers
- built-in desk
- clothing wardrobes exceeding 6 square feet
- built-in overhead shelving
- projecting bay windows
- flexible sleeping accommodations

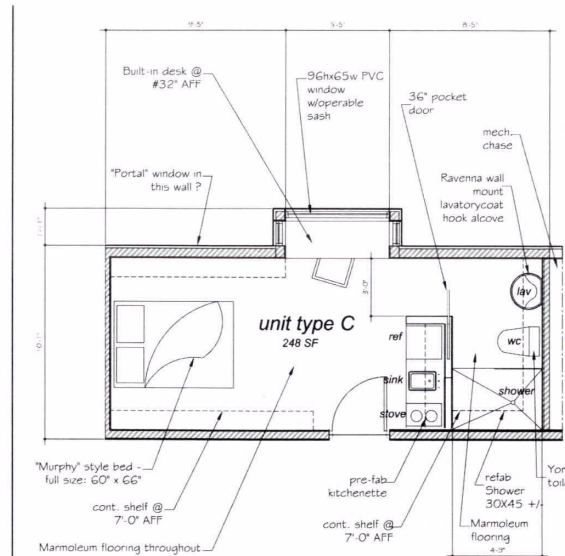
or.



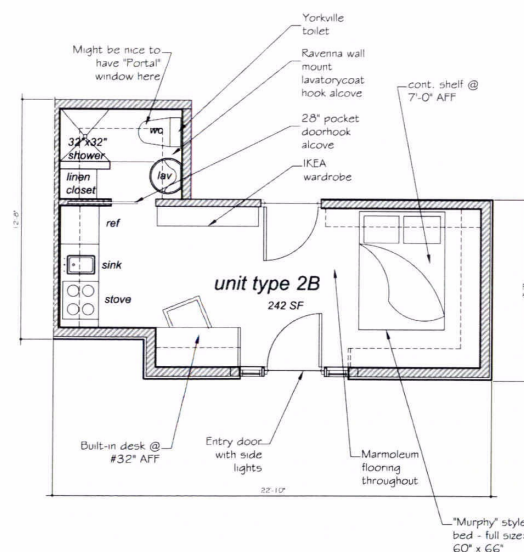
UNIT 1A
TYPICAL AT UPPER FLOORS



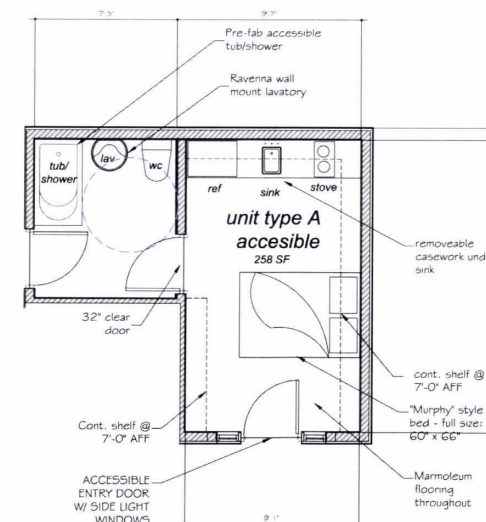
UNIT 2A
TYPICAL AT UPPER FLOORS



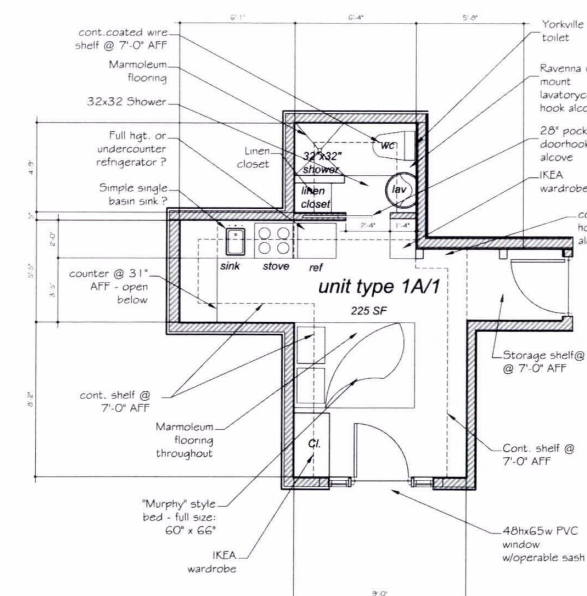
UNIT C
TYPICAL AT UPPER FLOORS



UNIT 2B
TYPICAL AT BASEMENT LEVEL
ANSI TYPE B



UNIT A
AT BASEMENT LEVEL
ANSI TYPE A



UNIT 1A/1C
AT BASEMENT LEVEL
ANSI TYPE B

ARCHITECTURAL CONCEPT

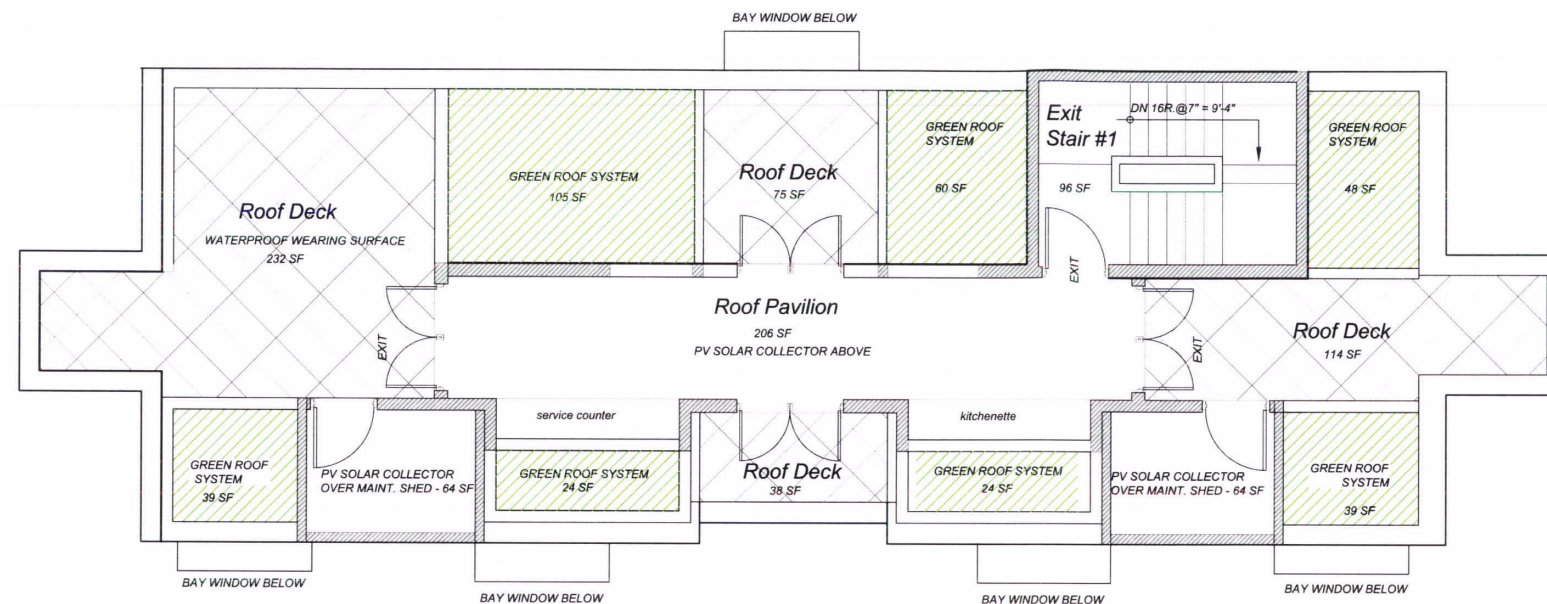
ROOF PLAN

The project incorporates a well developed program for design of the roof top features. Access is via the east stair tower which terminates in a long narrow pavilion designed to create a central area for staging gatherings that will utilize the outdoor deck spaces on pleasant days.

Being long and narrow the roof doubles well as the platform for the anticipated photo voltaic solar collection array. Battery rooms are place at the roof level under the PV arrays. The system will be designed so that in may be gradually staged over time and as energy production rate of returns justify.

To enhance the decks, filter storm water, contribute to the site development green factor and reduce the heat gain affect, multiple green roof areas are set aside fore drought tolerant plantings.

Deck spaces are deliberately scaled and dispersed to encourage intimate social settings for flexibility and privacy.



Roof Plan

0 2' 4' 6' 10' 20'

NORTH

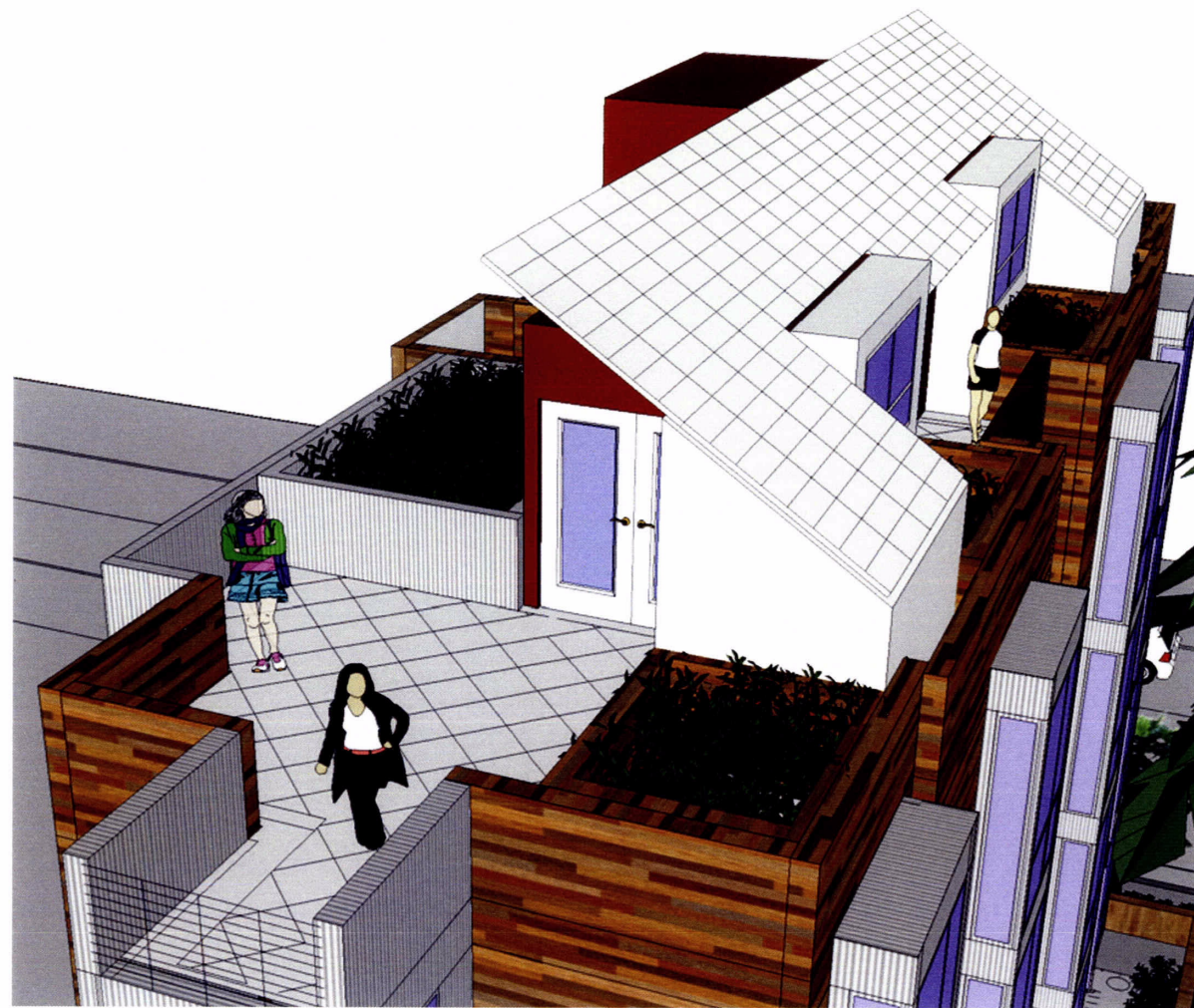


ROOF PLAN DEVELOPMENT SUMMARY:	
Total Roof Area:	1591 SF
Allowable floor area to exceed building height up to 10' (15% /20%):	238 - 318 SF
Total "Green Roof" area proposed:	331 SF
Proposed rooftop features:	
Stair Enclosure : 144 SF (may be reduced to 85 sf)	
Pavilion for common use: 206 SF	
	Subtotal: 300 SF - 365 SF
Proposed mechanical equipment:	
PV Solar Collectors:	128 SF

4229 - 7th Avenue NE

ARCHITECTURAL CONCEPT

ROOF ELEMENTS



DIVERSE ROOF ELEMENTS



4229 - 7th Avenue NE

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The multi-dimensional street presence creates a lively, pedestrian scaled interface with the public Right of Way.

Window fenestration exceeds 20% of the overall facade area and is enhanced with “bay” window type projects that modulate the street facade.

A well landscaped and subtly lit ground plane is broken by the “red box” biofiltration planter helping to create a layered facade, capped off by the roof gardens and bold roof forms.

The bold form of the pergola, planted vines and prominent address numerals signal the main entry which has been created at the sidewalk rather than the building.



4229 - 7th Avenue NE

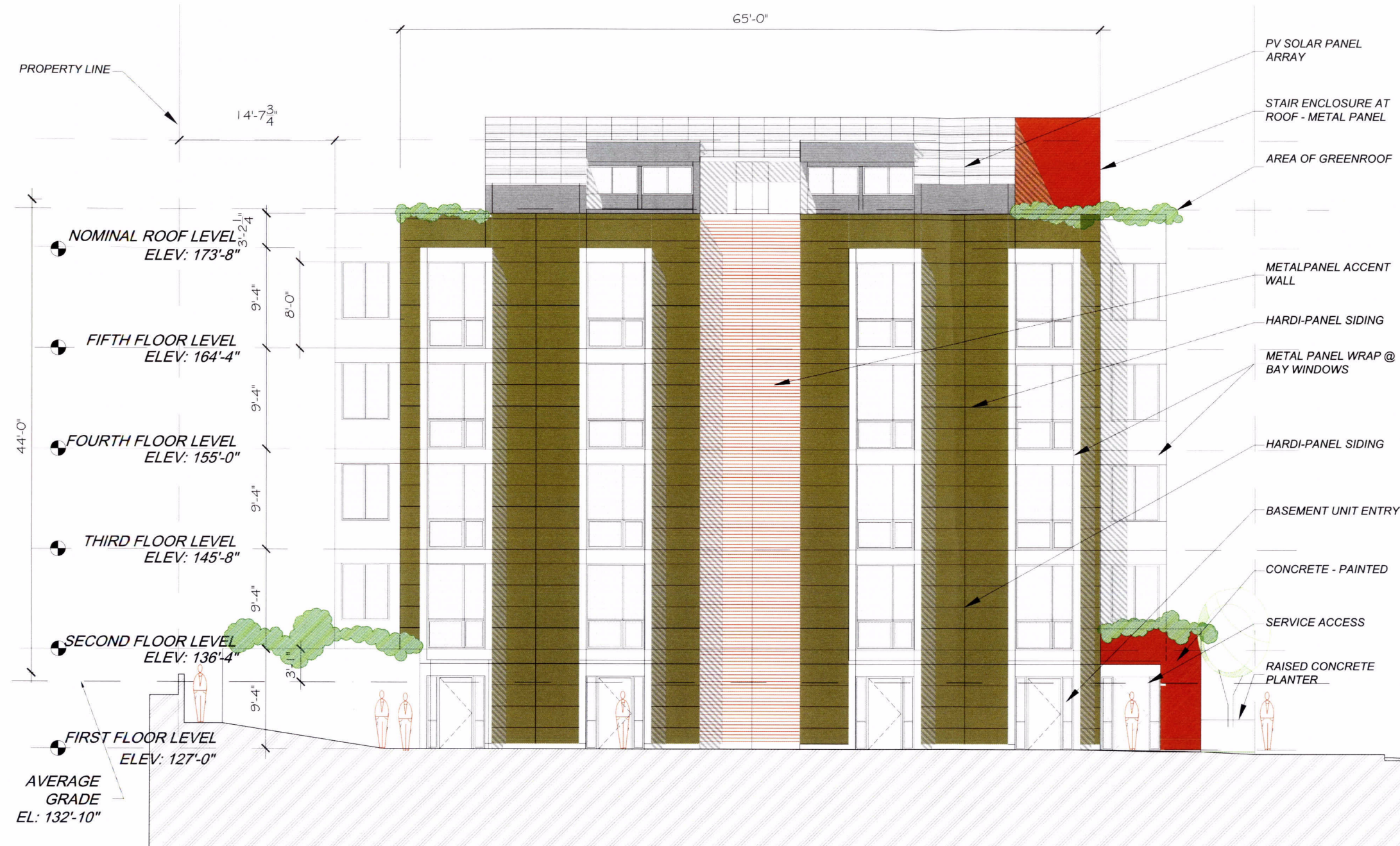
ARCHITECTURAL CONCEPT

MODULATION

For the side yard facades, the maximum facade length is 65 feet (65% of the lot depth). In addition modulation is created through use of bay windows and building setbacks from the side yard facade.

Exterior materials are intended to be both durable and sustainable, Metal panels in warm earthy colors offer a durable exterior envelope and material high in recycled content.

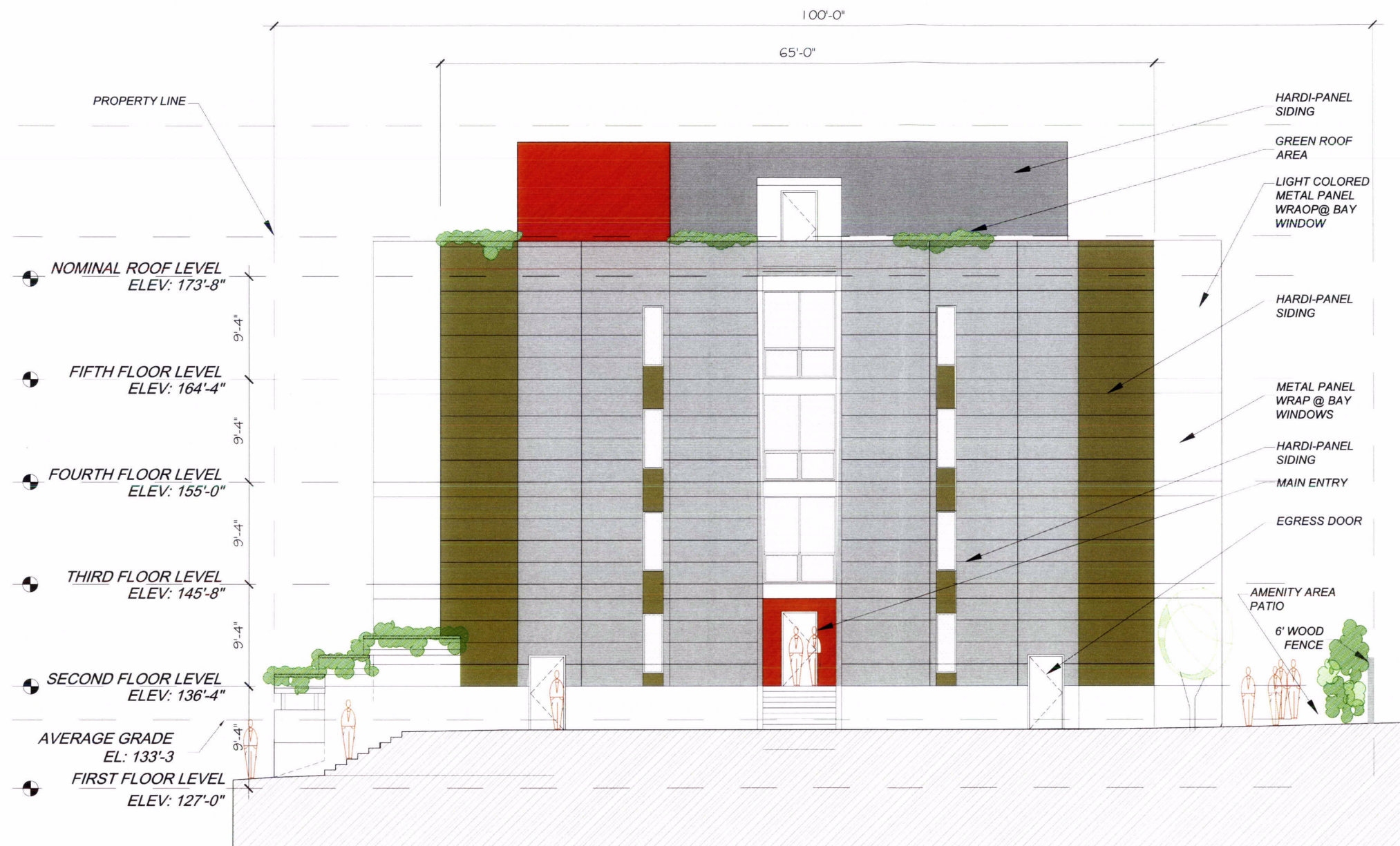
Modulation is intended to occur bit horizontally and vertically by allowing the diverse roof top activities and equipment to be part of the aesthetic expression.



SOUTH ELEVATION

4229 - 7th Avenue NE

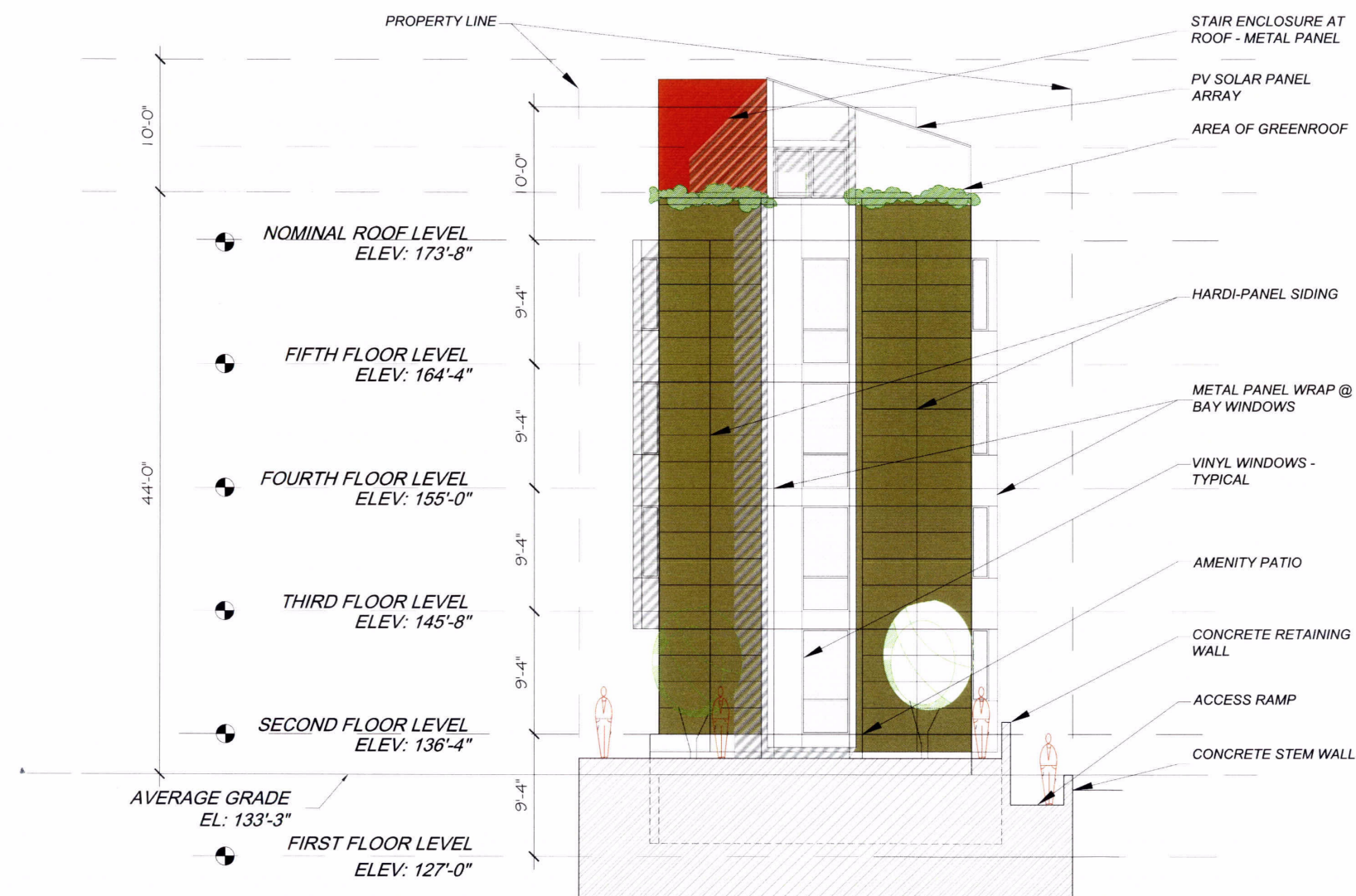
ARCHITECTURAL CONCEPT



NORTH ELEVATION

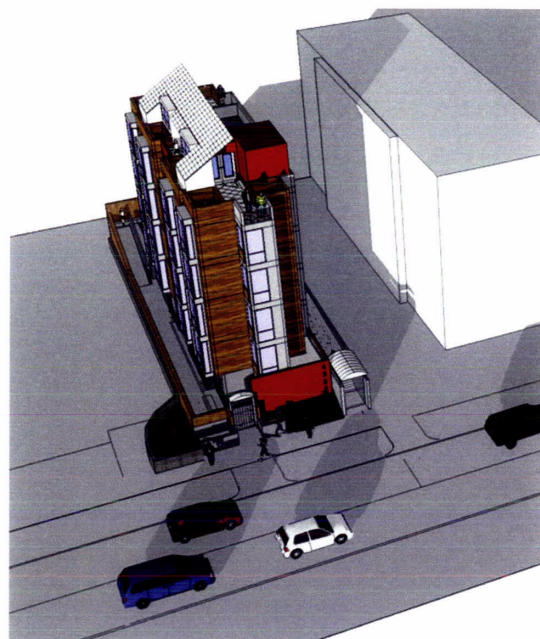
4229 - 7th Avenue NE

ARCHITECTURAL CONCEPT

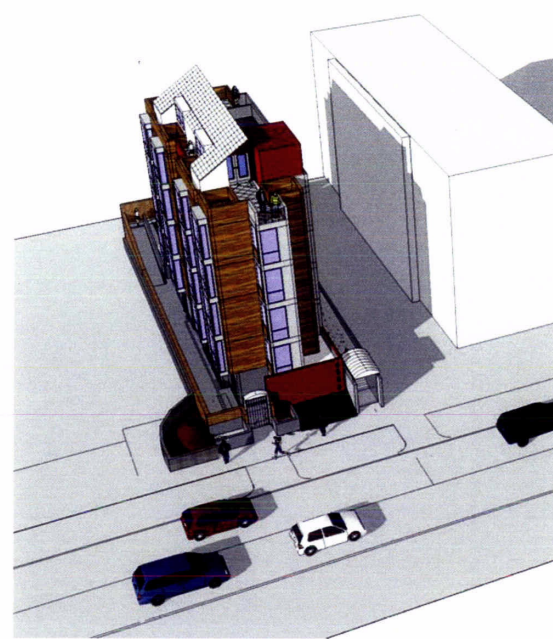


WEST ELEVATION

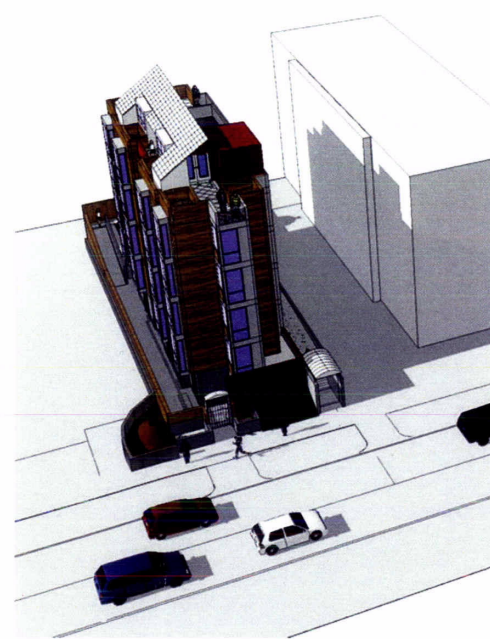
4229 - 7th Avenue NE



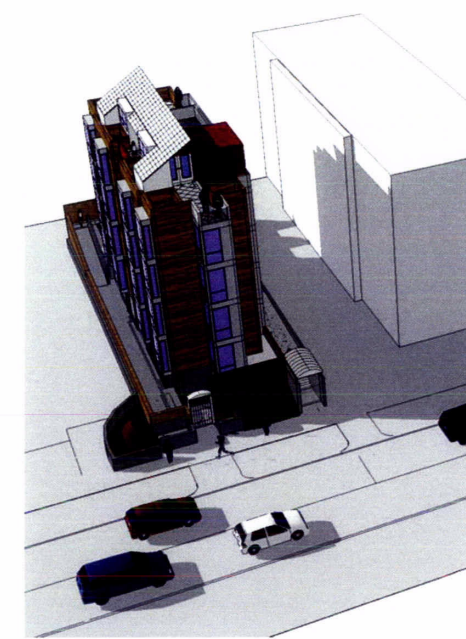
8:00 am January 2



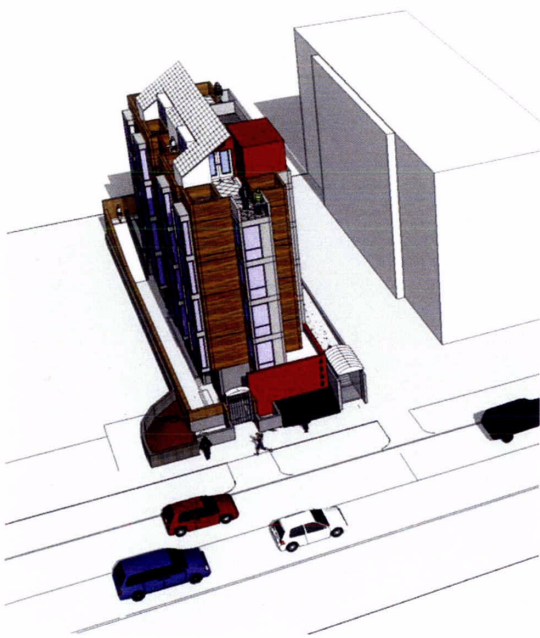
10:00 am January 2



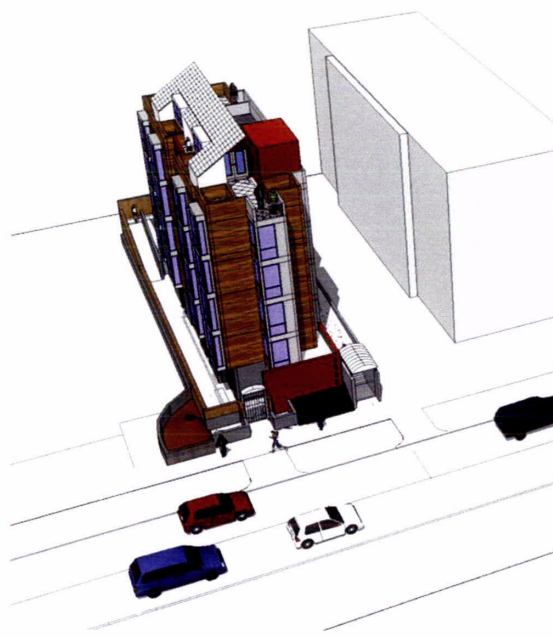
12:00 pm January 2



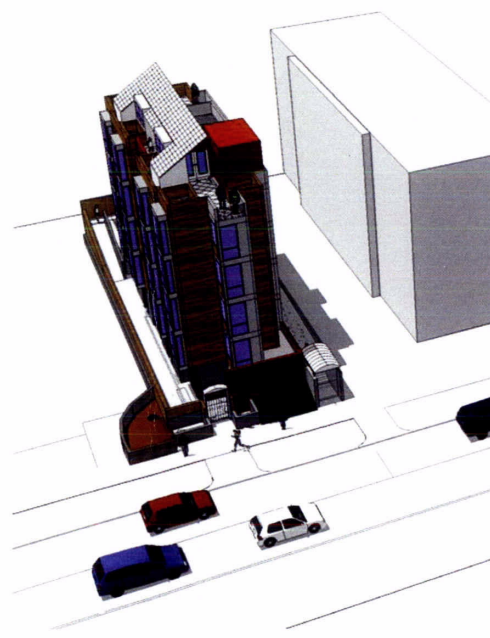
2:00 pm January 2



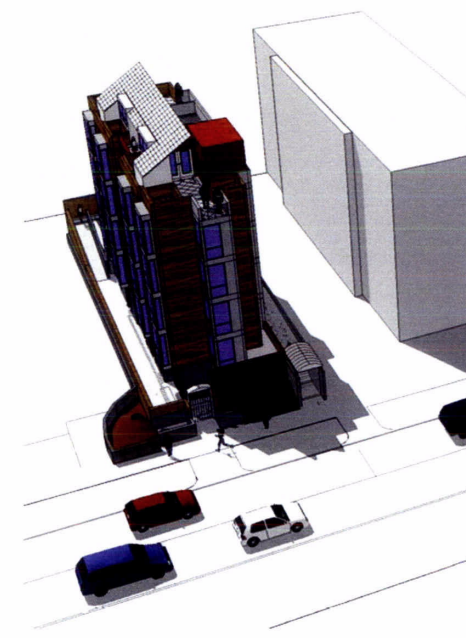
8:00 am July 8



10:00 am July 8



12:00 pm July 8



2:00 pm July 8

ZONING ADJUSTMENTS

The only request presented with this proposal is for an exception allowing the roof access stair to project into the minimum setback of 10 feet from the north facade.

Presented here is a shadow study reflecting both winter and summer conditions. The impact is minimal in the winter and nonexistent in the summer.

The design program for this project relies heavily on the diverse functions and activities anticipated at that level.

For fundamental design reasons the access and egress requirement make it essential that the stair be placed on the north side of the building. Solar access, views and central organization would be compromised if the stair were placed at a distance of ten feet from the edge of the north facade.

We believe this singular request is reasonable and creates a negligible impact on the shading of the property to the north.

Pursuant to SMC 23.45.514 J.8, this exception should be permissible.

4229 - 7th Avenue NE