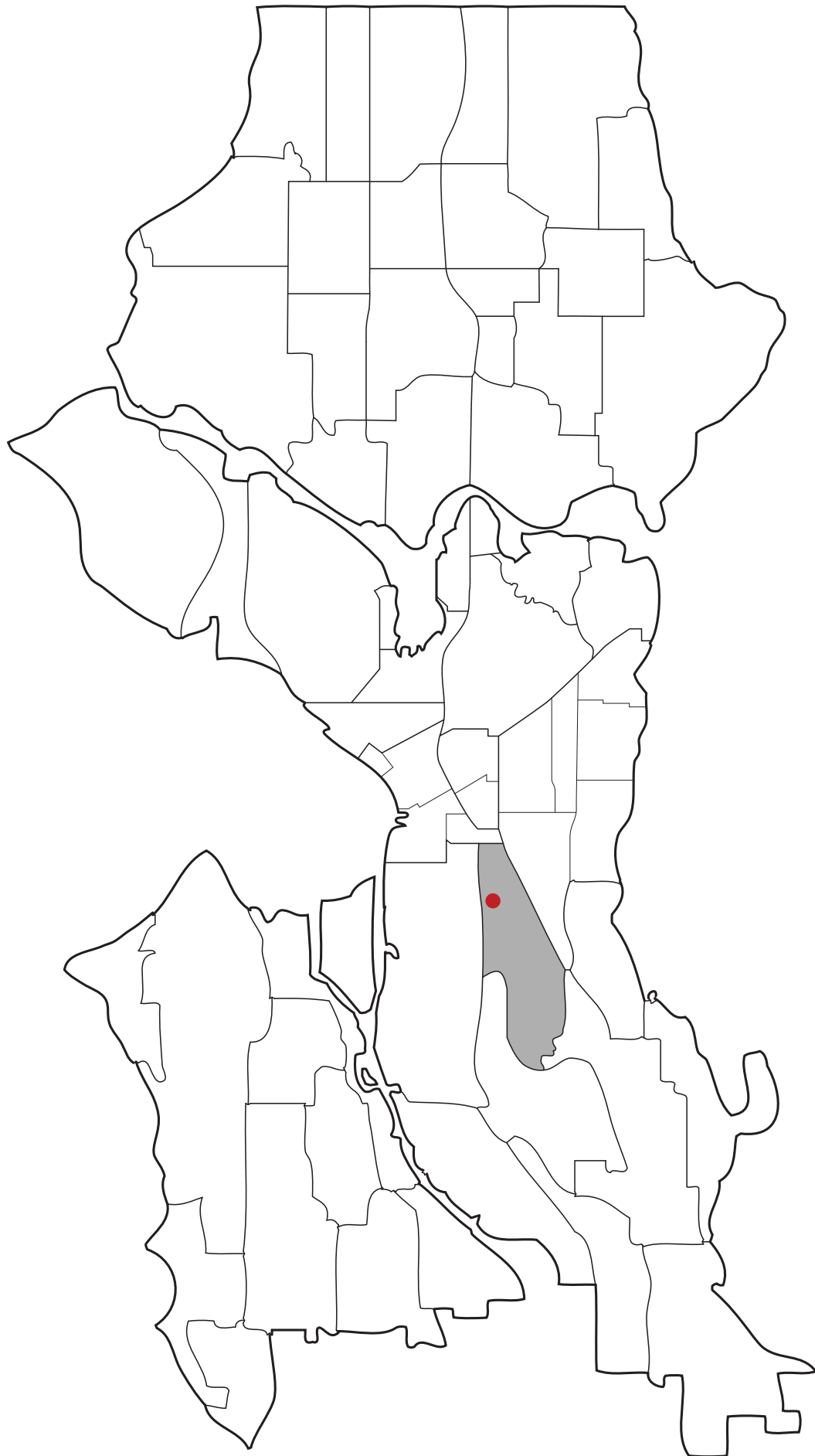


#3018958

2011 15th Ave S **STREAMLINED DESIGN REVIEW**

DCS **S+HWorks**
ARCHITECTURE & DESIGN



PROPOSAL

This project involves the demolition of an existing single family residence, and the construction of six townhomes with surface parking. The townhomes are grouped into two triplexes, one at the front of the site (east), and one at the rear of the site (west). Six parking spaces and six trash storage areas are located at the rear of the site, adjacent to the alley.

The area near the project site is characterized by a mix of uses and housing types. The residences to the west and east from 15th Ave S are small to mid-size single family houses and multifamily buildings. The proposed project is in keeping with the scale and use of other developments on the block.

The project goals are as follows:

1. To provide six well designed and well constructed townhome units for the growing Beacon Hill neighborhood.
2. To provide buildings and uses that positively contribute to the streetscape of 15th Ave S.
3. To maximize the development potential of the property while supporting the city's planning objectives and respecting the existing community's scale and character.
4. To meet the Built Green 4-Star standard.
5. To maximize the development's connection to its surroundings, including views, amenity areas, and street level engagement.

ADDRESS

2011 15TH AVE S
SDCI# 3018958

PROJECT TEAM

OWNER	Delen Construction Services, INC.
ARCHITECT	S+H Works, LLC
LANDSCAPE	Root of Design
SURVEYOR	Geodimensions

PROJECT INFO

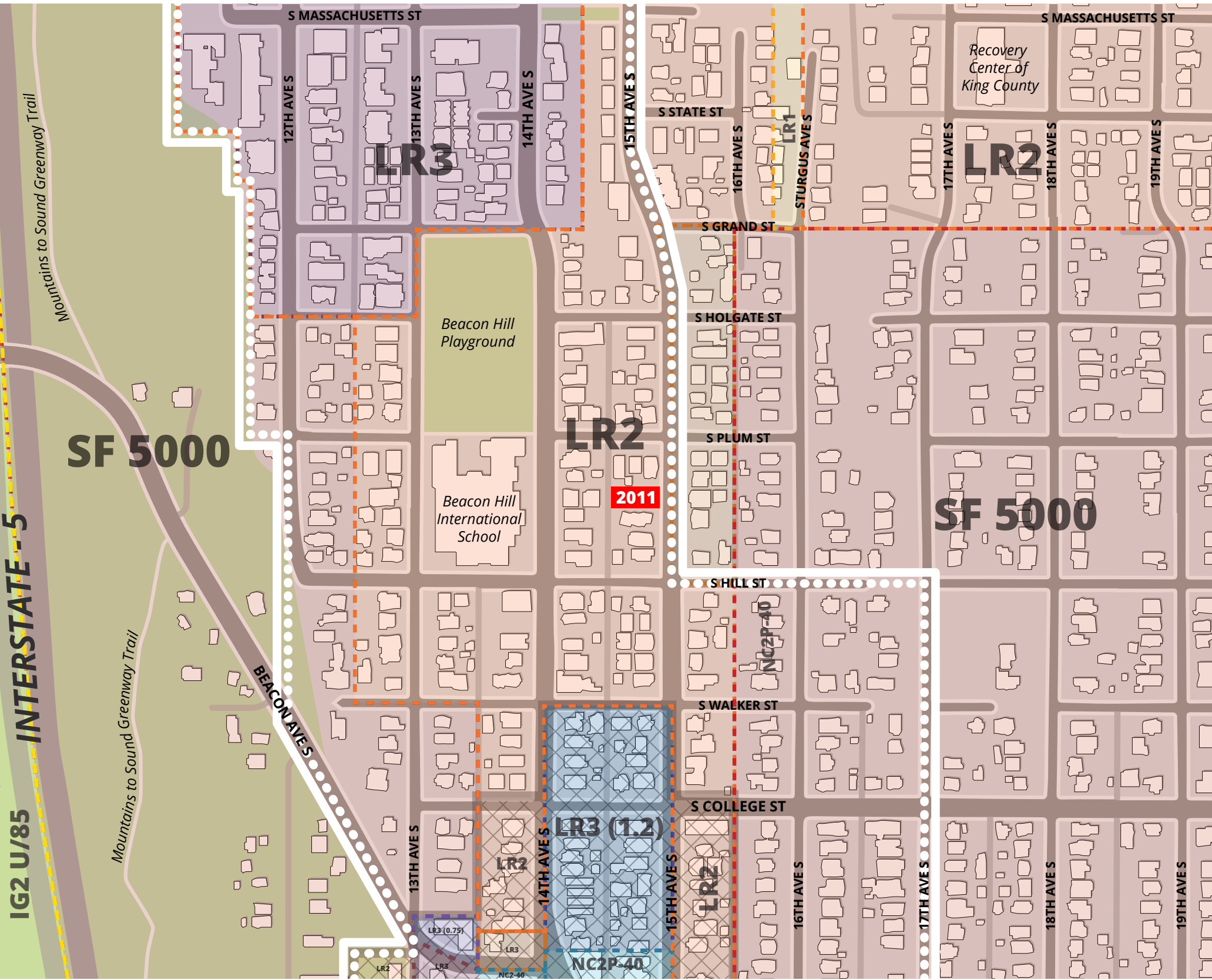
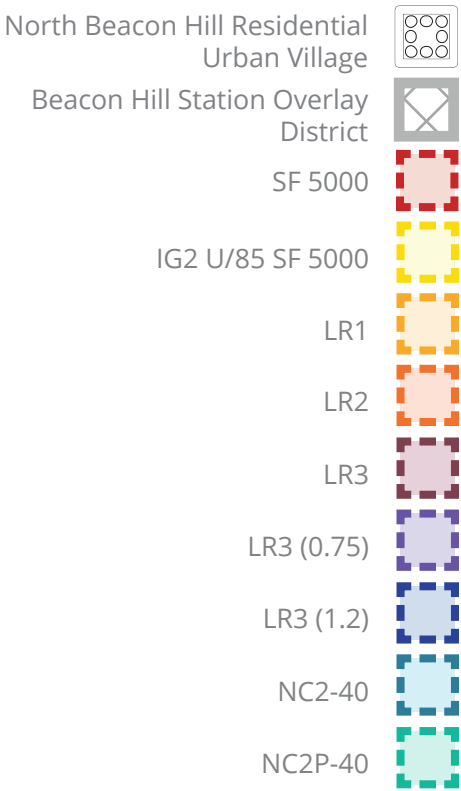
ZONING	LR2
LOT SIZE	6,007 sf
FAR	1.2
ALLOWABLE FAR	7,208.4 sf
PROPOSED FAR	7,175.2 sf
PROPOSED UNITS	6
PARKING STALLS	6

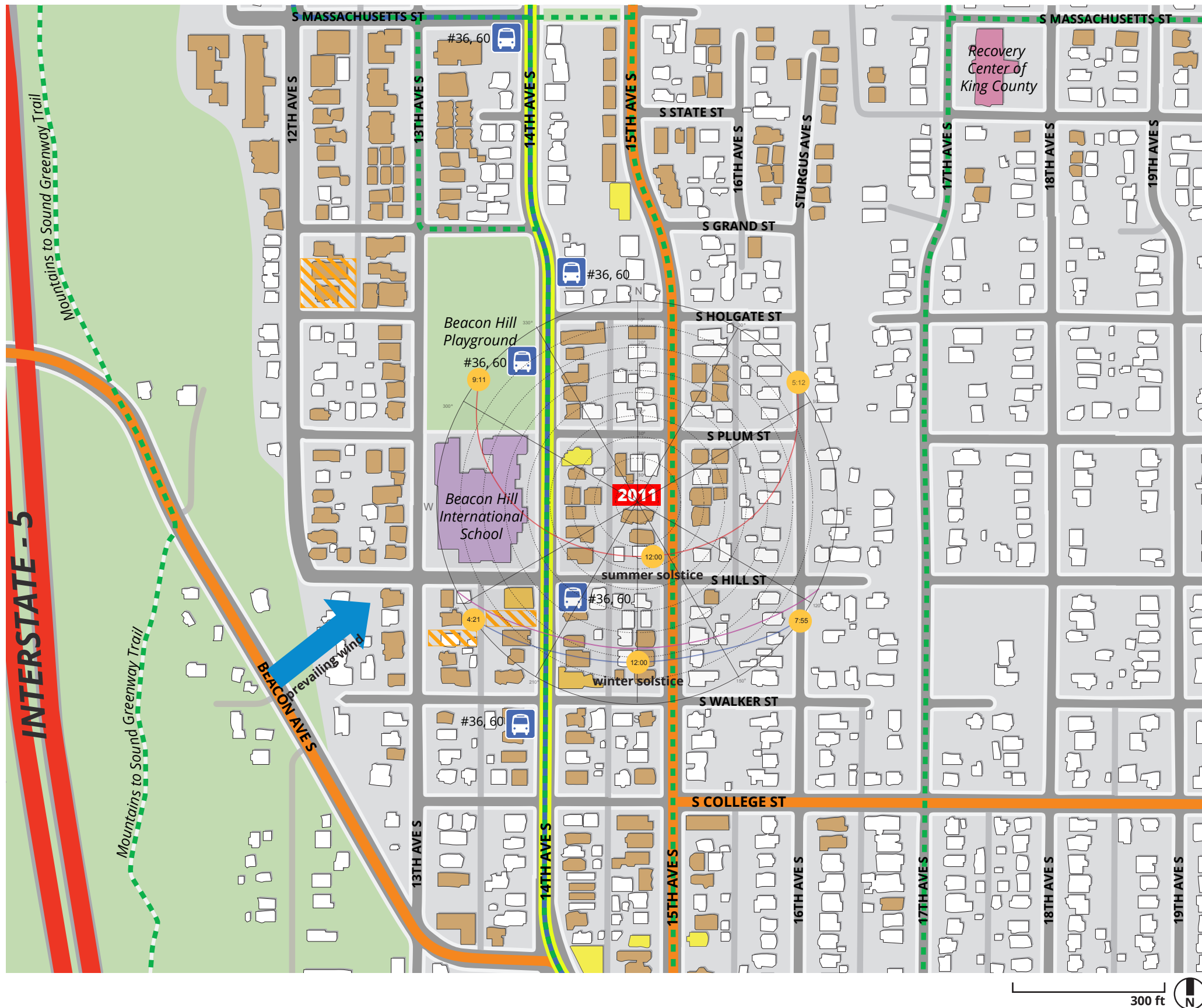
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SITE ANALYSIS

This area of Beacon Hill lies within the North Beacon Hill Residential Urban Village and contains various zones and uses. The project site is zoned LR2 and located on the west side of 15th Ave S, a residential two lane street. The site is currently occupied by a single family structure which will be demolished. The site is surrounded by single family and multifamily developments to the east and low rise multifamily developments to the north, west, and south. The site is served by an alley.





ADJACENCIES / CIRCULATION

The site is served by two bus lines, the 36 and 60, running north and south along 14th Ave S providing quick access to Downtown Seattle, First Hill, Capitol Hill, and West Seattle. The slow residential streets and dedicated bike lanes along 15th Ave S and 14th Ave S promote a pedestrian experience and easy cycling routes to Downtown, West Seattle, and South Seattle.

CIRCULATION

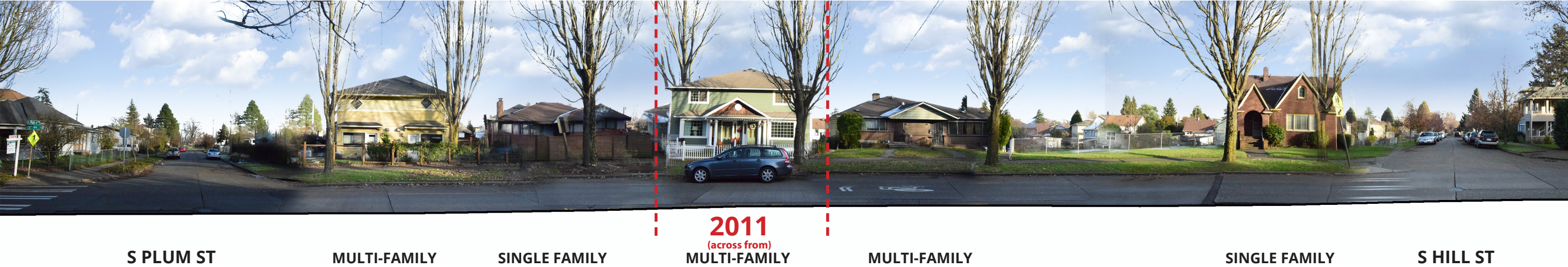


- DESIGNATED BUS STOP
- TRANSIT ROUTE
- DEDICATED BICYCLE LANE
- MAJOR ARTERIAL
- MINOR ARTERIAL
- FREEWAY

TPOLOGY

- SINGLE FAMILY HOME
- MIXED-USE
- MULTIFAMILY
- COMMERCIAL
- INSTITUTIONAL
- EDUCATIONAL
- PERMITTING / UNDER CONSTRUCTION

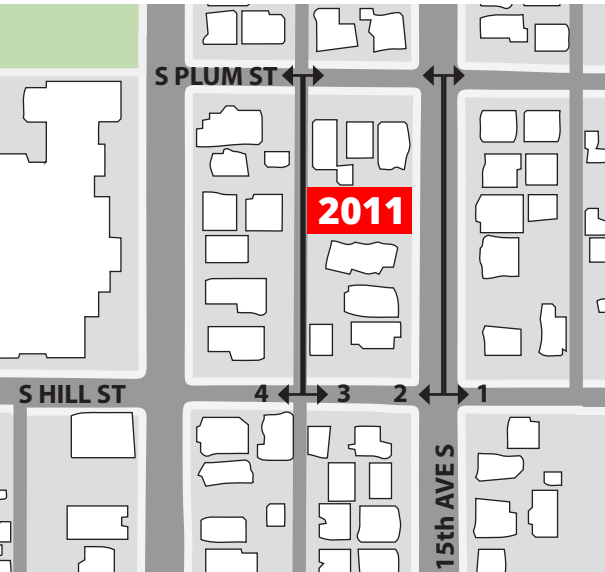
1 15TH AVE S LOOKING EAST



2 15TH AVE S LOOKING WEST



15TH AVE S
The site is surrounded by multifamily and single family developments, with commercial and institutional uses to the west and south. Residential uses in the vicinity are a mix of older single family and multifamily buildings and new multifamily developments.



3 FROM ALLEY LOOKING EAST

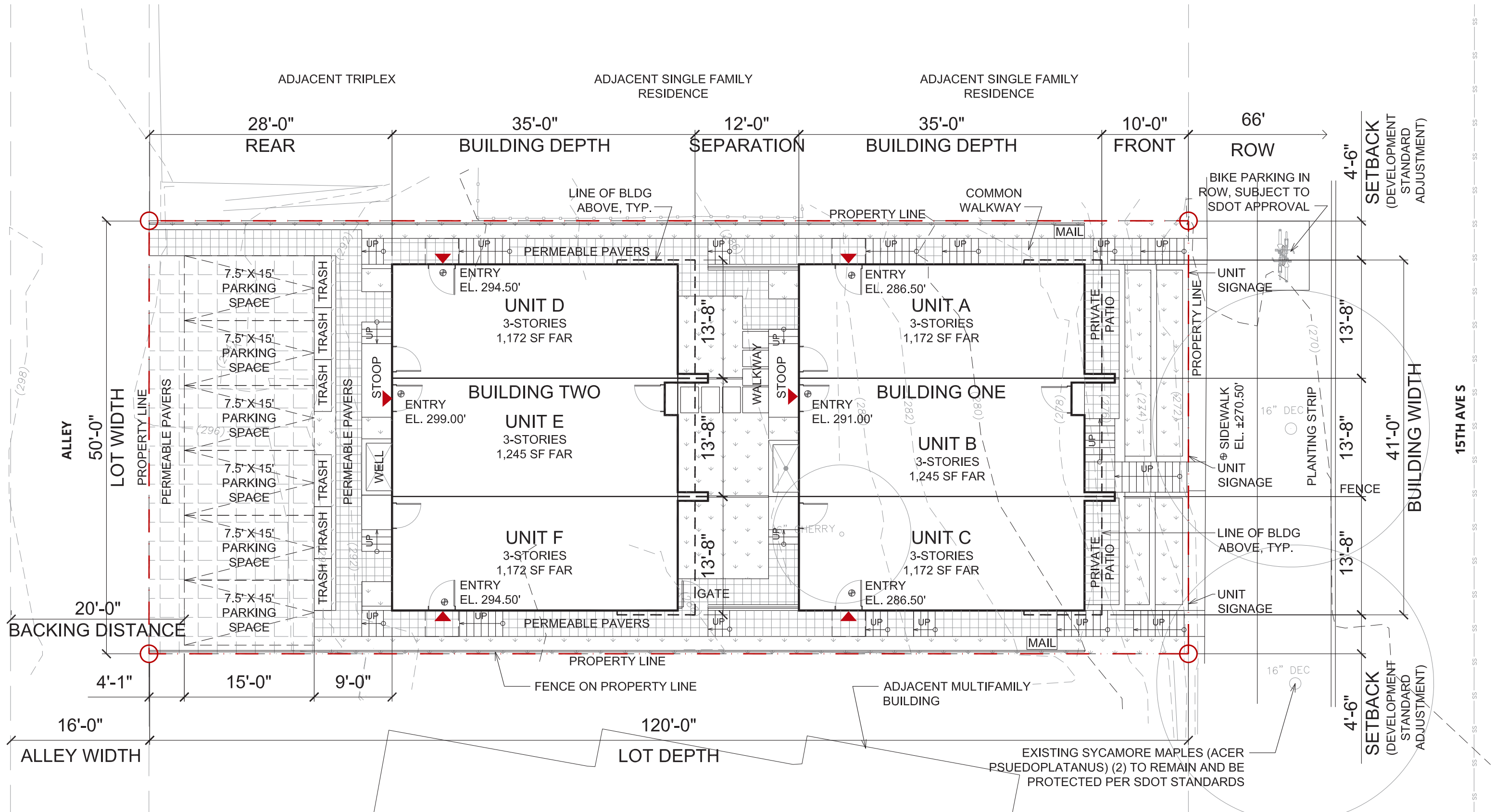


4 FROM ALLEY LOOKING WEST





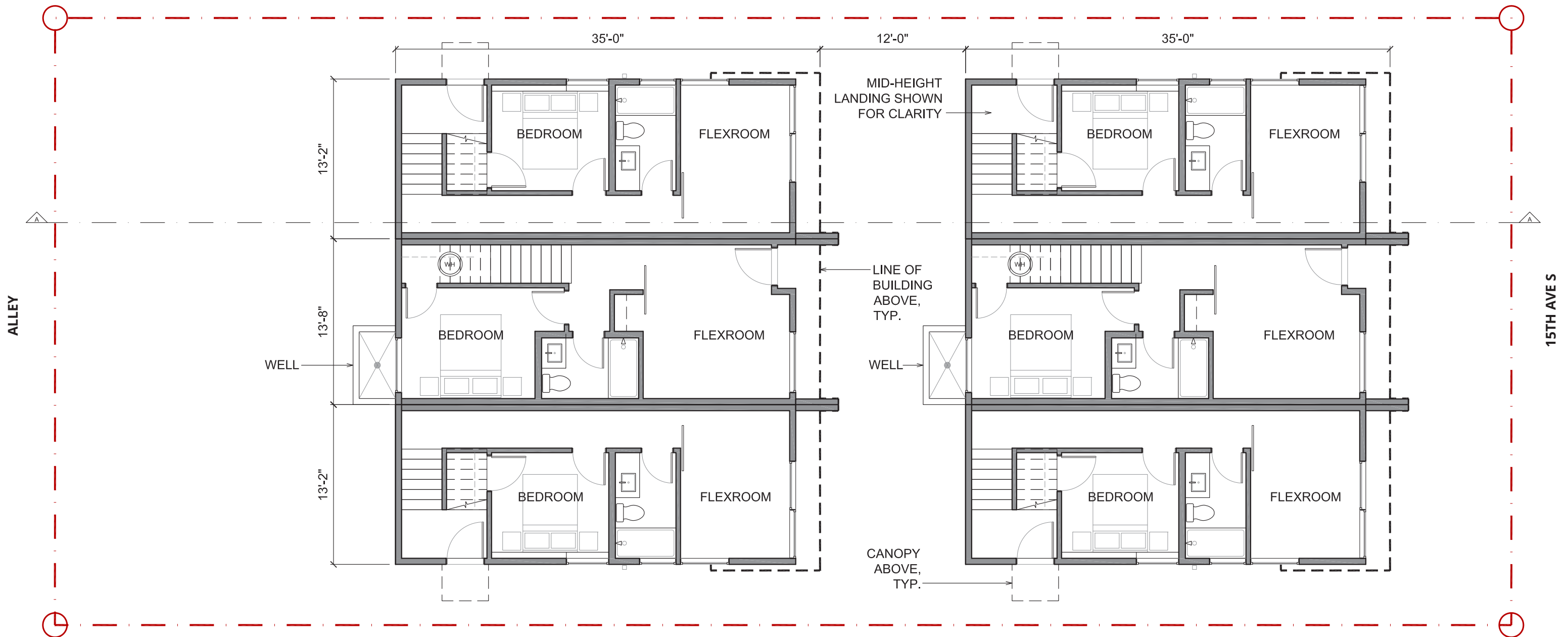
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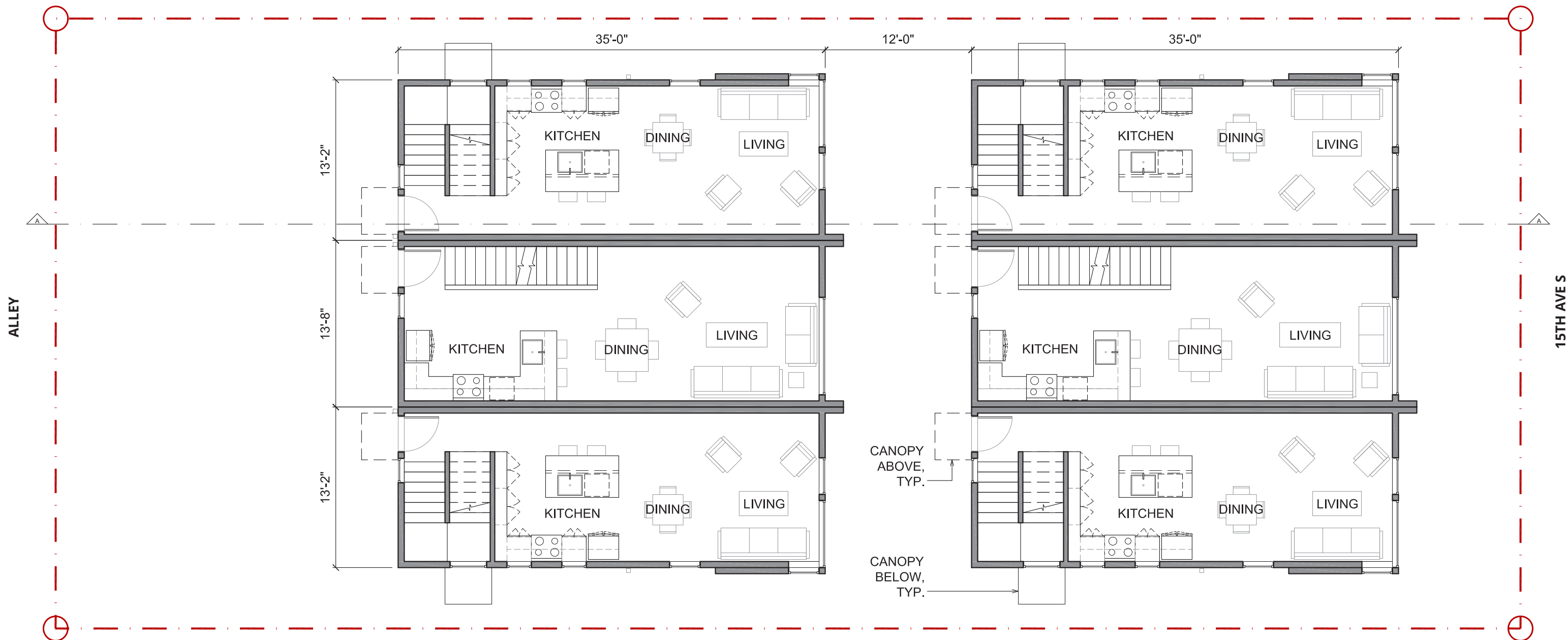
SITE PLAN

SCALE: 3/32" = 1'-0"





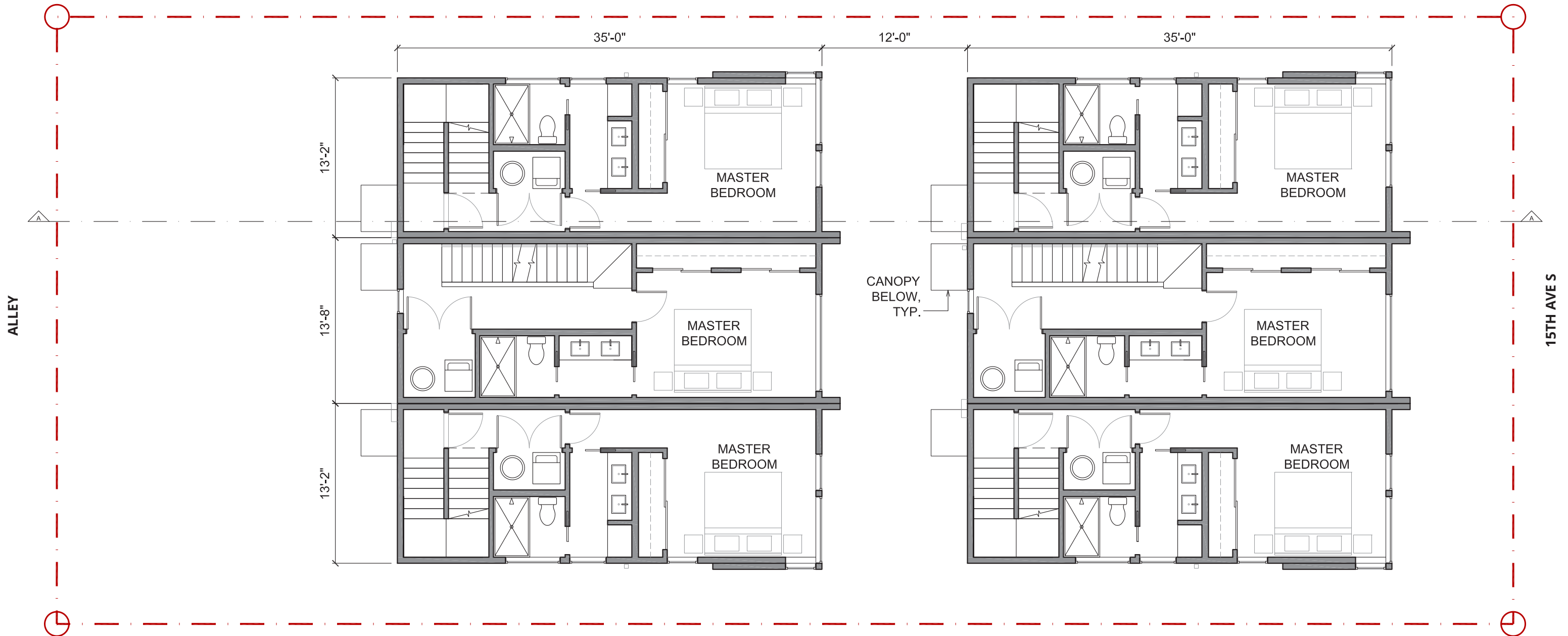
LEVEL 1 FLOOR PLAN
 SCALE: 1/8" = 1'-0"



LEVEL 2 FLOOR PLAN

SCALE: 1/8" = 1'-0"

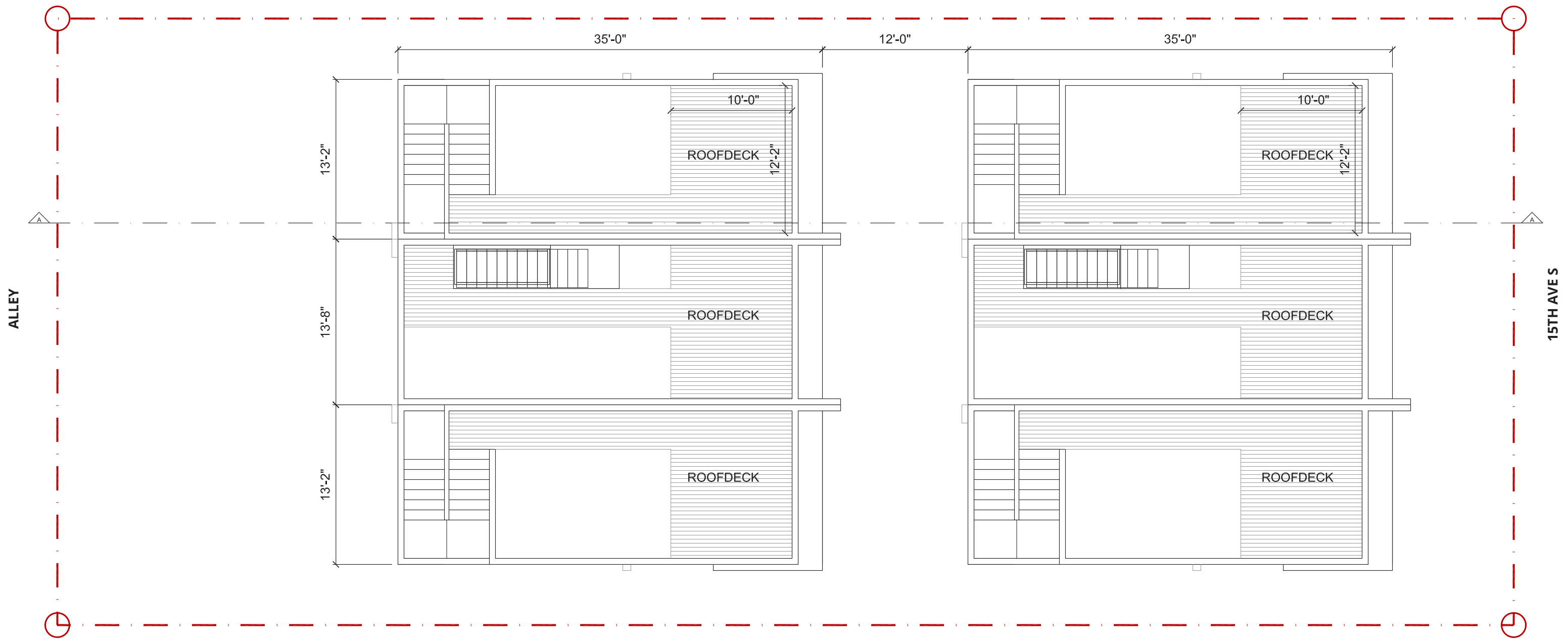




LEVEL 3 FLOOR PLAN

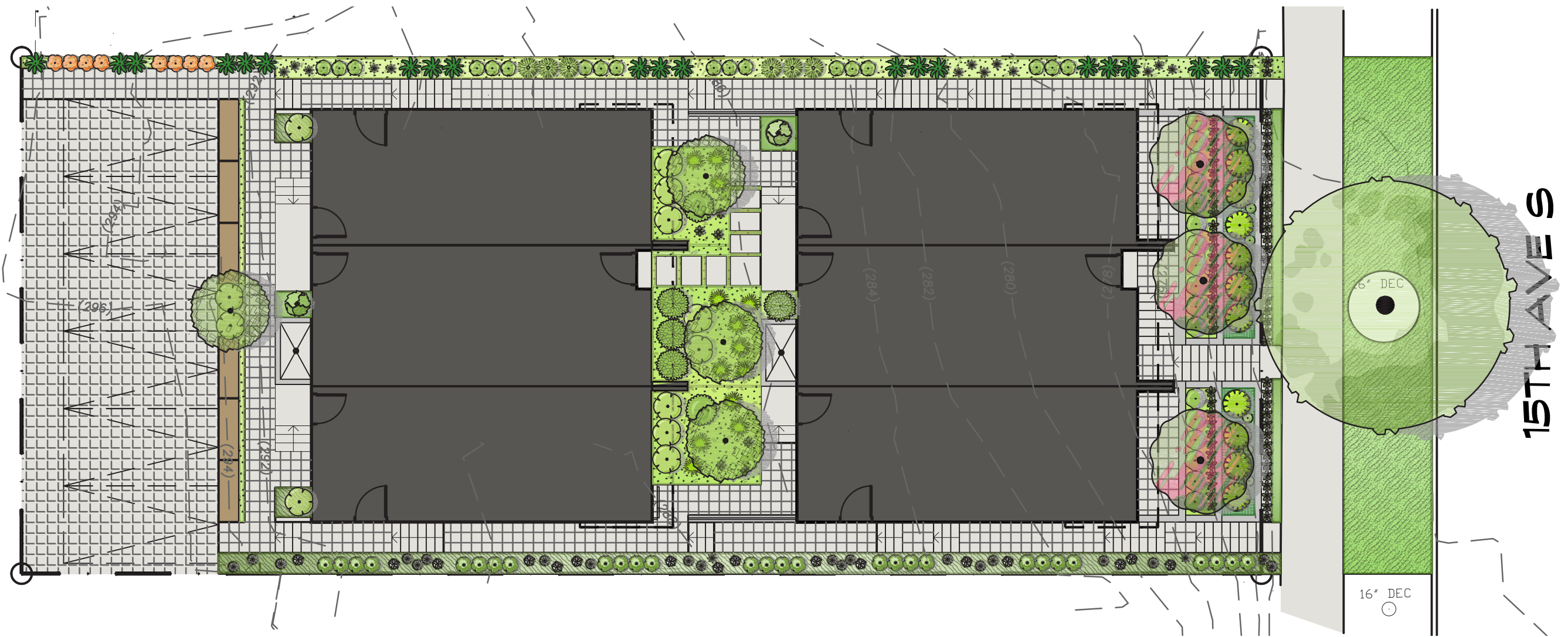
SCALE: 1/8" = 1'-0"





ROOF PLAN
 SCALE: 1/8" = 1'-0"





LANDSCAPE PLAN

SCALE: 3/32" = 1'-0"



PLANTING SCHEDULE

TREES	BOTANICAL NAME / COMMON NAME	SIZE
	Cotinus coggygria 'Royal Purple' / Royal Purple Smoke Tree	7 gal
	Liriodendron tulipifera 'Fastigiata' / Columnar Tulip Tree	1.5"Cal
SHRUBS	BOTANICAL NAME / COMMON NAME	SIZE
	Astilbe x arendsii 'Bridal Veil' / Bridal Veil Astilbe	1 gal
	Berberis thunbergii 'Orange Rocket' / Orange Rocket Barberry	21" Ht. min
	Brunnera macrophylla 'Silver Heart' / Siberian Bugloss	1 gal
	Chamaecyparis pisifera 'Golden Mop' / Golden Mop Threadleaf False Cypress	5 gal
	Evonymus japonicus 'Greenspire' / Greenspire Upright Evonymus	21" Ht. min
	Fatsia japonica 'Spiders Web' / Speckled Japanese Fatsia	5 gal
	Hakonechloa macra 'All Gold' / Japanese Forest Grass	1 gal
	Hakonechloa macra 'Aureola' / Golden Variegated Hakonechloa	1 gal
	Hosta x 'Fire and Ice' / Plantain Lily	1 gal
	Ilex crenata 'Sky Pencil' / Sky Pencil Japanese Holly	1 gal
	Imperata cylindrica 'Red Baron' / Japanese Blood Grass	1 gal
	Liriope muscari 'Big Blue' / Big Blue Lilyturf	1 gal
	Mahonia x media 'Charity' / Mahonia	5 gal
	Nandina domestica 'Fire Power' / Firepower Nandina	5 gal
	Sarcococca ruscifolia / Fragrant Sarcococca	1 gal
GROUND COVERS	BOTANICAL NAME / COMMON NAME	CONT
	Ajuga reptans 'Burgundy Glow' / Burgundy Glow Bugleweed	4"pot
	Pachysandra terminalis 'Silver Edge' / Japanese Spurge	4"pot
	Vinca minor / Common Periwinkle	4"pot



Japanese Spurge



Royal Purple Smoke Tree



Fragrant Sarcococca



Mahonia



Bridal Veil Astilbe



Sky Pencil Japanese Holly



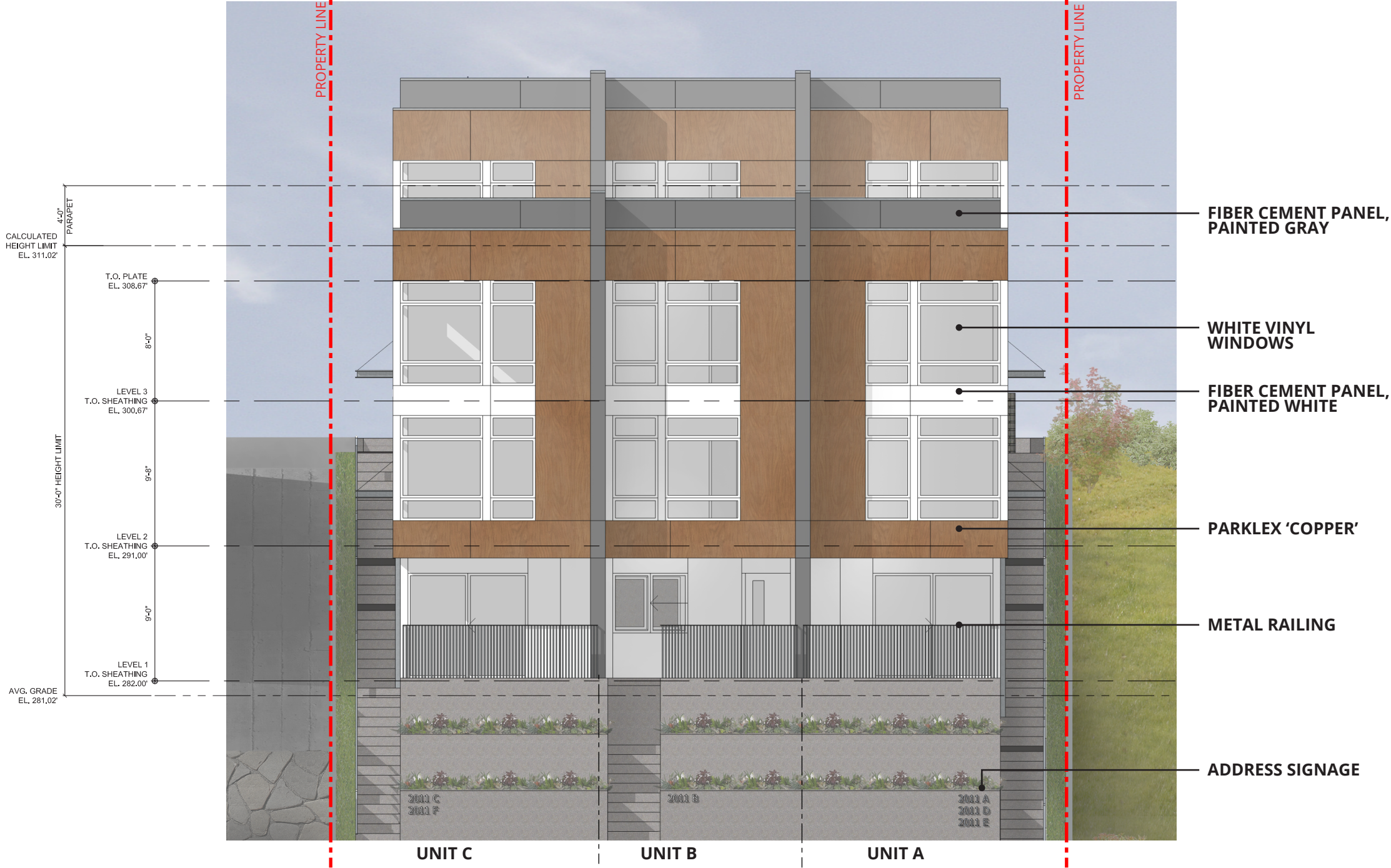
VIEW FROM 15TH AVE S
 (STREET TREES NOT SHOWN FOR CLARITY)



VIEW FROM ALLEY

EAST ELEVATION

SCALE: 1/8" = 1'-0"



PARKLEX 'COPPER'



PAINTED FIBER CEMENT
PANEL



WHITE VINYL WINDOWS

NORTH ELEVATION

SCALE: 1/8" = 1'-0"



PARKLEX 'COPPER'



PAINTED FIBER CEMENT PANEL

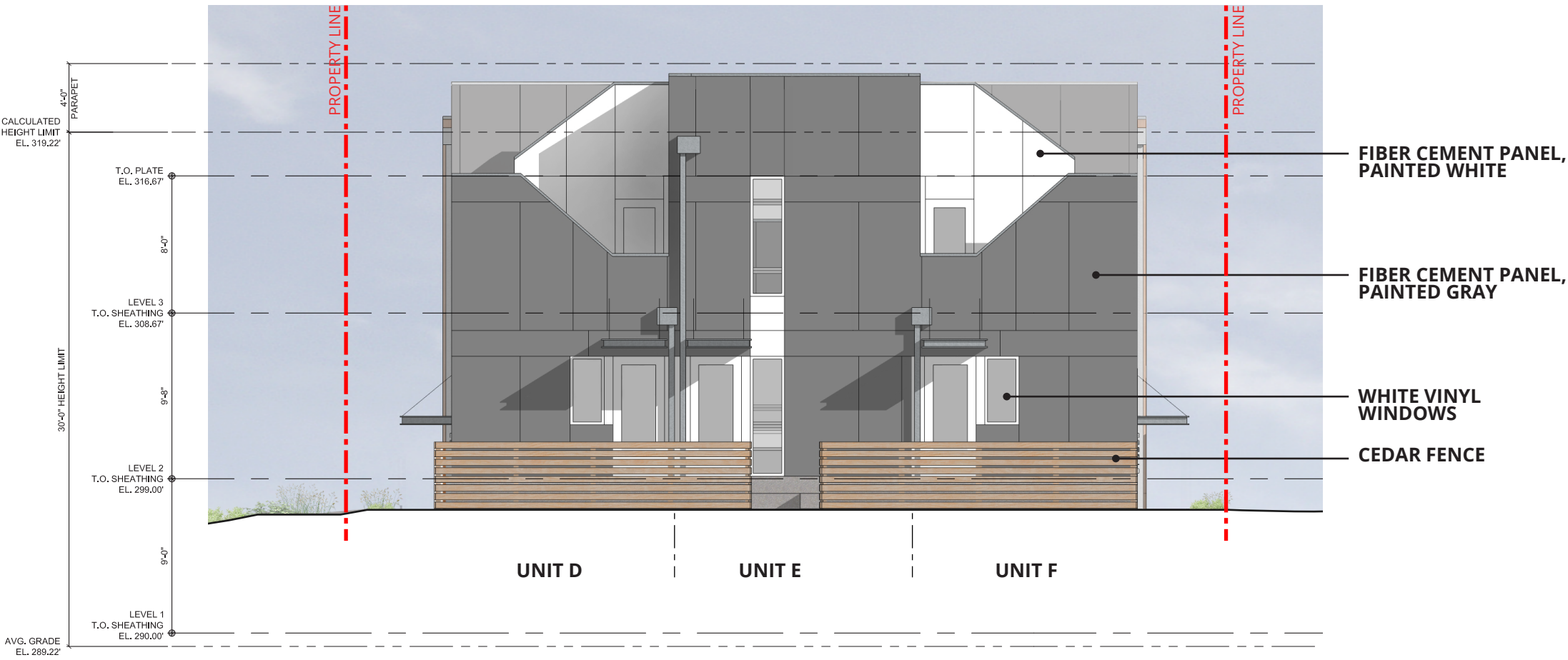


WHITE VINYL WINDOWS



WEST ELEVATION

SCALE: 1/8" = 1'-0"



PARKLEX 'COPPER'



PAINTED FIBER CEMENT PANEL



WHITE VINYL WINDOWS

SOUTH ELEVATION

SCALE: 1/8" = 1'-0"



PARKLEX 'COPPER'



PAINTED FIBER CEMENT
PANEL

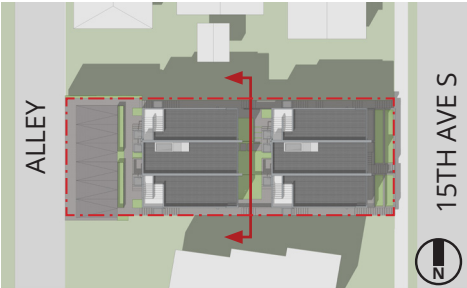


WHITE VINYL WINDOWS



INTERIOR EAST ELEVATION

SCALE: 1/8" = 1'-0"



PARKLEX 'COPPER'

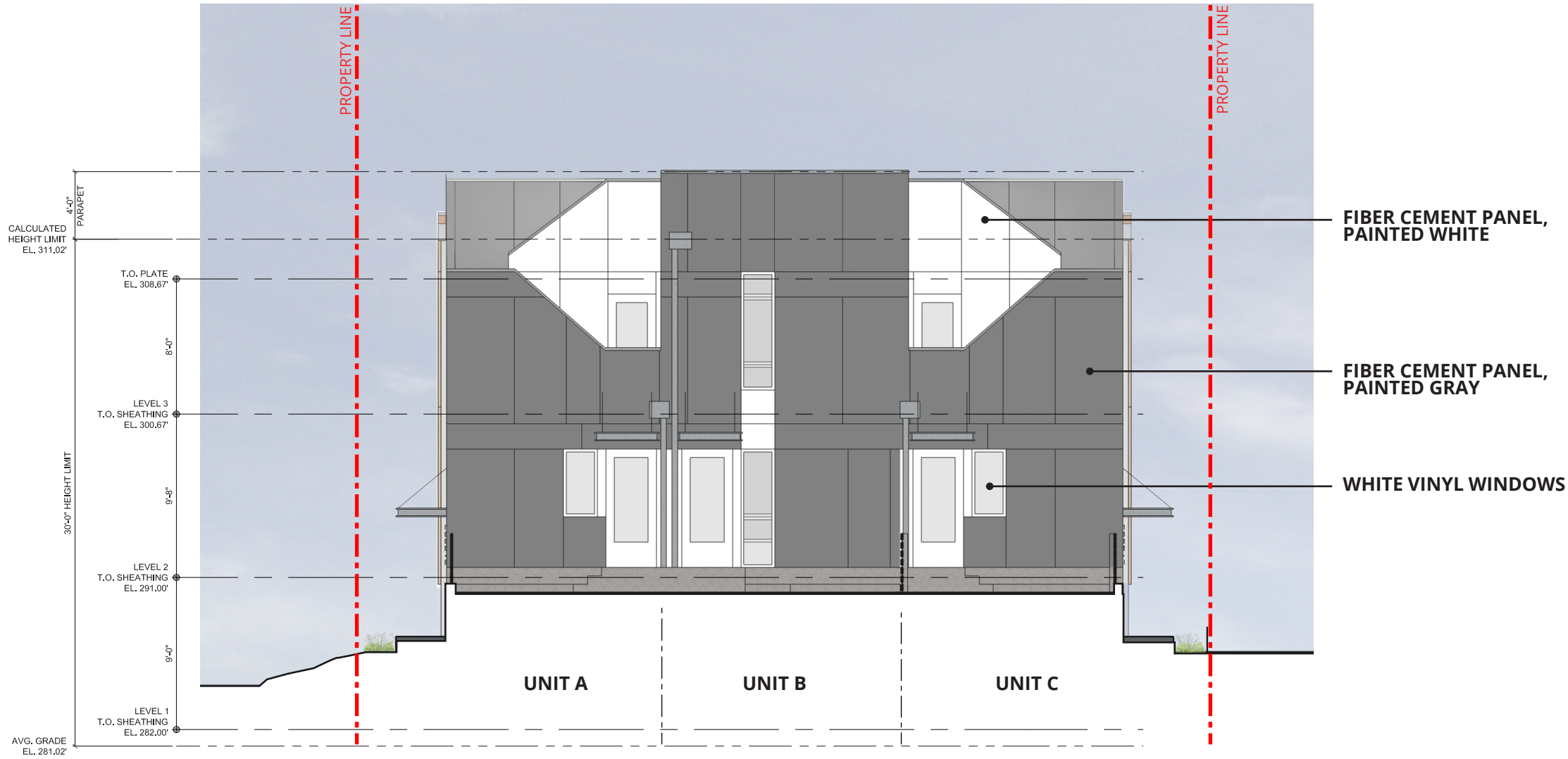


PAINTED FIBER CEMENT
PANEL



WHITE VINYL WINDOWS

INTERIOR WEST ELEVATION
SCALE: 1/8" = 1'-0"



PARKLEX 'COPPER'



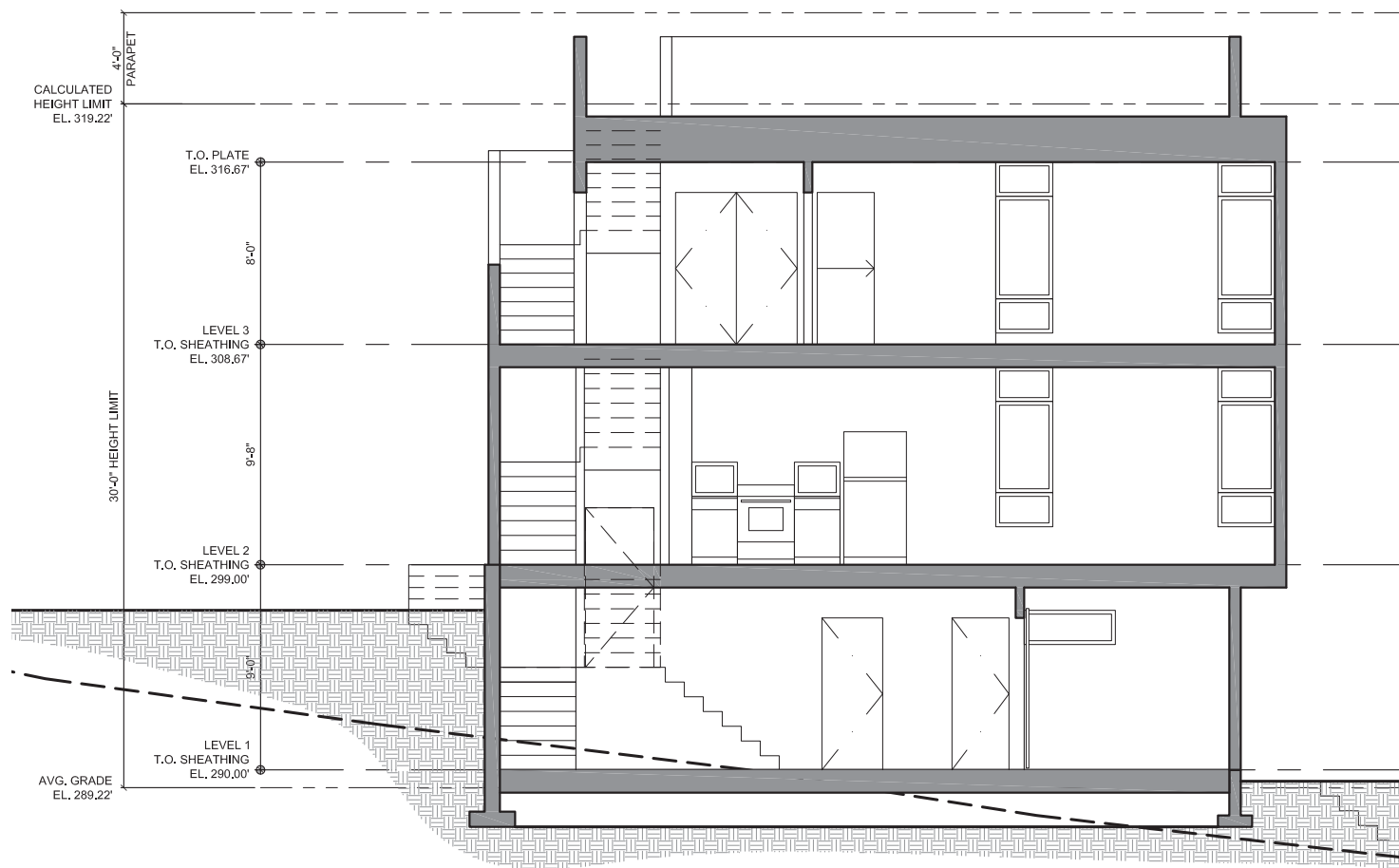
PAINTED FIBER CEMENT
PANEL



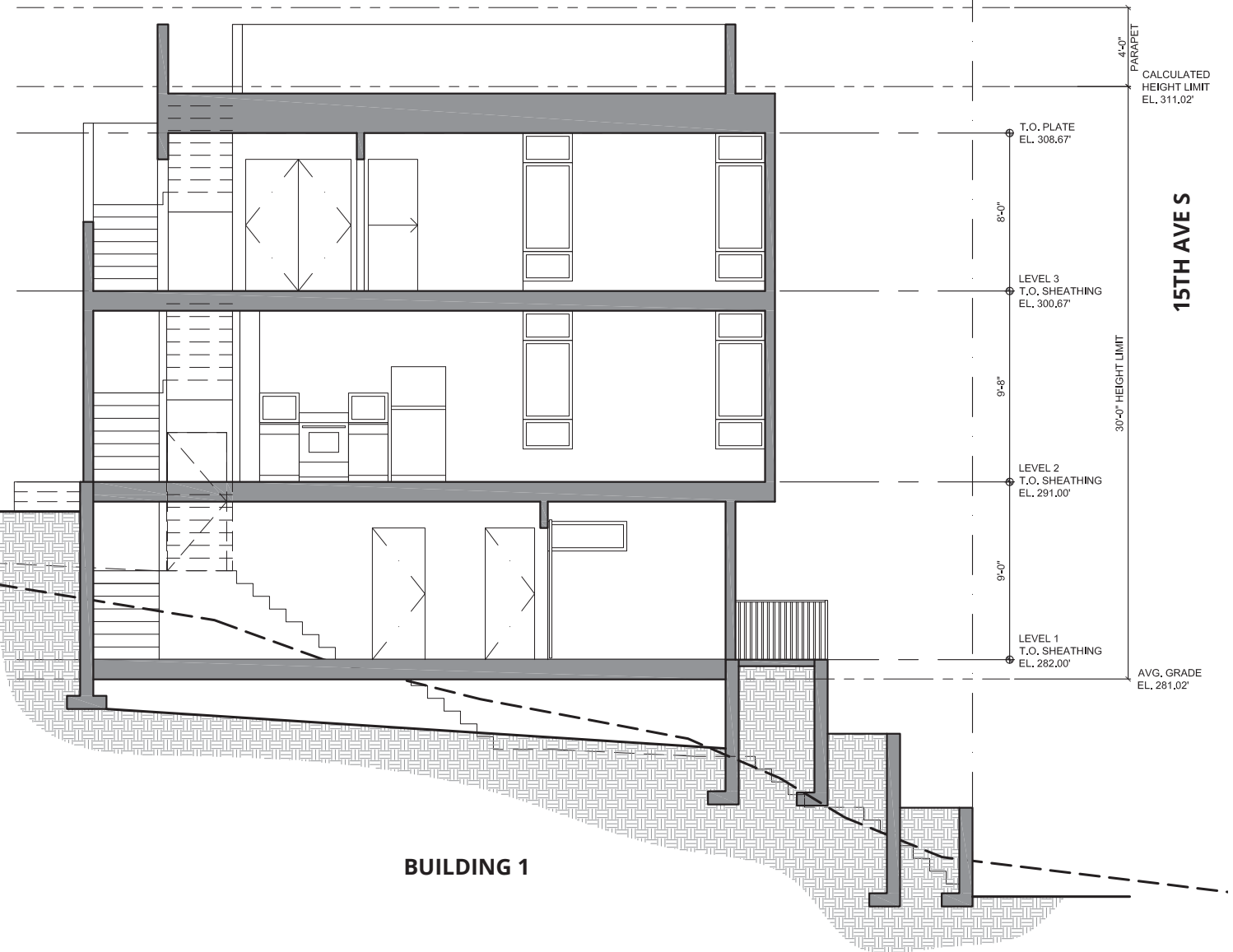
WHITE VINYL WINDOWS



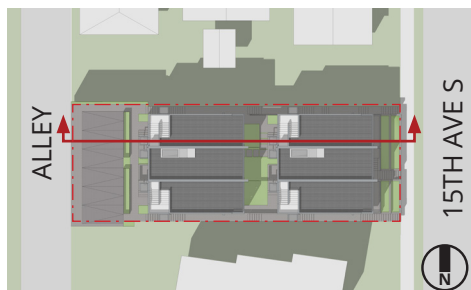
ALLEY



BUILDING 2



BUILDING 1



SECTION A

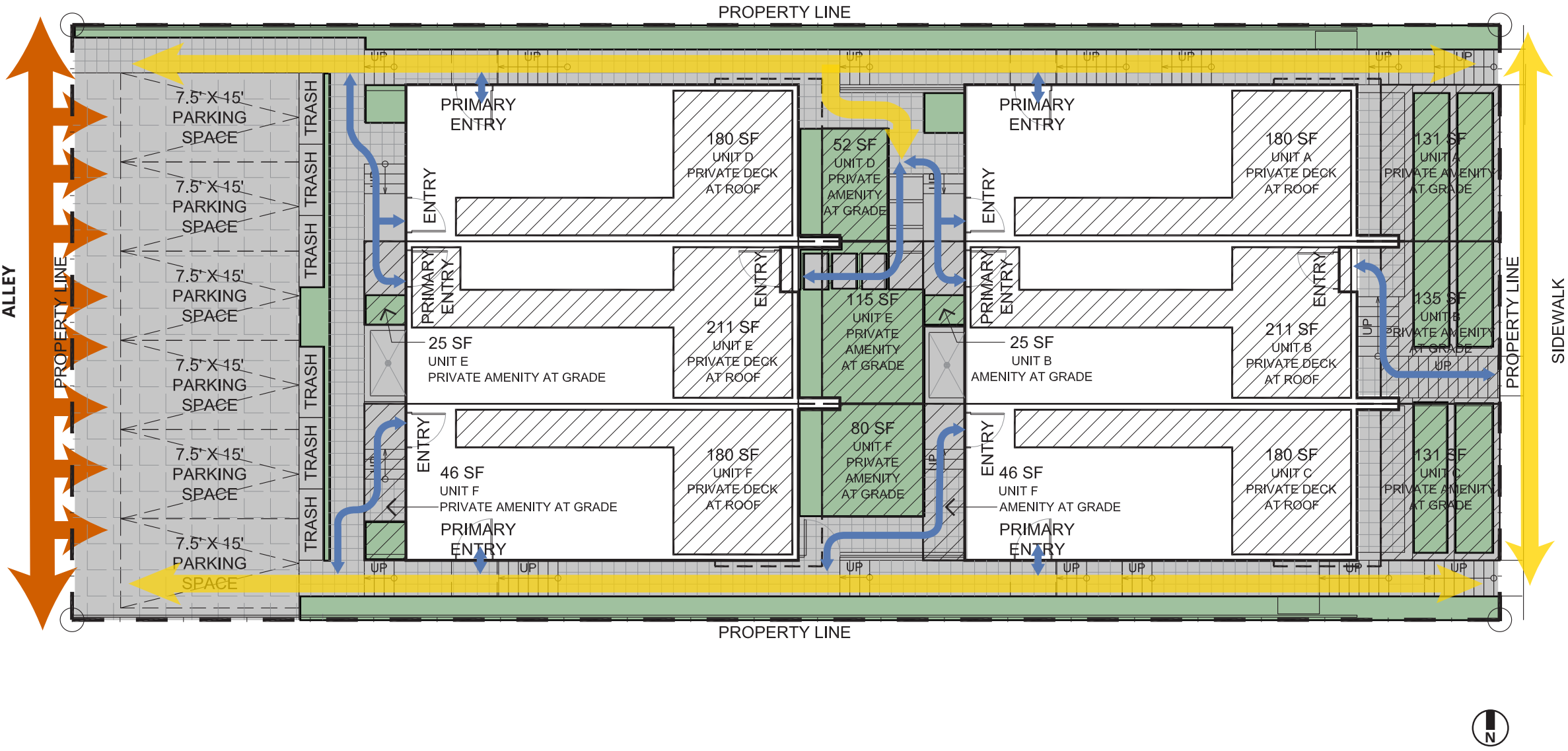
SCALE: 1/8" = 1'-0"

AMENITIES / CIRCULATION

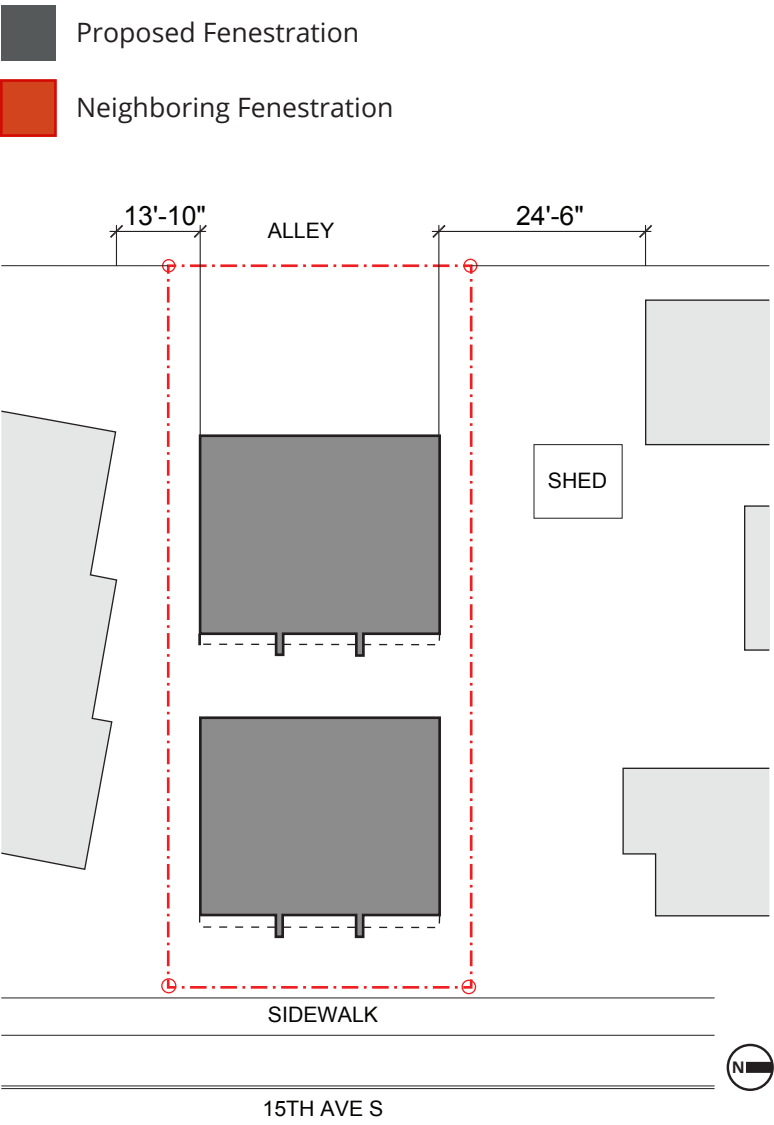
Access to the units from 15th Ave S and the alley is through paved paths running east-west with a courtyard in the center of the two triplexes. The pathways are paved with permeable pavers and are generously landscaped. Steps mitigate grade change throughout the site, and create transitional thresholds from the sidewalk to the site and to the unit entries.

AMENITY AREA			
PER SMC			
23.45.522			
AMENITY AREA REQUIRED:			
amenity area equal to 25% of lot area			
	LOT AREA	6,007	
	25%	1,502	
Amenity area to be provided at grade			
	AMENITY AREA	1,502	
	50%	751	
PRIVATE AMENITY PROVIDED:			
UNIT	AT GRADE	ROOF DECK	TOTAL
A	131	180	311
B	160	211	371
C	177	180	357
D	52	180	232
E	140	211	351
F	126	180	306
TOTAL			1928
TOTAL @ GRADE			786

- ALLEY CONNECTION
- PRIMARY PEDESTRIAN CIRCULATION
- PRIVATE ENTRY
- PLANTING
- PRIVATE AMENITY AREA



PRIVACY DIAGRAM
Overlapping fenestration was minimized with adjacent buildings to maintain privacy.



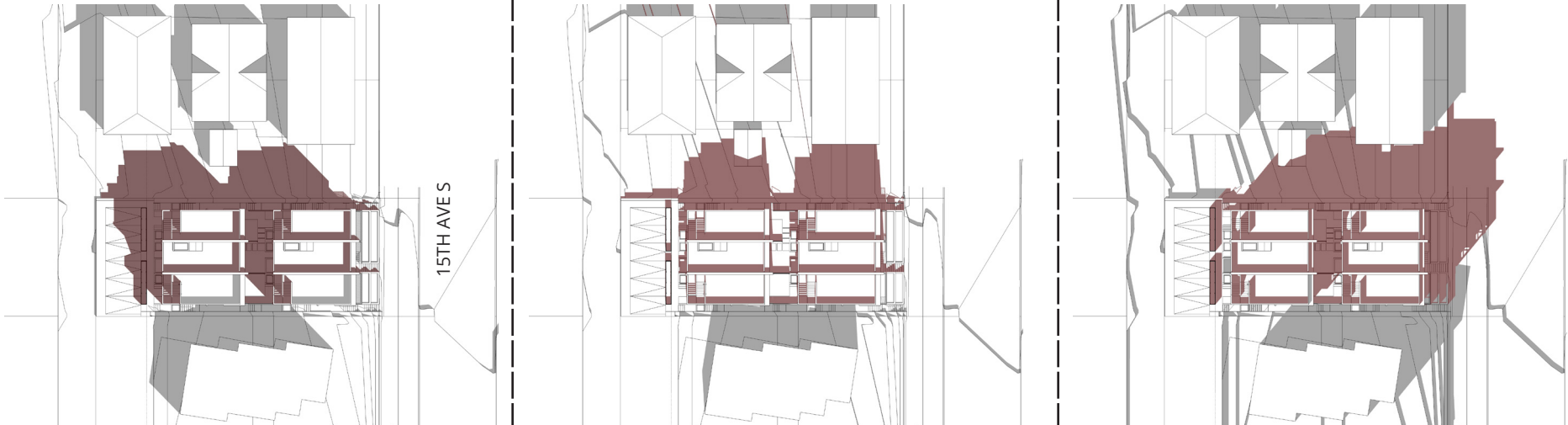
NORTH ELEVATION



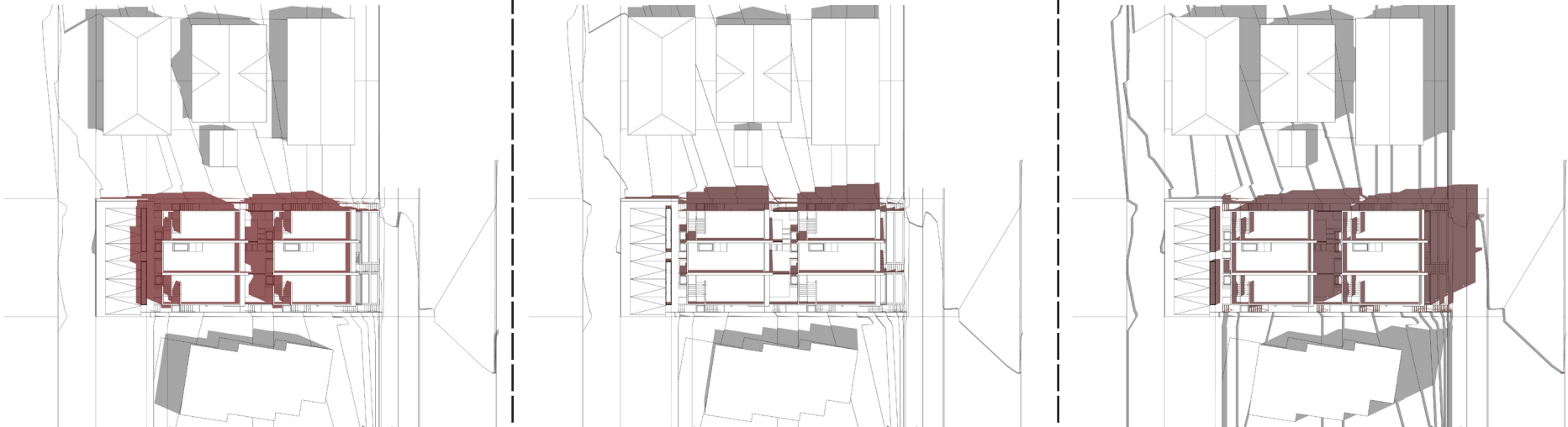
SOUTH ELEVATION

SUN PATH / SHADOW STUDY

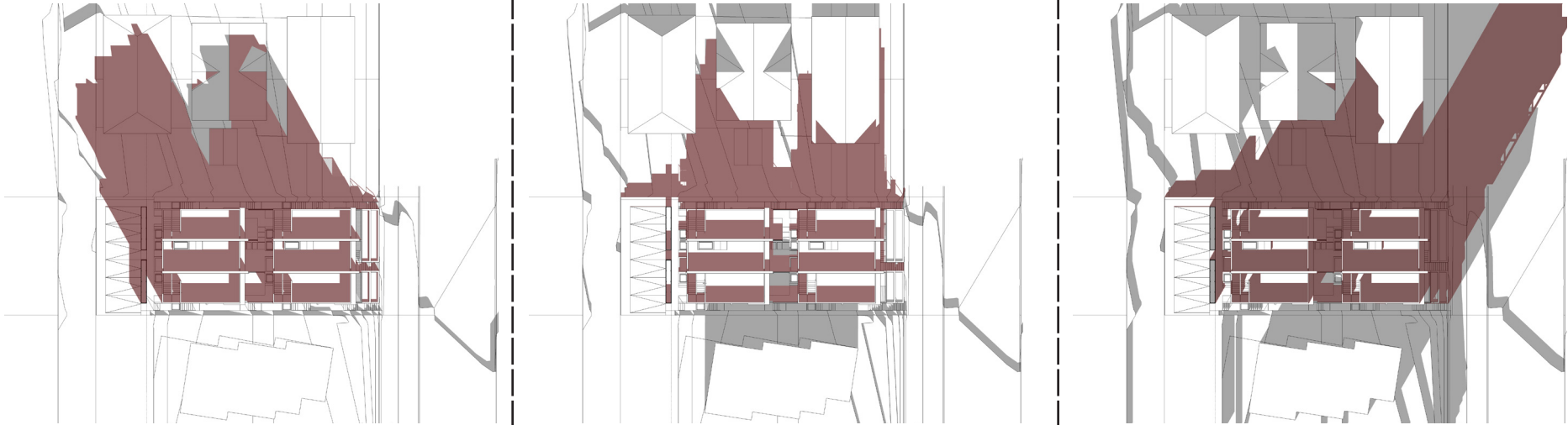
SPRING / FALL EQUINOX



SUMMER SOLSTICE



WINTER SOLSTICE

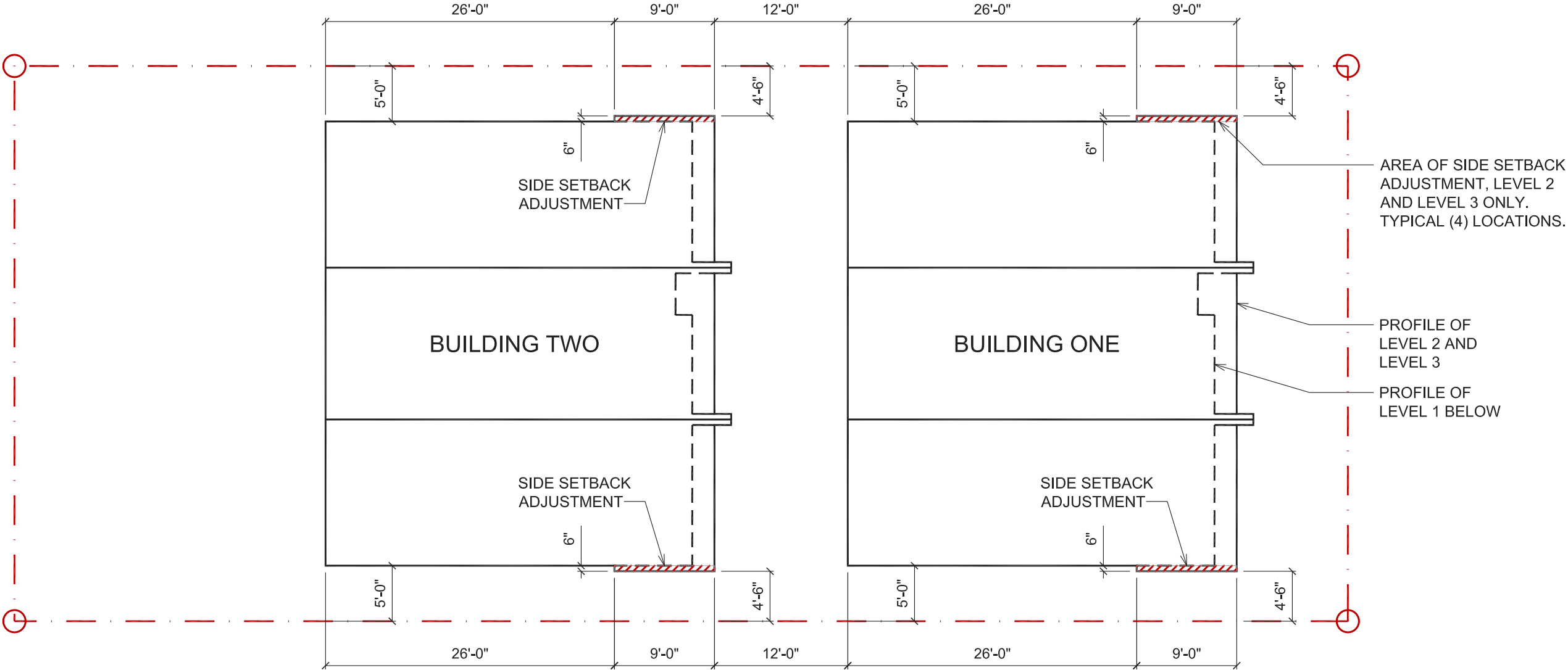


10AM

12PM

2PM

ADJUSTMENT DIAGRAM

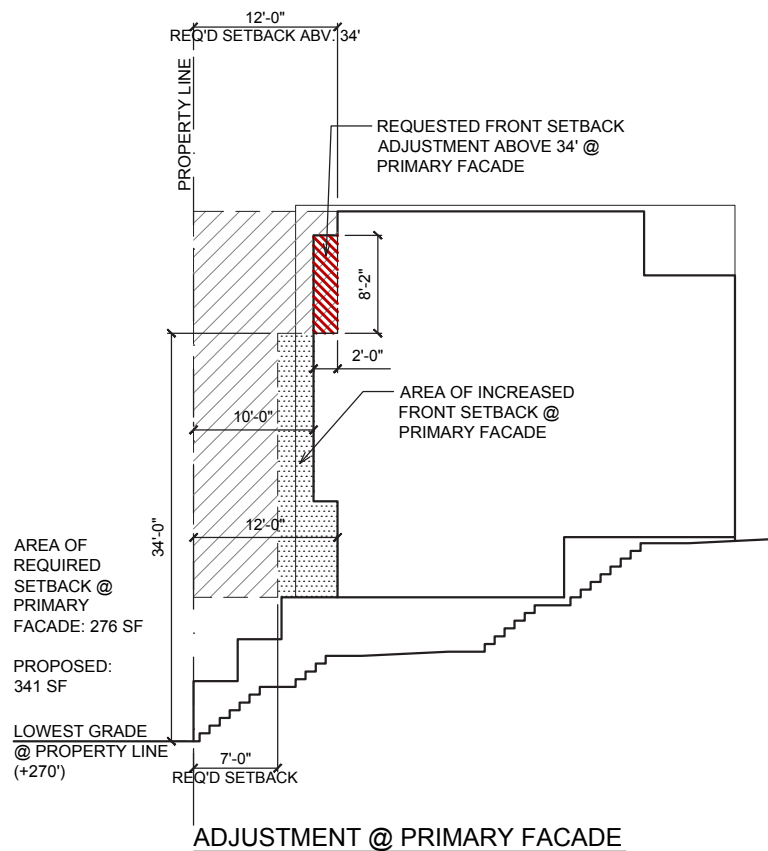
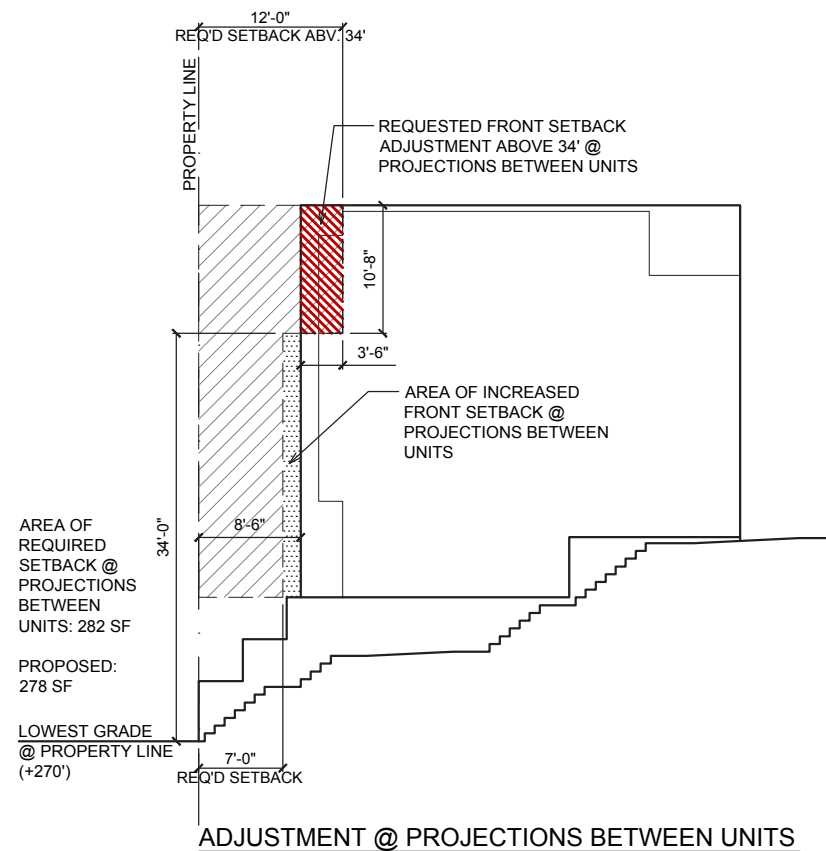


REQUESTED SIDE SETBACK ADJUSTMENT

In an effort to provide more articulation at the sides and corners of the buildings, we request an adjustment to SMC 23.45.518.A, Required Setbacks for LR Zones. The requested Side Setback Adjustment reduces the setback from 5'-0" to 4'-6". This is a 10% reduction of the required Side Setback, Streamlined Design Review allows for a maximum 50% reduction. The requested adjustment is limited to four locations, at the southeast and northeast corners of both buildings. Level 1 still maintains a full 5'-0" side setback, the 6" reduction is limited to Level 2 and Level 3. The reduced setback area is also limited to 9'-0" in width, the remaining 26'-0" wall length of each building maintains the full 5'-0" required setback. The reduced setback does not allow for more floor area, rather the wall is thickened, similar to other projections permitted in side setbacks such as garden windows, cornices, or chimneys. The thickened wall also increases privacy for the spaces inside as well as for adjacent properties. The aesthetic intent of the projection into the side setback is to reinforce the cantilevered articulation at the east face of the buildings by bringing that articulation around to the sides of the buildings, and to avoid in-plane material transitions.

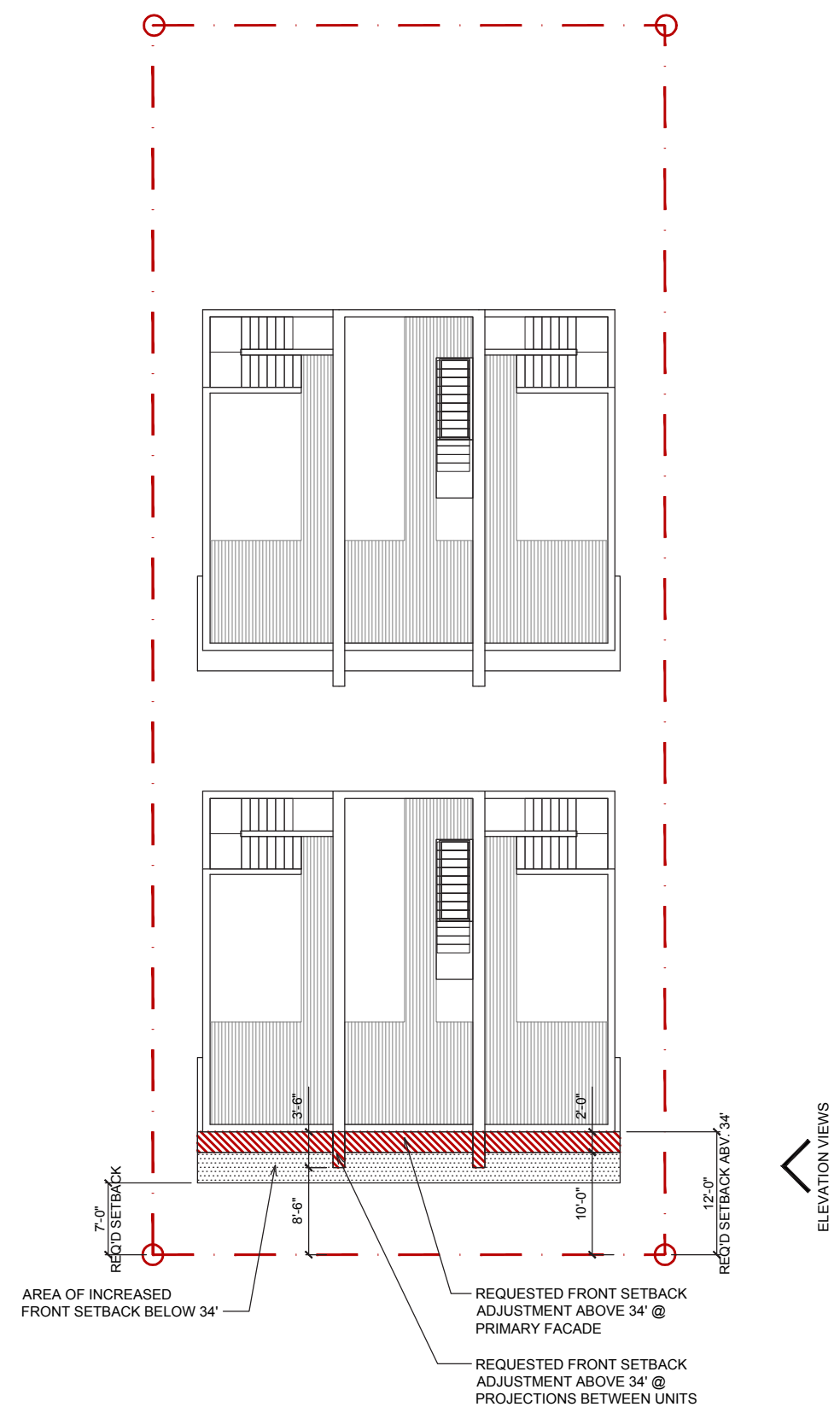
ADJUSTMENT AREA





REQUESTED UPPER LEVEL FRONT SETBACK ADJUSTMENT

Per SMC 23.45.518.L, the upper level front setback requirement for buildings with a 30' height limit is 12 feet above a height of 34 feet. To create a more pleasing architectural composition per Seattle Design Guideline DC2B, Architectural and Facade Composition, we are requesting an adjustment to this setback requirement. The requested adjustment reduces the setback from 12'-0" to 10'-0" at the primary facade of the units and from 12'-0" to 8'-6" at the projections between units. This is a 17% reduction at the primary facade and a 30% reduction at the projections, Streamlined Design Review allows for a maximum 50% reduction. The 30% reduction at the projections is limited to the 1' wide vertical projections at two locations. Levels 1 and 2 have increased front setbacks, compensating for the requested reduced setback. Overall, taking all front setbacks into consideration, on average the front setback is larger than required. The requested adjustment merely distributes the front setback differently to create a better Architectural Facade Composition per Guideline DC2B.



ADJUSTMENT @ LEVEL 3 / ROOF LEVEL



ZONING STANDARDS

ZONING: LR2

SMC	REQUIREMENT	PROPOSED
23.45.504	Permitted and Prohibited Uses	Residential use permitted outright.
23.45.510	Floor Area Ratio (FAR) Limits Per Table A 23.45.510, FAR for townhouses in an LR2 zone outside an Urban Center/Village is 1.0 or 1.2 if the project meets the standards of subsection 23.45.510.C.	Project to meet 23.45.510.C, so it is eligible for the higher FAR of 1.2. Lot Area: 6,007 SF Max Floor Area Allowed: 7,208 SF (6,007 X 1.2) Proposed: 7,175 SF
23.45.510.C	C.1. The structure will meet green building performance standards by earning LEED Silver rating or a Built Green 4-Star rating. C.2. Alley Improvements Required. C.3-4. Parking Location and Access.	Proposed: Built Green 4-Star Parking area located at the rear of the lot, behind all structures, and accessed from the alley (6 spaces). The currently unpaved alley will be paved as part of this project.
23.45.512	Density Limits No density limit if project meets 23.45.510.C.	Compliant: 6 dwelling units proposed, project to meet 23.45.510.C.
23.45.514	Structure Height Maximum 30' height limit, with exceptions for sloped roofs, overhangs, and parapets.	Compliant: See elevation and section drawings with height diagram.
23.45.518	Setbacks and Separations Front: 7' Average, 5' Minimum, and 12' Minimum above 34'; Rear: 7' Average, 5' Minimum; Side: 5'; Separations Between Structures: 10' Minimum.	Front Setback, Rear Setback, and Separations Between Structures are compliant, Side Setback and Upper Level Front Setback adjustments are proposed, see the Site Plan on page 9 and see Adjustments, pageS 28-29.
23.45.522	Amenity Area 25% of lot area req'd, 50% at ground level, minimum. 6,007 SF x 25% = 1,502 SF required. 1,502 x 50% = 751 SF required at ground level.	Compliant: 1,928 SF total proposed, 786 SF at ground level.
23.45.524	Landscaping Minimum 0.6 Green Factor required, street trees required.	Compliant: Green Factor greater than 0.6 proposed, existing street trees to remain.
23.45.527	Structure Width and Facade Length Limits Maximum Width 90', Maximum Facade Length: 65% of lot line, 120' x 65% = 78'-0" maximum facade length.	Maximum Structure Width: 41', Compliant. Maximum Facade Length: 70', Compliant.
23.54.015	Required Parking No parking required, site is within 1320' of Frequent Transit service and within an Urban Village.	Compliant: 6 small parking spaces provided.
23.54.040	Solid Waste Storage and Access One 2'x6' storage area per dwelling unit required.	Compliant: (6) 2'x6' storage areas proposed.

PRIORITY GUIDELINES

CS1. Natural Systems and Site Features

D. Plants and Habitat:
Plants are chosen for their adaptation to the regional climate and to provide year round interest.

CS2. Urban Patterns and Form

B. Adjacent Sites, Streets, and Open Spaces:
A strong connection to the street is formed through the use of stairways informed by the site topography as well as planted terraces. All street facing units have decks that overlook the sidewalk. Windows are placed to minimize privacy conflicts with adjacent properties.

CS3. Architectural Context and Character

A. Emphasizing Positive Neighborhood Attributes:
The townhouse typology matches the evolving eclectic district of old and new, SFR and multifamily. Building articulation clearly defines individual units and breaks down overall massing, creating a scale in keeping with the existing context.

PL2. Walkability

D. Wayfinding:
Project wayfinding is provided through multiple means including signage, entry landings, stoops, and canopies. Private amenity areas are defined through fences, pathways, and plantings. Pathway lighting to be provided.

PL3. Street Level Interaction

A. Entries:
Primary entries are clearly defined through and ensemble of elements including signage, canopies, landings, and stoops.

PL4. Active Transit

B. Planning Ahead for Bicycles:
(2) Bike parking spaces are provided, 1 required per code.

DC1. Project Uses and Activity

B. Vehicular Access and Circulation:
All vehicular access is from the alley and pedestrian access is oriented towards 15th Ave S. Locating the parking at the alley minimizes its visual impact, and the parking will be screened from adjacent properties. Pedestrian and vehicular circulation are differentiated through the use of distinct paving.

DC2. Architectural Concept

B. Architectural and Facade Composition:
The facade has been carefully arranged and articulated to create a balanced composition. High quality materials are employed on the front facades and wrap to the sides to present a pleasant facade to the street, common spaces, and adjacent properties.
C. Secondary Architectural Features.:
Secondary features such as fins, bays, and canopies are used to add visual depth and interest.
D. Scale and Texture:
Elements such as the windows, finish textures, paving, courtyard, site walls, plantings, canopies, railings, stoops and landings serve to create a human scale and add a finer grain of texture to the project.

DC3. Open Space Concept

B. Open Space Uses and Activities:
The project provides a variety of open spaces from more enclosed and intimate stoops and courtyard spaces to large sunny roof decks. The street facing units have decks overlooking the sidewalk, creating a relationship with the street. The courtyard and pathways provide opportunities for social interaction.

DC4. Exterior Elements and Materials

A. Exterior Elements and Finishes:
Exterior materials include Parklex and fiber cement panels, both of which are highly durable. Parklex is used on the front facades to give the buildings a warmer, softer aesthetic.



A



B



C



D



E



F

RECENT WORK

S+HWorks
ARCHITECTURE & DESIGN

- A** ONEONE6
116 13TH AVE E / SEATTLE, WA
- B** 5902 BALLARD
5902 22ND AVE NW/ SEATTLE, WA
- C** 225 HOME
225 27TH AVE E / SEATTLE, WA

- D** 2418 BALLARD
2418 NW 58TH ST / SEATTLE, WA
- E** 11219 TOWNHOMES
11219 GREENWOOD AVE N / SEATTLE, WA
- F** 2429 TOWNHOMES
2429 8TH AVE N / SEATTLE, WA