



206 22nd Ave Seattle, Washington

DESIGN GUIDANCE PROPOSAL
206 22nd Ave, Seattle, Washington
Playhouse Design Group
DPD# 3018950 | December 16, 2014



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PROJECT INFORMATION

ADDRESS: 206 22nd Ave, Seattle, WA 98122
 ZONE: LR2
 DPD #s: 3018950 / 6434238
 APN: 982670-1765
 OWNER: Green Build Development, LLC
 CONTACT: Akasha Whoolery

PROJECT PROGRAM

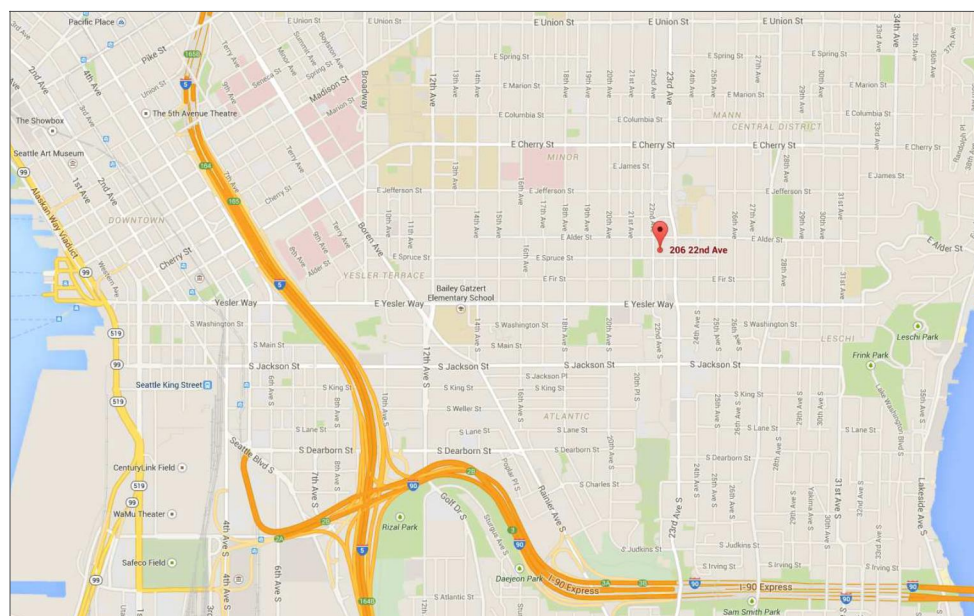
BUILDING TYPE: Townhouses (2 triplexes)
 UNIT COUNT: 6 (3 in each structure)
 UNIT SIZES: Approx 1400 SF + 200 SF garage
 # OF STORIES: 3 + stair tower
 PARKING: 6 in garages
 APPROX FAR: 9163 proposed, 9208.8 allowed
 (Far 1.2 used) 4-Star Built Green
 LOT SIZE: 7,674 SF

PROJECT OBJECTIVES

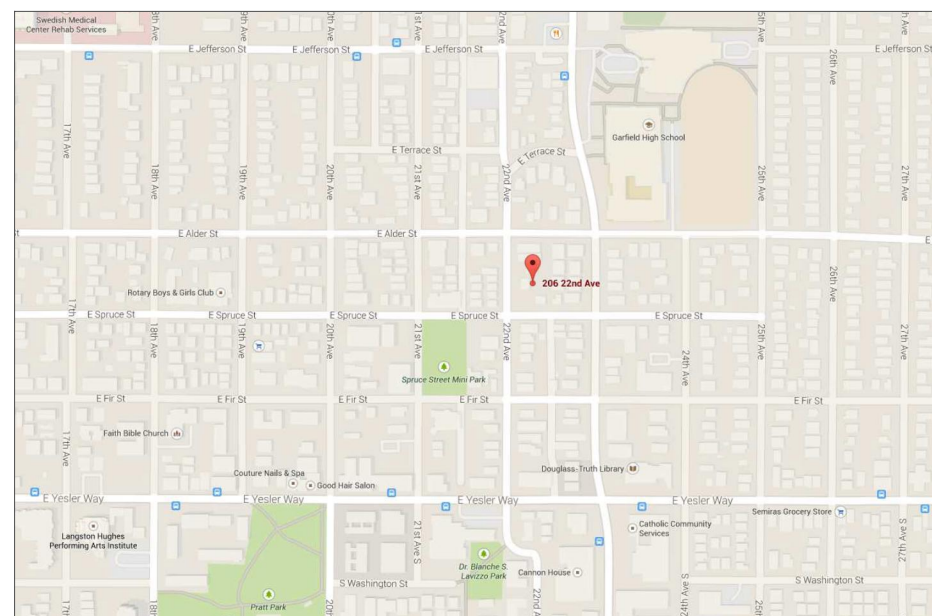
The proposed site's current use is a single family residence. The lot is approximately 7,674 sf located mid-block between E Alder St and E Spruce St in an LR2 zone. This is within the 23rd & Union - Jackson Residential Urban Village and in a frequent transit corridor. This proposal is to demolish the existing single family structure and to construct 2 structures, each with 3 townhouses (total 6 units). Each of the proposed townhouses will be 3 stories with a roof deck and an attached garage. All units will be under the allowable height limits with stair towers to roof decks. See pages 10 & 12 for the square footage of each proposed unit.

The proposed project will achieve a 4-star Built Green certification to maximize building sustainability and performance.

The 23rd & Union - Jackson Residential Urban Village is a diverse area of increasing density with many neighborhood shops, dining and services within walking and biking distance. We are proposing a pedestrian friendly design (through the use of engaging shapes, color and abundant tiered landscaping). This proposal will increase the density to what it is zoned for which will replace a currently uninhabitable residence. Quality construction and landscape design will add to the sense of community with a modern architectural solution.



Seattle Vicinity Map



Neighborhood Vicinity Map

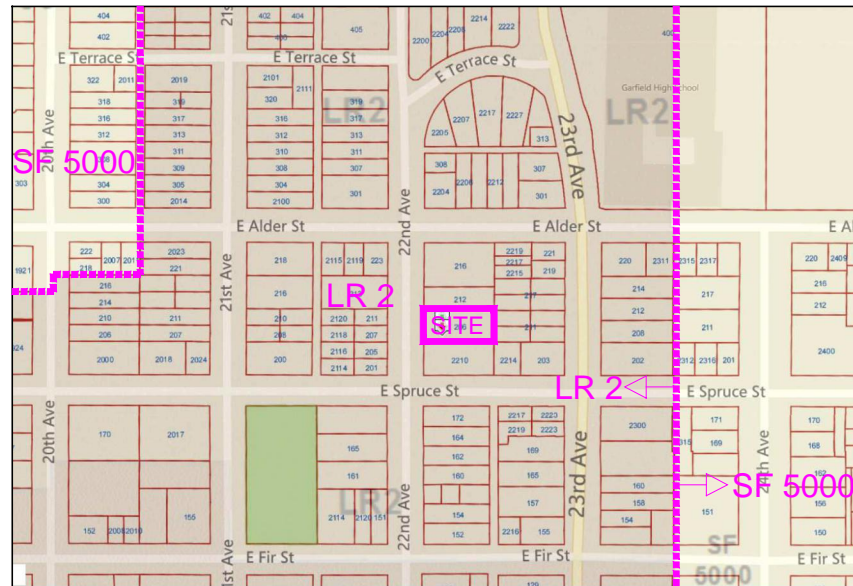


PROJECT CONTEXT

To the north and south of the subject property are single family residences. To the east are townhouse duplexes off 23rd Ave. The SFR to the north has a bunker garage with an entry off of 22nd Ave. The SFR to the south has a detached garage with its entrance off E Spruce St.

Businesses and amenities are scattered throughout the neighborhood but concentrated along the arterials of 23rd Ave and E Yesler Way. The neighborhood is served by frequent transit which links it to the greater Seattle Metropolitan Area. The nearest arterial streets are 23rd Ave and E Yesler St. The primary use of 22nd Ave is as a residential street to access local residences in the neighborhood.

The grade on the site slopes to the west toward 22nd Ave. The property has territorial views to the west with views of downtown northwest. The grade across the lot drops about 22' in elevation to 22nd Ave.



Seattle Zoning Map



Aerial Vicinity Map

ZONING INFORMATION

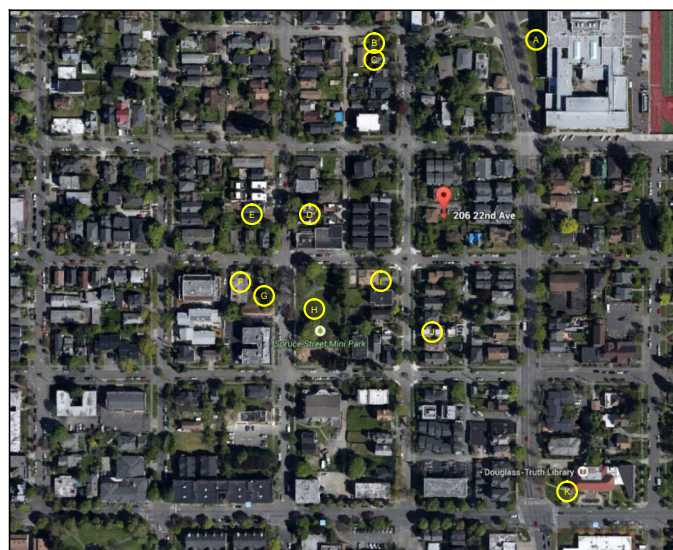
ZONE: LR2
OVERLAY: 23rd & Union-Jackson Residential Urban Village
STREETS: 23rd Ave and E Yesler St are arterials
SITE: Located on Lot 3 on 22nd Ave between E Alder and E Spruce St.
 In an lowrise 2 zone with surrounding lots also within the lowrise 2 zone. Lot is served by frequent transit and located within the 23rd & Union-Jackson Residential Urban Village.

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NEIGHBORHOOD CONTEXT & INSPIRATION:

This neighborhood is comprised of a mix of residential buildings - single family residences, townhouses & apartments. The neighborhood also includes a variety of businesses and amenities. Schools, parks, bike paths, grocery, religious institutions, library, day care, coffee shops and many other small businesses are available within walking distance. The architectural styles present in the neighborhood are diverse including traditional, craftsman, contemporary, modern etc. The modern design of the proposed buildings fit into the existing eclectic mix of styles.



VICINITY MAP

- A Garfield High School

- B 2153-2199 E Terrace St - Rowhouses

- C 402 22nd Ave - (3) SFR

- D 204 - 210 21st Ave - (4) SFR

- E 207 & 211 21st Ave - (2) SFR

- F 2017 E Spruce - Rowhouses

- G 155 21st Ave - Rowhouses

- H Spruce Street Mini Park

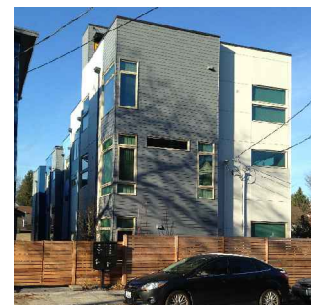
- I Community Day Center for Children

- J 154-160 22nd Ave - (3) SFR

- K Douglas - Truth Library



(A) Garfield High School



(B) Modern design w/ use of blue, grey & white Hardie Panel siding (sheets and horizontal)



(C) Modern design w/ use of blue & grey Hardie Panel sheets



(D) Modern design w/ use of wood & Hardie Panel sheets



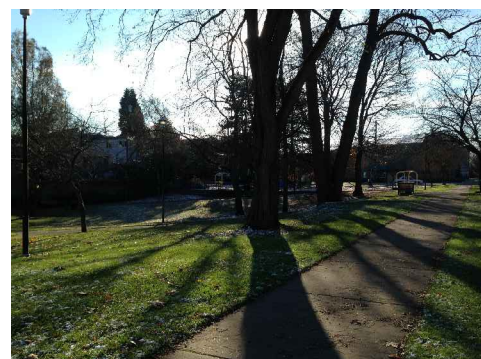
(E) Modern design w/ use of wood & Hardie Panel sheets



(F) Modern design w/ use of white Hardie Panel siding (sheets & horizontal)



(G) Modern design w/ use of wood & Hardie Panel sheets



(H) Local Park - Spruce St



(I) Community Day Center for Children



(J) Modern design w/ use of wood, white & grey Hardie Panel sheets w/ layered conc planters



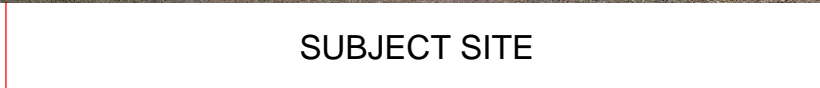
(D) Branch Library - Douglas-Truth

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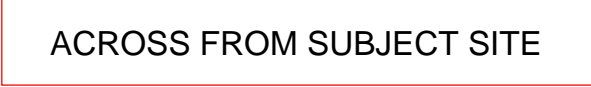




EAST STREET VIEW PANORAMA 22nd AVE



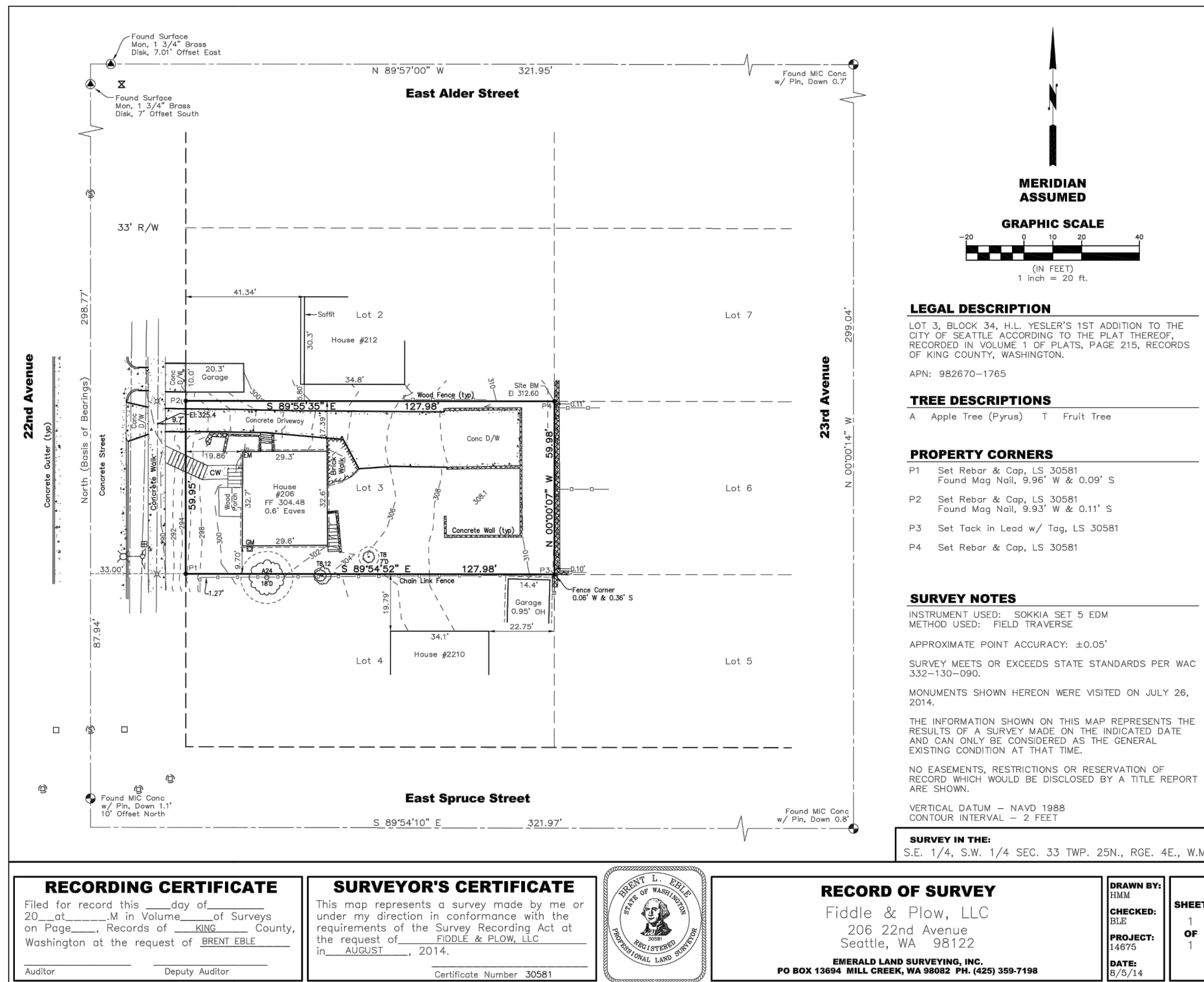
SUBJECT SITE



ACROSS FROM SUBJECT SITE

WEST STREET VIEW PANORAMA 22nd AVE

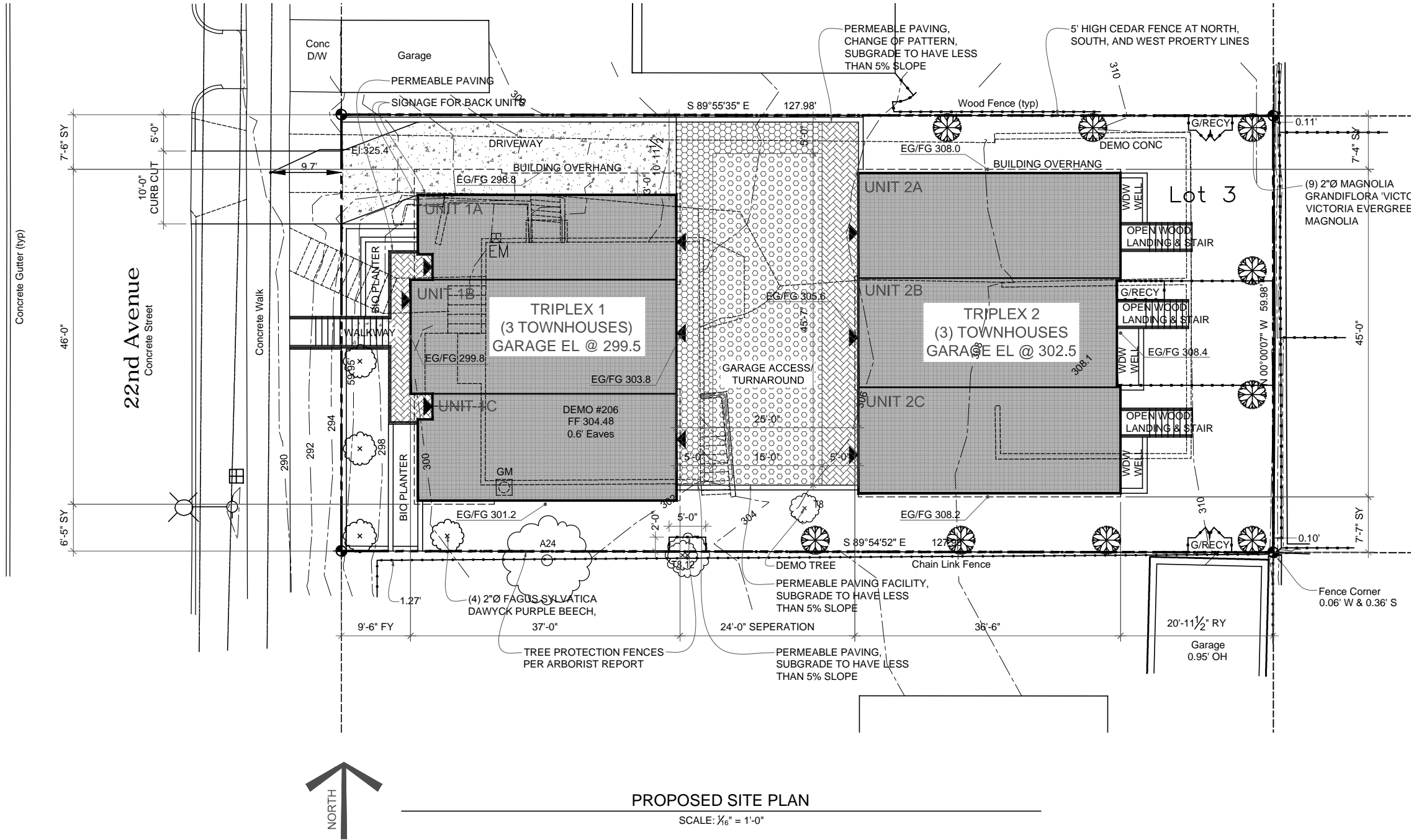




SURVEY

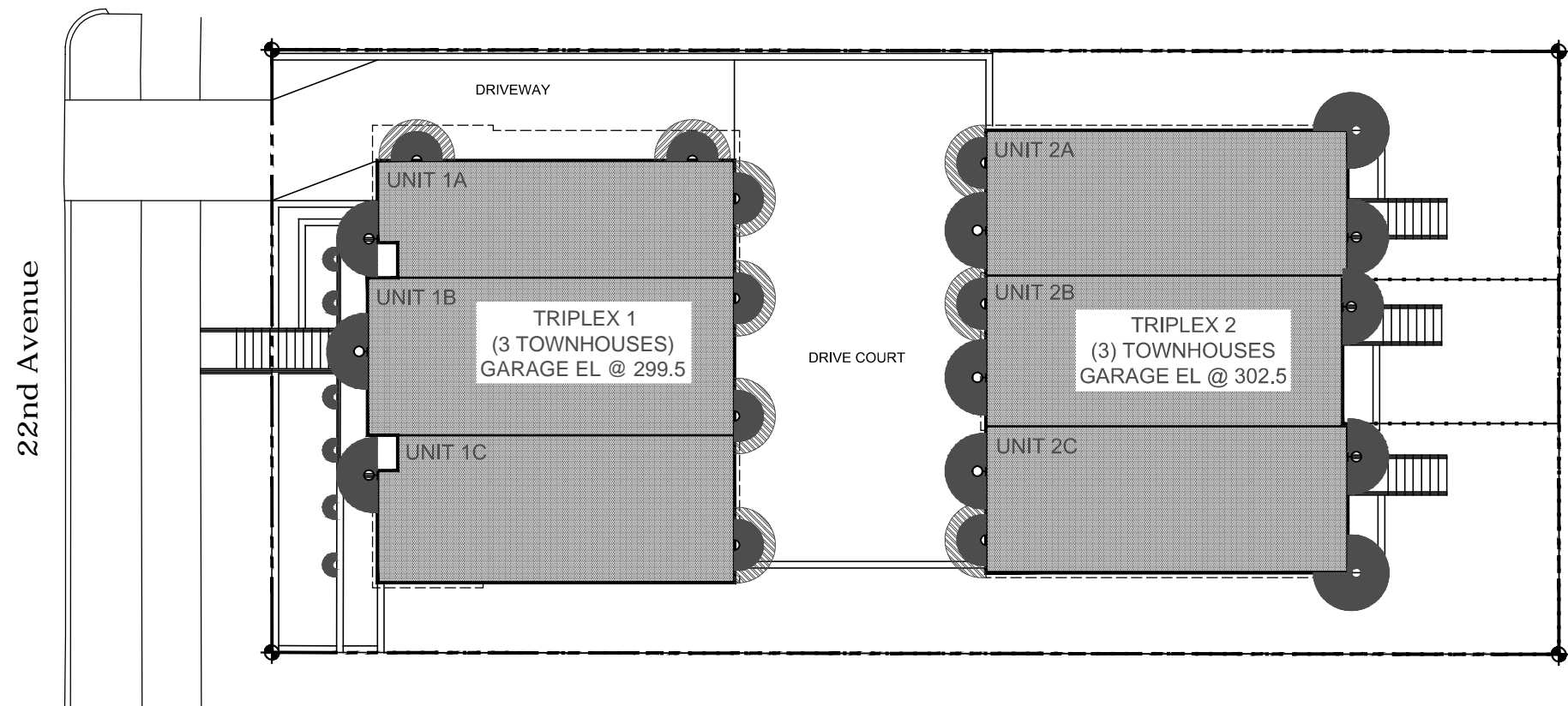
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LEGEND

-  Outdoor Energy Efficient, Cool to the touch, LED recessed lights, its evolution as provider of artful illumination
-  Progress Lighting 5" Gray Incandescent Cylinder Outdoor Wall Lantern
-  Outdoor wall light, automatic on at dark, brighter w/ motion sensor w/ baffle to light down only.

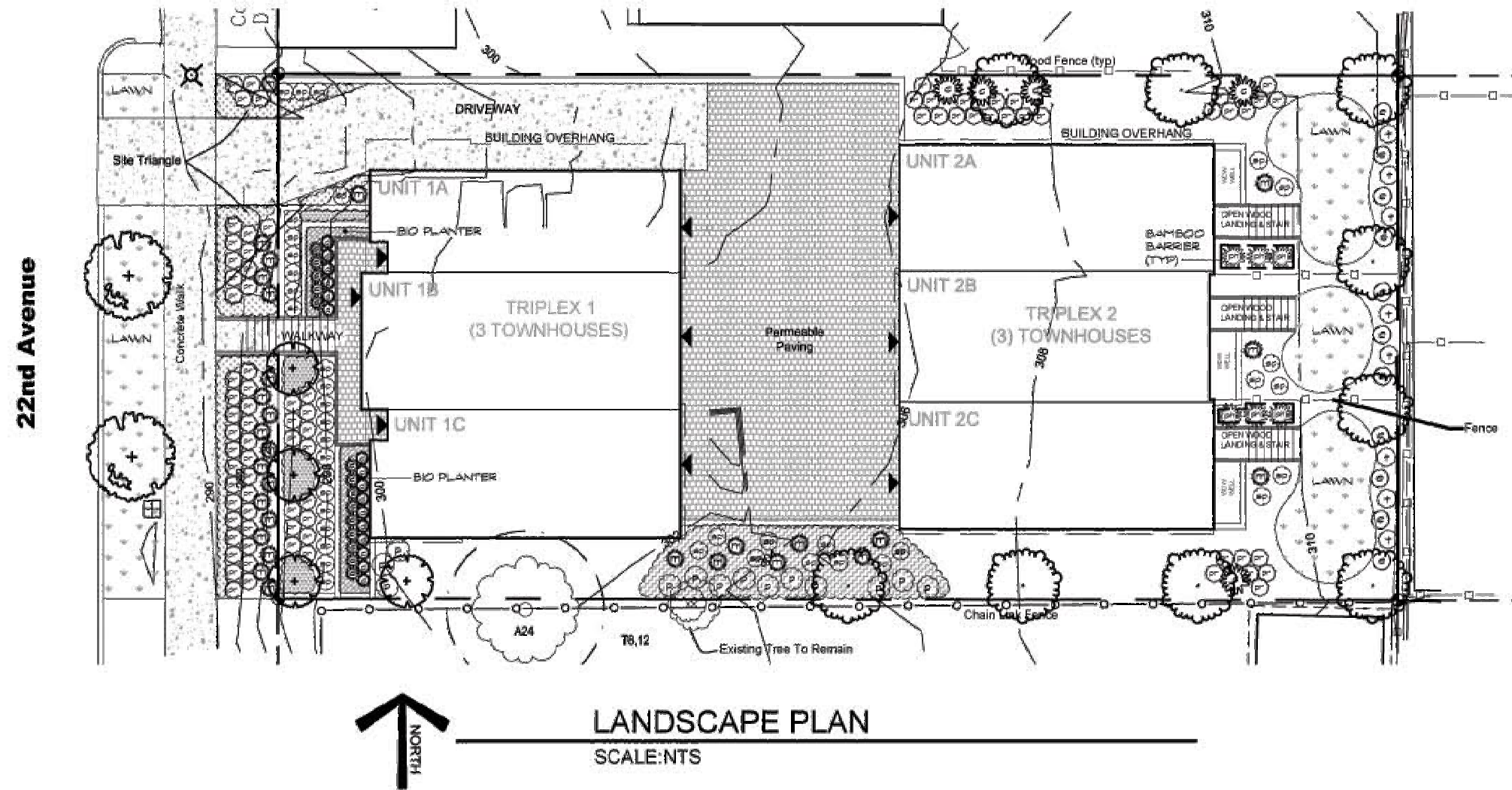


PROPOSED OUTDOOR LIGHTING PLAN

SCALE: 1/16" = 1'-0"

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- Recycle & Solid Waste

On the front units we are proposing garage & recycling inside the units, on the 1st floor under the stair. Residents will take this to 22nd Ave for pickup.

On the rear units we are proposing outdoor 2'x6' screened garage & recycle areas for each unit.

- Parking

Each unit has parking for 1 vehicle accessed from a driveway on the north side of the site into a court between the two buildings. Retaining walls and fences at property lines will keep car lights from impacting surrounding properties.

- Amenity Area

All amenity area is private both at ground level and on the rooftop decks.

- Fencing

5' high cedar fence with tightly spaced rails proposed at north and south property lines as well as between back yards and at garage/recycle enclosures for privacy and to keep light and glare from spilling onto neighboring lots.

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TREES



SHRUBS



GROUNDCOVER

Landscaping plant photos

cedar fence/gate



permeable paving



permeable paving in front of rear units

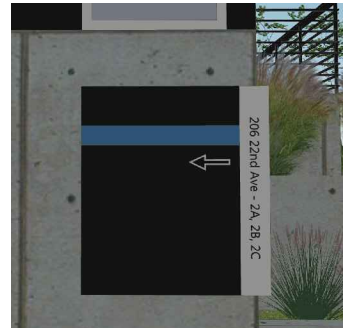


concrete planters (inspiration from neighborhood building "J" from sheet 3)

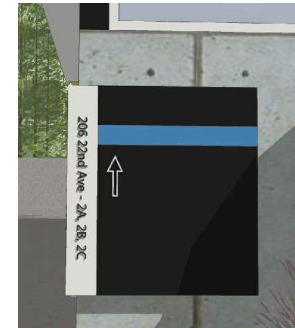


Site materials

north view



west view



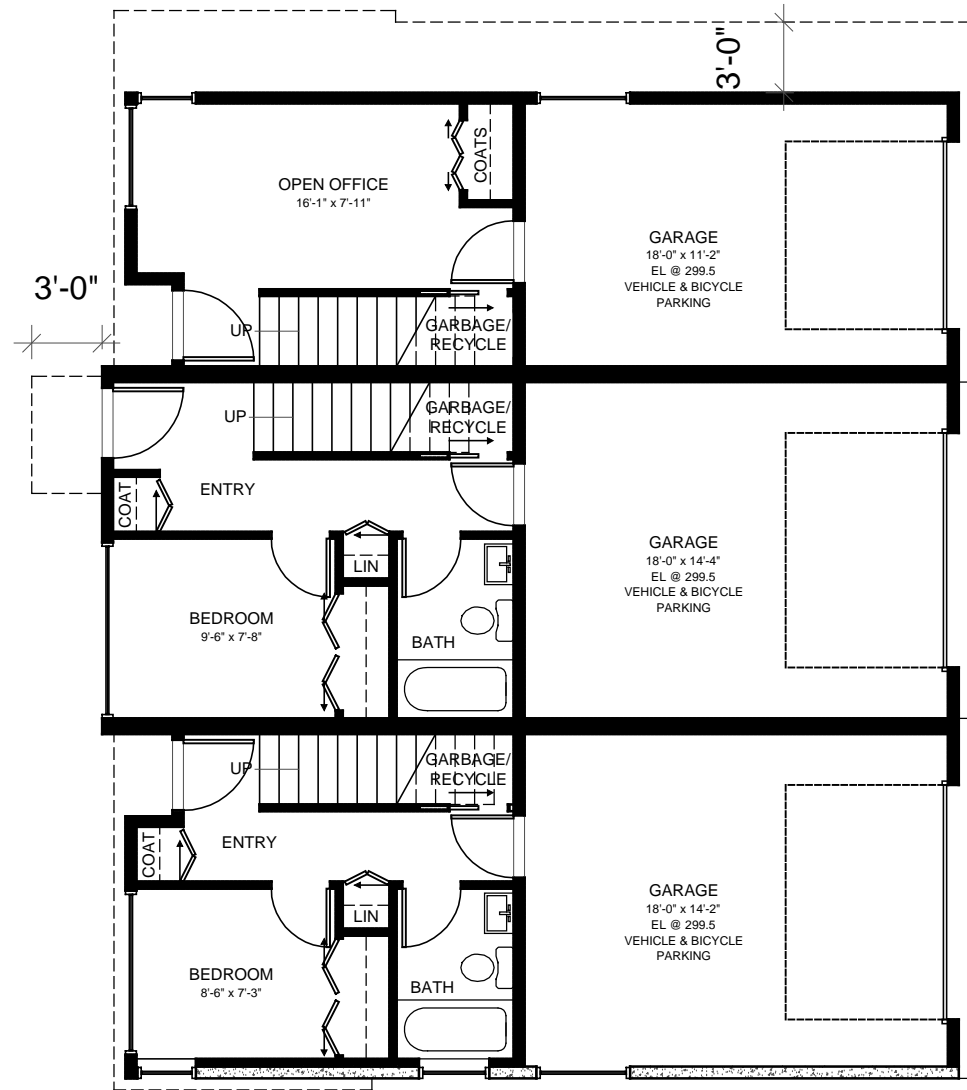
perspective from sidewalk



Sign to rear units

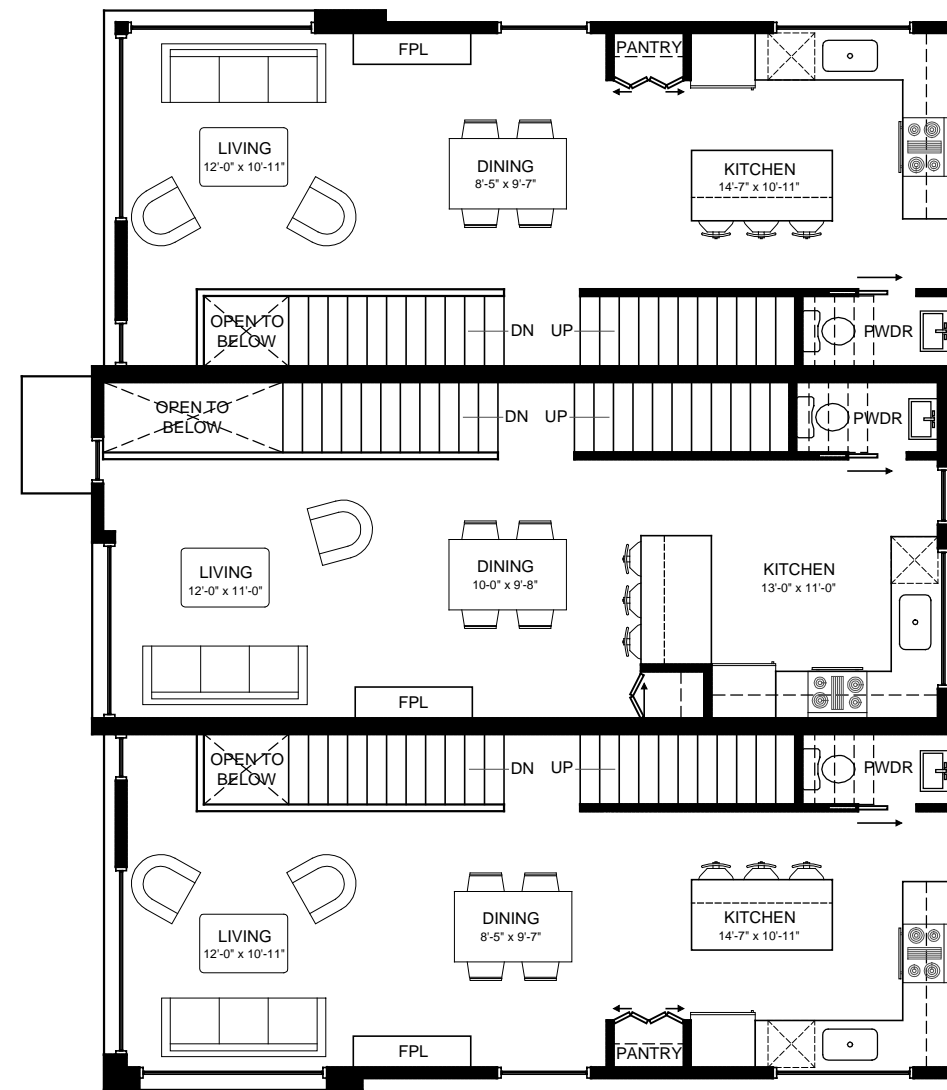
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FIRST FLOOR PLAN

SCALE: 1/8" = 1'-0"



SECOND FLOOR PLAN

SCALE: 1/8" = 1'-0"



TRIPLEX 1 UNIT 1A

Bedrooms: 2 + office
 Bathrooms: 2.25
 Heated: 1332 sf
 Garage: 222 sf
 Total: 1554 sf
 Roof deck: 427 sf

TRIPLEX 1 UNIT 1B

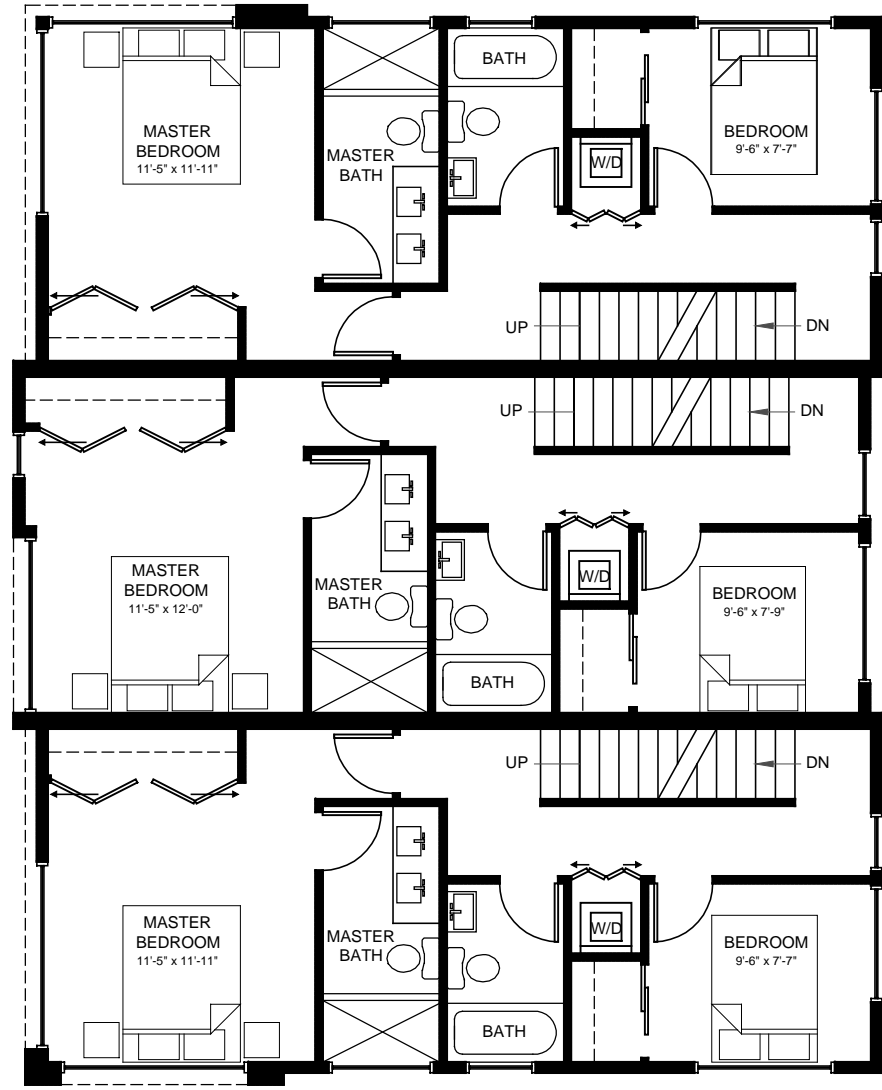
Bedrooms: 3
 Bathrooms: 3.25
 Heated: 1411 sf
 Garage: 277.5 sf
 Total: 1688.5 sf
 Roof deck: 456 sf

TRIPLEX 1 UNIT 1C

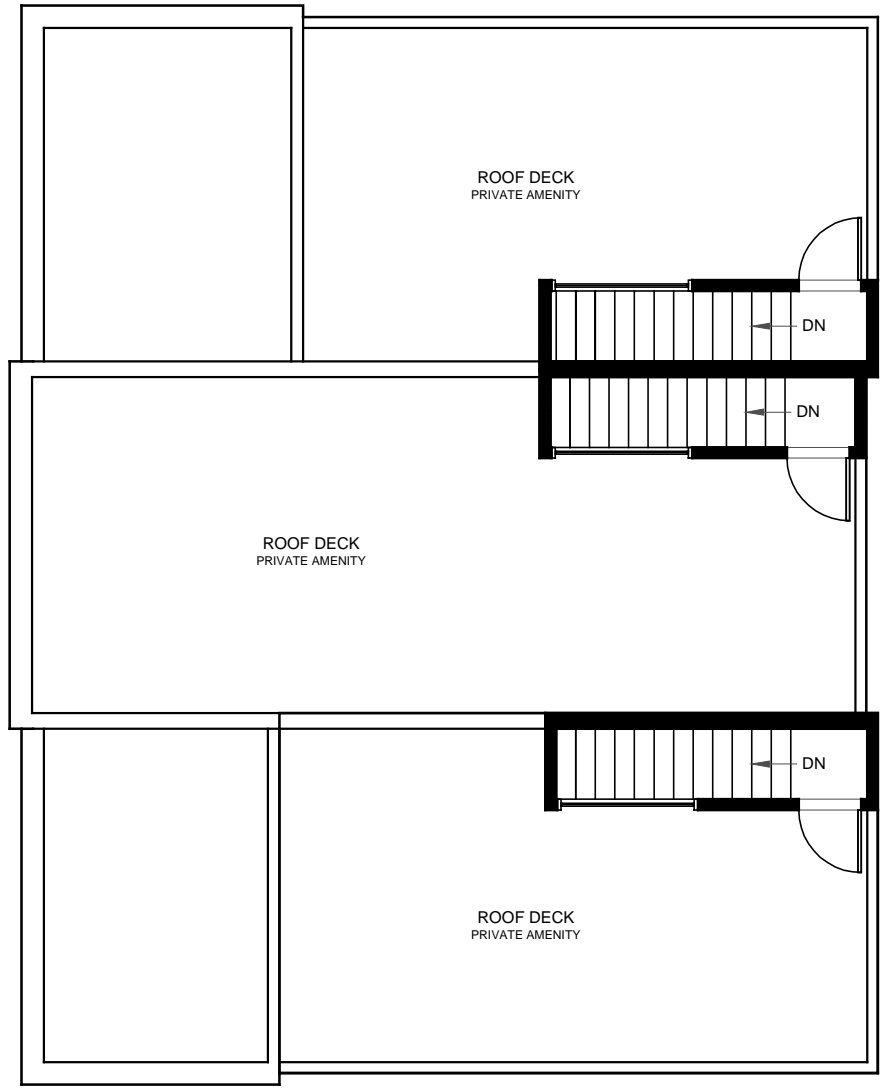
Bedrooms: 3
 Bathrooms: 3.25
 Heated: 1387 sf
 Garage: 277.5 sf
 Total: 1664.5 sf
 Roof deck: 308 sf

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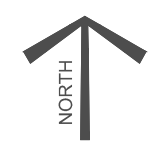




THIRD FLOOR PLAN
SCALE: 1/8" = 1'-0"

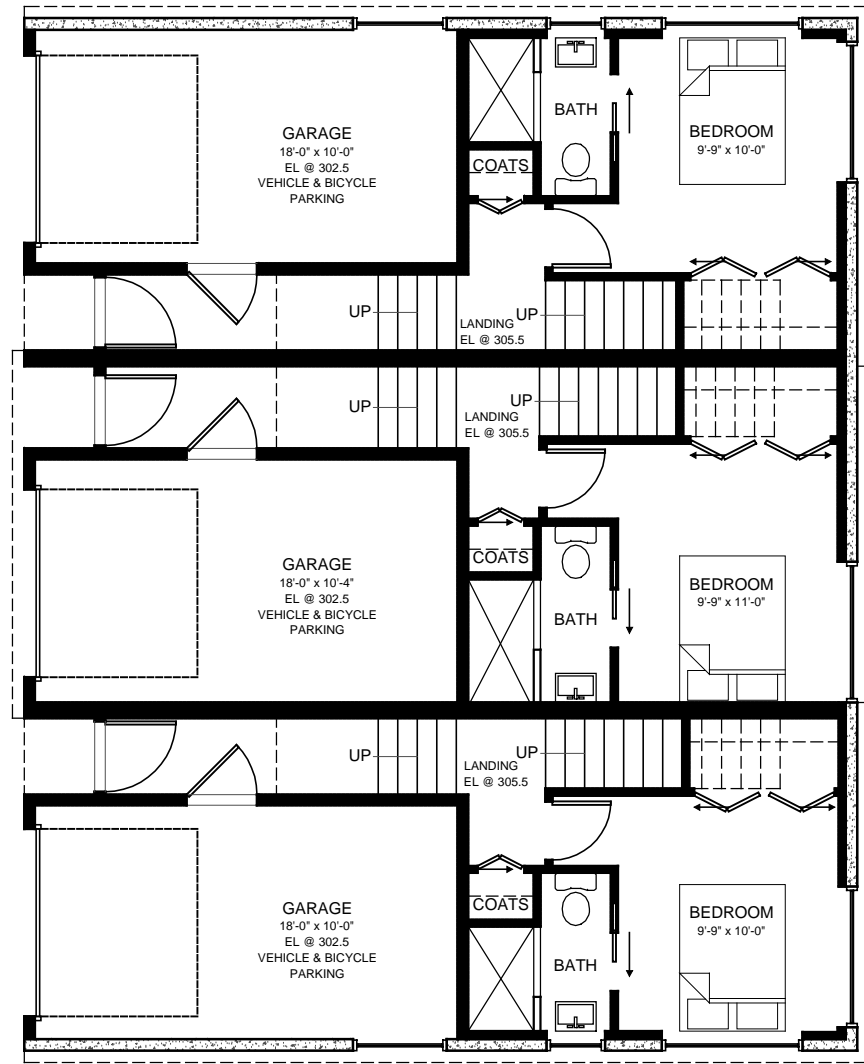


ROOF PLAN
SCALE: 1/8" = 1'-0"



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FIRST FLOOR PLAN

SCALE: 1/8" = 1'-0"



SECOND FLOOR PLAN

SCALE: 1/8" = 1'-0"



TRIPLEX 2 UNIT 2A

Bedrooms: 3
 Bathrooms: 2.5
 Heated: 1444.6 sf
 Garage: 194.4 sf
 Total: 1639 sf
 Roof deck: 450 sf

TRIPLEX 2 UNIT 2B

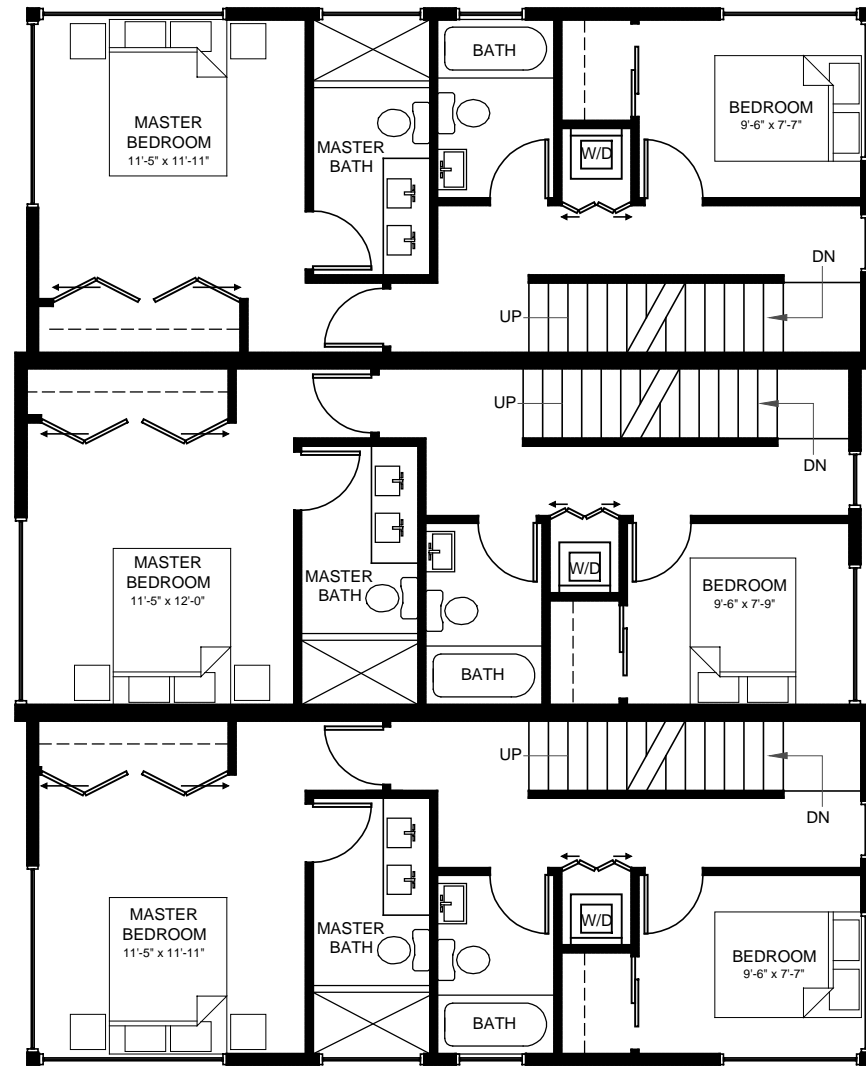
Bedrooms: 3
 Bathrooms: 2.5
 Heated: 1455.6 sf
 Garage: 200 sf
 Total: 1655.6 sf
 Roof deck: 468 sf

TRIPLEX 2 UNIT 2C

Bedrooms: 3
 Bathrooms: 2.5
 Heated: 1448.6 sf
 Garage: 194.4 sf
 Total: 1643 sf
 Roof deck: 450 sf

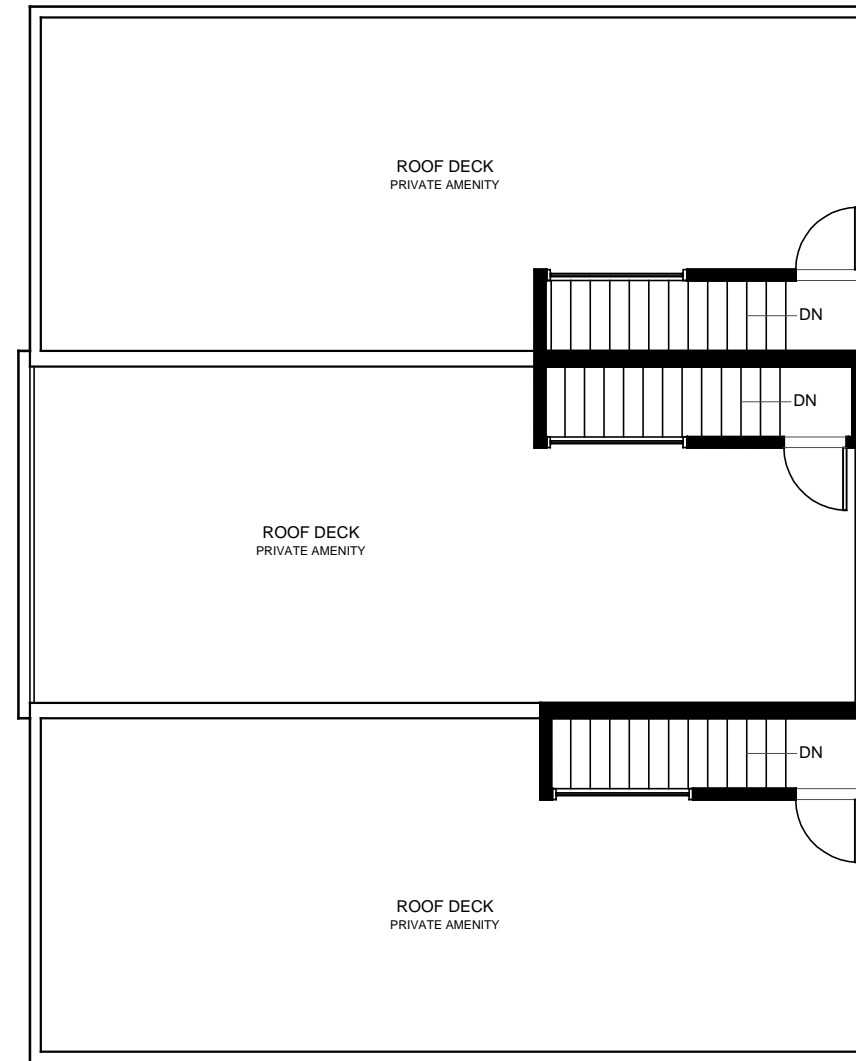
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THIRD FLOOR PLAN

SCALE: 1/8" = 1'-0"



ROOF PLAN

SCALE: 1/8" = 1'-0"



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TRIPLEX 1 WEST ELEVATION

WHITE HARDIE PANEL EAVE
SIGNAGE TO REAR UNITS
CONC RETAINING WALL FOR DRIVEWAY

- WHITE HARDIE PANEL SIDING - 4x8 SHEETS
- DARK GRAY HARDIE PANEL SIDING - 4x8 SHEETS
- BLUE HARDIE PANEL SIDING - 4x8 SHEETS
- VINYL WINDOWS
- GRAY HORIZONTAL FIR OR CEDAR SIDING
- UNIT NUMBERS
- OPEN GUARDRAIL
- CONCRETE PLANTERS



TRIPLEX 2 WEST ELEVATION

METAL GUARDRAIL

- DARK GRAY HARDIE PANEL SIDING - 4x8 SHEETS
- BLUE HARDIE PANEL SIDING - 4x8 SHEETS
- VINYL WINDOWS
- GRAY HORIZONTAL FIR OR CEDAR SIDING
- UNIT NUMBERS
- GRAY HORIZONTAL HARDIE PLANK
- CONCRETE RETAINING WALLS
- PERMEABLE PAVING SURFACE

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TRIPLEX 1 EAST ELEVATION

METAL GUARDRAIL
 WHITE HARDIE
 PANEL EAVES

- WHITE HARDIE PANEL SIDING - 4x8 SHEETS
- DARK GRAY HARDIE PANEL SIDING - 4x8 SHEETS
- BLUE HARDIE PANEL SIDING - 4x8 SHEETS
- VINYL WINDOWS
- GRAY HORIZONTAL HARDIE PLANK
- OPEN GUARDRAIL AT STAIRS
- OPEN COMPOSITE DECKING - DARK GRAY
- CEDAR FENCING



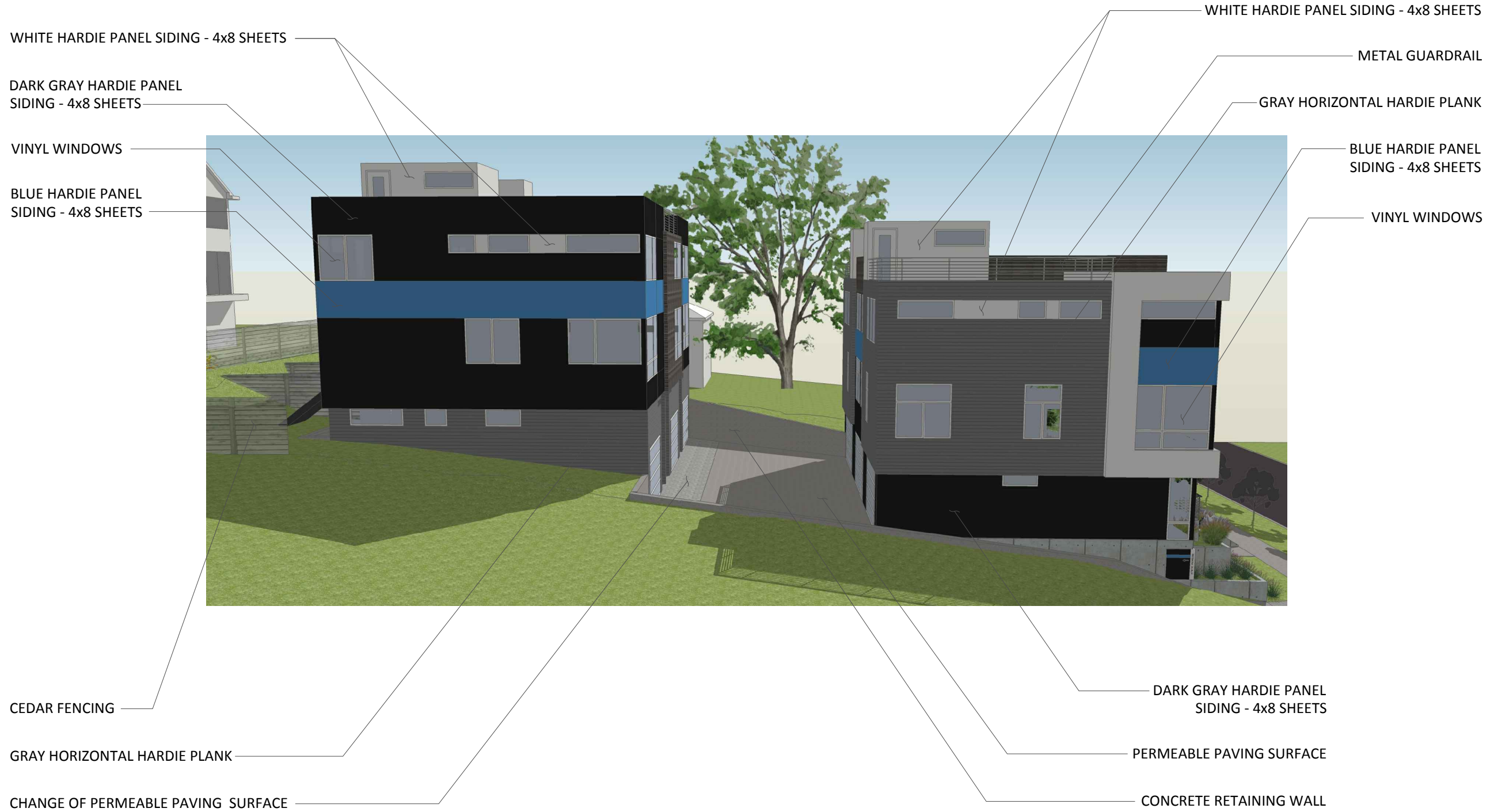
TRIPLEX 2 EAST ELEVATION

METAL GUARDRAIL
 VINYL WINDOWS

- WHITE HARDIE PANEL SIDING - 4x8 SHEETS
- METAL GUARDRAIL
- GRAY HORIZONTAL FIR OR CEDAR SIDING
- BLUE HARDIE PANEL SIDING - 4x8 SHEETS
- GRAY HORIZONTAL HARDIE PLANK
- DARK GRAY HARDIE PANEL SIDING - 4x8 SHEETS
- PERMEABLE PAVING SURFACE
- CONCRETE RETAINING WALLS

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WHITE HARDIE PANEL SIDING - 4x8 SHEETS

GRAY HORIZONTAL FIR OR CEDAR SIDING

METAL GUARDRAIL

VINYL WINDOWS

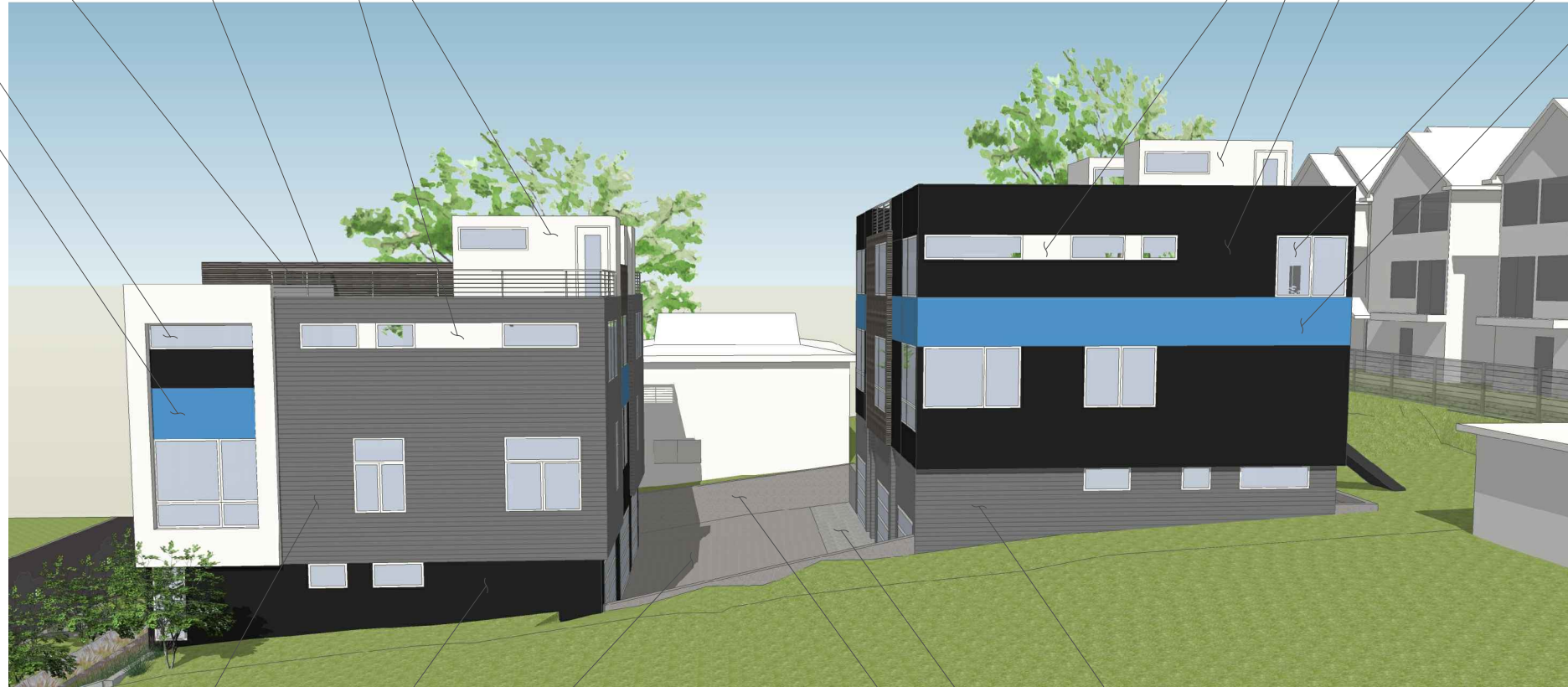
BLUE HARDIE PANEL SIDING - 4x8 SHEETS

WHITE HARDIE PANEL SIDING - 4x8 SHEETS

DARK GRAY HARDIE PANEL SIDING - 4x8 SHEETS

VINYL WINDOWS

BLUE HARDIE PANEL SIDING - 4x8 SHEETS



GRAY HORIZONTAL HARDIE PLANK

DARK GRAY HARDIE PANEL SIDING - 4x8 SHEETS

PERMEABLE PAVING SURFACE

GRAY HORIZONTAL HARDIE PLANK

CHANGE OF PERMEABLE PAVING SURFACE

CONCRETE RETAINING WALL

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SOUTH EAST VIEW FROM STREET



NORTH EAST VIEW FROM STREET

MATERIALS

house numbers



gray horizontal cedar siding



blue hardie panel sheets (inspiration from neighborhood building "B" & "C" on sheet 3)



white hardie panel sheets (inspiration from neighborhood building "B" on sheet 3)



horizontal hardie plank (inspiration from neighborhood building "B" on sheet 3)





VIEWS:

Bottom left: view of back of property looking south west

Top left: view of front of Triplex 2 looking north east

Top right: view north into courtyard between buildings

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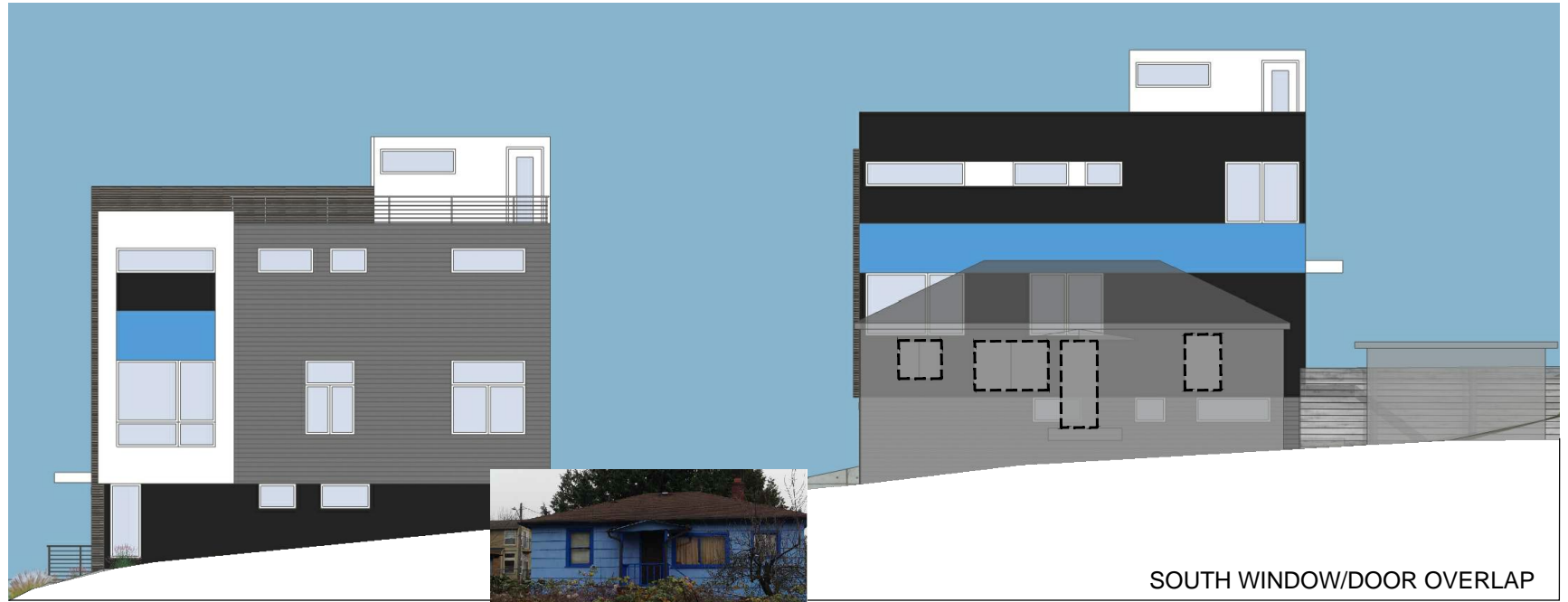
Window Privacy Study

The windows of the proposed triplexes have been thoughtfully designed to minimize the views into and from the neighboring buildings, as well as from unit to unit, in order to protect privacy of all occupants. Windows into side yards have been minimized. Windows and doors of neighboring buildings are highlighted with dashed outlines.

SOUTH: To the south is a 1-story single family residence with detached garage. There are no windows from the garage facing the subject property but from the residence there are three windows and a door. Only the door overlaps one of the windows which is a high window into the garage.

NORTH: To the north is a 1-story single family residence with basement and bunker garage. There is only one window facing the subject property and it looks into the courtyard between the proposed buildings.

EAST: To the east is a 3-story duplex with an attached garage. Most of the first floor is blocked by a high wood fence and there are no windows, only doors, facing the subject property. At the second floor there is some window overlap for the two end units since the neighbor has large windows and sliding glass doors facing the subject property. The overlap occurs where there are high windows into a bedroom (placed well above eye level) and a window into the hallway. For the neighbors third floor windows there is no overlap.



SOUTH WINDOW/DOOR OVERLAP

south residence facade

north residence window



east duplex facade



EAST WINDOW/DOOR OVERLAP



SOUTH WINDOW OVERLAP



SPRING EQUINOX: MARCH 20



8AM

SUMMER SOLSTICE: JUNE 21



8AM

FALL EQUINOX: SEPTEMBER 23



8AM

WINTER SOLSTICE: DECEMBER 21



8AM



NOON



NOON



NOON



NOON



4PM



4PM



4PM



4PM



Design Guidelines - Preliminary Guidance Responses				
CS1	Natural Systems and Site Features	CS2	Urban Pattern and Form	
C.	<p>Topography: Use the natural topography to inform the project.</p> <p>Response: The front (west side) of the property drops approx 8' to the sidewalk with the rest of the site sloping gently to the west. West of the site there is another rise in elevation which makes the ground level of the townhouses to the west lot higher in elevation. To deal with the elevation changes a series of planters transitions residents from the sidewalk to the first floor of the front units which sits at-grade (approx 8' above the sidewalk).</p> <p>Because of the grade change the proposed driveway and court between the buildings is approx 3.5' below grade. This is with a requested adjustment to have a driveway slope of 20% (see adjustment on sheet 25). The existing driveway slope is at 20% but since it currently rises directly from the sidewalk instead of at the property line, the proposed driveway will be below existing grade. The rear building is sited as high as possible given the need for access to the garages. The garage is 3' higher than the level of the front building and the east side of the first floor steps up another 3' in response to the grade change.</p>	D.	<p>Height, Bulk, and Scale: Look to scales of adjacent buildings for clues on how to design a mid-block building.</p> <p>Response: Lots to either side of the proposed project are under-developed with 1-story single family residences. The lots to the west are developed in accordance with current zoning zoning code with 3-story townhouses. The proposed 3-story townhouses will reflect height, bulk and scale allowed under current zoning codes. To respect smaller buildings to north and south of the site generous side yards are provided (6'-5" to 7'-7" instead of the required 5'-0"). By keeping the entries open to the street and stepping the landscaping the buildings engage the street. Buildings are raised above the level of the street like all others on this side of the block. For window privacy overlaps see diagrams on sheet 20.</p>	
		CS3	Architectural Context and Character	
CS2	Urban Pattern and Form	A.	<p>Emphasize Positive Neighborhood Attributes: Explore ways for new development to establish a positive and desirable context for others to build upon.</p> <p>Response: The existing neighborhood includes a wide mix of architectural styles. The neighborhood is evolving as it is built up to meet current zoning codes. The modern design of the proposed buildings is seen throughout the neighborhood as shown in the neighborhood context compiled on sheet 3. Inspiration for the blue band is taken from both old and new buildings in the neighborhood (216 22nd Ave, 402 22nd Ave & 2153-2199 E Terrace St). Grey and white hardie panel sheets, horizontal hardie plank siding and horizontal wood siding are also see on buildings throughout the neighborhood (see examples on sheet 3). Units are articulated through differing heights, volumes and repeated window patterns.</p>	
		PL2	Walkability	
B.	<p>Adjacent Sites, Streets, and Open Space: Allow characteristics of the site to inform the design.</p> <p>Response: Adjacent sites are all residential. Since the buildings are raised above the street like others on this block, tiered planters with abundant landscaping gently transition to the street. The planters are filled with native shrubs and deciduous trees. Street trees and new lawn reinvigorate the planting strip. The front landings for the front units are visible from the street to create clear lines of sight and engage the streetscape. On the site, the rear building is sited higher than the front building to step down with the grade.</p>	B.	<p>Safety and Security: Create safe environments by providing lines of sight and encouraging natural surveillance. Provide Lighting for safety.</p> <p>Response: Entries to front units are visible from and raised up from the street which creates clear lines of sight along the street and sidewalk. This encourages natural surveillance by neighbors to promote safety and security. The tiered planters transition down to the street preserving visibility. A common stair connects the front units directly to the sidewalk. Security is created through clear lines of sight to the surrounding public spaces. Covered entries transition to private space for each unit. The rear unit entries are covered and open onto the courtyard. Rear units are connected to the street via the courtyard & driveway. An outdoor lighting plan is provided on sheet 7.</p>	
C.	<p>Relationship to Block: Identify opportunities for the project to make a connection with the street.</p> <p>Response: Lots to either side of the proposed project are under-developed with 1-story single family residences. The lots to the west are 3-story townhouses. Proposed triplexes are raised above the street similar to all the existing buildings on the east side of 22nd. Building keeps visual interest on all sides by providing changes of color, material and form. Blue ribbon of color similar to that of buildings one lot over at 216 22nd Ave. Tiered planting areas transition from the buildings to the streetscape to provide a strong, interesting street-edge.</p>			
			PL3	Street-Level Interaction
			A.	<p>Entries: Design primary entries to be obvious, identifiable, and distinct.</p> <p>Response: Entries on the front units are accessed through a stair that connects to the sidewalk. All 3 entries are clearly identifiable from the street and distinct from one another with covered entries. This is achieved through massing and material changes. Secondary access to these units will be via the garages off the courtyard. On the back units entries are identified by massing of units above, recessed doors, address signage and a change of paving pattern in the courtyard.</p>
			B.	<p>Residential Edges</p> <p>Response: Trees and shrubs terraced, with low walls, to sidewalk provides a semi-transparent buffer between units and street. Main floors are elevated 9.5 feet above the level of the sidewalk. Front building is set back 9.5 feet from front lot line. The height above the sidewalk, setback from street and terraced planting all serve to provide security and privacy for units facing the street. These elements also help transition from the public sidewalk to private residences. Entry lights, addressing signage, doorbells, and covered entries create pedestrian scaled elements at entries. Vertical and horizontal modulation together with a range of exterior finishes articulate the location of residential entries. Shared entry for front units and courtyard for back units provide opportunities for interactions among residents since these will be commonly used.</p>
			PL4	Active Transportation
			A.	<p>Entry locations and relationships: Provide safe and convenient access points for all modes of travel.</p> <p>Response: For pedestrian access to primary entrances of street units a walkway connected directly to the sidewalk is provided. Bicycle and vehicle access is provided via the driveway on the north side of the property. This driveway also serves as pedestrian, vehicular and bicycle access to back units. Pedestrian access to back units is marked by a change of permeable paving material in the courtyard. The driveway includes sight triangles to the sidewalk for safety.</p>

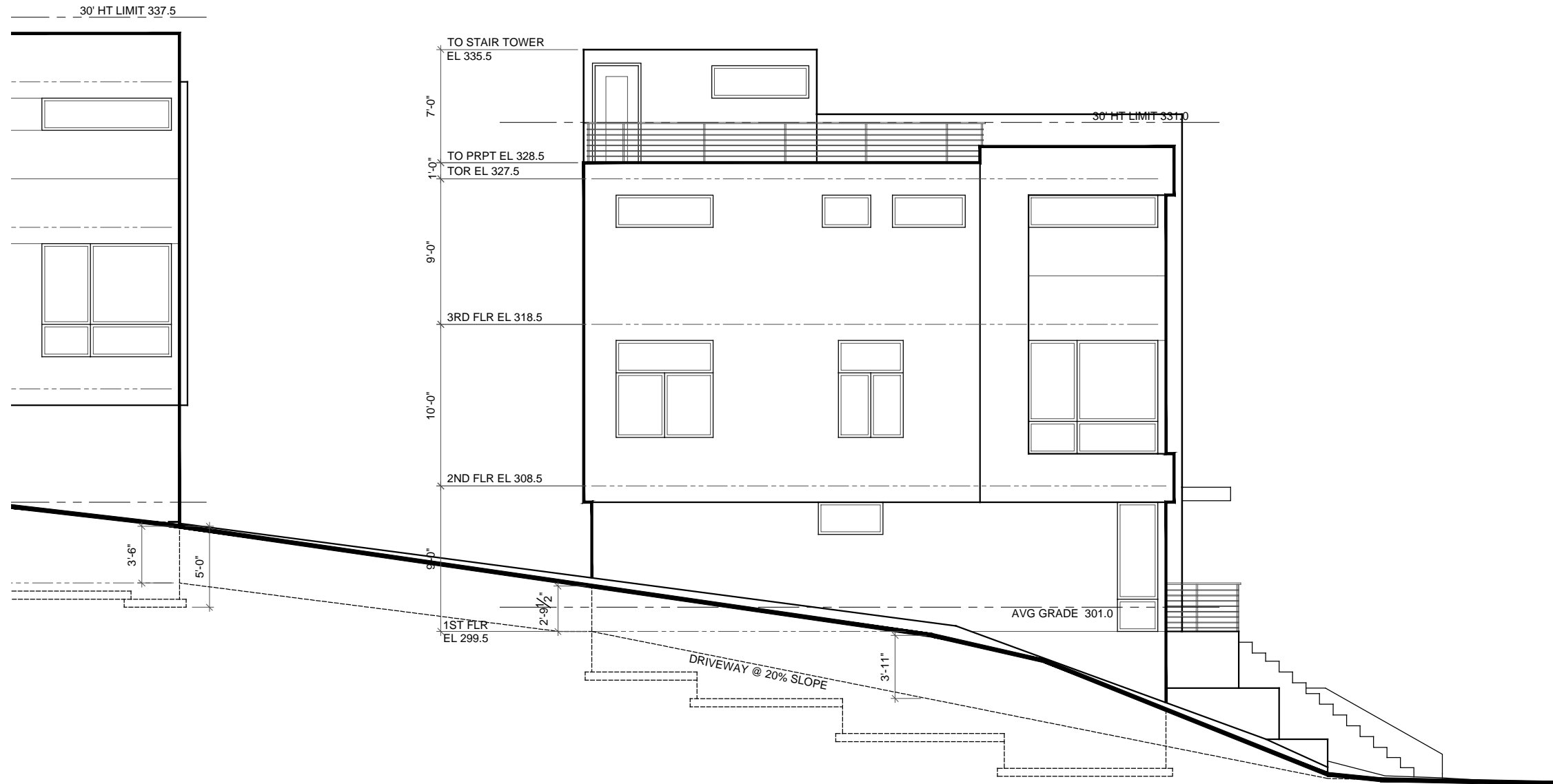


Design Guidelines - Preliminary Guidance Responses			
DC1	Project Uses and Activities	DC2	Architectural Concept
B.	<p>Vehicular Access and Circulation: Choose locations for vehicular access that minimize conflict between vehicles and pedestrians.</p> <p>Response: Shared driveway on north side of lot for vehicular and bike access to courtyard. Driveway also serves as pedestrian access to back units. Motion sensor lights located in courtyard. Change of paving material at entrances to mark areas frequently used by pedestrians. Bicycle parking space provided in each garage. Location of site in Urban Village and in a Frequent Transit area increases opportunities for alternate modes of transportation.</p>	B.	<p>Response Continued: the west facade. On the front building gray at the base level is continued on all 4 sides. For the rear building base treatment of hardie plank with dark gray above wraps on all 4 sides. Terracing of landscape to transition down to grade at the street level reduces the height of the building above the street as a result of the grade change.</p>
		C.	<p>Secondary Architectural Features: Design all facades considering the composition and architectural expression of the building as a whole.</p> <p>Response: Articulation of the building envelope, overhangs, canopies, parapets and railings provide depth and interest on building facades. Entries on the front units are recessed on the two side units to provide weather protection. For the center unit weather protection is provided with a canopy over the entry. On the back units all units have recessed entries for weather protection. On the front building large windows facing the street are recessed 6" to provide articulation and weather protection. Repeated window patterns are seen on all facades. Overhangs on units provide articulation and depth for upper floors. On both buildings second and third floors are tied together through color and massing. Center unit is articulated to differ from units to north and south to provide identity and distinction from other units. Inspiration for blue strip on both buildings taken from surrounding neighborhood. Roof-lines of east and west facades of both buildings vary in height to create visual interest.</p>
C.	<p>Parking and Service Uses: Reduce the visual impact of parking lots, structures, entrances, etc.</p> <p>Response: Parking in garages located partially below grade. Surface treatment of courtyard to be permeable paving with a change in paving surface at the entry to the back units. Courtyard can be used as a common outdoor gathering space. Entrances to garages screened from adjacent lots by facing the interior courtyard, being partially below grade and by fencing at the perimeter of the site. Garbage/recycling on the front units will be stored inside and taken to the curb for pickup only. On the rear units it will be stored in screened areas located in backyards.</p>		
DC2	Architectural Concept	DC3	Open Space Concept
A.	<p>Massing: Arrange mass of buildings taking into consideration the characteristics of the site. Use secondary architectural features to reduce perceived mass.</p> <p>Response: Massing of buildings takes into consideration grade changes on the site by placing them at different elevations. The front building is placed at the top of the rise in grade from the street with the back building placed as close to existing grade as possible when taking into consideration access from the street. Existing house to the north faces the courtyard so that it can have access to light and views. Articulation of the building envelope provides depth and variety in each of the building facades. Recesses at building entries, canopies, and changes of height at the roofline with changing parapet heights reduce the building's mass.</p>	A.	<p>Building - Open Space Relationship: Ensure the interior and exterior spaces relate well to each other and support the functions of the development.</p> <p>Response: Buildings are oriented facing west/east so front yard, courtyard, rear-yard and roof decks all get south exposure. On the front building the office, living room and master bedroom all open up to the street and views to west. Facing the courtyard are the garage, kitchen and bedroom. For the back building garage, living room, and master bedroom all face the courtyard. Facing the backyards are the bedrooms, hallway and kitchen.</p>
B.	<p>Architectural and Facade Composition: Design all facades considering the composition and architectural expression of the building as a whole.</p> <p>Response: Buildings are designed to read as a whole from all sides. Design elements wrap onto sides of buildings. White on the street facade wraps into side-yards. Higher parapet on center unit continues on the east facade. On the rear building railing at center unit is also on</p>	DC4	Exterior Elements and Finishes
		A.	<p>Exterior Elements and Finished: Select durable and attractive materials that will age well in Seattle's climate.</p> <p>Response: Exterior walls will be finished with Hardie panel sheets, Hardie plank and cedar or fir siding. These materials have a track record</p>
		DC4	Exterior Elements and Finishes
		A.	<p>Response Continued: of holding up well in Seattle's climate. These are all rainscreen systems that allow for the penetration of water which it sheds behind the front shell. Hardie Panel is protected by a 30-year nonprorated, transferable limited warranty.</p>
		B.	<p>Signage: Provide address signage at the street as applicable.</p> <p>Response: Signage for all units will be located next to the front door. See sheet 18 for graphic showing proposed house numbers. Signage leading to rear units is proposed at the northwest corner of the street-facing building. Views of signage shown on the bottom of sheet 9.</p>
		C.	<p>Lighting: Use lighting to increase site safety.</p> <p>Response: All lighting to be downcast and shielded to prevent spillage onto neighboring lots. Lighting in courtyard to have motion sensors. See sheet 7 for exterior lighting plan and exterior light info.</p>
		D.	<p>Tree, Landscape and Hardscape Materials: Reinforce the overall design concept through the selection of landscape materials; plants that will emphasize or accent the design.</p> <p>Response: See sheet 8 for landscape plan and sheet 9 for plant photos. At the terracing to the street will be native shrubs and trees. Street trees will be added with lawn in the planting strip. For the courtyard permeable paving is proposed with a change in material at the entries to the rear units. In the rear yard yards planting will include shrubs, trees and lawns. In sideyards trees and shrubs are added. All planting proposed is low-maintenance.</p>

DESIGN GUIDANCE PROPOSAL
 206 22nd Ave, Seattle, Washington
 Playhouse Design Group
 DPD# 3018950 | December 16, 2014



Adjustment Diagram:



NORTH ELEVATION @ DRIVEWAY

SCALE: 1/8" = 1'-0"



Adjustment

The one adjustment requested for this proposal is for a 20% slope at the driveway accessing the courtyard between the two buildings per SMC 23.54.030.D.3. As discussed in the pre-submittal conference this is requested because of the existing topography of the site. Although the existing driveway is at approx 20% slope, the new driveway will need to be below grade because the current driveway starts to climb before the property line. The driveway is proposed to remain in its current location. Allowing this adjustment will allow the development to provide parking and keep the resulting courtyard from being buried approx 6' deep. A lower courtyard would isolate it from the surrounding neighborhood and make the courtyard less usable as a gathering area for residents. See north elevation showing proposed driveway slope on sheet 24.

- a. Driveway will serve 6 parking spaces and be 10' in width for two-way traffic to and from the proposed courtyard.
- b. Driveway in 45.5 feet in length from the street-facing property line.
- c. Driveway serves less than 30 parking spaces (6 actual parking spaces).
- d. A single 10' curb cut will provide access to the 6 units.
- e. A 24' wide courtyard will serve as turning space for vehicles.

