

# CASCADE APARTMENTS

## Design Recommendation Meeting

### DPD #3018928 - BUILDING A

1212 Harrison Street  
Seattle, WA 98109

### DPD #3018926 - BUILDING B

1232 Harrison Street  
Seattle, WA 98109

**NOVEMBER 4, 2015**





PROPOSAL . . . . . 04

SUMMARY CONTEXT ANALYSIS. . . . . 06

ZONING DATA . . . . . 08

EXCEPTIONAL TREES. . . . . 10

COMPOSITE SITE PLAN. . . . . 14

CONCEPT REVIEW . . . . . 16

ITEMIZED RESPONSE TO EDG . . . . . 19

FLOOR PLANS . . . . . 48

COMPOSITE LANDSCAPE/HARDSCAPE PLAN . . . . . 56

MATERIAL & COLOR PALETTE. . . . . 60

ELEVATIONS . . . . . 62

RENDERINGS. . . . . 70

EXTERIOR LIGHTING PLAN/ELEVATIONS. . . . . 74

SIGNAGE CONCEPT PLAN . . . . . 79

BUILDING SECTIONS . . . . . 84

DEPARTURE REQUESTS . . . . . 86

# PROPOSAL PROJECT DATA

## DPD #3018928 - BUILDING A

1212 Harrison Street  
Seattle, WA 98109

## DPD #3018926 - BUILDING B

1232 Harrison Street Seat-  
tle, WA 98109

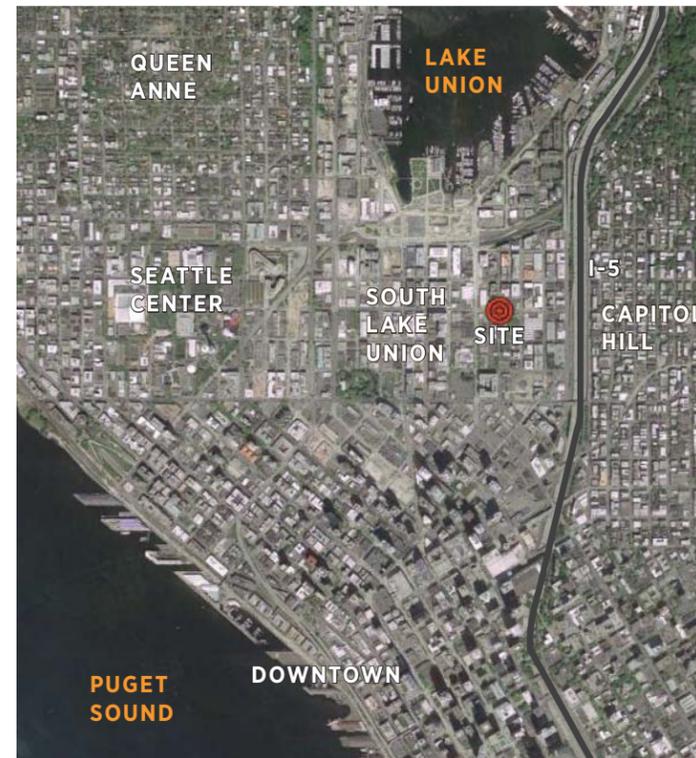
### TEAM

**OWNER/APPLICANT:**  
Holland Partner Group

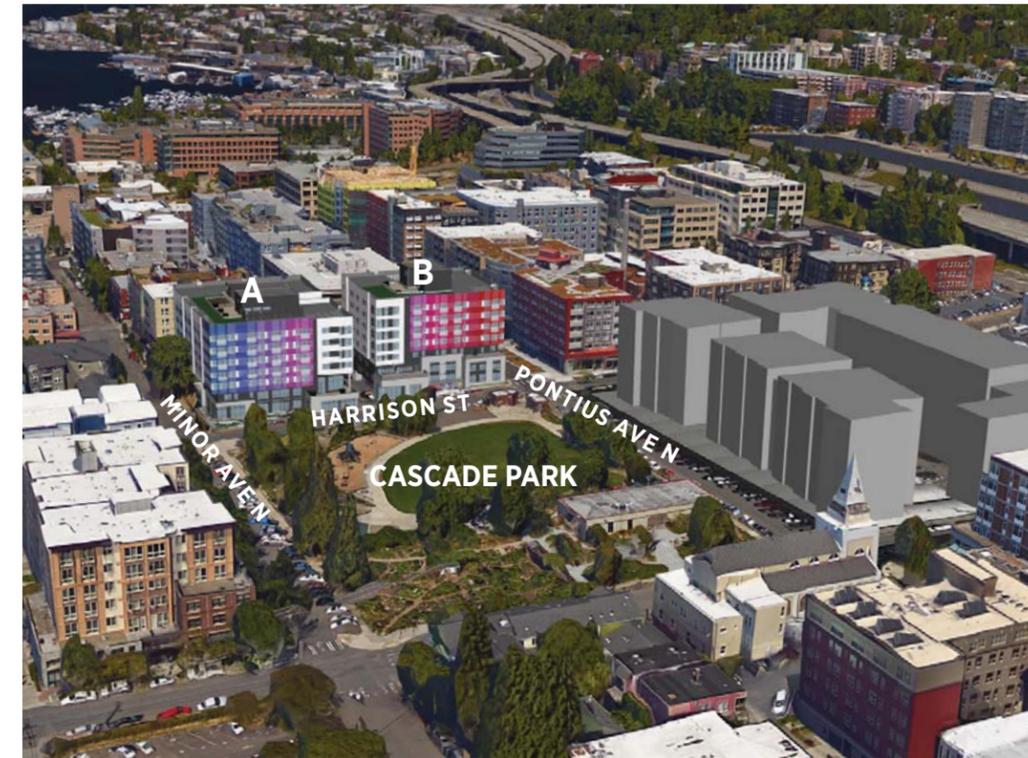
Contact: Jodi Patterson-O'Hare  
Jodi@permitcnw.com

### ARCHITECT:

**Ankrom Moisan Architects, Inc.**  
117 South Main Street, Suite 400  
Seattle, WA 98104  
206.576.1600  
Contact: Ricky Teh  
ricky@ankrommoisan.com



VICINITY MAP



SITE AERIAL PHOTO

## 1212 HARRISON - BUILDING A

NUMBER OF RESIDENTIAL UNITS	166 UNITS
GROSS SQUARE FOOTAGE	201,388SQ. FT.
NET RESIDENTIAL SQUARE FOOTAGE	97,400 SQ. FT.
PARKING SPACES	214 SPACES
NUMBER OF STORIES	7

## 1232 HARRISON - BUILDING B

NUMBER OF RESIDENTIAL UNITS	109 UNITS
GROSS SQUARE FOOTAGE	93,000 SQ. FT.
NET RESIDENTIAL SQUARE FOOTAGE	66,381 SQ. FT.
PARKING SPACES	15 SPACES
NUMBER OF STORIES	7



**1. REINFORCE CHARACTER OF CASCADE PLAYFIELD**

Cascade Playfield is a primary feature of the neighborhood, serving a variety of people. This project provides a design response, which enhances the character of the park. Primary amenity spaces are designed to face the park, and ground level design along Harrison will focus on extending the green edge along the sidewalk, aligning pedestrian entries with park entries.



**2. ADDRESS A UNIQUE HOUSING DEMAND IN THE CASCADE NEIGHBORHOOD**

This project provides smaller than typical average unit sizes, serving a demand in the area for compact units that still provide open bedrooms and full kitchens. These are high-quality, efficient unit designs, and there are no studios—all units have a full bedroom.



**3. REFLECT NEIGHBORHOOD SCALE**

The neighborhood is a mix of residential, office, and retail uses. This project, as a part of the Mixed/Residential zoning, will provide a familiar, urban, residential feel at the ground floor with design elements scaled to enhance walking and interacting among neighbors at street level.

# CONTEXT ANALYSIS VICINITY MAP

## LEGEND

- █ NEIGHBORHOOD GREEN STREET
- █ CLASS I PEDESTRIAN STREET
- █ CLASS II PEDESTRIAN STREET
- █ OFFICE
- █ HOUSING





**301 MINOR AVE N**  
*Alcyone Apartments*

Colors, materials, and roof planes vary significantly.



**405 MINOR AVE N**  
*Apartments*

Residential feel, very active roof planes. Smaller than most apartment buildings.



**224 PONTIUS AVE N**  
*Alley 24 Residences*

Simple form with repetitive patterns and colors. Tall and welcoming base.



**1280 HARRISON ST**  
*Stack House Apartments*

Significant podium amenity. Bold colors. Strong landscaping and swales.



**207 PONTIUS AVE N**  
*SCCA House*

Simple material and form varied with use of patterning.



**1201 MERCER ST**  
*Rivet Apartments - Ankrom Moisan and Holland*

Bold colors and small articulation moves. Simple form.



**1260 REPUBLICAN ST**  
*AMLI SLU Apartments*

Extremely simple form & repetitive patterns. Unusual cladding choice.



**221 MINOR AVE N**  
*Cascade I & II (PROPOSED)*

Simple form, color patterns used to vary mass. Alley as pedestrian way.

# ZONING DATA MAP

## SITE INFORMATION

### SITE A - 21,615 sf

1212 Harrison Street  
Seattle, WA 98109

### SITE B - 14,407 sf

1232 Harrison Street Seat-  
tle, WA 98109

## ZONING AND OVERLAYS

Base Zoning:  
SM/R 55/85  
Seattle Mixed Residential

Overlay Zoning:  
South Lake Union Urban Center



--- ZONING BOUNDARY LINE

**SITE A**

1212 HARRISON STREET

PARCEL NUMBERS: 2467400300, 2467400285,

**SITE B**

1232 HARRISON STREET

PARCEL NUMBERS: 2467400311, 2467400305

Harrison St is a "Neighborhood Green Street"

**DEVELOPMENT LOT AREA**

SITE A: 14,400 + 7,200 = 21,600 sq.  
 SITE B: 11,400 + 3,000 = 14,400 sq. ft.  
 Total: 36,000 sq. ft.

**BASE ZONING**

SM/R 55/85

**OVERLAY ZONING**

South Lake Union Urban Center

**PRIMARY LAND USE CODE CHAPTERS**

SMC 23.48, Seattle Mixed

**FAR – Table 23.48.009**

Base/Maximum FAR: Not Applicable (no limit)

**HEIGHT:**

Nonresidential Only: 55 feet  
 60% or More Residential: 85 feet

**LOT COVERAGE LIMITS**

None

**STREET LEVEL DEVELOPMENT**

23.48.014

A primary pedestrian entrance facing the street is required.

Harrison St is a "Neighborhood Green Street" between Pontius and Minor.

The minimum street facing façade height is 25' along Harrison St. The minimum street facing façade height along Pontius and Minor is 15'.

**SETBACKS**

23.48.012

Along Harrison St, any portion of a structure taller than 45' is required to have a setback of 1' for every 2' of additional height, up to a limit of 15'.

Along the alley, portions of a structure greater than 25' in height must set back 1' for every 2' up to a maximum of 15'

Decks, railings, balconies, etc. may project up to 4' into the required setbacks.

**AMENITY AREA**

23.48.020

An area equivalent to 5% of total gross floor area in residential use shall be provided as amenity area, up to the limit of the area of the lot.

Minimum dimension for these spaces is 15'.

Amenity area may be 50% enclosed.

Amenity area as street level open space that is accessible from the street is counted as double its actual area and has a minimum dimension of 10' instead of 15'.

**LANDSCAPE AND SCREENING STANDARDS**

23.48.024

Green Area Factor: Landscaping that achieves a score of .30 or greater.

**SIGHT TRIANGLE**

23.54.030

For two-way driveways, at least 22' wide, a site triangle on the side used as an exit shall be provided.

**PARKING**

SMC 23.54.15

Residential: No minimum requirement

Nonresidential: 1/1000 sq. ft. maximum

**BICYCLE PARKING**

23.54.015

Commercial: Varies, depending on use

Residential: One space per four units

**SOLID WASTE AND RECYCLABLE MATERIALS STORAGE**

23.54.040

Residential: More than 100 units = 575 sq. ft. + 4 sq. ft. for each additional unit above 50.

Retail: project may meet only 50% of 125 sq. ft. requirement, if the storage room is shared with residential trash.

Mixed-use development that contains both residential and nonresidential uses shall meet the residential requirements, plus 50% of the requirement for nonresidential; storage for garbage may be shared, but separate spaces for recycling shall be provided.

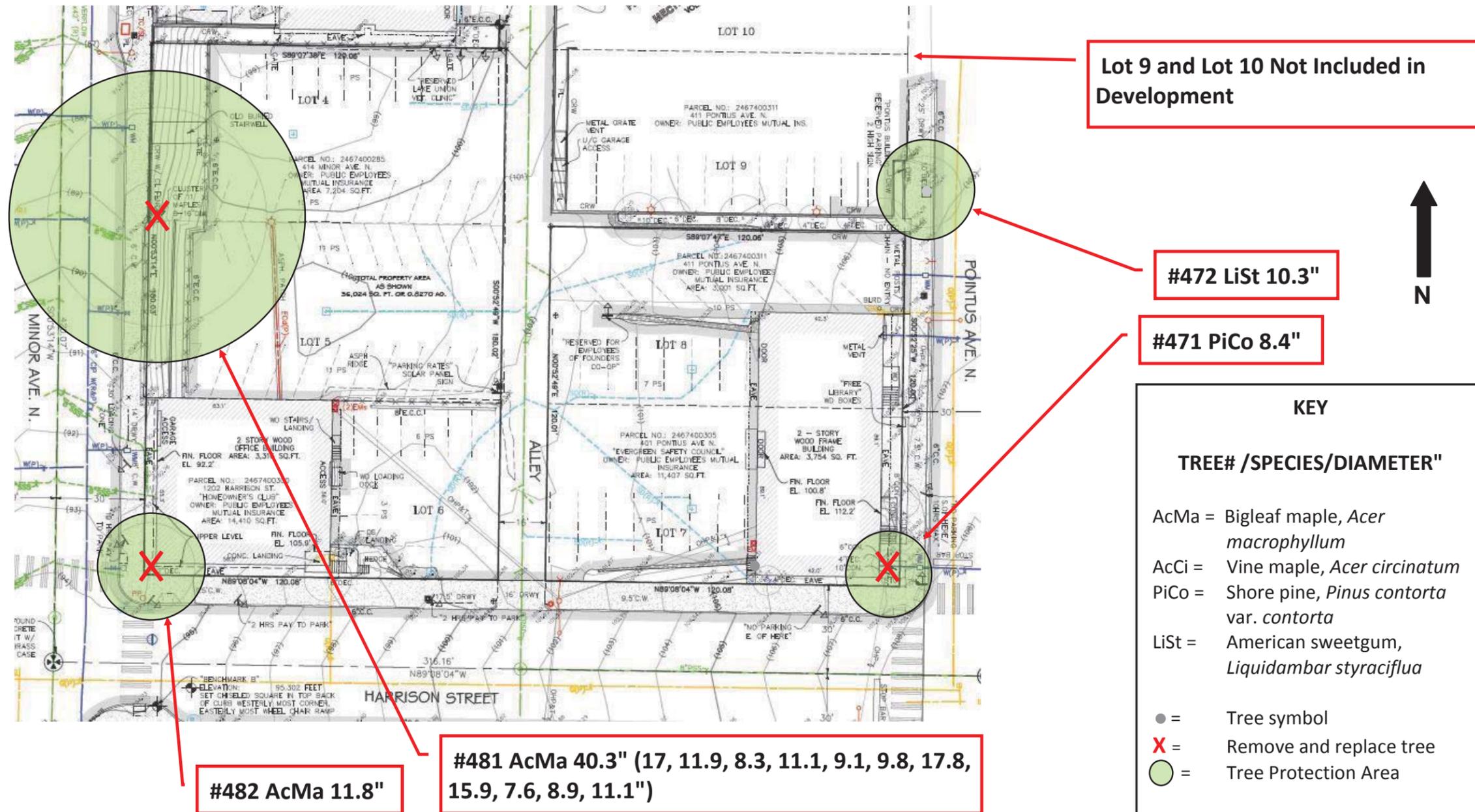
For larger than 2 cubic yard containers and all compacted refuse; direct access shall be provided from the street, minimum 10' access route, 21' overhead clearance if accessed through the structure.

**23.53.030 ALLEY IMPROVEMENTS**

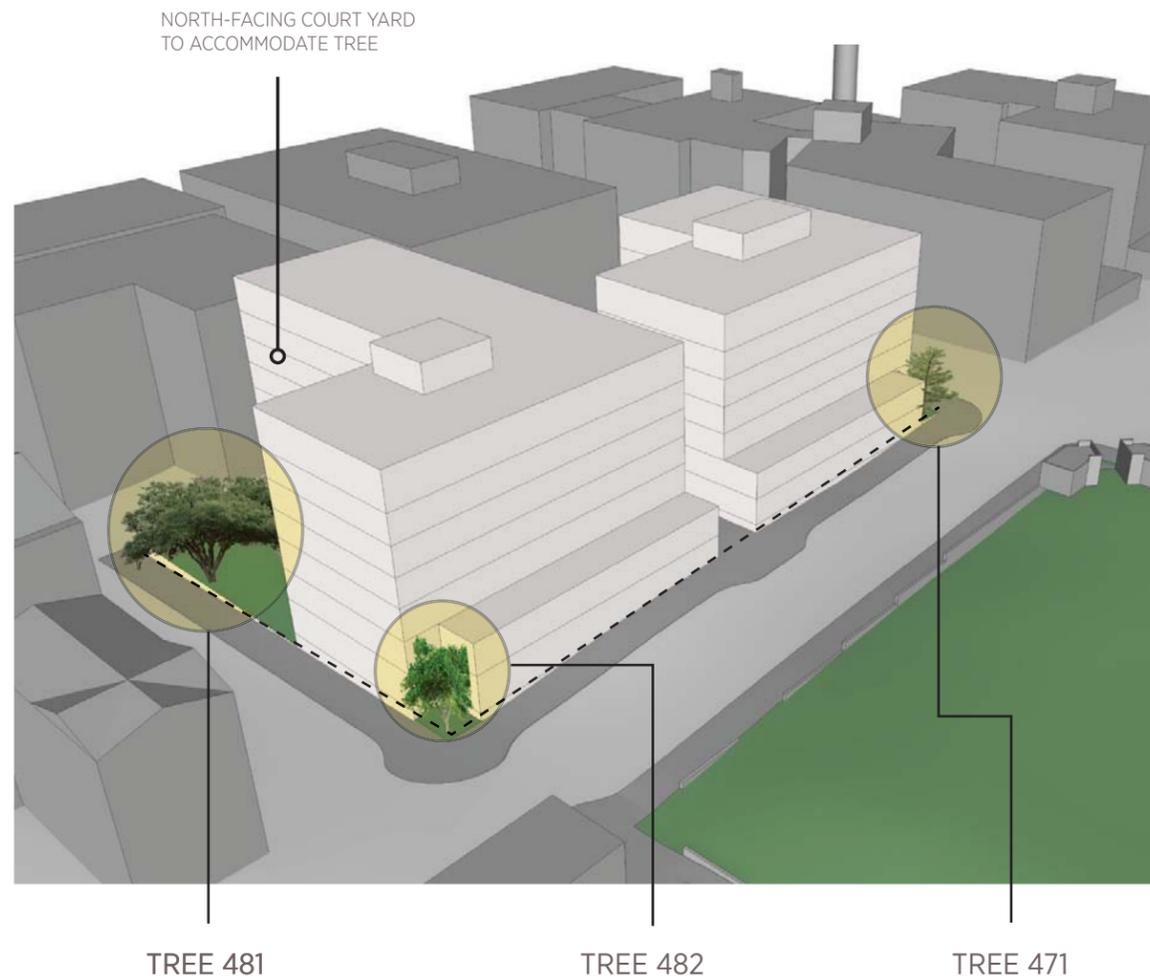
The minimum width of the alley between the two properties is 20'-0"; however the width property to property is 16'-0". Therefore, a 2'-0" alley dedication will be required on each property.

# SITE EXCEPTIONAL TREES

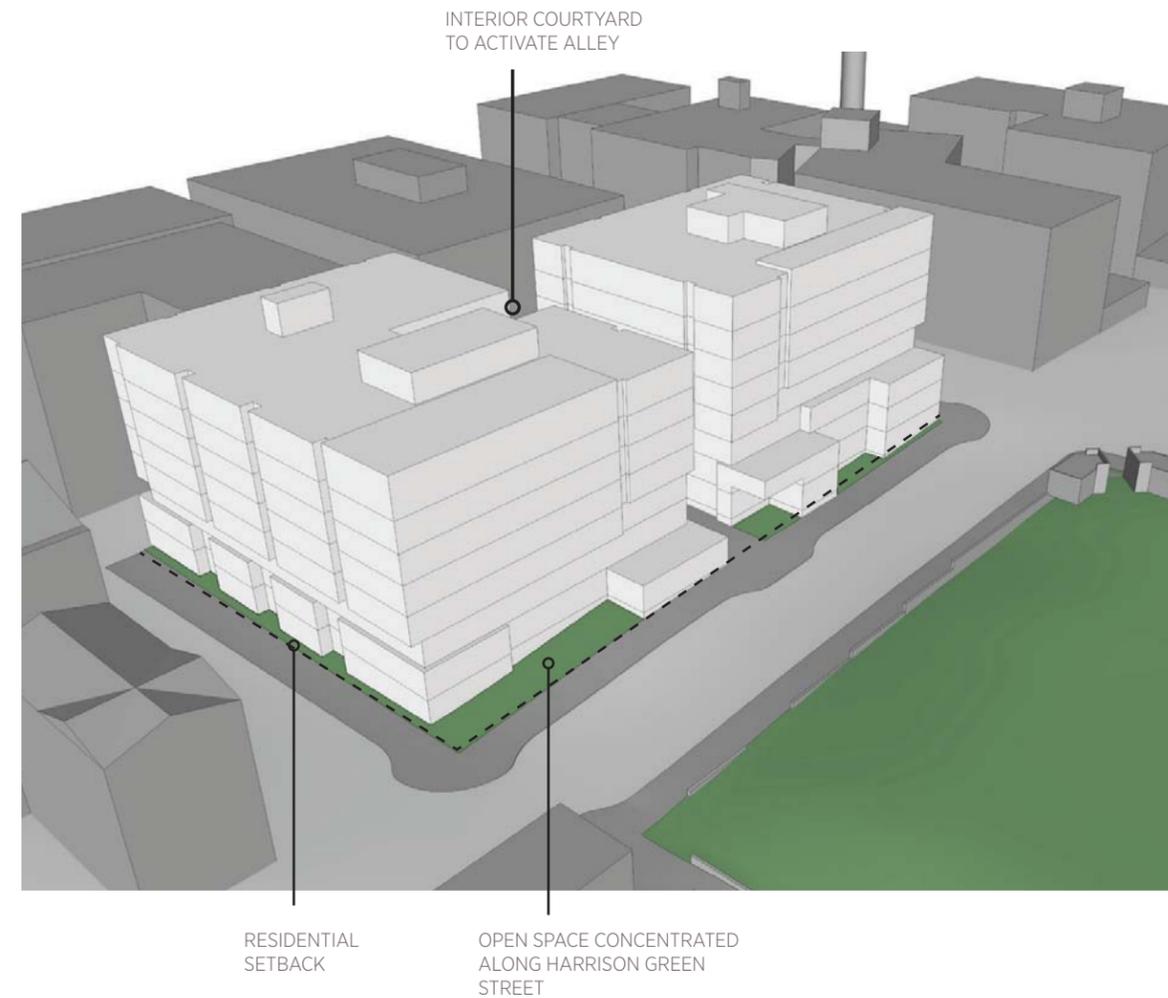
SOURCE: ARBORIST REPORT, URBAN FORESTRY SERVICES, INC., NOVEMBER 21 2014



**MASSING TO PRESERVE EXCEPTIONAL TREES**



**PREFERRED MASSING SUPPORTED AT EDG**



The preferred massing locates open space on site to the south along Harrison Street facing Cascade Park. There are no zoning departures that would allow for the maintenance of the Exceptional Trees. At the first EDG meeting, the Board unanimously supported the preferred massing that removes the Exceptional Trees and concluded that the preferred massing better met the intent of the Design Guidelines:

CS1-B Solar Orientation

CS2-B Adjacent Sites, Streets and Open Spaces

The Board noted that removal of the Exceptional Trees should result in a larger caliper trees in the right of way. Larger trees are included in the proposal; see Landscape Planting Plan on page 58 & 59.

# SITE MASSING IN CONTEXT



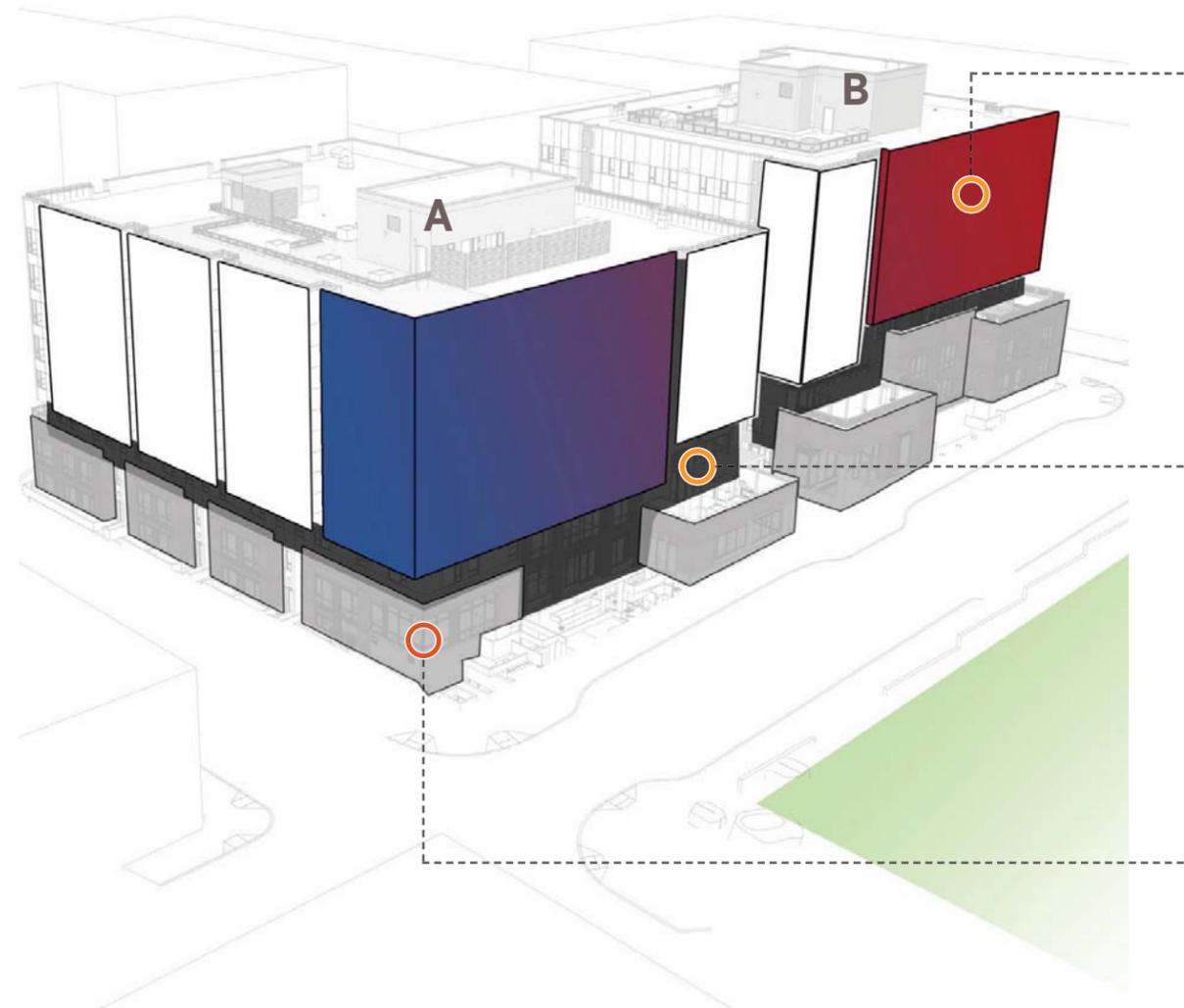


# SITE COMPOSITE PLAN





# CONCEPT REVIEW



TOP



Upper portions of the building are oriented in vertical bays reinforcing residential scale. Feature facades along Harrison, form an active backdrop to the park.

BELT



The belt is an inset massing element that creates a distinct separation between the upper and lower massing elements.

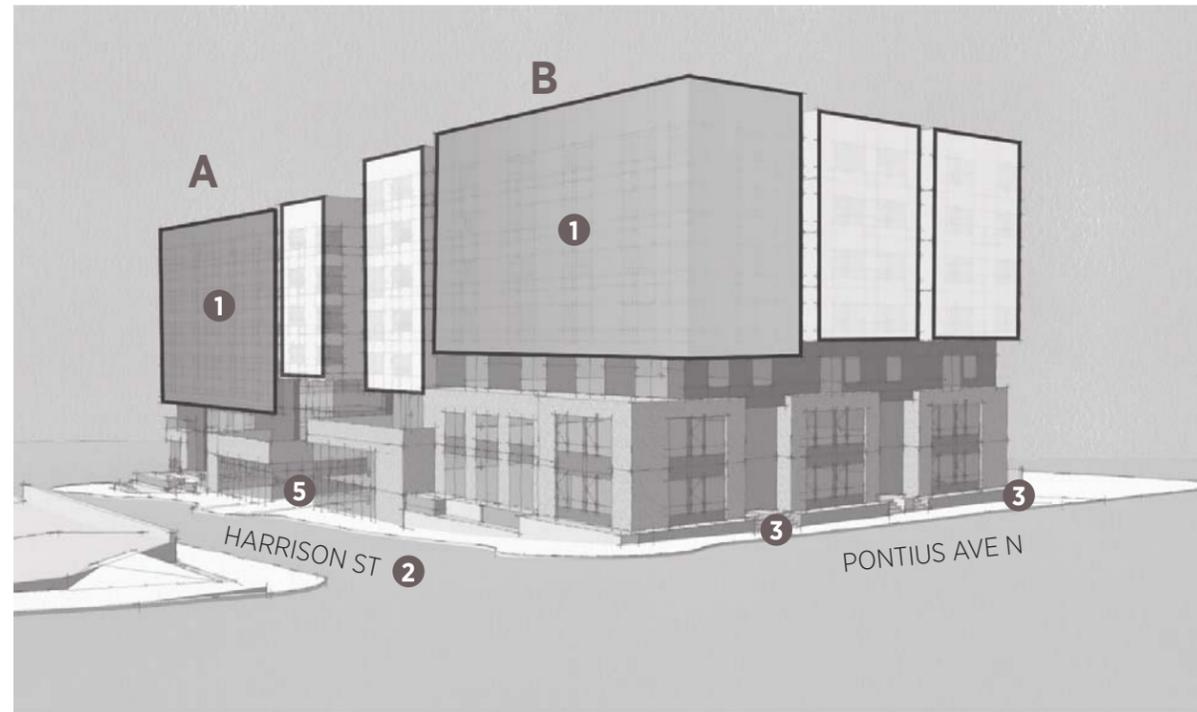
BASE



The street level architecture reflects the light industrial history of the South Lake Union neighborhood.



THIS PAGE INTENTIONALLY LEFT BLANK

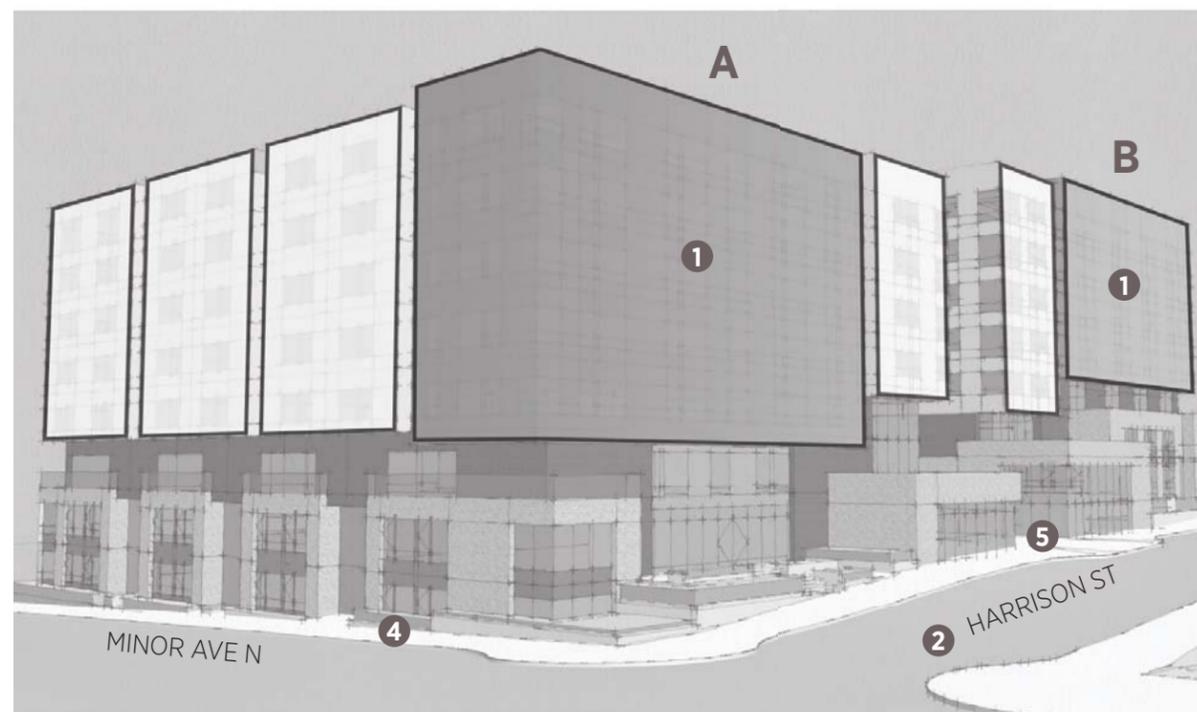


### THEME 1 PARK FACADE

- The park facade must be developed as a work of art with high quality materials.
- The park facade must include a finer grain scale, such as modulation, fins at the windows or Juliette balconies that allow people to populate the elevation.

### THEME 2 HARRISON GREEN STREET

- The setback space at **Building A** must be developed with places for people to sit and gather.
- The Board recommended that the entrance to **Building B** incorporate a setback and open space to create a front porch.
- The Board agreed that the facade of **Building B** must be elevated to the same level of design to create a unified response to the park.
- The Board encouraged other active transparent uses along the facade of **Building B**. If residential use was maintained along the facade, a wider setback incorporating stoops must be provided.
- The Board directed additional public seating should be included along the entire Harrison Street right of way, and setback areas. The space should be designed as eddies of activity.



### THEME 3 PONTIUS

- The Board agreed that the stoops responded well to the Early Design Guidance. Since EDG the design has evolved to include a second option for a balcony with artwork in lieu of the stoops. Both options are shown.
- The Board agreed the raised landscape planter was not an adequate response to the terminus of the Stack House walkway. The Board suggested a seating area would be a better response.

### THEME 4 BIKE ACCESS

- The Board felt the corner of Minor and Harrison Street would be enhanced by providing direct access to the bike storage room.

### THEME 5 ALLEY

- The Board agreed that the **Building A** primary entry and the **Building B** fitness center should be developed with an entry sequence to the alley to help further activate the residential uses along the alley.
- The Board encouraged the applicant to include additional features, such as overhead lights to further activate the space.

MASSING AT EDG

# EDG RESPONSE PARK FACADE CONCEPT

## BOARD DIRECTION

*“The Board expressed reservations about the mural pieces facing the park. The Board was supportive of the inspirational images provided on page 18 of the 2nd EDG packet, but felt that to be successful, the mural must be developed as an art piece with high quality materials, human scale elements and reflectivity (CS2-I, CS3).”*

## RESPONSE

At EDG, the park facade was only shown as large massing elements. Since EDG the park facade has been developed with high quality materials, a fine grain scale, Juliette balconies, and fourteen custom colors.

The Concept - The designer/developer team envisions the upper level park facade as a dramatic backdrop to Cascade Park. The upper level facade will reflect the energy and playfulness of the park and neighborhood. The design begins with an East to West gradient from red to blue. An abstracted plaid pattern is overlaid to create depth and movement. Plaid is casual, youthful, and classic, a combination that represents the South Lake Union Neighborhood. The plaid pattern on the feature facade weaves together colors found in nearby residential buildings, creating a unified palette for the cascade park neighborhood.

## RELEVANT DESIGN GUIDELINES

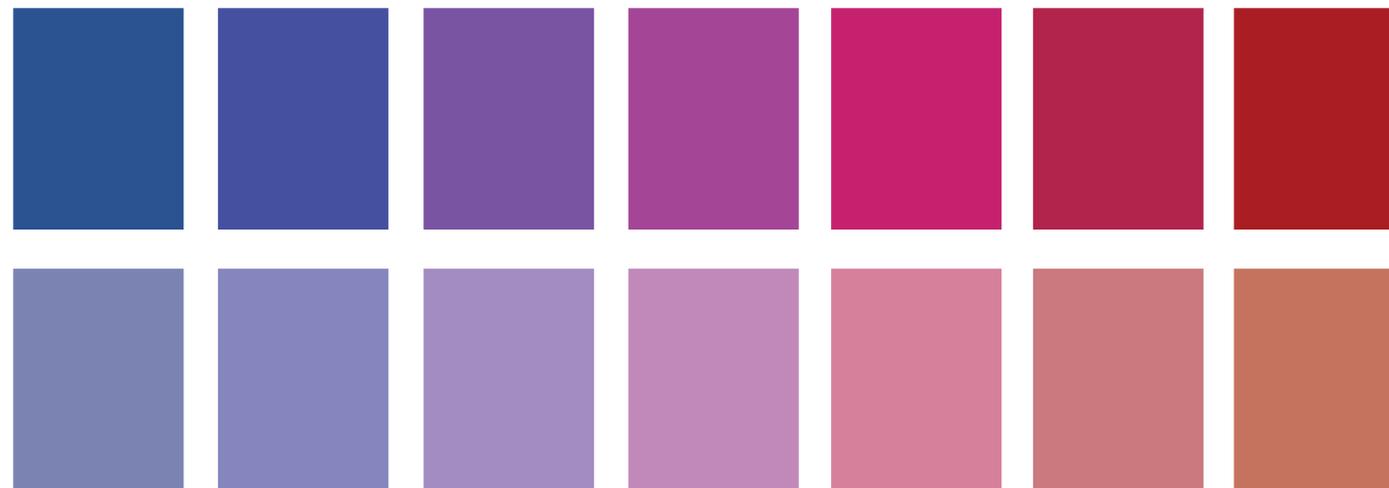
### CS2 Urban Pattern and Form

Strengthen the most desirable forms, characteristics, and patterns of the streets, block faces, and open spaces in the surrounding area.

### CS3 Architectural Context and Character

Contribute to the architectural character of the neighborhood.





## EDG RESPONSE PARK FACADE DETAILS

### BOARD DIRECTION

*"The Board was adamant the mural must include a finer grain scale. The Board noted there are many ways to reduce the scale but offered suggestions such as modulation, fins at the windows or Juliette balconies that allow people to populate the artwork on the south façade(CS2-I, CS3).*

### RESPONSE

At EDG there were no details provided on the park facade design. The upper level park facade has been developed to include:

1. 22 gauge 12" metal panels with a 1" reveal. The panels will be custom finished in fourteen colors. The metal panel was selected for its small scale and reflectivity.
2. High-contrast white windows are paired with white metal panels to create vertical bands intended to reinforce the weaving concept.
3. Pin-mounted Juliette balconies with translucent glass have been added to the composition to provide additional depth, texture, reflectivity and activation.

### RELEVANT DESIGN GUIDELINES

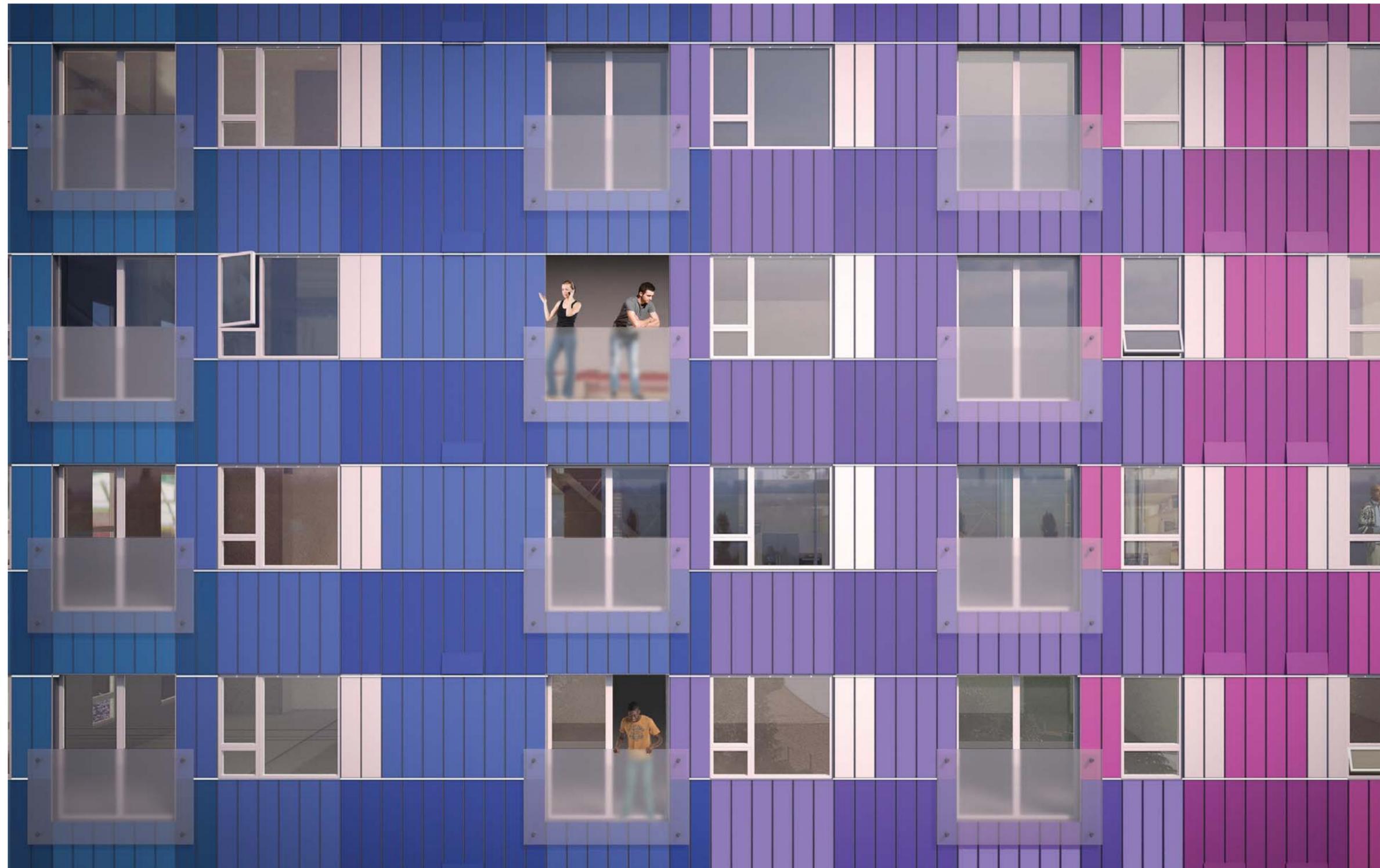
#### CS2 Urban Pattern and Form

Strengthen the most desirable forms, characteristics, and patterns of the streets, block faces, and open spaces in the surrounding area.

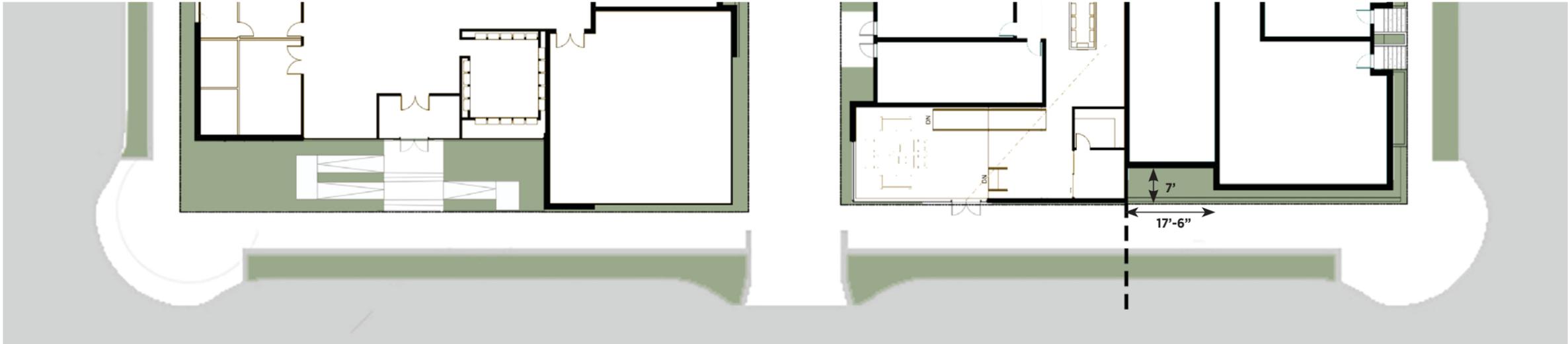
#### CS3 Architectural Context and Character

Contribute to the architectural character of the neighborhood.





THIS PAGE INTENTIONALLY LEFT BLANK



HARRISON GREEN STREET AT EDG



STEEL PLANTER, BOULDERS, AND TREES ADDED

SEATING ADDED

ADDED FITNESS ENTRY

FRONT PORCH SETBACK ADDED, NOW INCLUDES SEATING

PLANTERS ADDED

SETBACK AREA INCREASED, NOW INCLUDES BENCHES, PLANTING & ARTWORK

HARRISON GREEN STREET AT DRB



# EDG RESPONSE HARRISON GREEN STREET OVERVIEW



LANDSCAPED SETBACK WITH INTEGRATED SEATING    BENCH    CASCADING BOULDERS WITH STEEL PLANTER    BENCH    INTEGRATED RAMP AND PLANTER    MAIN ENTRY    BENCH    BIKE RACKS    PEDESTRIAN ACCESS POINTS    24" PLANTER



L P1 L1  
 AREA OF ARTWORK  
 SEE PAGES 38-39 FOR PROPOSAL



BUILDING B ENTRY WITH PLANTING AND SEATING    BENCH    BIKE RACKS    PLANTER  
 PLANTED PEDESTRIAN "EDDY" WITH SEATING AND ARTWORK    BENCH, TYP.    RESIDENTIAL TERRACE    36" PLANTER

**EDG RESPONSE** HARRISON GREEN STREET - BUILDING A ENTRY



## EDG RESPONSE HARRISON GREEN STREET - BUILDING A ENTRY



### BOARD DIRECTION

*"The Board directed that the setback space be developed with places for people to sit and gather. The Board suggested the entry ramp may include seating spaces as one possible solution (CS2-B, CS2-I, PL1, PL3-A, PL3-II, DC1-A, DC3).*

### RESPONSE

Since EDG, the setback area at the corner of Harrison and Minor has been redesigned to include terraced landscaping and seating. The concrete retaining walls have been minimized. A series of steel planters, benches and rock formations help define areas of movement and rest. The SW corner now complements the opposite corner which serves as the entrance to cascade park.

The entry ramp and stair have been enhanced with seating, planting and canopy to mark the building entry.

### RELEVANT DESIGN GUIDELINES

#### CS2 Urban Pattern and Form

Strengthen the most desirable forms, characteristics, and patterns of the streets, block faces, and open spaces in the surrounding area.

#### DC3 Open Space Concept

Integrate open space design with the design of the building so that each complements the other.

#### PL1 Connectivity

Complement and contribute to the network of open spaces around the site and the connections among them.

#### PL3 Street Level Interaction

Encourage human interaction and activity at the street-level with clear connections to building entries and edges.



#### Corner view of Cascade Park from Harrison & Minor

The proposed landscaping in front of the building A entry compliments the adjacent landscaping at the park corner.

# EDG RESPONSE HARRISON GREEN STREET - BUILDING B ENTRY- OPTION A

## BOARD DIRECTION

"The Board was supportive of the primary lobby relationship to the fitness center across the alley. The Board recommended that the entrance incorporate a setback and open space to create a front porch (DC1, DC3)."

## RESPONSE

In response to the Early Design Guidance a front porch setback area with seating and planting has been added. We have studied two options to meet the Board's Recommendation.

## OPTION A

The entry for building B expands the lobby toward the west to help activate the alley by residents who will use the lobby all hours of the day, all months of the year. This option also provides an activated front porch with "eyes on the alley" increasing safety and activity for the Cascade neighborhood. Option A also locates public seating closer to the sidewalk, advancing the project's connection to the street and public realm per CS2-B-2 and PL-B-3. Option A is our preferred design solution, and better implements Board feedback regarding an appropriate relationship between the lobby and the west fitness room across the alley, and the Design Guidelines.

## RELEVANT DESIGN GUIDELINES

### CS2 Urban Pattern and Form

Strengthen the most desirable forms, characteristics, and patterns of the streets, block faces, and open spaces in the surrounding area.

### PL3 Street Level Interaction

Encourage human interaction and activity at the street-level with clear connections to building entries and edges.





**OPTION B**

In this option the building B entry provides deeply-recessed outdoor porch space, but no part of the lobby is immediately adjacent to the alley, and nor is the seating as close to the sidewalk. This removes the opportunity for “eyes on the alley” and also reduces human interaction and activity for pedestrians at the street level.

# EDG RESPONSE HARRISON GREEN STREET - RESIDENTIAL UNITS - OPTION A

## BOARD DIRECTION

The Board expressed concern regarding the ground level units facing the park. The Board encouraged other active transparent uses along the facade. However, if residential use was maintained along the facade, a wider setback incorporating stoops must be provided. (CS2, PL3-B, PL3-C, PL3-II, PL3-III)

## RESPONSE

Since EDG the setback depth in front of the residential units has been increased from 7' to 12' and widened from 17'-6" to 34'-9". There are two options provided for this area:

## OPTION A

This option includes a wide, lushly-planted setback, multiple seating areas and a large display wall for artwork pieces developed in collaboration with students at the Cornish College of the Arts. These elements help activate and enhance the pedestrian experience along this Green Street. This is the preferred option as it better advances the Design Guidelines (CS3-II-vi calls for reinforcing Cascade's Character with community artwork, and PL-B-3 looks for opportunities to create lively, pedestrian-oriented spaces to attract interest and interaction.)

### RELEVANT DESIGN GUIDELINES

#### CS2 Urban Pattern and Form

Strengthen the most desirable forms, characteristics, and patterns of the streets, block faces, and open spaces in the surrounding area.

#### PL3 Street Level Interaction

Encourage human interaction and activity at the street-level with clear connections to building entries and edges.



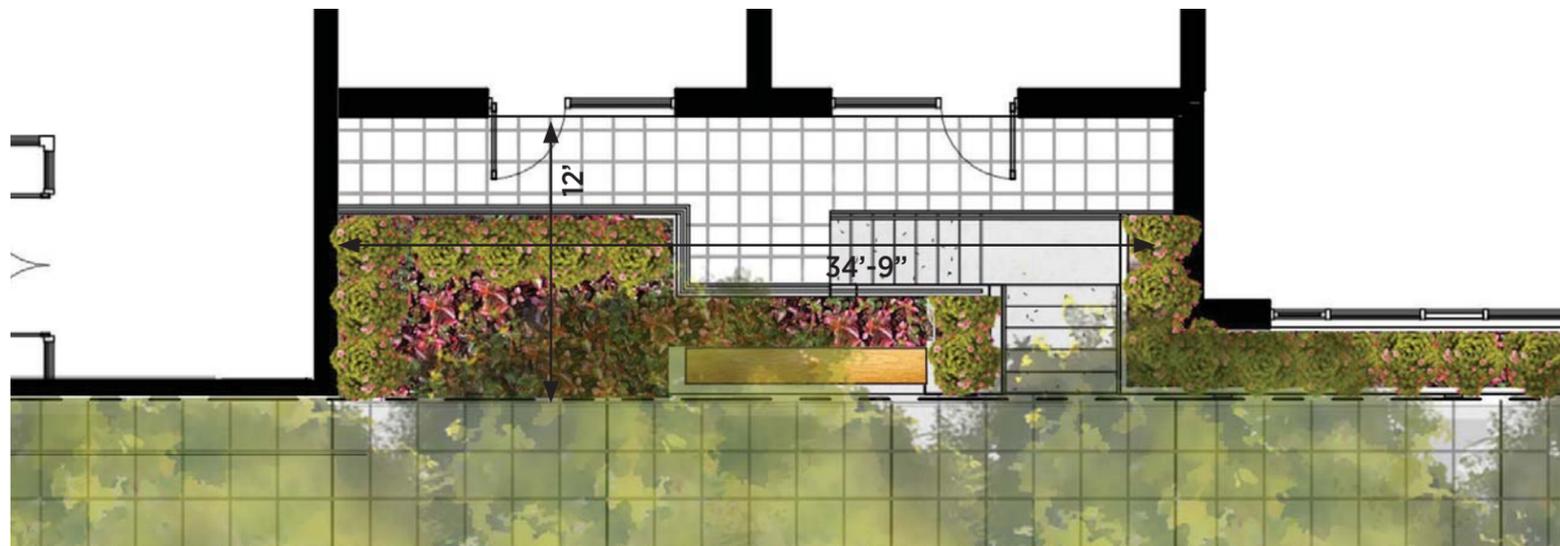
AREA OF ARTWORK  
IMAGES SHOWN AS AN EXAMPLE  
SEE PAGES 38-39 FOR PROPOSAL





**OPTION B**

Option B provides a stair to the balconies on the first residential level, which would occupy a large portion of the setback area. This would greatly reduce the landscaping, eliminate seating elements and remove the large display art wall, therefore providing much less visual interest for pedestrians. This is not the preferred option and it runs counter to Board feedback to create a less “armored” space along the Harrison Green Street.



# EDG RESPONSE PONTIUS - RESIDENTIAL UNITS - OPTION A

## BOARD DIRECTION

"The Board was pleased with the revised ground level design for the units along Minor Avenue N and Pontius Avenue N. The Board supported the two story brick expression with the 3 foot street setback incorporated into raised landscape planter buffers. The Board agreed that the 13 foot stoops with 3 foot planters in the middle responded well to the Early Design Guidance." The entries and stoops appear to have been removed from the east façade. Please revise and demonstrate how the revised design responds to EDG."

## RESPONSE

At EDG 2 we showed stoops along Pontius. With further review, garage and transformer requirements necessitated lifting the building approximately 21". Raising the building also greatly improved access to the alley units and brought the lobby to grade eliminating the need for a ramp. This made the Pontius Ave. stoops undesirable. The required entry stair, created deep recesses in the facade, instead of bringing activity out to the street edge. We are showing two options for this area.



AREA OF ARTWORK  
IMAGES SHOWN AS AN EXAMPLE  
SEE PAGES 38-39 FOR PROPOSAL

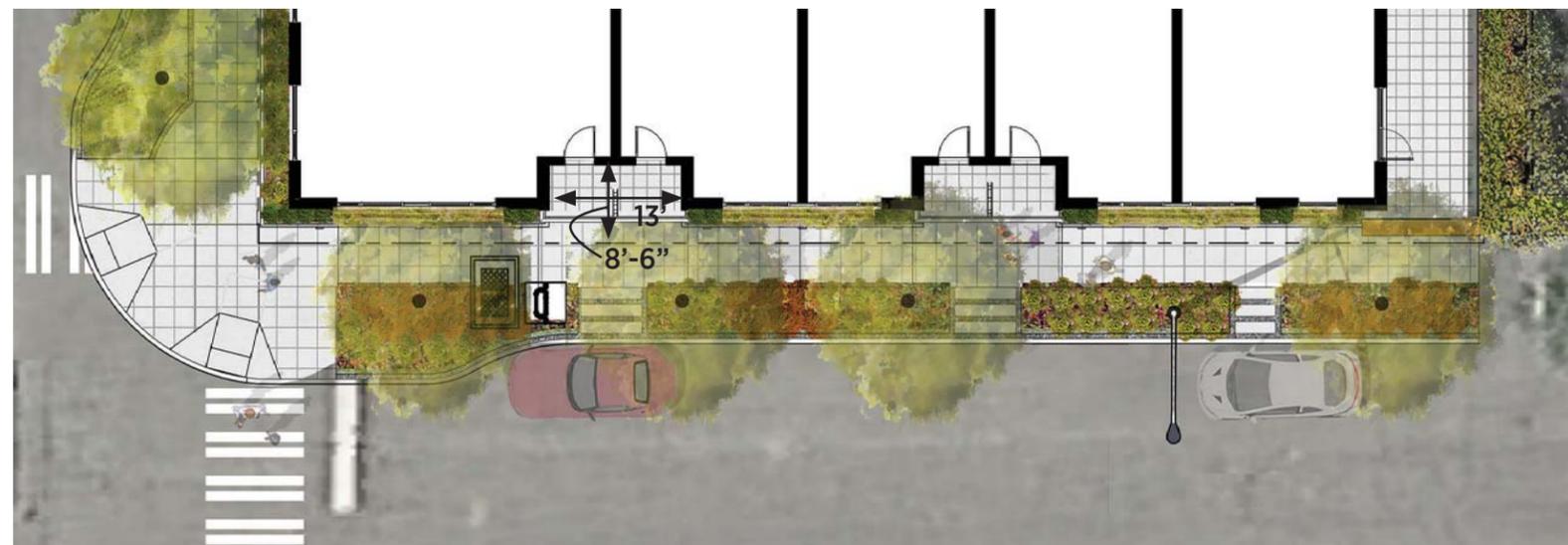
## OPTION A

As an alternative to the stoops shown at EDG, belvedere style balconies with drink rails have been added at each unit along Pontius. Additionally, planting and artwork (in collaboration with Cornish College of the Arts) will also be provided to further activate the street level and provide pedestrian interest. In our experience, the balconies will be more widely utilized by residents than shared stoops. The balconies and planting provide texture and activity, while ensuring privacy to the units along Pontius. This is the preferred option and provides a better transition between public and private areas, consistent with the intent of PL3-III.

### RELEVANT DESIGN GUIDELINES

#### PL3-III Street-Level Interaction

Encourage human interaction and activity at the street-level. Privacy and security issues are particularly important with ground-level housing. (PL3 B2)





**OPTION B**

This option provides stoops along Pontius. However, due to the height of the first residential level, the number of steps required creates a deep recess into the building. The depth of the unit entries do not support activation at the sidewalk. Also, a balcony with artwork at the edge of the building would be more effective at enlivening the area and activating the pedestrian experience than stairs (stoops). Stoops are thus not the preferred option.

# EDG RESPONSE PONTIUS - CORNER FACING STACK HOUSE PORTAL

## BOARD DIRECTION

"The Board agreed the raised landscape planter was not an adequate response to the terminus of the Stack House walkway. The Board suggested a seating area would be a better response. The seating area should redirect the visual attention back to the axis of the walkway(CS3-A)."

## RESPONSE

The design for the corner facing Stack House now includes a seating area along with planting and an area of art work.

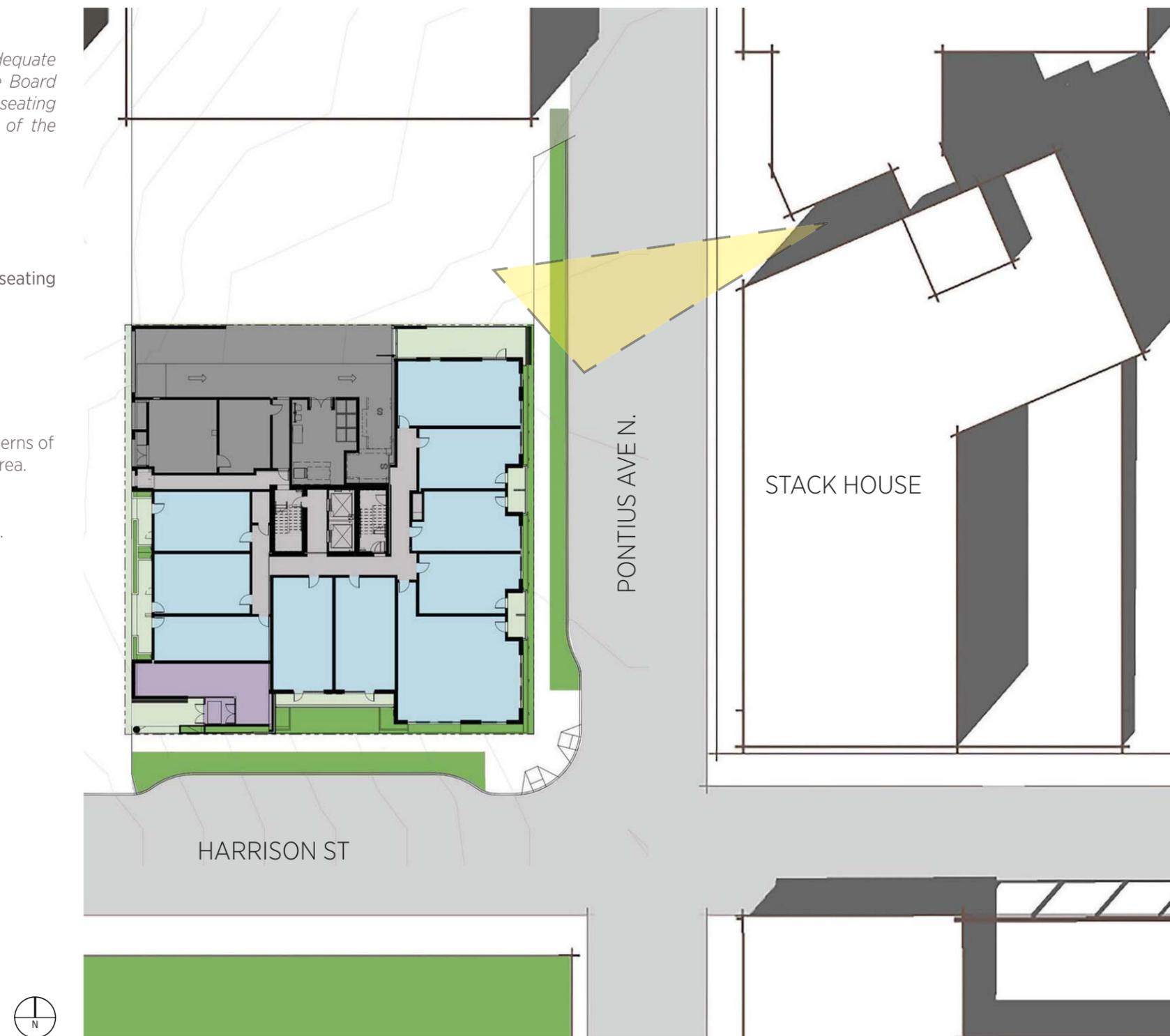
## RELEVANT DESIGN GUIDELINES

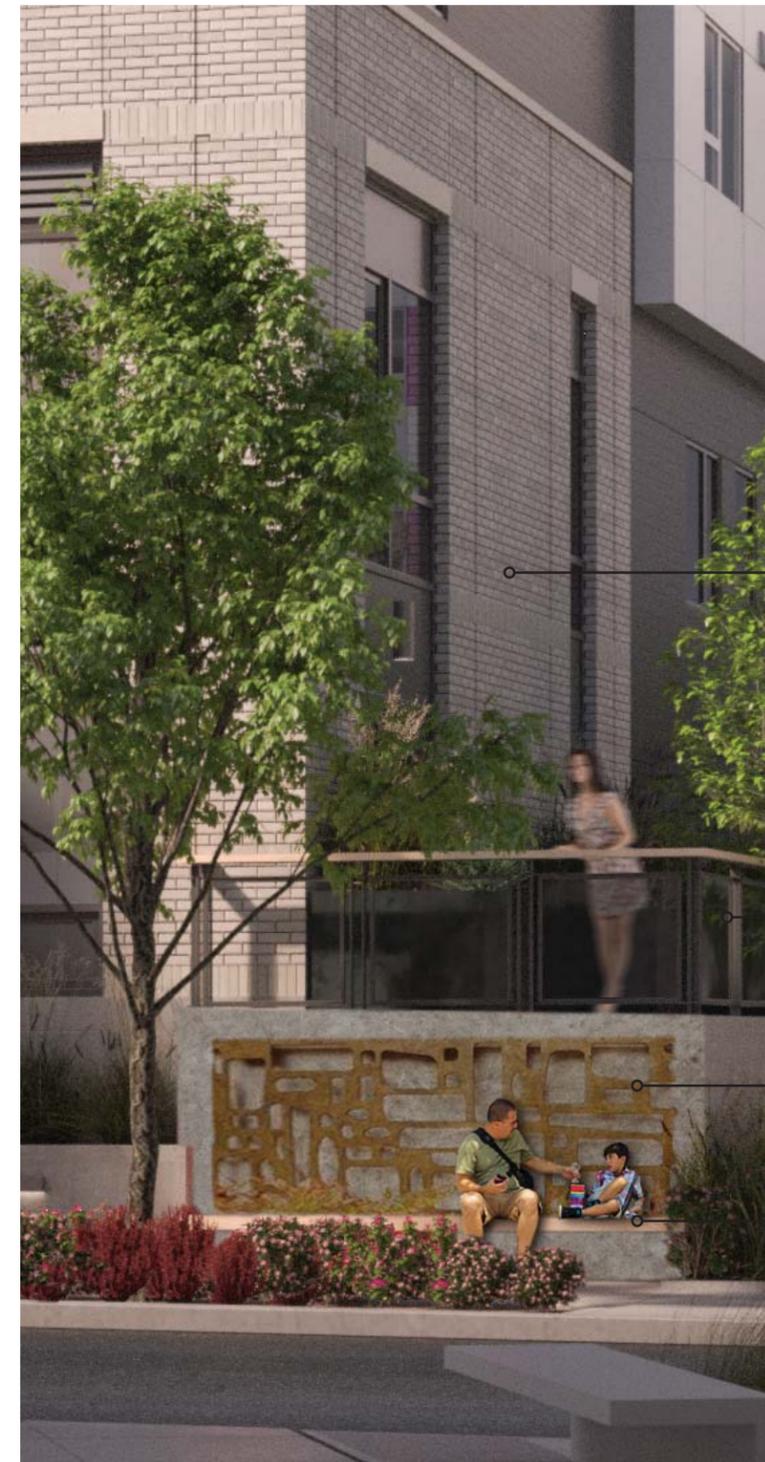
### CS2 Urban Pattern and Form

Strengthen the most desirable forms, characteristics, and patterns of the streets, block faces, and open spaces in the surrounding area.

### CS3 Architectural Context and Character

Contribute to the architectural character of the neighborhood.





BRICK RETURN

BALCONY

AREA OF ARTWORK  
IMAGE SHOWN AS AN EXAMPLE  
SEE PAGES 38-39 FOR PROPOSAL

BENCH

# COMMISSIONED ARTWORK PROPOSAL

The Cascade Apartment site is in the heart of the South Lake Union Art Walk neighborhood. The developer is partnering with Cornish College of the Arts to commission a unique set of artworks to be installed along Harrison and Pontius. (see highlighted areas)

The Cascade Apartment artworks will be developed through a credit course under the direction of faculty member Natalie Riha along with the Student Curators Group. Riha will provide guidance on the art submission process including design review, materials support and installation guidance. This is a unique opportunity for the students to collaborate directly with a developer to create a public art installation that will have an immediate impact on their community.

A broad cross section of diverse artistic styles, viewpoints and media from Cornish students will be represented in the selected artworks. Final selection will be reviewed by the planner prior to installation.

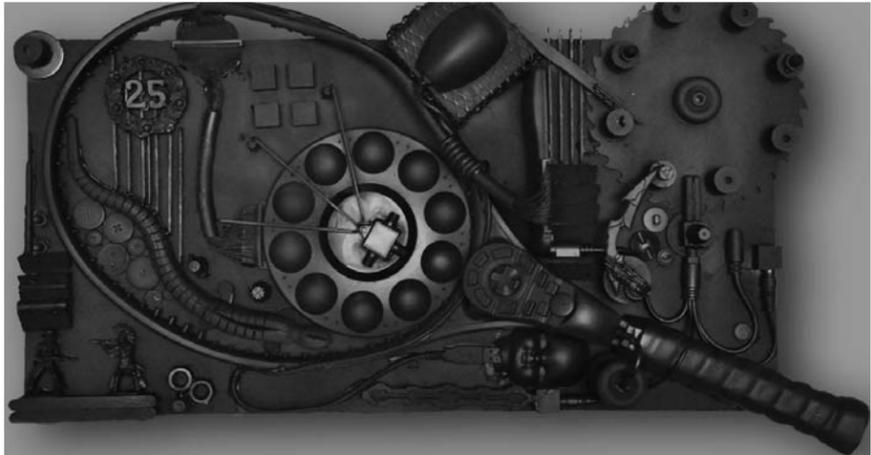
## TIMELINE:

- RFP – Jan 2017
- Student Presentation Preview- March 2017
- Student Presentation Final – May 2017
- Final Selection – May/June 2017
- Cornish Summer Break





VARIETY OF ARTWORK UNDER CONSIDERATION



THIS PAGE INTENTIONALLY LEFT BLANK

# EDG RESPONSE BIKE ACCESS



### BOARD DIRECTION

"The Board felt the corner of Minor and Harrison Street would be enhanced by providing direct access to the bike storage room. The Board encouraged the applicant to explore a direct connection in order to activate the street corner (CS2-B2, PL3-II).

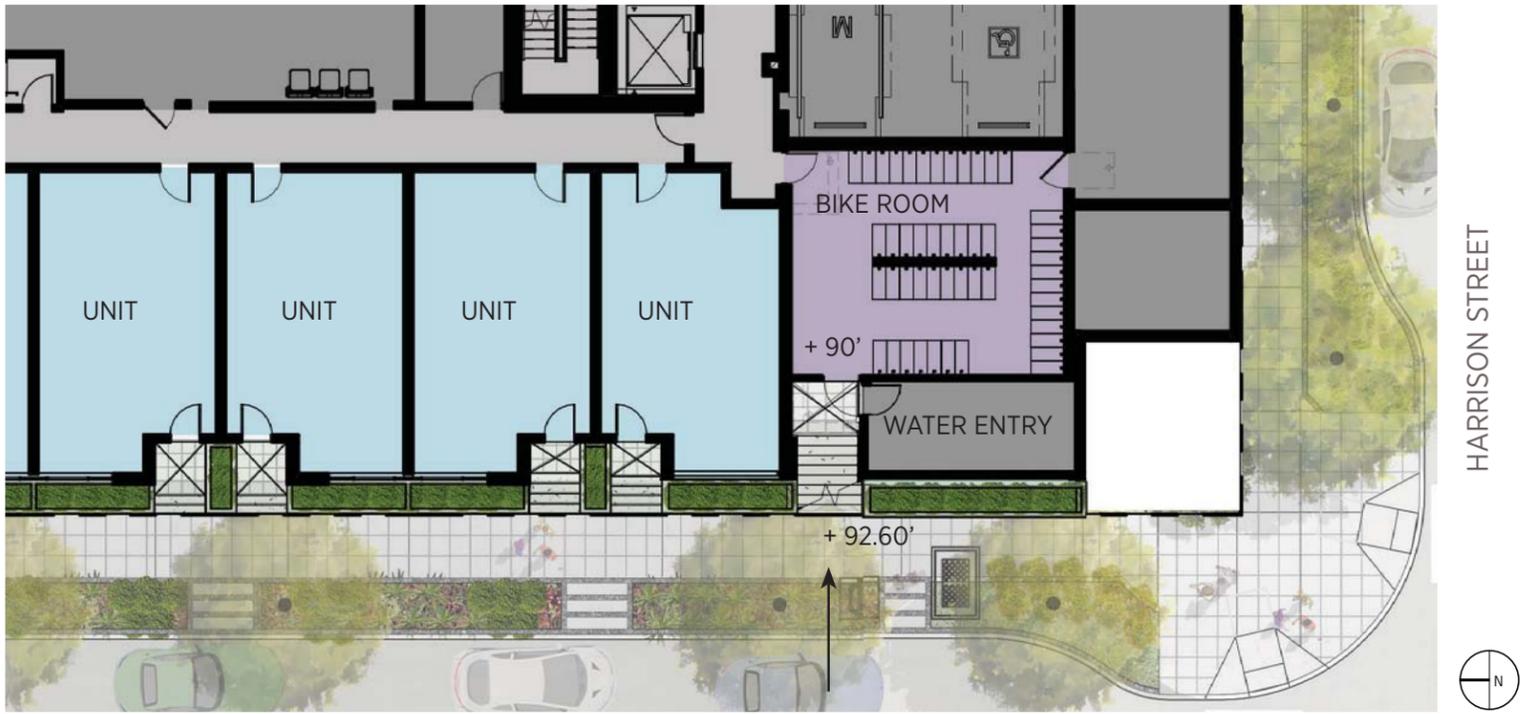
### RESPONSE

The current design now includes direct access to the bike room near the corner of Minor and Harrison. The access stair and runnel has been integrated with the landscape planting to help activate the street edge.

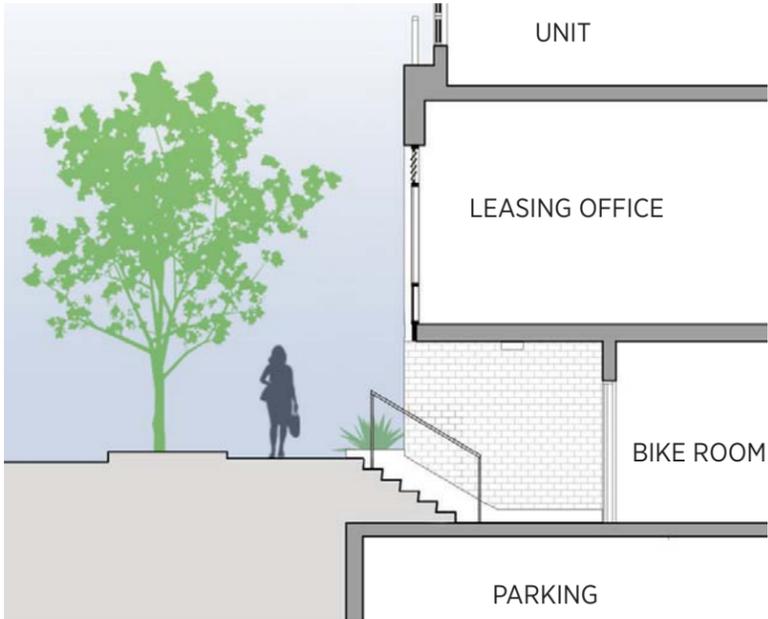
### RELEVANT DESIGN GUIDELINES

**CS2 Urban Pattern and Form**  
Strengthen the most desirable forms, characteristics, and patterns of the streets, block faces, and open spaces in the surrounding area.

**PL3 Street Level Interaction**  
Encourage human interaction and activity at the street-level with clear connections to building entries and edges.



MINOR AVENUE N. ADDED BIKE ENTRY





**BOARD DIRECTION**

*“The Board agreed that the East Building primary entry and the West Building fitness center should be developed with an entry sequence to the alley to help further activate the residential uses along the alley (PL1-B, PL3-A, PL3-B).”*

**RESPONSE**

All public functions have been moved toward Harrison. Because of grading and accessibility issues, direct access is not possible at all points. In order to activate the pedestrian experience, a high degree of transparency has been added along with generous planting, benches, and lighting. An entry porch for the entrance of Building B has been provided. With the removal of direct street access to the fitness room at Building A, we have activated the corner by bringing the fitness use to the edge of the street and alley. This 24 hour use will create a visual connection between the two buildings, and help bring light and activity to the alley entrance throughout the day and evening. In lieu of fitness access from the sidewalk, we are providing a secure and separate fitness entrance adjacent to the Building A lobby entrance, for use by residents in Building B.

**RELEVANT DESIGN GUIDELINES**

**PL1 Connectivity**

Complement and contribute to the network of open spaces around the site and the connections among them.

**PL3 Street Level Interaction**

Encourage human interaction and activity at the street-level with clear connections to building entries and edges.

**DC1 Project Uses and Activities**

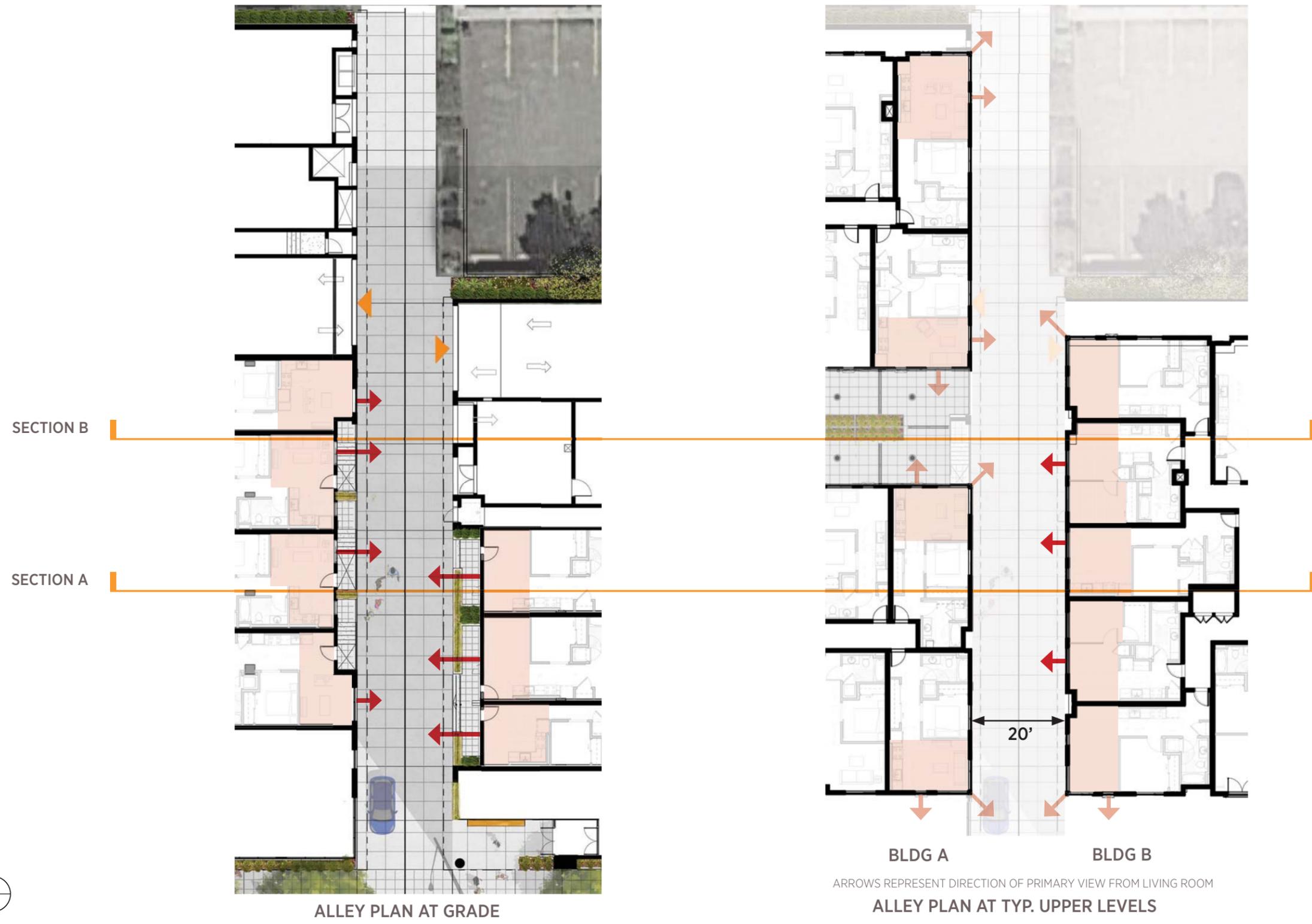
Optimize the arrangement of uses and activities on site.

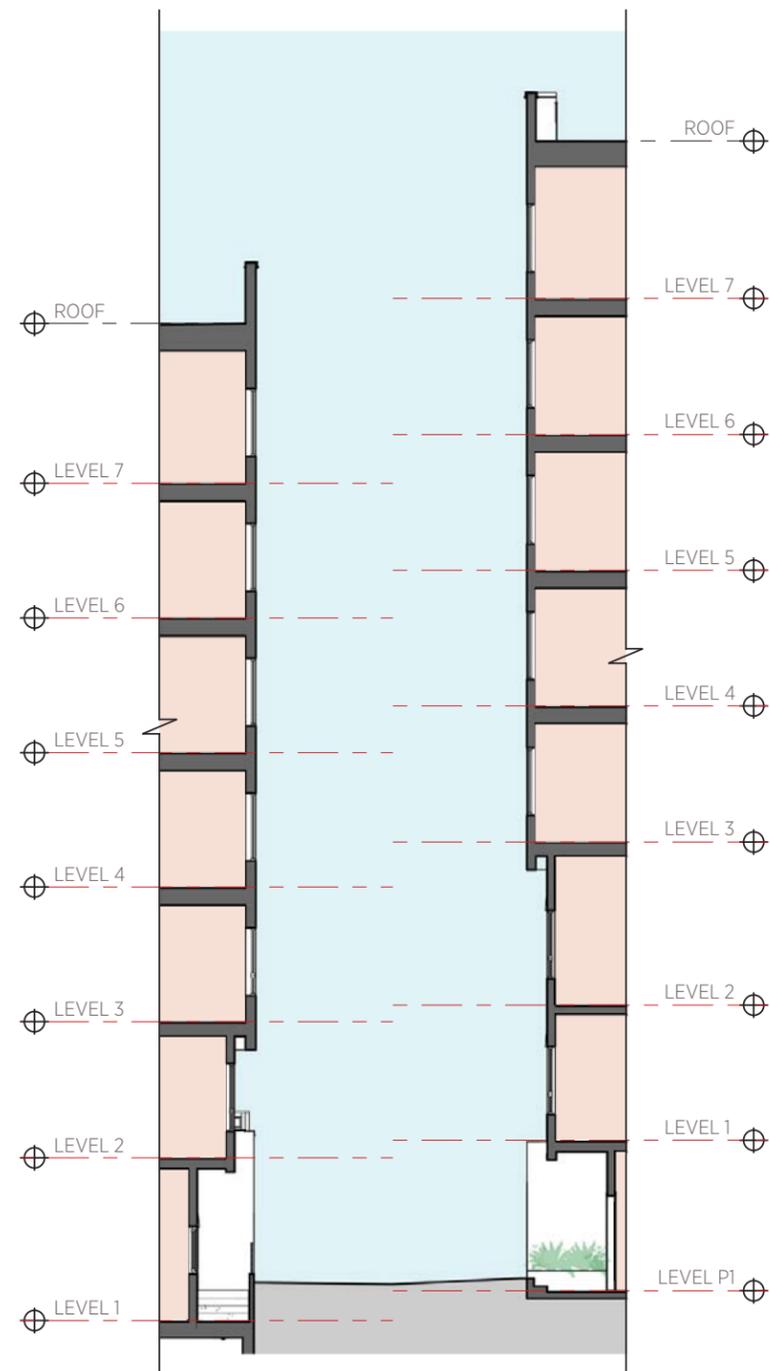
**DC3 Open Space Concept**

Integrate open space design with the design of the building so that each complements the other.

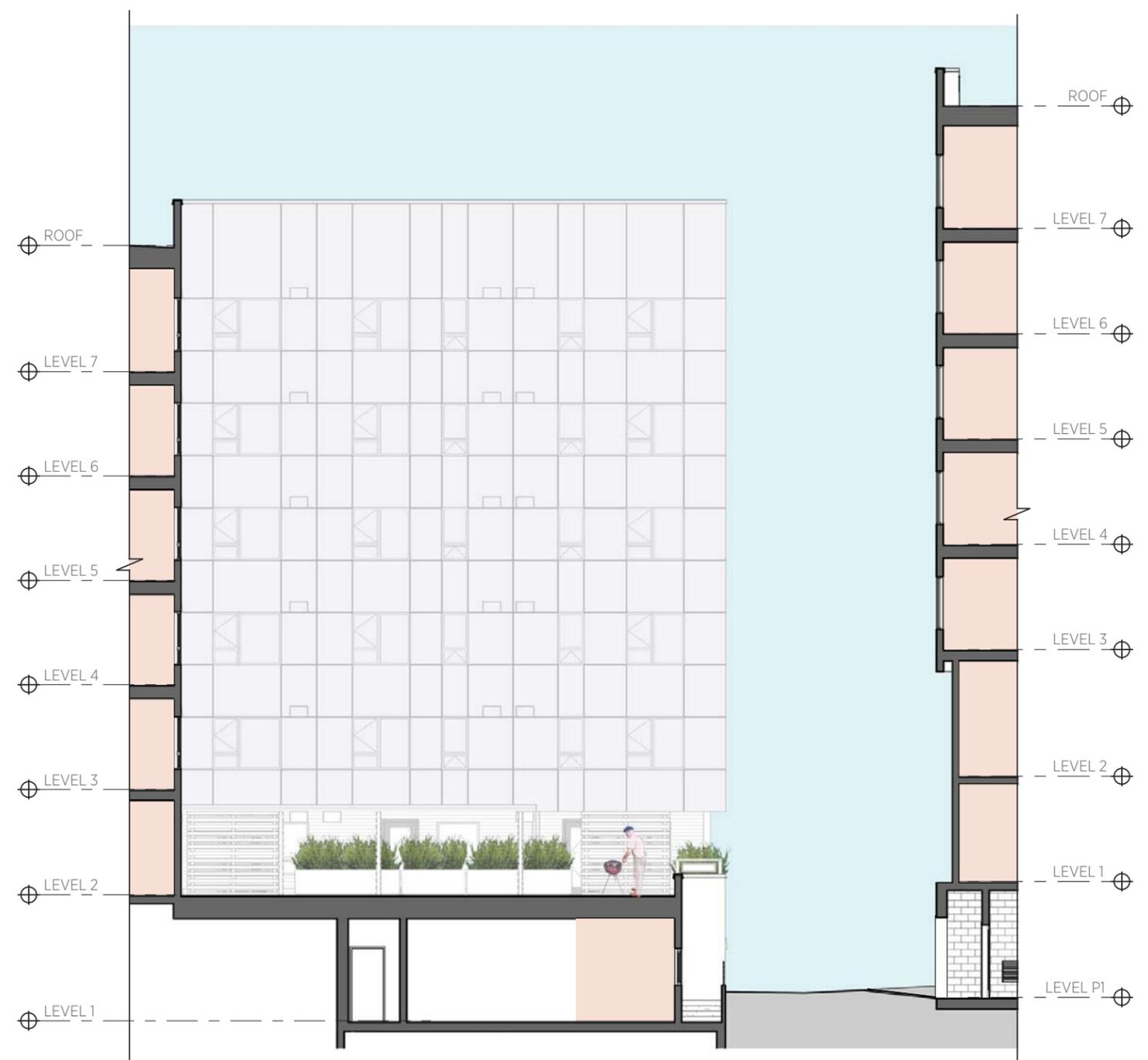








SECTION A -  
THROUGH ALLEY



SECTION B -  
THROUGH COURTYARD

THIS PAGE INTENTIONALLY LEFT BLANK

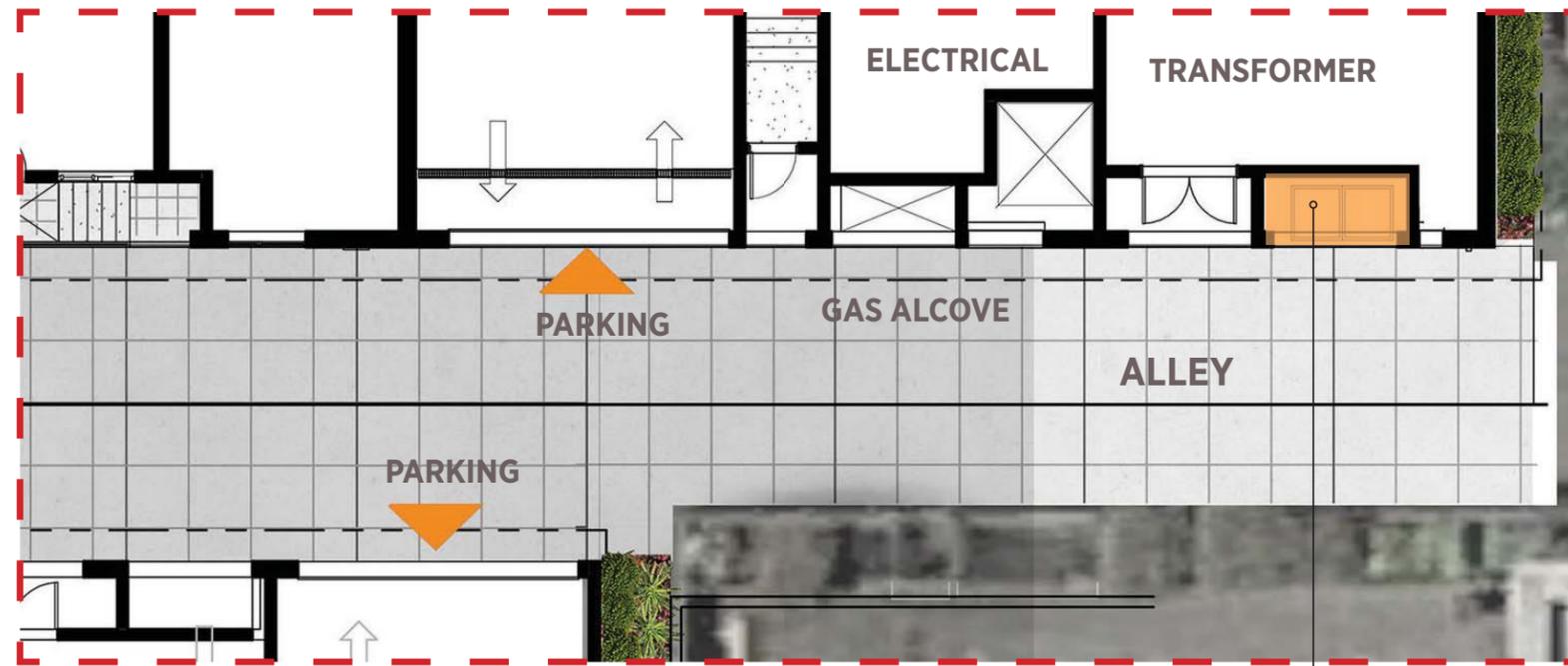


**BOARD DIRECTION**

The Board requested additional details on the location of solid waste staging within the alley.

**RESPONSE**

The solid waste staging is now placed in an alcove at the north end of the Alley in Building A. Both Building A and B will share this staging area. Refuse pick up will be scheduled for multiple times a week.

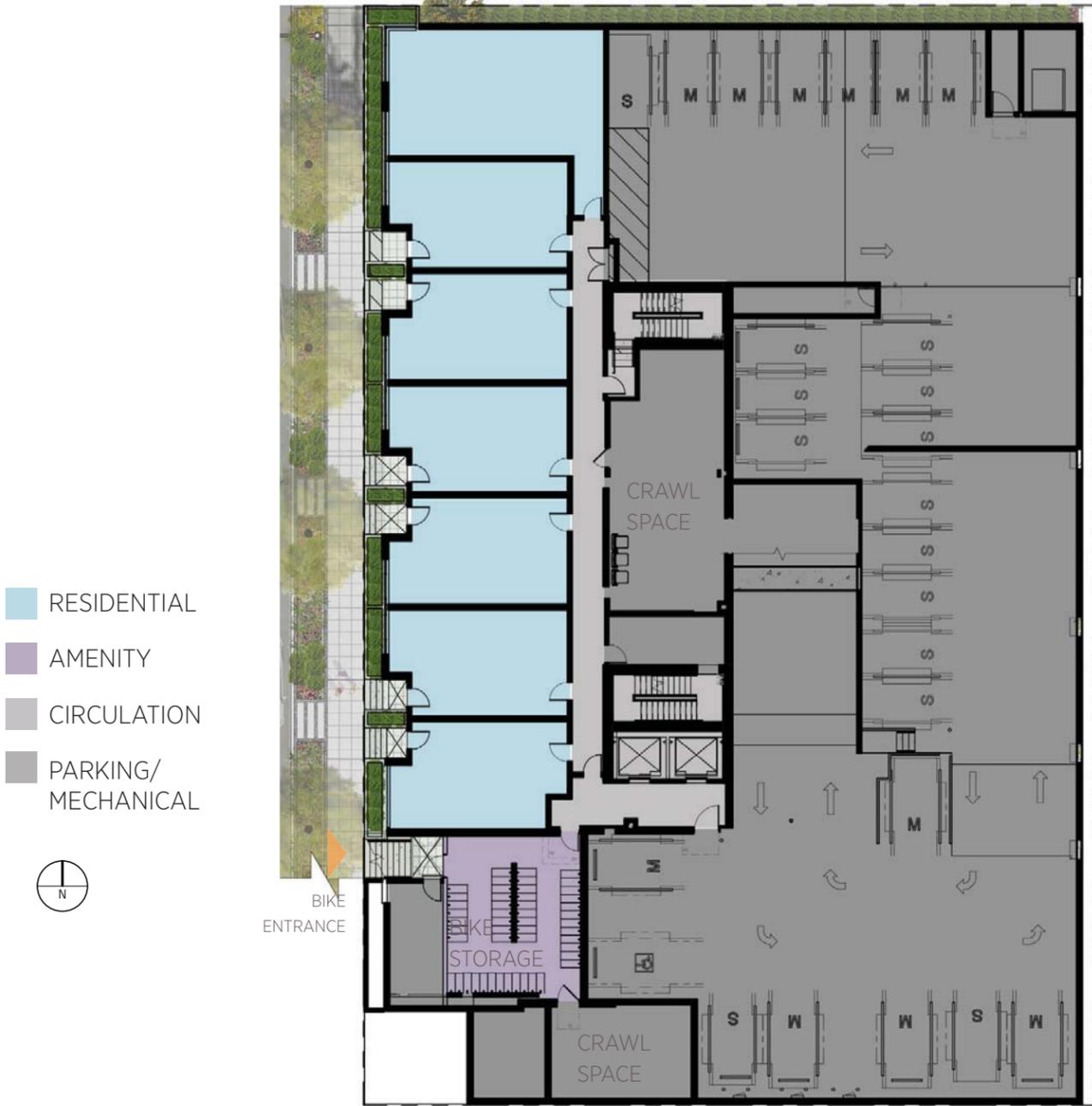


BOTH BUILDINGS WILL USE CARTS TO CARRY WASTE UP AND OUT OF RAMPS AS NEEDED TO SHARED TRASH STAGING AREA ALONG BUILDING A. PICKUPS WILL BE AS FREQUENT AS NEEDED





PARKING P4 - P2

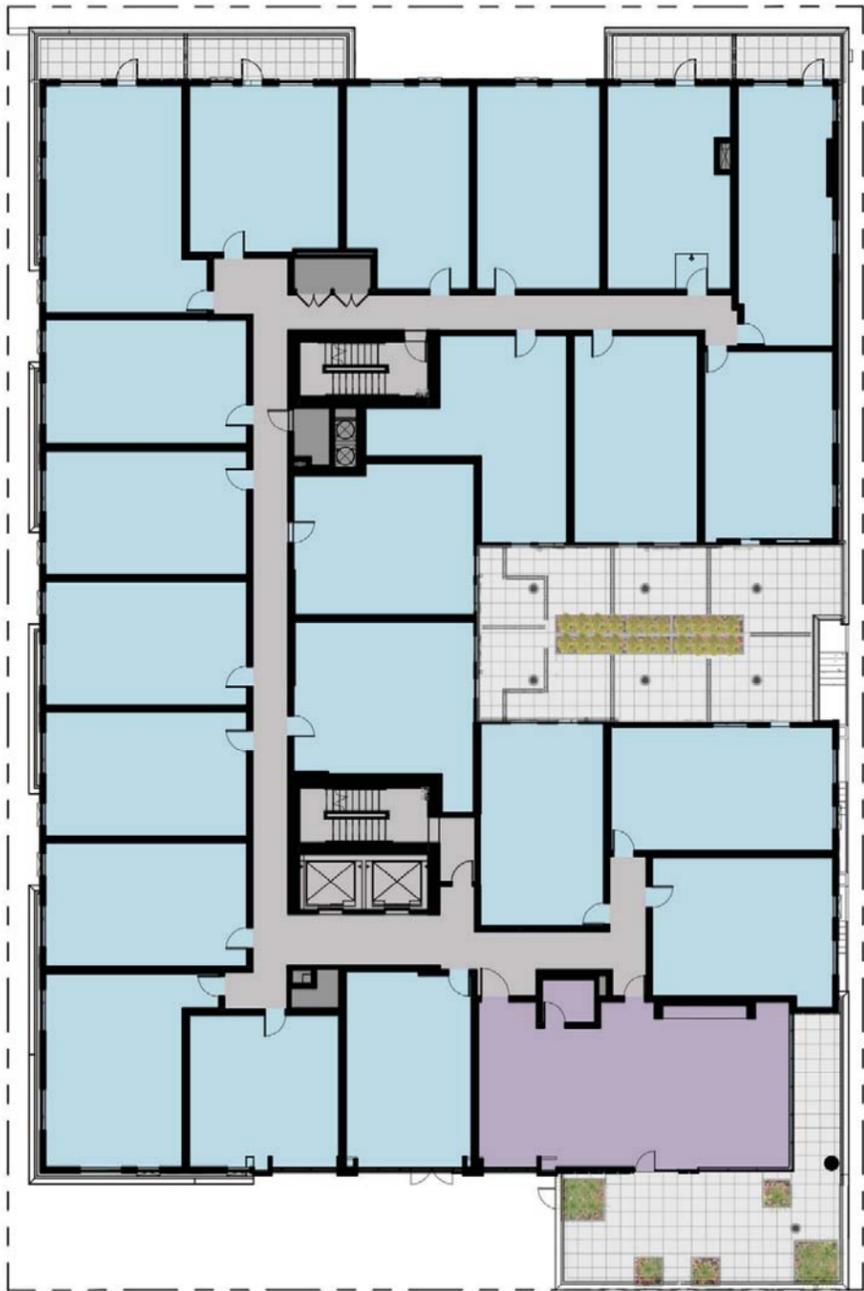


PARKING - P1

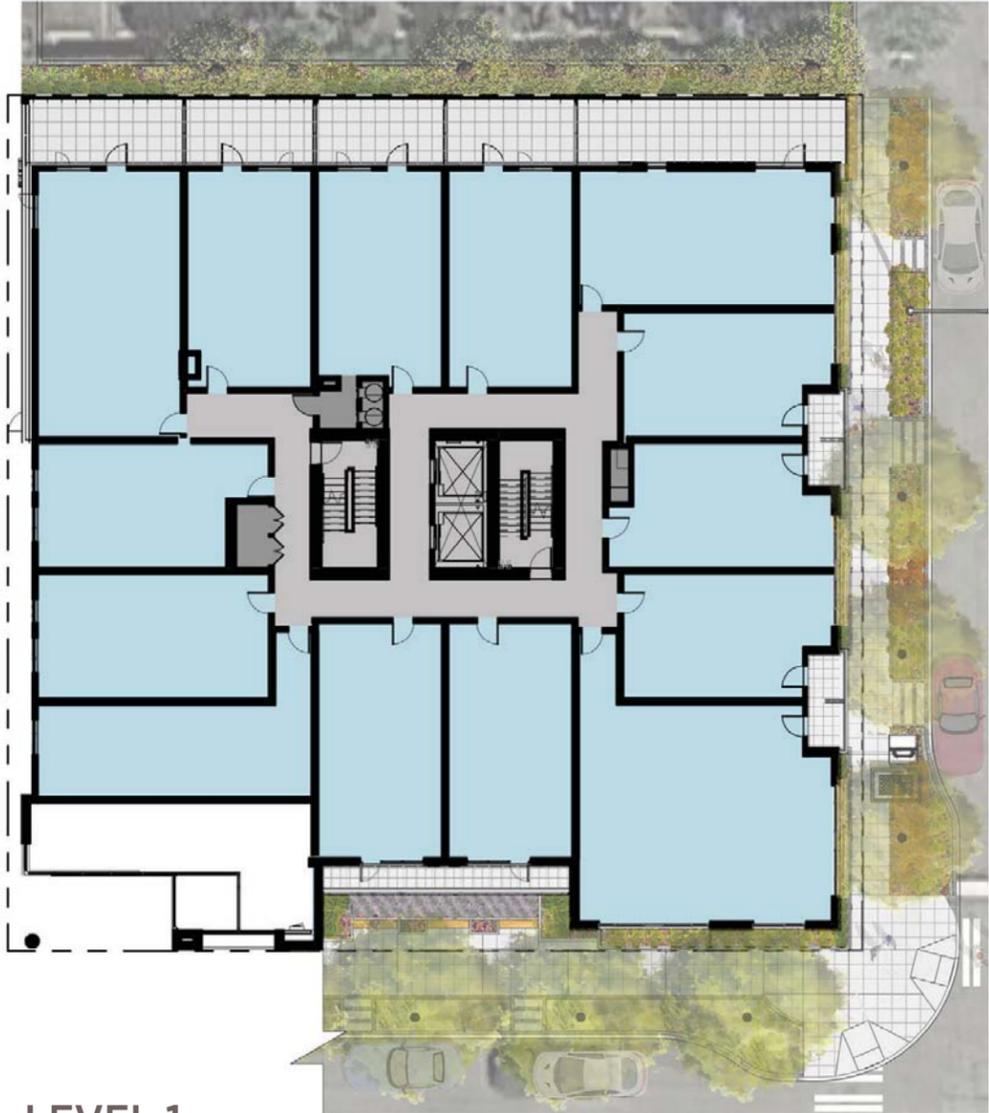
**FLOOR PLANS** 1212 - 1232 HARRISON



- RESIDENTIAL
- AMENITY
- CIRCULATION
- PARKING/MECHANICAL



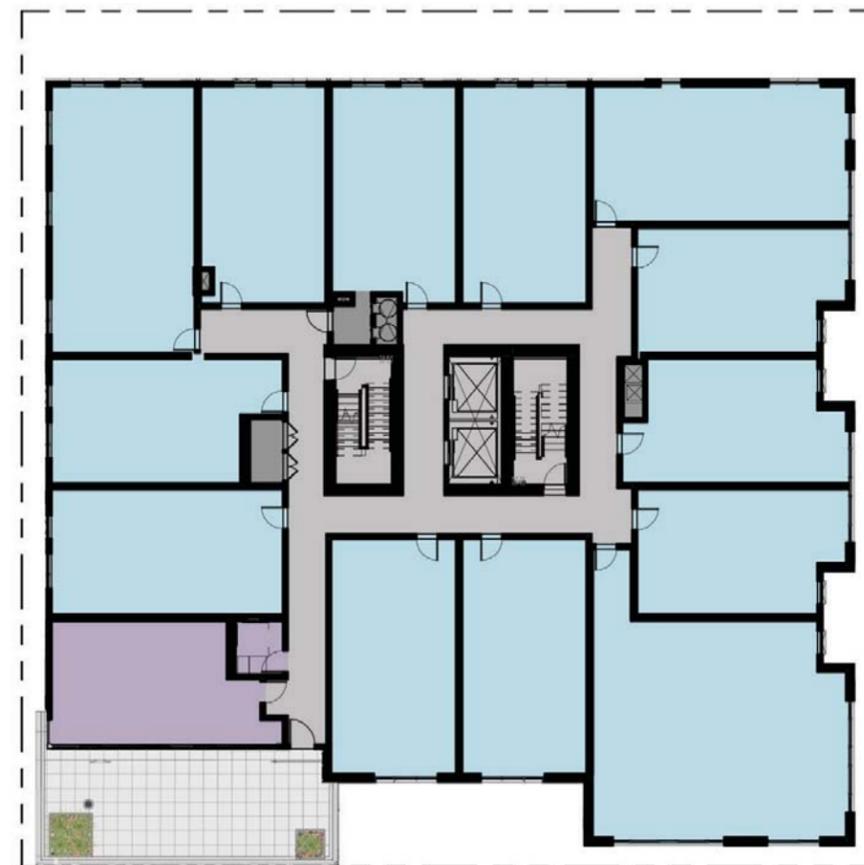
LEVEL 2



LEVEL 1



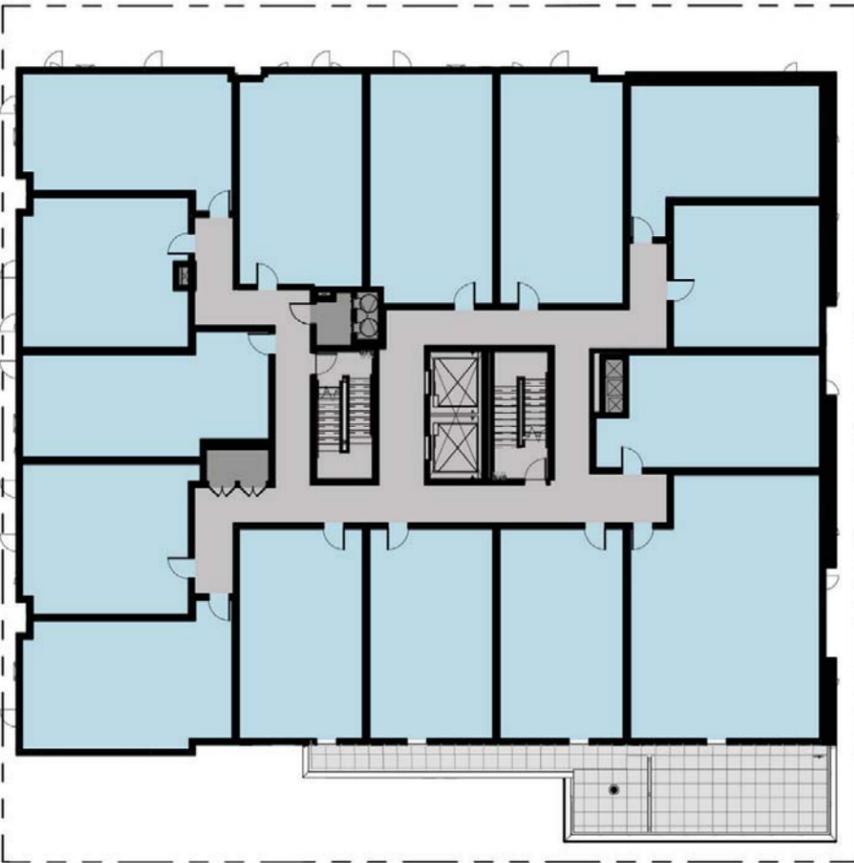
LEVEL 3



LEVEL 2

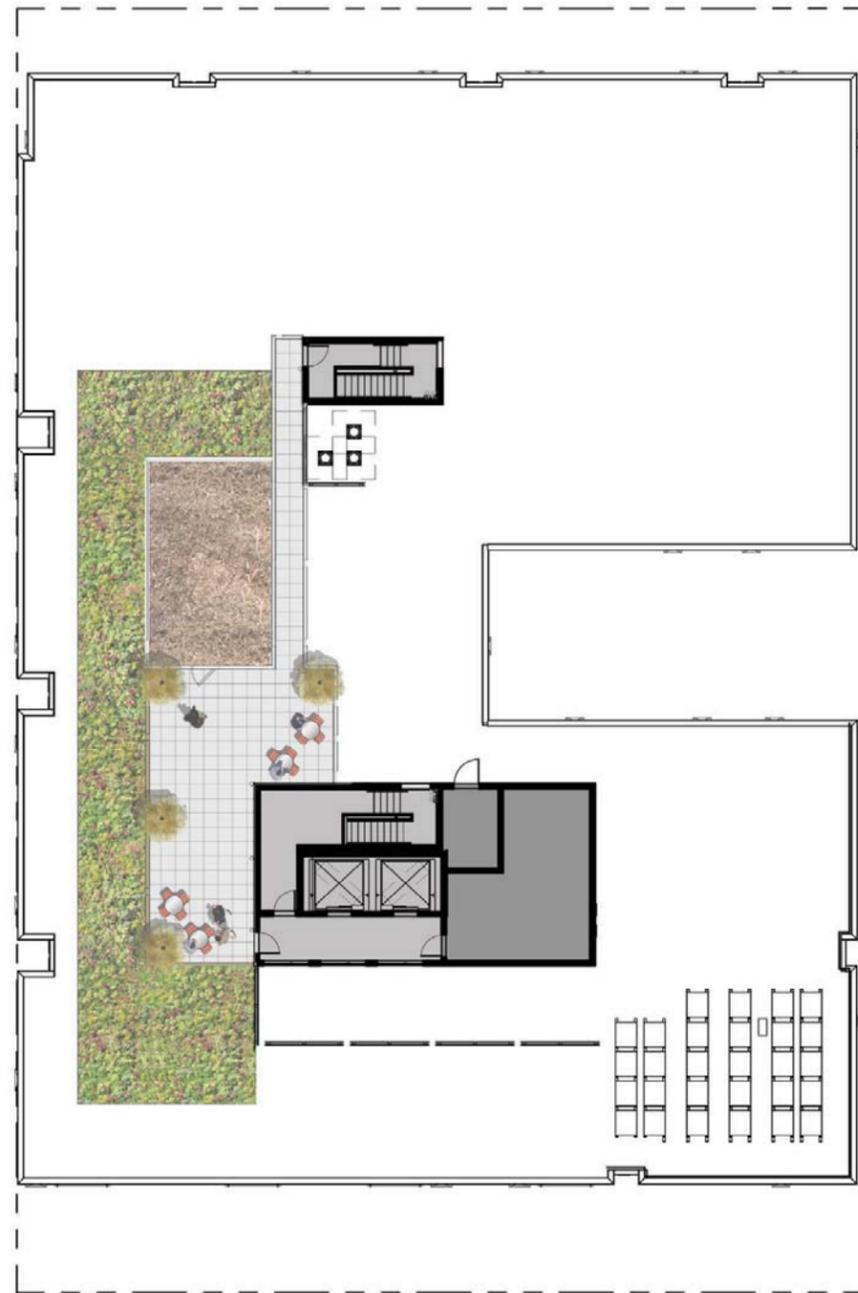


LEVELS 4-7

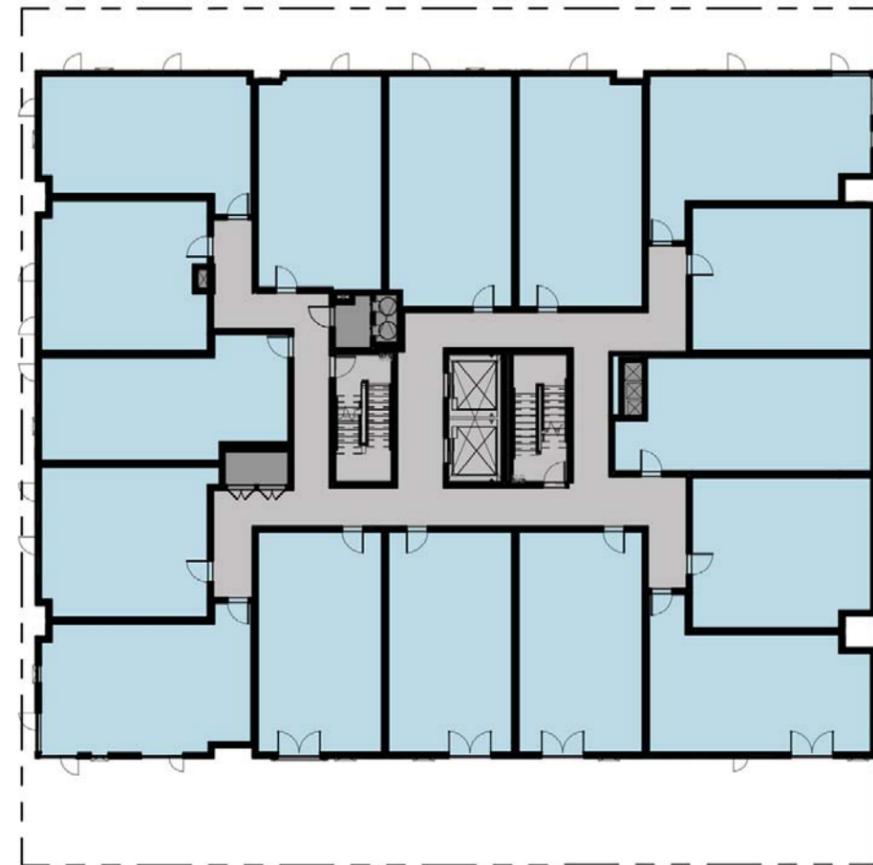


LEVEL 3

- RESIDENTIAL
- AMENITY
- CIRCULATION
- PARKING/  
MECHANICAL

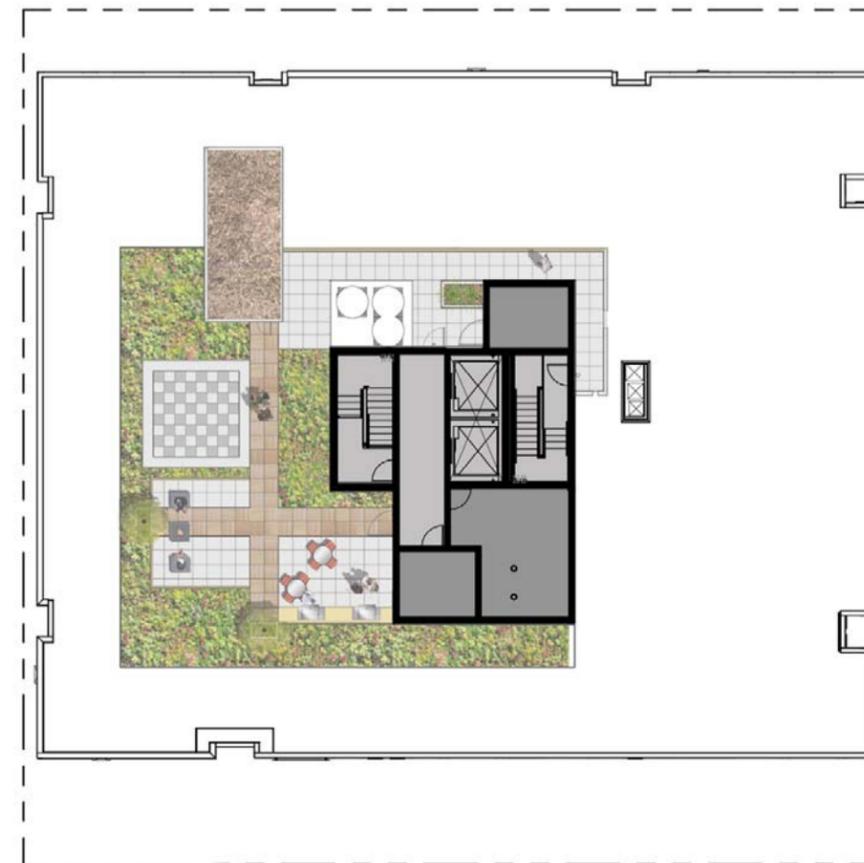
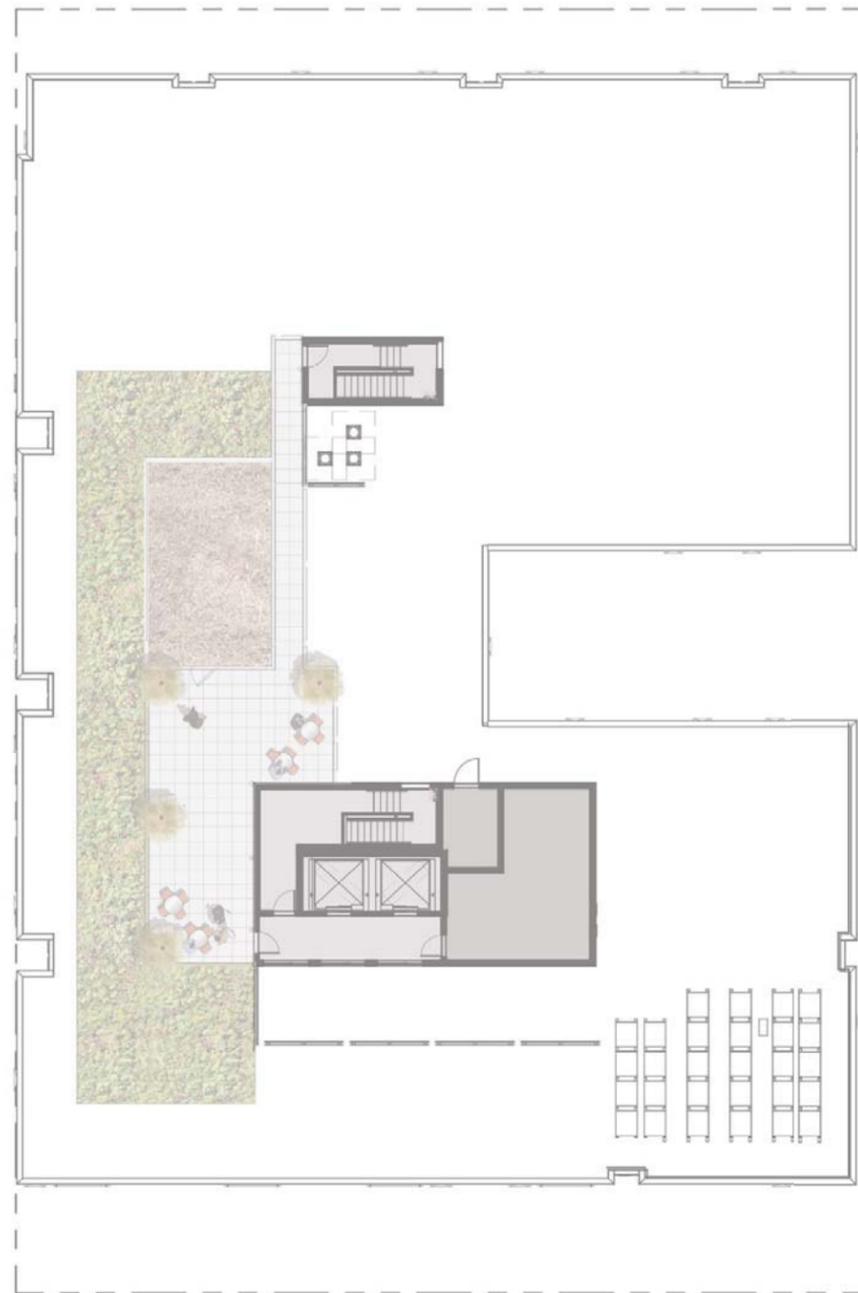


ROOF



LEVELS 4-7

- RESIDENTIAL
- AMENITY
- CIRCULATION
- PARKING/  
MECHANICAL



ROOF

# LANDSCAPE COMPOSITE PLAN





Street tree: Quercus Frainetto



Hedge plantings



Streetscape with concrete crossing pavers



Street tree: 'Emerald Sunshine' Elm



Wall lighting



Wood / concrete bench



'Eddy' planting with benches

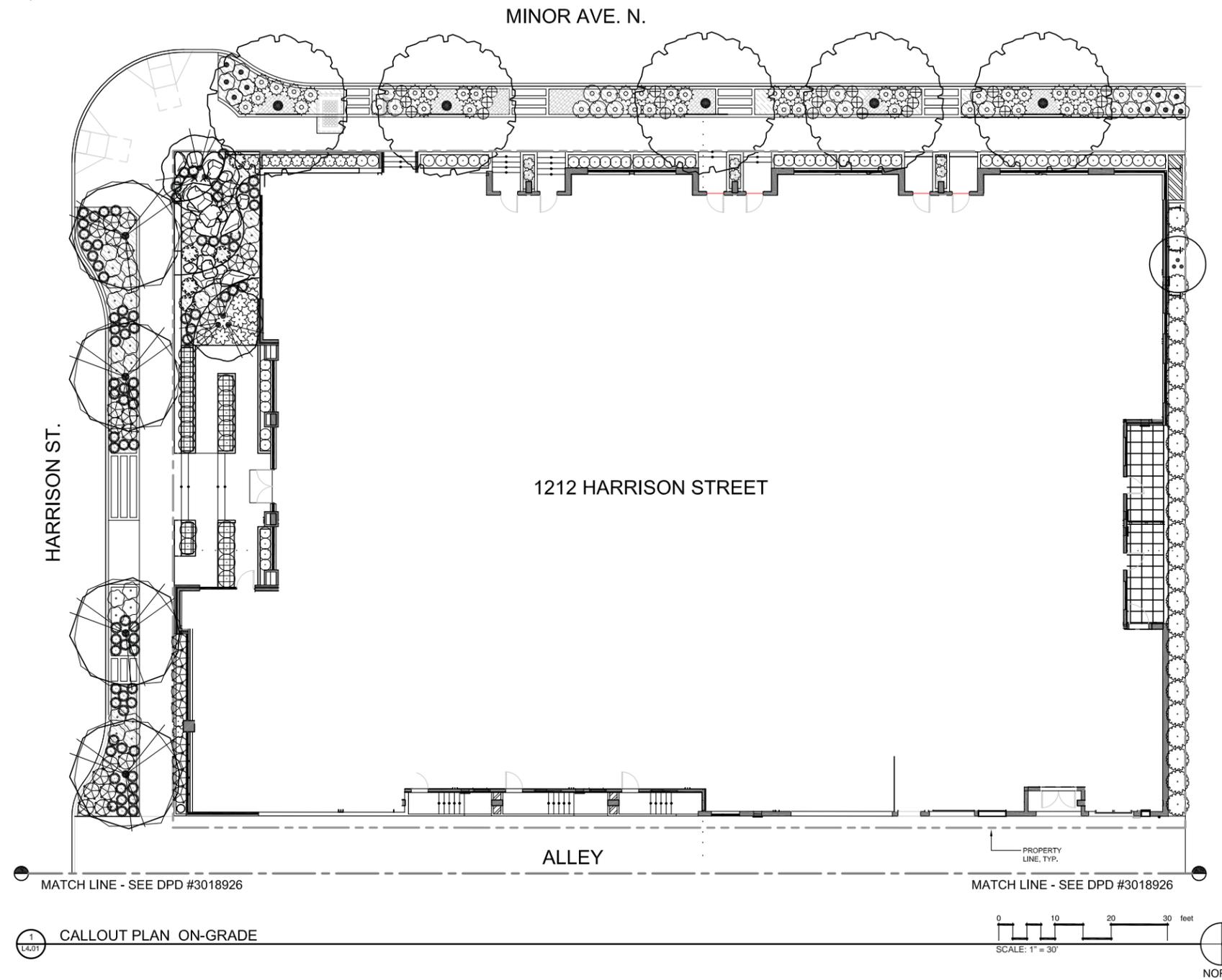


Black oxidized steel planters



Stepped planters at entry stairs

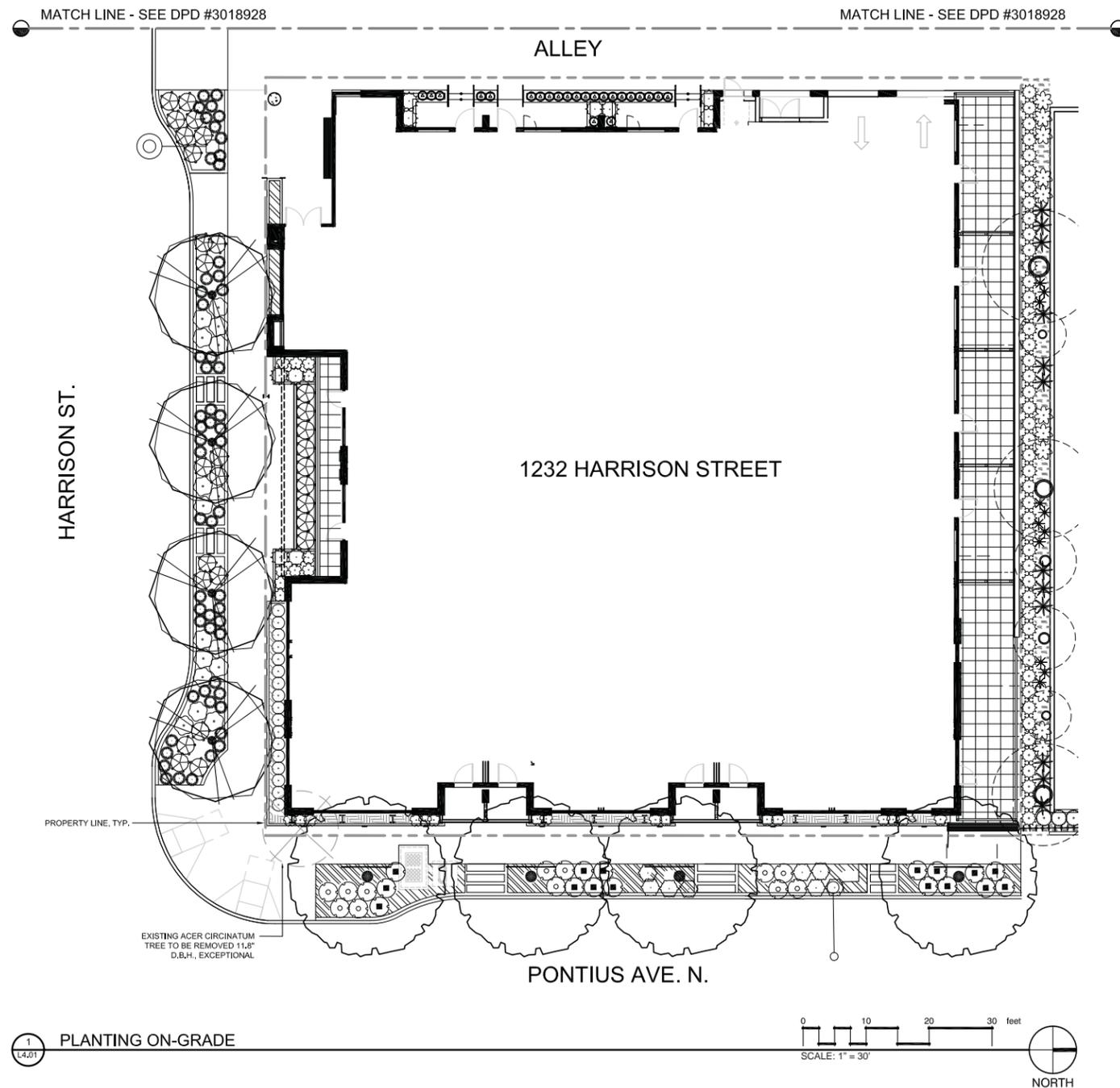
# LANDSCAPE PLANTING PLAN BUILDING A



## PLANT SCHEDULE ON-GRADE

TREES	BOTANICAL NAME / COMMON NAME	CONT
	ACER CIRCINATUM / VINE MAPLE	2" CALI
	EXISTING TO BE REMOVED	N/A
	QUERCUS FRAINETTO 'FOREST GREEN' / FOREST GREEN OAK	3" CAL.
	STEWARTIA MONADELPHA / TALL STEWARTIA	2" CALI
	ULMUS PROPINQUA 'EMERALD SUNSHINE' / ELM	3" CAL.
SHRUBS	BOTANICAL NAME / COMMON NAME	CONT
	AZALEA X 'PLEASANT WHITE' / GIRARD PLEASANT WHITE AZALEA	3 GAL
	BLECHNUM SPICANT / DEER FERN	1 GAL
	BUXUS SEMPERVIRENS 'SUFFRUTICOSA' / TRUE DWARF BOXWOOD	2 GAL
	DAPHNE ODORA 'AUREOMARGINATA' / WINTER DAPHNE	2 GAL
	HELJANTHEMUM NUMMULARIUM 'YELLOW' / YELLOW SUNROSE	3 GAL
	HYDRANGEA ARBORESCENS 'INCREDIBALL' / INCREDIBALL WHITE HYDRANGEA	3 GAL
	ILEX CRENATA 'SKY PENCIL' / SKY PENCIL JAPANESE HOLLY	2 GAL
	LAVANDULA ANGUSTIFOLIA / ENGLISH LAVENDER	2 GAL
	MAHONIA AQUIFOLIUM / OREGON GRAPE	2 GAL
	POLYSTICHUM MUNITUM / WESTERN SWORD FERN	2 GAL
	SARCOCOCCA HOOKERIANA HUMILIS / SWEET BOX	2 GAL
	SENECIO GREYI	3 GAL
	STIPA TENUISSIMA 'PONY TAILS' / FINESTEM NEEDLEGRASS	2 GAL
SHRUB AREAS	BOTANICAL NAME / COMMON NAME	CONT
	LIRIOPE MUSCARI 'BIG BLUE' / BIG BLUE LILYTURF	2 GAL
GROUND COVERS	BOTANICAL NAME / COMMON NAME	CONT
	EUONYMUS FORTUNEI 'KEWENSIS' / KEW EUONYMUS	1 GAL
	ISOTOMA FLUMATILIS / BLUE STAR CREEPER	4" POT
	LIRIOPE SPICATA / CREEPING LILY TURF	1 GAL

# LANDSCAPE PLANTING PLAN BUILDING B



## PLANT SCHEDULE ON-GRADE

TREES	BOTANICAL NAME / COMMON NAME	CONT	QTY	
	EXISTING TO BE REMOVED	N/A	1	
	EXISTING TO REMAIN	N/A	7	
	QUERCUS FRAINETTO 'FOREST GREEN' / FOREST GREEN OAK	3" CAL	4	
	ULMUS PROPINQUA 'EMERALD SUNSHINE' / ELM	3" CAL	4	
SHRUBS	BOTANICAL NAME / COMMON NAME	CONT	QTY	
	ABELIA X GRANDIFLORA / GLOSSY ABELIA	3 GAL	10	
	BERBERIS THUNBERGII 'CRIMSON PYGMY' / CRIMSON PYGMY BARBERRY	2 GAL	16	
	BLECHNUM SPICANT / DEER FERN	1 GAL	11	
	BUXUS SEMPERVIRENS / AMERICAN BOXWOOD	3 GAL	9	
	BUXUS SEMPERVIRENS 'SUFFRUTICOSA' / TRUE DWARF BOXWOOD	2 GAL	17	
	HELANTHEMUM NUMMULARIUM 'YELLOW' / YELLOW SUNROSE	3 GAL	16	
	HYDRANGEA ARBORESCENS 'INCREDIBALL' / INCREDIBALL WHITE HYDRANGEA	3 GAL	11	
	ILEX CRENATA 'SKY PENCIL' / SKY PENCIL JAPANESE HOLLY	2 GAL	26	
	IRIS VERSICOLOR / BLUE FLAG	BULB	24	
	LAVANDULA ANGUSTIFOLIA / ENGLISH LAVENDER	2 GAL	29	
	LIRIOPE MUSCARI 'BIG BLUE' / BIG BLUE LILYTURF	3 GAL	23	
	POLYSTICHUM MUNITUM / WESTERN SWORD FERN	1 GAL	12	
	ROSA RUGOSA 'SCARLET PAVEMENT' / ROSE	2 GAL	8	
	SARCOCOCCA HOOKERIANA HUMILIS / SWEET BOX	2 GAL	12	
	STIPA TENUISSIMA 'PONY TAILS' / FINESTEM NEEDLEGRASS	2 GAL	57	
	TAXUS BACCATA 'FASTIGATA' / FASTIGA ENGLISH YEW	3 GAL	47	
SHRUB AREAS	BOTANICAL NAME / COMMON NAME	CONT	DENSITY	QTY
	LIRIOPE MUSCARI 'BIG BLUE' / BIG BLUE LILYTURF	2 GAL	0.5/sq.ft.	95
GROUND COVERS	BOTANICAL NAME / COMMON NAME	CONT	DENSITY	QTY
	EPIMEDIUM X PERRALCHICUM 'FROHNLEITEN'	1 GAL	0.3/sq.ft.	28
	LILIUM TIGRINUM / TIGER LILY	BULBS @ 12" O.C.		27 SF
	LIRIOPE SPICATA / CREEPING LILY TURF	1 GAL	0.5/sq.ft.	33

# MATERIAL AND COLOR PALETTE



- B1) BRICK
- C) CONCRETE
- F1) FIBER CEMENT SIDING
- F2) FIBER CEMENT PANEL
- G1) GLASS W/ BACKFACE LAMINATE
- MP) METAL PANEL
- SF) STOREFRONT
- W1) BLACK VINYL WINDOW
- W2) WHITE VINYL WINDOW



FOR SPECIFIC COLOR ALLOCATION SEE ELEVATIONS

# ELEVATIONS BUILDING A WEST





# ELEVATIONS 1212 HARRISON EAST

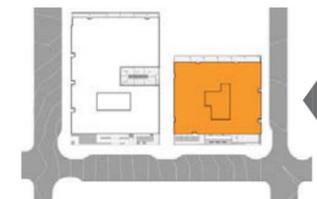




# ELEVATIONS 1232 HARRISON SOUTH

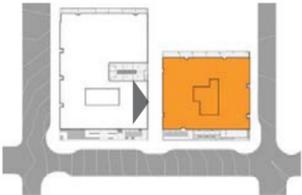


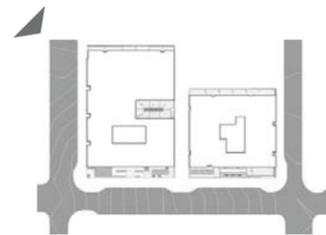
# ELEVATIONS 1212 HARRISON EAST



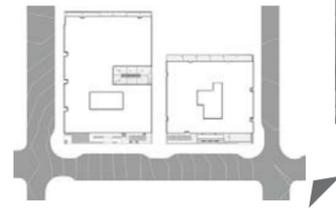
# ELEVATIONS 1212 HARRISON NORTH

















WALL SCONCE



BENCH LIGHT

# LIGHTING BUILDING A



WEST ELEVATION / MINOR AVENUE



SOUTH ELEVATION / HARRISON STREET



EAST ELEVATION / ALLEY



NORTH ELEVATION



WEST ELEVATION / ALLEY



SOUTH ELEVATION / HARRISON STREET



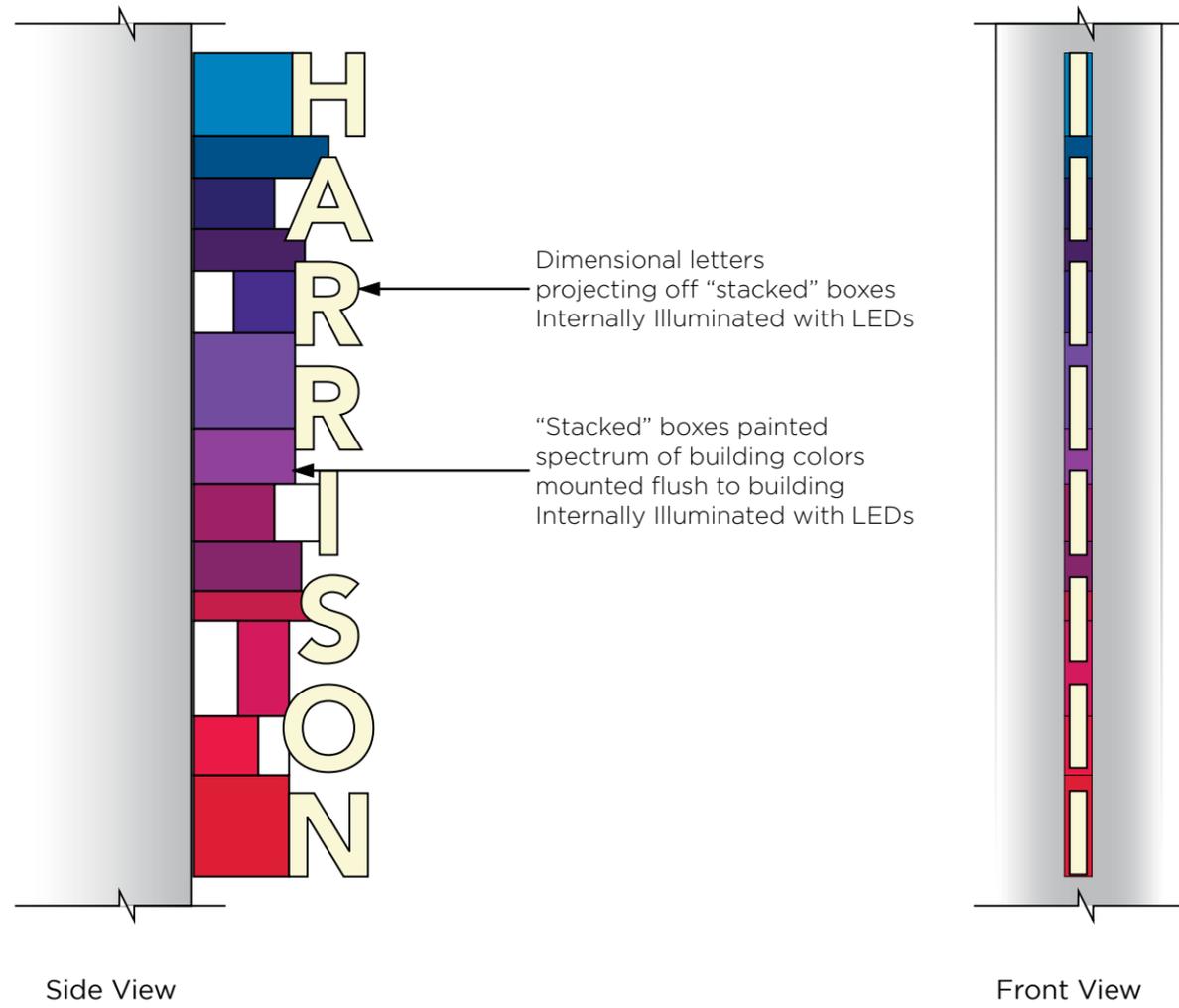
EAST ELEVATION / PONTIUS AVENUE



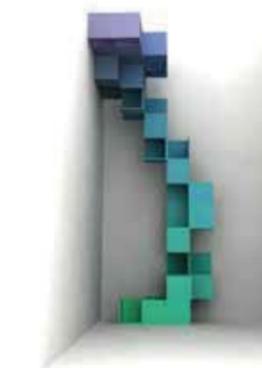
NORTH ELEVATION

THIS PAGE INTENTIONALLY LEFT BLANK





**INSPIRATION**



Stacked blocks and colors

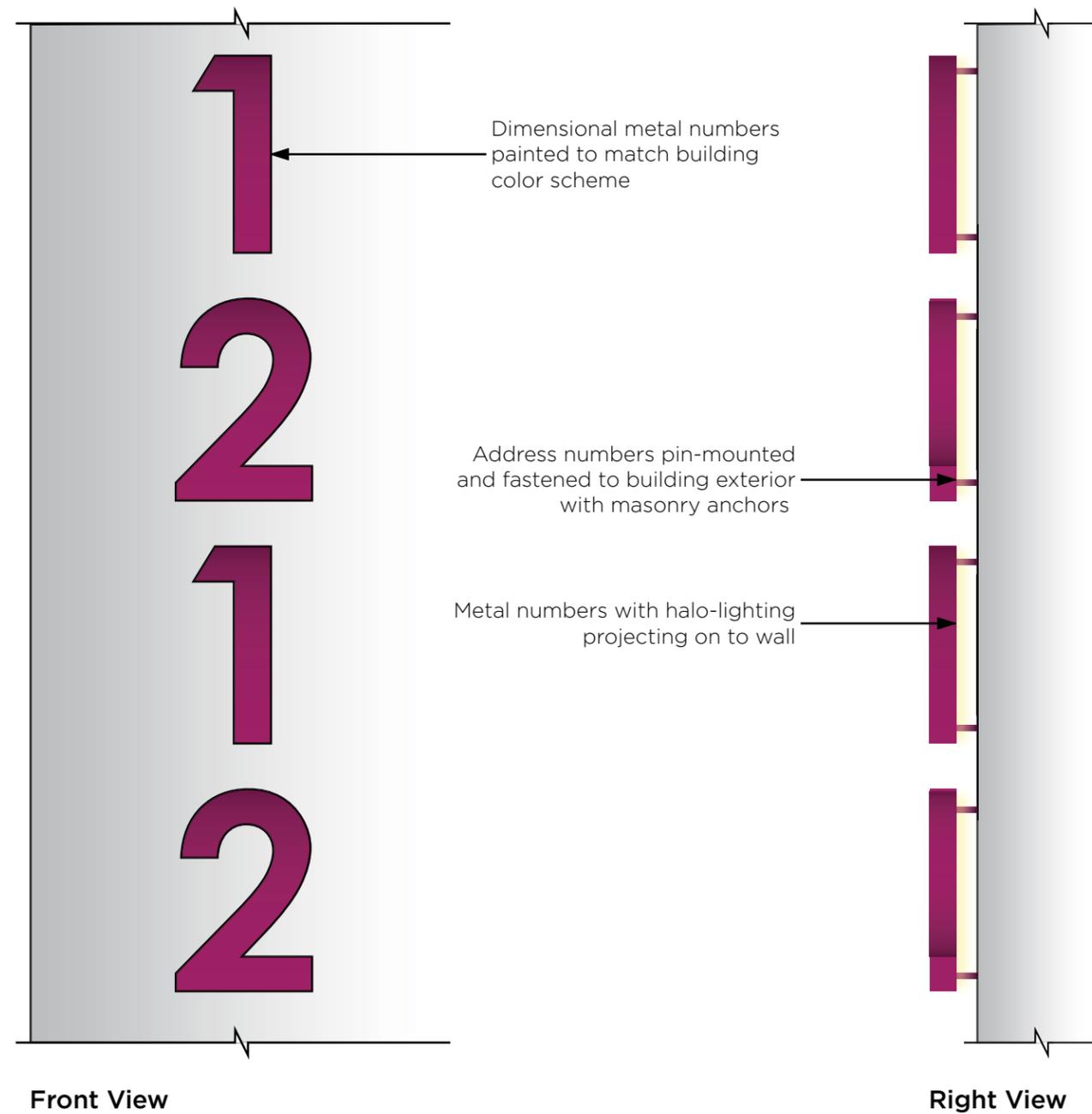


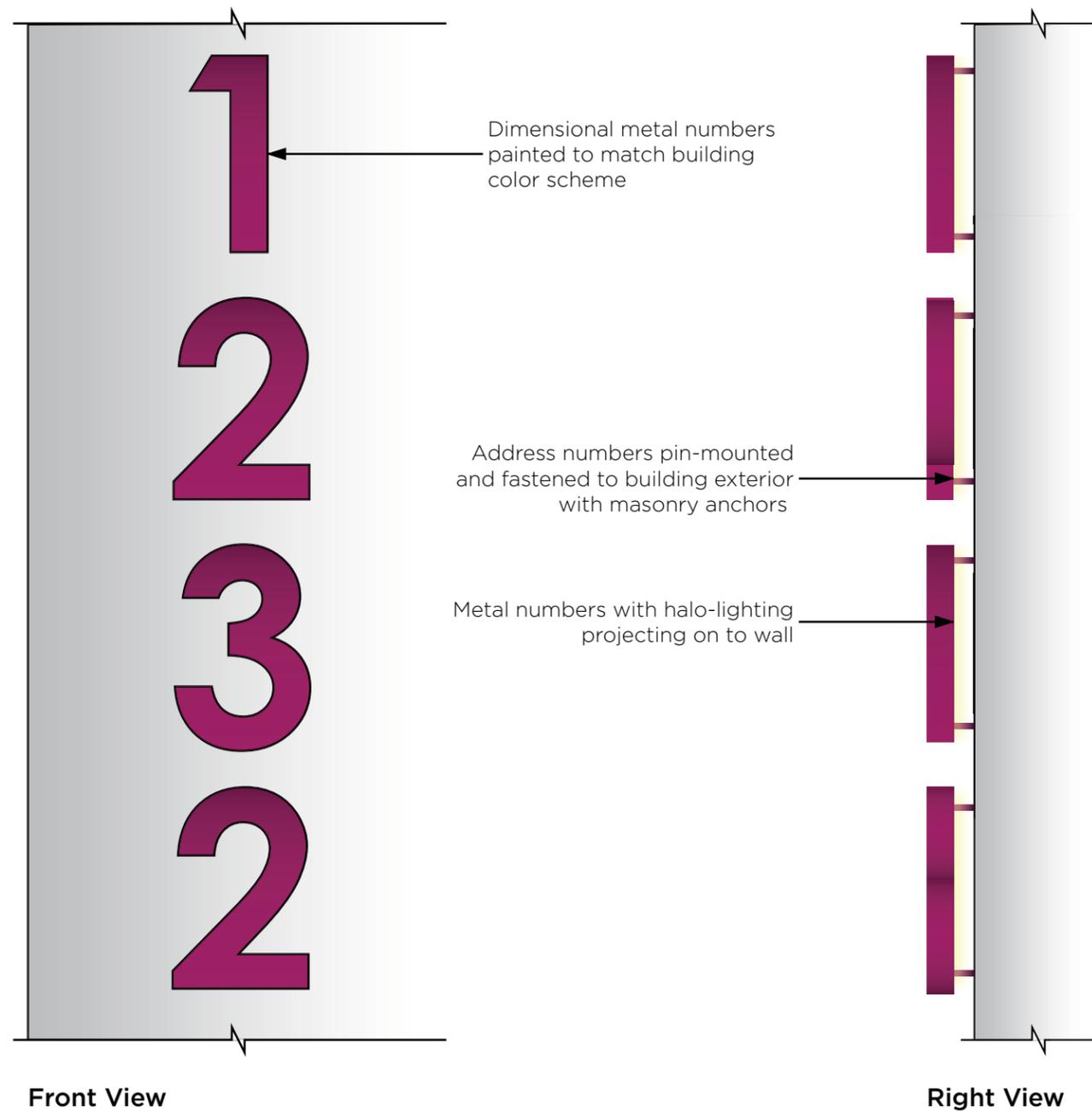
Concept Rendering Day



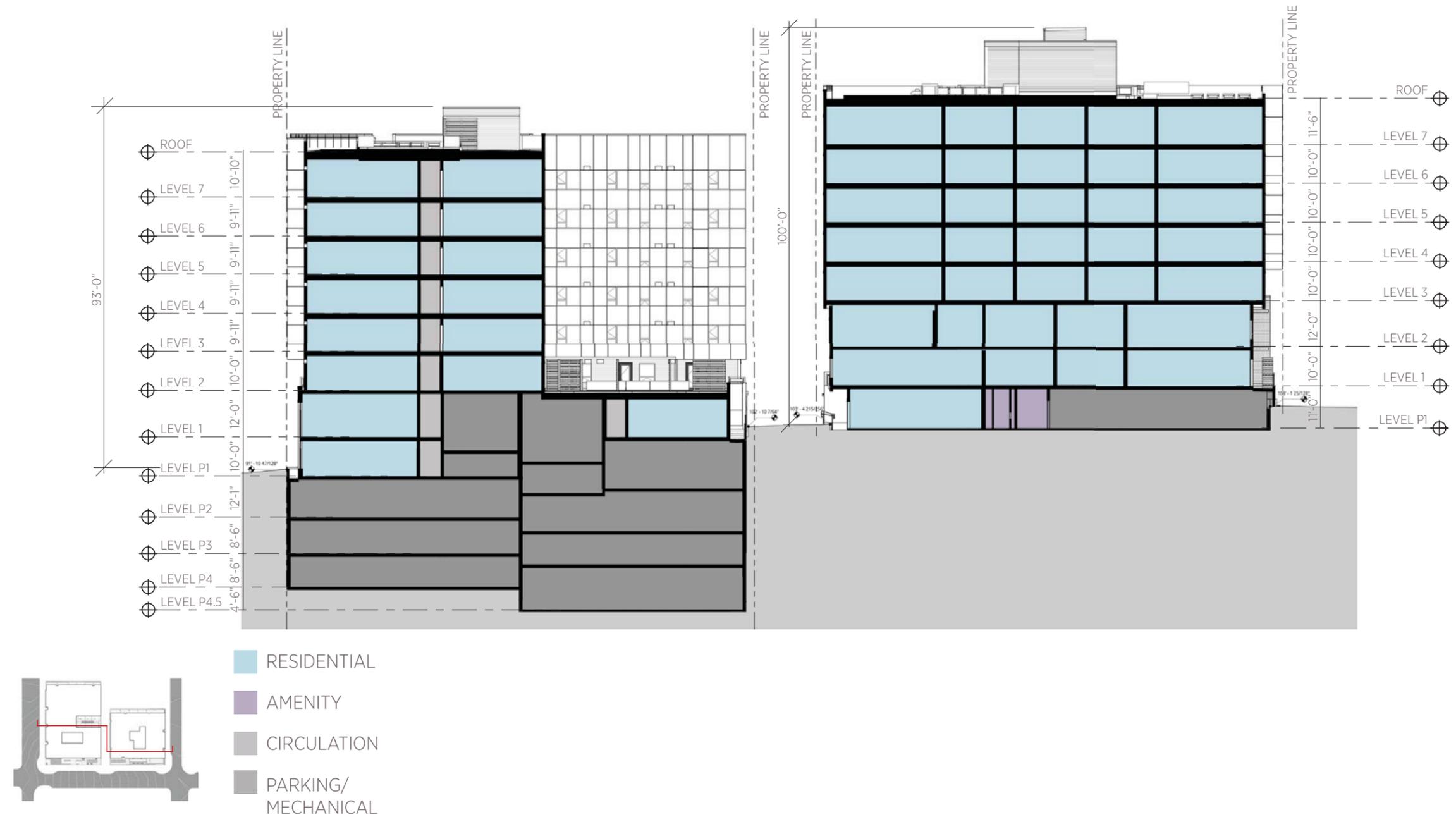
Concept Rendering Night

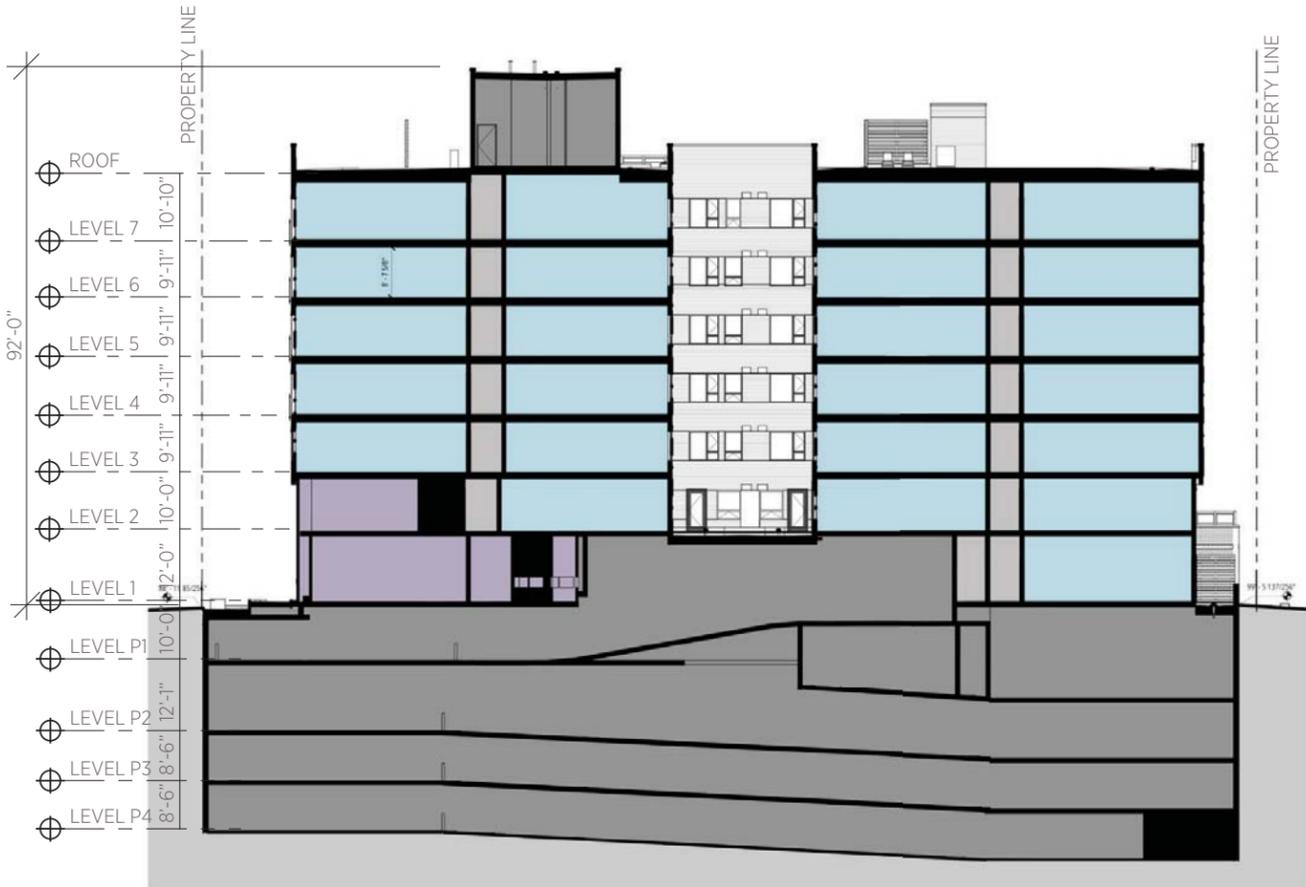
# SIGNAGE VIEW B



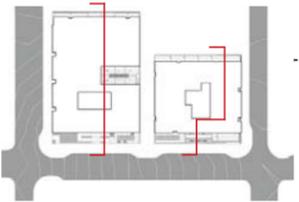


# PROPOSED SECTIONS

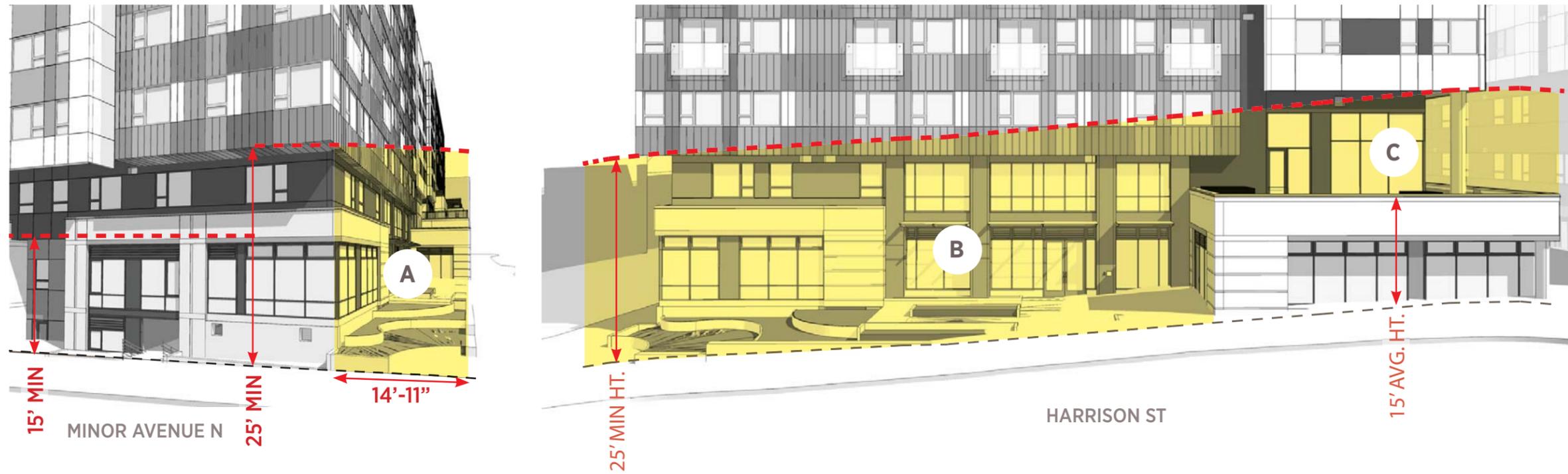




- RESIDENTIAL
- AMENITY
- CIRCULATION
- PARKING/  
MECHANICAL



# REQUESTED DEPARTURES



## Building A

### Departure 1A - Minimum Façade Height

#### Code summary:

25' minimum façade height required on Harrison St. & wrapping corner onto Minor Ave. for a distance of 25'

**(23.84.014A2b & c; 23.86.024)**

Minimum façade height and maximum setback (see departure 1B) are related. Code requires a street level volume (25' minimum façade height that is setback no more than the maximum allowed). Facades less than 25' require a minimum façade height departure; facades more than 25' but setback more than the maximum allowed need departures from both façade height and maximum setback because the required volume is not provided at street level.

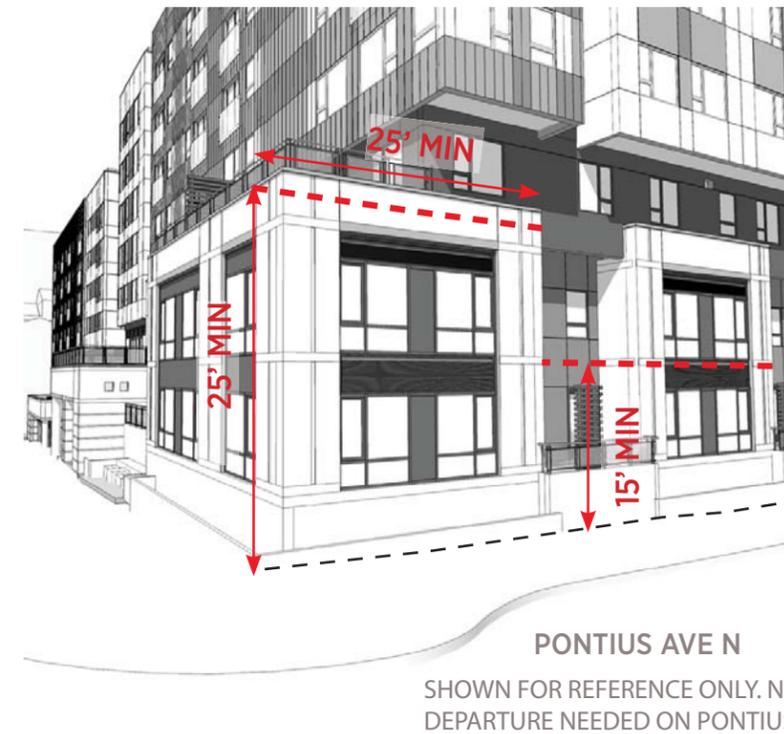
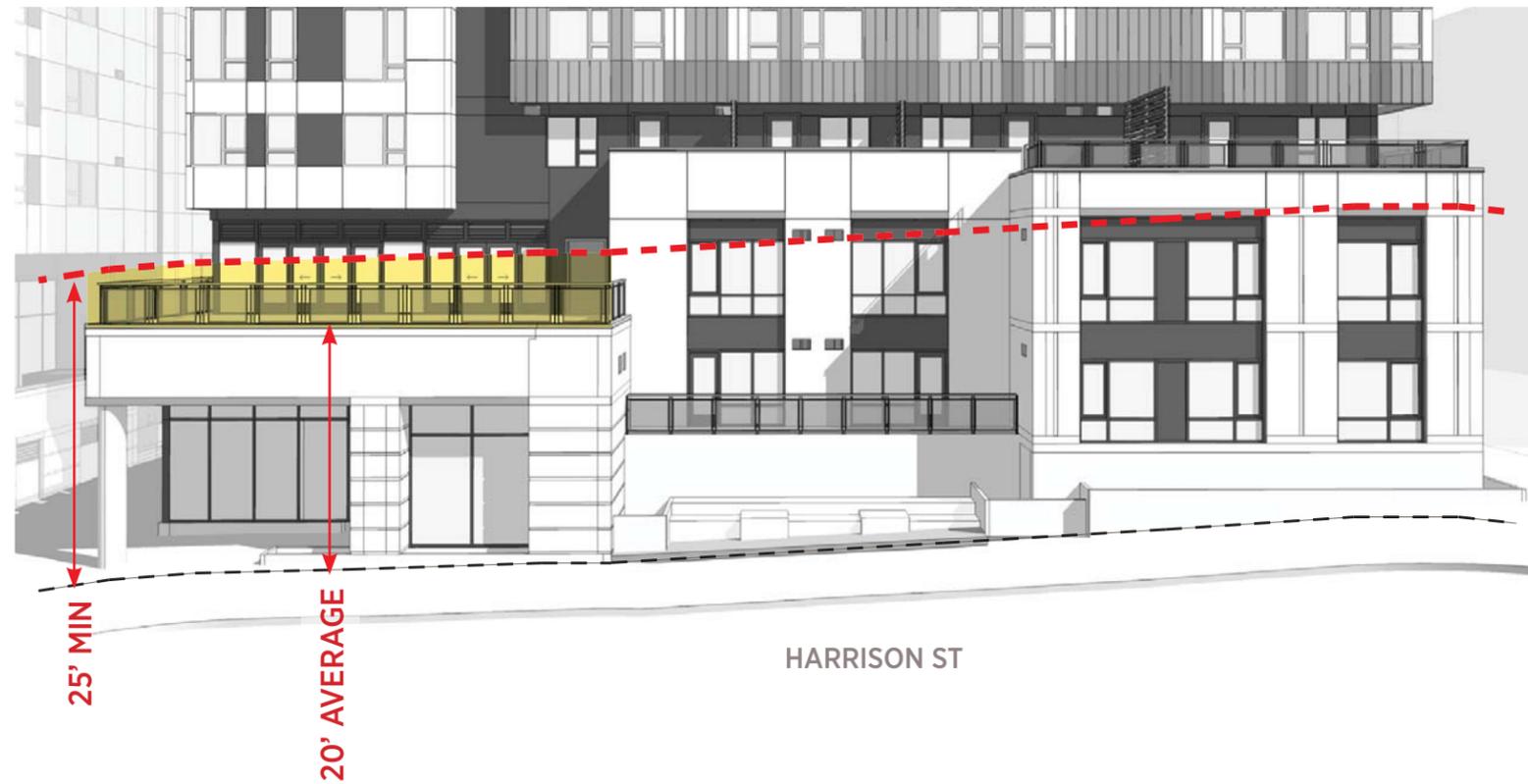
#### Requested Departures

- A** Minor: Departure to allow open space area, rather than a façade, at corner of Minor and Harrison, for a distance of 14' - 11"
- B** Harrison: Departure to allow 25' façade to be located beyond maximum setback
- C** Harrison: Departure to allow façade of 15' avg. height instead of 25' required height, for a distance of 41'

#### Justification

Departure along Minor is requested to reduce the building mass at the corner, provide a meaningful connection to the corner entrance at Cascade Park & enhance the pedestrian experience.

Departures along Harrison are requested to help reduce the bulk of the building base, and to enhance the pedestrian experience at grade. The building base is still well defined with materials, massing and scale that is different from the upper portions of the building.



Area of Requested Departure

**Building B**

**Departure 1A - Minimum Façade Height**

**Code summary:**

25' minimum façade height required on Harrison St. & wrapping corner onto Minor Ave. for a distance of 25' (23.84.014A2b & c; 23.86.024)

Minimum façade height and maximum setback (see departure 1B) are related. Code requires a street level volume (25' minimum façade height that is setback no more than the maximum allowed). Facades less than 25' require a minimum façade height departure; facades more than 25' but setback more than the maximum allowed need departures from both façade height and maximum setback because the required volume is not provided at street level.

**Requested Departures**

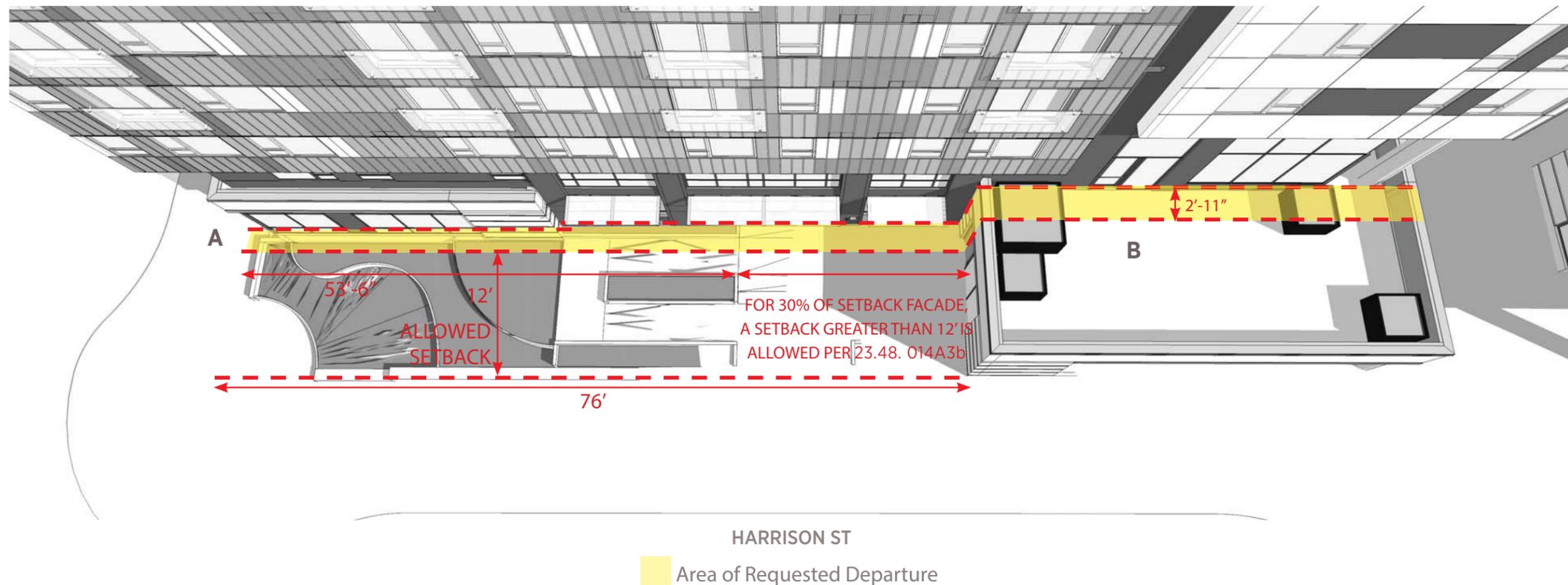
Departure to allow façade of 20' avg. height instead of 25' required height, for a distance of 40'

**Justification**

Departure requested to reduce the mass of the building at the corner of the alley in order to achieve the following:

1. Activate the connection between Building A and B
2. Provide a more open entry to the alley
3. Reduce the height of the amenity terrace on level 2

# REQUESTED DEPARTURES



## Building A

### Departure 1B - Maximum Street Level Setback

#### Code summary:

23.48. 014A3b: the street-facing facade of a structure may be set back up to 12 feet from the street lot line. Additional setbacks are permitted for up to 30% of the length of portions of the street facade that are set back from the street lot line provided that the additional setback is located 20' or more from any street corner.

Minimum facade height (see departure 1A) and maximum setback are related. Code requires a street level volume (25' minimum facade height that is setback no more than the maximum allowed). Facades less than 25' require a minimum facade height departure; facades more than 25' but setback more than the maximum allowed need departures from both facade height and maximum setback because the required volume is not provided at street level.

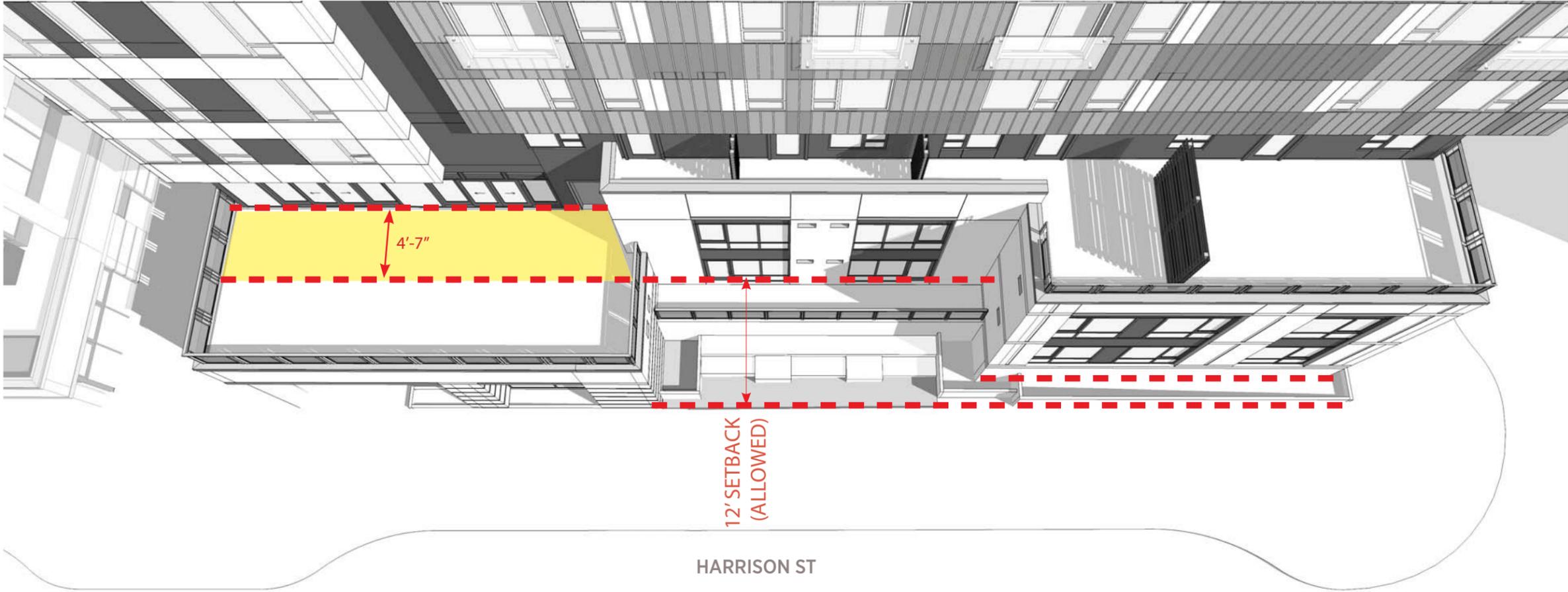
#### Requested Departures

- A** Departure requested to allow a 2' - 11" additional facade setback beyond the allowed 12' setback for a length of 53' - 6"
- B** Departure requested to allow a 2'-11" additional facade setback beyond the allowed 12' setback for a length of 41'

#### Justification

Departure for Section A is requested to allow a more generous landscape buffer and to enhance the pedestrian experience at grade along the Harrison Green Street

Departure for Section B is requested to reduce building bulk at the street corner, while still providing an appropriately scaled building mass at the street. The additional setback will allow for a generous South-facing amenity terrace facing the park. (DC1 A.2 DC1 A.4)



**Building B**

SHOWN FOR CONTEXT ONLY

**Code summary:**

23.48. 014A3b: The street-facing facade of a structure may be set back up to 12 feet from the street lot line. Additional setbacks are permitted for up to 30% of the length of portions of the street facade that are set back from the street lot line provided that the additional setback is located 20' or more from any street corner.

Minimum facade height (see departure 1A) and maximum setback are related. Code requires a street level volume (25' minimum facade height that is setback no more than the maximum allowed). Facades less than 25' require a minimum facade height departure; facades more than 25' but setback more than the

**Requested Departure**

Departure requested to allow a 4'-7" additional facade setback beyond the allowed 12' setback for a length of 42'-3".

**Justification**

Departure requested to reduce building bulk and increase light and air at the corner with the alley, while still providing an appropriately scaled building mass on Harrison. The additional setback will allow for a generous South-facing amenity terrace facing the park. (DC1 A.2 DC1 A.4)

# REQUESTED DEPARTURES

## Departure 2 Building A+B

23.48.012 Upper level setbacks

### Code summary

“Along the alley, portions of a structure greater than 25’ in height must set back 1’ for every 2’ up to a maximum of 15’.”

### Requested Departure

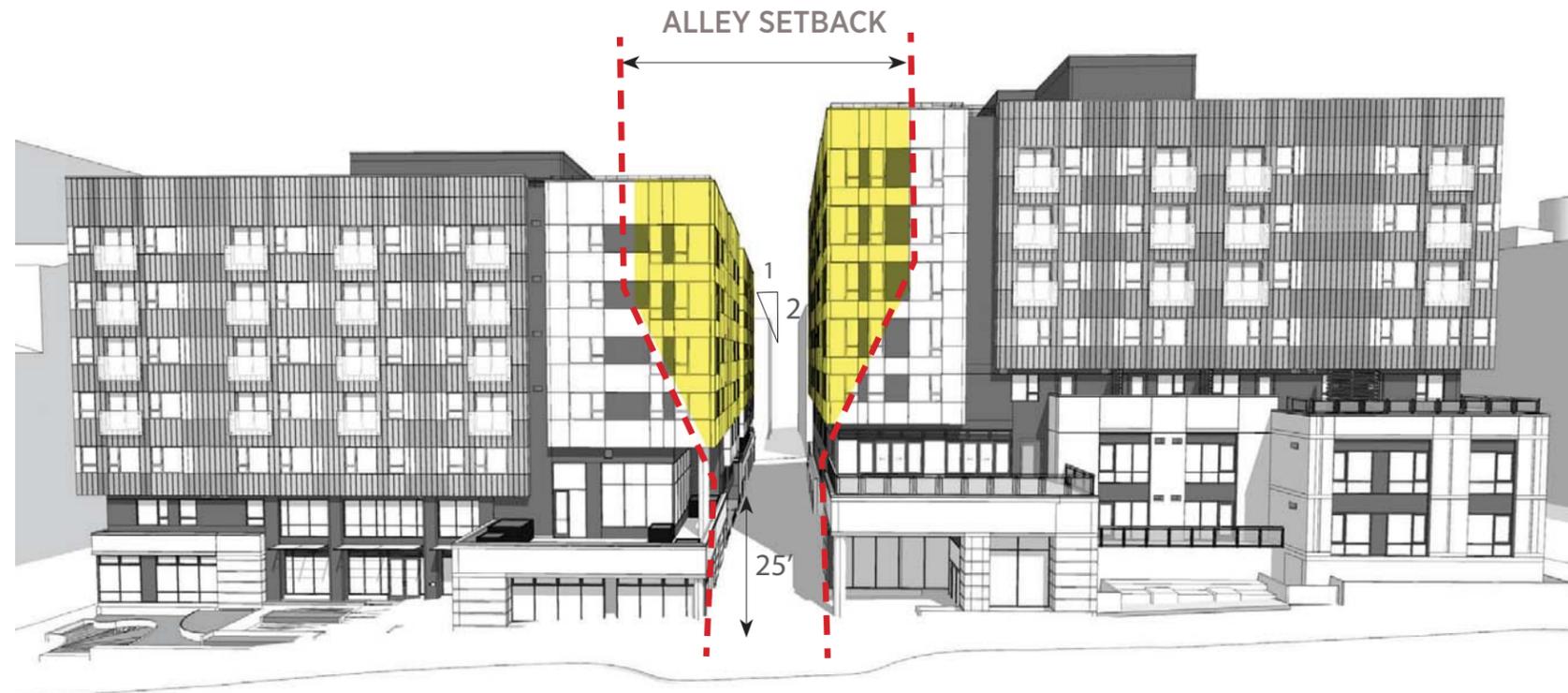
A departure is requested for the entire upper level alley setback.

### Justification

An alley setback departure is requested to allow greater setback, articulation, and open space along Harrison St. In lieu of the alley setback, a finer scale of massing modulation with glazed corners is used to indicate the alley presence along Harrison. The intent of the alley setback is to provide privacy, light and air to alley units. In order to meet the need for privacy, careful consideration has been paid to the design of the alley units. Only three units per floor plate look directly toward the alley. Please see pages 42 and 43 for Alley plans and sections. In order to meet the need for light, light-colored cladding is used to brighten the alley space.

### EDG Feedback

“The Board noted that the required changes to the ground level facade on Harrison street would likely require a loss of volume at the street. The Board expressed early support for a departure to the upper level setback along the alley in order to meet the direction for the design of the facade facing the street.”



Departure 2: Elements exceeding minimum setbacks are highlighted in yellow.

Departure 2: Lost volume of elements setback beyond zoning minimums to enhance street facades and pedestrian experience are highlighted in red.

