

CASCADE APARTMENTS

Design Recommendation Meeting

DPD #3018928 - BUILDING A WEST

1212 Harrison Street
Seattle, WA 98109

DPD #3018926 - BUILDING B EAST

1232 Harrison Street
Seattle, WA 98109

JANUARY 20, 2016





ITEMIZED RESPONSE TO INITIAL DRB RECOMMENDATION 5

FLOOR PLANS 33

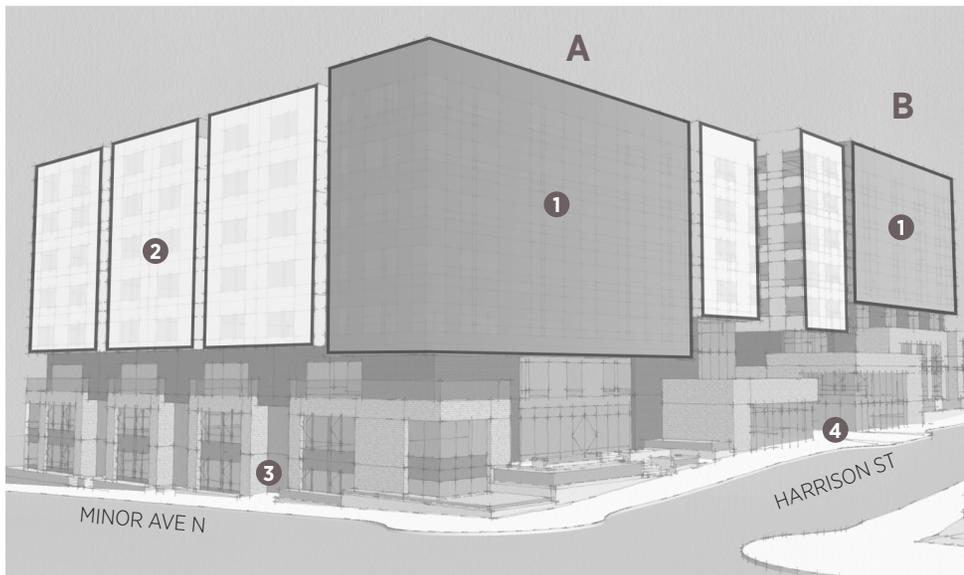
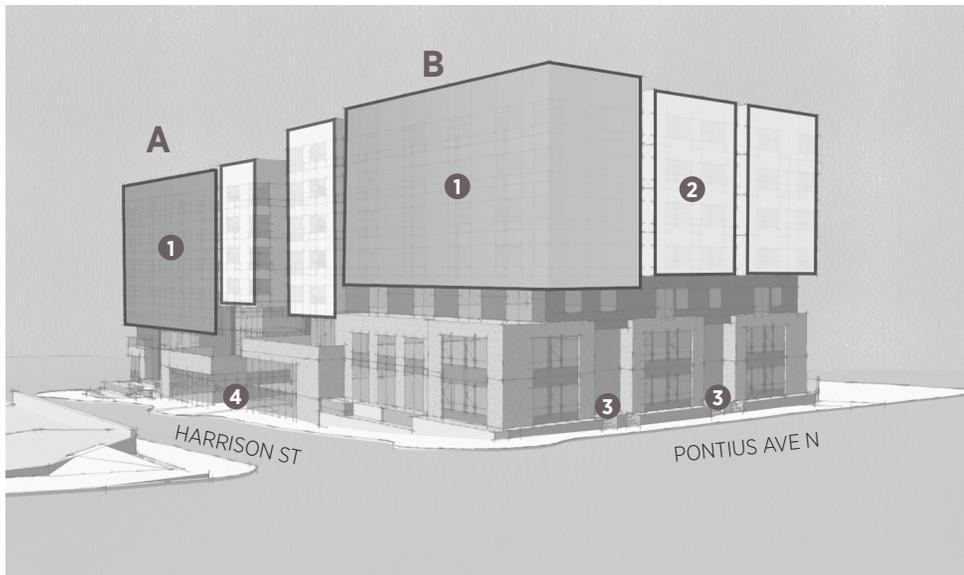
MATERIALS. 40

ELEVATIONS 42

LANDSCAPE 50

DEPARTURE REQUESTS 54

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THEME 1 PARK FACING FACADE

- The Board strongly advised the applicant to work with a professional artist to achieve an artful solution in conjunction with the architectural changes.
- The Board strongly supported the intent for an artistically expressed facade, but observed that the current design does not sufficiently express the artistic concept.
- The Board observed that the upper level facades lack sufficient articulation or modulation, do not express fine grain scale, and window location/sizes do not emphasize the design concept. The plaid concept is not evident in the layering of color, depth, and facade texture.
- The Board clearly specified that the changes should include architectural moves at upper facades, not only modifications to color or siding.

THEME 2 OTHER FACADES

- The Board directed the applicant to design the east, west, and north facades to emphasize the artful concept on the south facades.

THEME 3 STREET LEVEL

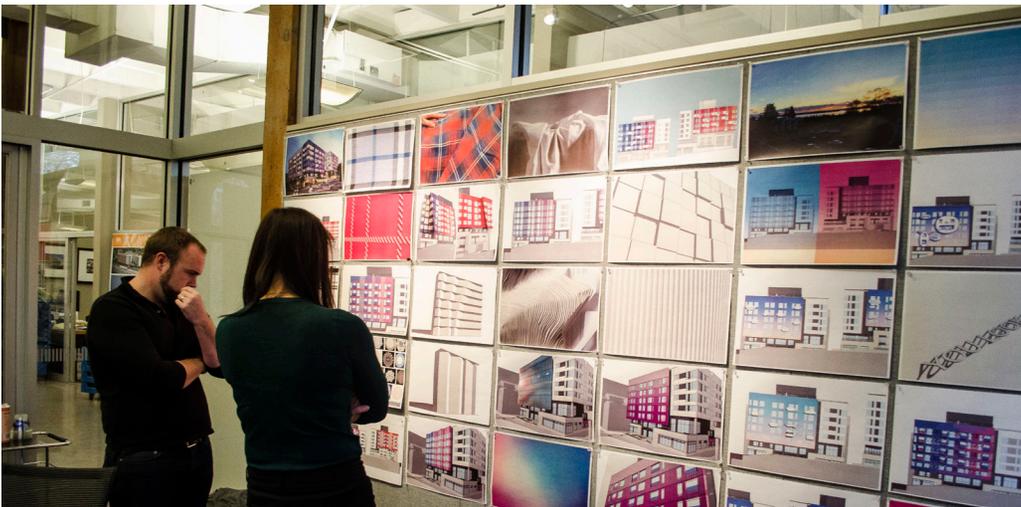
- The Board noted that any areas adjacent to unit or building entries and any areas with bright colors should be composed of metal panel rather than cementitious panels.
- The Board directed the applicant to modify the depth of the terraces at East building to 6' minimum depth to provide usable area. The Board noted that the depth of the landscaped setback could be reduced to achieve this depth.
- The walls of the terraces that are visible to the street should be designed with architectural interest, while also providing opportunity for art pieces as intended in the proposed design.
- The Board directed the applicant to design the West building stairs at the entry to avoid handrails, thereby maintaining the proposed low appearance of ramps and stairs.
- The Board also directed the applicant to modify the West building planter walls at the perimeter of the southwest landscaped area adjacent to the sidewalk, to reduce the appearance of an armored wall and allow plant materials to connect with the pedestrian sidewalk areas.

THEME 4 ALLEY

- The Board gave direction to include individual signage for ground level units at the alley and add lighting at these units.
- The Board observed that the ground level alley units in the West Building are further below grade, and recommended that transom windows be added to increase natural lighting and visual height of these units.

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DRB RESPONSE PARK FACING FACADE - ARTIST INVOLVEMENT



DRB Direction:

"The Board strongly advised the applicant to work with a professional artist to achieve an artful solution in conjunction with the architectural changes."

Response:

The developer has engaged Mark Reigelman, a New York based, internationally recognized public artist. His site specific work responds to local history, culture, geography, or contextual cues. Public engagement and interaction is the focal point of his practice.

Mark came to Seattle for a 3-day intensive charrette in November. The changes to develop the park-facing facade grew from that working session. We are honored to have him join our creative team.

DRB RESPONSE PARK FACING FACADE - ARTIST INVOLVEMENT

Mark was selected for his bold use of color, successful large scale projects, and commitment to public engagement. He is a natural fit for design collaboration on the park-facing facade.

1. STAIR SQUARES 2007 - BROOKLYN, NY
2. MANIFEST DESTINY 2012 - SAN FRANCISCO, CA
3. COLOR FIELD 2013 - CLEVELAND, OH
4. WOOD PILE 2009 - CLEVELAND, OH
5. UPRIVER/DOWNRIVER 2015 - LOUISVILLE, KY
6. NIDO SILLA 2014 - MONTERREY MEXICO
7. COLD FRONT 2010 - CLEVELAND OH



DRB RESPONSE PARK FACING FACADE - ARTIST INVOLVEMENT



DRB RESPONSE PARK FACING FACADE - CONCEPT DEVELOPMENT

BOARD DIRECTION

"The Board strongly supported the intent for an artistically expressed vibrant upper facade on both buildings, but observed that the current design does not sufficiently express the artistic concept and presents a flat expanse of facade across both buildings. CS2-A, CS2-I, CS3-I, DC2-B, DC2-D, DC4-A"

RESPONSE

Through our collaboration with the artist Mark Reigelman, three main themes emerged:

- 1. Maintain the color story.** Using a gradient to connect the neighborhood is a unique and strong idea. The bold use of color is appropriate for a park-facing setting.
- 2. Strengthen the plaid.** The plaid pattern is playful and represents the neighborhood and demographic. It is both youthful, and timeless. Unfortunately the plaid was not legible enough at DRB. Our primary changes are to strengthen the plaid concept.
- 3. Add significant depth and texture to the facade.** To address comments of flatness, our team focused on ways to add meaningful modulation to the park facing facade. We want the modulation to support the overall concept and be more than a superficial surface application. The artist suggested investigating the ways in which plaid fabric can be manipulated: drape, fold wrinkle, and finally **pleat**. Pleating emerged as the strongest option; it has a natural connection to plaid and offers exciting formal properties for adding depth and modulation.



RELEVANT DESIGN GUIDELINES

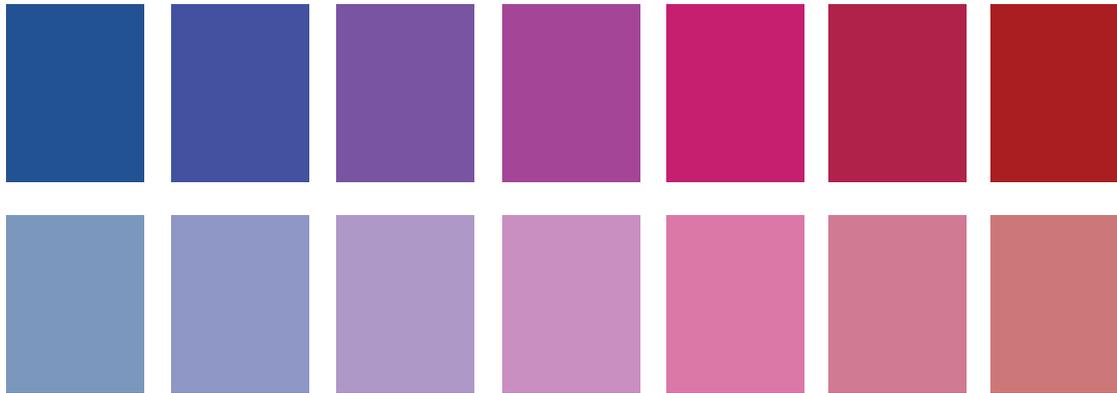
CS2 Urban Pattern and Form

Strengthen the most desirable forms, characteristics, and patterns of the streets, block faces, and open spaces in the surrounding area.

CS3 Architectural Context and Character

Contribute to the architectural character of the neighborhood.





DRB RESPONSE PARK FACING FACADE

BOARD DIRECTION

The Board observed that the upper level facades lack sufficient articulation or modulation, do not express a fine grain scale and window location/sizes do not emphasize the design concept. The plaid pattern is also not evident in the layering of color, depth, and facade texture.

The design should be modified for visual interest through both form and fenestration.

The Board noted that possible strategies to add depth and texture could include adding true balconies, adding modulation and articulation to emphasize the plaid concept, using fins around windows, and grouping and varying window sizes/proportions.

The Board clearly specified that the changes should include architectural moves at the upper facades, not only modifications to color or siding.



BUILDING A

INITIAL DRB PARK FACING FACADE

BUILDING B

RESPONSE

Our design response strengthens the design concept with the following changes:

Increase window size to emphasize and support plaid pattern. The taller windows now create diversity in the width of the horizontal banding, whereas before the horizontal bands were all the same. Both buildings typ.

Alternate direction of metal panel to create woven/layered texture, reinforce plaid pattern, add fine grain scale, and add surface complexity. Both buildings typ.

Redesign central massing elements to support plaid concept, while keeping focus on the main facade elements. Both buildings typ.

Flat panel added to reinforce pattern and provide diversity in texture and detail. Both buildings typ.

Windows and doors reorganized to emphasize facade pleating. Both buildings typ.

3'+ pleating modulation added to add substantial depth. Both buildings typ.



BUILDING A

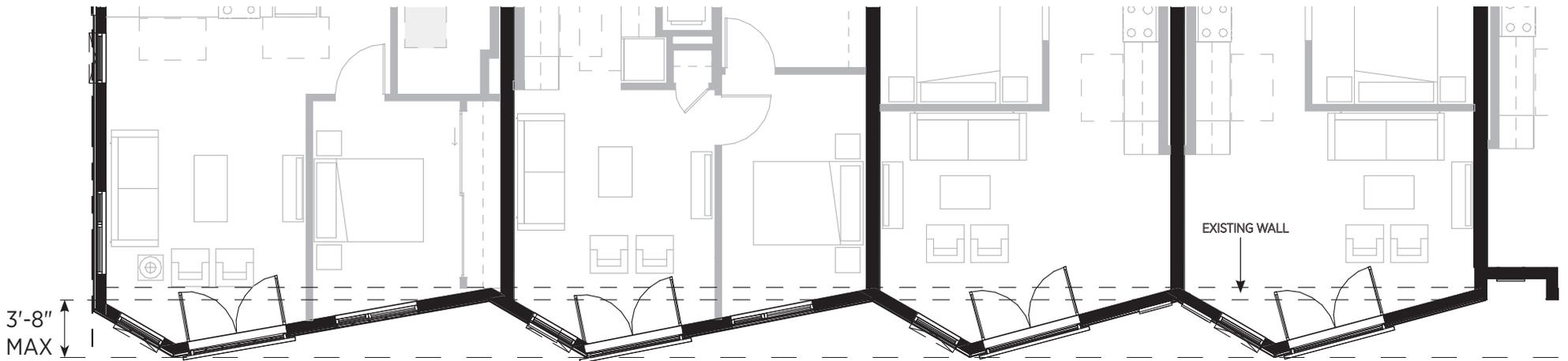
REVISED PARK FACING FACADE

BUILDING B

DRB RESPONSE PARK FACING FACADE



ENLARGED ELEVATION SHOWING ADDED MODULATION



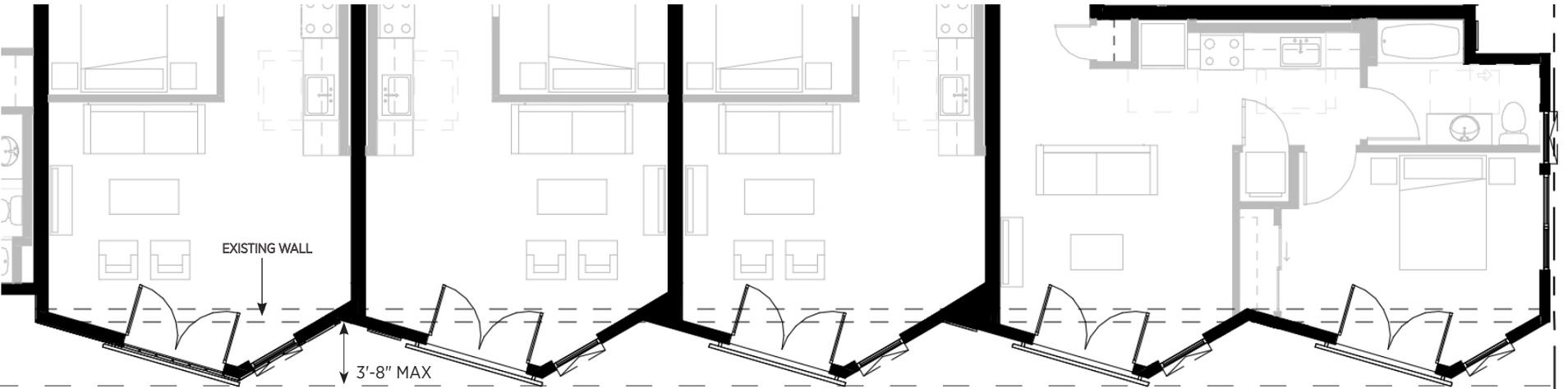
ENLARGED PLAN SHOWING ADDED MODULATION

REVISED BUILDING A (WEST)

Pleated modulation added to achieve depth, texture, visual interest and to reinforce plaid concept. See page 60 for zoning departure request.



ENLARGED ELEVATION SHOWING ADDED MODULATION



ENLARGED PLAN SHOWING ADDED MODULATION

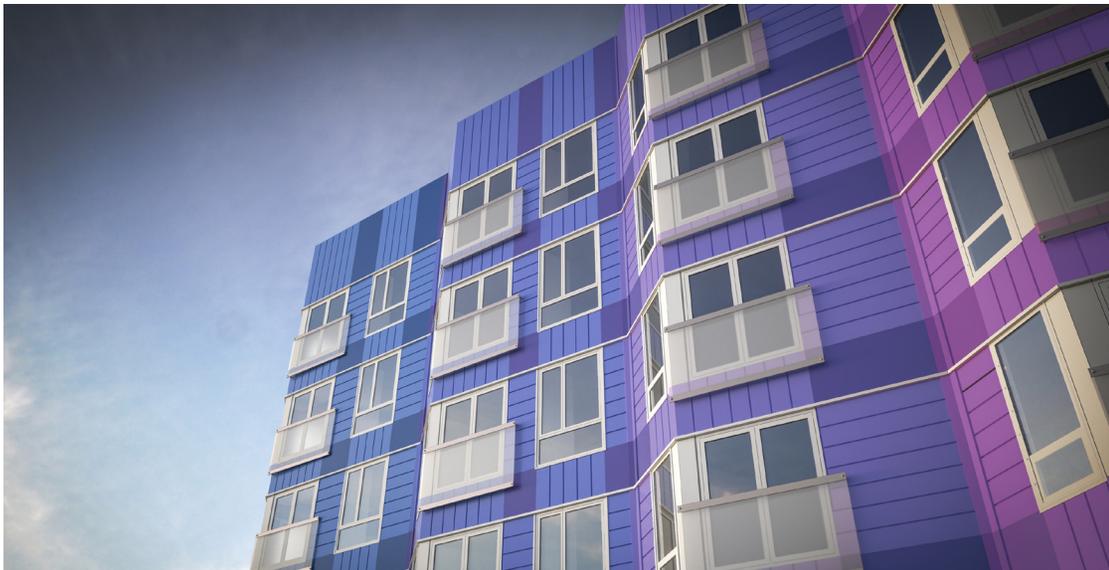
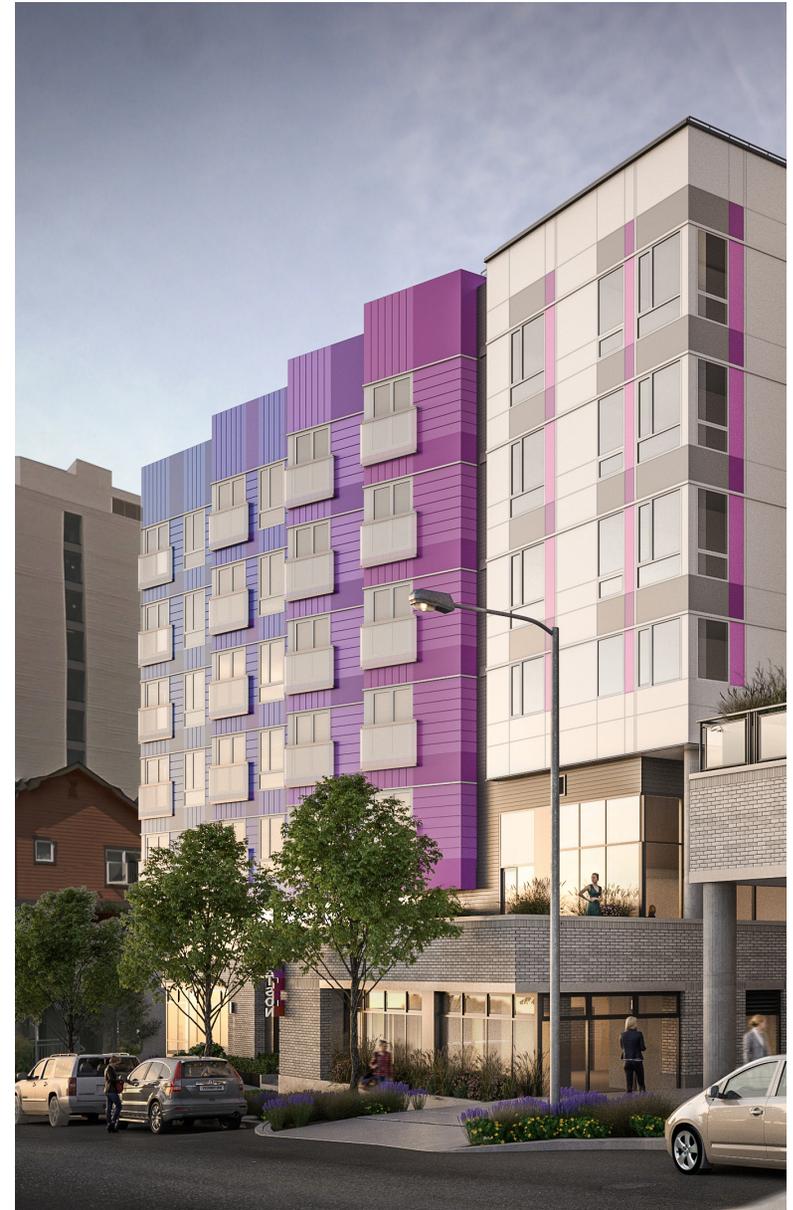
REVISED BUILDING B (EAST)

Pleated modulation added to achieve depth, texture, visual interest and to reinforce plaid concept. See page 61 for zoning departure request.





DRB RESPONSE PARK FACING FACADE



9:00 AM

3:00 PM

MARCH 21 / SEPTEMBER 21



JUNE 21



DEC 21



BOARD DIRECTION

The Board directed the applicant to design the east, west, and north facades to emphasize the artful concept on the south facades. (CS2-A, CS2-I)

RESPONSE

The Board asked us to consider how color is used on the other facades, once the south façade was enhanced. At DRB we received two possible directions for these other facades:

- i. The Board noted that one strategy may involve using color only on the south façade and wrapping the corners, with white/gray/black used on the east, west, and north facades.
- ii. Another possible strategy is to weave the color through the east, west, and north facades.

Our strategy is to combine these two suggestions. We will continue to use small amounts of color to support the plaid concept and stitch the project together. The color area along the Pontius and Minor Elevations will be reduced to place the main focus on the south facing park façades.

We have also added very small amounts of color to the upper white portions along Harrison to strengthen the plaid concept, create a tie with the other white portions on Pontius and Minor, and provide continuity of the gradient. We feel this small color accent does not detract from the main focus of the pleated plaid façade.

(SEE PAGE 13)



ENLARGED REVISED MINOR AVE N ELEVATION

INITIAL DRB



REVISED



MINOR AVE N ELEVATION

INITIAL DRB



REVISED



PONTIUS AVE N ELEVATION

DRB RESPONSE STREET LEVEL - MATERIALS



BUILDING A - REVISED WEST ELEVATION (MINOR AVE. N)



BUILDING A - REVISED EAST ELEVATION (ALLEY)



BUILDING B - REVISED EAST ELEVATION (PONTIUS AVE N)

FCP TO METAL PANEL

AREA OF ARTWORK IMAGE SHOWN AS AN EXAMPLE SEE PAGE 27 FOR PROPOSAL

FCP TO METAL PANEL

AREA OF ARTWORK IMAGE SHOWN AS AN EXAMPLE SEE PAGE 27 FOR PROPOSAL



FCP TO METAL PANEL

BUILDING B - REVISED WEST ELEVATION (ALLEY)



ENLARGED ELEVATION
12" METAL PANEL WITH 1" REVEAL

BOARD DIRECTION

"The Board noted that any areas adjacent to unit or building entries and any areas with bright colors should be composed of metal panel rather than cementitious panels. (DC4-A)"

RESPONSE

We have taken the Board's direction on areas with bright color at street level entries to implement metal panel rather than FCP,

RELEVANT DESIGN GUIDELINES

DC4-A Exterior Elements and Finishes

DC4-A-1 Exterior Finish Materials: Building exteriors should be constructed of durable and maintainable materials that are attractive even when viewed up close. Materials that have texture, pattern, or lend themselves to a high quality of detailing are encouraged.

DRB RESPONSE STREET LEVEL - BUILDING B TERRACE

BOARD DIRECTION

The Board directed the applicant to modify the depth of the terrace at the East building to 6' minimum depth to provide usable area. The Board noted that the depth of the landscaped setback could be reduced to achieve this depth. (PL1-A)

RESPONSE

We have adopted the Board's direction to extend the terrace to 6'.

RELEVANT DESIGN GUIDELINES

CS2-B Adjacent Sites, Streets, and Open Spaces

Identify opportunities for the project to make a strong connection to the street and public realm.

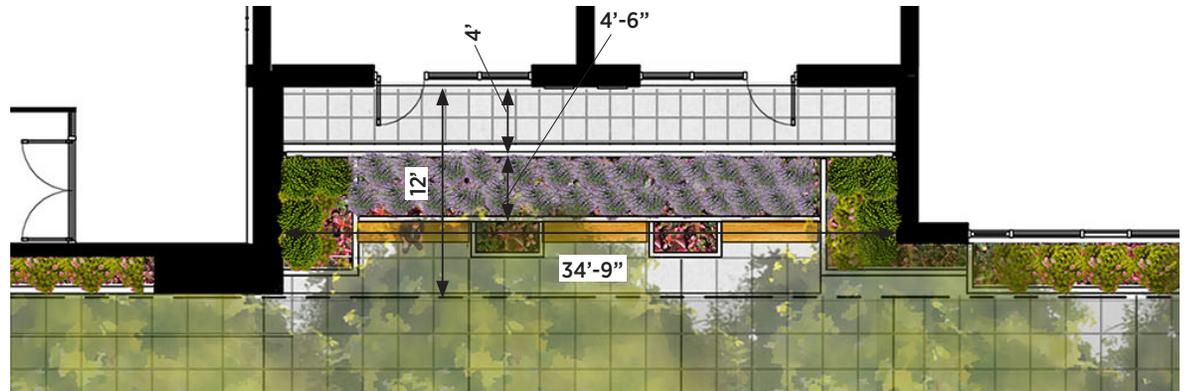
Contribute to the character and proportion of surrounding open spaces.

PL1-A Network of Open Spaces

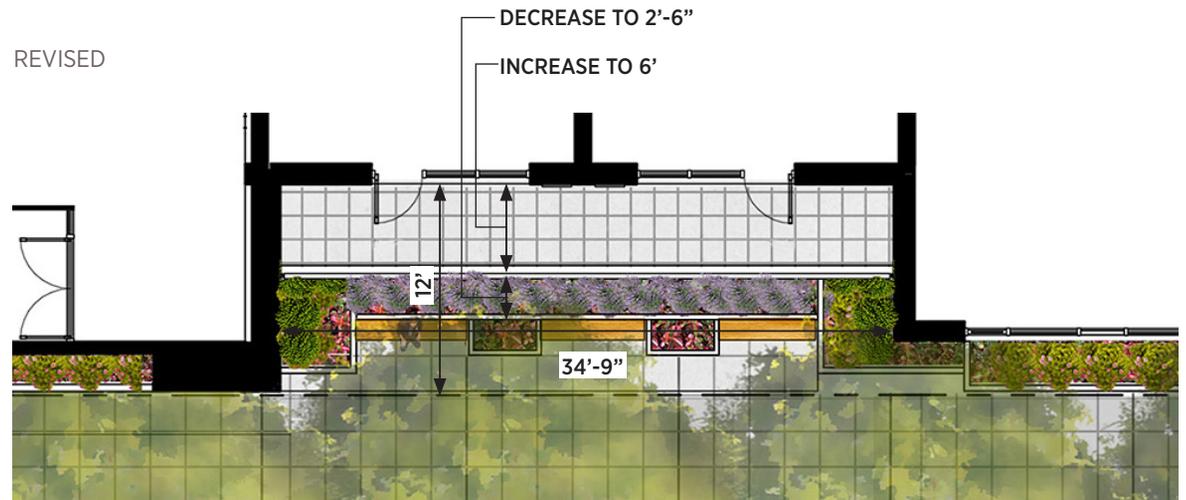
PL1-A-1. Enhancing Open Space: Design the building and open spaces to positively contribute to broader network of open spaces throughout the neighborhood.

PL1-A-2. Adding to Public Life: Seek opportunities to foster human interaction through an increase in the size and quality of project-related open space available for public life.

INITIAL DRB



REVISED



DRB RESPONSE STREET LEVEL - WALLS WITH ARCHITECTURAL INTEREST

BOARD DIRECTION

"The walls of the terraces that are visible to the street should be designed with architectural interest, while also providing opportunity for art pieces as intended in the proposed design. (DC2-B, DC2-D)"

RESPONSE

The walls of the terraces will be covered with art. The double stanchion guardrail system will provide fine-grain architectural detail. The planter walls will have a smooth concrete finish with recessed wall lighting.

RELEVANT DESIGN GUIDELINES

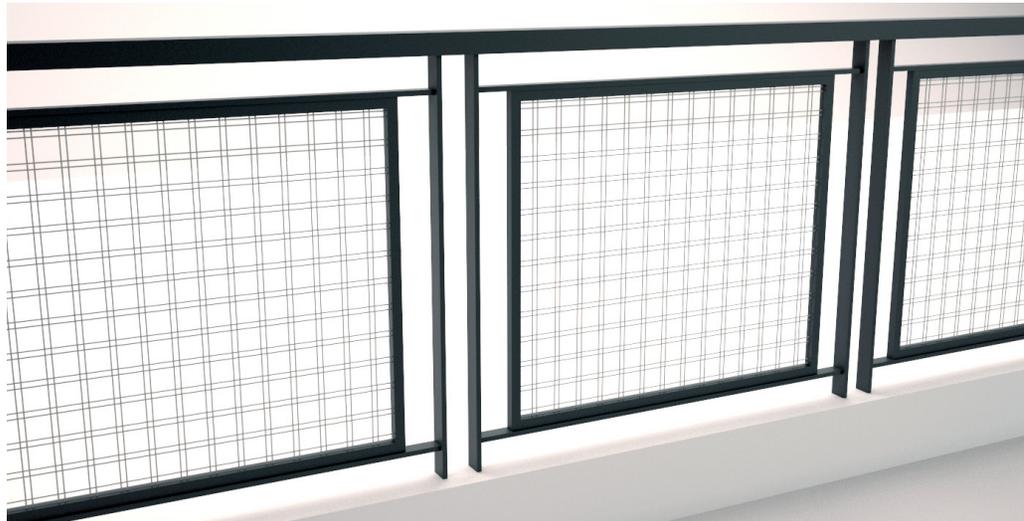
DC2-B Architectural and Facade Composition

Avoid large blank walls along visible facades wherever possible. Include uses or design treatments at the street level that have human scale and are designed for pedestrians.

DC2-D Scale and Texture

Incorporate architectural features, elements, and details that are of human scale into exterior spaces in a manner that is consistent with the overall architectural concept.

AREA OF ARTWORK IMAGE SHOWN AS AN EXAMPLE, SEE PAGE 27 FOR PROPOSAL



COMMISSIONED ARTWORK PROPOSAL

The Cascade Apartment site is in the heart of the South Lake Union Art Walk neighborhood. The developer is partnering with Cornish College of the Arts to commission a unique set of artworks to be installed along Harrison and Pontius. (see highlighted areas)

The Cascade Apartment artworks will be developed through a credit course under the direction of faculty member Natalie Riha along with the Student Curators Group. Riha will provide guidance on the art submission process including design review, materials support and installation guidance. This is a unique opportunity for the students to collaborate directly with a developer to create a public art installation that will have an immediate impact on their community.

A broad cross section of diverse artistic styles, viewpoints and media from Cornish students will be represented in the selected artworks. Final selection will be reviewed by the planner prior to installation.

See page 27 for artwork locations. Artwork depicted at these locations throughout this booklet are examples only. The final artwork selections will be reviewed with the planner prior to installation.

TIMELINE:

RFP - Jan 2017

Student Presentation Preview- March 2017

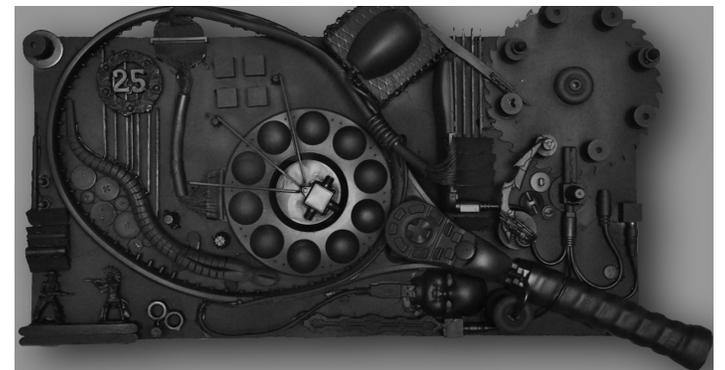
Student Presentation Final - May 2017

Final Selection - May/June 2017

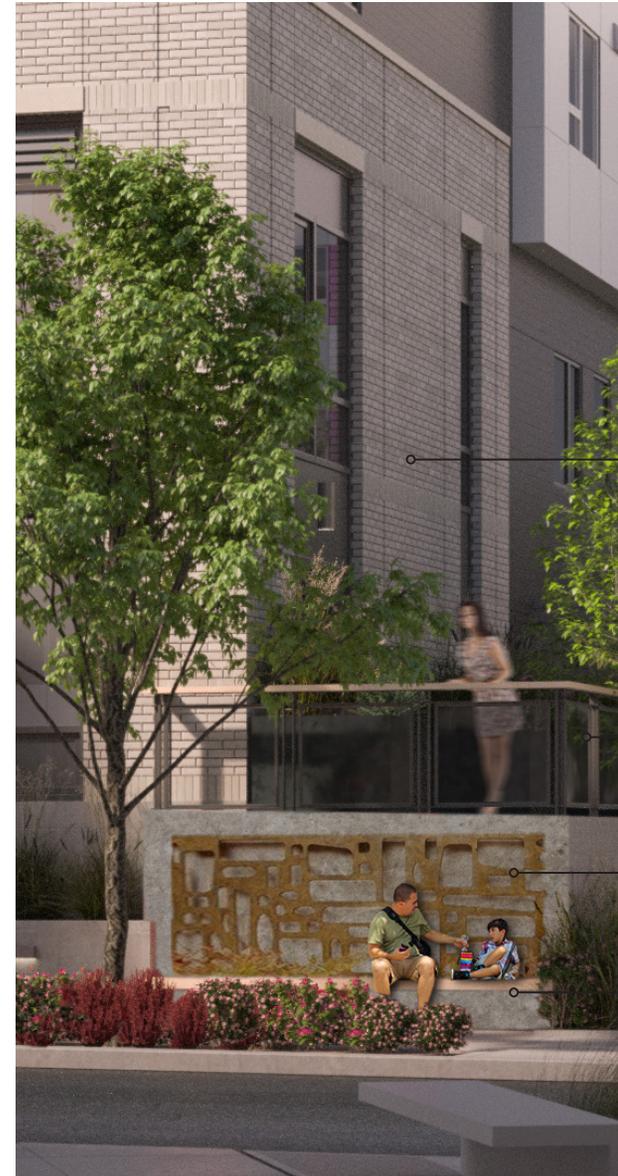




VARIETY OF ARTWORK UNDER CONSIDERATION
ARTWORK SHOWN AS EXAMPLE ONLY



COMMISSIONED ARTWORK PROPOSAL



BRICK RETURN

BALCONY

AREA OF ARTWORK,
IMAGE SHOWN AS AN
EXAMPLE ONLY. SEE PAGE
27 FOR PROPOSAL

BENCH



BOARD DIRECTION

“The Board noted that the proposed feature wall (visible from the street frontage, through the glazed lobby) is a critical aspect of the lobby relationship to the side walk and should be carefully designed.”

RESPONSE

The art wall inside the lobby of Building B will be designed by the interior designer, Mercedes Fernandez, to complement the eclectic street level art program. The wall will be highly textured and well lit to be seen from the street and alley.

RELEVANT DESIGN GUIDELINES

- PL3-A Entries
- PL3-A-1 Design Objectives
- PL3-A-2 Common Entries
- PL3-A-4 Ensemble of Elements

FEATURE WALL LOCATION

ARTWORK SHOWN AS EXAMPLE ONLY

DRB RESPONSE STREET LEVEL - BUILDING A LANDSCAPE ELEMENTS



BOARD DIRECTION

"The Board directed applicant to design the stairs at the entry to avoid handrails, thereby maintaining the proposed low appearance of ramps and stairs. (CS2-B, PL3-A)"

RESPONSE

Confirmed, there will not be handrails at the entryway stairs in order to provide a welcoming transition from the street to the building entrance.

RELEVANT DESIGN GUIDELINES

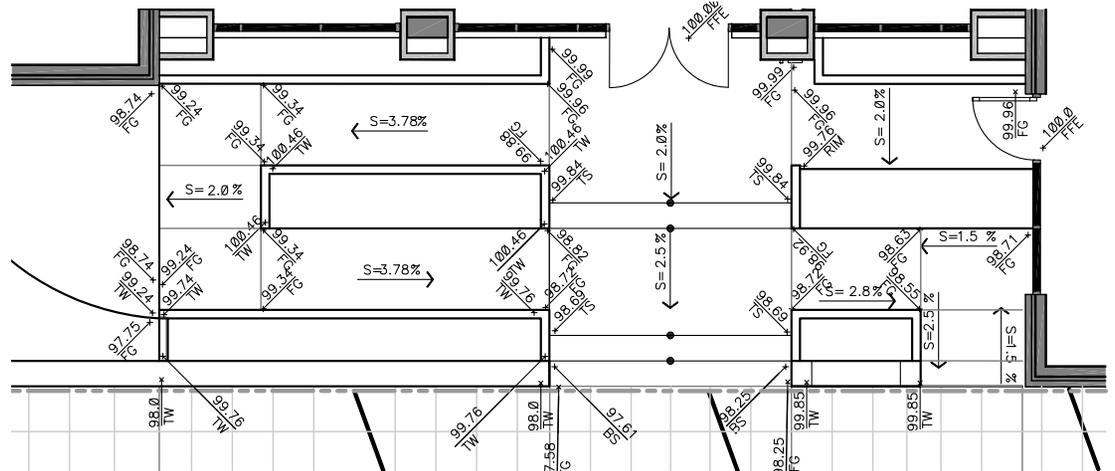
CS2-B Adjacent Sites, Streets, and Open Spaces

CS2-B-2 Connection to the Street

CS2-B-3 Character of Open Space

CS2-I Responding to Site Characteristics

CS2-I-iv Heart Locations



BUILDING A: GRADING PLAN AT ENTRY STAIR AND RAMP

DRB RESPONSE STREET LEVEL - BUILDING A LANDSCAPE ELEMENTS

INITIAL DRB



BOARD DIRECTION

"The Board also directed the applicant to modify the planter walls at the perimeter of the southwest landscaped area adjacent to the sidewalk, to reduce the appearance of an armored wall and allow plant materials to connect with the pedestrian sidewalk areas. The Board suggested making a couple of breaks in the planter walls near the corner would be sufficient. (CS2-B, CS2-I, PL1, PL3-A, PL3-II, DC1-A, DC3)"

RESPONSE

Per the Board's direction, we have reduced the appearance of an armored wall by replacing the concrete walls with seating boulders and more landscaping spilling down towards the sidewalk.

REVISED



RELEVANT DESIGN GUIDELINES

CS2-B Adjacent Sites, Streets, and Open Spaces

CS2-B-2 Connection to the Street

CS2-B-3 Character of Open Space

CS2-I Responding to Site Characteristics

CS2-I-iv Heart Locations

PL1 Connectivity

Complement and contribute to the network of open spaces around the site and the connections among them.

PL3-A Entries

PL3-A-1 Design Objectives

DRB RESPONSE ALLEY

BOARD DIRECTION

"The Board gave direction to include individual signage for ground level units at the alley and lighting at these units. (PL2-B, PL3-B, PL3-III)"

"The Board observed that the ground level alley units in the West Building are further below grade, and recommended that transom windows be added to increase natural lighting and visual height of these units. (PL3-III)"

RESPONSE

In response to the Board we have added individual signage, additional lighting, transom windows, and windows raised to align with the top of the door transom. The material at the base of the building has been upgraded from fiber cement panel to metal panel.



INITIAL DRB

RELEVANT DESIGN GUIDELINES

PL2-B Safety & Security

Create a safe environment by providing lines of sight, natural surveillance and lighting to ensure safety and security. Ensure transparency of street-level uses, where appropriate, by keeping views open into spaces behind walls or plantings, at corners, or along narrow passageways.

PL3-B Residential Edges

Provide security and privacy for residential buildings through the use of a buffer or semi-private space between the development and street or neighboring building.

PL3-III Transition Between Residence and Street

PL3-III-i Residential Entries: Consider designing the entries of residential buildings to enhance the character of the streetscape through the use of small gardens, stoops and other elements to create a transition between public and private areas.



REVISED



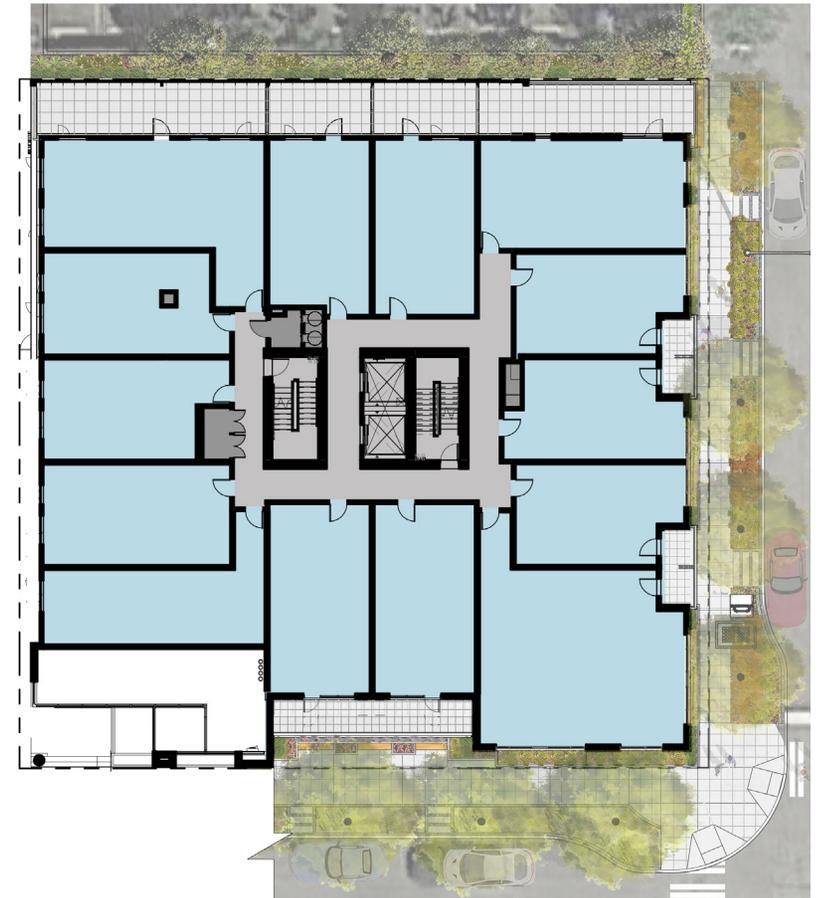
BUILDING A PARKING - P1

FLOOR PLANS BLDGS. A & B





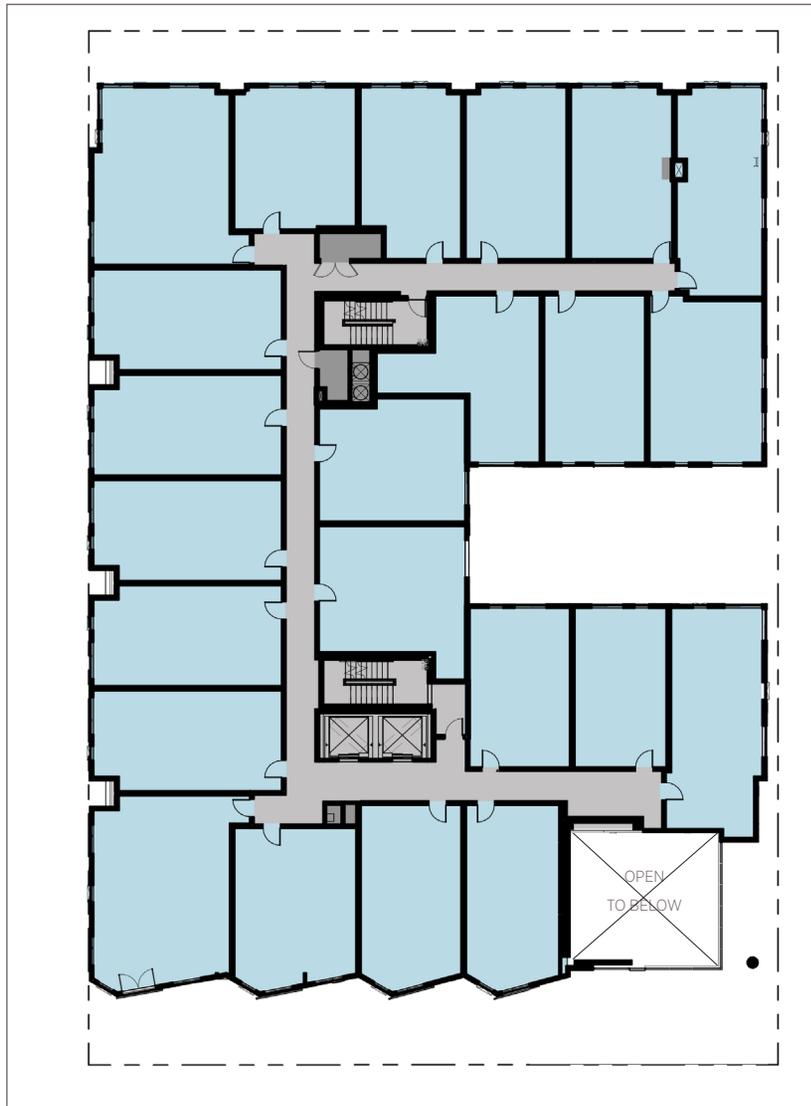
BUILDING A LEVEL 2



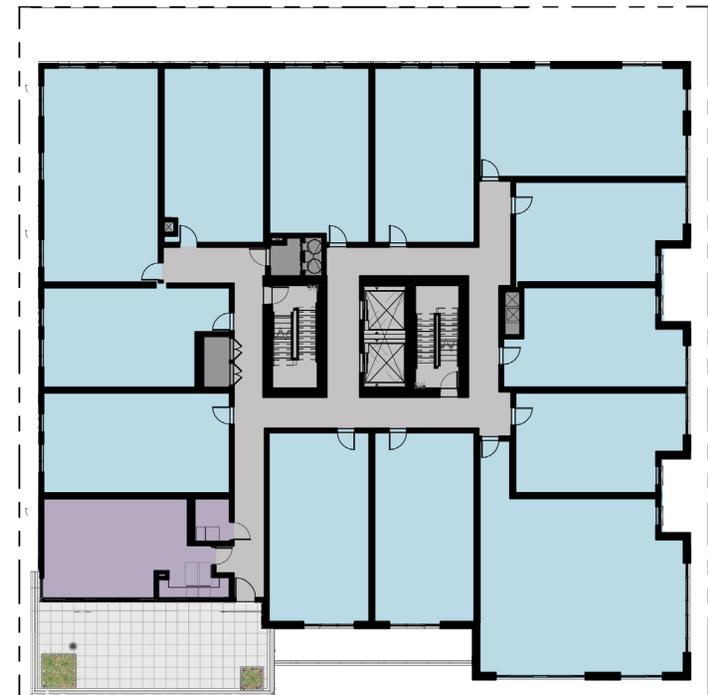
BUILDING B LEVEL 1

FLOOR PLANS BLDGS. A & B

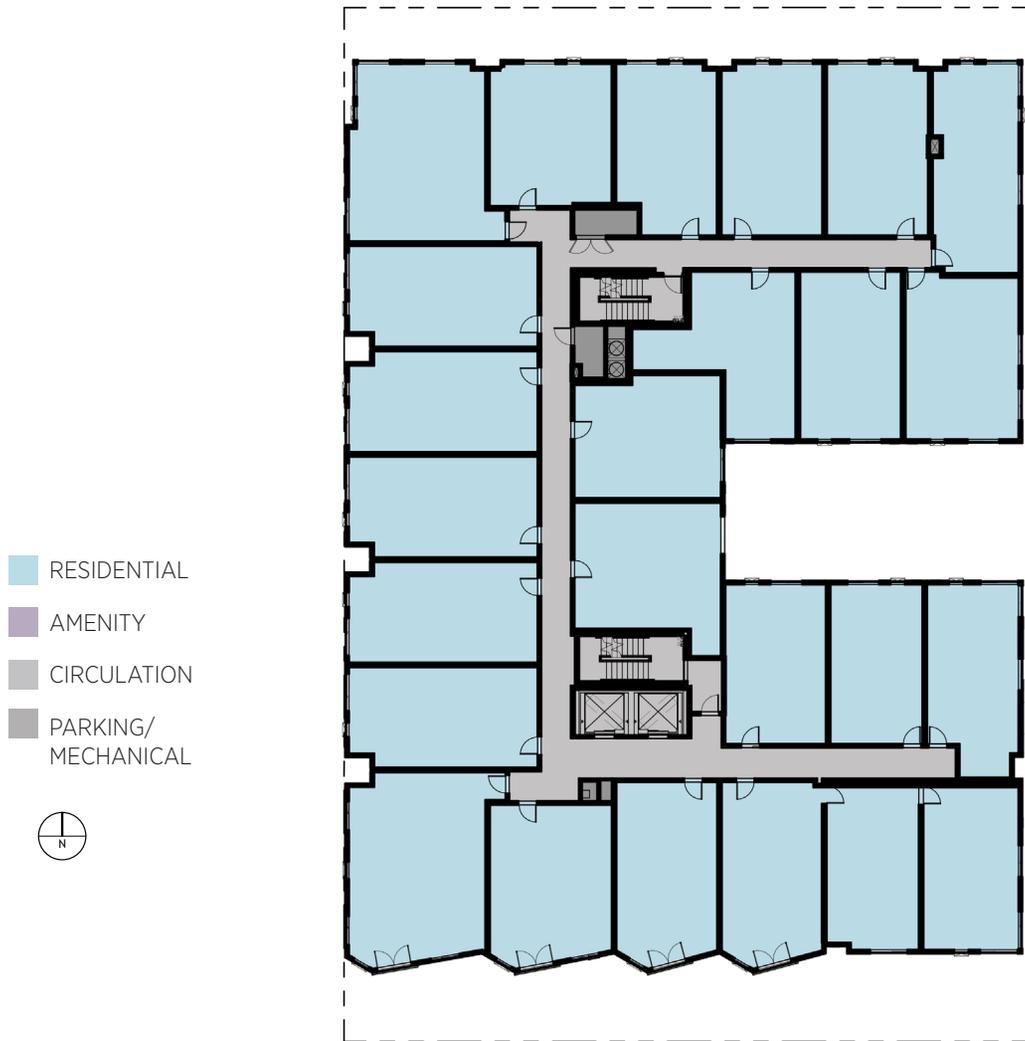
- RESIDENTIAL
- AMENITY
- CIRCULATION
- PARKING/
MECHANICAL



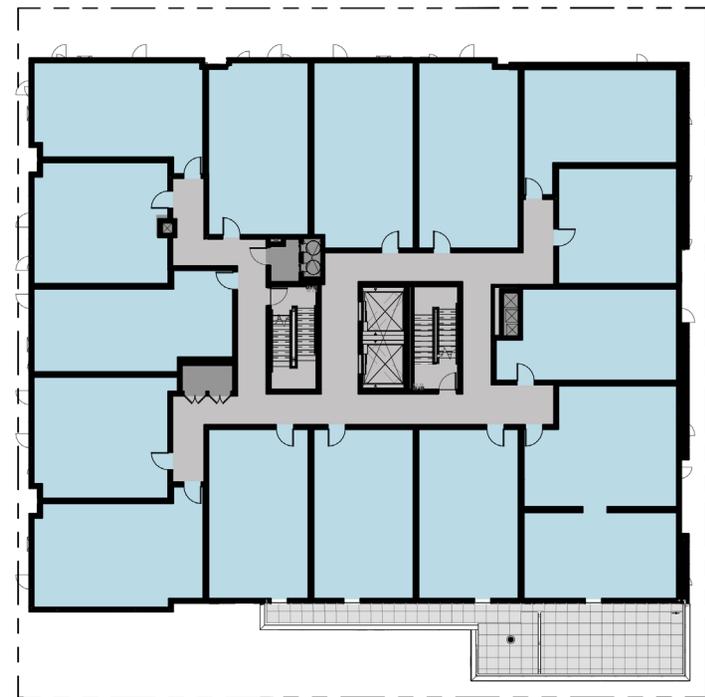
BUILDING A LEVEL 3



BUILDING B LEVEL 2

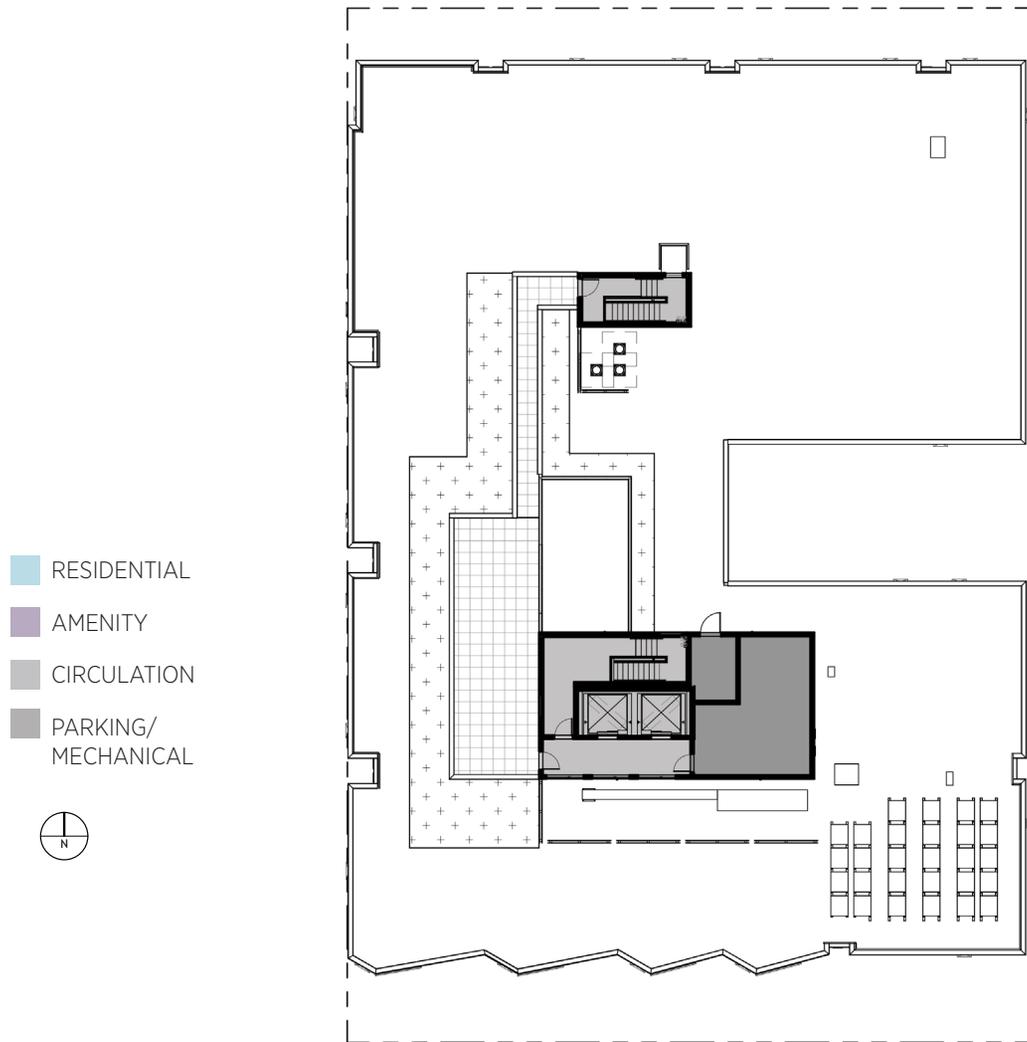


BUILDING A LEVELS 4-7

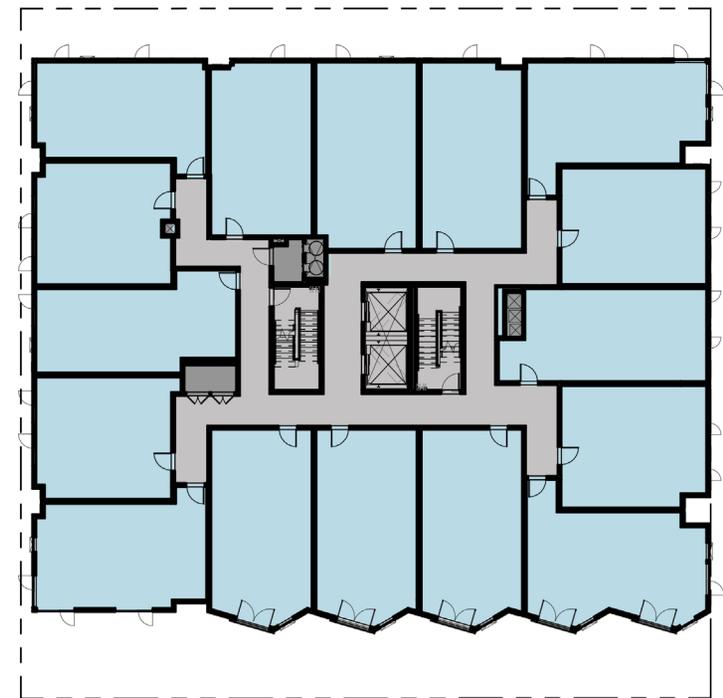


BUILDING B LEVEL 3

FLOOR PLANS BLDGS. A & B

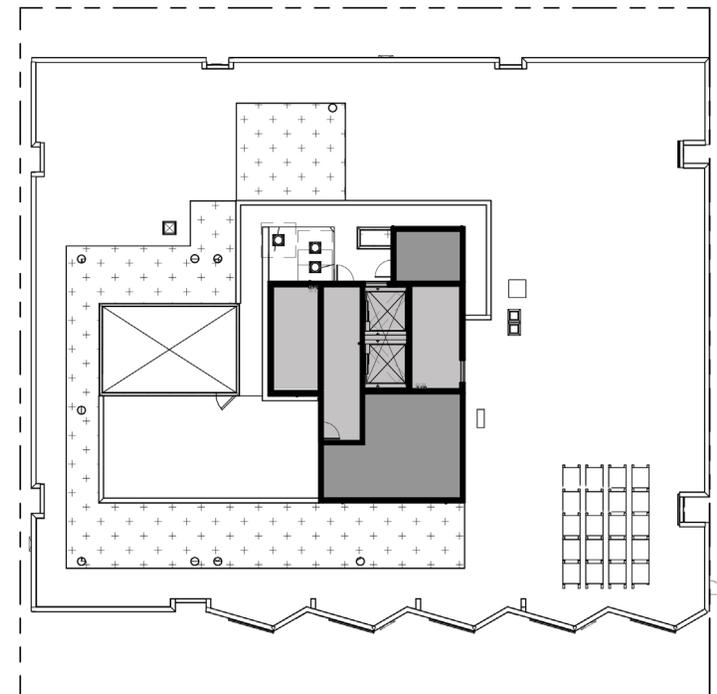
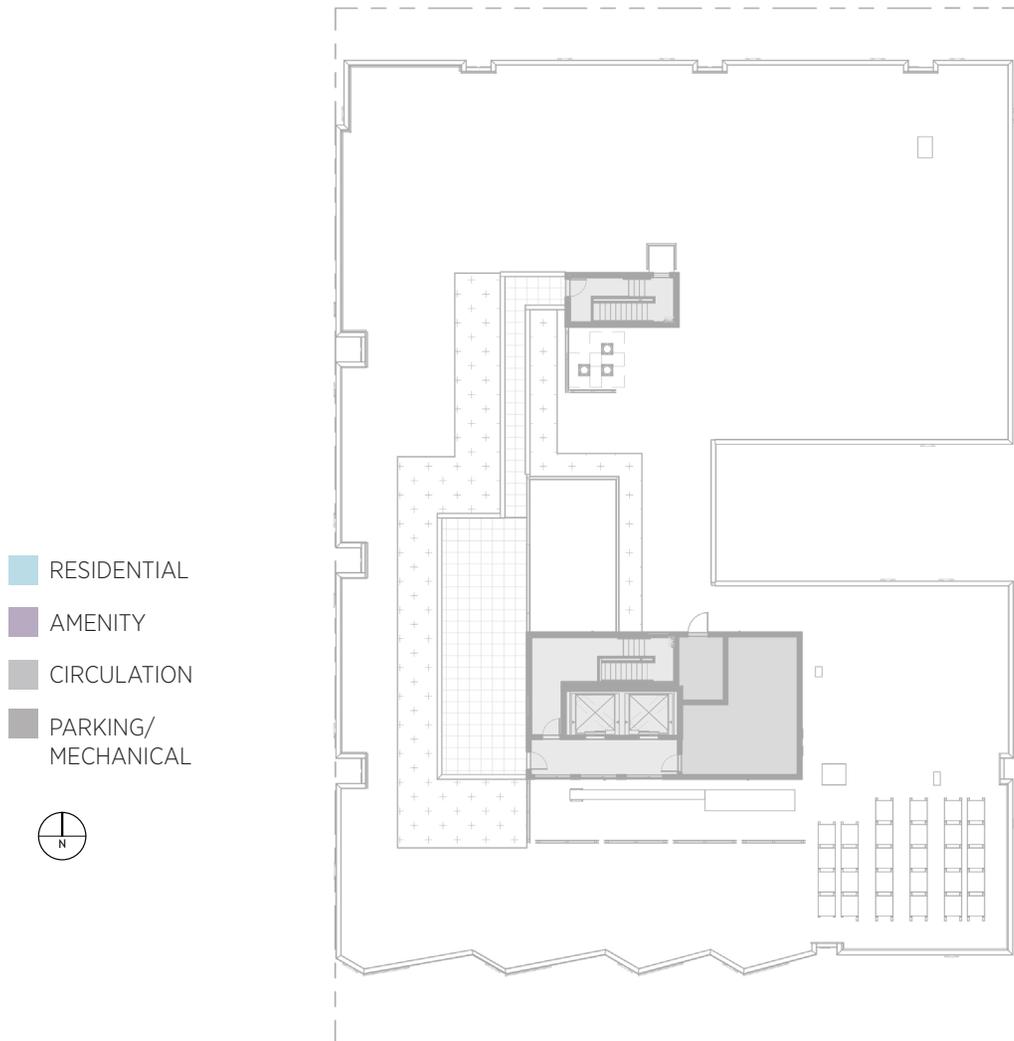


- RESIDENTIAL
- AMENITY
- CIRCULATION
- PARKING/
MECHANICAL



BUILDING A ROOF

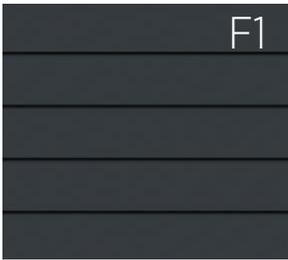
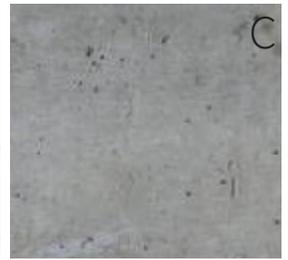
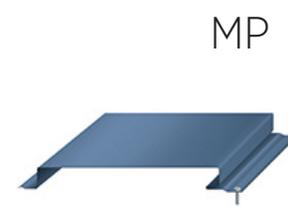
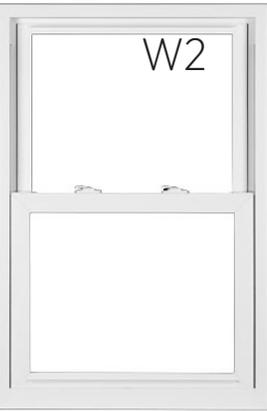
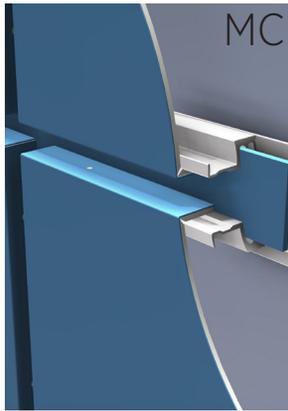
BUILDING B LEVELS 4-7



BUILDING B ROOF

MATERIAL AND COLOR PALETTE

P1	P2	P3	P4	P5	P6	P7	P8
P1.1	P2.1	P3.1	P4.1	P5.1	P6.1	P7.1	P9

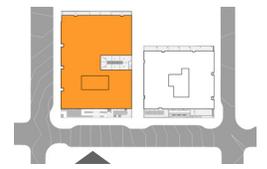
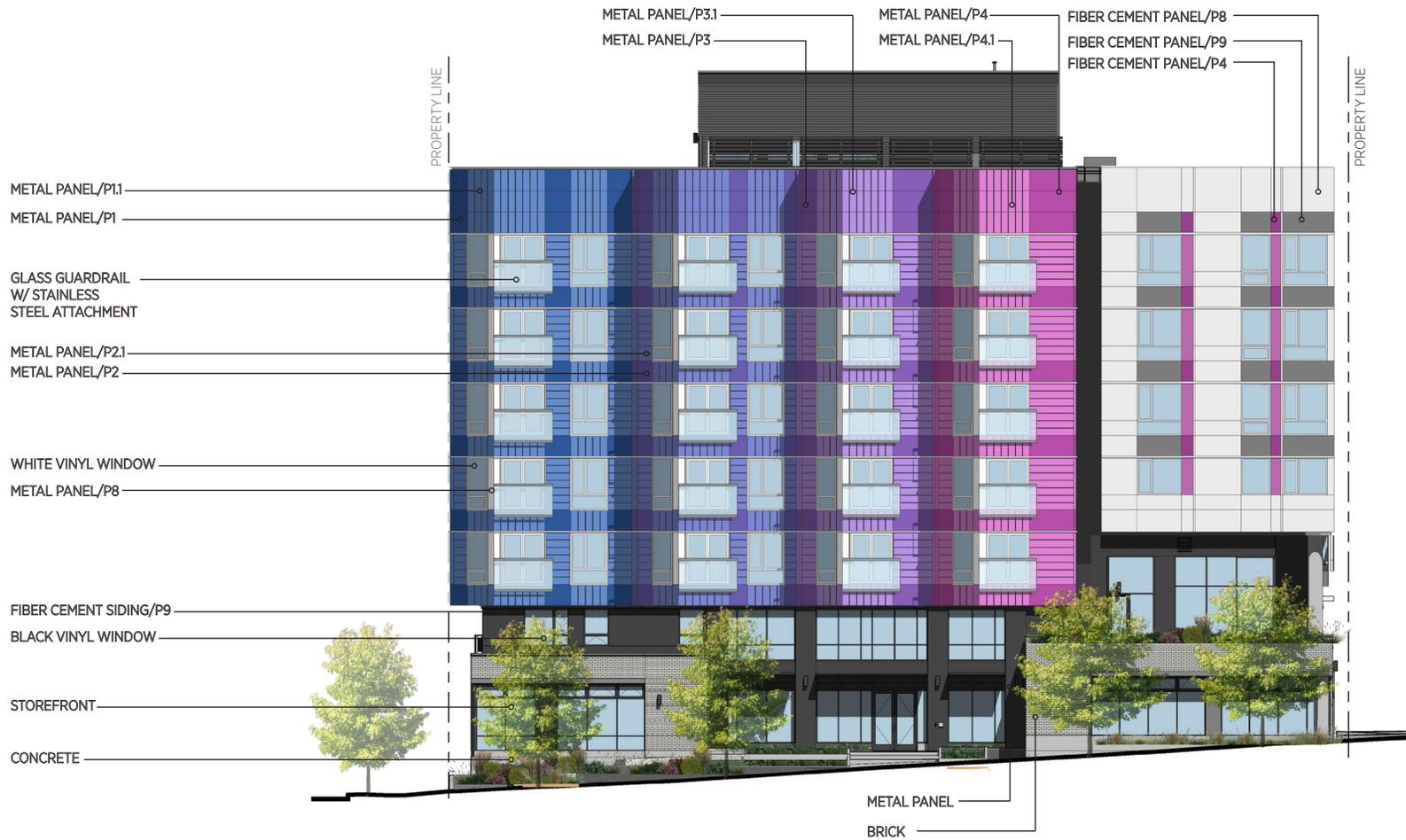
					
					<p>B1) BRICK 1</p> <p>C) CONCRETE</p> <p>F1) FIBER CEMENT SIDING</p> <p>F2) FIBER CEMENT PANEL</p> <p>G1) GLASS GUARDRAIL - 4" MAX FROM WALL</p> <p>MP) METAL PANEL, 22 GAUGE</p> <p>MC) METAL COMPOSITE PANEL</p> <p>SF) STOREFRONT</p> <p>W1) BLACK VINYL WINDOW</p> <p>W2) WHITE VINYL WINDOW</p>



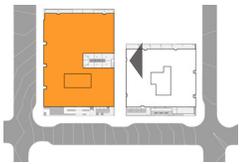
FOR SPECIFIC COLOR ALLOCATION SEE ELEVATIONS

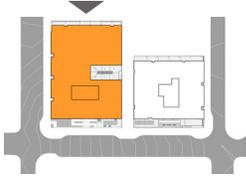
ELEVATIONS BUILDING A WEST





ELEVATIONS BUILDING A EAST



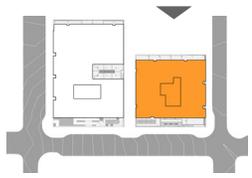


ELEVATIONS BUILDING B SOUTH





ELEVATIONS BUILDING B NORTH





LANDSCAPE COMPOSITE PLAN



50

CASCADE APARTMENTS

DPD # 3018928 & DPD #3018926
DRB 2 RECOMMENDATION PACKET - JANUARY 20, 2016



HOLLAND PARTNER GROUP



Ankrom Moisan



Street tree: Quercus Frainetto



Hedge plantings



Streetscape with concrete crossing pavers



Street tree: 'Emerald Sunshine' Elm



Wall lighting



Wood / concrete bench



'Eddy' planting with benches

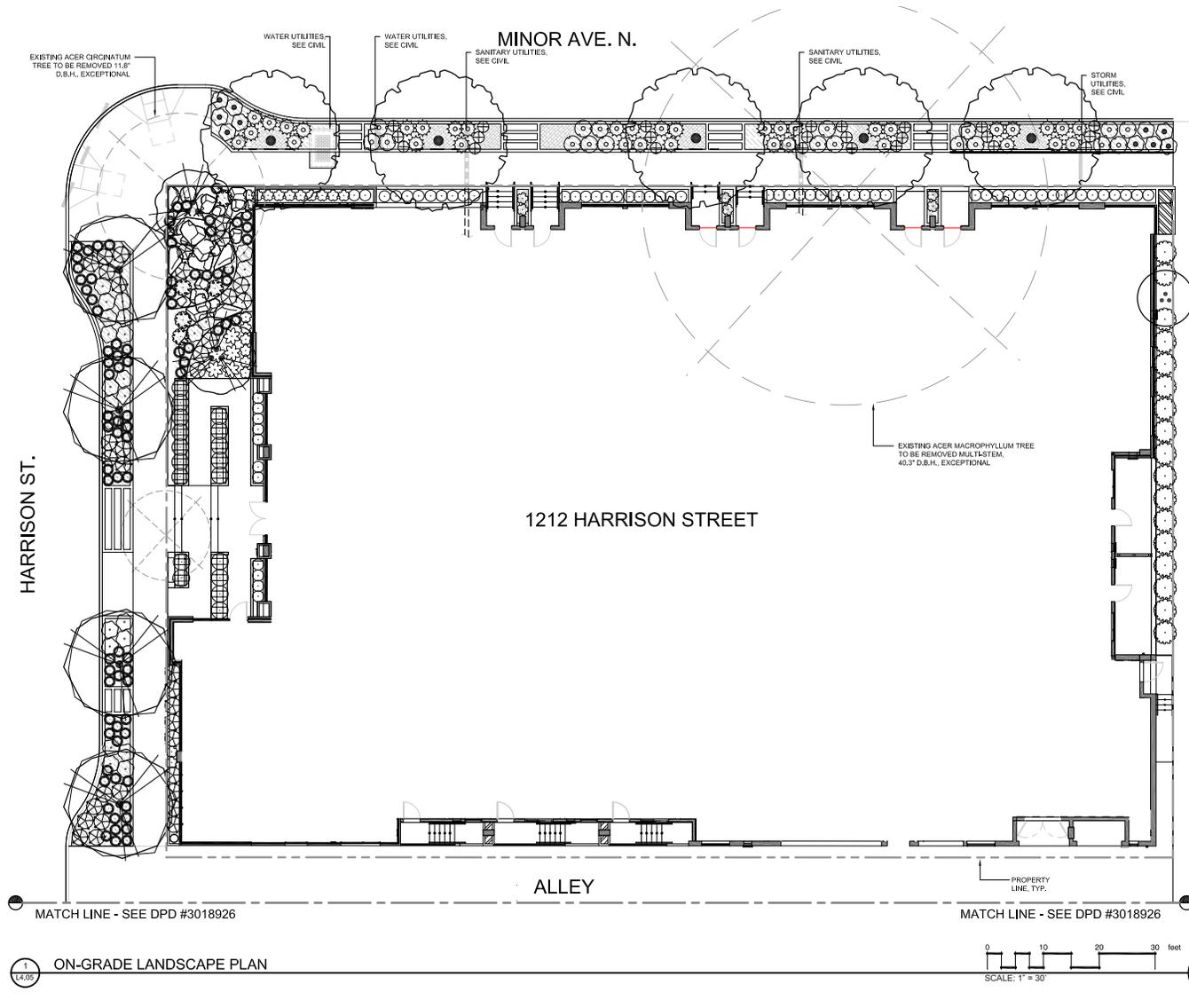


Black oxidized steel planters



Stepped planters at entry stairs

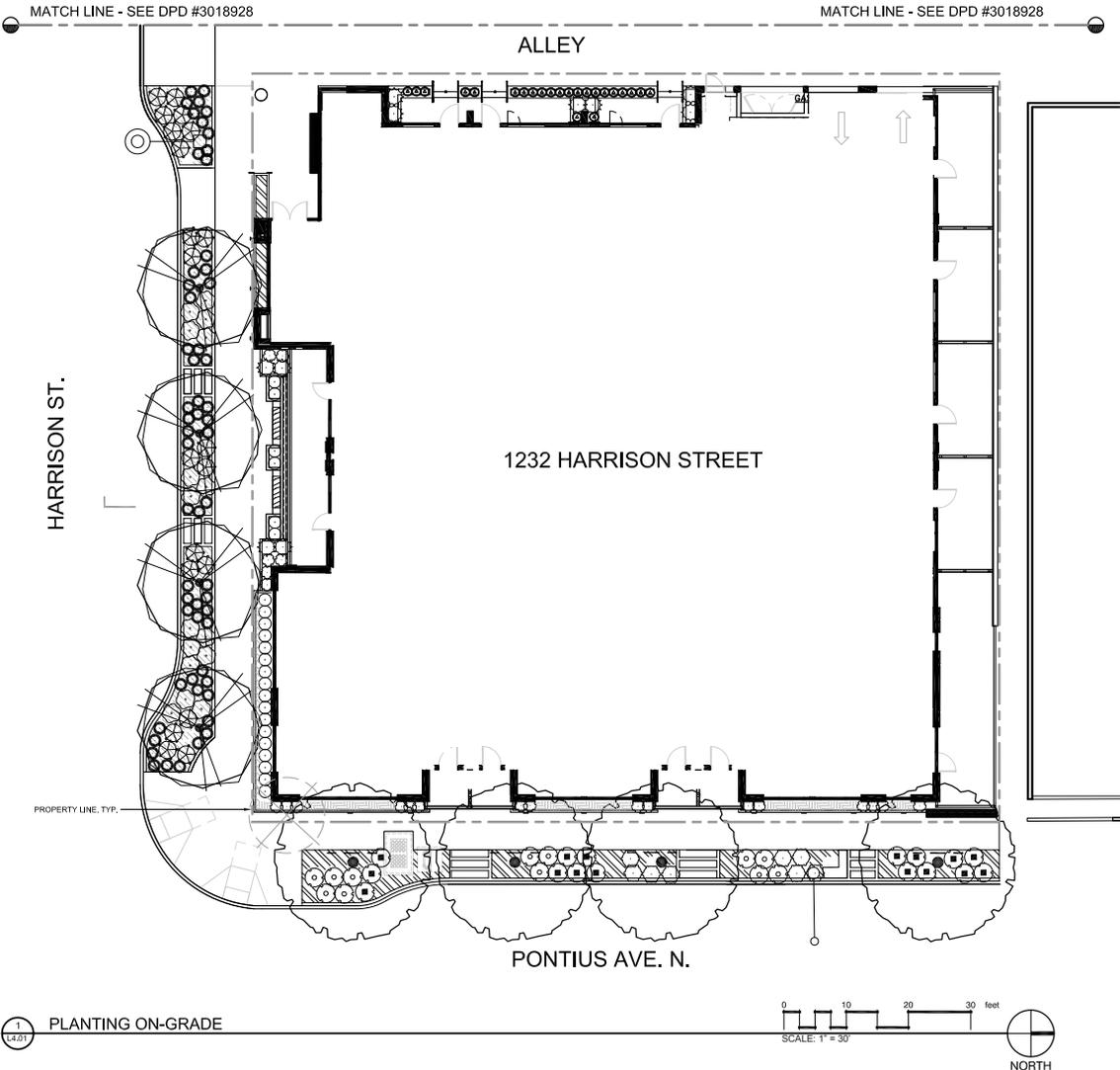
LANDSCAPE PLANTING PLAN BUILDING A



PLANT SCHEDULE ON-GRADE

TREES	BOTANICAL NAME / COMMON NAME	CONT
	ACER CIRCINATUM / VINE MAPLE	2" CALI
	EXISTING TO BE REMOVED	N/A
	QUERCUS FRAINETTO 'FOREST GREEN' / FOREST GREEN OAK	3" CALI
	STEWARTIA MONADELPHA / TALL STEWARTIA	2" CALI
	ULMUS PROPINQUA 'EMERALD SUNSHINE' / ELM	3" CALI
SHRUBS	BOTANICAL NAME / COMMON NAME	CONT
	AZALEA X 'PLEASANT WHITE' / GIRARD PLEASANT WHITE AZALEA	3 GAL
	BLECHNUM SPICANT / DEER FERN	1 GAL
	BUXUS SEMPERVIRENS 'SUFFRUTICOSA' / TRUE DWARF BOXWOOD	2 GAL
	DAPHNE ODORA 'AUROMARGINATA' / WINTER DAPHNE	2 GAL
	HELIANthemum NUMMULARIUM 'YELLOW' / YELLOW SUNROSE	3 GAL
	HYDRANGEA ARBORESCENS 'INCREDIBALL' / INCREDIBALL WHITE HYDRANGEA	3 GAL
	ILEX CRENATA 'SKY PENCIL' / SKY PENCIL JAPANESE HOLLY	2 GAL
	LAVANDULA ANGUSTIFOLIA / ENGLISH LAVENDER	2 GAL
	MAHONIA AQUIFOLIUM / OREGON GRAPE	2 GAL
	POLYSTICHUM MUNITUM / WESTERN SWORD FERN	2 GAL
	SARCOCOCCA HOOKERIANA HUMILIS / SWEET BOX	2 GAL
	SENECIO GREYI	3 GAL
	STIPA TENUISSIMA 'PONY TAILS' / FINESTEM NEEDLEGRASS	2 GAL
SHRUB AREAS	BOTANICAL NAME / COMMON NAME	CONT
	LIRIOPE MUSCARI 'BIG BLUE' / BIG BLUE LILYTURF	2 GAL
GROUND COVERS	BOTANICAL NAME / COMMON NAME	CONT
	EUONYMUS FORTUNEI 'KEWENSIS' / KEW EUONYMUS	1 GAL
	ISOTOMA FLUVIATILIS / BLUE STAR CREEPER	4" POT
	LIRIOPE SPICATA / CREEPING LILY TURF	1 GAL

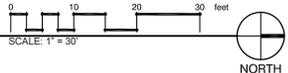
1 ON-GRADE LANDSCAPE PLAN



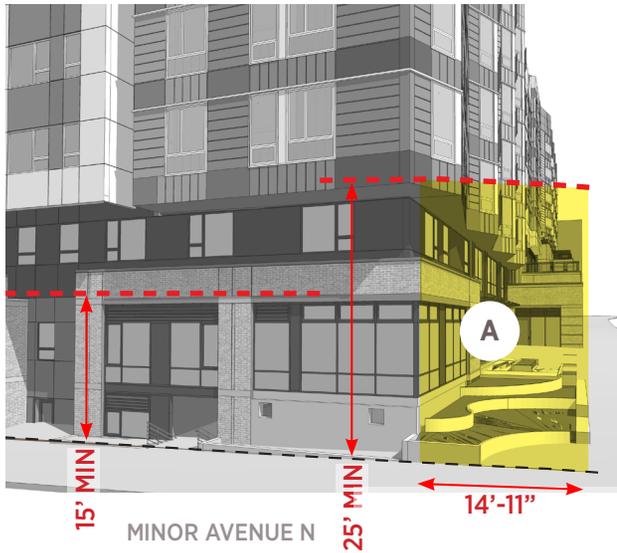
PLANT SCHEDULE ON-GRADE

TREES	BOTANICAL NAME / COMMON NAME	CONT	QTY	
	EXISTING TO BE REMOVED	N/A	1	
	EXISTING TO REMAIN	N/A	7	
	QUERCUS FRAINETTO 'FOREST GREEN' / FOREST GREEN OAK	3" CAL.	4	
	ULMUS PROPINQUA 'EMERALD SUNSHINE' / ELM	3" CAL.	4	
SHRUBS	BOTANICAL NAME / COMMON NAME	CONT	QTY	
	ABELIA X GRANDIFLORA / GLOSSY ABELIA	3 GAL	10	
	BERBERIS THUNBERGII 'CRIMSON PYGMY' / CRIMSON PYGMY BARBERRY	2 GAL	16	
	BLECHNUM SPICANT / DEER FERN	1 GAL	11	
	BUXUS SEMPERVIRENS / AMERICAN BOXWOOD	3 GAL	9	
	BUXUS SEMPERVIRENS 'SUFRUTICOSA' / TRUE DWARF BOXWOOD	2 GAL	17	
	HELIANTHEMUM NUMMULARIUM 'YELLOW' / YELLOW SUNROSE	3 GAL	16	
	HYDRANGEA ARBORESCENS 'INCREDIBALL' / INCREDIBALL WHITE HYDRANGEA	3 GAL	11	
	ILEX CRENATA 'SKY PENCIL' / SKY PENCIL JAPANESE HOLLY	2 GAL	26	
	IRIS VERSICOLOR / BLUE FLAG	BULB	24	
	LAVANDULA ANGUSTIFOLIA / ENGLISH LAVENDER	2 GAL	29	
	LIRIOPE MUSCARI 'BIG BLUE' / BIG BLUE LILYTURF	3 GAL	23	
	POLYSTICHUM MUNITUM / WESTERN SWORD FERN	1 GAL	12	
	ROSA RUGOSA 'SCARLET PAVEMENT' / ROSE	2 GAL	8	
	SARCOCOCCA HOOKERIANA HUMILIS / SWEET BOX	2 GAL	12	
	STIPA TENUISSIMA 'PONY TAILS' / FINESTEM NEEDLEGRASS	2 GAL	57	
	TAXUS BACCATA 'FASTIGATA' / FASTIGA ENGLISH YEW	3 GAL	47	
SHRUB AREAS	BOTANICAL NAME / COMMON NAME	CONT	DENSITY	QTY
	LIRIOPE MUSCARI 'BIG BLUE' / BIG BLUE LILYTURF	2 GAL	0.5/sq.ft.	95
GROUND COVERS	BOTANICAL NAME / COMMON NAME	CONT	DENSITY	QTY
	EPIMEDIUM X PERRALCHICUM 'FROHNLEITEN'	1 GAL	0.3/sq.ft.	28
	LILIUM TIGRINUM / TIGER LILY	BULBS @ 12" O.C.		27 SF
	LIRIOPE SPICATA / CREEPING LILY TURF	1 GAL	0.5/sq.ft.	33

1 PLANTING ON-GRADE
12/11



REQUESTED DEPARTURES



Area of Requested Departure

Building A

Departure 1A - Minimum Facade Height - Early Support at DRB

Code summary:

25' minimum facade height required on Harrison St. & wrapping corner onto Minor Ave. for a distance of 25'

(23.84.014A2b & c; 23.86.024)

Minimum facade height and maximum setback (see departure 1B) are related. Code requires a street level volume (25' minimum facade height that is setback no more than the maximum allowed). Facades less than 25' require a minimum facade height departure; facades more than 25' but setback more than the maximum allowed need departures from both facade height and maximum setback because the required volume is not provided at street level.

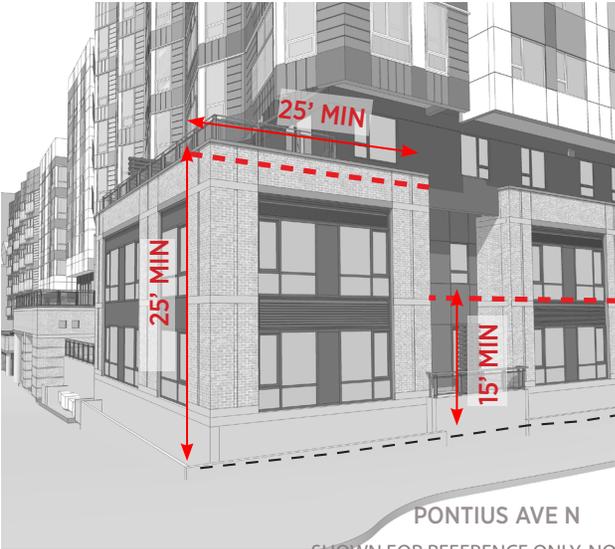
Requested Departures

- A** Minor: Departure to allow open space area, rather than a facade, at corner of Minor and Harrison, for a distance of 14' - 11"
- B** Harrison: Departure to allow 25' facade to be located beyond maximum setback
- C** Harrison: Departure to allow facade of 15' avg. height instead of 25' required height, for a distance of 41'

Justification

Departure along Minor is requested to reduce the building mass at the corner, provide a meaningful connection to the corner entrance at Cascade Park & enhance the pedestrian experience.

Departures along Harrison are requested to help reduce the bulk of the building base, and to enhance the pedestrian experience at grade. The building base is still well defined with materials, massing and scale that is different from the upper portions of the building.



SHOWN FOR REFERENCE ONLY. NO DEPARTURE NEEDED ON PONTIUS.

Area of Requested Departure

Building B

Departure 1A - Minimum Façade Height - Early Support at DRB

Code summary:

25' minimum façade height required on Harrison St. & wrapping corner onto Minor Ave. for a distance of 25' (23.84.014A2b & c; 23.86.024)

Minimum façade height and maximum setback (see departure 1B) are related. Code requires a street level volume (25' minimum façade height that is setback no more than the maximum allowed). Facades less than 25' require a minimum façade height departure; facades more than 25' but setback more than the maximum allowed need departures from both façade height and maximum setback because the required volume is not provided at street level.

Requested Departures

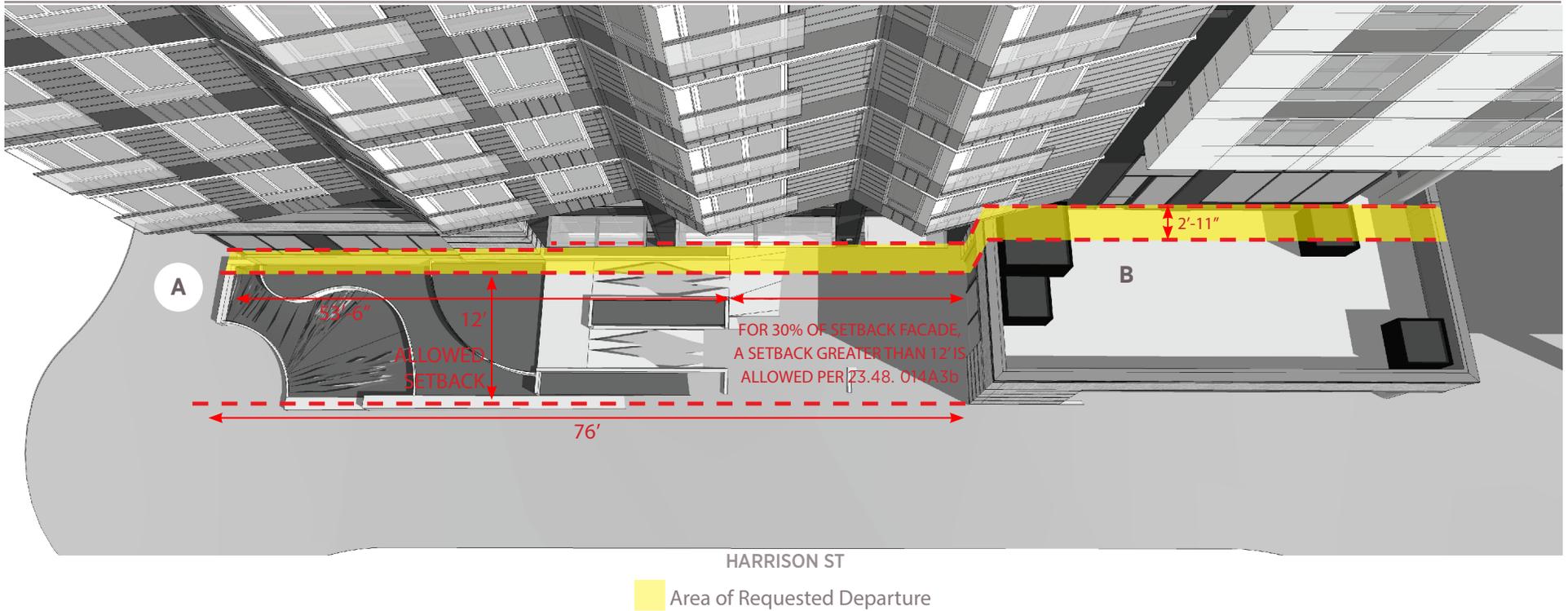
Departure to allow façade of 20' avg. height instead of 25' required height, for a distance of 40'

Justification

Departure requested to reduce the mass of the building at the corner of the alley in order to achieve the following:

- 1. Activate the connection between Building A and B
- 2. Provide a more open entry to the alley
- 3. Reduce the height of the amenity terrace on level 2

REQUESTED DEPARTURES



HARRISON ST

Area of Requested Departure

Building A

Departure 1B - Maximum Street Level Setback - Early Support at DRB

Code summary:

23.48. 014A3b: the street-facing facade of a structure may be set back up to 12 feet from the street lot line. Additional setbacks are permitted for up to 30% of the length of portions of the street facade that are set back from the street lot line provided that the additional setback is located 20' or more from any street corner.

Minimum facade height (see departure 1A) and maximum setback are related. Code requires a street level volume (25' minimum facade height that is setback no more than the maximum allowed). Facades less than 25' require a minimum facade height departure; facades more than 25' but setback more than the maximum allowed need departures from both facade height and maximum setback because the required volume is not provided at street level.

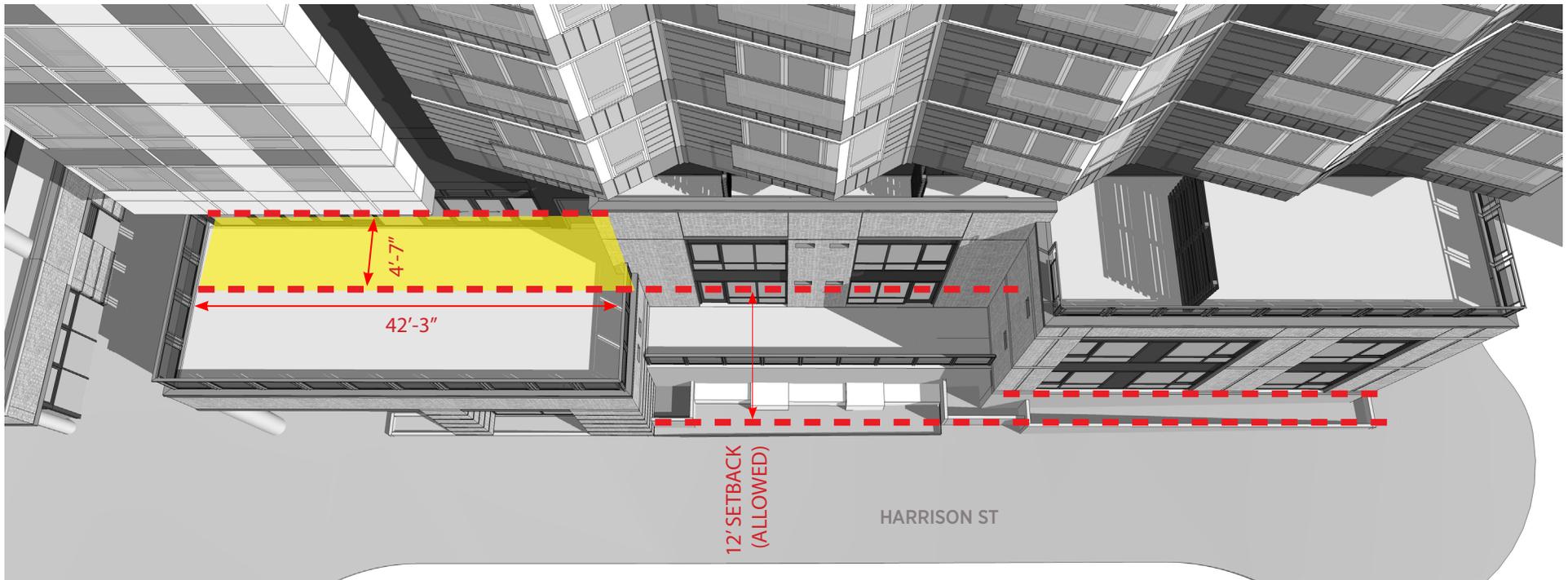
Requested Departures

- A** Departure requested to allow a 2' - 11" additional facade setback beyond the allowed 12' setback for a length of 53' - 6"
- B** Departure requested to allow a 2'-11" additional facade setback beyond the allowed 12' setback for a length of 41'

Justification

Departure for Section A is requested to allow a more generous landscape buffer and to enhance the pedestrian experience at grade along the Harrison Green Street

Departure for Section B is requested to reduce building bulk at the street corner, while still providing an appropriately scaled building mass at the street. The additional setback will allow for a generous South-facing amenity terrace facing the park. (DC1 A.2 DC1 A.4)



Area of Requested Departure

Building B

Departure 1B - Maximum Street Level Setback - Early Support at DRB

Code summary:

23.48. 014A3b: the street-facing facade of a structure may be set back up to 12 feet from the street lot line. Additional setbacks are permitted for up to 30% of the length of portions of the street facade that are set back from the street lot line provided that the additional setback is located 20' or more from any street corner.

Minimum façade height (see departure 1A) and maximum setback are related. Code requires a street level volume (25' minimum façade height that is setback no more than the maximum allowed). Facades less than 25' require a minimum façade height departure; facades more than 25' but setback more than the maximum allowed need departures from both facade height and

Requested Departure

Departure requested to allow a 4'-7" additional facade setback beyond the allowed 12' setback for a length of 42'-3".

Justification

Departure requested to reduce building bulk and increase light and air at the corner with the alley, while still providing an appropriately scaled building mass on Harrison. The additional setback will allow for a generous South-facing amenity terrace facing the park. (DC1 A.2 DC1 A.4)

REQUESTED DEPARTURES

Departure 2 Building A+B

Upper Level Setback

Early Support at DRB

Code summary

23.48.012 Upper level setbacks

“Along the alley, portions of a structure greater than 25’ in height must set back 1’ for every 2’ up to a maximum of 15’.”

Requested Departure

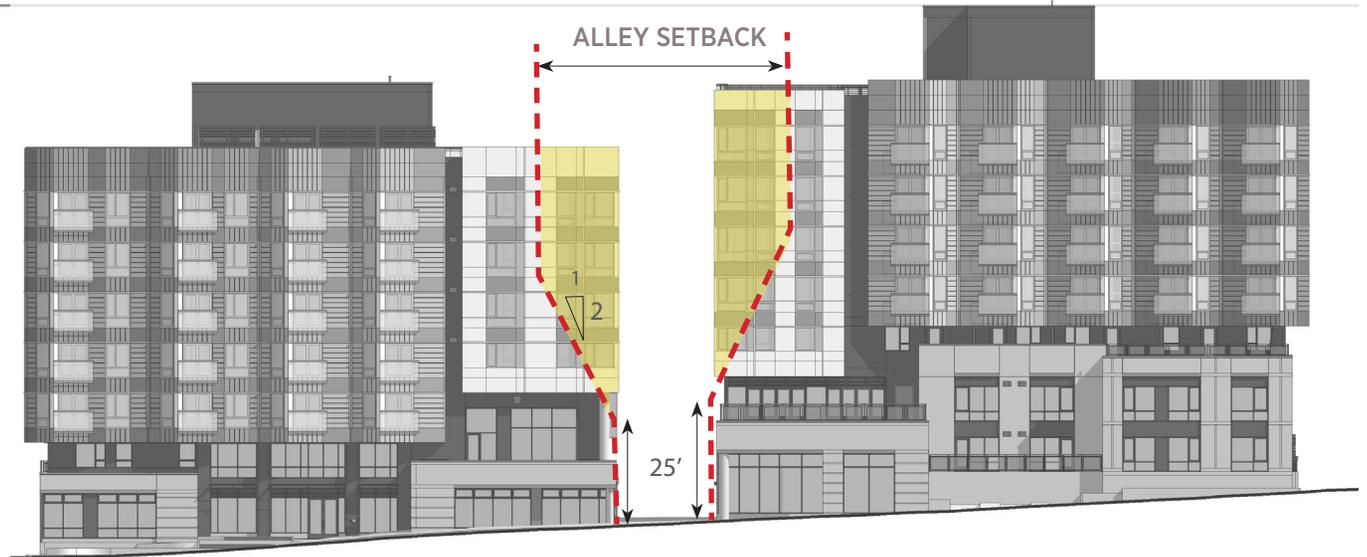
A departure is requested for the entire upper level alley setback.

Justification

An alley setback departure is requested to allow greater setback, articulation, and open space along Harrison St. In lieu of the alley setback, a finer scale of massing modulation with glazed corners is used to indicate the alley presence along Harrison. The intent of the alley setback is to provide privacy, light and air to alley units. In order to meet the need for privacy, careful consideration has been paid to the design of the alley units. Only three units per floor plate look directly toward the alley. Please see pages 42 and 43 for Alley plans and sections. In order to meet the need for light, light-colored cladding is used to brighten the alley space.

EDG Feedback

“The board noted that the required changes to the ground level facade on Harrison street would likely require a loss of volume at the street. The board expressed early support for a departure to the upper level setback along the alley in order to meet the direction for the design of the facade facing the street.”

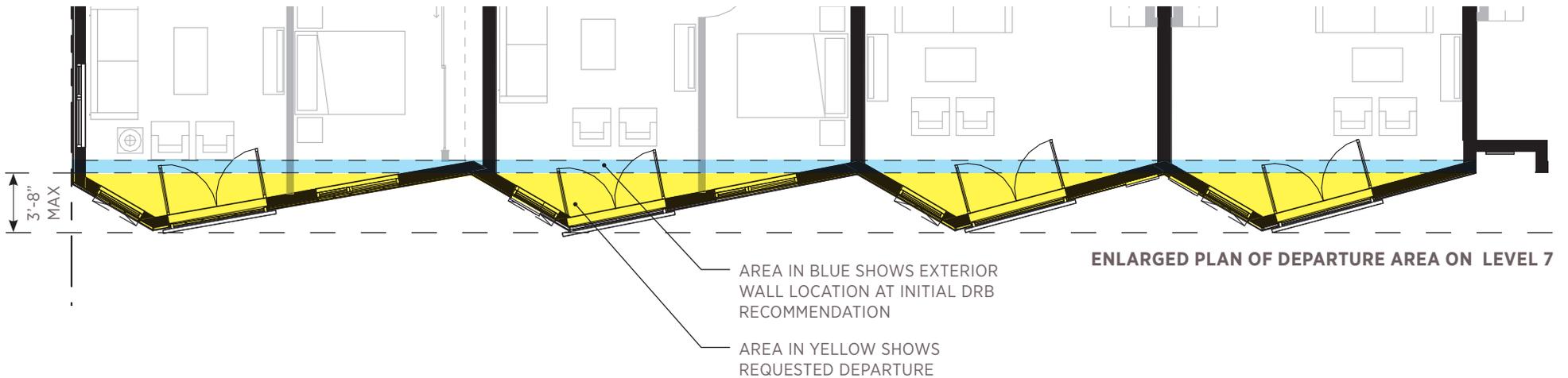


Departure 2: Elements exceeding minimum setbacks are highlighted in yellow.

Departure 2: Lost volume of elements setback beyond zoning minimums to enhance street facades and pedestrian experience are highlighted in red.

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REQUESTED DEPARTURES - MODULATION FOR PLEATED CONCEPT - NEW



Building A

Departure 2A - Upper Level Setback

Code summary:

23.48.012: Along Harrison St. any portion of the structure taller than 45' is required to have a setback of 1' for every 2' of additional height, up to a limit of 15'.

Requested Departures

We are requesting a departure for a portion of the South facade that projects into the required upper level setback. Area of requested departure shown in yellow above.

Justification

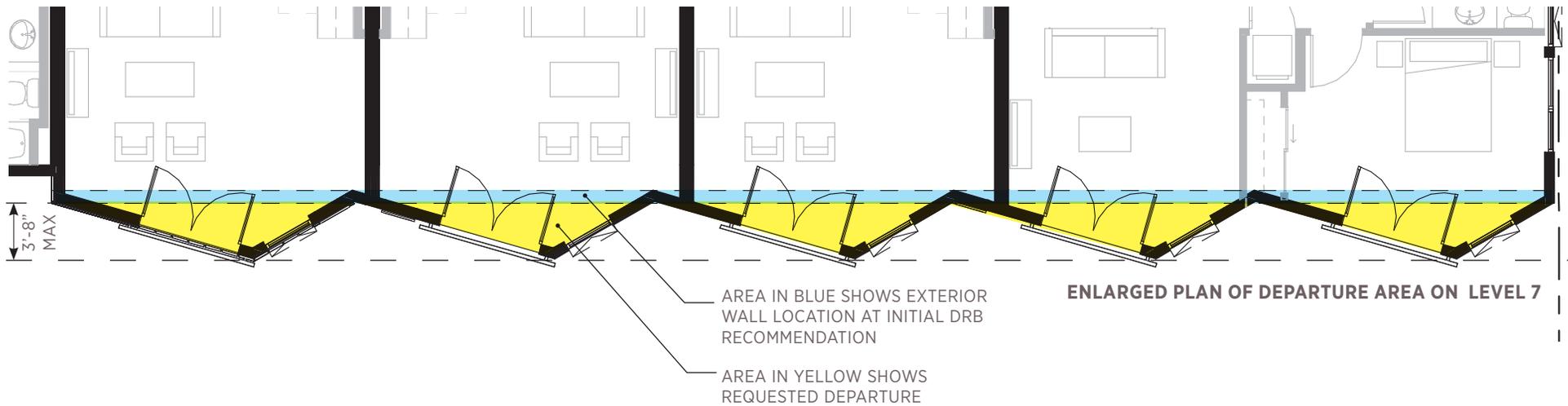
The departure is requested to provide additional modulation for the park-facing facade as requested by the Board.

CS3-I-i Facade Articulation: Articulate the building facades vertically or horizontally in intervals that relate to existing structures or existing pattern of development in the vicinity.

DC2-D-2 Texture: Design the character of the building, as expressed in the form, scale, and materials, to strive for a fine grained scale, or "texture," particularly at the street level and other areas where pedestrians predominate.



MINOR AVE N. ELEVATION - AREA OF REQUESTED DEPARTURE IN YELLOW



Building B

Departure 2B - Upper Level Setback

Code summary:

23.48.012: Along Harrison St. any portion of the structure taller than 45' is required to have a setback of 1' for every 2' of additional height, up to a limit of 15'.

Requested Departures

We are requesting a departure for a portion of the South facade that projects into the required upper level setback. Area of requested departure shown in yellow above.

Justification

The departure is requested to provide additional modulation for the park-facing facade as requested by the Board.

CS3-1-i Facade Articulation: Articulate the building facades vertically or horizontally in intervals that relate to existing structures or existing pattern of development in the vicinity.

DC2-D-2 Texture: Design the character of the building, as expressed in the form, scale, and materials, to strive for a fine grained scale, or "texture," particularly at the street level and other areas where pedestrians predominate.



PONTIUS AVE N. ELEVATION - AREA OF REQUESTED DEPARTURE IN YELLOW