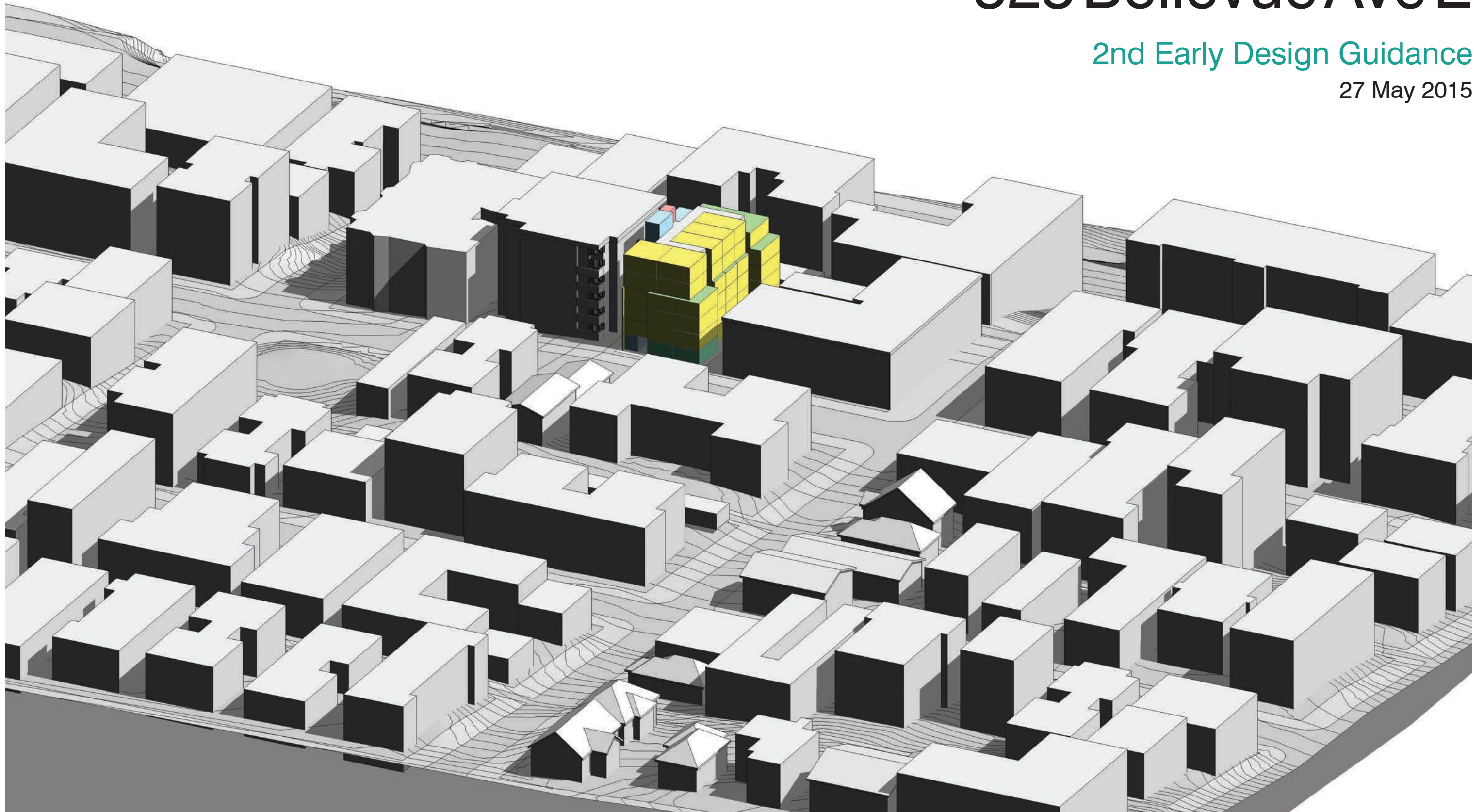


323 Bellevue Ave E

2nd Early Design Guidance

27 May 2015



PROJECT ADDRESS:

323 Bellevue Ave. E.

PROJECT TEAM:

Owner

Sunrise DC, LLC
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Surveyor

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Seattle, WA 98104
Phone: 206.332.0800

- 4** Land Use Code; Urban Analysis
- 6** Site Analysis: Overview
- 7** Site Analysis: Streetscape
- 8** Site Analysis: Existing Conditions
- 9** Site Analysis: Opportunities and Constraints
- 10** Site Survey
- 11** DRB Priorities & Recommendations (1st EDG)
- 10** Design Guidelines: Citywide & Capitol Hill
- 16** Summary of Design Alternatives
- 17** Design Alternatives: Massing
- 18** Design Alternatives: Perspectives
- 20** Design Alternatives: Elevations & Plans
- 22** Landscape/Open Space/Entry Concept
- 24** Shadow Studies
- 25** Development Standard Departures

SECTION 23.45, RESIDENTIAL MULTIFAMILY

504 Permitted and Prohibited Uses Residential permitted

- 510 Floor Area Ratios:
 B. Permitted MR FAR: 3.2; 4.25 FAR Permitted per 23.45.510.C
 E. Exempt from FAR limits:
 1. All underground stories
 4. Portions of story that extend no more the 4' above existing , or finished grade, whichever is lower
 G.4. Portions of a story that extend no more then 4' above existing or finished grade, whichever is lower, excluding access. See Exhibit 23.45.510
 5. Exemption for partially below grade with no stories above
 a. avg. ht. not > 1 story
 b. roof area flat; used for amenity area
 c. 25% of amenity area not enclosed

- 514 Structure Height:
 A. Base Ht. - 60' max.
 G. Base Ht. Limit increased by 5' if one of the following:
 - FAR Exemption per 23.45.510.E.4 used
 - All stories 9', or >
 J. Rooftop features: parapets/railings/clerestories/skylights – 4' above Ht.; Stair penthouses -10'; elevator penthouses – 16'

- 518 Setbacks & Separations:
 A. Front:- 5' Min- 7' average, 5' minimum
 Rear:- 10' min. from alley
 Side: - < 42' high: 7' avg. and 5' min.
 > 42' façade length; 10' avg. and 7' min.
 H. Projections permitted in all required setbacks
 1. Roof eaves, etc. – Max. 4' with min. 3' to property line
 3. Bay windows 10' in width, 2' depth, min. 5' to property line
 5. Unenclosed porches extend to within 4' of property line
 I. Unenclosed decks and balconies may extend max. 4', max. 20' width, min. 5' to property line; separation ½ width of projection required
 J. Structures in required setbacks
 2. Barrier free ramps may be in required setbacks
 4. Underground structures
 6. Signs 6' or <
 7. Fences - max 6' high; 4' in front setback; 2' additional for arbors/trellises
 8. Retaining wall – max 6' high
 9. Arbor – max. 40 sf footprint; 30' sf abutting street

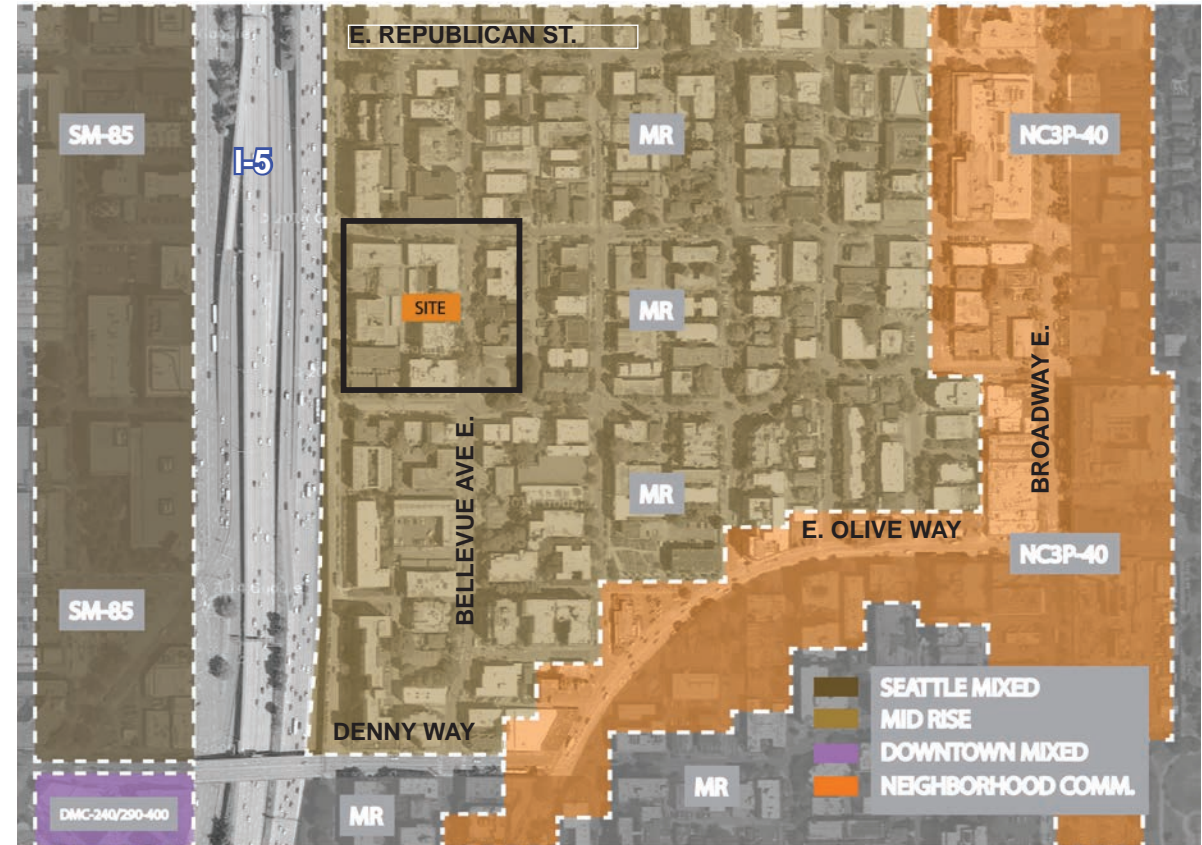
- 522 Amenity Area:
 C. Apartments
 5% of total gross floor area of structure in residential use
 D. All units shall have access to common or private amenity area
 4.a No min. dimension for pvt. amenity area; except 1 0' at side property line
 5. Common amenity area
 a. Common amenity area – 250 sf and 10' min. dimension
 b. 50% of ground amenity area landscaped

- 524 Landscaping Standards
 A.2 Green Area Factor of 0.5 or greater
 B.1. Street trees required

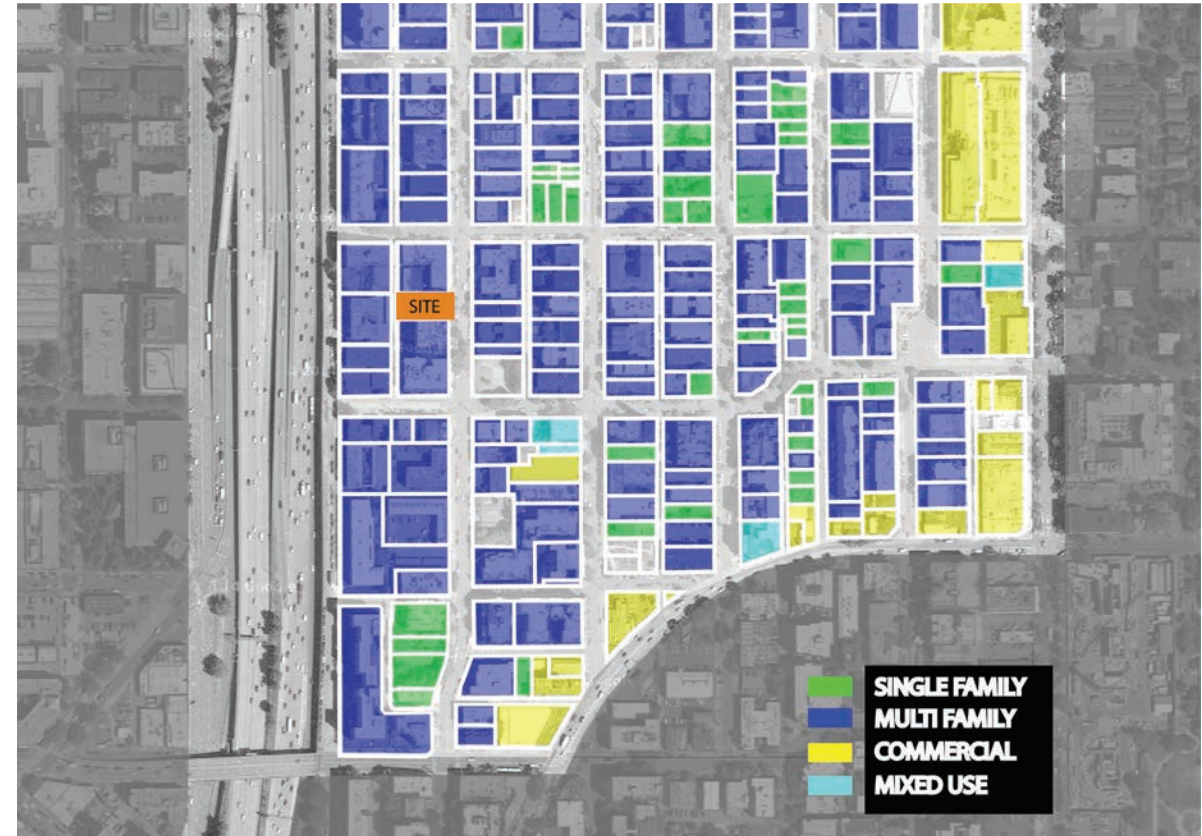
SECTION 23.54, QUANTITY AND DESIGN STDS. FOR ACCESS, OFF-STREET PARKING, AND SOLID WASTE STORAGE

015. Required Parking
 A. Table B. No parking required for multifamily uses in Urban Center Village
 K. Bicycle parking per Table E.
 1 per 4 units

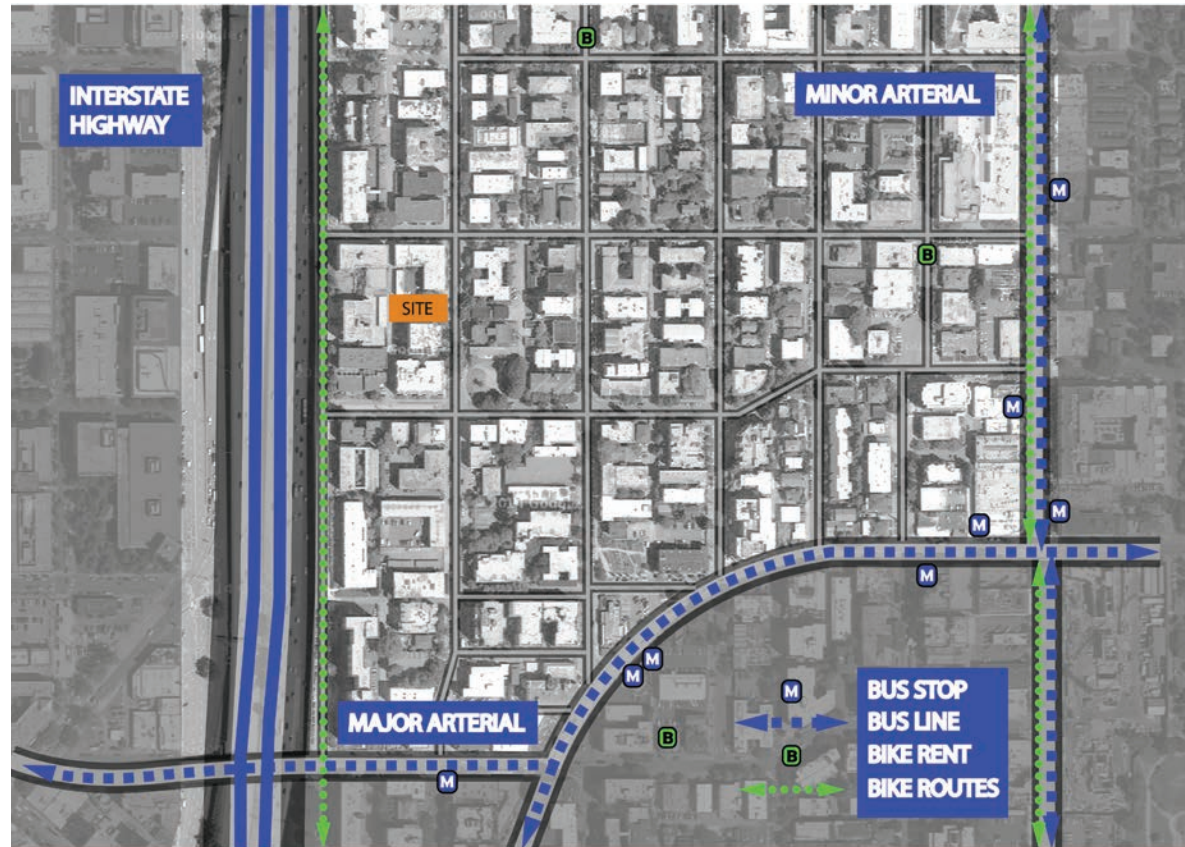
040. Solid Waste and Recyclable Materials storage and Access
 A. Table A.: 26-50 units – 375 sf



ZONING MAP



URBAN CONTEXT MAP



⊕ SDOT STREET, TRANSPORTATION MAP

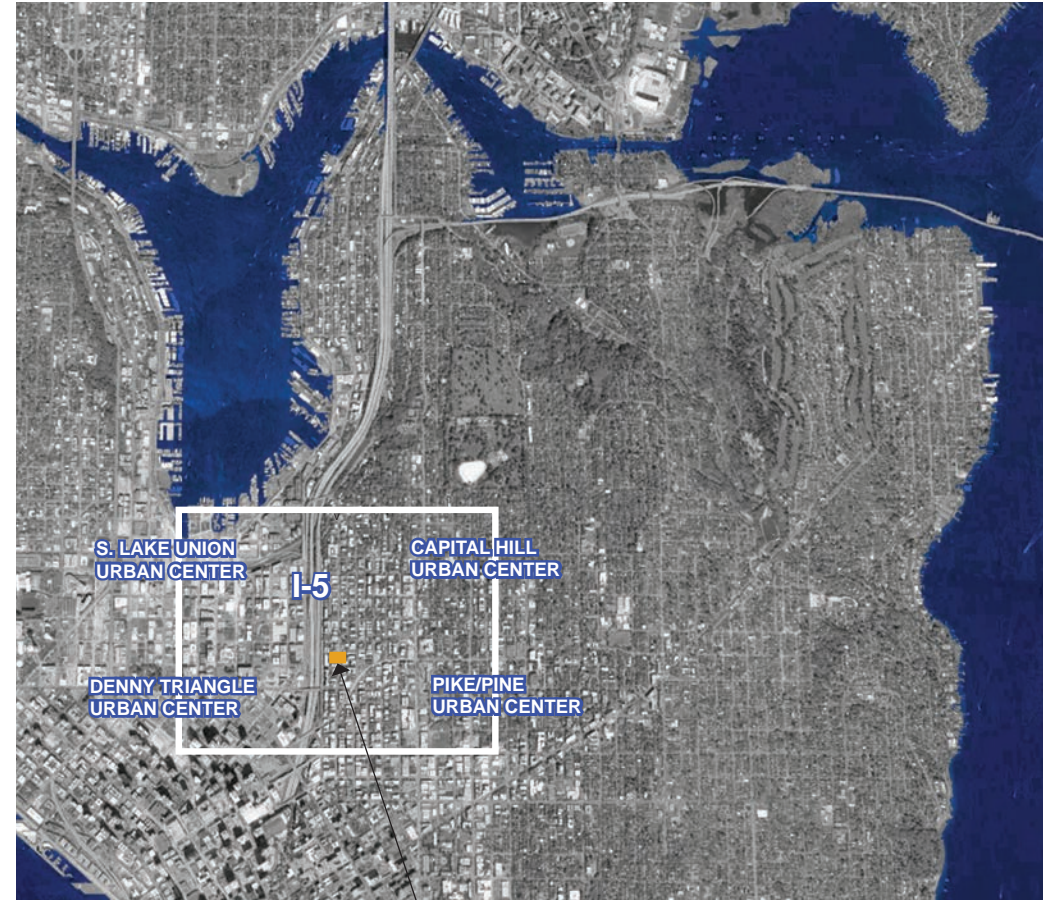


⊕ PUBLIC NODE MAP

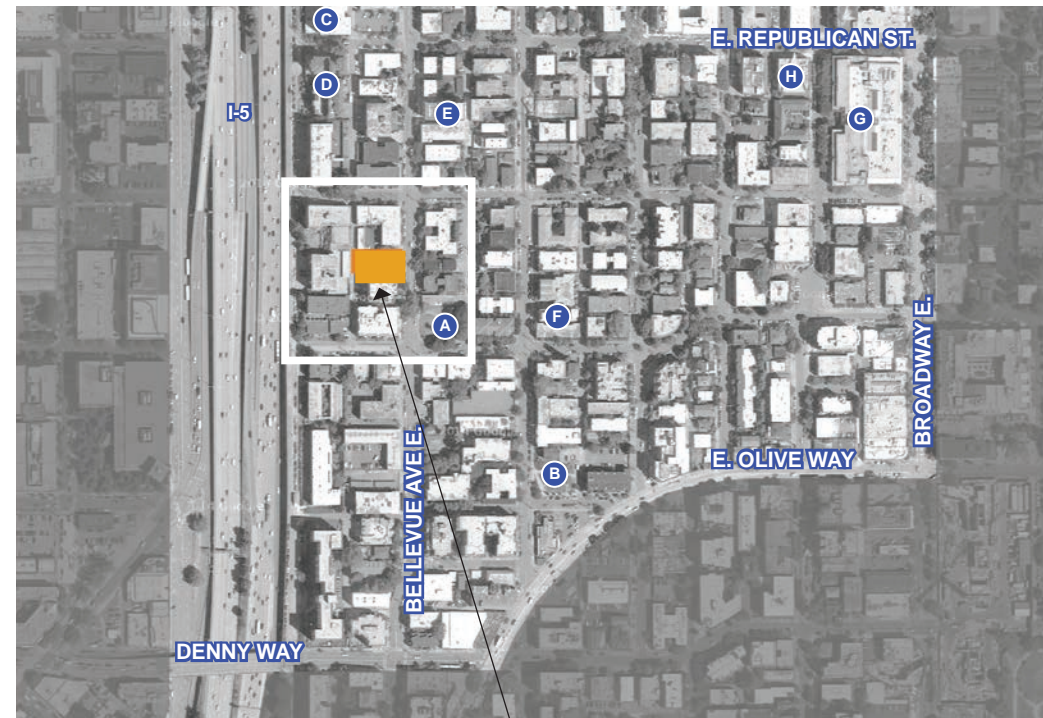


⊕ SOLAR EXPOSURE MAP

Proximity



VICINITY MAP Project Site



NEIGHBORHOOD MAP Project Site

Overview

Development Objectives

The project is a five to six-story apartment building containing 34 - 47 small apartment units. Parking for approximately 16 vehicles is provide in a garage below the Bellevue Ave. E grade and accessed from the alley.

Overall building area is about 30,000 sf including the interior open corridors.

The intent is to provide small affordable apartment units in this active and vibrant urban neighborhood.

Urban Context

The site is located in the Capitol Hill Neighborhood within the West Slope District Zone and the Capitol Hill Urban Center Village. The neighborhood is largely comprised of small to mid-size to apartment/condominium buildings. This project is located along Bellevue Ave. E., just North of the major arterial E. Olive St. This project site is within walking distance of the major shopping and entertainment centers along Broadway Ave. E.

Bus routes and the I-5 freeway are easily accessible. Thomas Street Mini-Park is across the street to the SE.

Landmarks, Greenscapes, & Residences

- A Thomas Street Mini Park, 306 Bellevue Ave E
- A Thomas Street Mini Park, 306 Bellevue Ave E
- B Summit Slope Park, 200 Summit Ave E
- C 511 Melrose Ave E Apartments
- D Highmark Condominiums, 311 E. Republican
- E 418 Bellevue, 418 Bellevue Ave E
- F 306 Summit, 306 Summit Ave E
- G Broadway Market, 449 Broadway E.
- H Capital Hill Branch Library



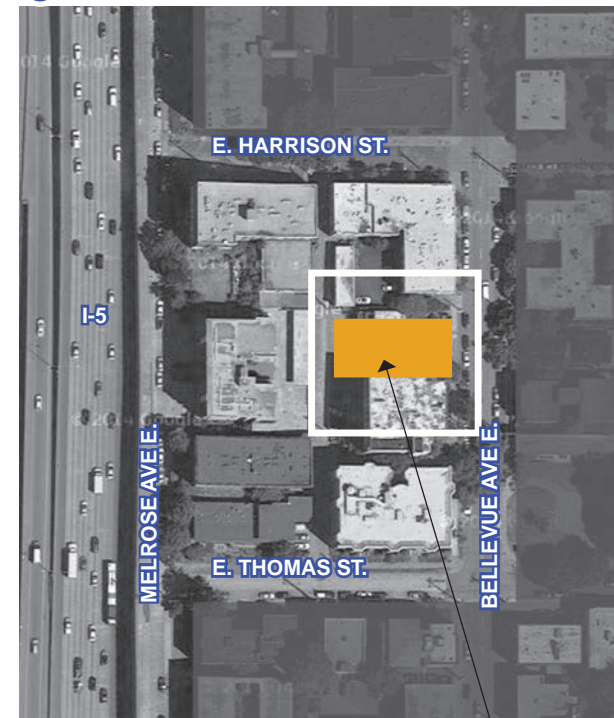
B Summit Slope Park



A Thomas Street Mini Park



A Thomas Street Mini Park



PROJECT MAP Project Site



C 511 Melrose Ave Apartments



D Highmark Condominium



E 418 Bellevue



F 306 Summit



G Broadway Market



H Capital Hill Library

Streetscape: Slopes, Courtyards, Balconies



Streetscape Context

Neighboring buildings are residential, mostly 3-4 story apartment/condominium buildings, with an occasional single-family house. Parking is generally accessed off an alley. An exception is the project, immediately to the North of the site that has a garage and carpark accessed off the street.

Older buildings from the 20's and 30's are straightforward in massing, with limited modulation and articulation, and with brick facades. The newest buildings tend to emulate these older structures. In between stand buildings such as this project's neighbor to the south.

Vicinity

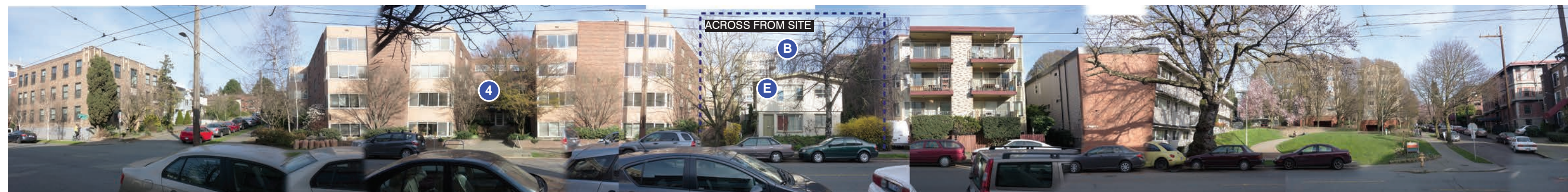


⊕ PERSPECTIVE MAP

Streetscape: Types of Buildings

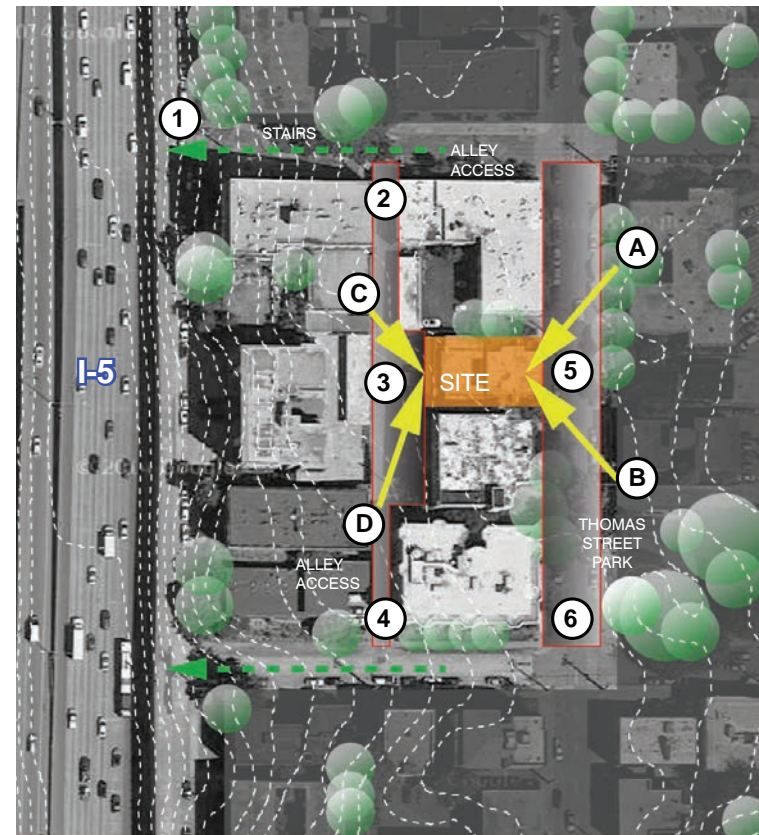


A Looking West on Bellevue Ave E



B Looking East on Bellevue Ave E

Site



⊕ CONDITION MAP

Existing Site Conditions

Existing Uses & Structures

The project site is comprised of a single parcel with a wood framed apartment project built in the

All existing structures and paved surfaces located on the project site are proposed to be demolished with the new project occupying the entirety of the site.

Physical Features

The site is drops approximately 11' from the high NE corner to the low SW corner.

Existing Buildings: Views



ⓐ Facing Southeast

ⓑ Facing Northeast

Existing Buildings: Views



Ⓐ Facing Southwest

Existing Buildings: Perimeter



ⓑ Stairs

Ⓒ Alley Facade

Ⓓ Front Facade

Ⓒ North Alley Access

Ⓖ South Alley Entry

Ⓕ Thomas Street Park



Ⓑ Facing Northwest

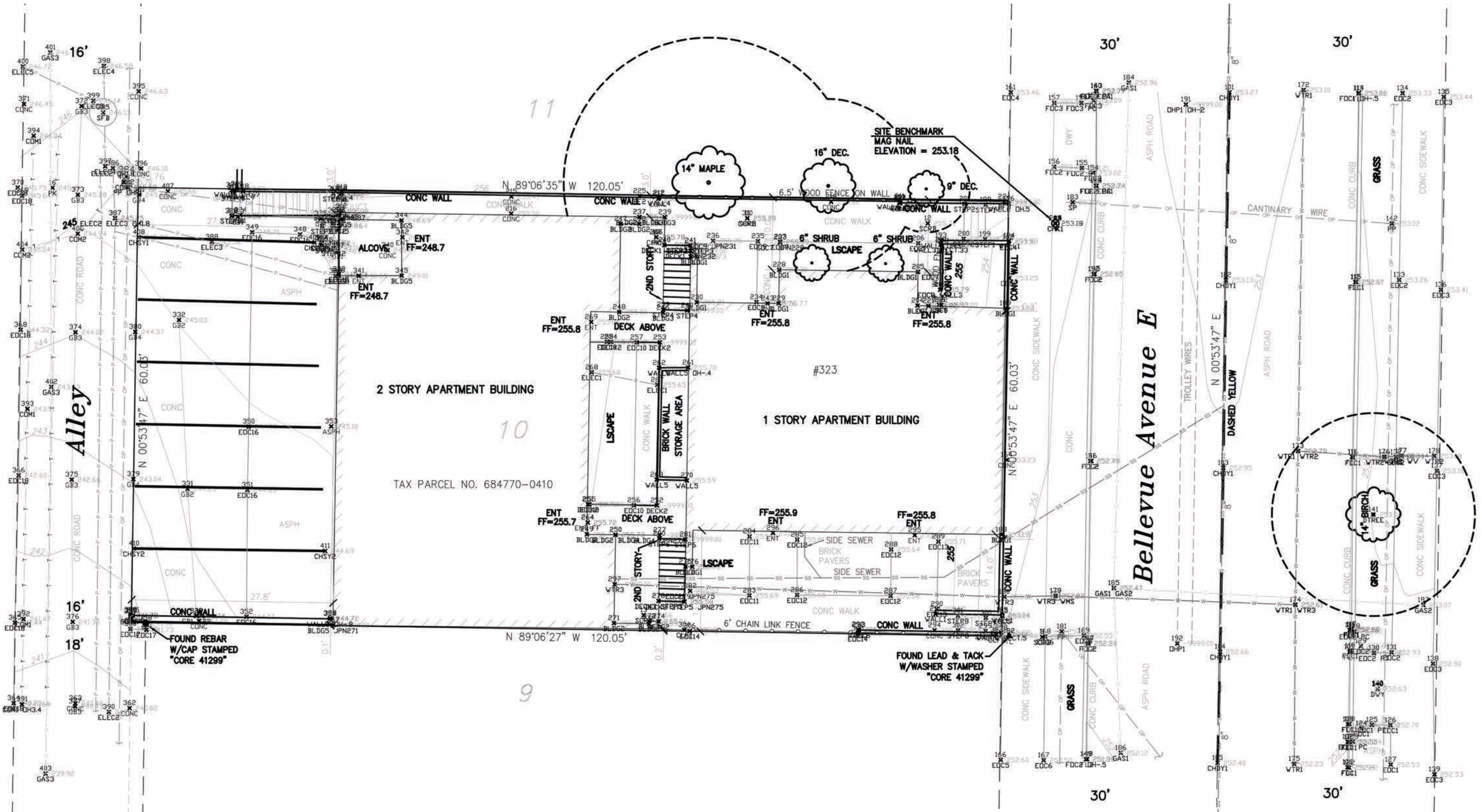
The site is located mid-block running lengthwise from East to West with views partially blocked by neighboring buildings. The carpark to the NW opens up views towards Lake Union. There are views between and around buildings in every direction. The apartment to the south with its mainly blank wall is the most limiting. Upper floor views to the Northwest, West and Southwest are mostly open.

Units are oriented to the East, North, and West towards the most open views. The stairs and elevator are to the South adjacent to the blank walls of the neighboring apartment.

Site topography with a drop down to the alley facilitates the placement of parking and service functions below street grade.



⊕ DESIGN OPPORTUNITIES



PRIORITIES & BOARD RECOMMENDATIONS

(1st EDG Meeting, 14 January 2015)

After visiting the site, considering the analysis of the site and context provided by the proponents, and hearing public comment, the Design Review Board members provided the following siting and design guidance.

1. Massing options: The Board Unanimously prefers massing Option C as it respects the open space and solar access of the northern neighbor, and the stepped down massing relates to surrounding development. (Guidelines CS2.B, CS2-C, CS2.III) The Board directed the applicant to proceed with the preferred option.

- The larger bay window projections provide the best articulation of the façade and announce the commercial entry. The Board deliberated if the bay window should be located on the northeast or southeast corner of the building. Ultimately, the Board preferred the proposed southeast location, and requested the applicant bring more developed sketches for further study. (Guidelines DC2-B, DC2-C)
- The amenity space location is desirable, as it shares the best view with all the future tenants. (Guidelines PL1-C, DC3-C)

2. Uses at Street Level: The Board unanimously supports the commercial space shown in Options B and C. (Guidelines PL3.I DC2-C, DC2-D)

- To avoid a vacant street front, the Board suggests designing with adaptability in mind. (Guidelines PL3.I, DC2-C, DC2-D)

3. Entries: Related to the uses at street level, the Board deliberated the proposed entry locations and questioned whether or not there should be a front door as this is the pattern in the neighborhood. Ultimately, the Board supported the entries as shown, since the commercial entry activates the south façade which would otherwise have little activity. (Guidelines PL3.A, PL3.I, DC2-C)

- The board recommends detailing the store front to provide flexibility for future location of doors. (Guidelines PL3.A, PL3.I, DC2-C)

4. Materials: The board strongly supported the quality of materials proposed, especially the brick, and urged the applicant to consider durability, detailing and color of the materials. (Guidelines DC4-A, DC-II)

- As part of refining the detailing, the Board would like to see the brick store front façade step forward and the metal panel to recede to provide a strong base. (Guidelines DC2-B, DC4-A)

- Metal siding is discouraged in the Capital Hill Design Guideline in some cases (Guideline DC4-II-i.), and the use of this material warrants additional study. At the next meeting, provide careful detailing and explanation of steps taken to avoid oil canning and/or present workable alternatives.

5. For the Recommendation Meeting, the Board specifically asks the applicant provide the following:

- Provide more detailed sketches of the bay window location, the pedestrian entry and the commercial entry.
- Study the potential of window locations; provide window mapping of the adjacent properties.
- Provide a materials board that will be left with the planner
- Provide a full landscape plan.
- Provide a lighting plan of the site.

CITYWIDE GUIDELINES
CAPITOL HILL NEIGHBORHOOD DESIGN GUIDELINES

The following "siting and design guidance" was provided by the Design Review Board after the project's initial Early Design Guidance meeting on 14 January 2015. The current project design alternatives are similar enough to the initial alternatives to make these recommendations relevant.

CS2: URBAN PATTERN AND FORM

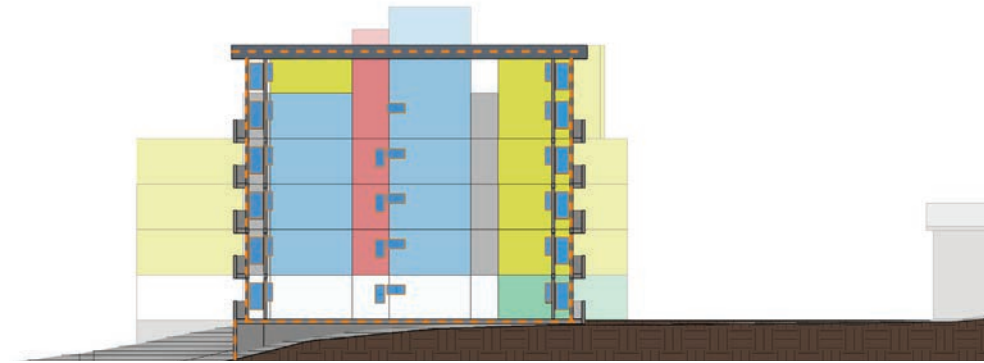
Strengthen the most desirable forms, characteristics and patterns of the streets, block faces, and open spaces in the surrounding area
B. Adjacent Sites, Streets, and Open spaces
C. Relationship to the Block

III: HEIGHT, BULK, AND SCALE COMPATIBILITY

Preserve and augment the neighborhood's architectural qualities, historic character and pedestrian scale.

Response:

The building's rectilinear massing is in keeping with the older, and the most recently built, apartment buildings in the neighborhood. The pedestrian entrance will be evident and is directly from the street. The front façade will be parallel to the street, and with only a single lot, is not as wide as several nearby buildings. The building is pushed to the south, towards the 'blank' wall of the adjacent building and away from the building façade to the North. This, also, augments the 'open space' to the North of the project.



CS2 Windows in building to South

CS3: ARCHITECTURAL CONTEXT & CHARACTER

Contribute to the architectural character of the neighborhood

I: ARCHITECTURAL CONCEPT & CONSISTENCY

Preserve and augment the neighborhood's architectural qualities, historic character and pedestrian scale

Response:

The strong building mass and single-lot site, repeats a neighborhood pattern. Our intent is to fit a contemporary building into the neighborhood: one that doesn't replicate the context, but fits into and enhances it.

PL1: CONNECTIVITY

Complement and contribute to the network of open spaces around the site and the connections among them

- A. Network of Open spaces
- C. Outdoor Uses and Activities'

Response:

An open residential courtyard entry will tie the building to the sidewalk. It will allow building residents to pause, just off the sidewalk, before transitioning into the private entry. The sidewalk will be widened at this entry node. Lighting, seating, planting, and artistic fencing and gate would provide interest and activate it

PL2: WALKABILITY

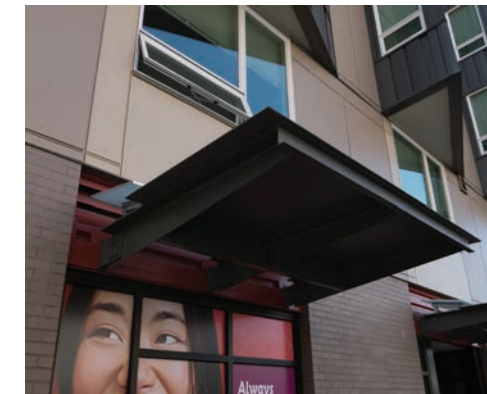
Create a safe and comfortable walking environment that is easy to navigate and well connected to existing pedestrian walkways and features
B. Safety and Security

II: PEDESTRIAN OPEN SPACES AND ENTRANCES

Maintain and enhance pedestrian scale, activity and comfort

III: PERSONAL SAFETY AND SECURITY

Project design should consider opportunities for enhancing personal safety and security in the environment under review



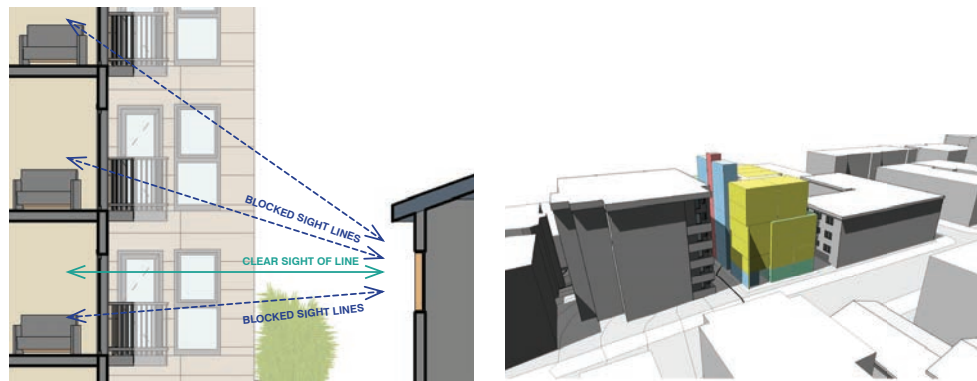
PL1 Weather protection at main entry



PL1 Decorative entry gate

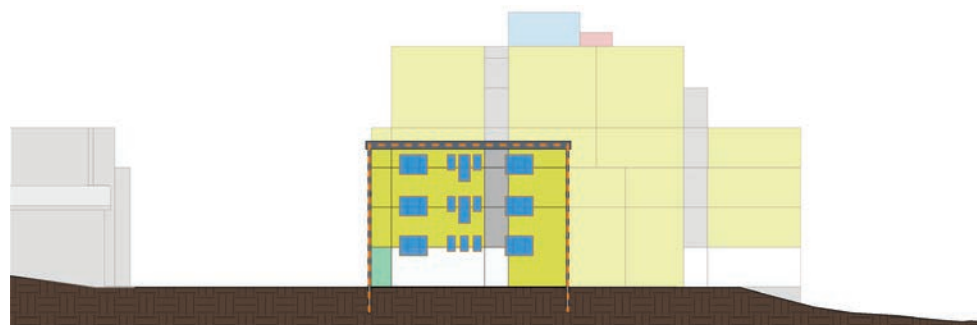
Response:

The residential entry, located on Bellevue Ave. E. is visually, and aurally, open to the interior open corridor and elevator door. A decorative locked gate secures the entrance. There are no hiding places. The open corridors at the interior, are less isolated, and connect to adjacent properties and residents. Oversight from the units will enhance on-site and entry safety. Entry, pathway, and security lighting will be provided. The residential entry will



CS2 Balconies enhance privacy

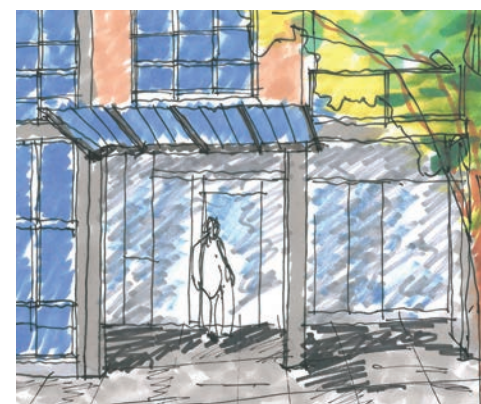
CS2 Rectilinear Massing From Southeast



CS2 Windows in building to North



DC3 Decorative gates and fences



PL1 Residential Entry



PL1 Visible and active building entry



PL2 Secure fences at N & S property lines

PL3: STREET LEVEL INTERACTION

Encourage human interaction and activity at the street level with clear connections to building entries and edges

A. Entry

I. HUMAN ACTIVITY

Maintain and enhance the character and function of a mixed-use, pedestrian-oriented urban village.



PL3 Active building entry



PL3 Bike Shop visible from sidewalk

DC1: PROJECT USES AND ACTIVITIES

Optimize the arrangement of uses and activities on the site

II. SCREENING OF DUMPSTERS, UTILITIES, AND SERVICE AREAS

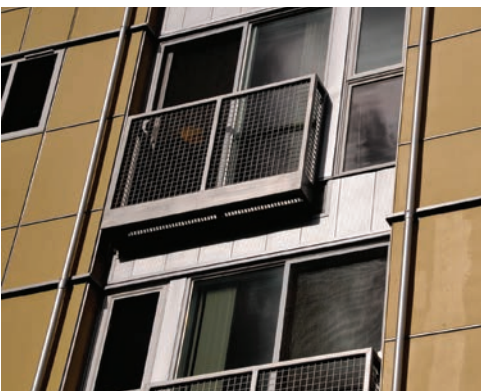
Locate service elements...away from the street front where possible

Response:

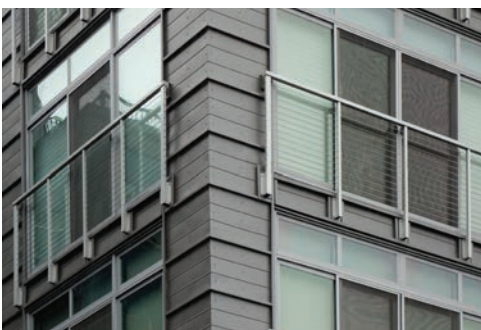
The primary residential entrance on Bellevue Ave. E. will be the projects connection to the sidewalk and Bellevue Ave. E.. All service uses will be from the alley, one level below street grade. The dumpsters and recycling will be collected within the building and are screened from view.



DC1 Garage & service access off alley



DC2 Juliet balconies at units



DC2 Juliet balconies at units

Response:

The main pedestrian entry is located at the front of the building on Bellevue Ave. E. It is located off-center to provide a more direct, visible, and safe relationship to the elevator. A slightly widened area will physically connect the building visually and physically to the sidewalk. The Exercise/Lounge at the NE corner of the building will contribute to activating the sidewalk. Glazed openings will visually tie the interior L1 spaces to the sidewalk. A bike storage area near the entry will also be a bike work area for residents. It will provide visual interest and activity



PL3 Canopy at lounge/office



PL3 Canopy at entry and lounge/office

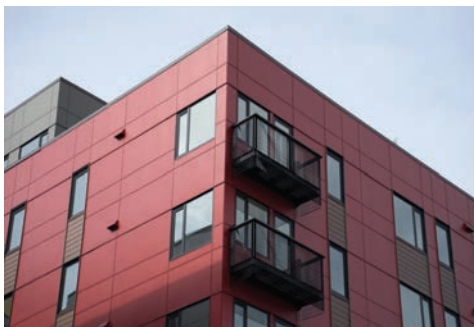
DC2: ARCHITECTURAL CONCEPT

Develop an architectural concept that will result in a unified and functional design that fits well on the site and within its surroundings

- B. Architectural and Façade composition
- C. Secondary Architectural Features
- D. Scale and Texture

Response:

The design intent is to keep the building simple with a limited palette of exterior finish materials. Secondary architectural features, scale and texture, and form and function will inform the design



DC2 Simple FCP pattern and colors



DC2 Windows at FCP



DC2 Conceptual facade composition

DC3: OPEN SPACE CONCEPT

Integrate open space design with the design of the building so that each complements the other

C. Design

Response:

The open space has been designed in conjunction with the project form. The private ground floor space on L1 is accessed from individual units. A large common amenity area is located on the roof. These relationships will encourage their use and social interaction. The spaces will be designed to support suitable activities.



DC3 Private patios at L1 units



DC3 Private balcony setbacks at North

DC4: EXTERIOR ELEMENTS AND FINISHES

Use appropriate and high quality elements and finishes for the building and its open spaces

A. Exterior Elements and Finishes

C. Lighting

D. Trees, Landscape and Hardscape Materials

I. EXTERIOR FINISH MATERIALS

Building exteriors should be constructed of durable and maintainable materials that are attractive even when viewed up close. Materials that have texture, pattern, or lend themselves to a high quality of detailing are encouraged.

Response:

Exterior finish materials will be chosen for their fit into the contemporary design of the project and with the surrounding neighborhood. The predominate exterior materials would be brick and fiber cement panels. Materials will be of durable and of high quality. Color, texture, and pattern will be consistent with the intended design. A building sign will be incorporated in the ground floor design.



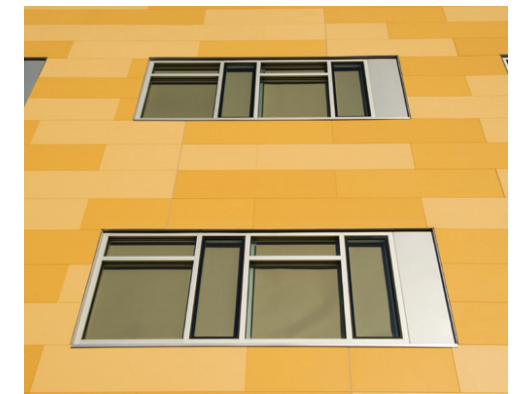
DC4 Lighting



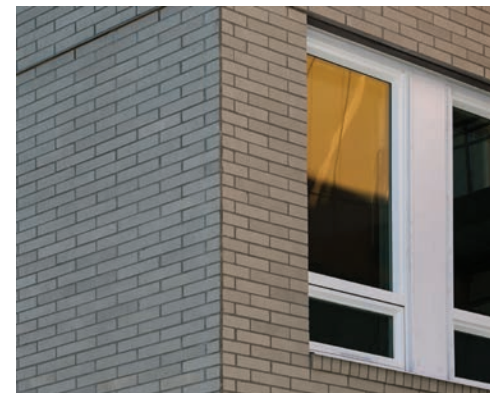
DC4 Canopy



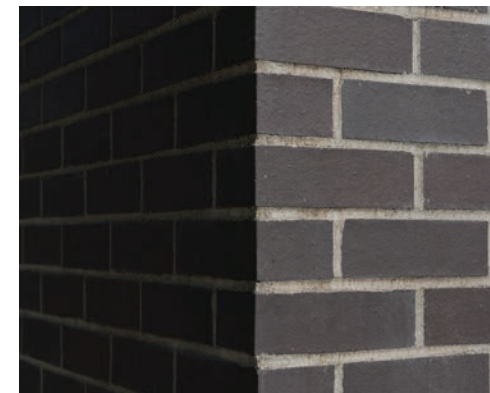
DC4 Brick and fiber cement panel contrast



DC4 FCP



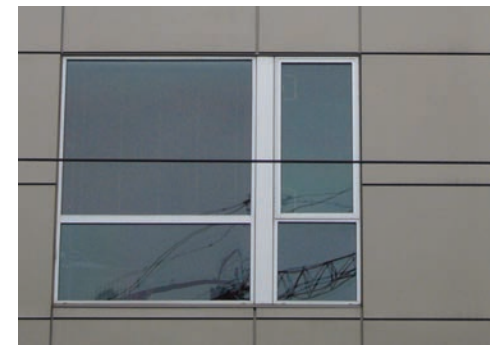
DC4 Non-traditional brick color



DC4 Brick Wraps NE Corner of Bldg.



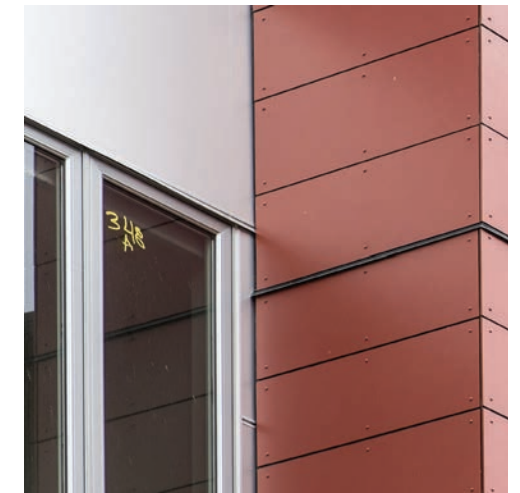
DC4 Canopy and trellis



DC4 Vinyl windows and FCP



DC4 Lighting



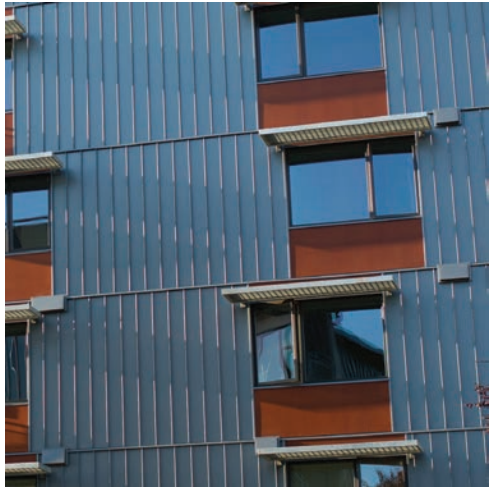
DC4 Window at accent wall



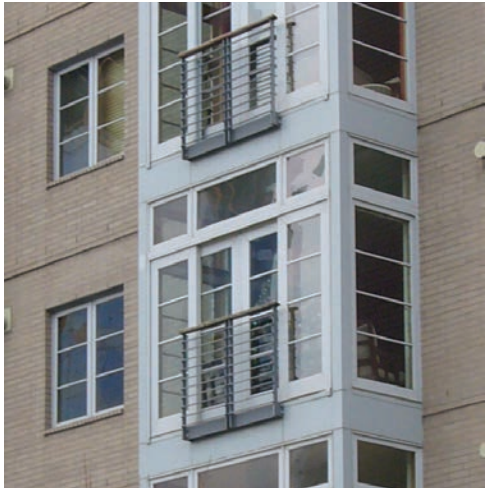
DC4 Exterior scuppers and downspouts



DC4 Window/balcony composition



DC4 Exterior architectural lighting

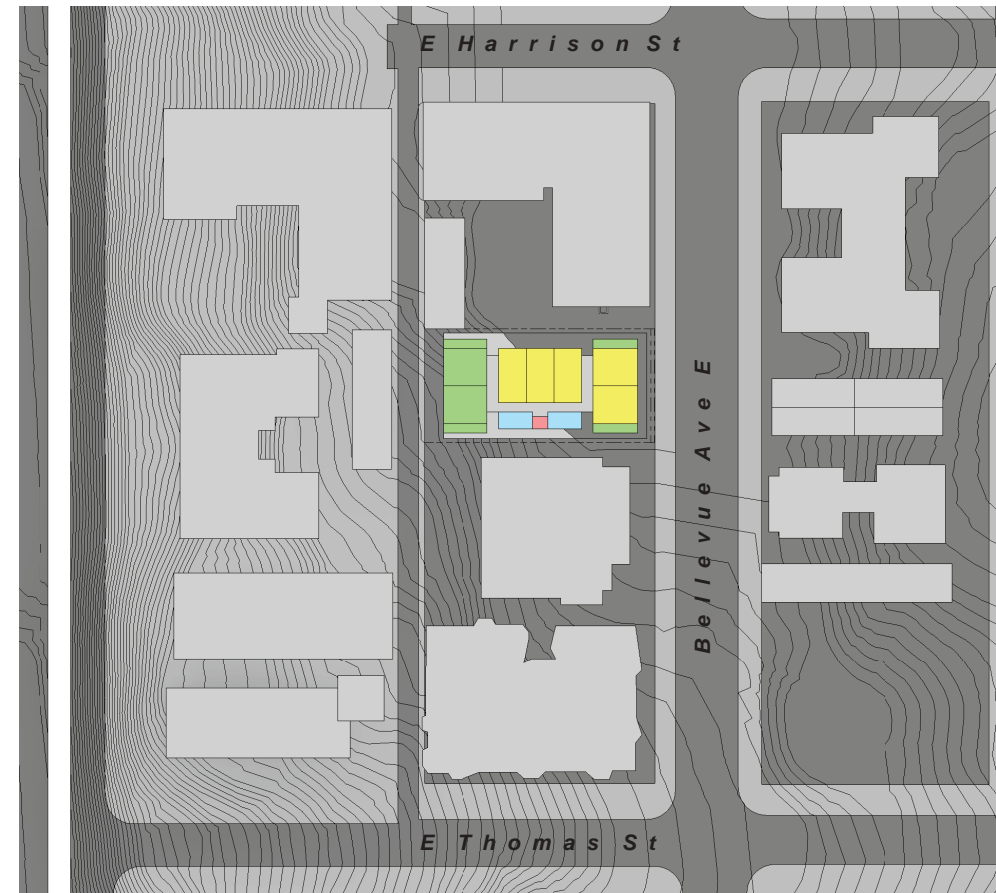


DC4 Juliet balconies

Alternate 1



Alternate 2



Alternate 3 (Preferred)



Alternative 1

Basement & 6 Stories + Roof Amenity Deck	
Unit Count	47
Parking	16 stalls
Total Floor Area	33,104 sf
Typ. Resid. Floor	4,711 sf
FAR Proposed	3.17
FAR allowed	3.20
Amenity Area Provided	1,150 sf
Amenity Area Required	960 sf

Pros:

- Upper level setbacks at North, East, & South
- Large roof deck
- Porous; open in North-South direction with open corridor

Cons:

- Standard departure for reduced side setback above 42' at South
- Maximum height at street
- Mostly blank South Facade
- Building mass pushed to South

Alternative 2

Basement & 6 Stories + Roof Amenity Deck	
Unit Count	47
Parking	16 stalls
Total Floor Area	32,799 sf
Typ. Resid. Floor	4,564 sf
Typ. Upper Floor	4,104 sf
FAR Proposed	3.19
FAR allowed	3.20
Amenity Area Provided	1,150 sf
Amenity Area Required	968 sf

Pros:

- Land Use Code compliant
- Requires no standard departures
- Porous; open in East-West direction with open stairs/corridor
- Mass evenly distributed North-South on site

Cons:

- Maximum height at street
- Mostly blank South Facade

Alternative 3 (Preferred)

Basement & 6 Stories (W/amenity area at L6)Deck	
Unit Count	45
Parking	16 stalls
Total Floor Area	32,449sf
Typ. Resid. Floor	4,711 sf
Typ. Upper Floor	4,155 sf
FAR Proposed	3.08
FAR allowed	3.20
Amenity Area Provided	1,150 sf
Amenity Area Required	980 sf

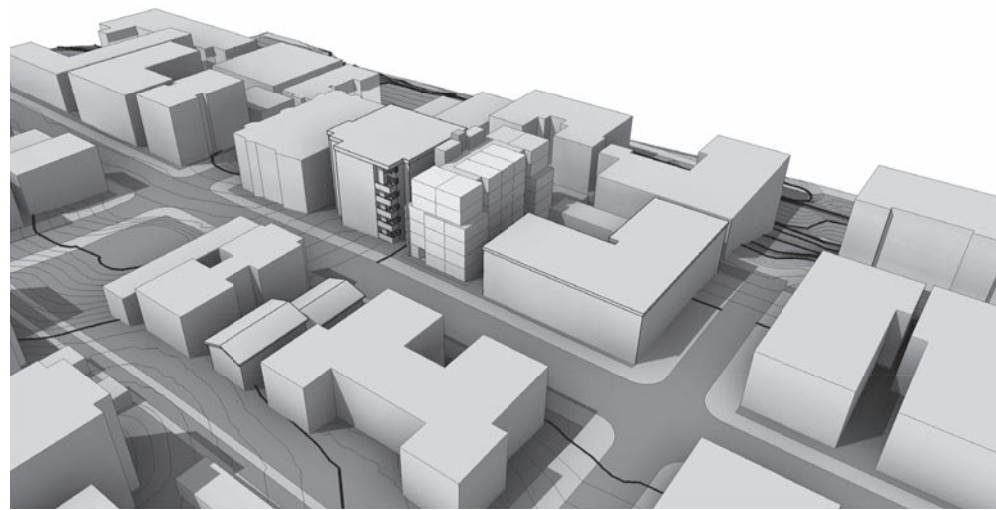
Pros:

- Upper levels step back at West, North and East
- Top floor steps back at alley for L6 amenity area
- Porous; open in North-South direction at open corridor
- Greater setbacks on North

Cons:

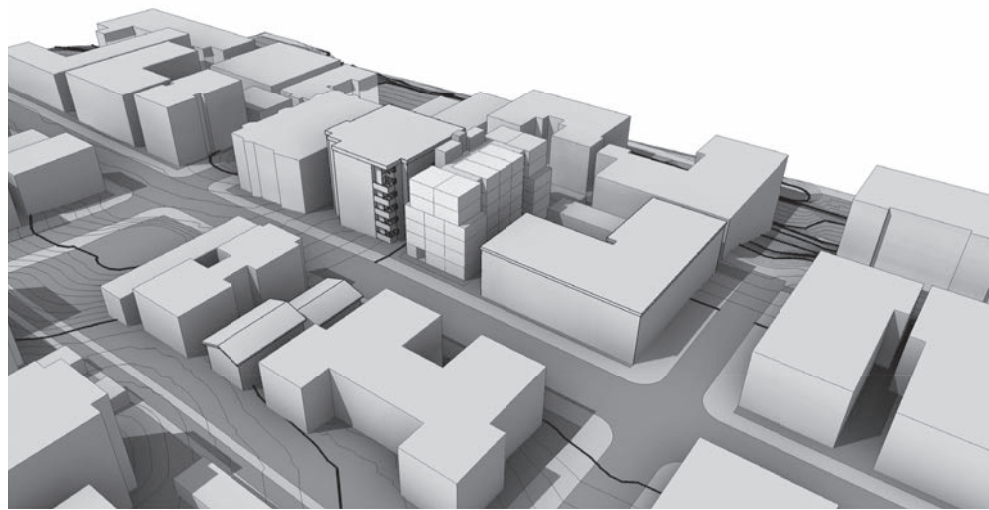
- Standard departure for reduced side setback above 42' at South
- Mostly blank South Facade
- Building mass pushed to South

Alternate 1



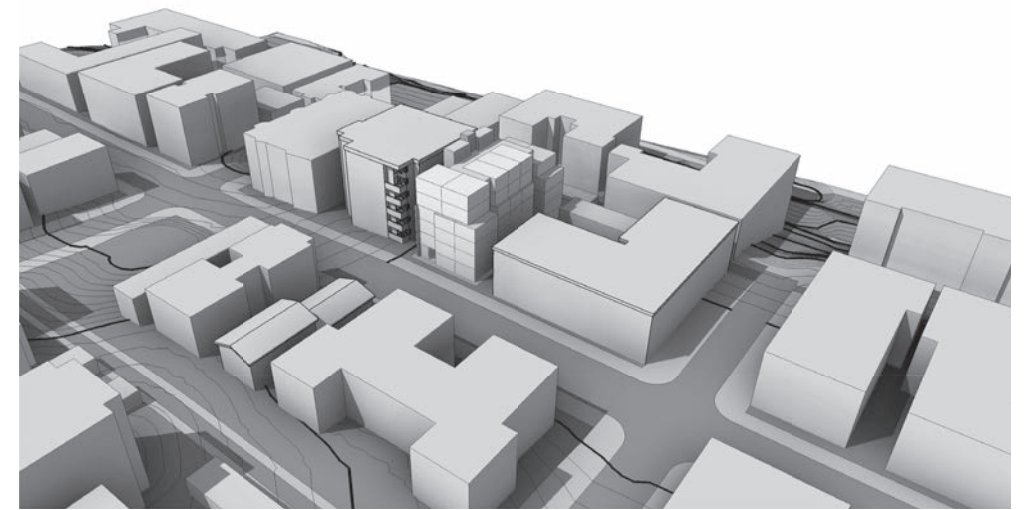
Aerial View, looking Southwest

Alternate 2



Aerial View, looking Southwest

Alternate 3 (Preferred)



Aerial View, looking Southwest



Street View, looking North



Street View, looking South



Street View, looking North



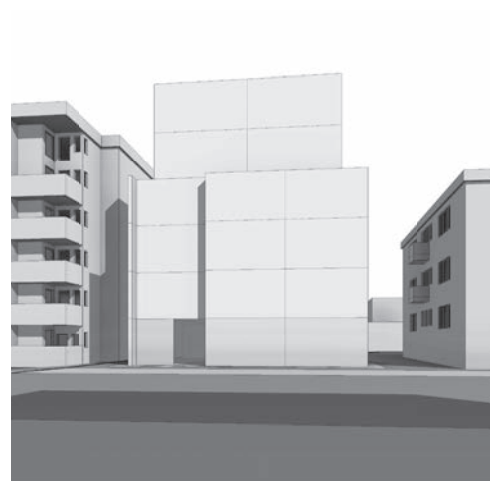
Street View, looking South



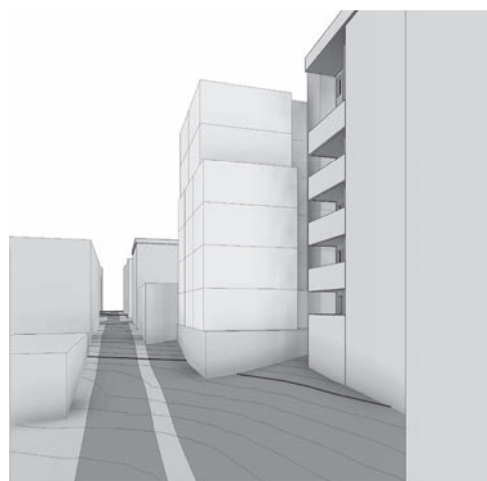
Street View, looking North



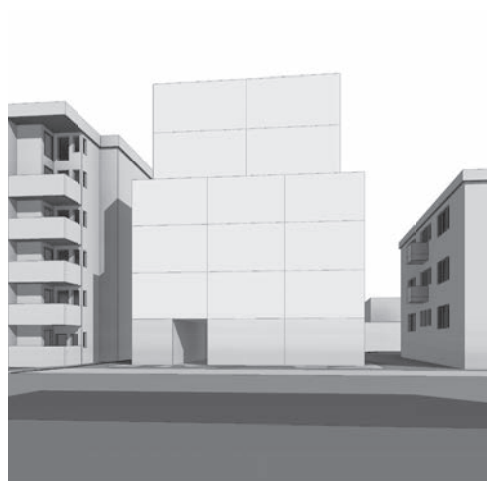
Street View, looking South



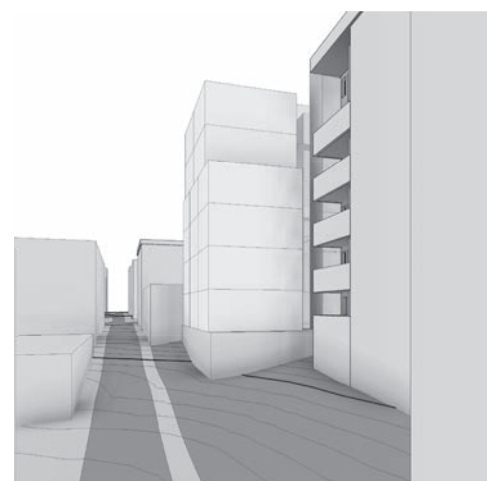
Street View, looking West



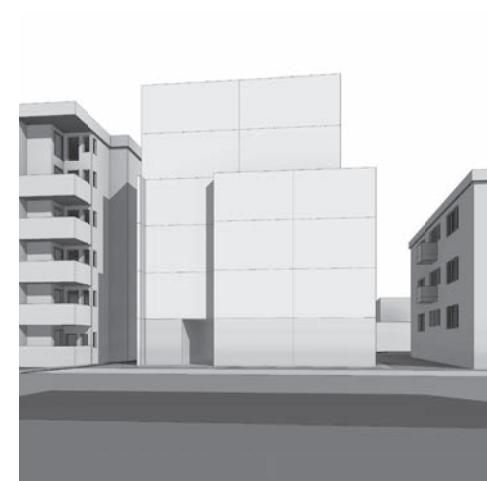
Alley View, looking North



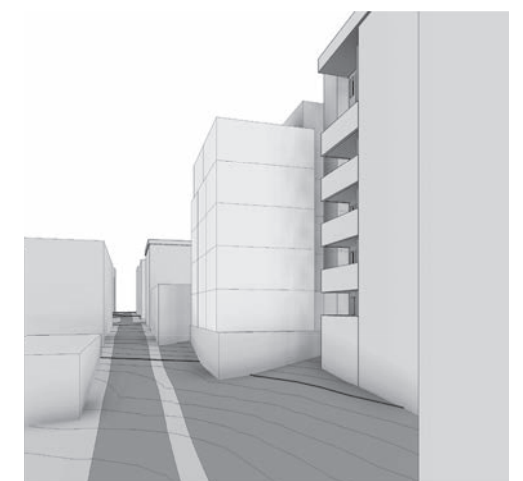
Street View, looking West



Sidewalk View, looking North



Street View, looking West

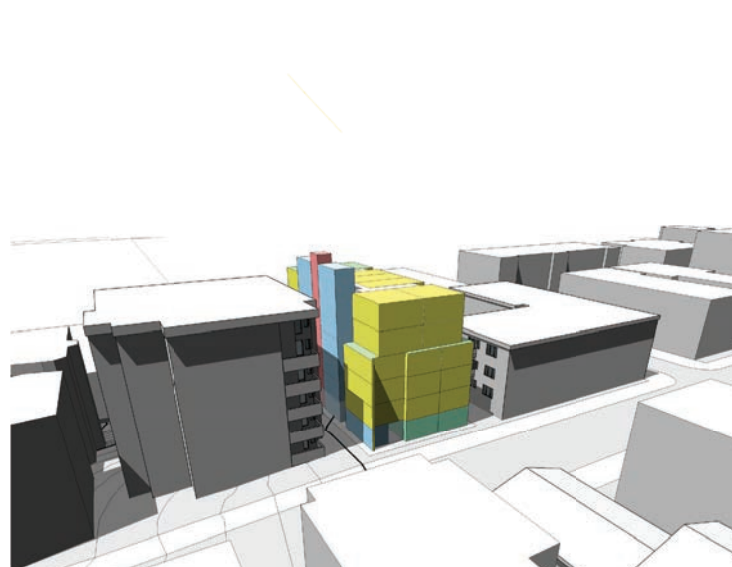


Sidewalk View, looking North

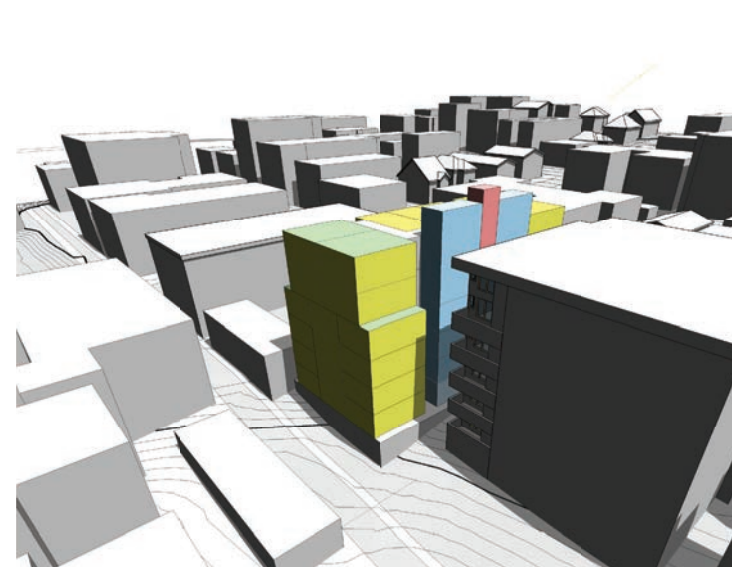
Alternate 1



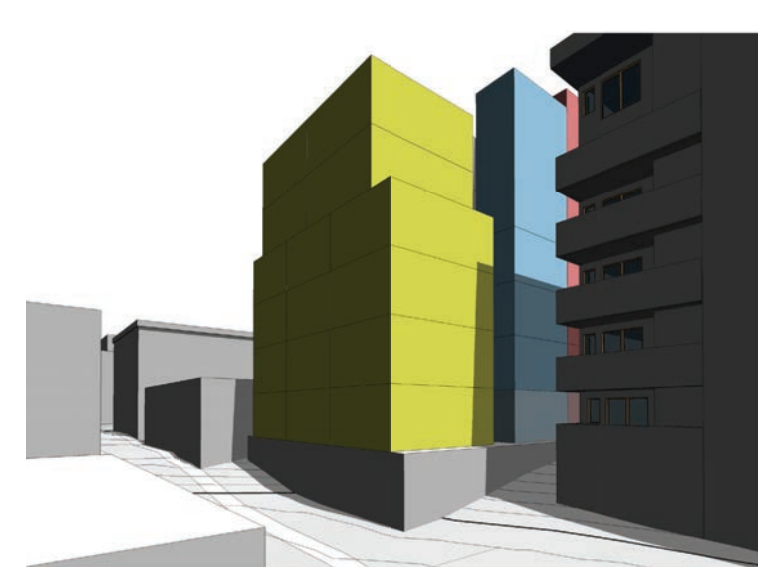
Street View on Bellevue Ave. E Lkg. Northwest



Aerial View From Southeast



Aerial View From Southwest

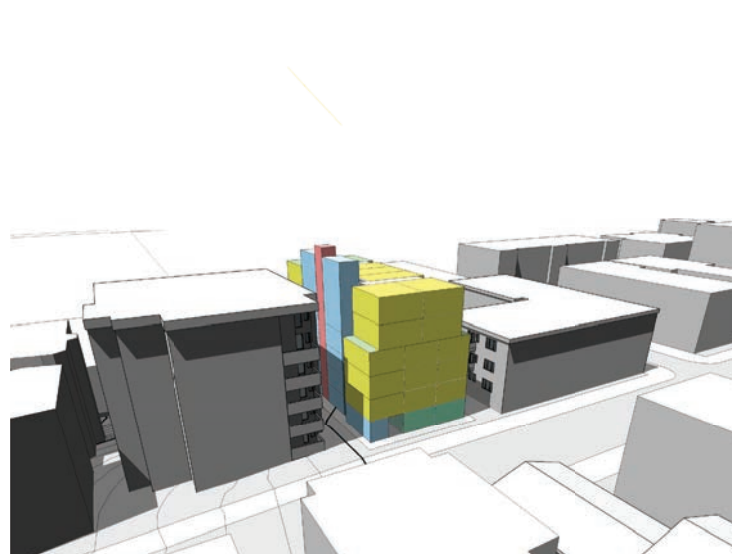


Alley View Lkg. North

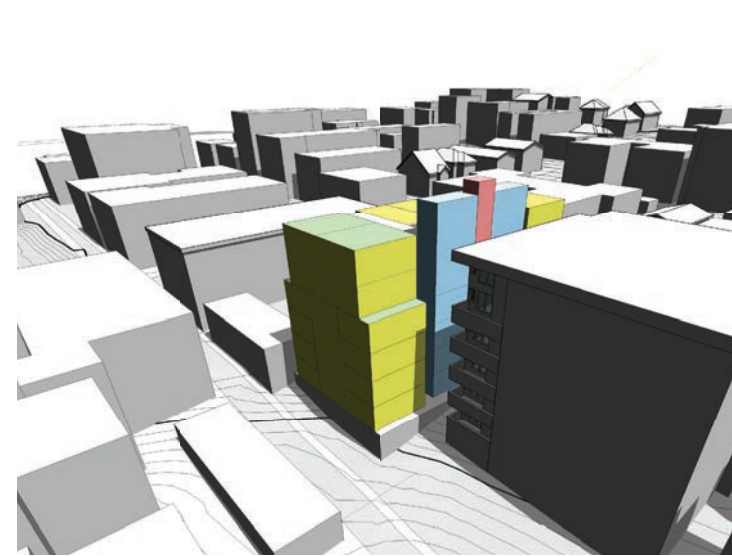
Alternate 2



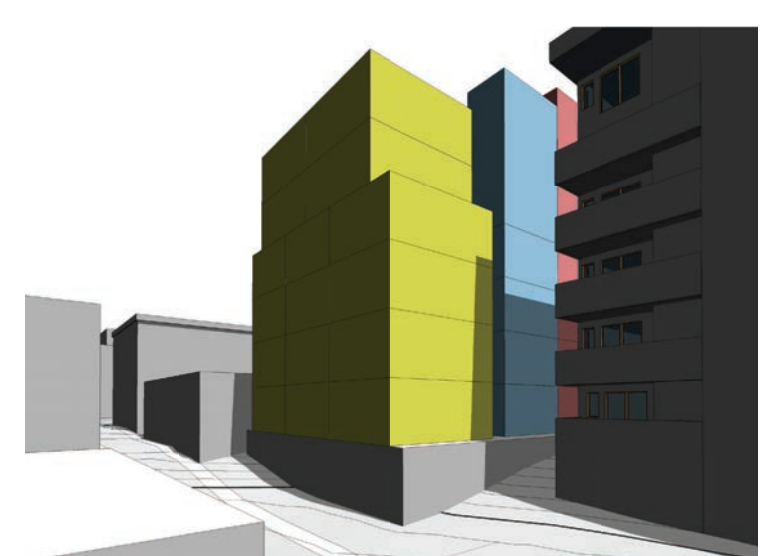
Street View on Bellevue Ave. E Lkg. Northwest



Aerial View From Southeast

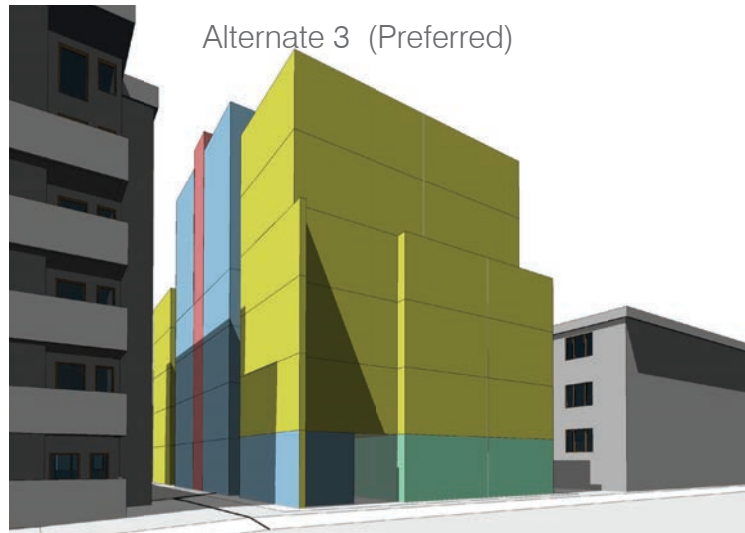


Aerial View From Southwest

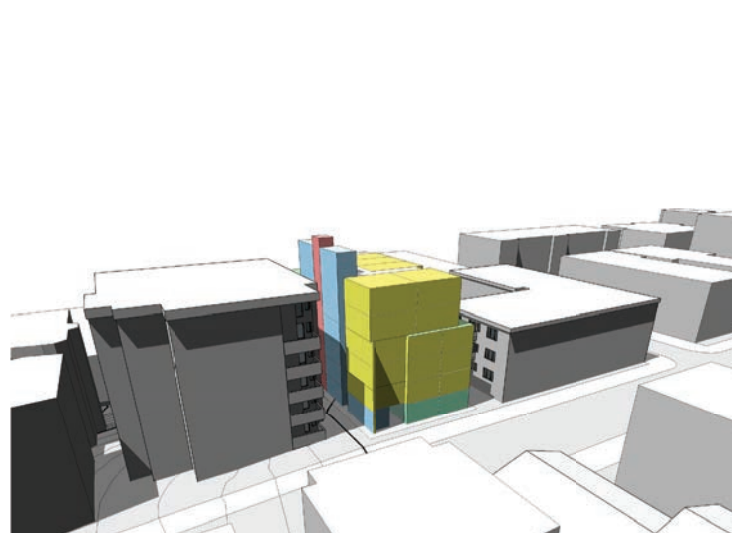


Alley View Lkg. North

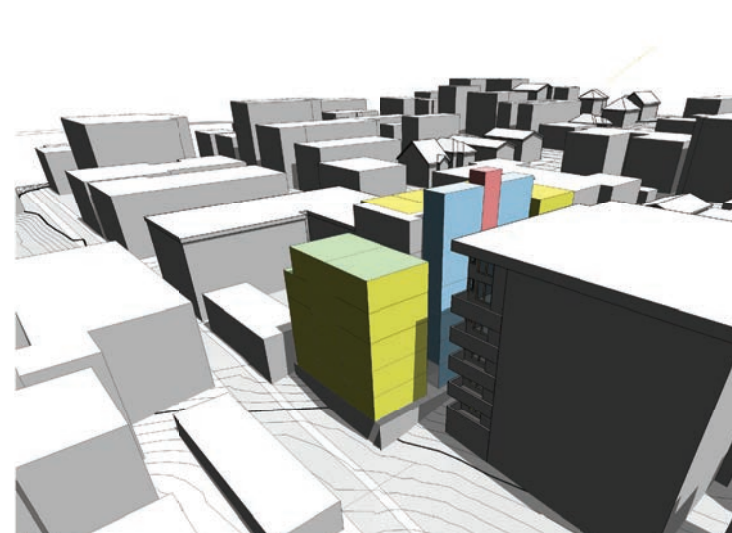
Alternate 3 (Preferred)



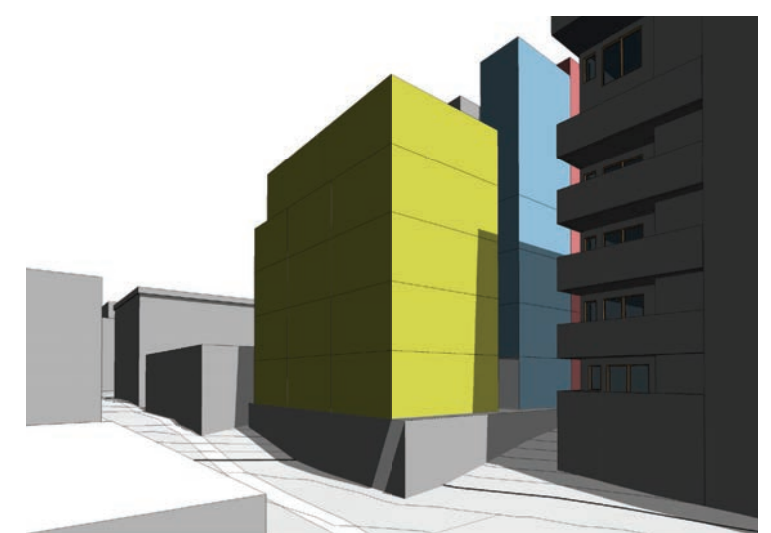
Street View on Bellevue Ave. E Lkg. Northwest



Aerial View From Southeast

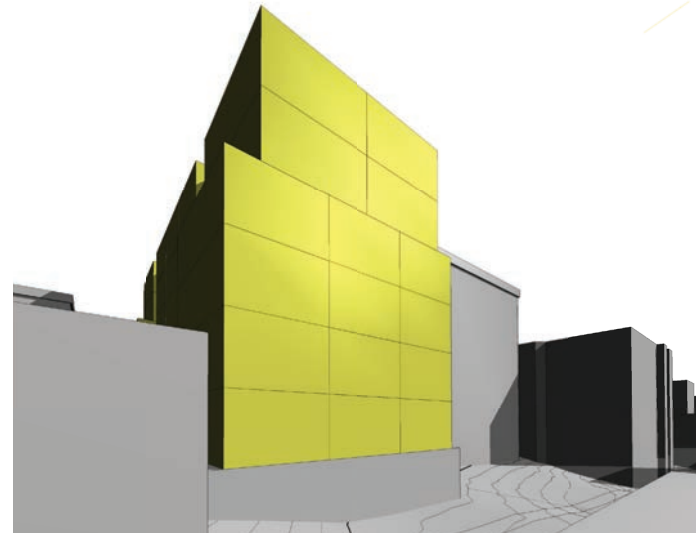


Aerial View From Southwest

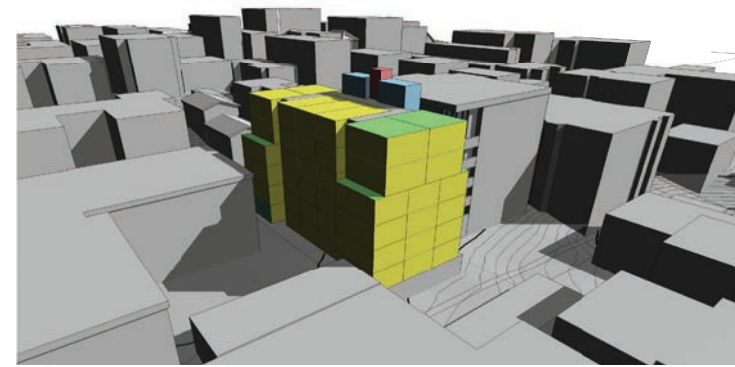


Alley View Lkg. North

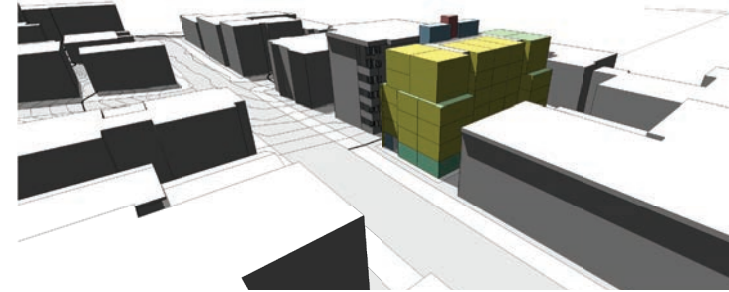
Alternate 1



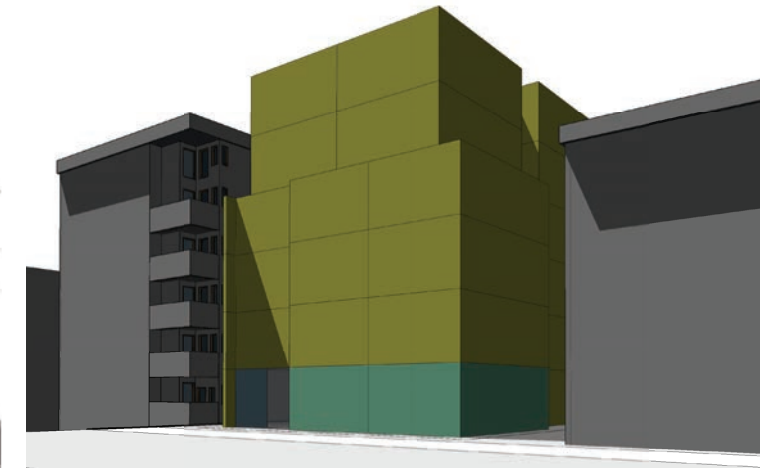
Alley View Lkg. South



Aerial View From Northwest

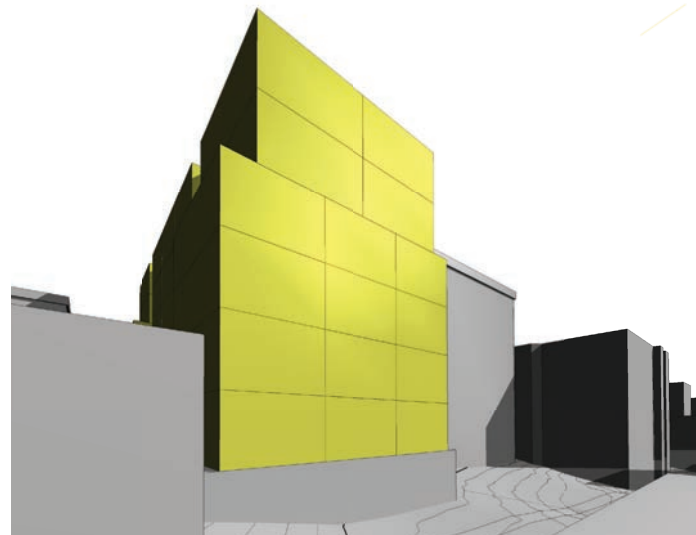


Aerial View From Northeast

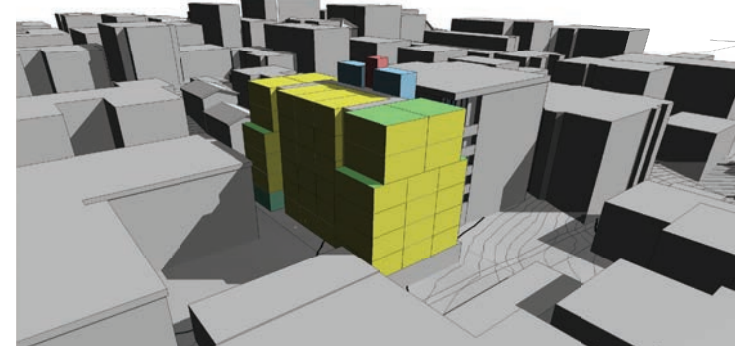


Street View on Bellevue Ave. E Lkg. Southwest

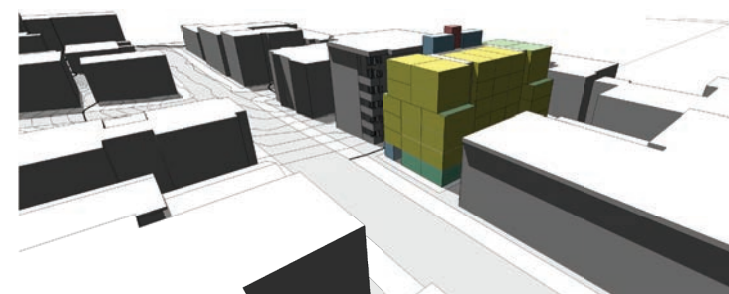
Alternate 2



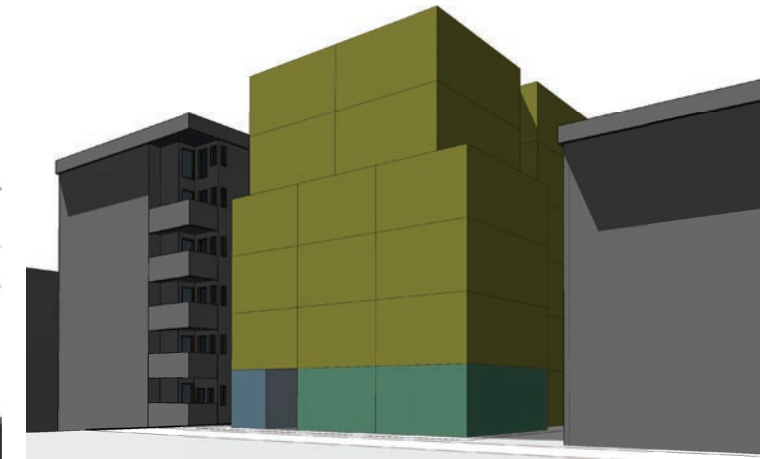
Alley View Lkg. South



Aerial View From Northwest

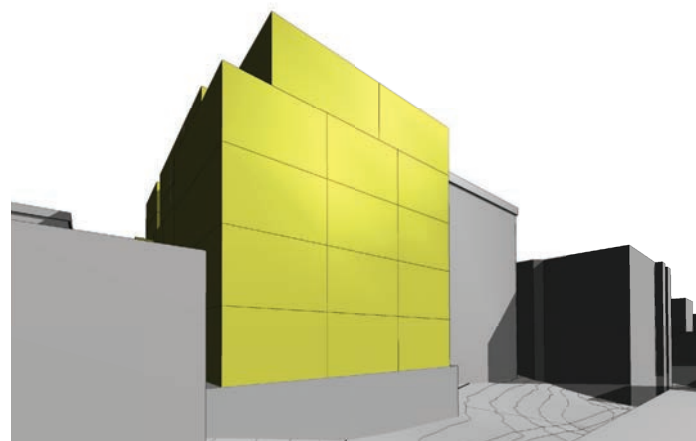


Aerial View From Northeast

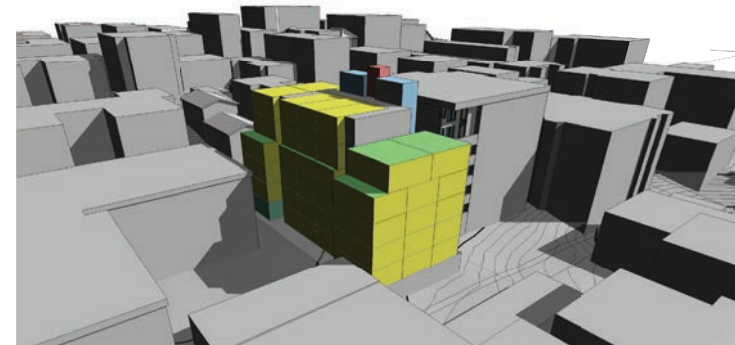


Street View on Bellevue Ave. E Lkg. Southwest

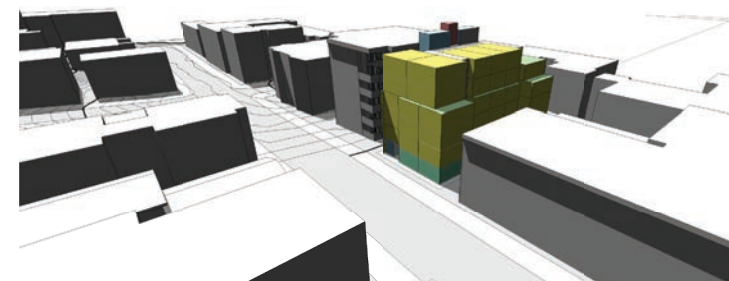
Alternate 3
(Preferred)



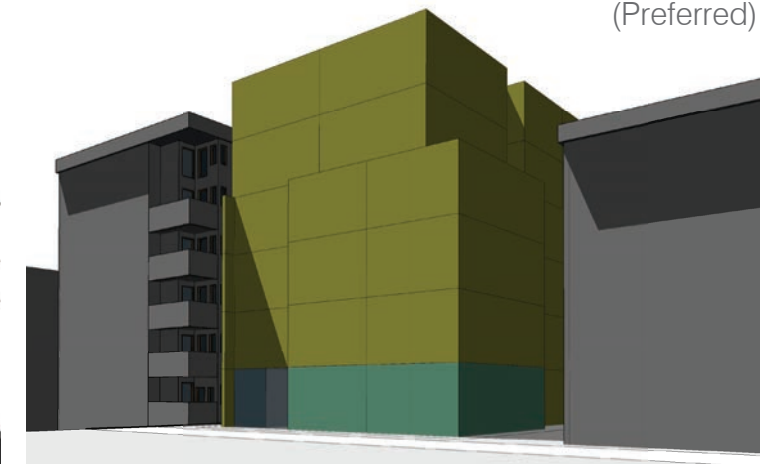
Alley View Lkg. South



Aerial View From Northwest

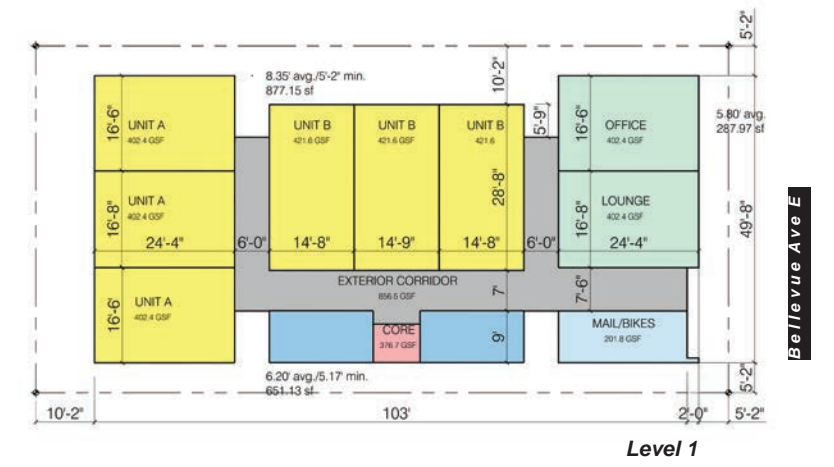
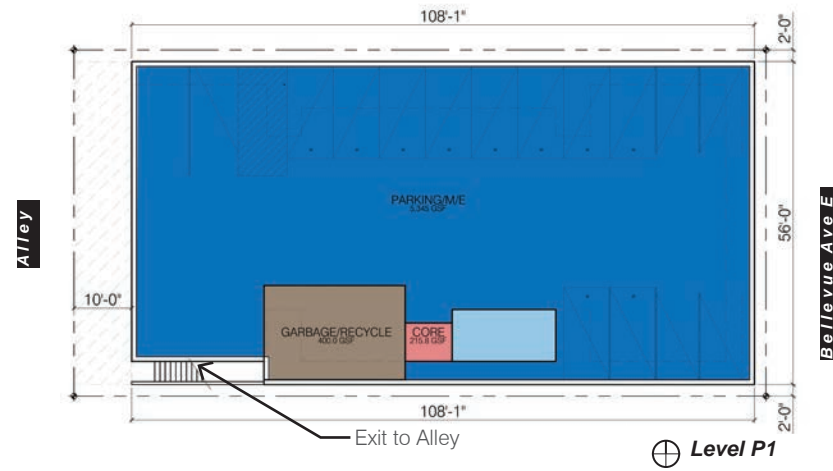
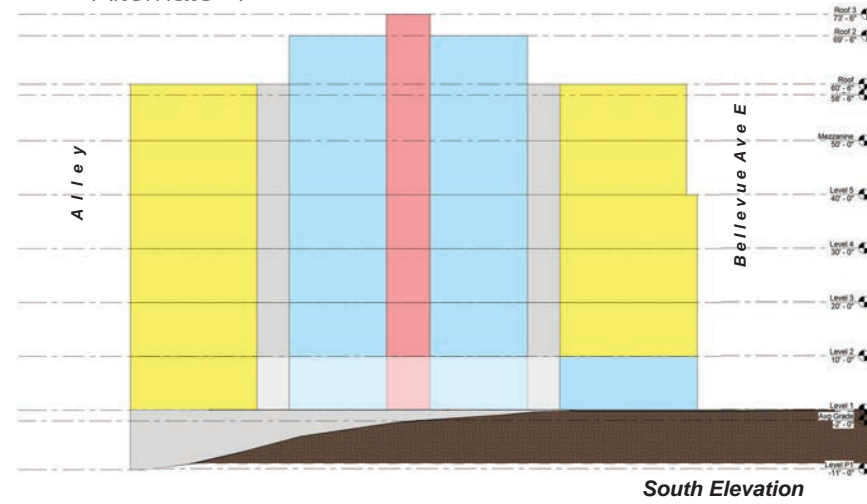


Aerial View From Northeast

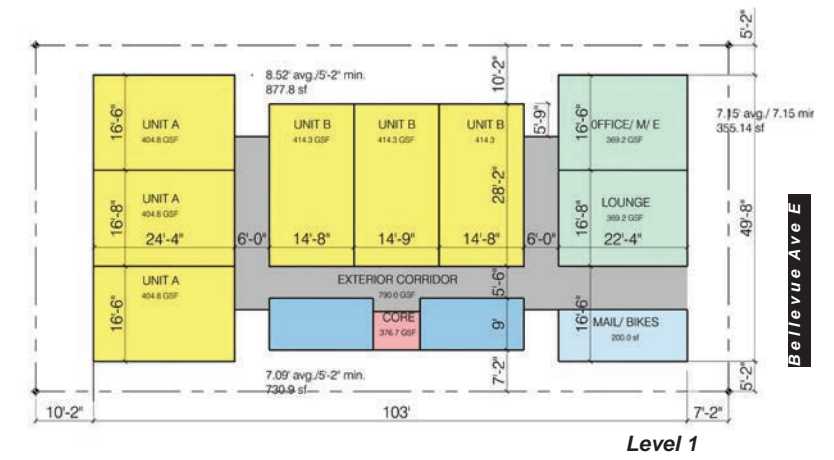
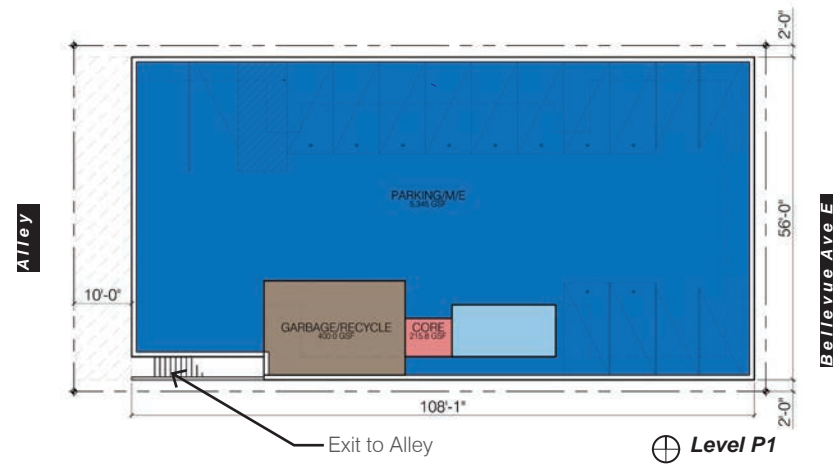
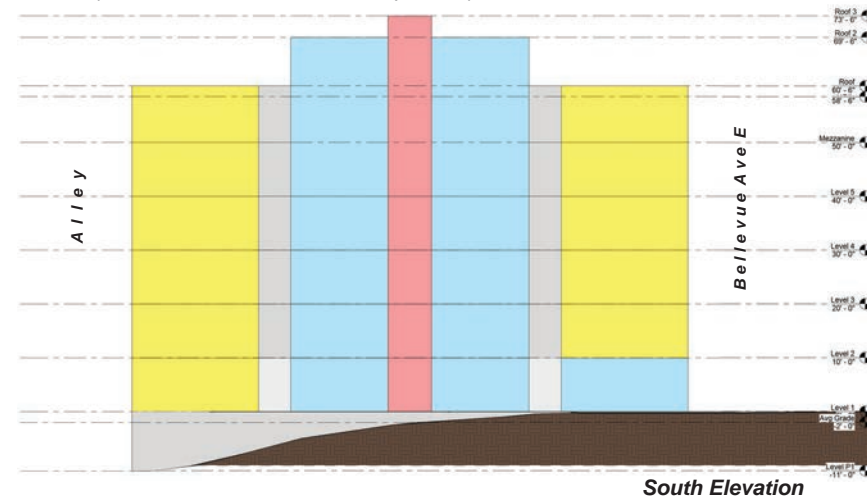


Street View on Bellevue Ave. E Lkg. Southwest

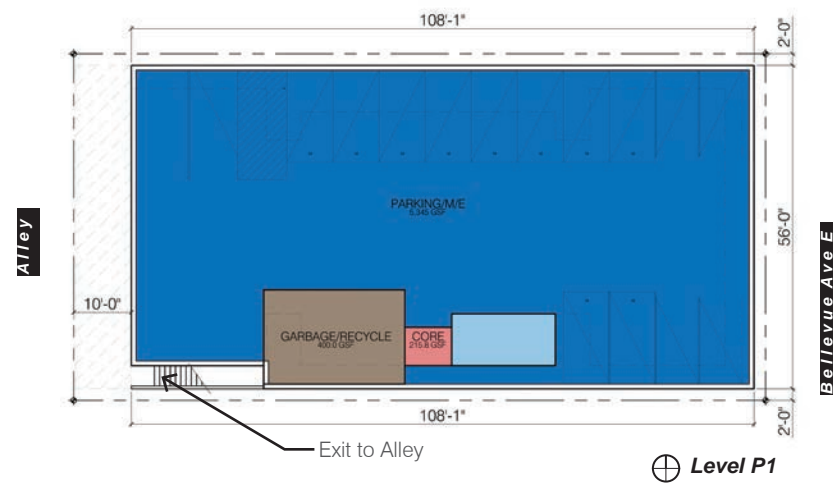
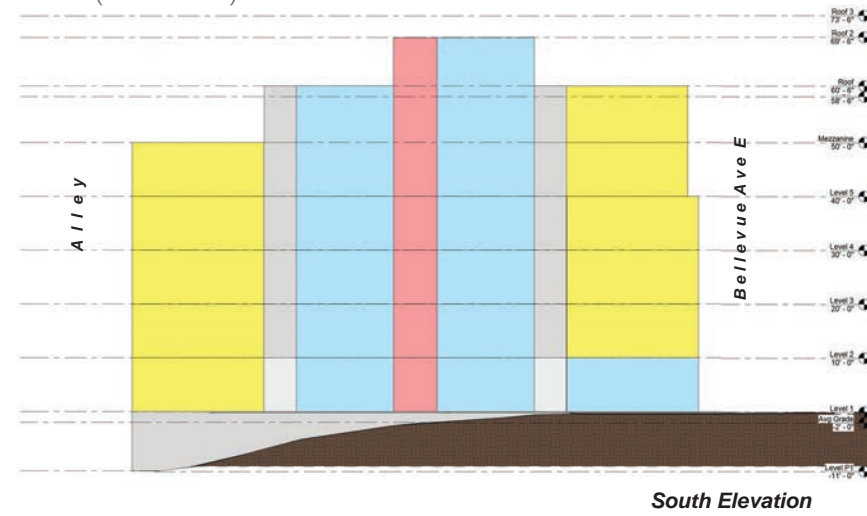
Alternate 1



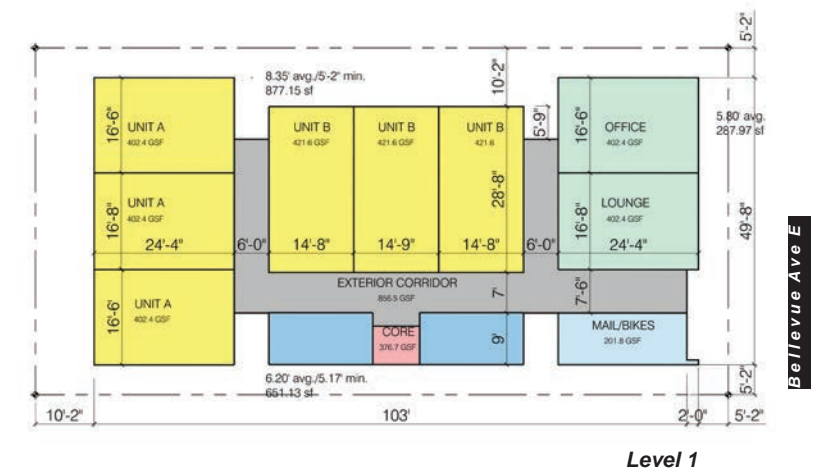
Alternate 2
(Land Use Code Compliant)



Alternate 3
(Preferred)

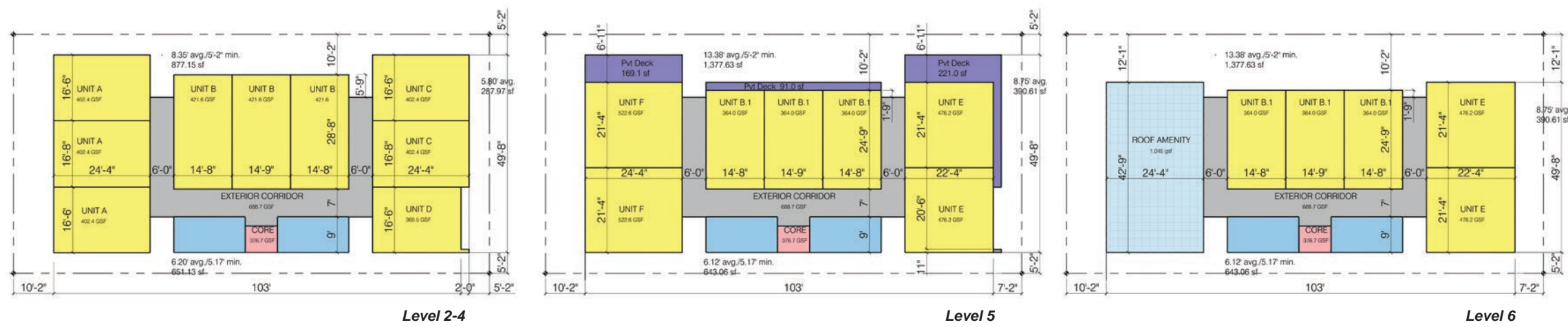
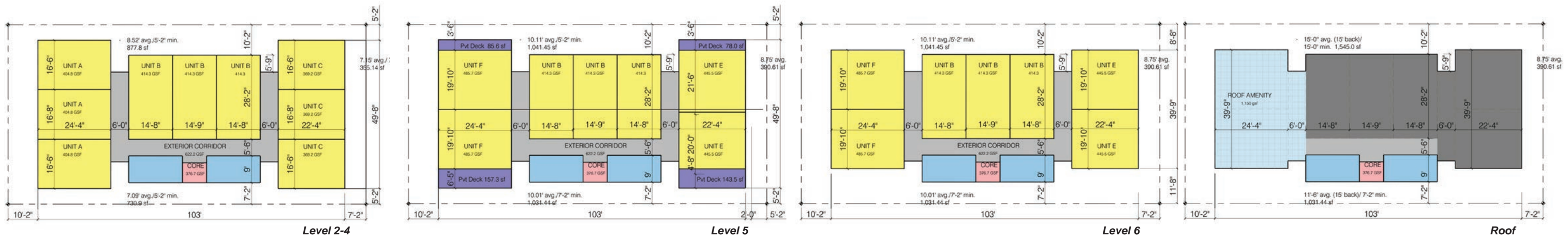
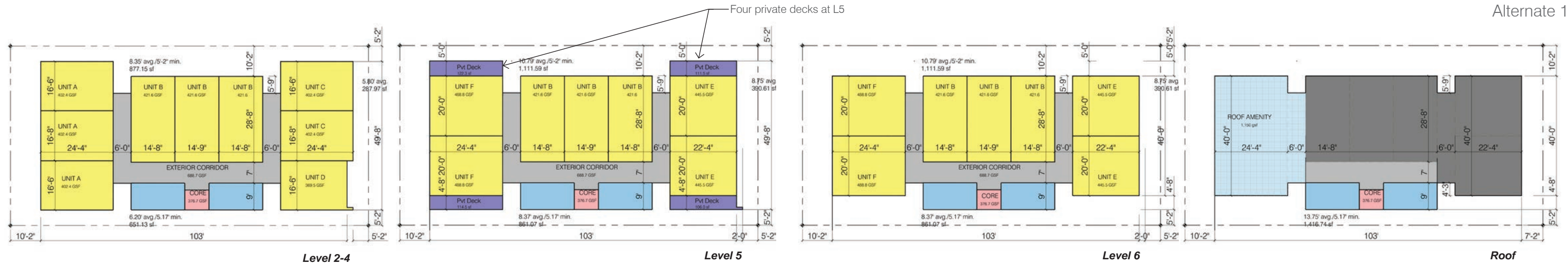


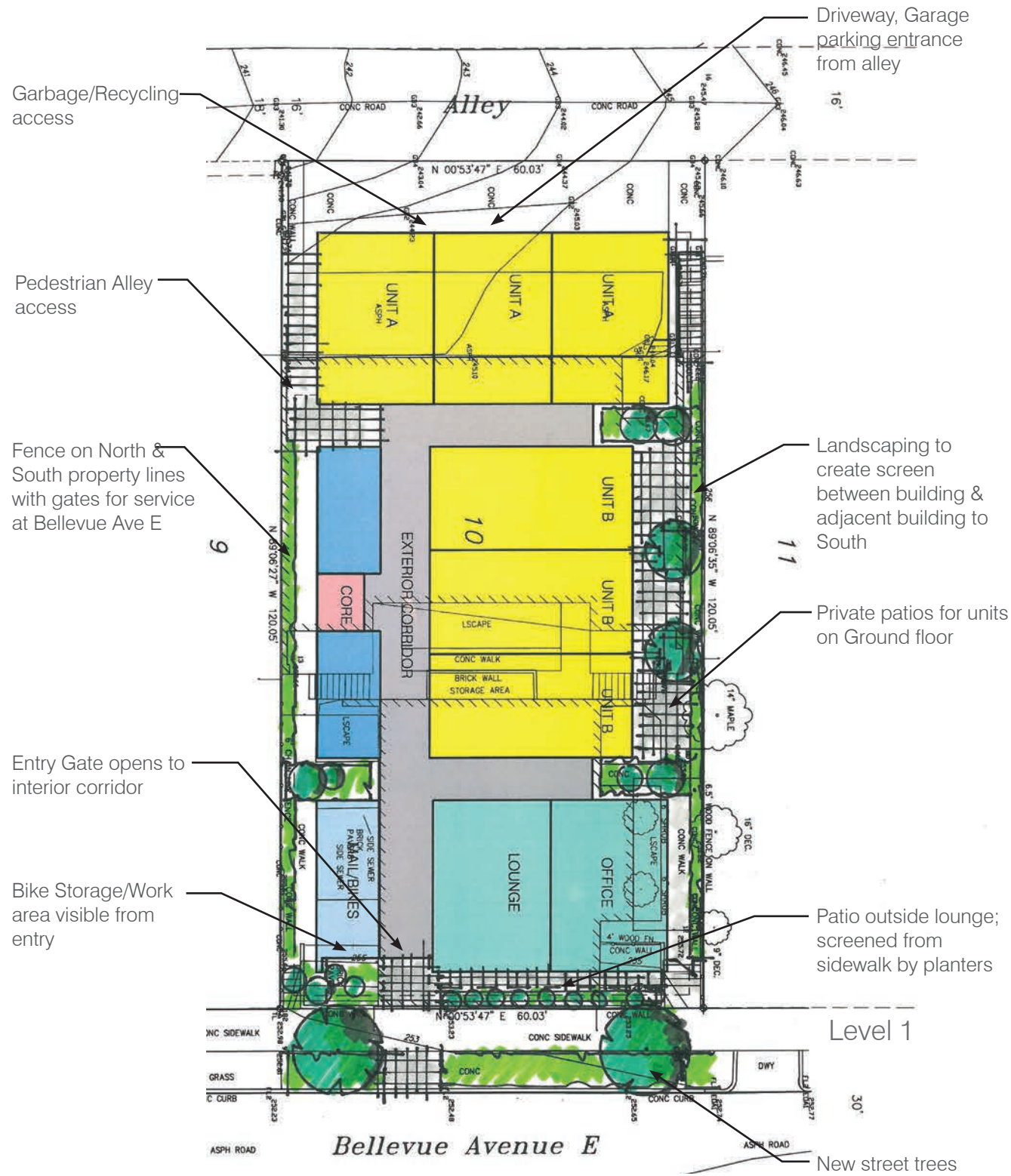
3 Mezzanine Units at L2



Property Line Garbage | Recycle

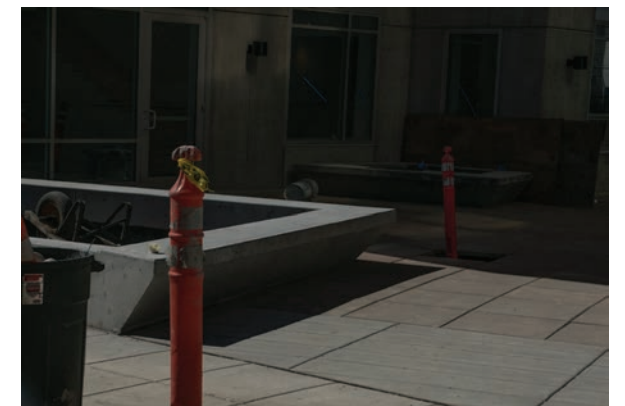
Parking Office | Lounge

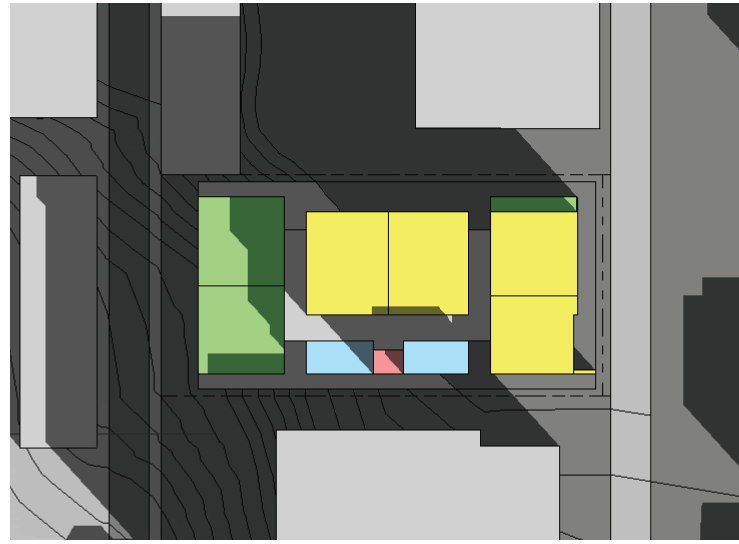




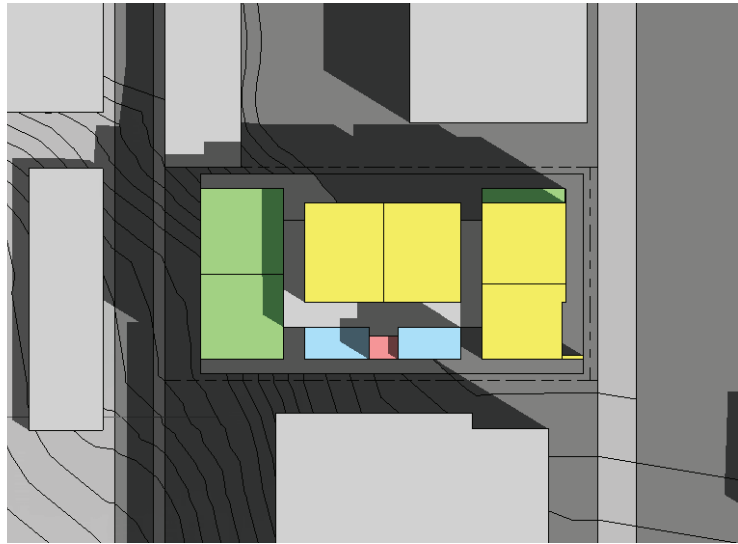
Plan: Landscape Concept



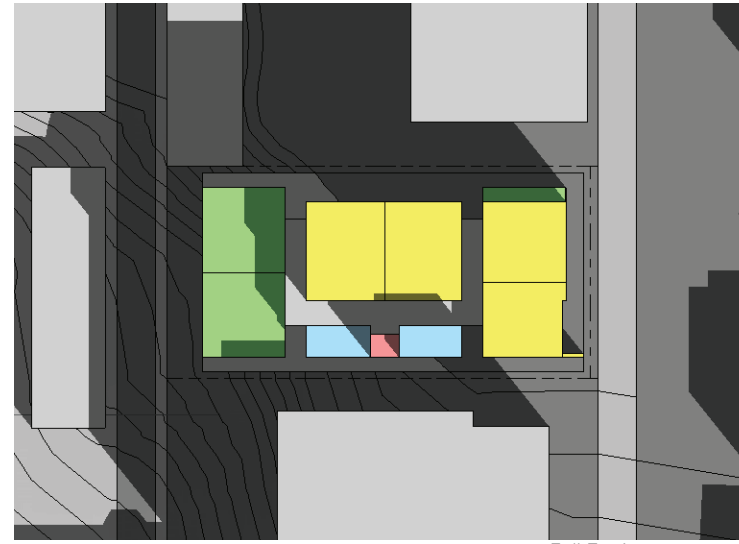




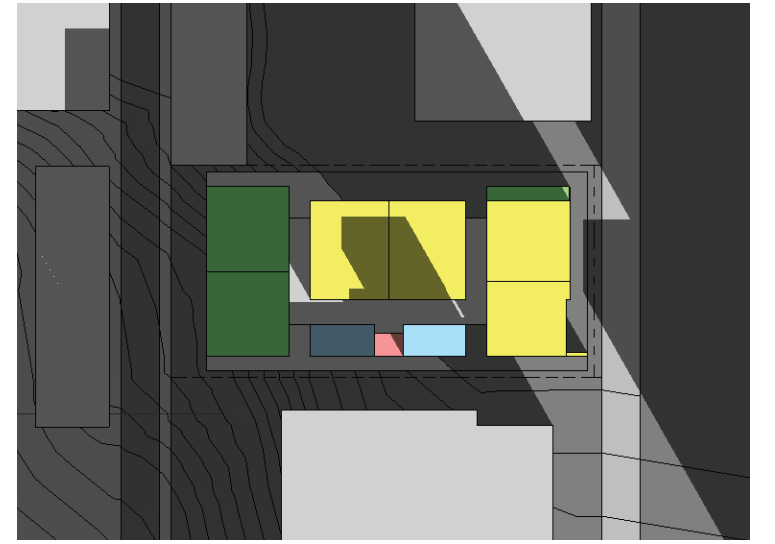
Spring Equinox - 10:00 am ⊕



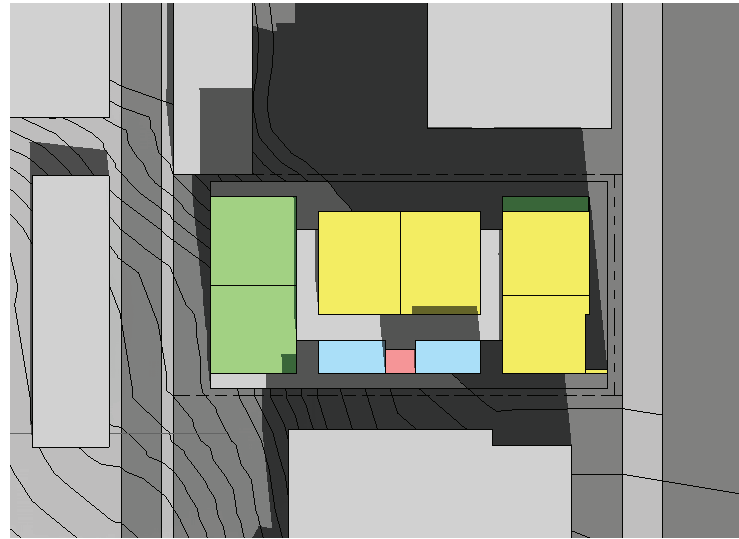
Summer Solstice - 10:00 am



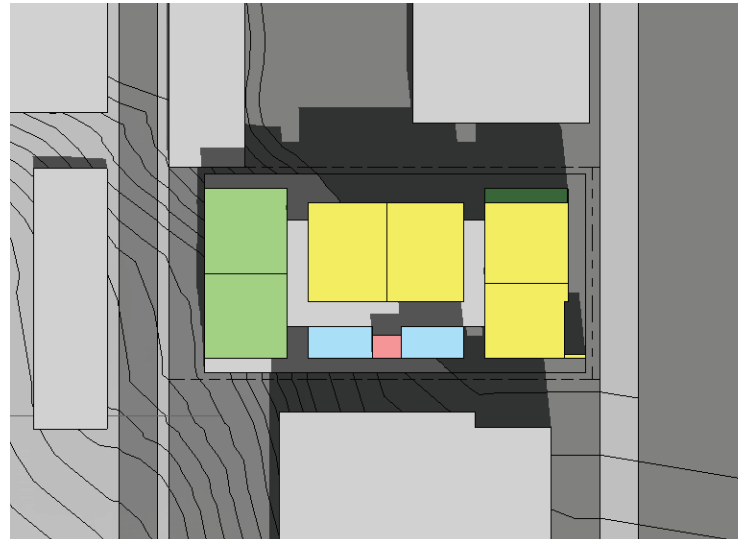
Fall Equinox - 10:00 am



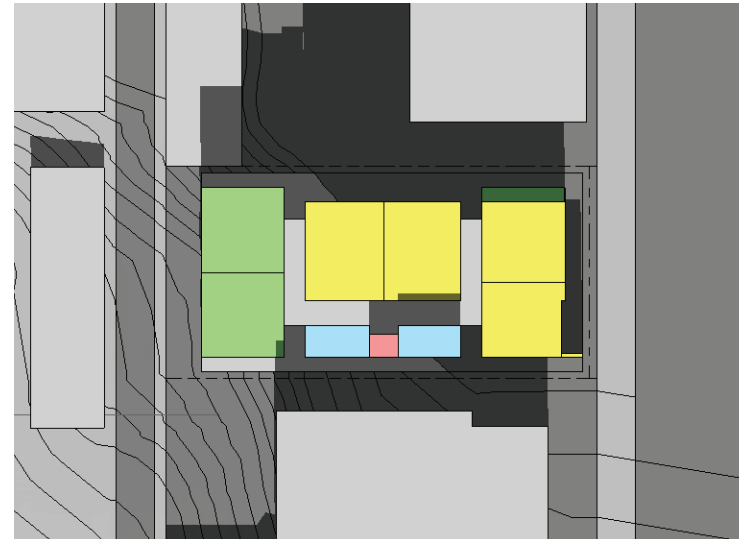
Winter Solstice - 10:00 am



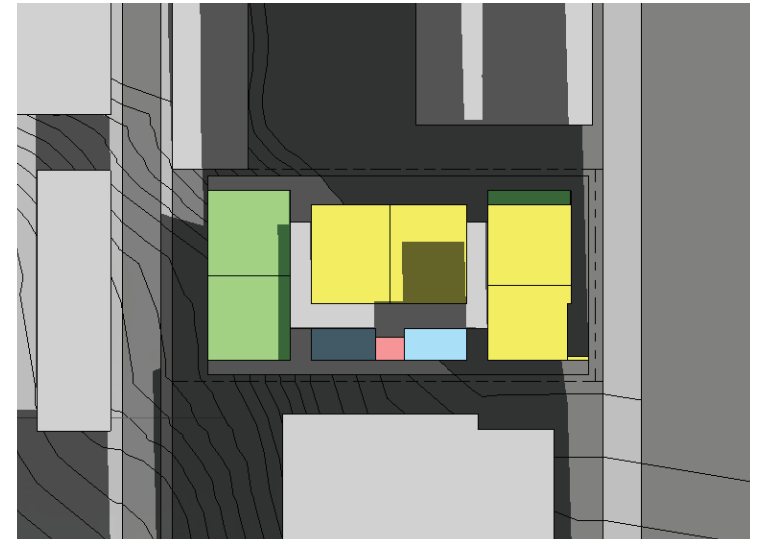
Spring Equinox - Noon ⊕



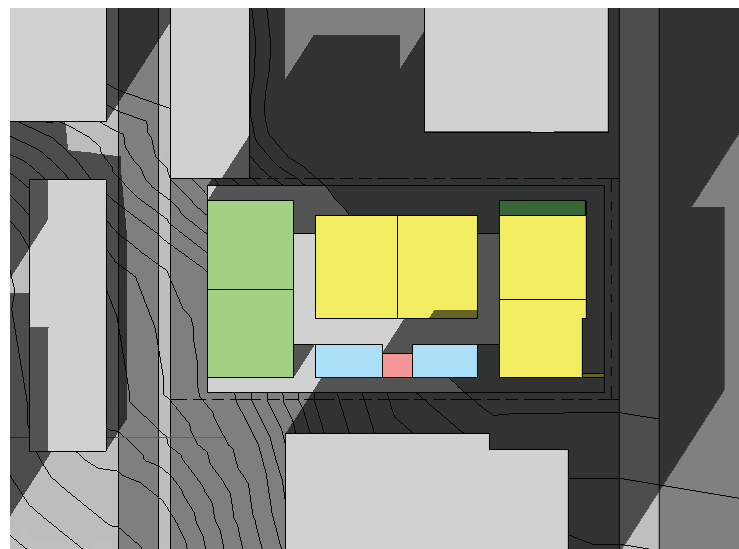
Summer Solstice - Noon



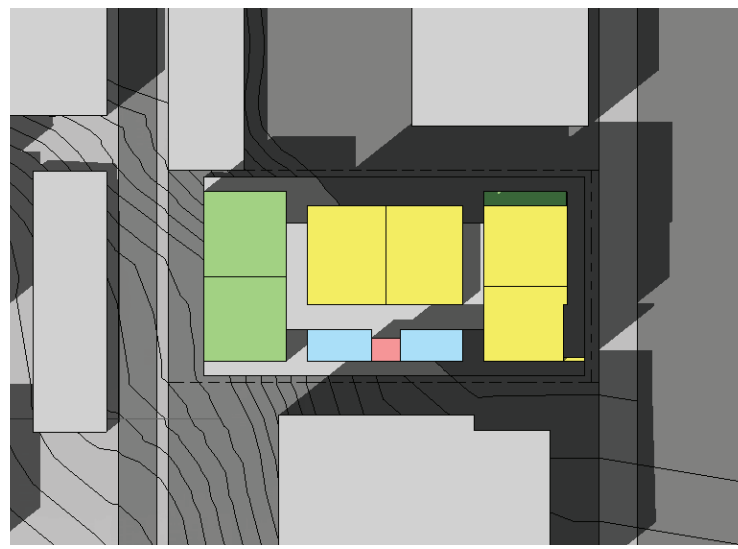
Fall Equinox - Noon



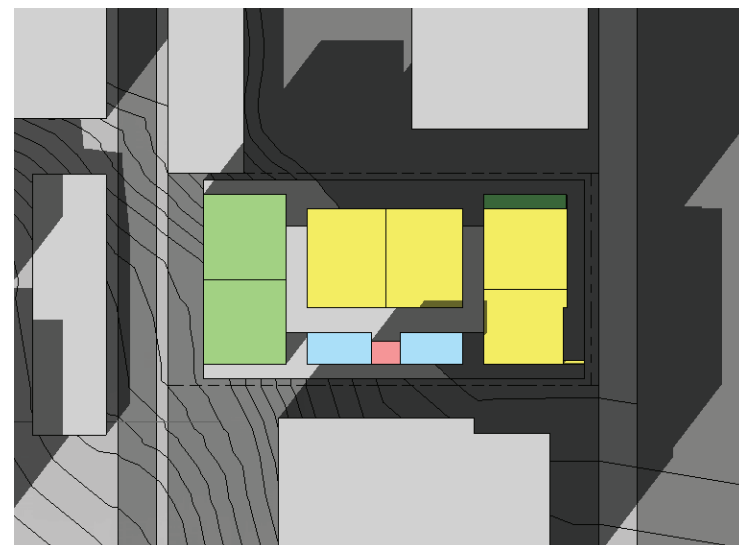
Winter Solstice - Noon



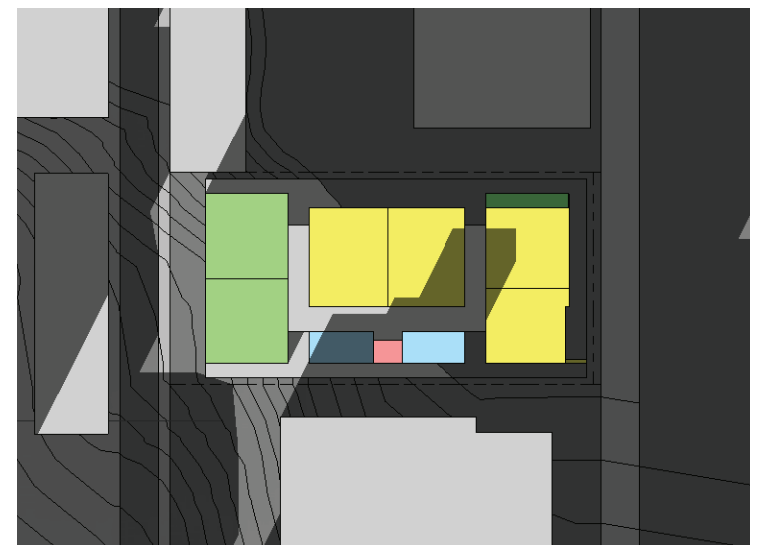
Spring Equinox - 2:00 pm ⊕



Summer Solstice - 2:00 pm



Fall Equinox - 2:00 pm



Winter Solstice - 2:00 pm

LAND USE CODE REQUIREMENT

PROPOSAL

JUSTIFICATION

Alternate 1

S.M.C. 23.45.518 Setbacks and Separations

B. Table B- Required Setbacks in MR Zones measured in feet

Side:

- 42 feet or less in height: 7 foot average setback; 5 foot minimum setback
- Above 42 feet in height: 10 foot average setback; 7 foot minimum setback.

Front Yard

- 7 foot average setback; 5 foot minimum setback

South Property Line:

1 low side yard setback at Levels 1-4 (<42' ht.) to have 6.20' average with 5.17' minimum setback instead of 7' average & 5' min.

2 low side yard setback at Levels 5-6 (>42' ht.) to have 8.37' average with 5.20' minimum setback instead of 10' avg. & 7' min.

3 low side yard setback at Level 6 (>42' ht.) to have 8.37' average with 5.20' minimum setback instead of 10' avg. & 7' min.

East Property Line:

4 low front yard setback at Levels 1-4 to have 5.80' average with 5.2' minimum setback instead of 7' average & 5' min.

5 front yard setback at Level 5 (>42' ht.) has 8.69 average with 7.12' minimum setback instead of 7' avg. & 5' min.

6 front yard setback at Level 6 (>42' ht.) has 8.75' average with 5.2' minimum setback instead of 7' avg. & 5' min.

North Property Line:

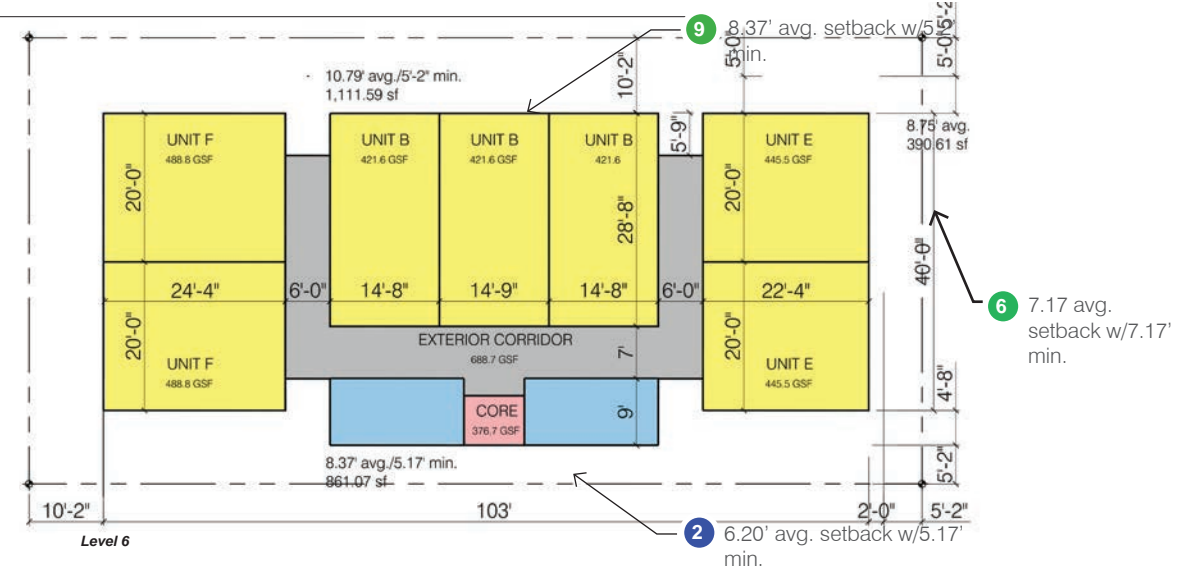
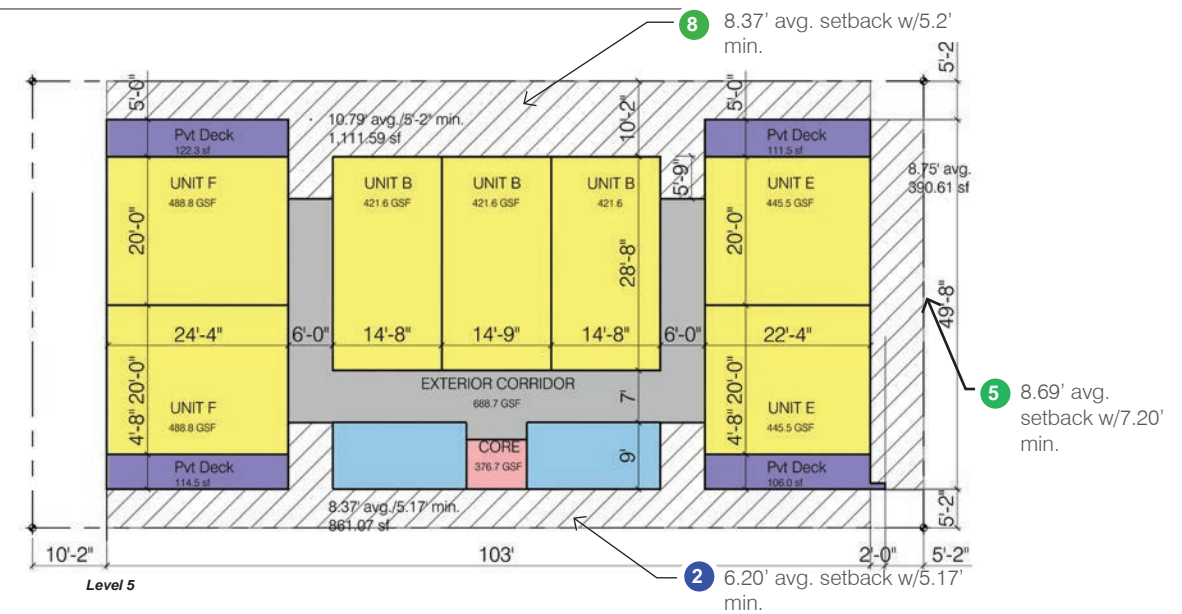
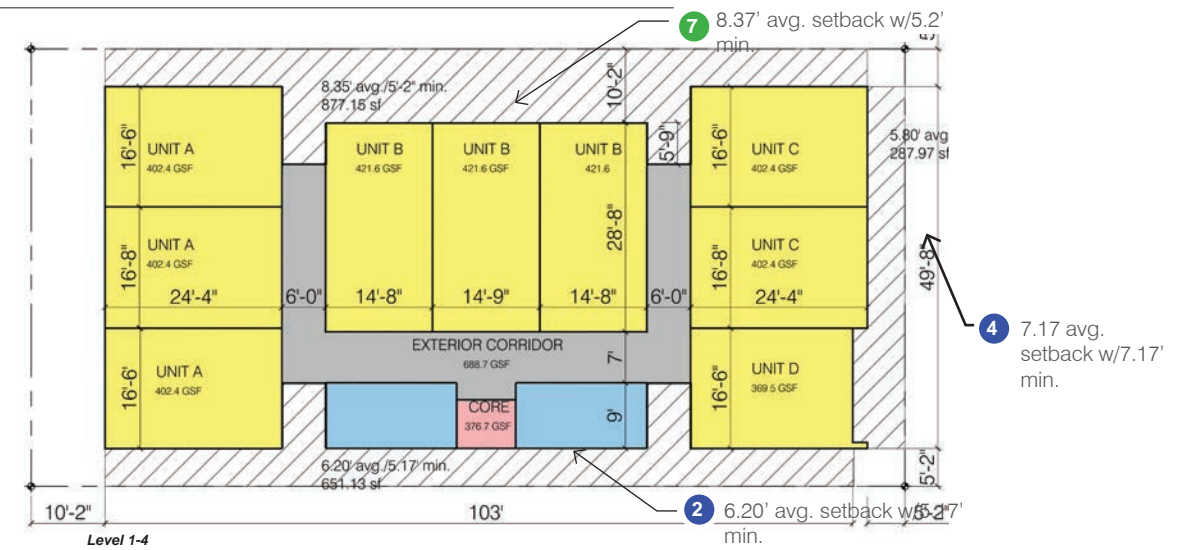
7 side yard setback at Levels 1-4 (<42' ht.) to have 8.35' average with 5.20' minimum setback instead of 7' average & 5' min.

8 front yard setback at Levels 5-6 (>42' ht.) has 10.79' average with 5.2' minimum setback instead of 7' avg. & 5' min.

9 front yard setback at Levels 5-6 (>42' ht.) has 10.79' average with 5.2' minimum setback instead of 7' avg. & 5' min.

Note: Green exceeds setback requirement; red does not meet setback requirement

Greater than average required setback is provided. The reduced minimum setback at Level 5 and the Mezzanine is only for the stairs, elevators/, and the SE residential wing. The step back at Level 5 at the North facade is increased.



LAND USE CODE REQUIREMENT

Alternate 3 (Preferred)

S.M.C. 23.45.518 Setbacks and Separations

B. Table B- Required Setbacks in MR Zones measured in feet

Side:

- 42 feet or less in height: 7 foot average setback; 5 foot minimum setback
- Above 42 feet in height: 10 foot average setback; 7 foot minimum setback.

Front Yard

- 7 foot average setback; 7 foot minimum setback

PROPOSAL

South Property Line:
 Allow side yard setback at Levels 1-4 (<42' ht.) to have **6.12' average with 5.20' minimum setback instead of 7' average & 5' min.**
 Allow side yard setback at Level 5 (>42' ht.) to have **6.20' average with 5.20' minimum setback instead of 10' avg. & 7' min.**
 Allow side yard setback at Level 5 (>42' ht.) to have **8.37' average with 5.20' minimum setback instead of 10' avg. & 7' min**

East Property Line:
 Allow front yard setback at Levels 1-4 to have **5.80' average with 5.2' minimum setback instead of 7' average & 5' min.**
 Front yard setback at Level 5 (>42' ht.) has **8.26' average with 5.2' minimum setback instead of 7' avg. & 5' min.**
 Front yard setback at Level 6 (>42' ht.) has **7.17' average with 5.2' minimum setback instead of 7' avg. & 5' min.**

North Property Line:
 Side yard setback at Levels 1-4 (<42' ht.) to have **8.35' average with 5.20' minimum setback instead of 7' average & 5' min.**
 Side yard setback at Level 5 (>42' ht.) to have **13.38' average with 12.08' minimum setback instead of 10' avg. & 7' minimum**
 Side yard setback at Levels 6 (>42' ht.) to have **13.67' average with 12.08' minimum setback instead of 10' avg. & 7' minimum**

Note: Green exceeds setback requirement; red does not meet setback requirement

JUSTIFICATION

Greater than average required setback is provided. The reduced minimum setback at Level 5 and the Mezzanine is only for the stairs, elevators/, and the SE residential wing. The step back at Level 5 at the North facade is increased.

CS2.C.1:
 Reinforces the existing neighborhood pattern of 'front yards'.
PL1.A.1 & 2; B.1, 2, & 3; C.1
 Creates more room for connections to sidewalk, pedestrian flow, and a larger, more visible, open space at the entry. More room is provided for planting, seating, and a bike rack. The open space at the Southwest corner of the site is larger with more exposure to the sidewalk and entry.
PL2.B.1
 Provides greater separation between the residential units and the sidewalk.
DC2.C.3
 Provides more room for enhanced landscaping to provide a better fit to the neighborhood.
DC3.B.1, 3, & 4; C.1 & 2
 Provides more room and design opportunity for the common open space at the Southwest corner for residents; encouraging social activity and interaction to the adjacent sidewalk.

