

CAPITOL HILL
APARTMENT
BUILDING



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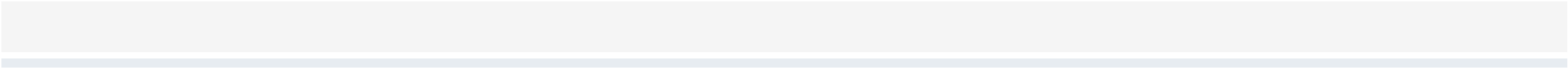


PROJECT ADDRESS:
323 BELLEVUE AVE E

PROJECT NUMBER:
#3018682

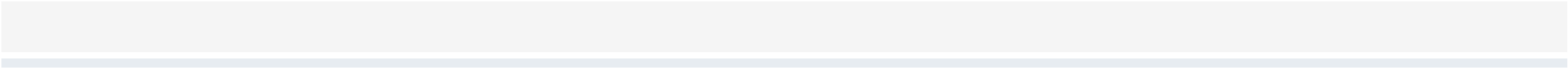
MEETING TYPE:
EARLY DESIGN
GUIDANCE

MEETING DATE:
14 JAN 2015





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Parcel Number:	6847700410	Zoning Summary	11
Project Team:	Owner Sunrise DC, LLC 2246 81st Ave SE Mercer Island, WA 98040 Contact: Dan Chua bokyen@msn.com	Priority Capitol Hill Design Guidelines	14
	Architect Cardinal Architecture PC 1326 5th Avenue #440 Seattle, WA 98101 Contact: James Cary jim@cardinalarchitecture.com	Massing Options	16
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PROJECT OBJECTIVES

The proposed building at 323 Bellevue Avenue East is a 28,500 SF 6-story mixed use project featuring 24 apartments above a street-level restaurant or coffee shop and a below-grade parking garage. The building will be designed to provide the neighborhood with high-quality apartments in a range of types (studio, 1 BR and 2 BR) to attract long-term residential tenants while meeting the goals of long-term ownership by the initial developer.

The preferred building program includes 24 apartments in a mix of studio, 1- and 2-bedroom units. The proposal also includes approximately 1550 SF of ground-floor commercial space for a restaurant or coffee shop, and below-grade parking for 16 vehicles that will be accessed via the alley on the rear of the site. The preferred option also includes an 1175 SF roof deck on the sixth floor that will provide all residents with access to views of the Space Needle, Seattle Center and the Olympic Mountains to the west.

In keeping with the initial developer’s plan of long-term ownership, materials such as brick, metal panels and concrete will be selected for visual interest as well as long-term weatherability and maintenance. Using brick at the pedestrian level will make a material connection with older apartment buildings in the neighborhood and provide continuity along the streetscape. The connection between the ground-floor commercial space and the pedestrian realm will be further enhanced by large windows and pedestrian-scaled canopies as well as landscape improvements including new street trees and planting strips.

BUILDING PROGRAM - OPTION C (PREFERRED)

Parcel Size:	7200 SF
Number of Residential Units:	24
Parking Stalls:	16
Commercial Area:	1550 SF
Residential Area:	21,000 SF
Amenity Area:	1450 SF (1175 SF outdoor)
Total Area above grade:	22,800 SF
Parking Area (below grade):	5700 SF
Total Building Area:	28,500 SF

SITE OPPORTUNITIES & CONSTRAINTS

LOCATION

The site is located within walking distance of Broadway and the commercial core of Capitol Hill to the east and Pike/Pine to the south. It is also near several bus lines and the new light rail station at Broadway and Olive. Downtown Seattle is also nearby to the southwest. I-5 cuts off direct access to the Cascade neighborhood and South Lake Union to the west.

SITE TOPOGRAPHY

The site slopes approximately 10’ from the street to the alley, allowing for alley access to below-grade parking with no interruption of the pedestrian experience. The slope increases substantially to the west of the site, providing opportunities for views to the west and afternoon sun on the western facade of the building.

NEIGHBORING BUILDINGS

The neighboring sites are occupied by mid-size apartment buildings. The adjacent property to the north includes a parking lot on the southwest corner, allowing for access to light and air for the proposed project. The southern neighbor is built nearly to the MR zoning height limit, limiting solar access on the site. In addition, the design of the building to the south anticipated neighboring development to the north, and the north wall of that building is almost entirely blank, allowing the proposed building to be closer to the lot line without affecting existing views. Because of the steep hill between the alley and Melrose Ave, the buildings to the west of the site are lower than the allowable height of the proposed building, allowing for light and views. Units in these buildings are oriented towards the views to the west, and the proposed development will have little or no effect on them.

PEDESTRIAN VIEWS

The setbacks between the site and the neighboring building to the north align with the gap between buildings across the alley on Melrose, allowing for a potential sidewalk “pocket view” of the Space Needle and the Olympic Mountains beyond.



Bellevue Ave
Looking East

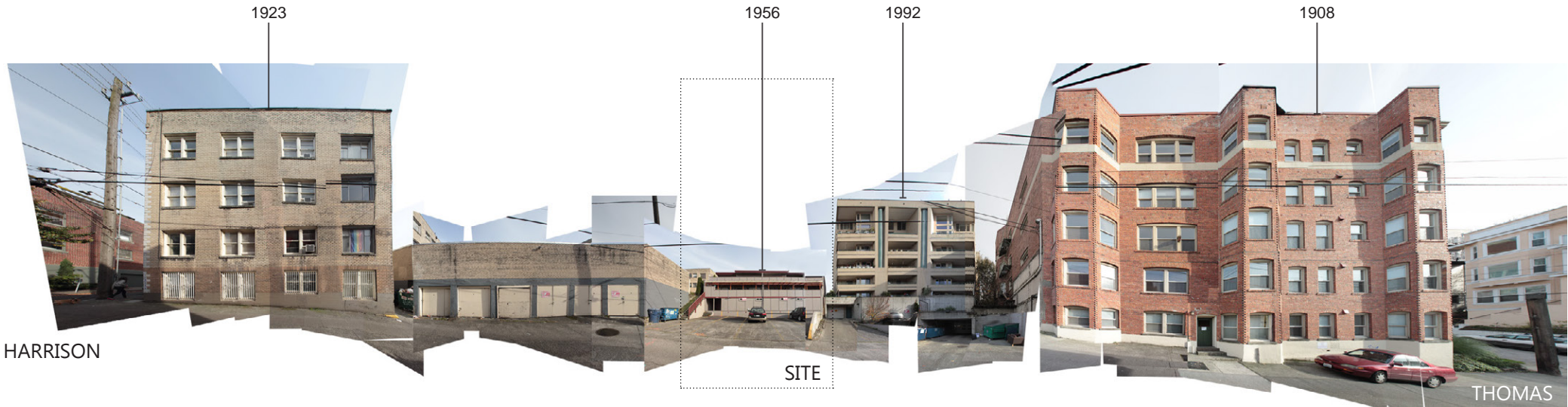


Bellevue Ave
Looking West

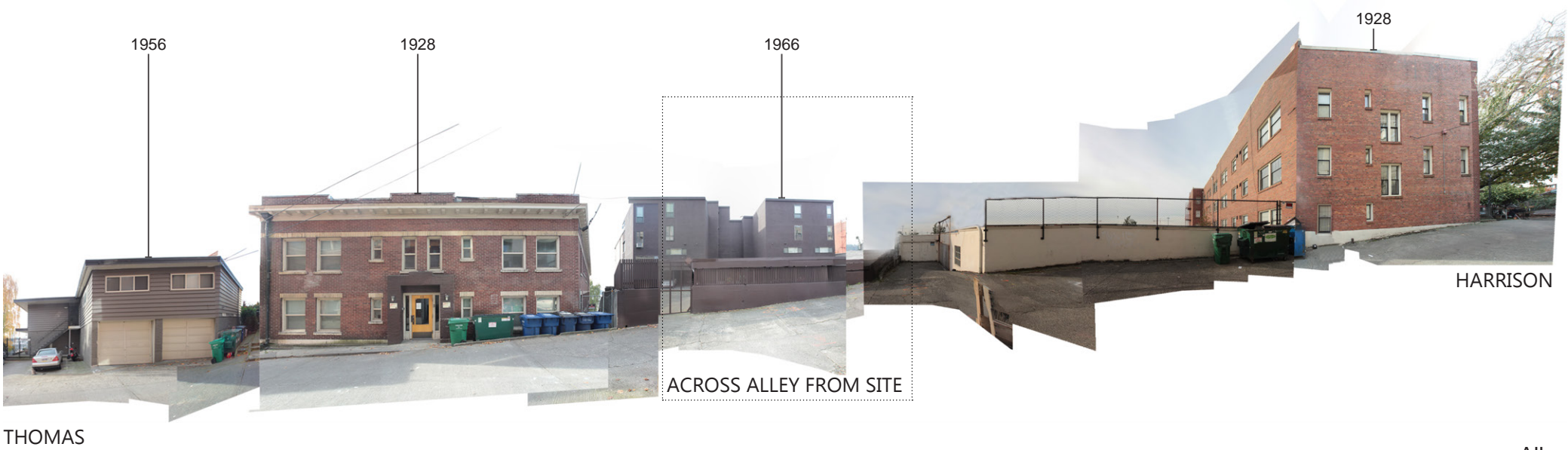
323 Bellevue Avenue East is currently occupied by 2 small apartment buildings built in 1956. They contain a total of 6 units. There are 6 paved surface parking spots along the alley behind the buildings. The existing buildings and parking spaces will be demolished as part of the proposed construction project. The existing structures on the site are over 50 years old, and have been reviewed by the city of Seattle Landmarks Preservation Board. The board determined that the structures are not historic landmarks.

Most structures in the immediate vicinity are midrise apartment buildings built throughout the 20th century, with a handful of older remaining single family homes. The existing buildings are the smallest structures on the block. Other buildings on the block are multifamily structures ranging from 3 to 6 stories in height. Older buildings in the area tend to be brick construction, while newer buildings are wood framed with a variety of finish materials, including stucco, wood and metal panels.

Most streets in the neighborhood have sidewalks and are pedestrian friendly. Street trees and planting strips are common, and many front setbacks are landscaped. As seen in the East street elevation, there is a small neighborhood park located on the block at the corner of Bellevue and Thomas. There is another small neighborhood park just 2 blocks away at the intersection of Summit and John.

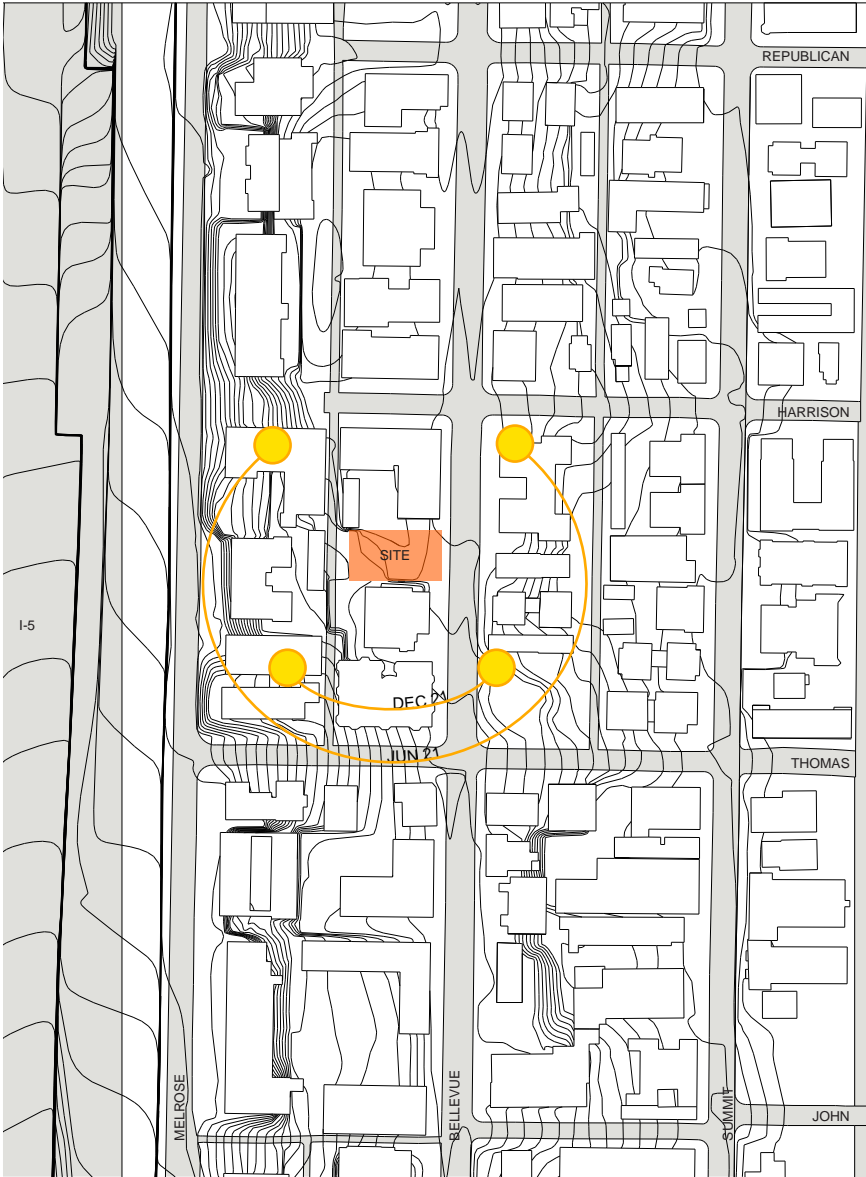


Alley
Looking East



Alley
Looking West

SOLAR EXPOSURE:



Solar Exposure on Solstices ●

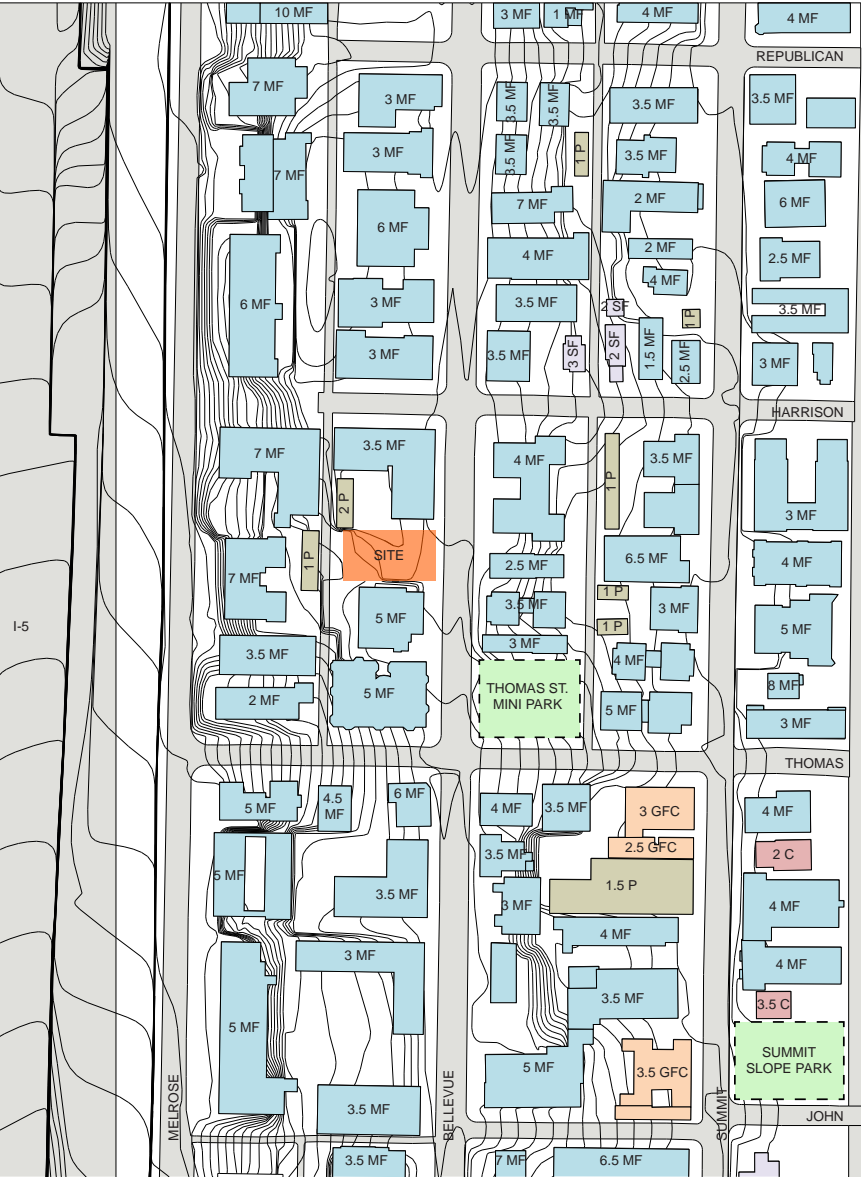
TRANSPORTATION



Collector Arterial — Minor Transit Street - - -
Bicycle Lane - - -

Most streets in the area are narrow two-way residential streets typical of Seattle, with street parking on both sides. Bellevue Ave E is designated as a collector arterial by SDOT, and there is a bicycle lane on Melrose Ave E, one block to the west. Major arterials with transit service are located nearby on Olive Way and Broadway.

LAND USE AND EXISTING STRUCTURES



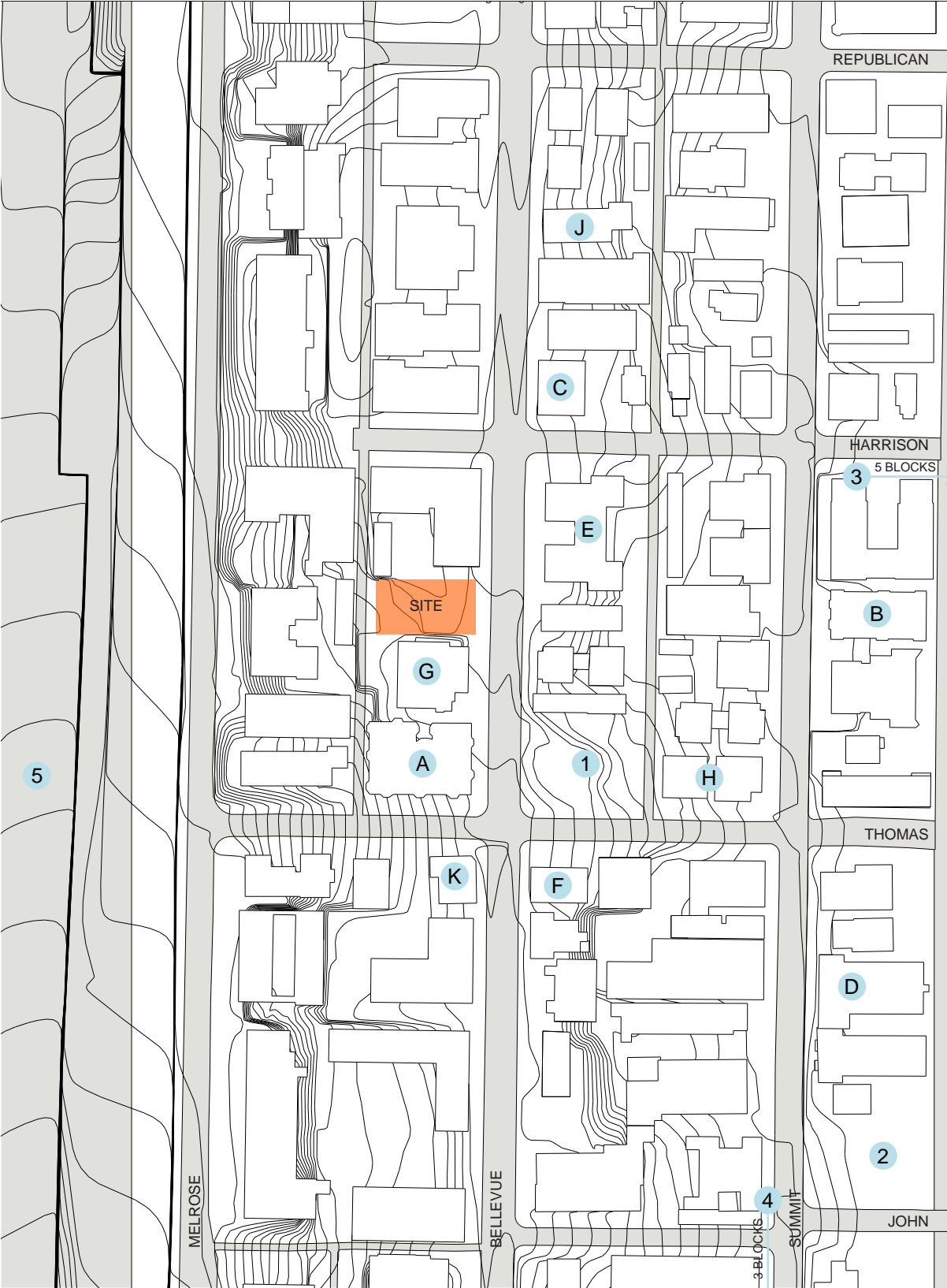
Multi-Family Single Family Commercial
w/ Ground Floor Commercial Parking Green Space

The area in which the site is located is primarily residential, with many multi-family structures as well as a few remaining single-family homes. The site is located within walking distance of Broadway and the commercial center of Capitol Hill to the east and Pike/Pine to the south. I-5 is located one block west of the site and limits access to the Cascade neighborhood and South Lake Union.



Community Nodes & Landmarks:

Architectural & Siting Patterns:



THOMAS STREET MINI PARK -
NEIGHBORHOOD GREEN SPACE



SUMMIT SLOPE PARK -
NEIGHBORHOOD GREEN SPACE



BROADWAY - CAPITOL HILL
COMMERCIAL CORE



OLIVE WAY - COMMERCIAL CORE &
ACCESS TO DOWNTOWN SEATTLE



I-5 - ACCESS BARRIER TO CASCADE
NEIGHBORHOOD & SOUTH LAKE UNION



1900s - BRICK BUILDING, BAY
WINDOWS & ARTICULATED FACADE



1920s - BRICK BUILDING
HEAVY BASE



1940s-1960s



1990s - MODULATED
BUILDING MASS



2000s-PRESENT - TALL BUILDINGS,
CONTEMPORARY FINISHES



1900s - BRICK BUILDINGS,
BAY WINDOWS



1920s - BRICK BUILDING, LARGE
REPETITIVE WINDOWS



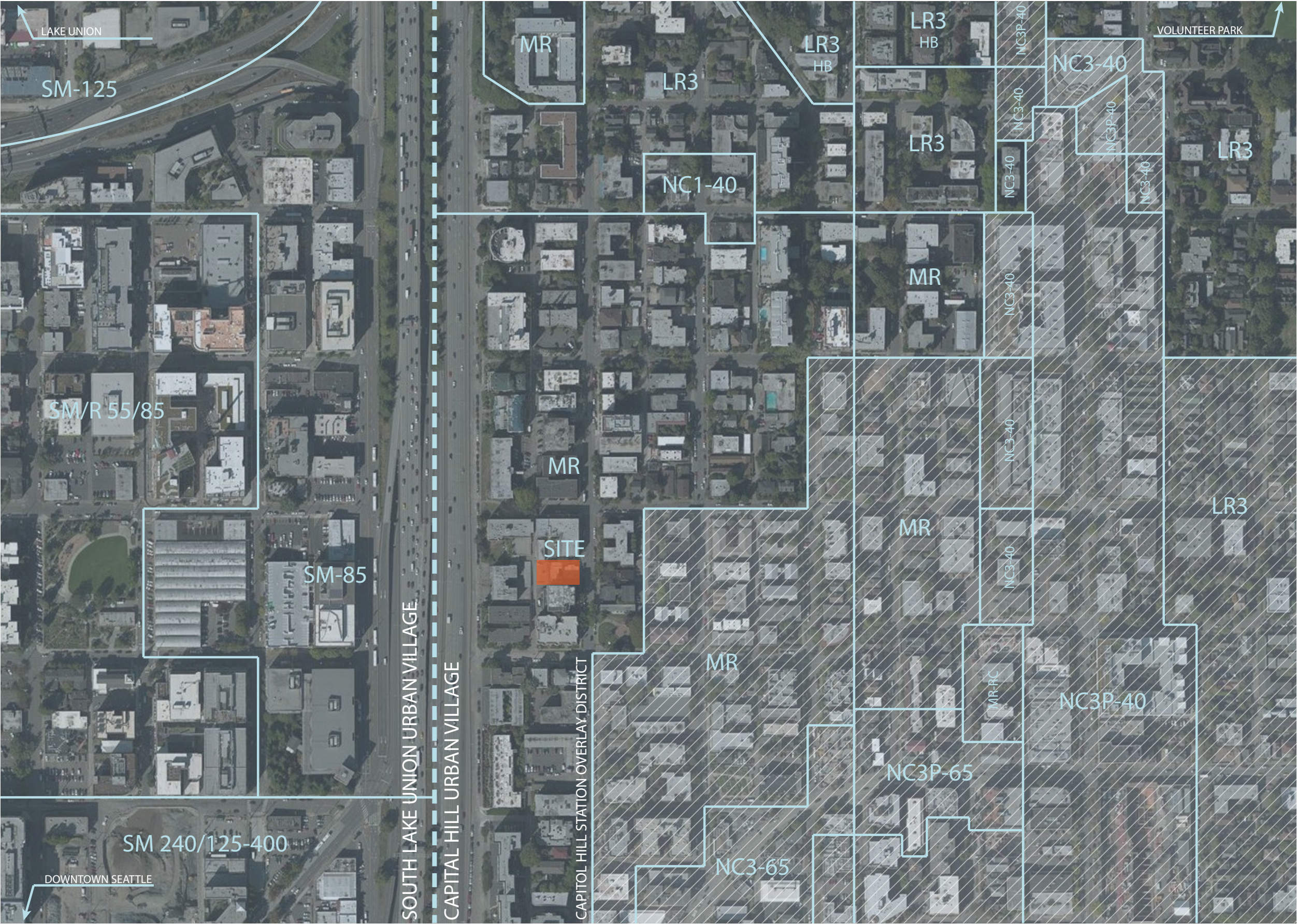
1940s-1960s



1990s



2000s-PRESENT



ZONING

MR, CAPITOL HILL URBAN CENTER VILLAGE
DESIGNATED WEST SLOPE DISTRICT IN NEIGHBORHOOD DESIGN GUIDELINES

23.45.405 - PERMITTED USES

RESIDENTIAL USE PERMITTED OUTRIGHT
GROUND FLOOR COMMERCIAL (RESTAURANT) PERMITTED OUTRIGHT

- RESIDENTIAL (APARTMENTS) & GROUND FLOOR RESTAURANT USE PROPOSED

23.45.510 - FLOOR AREA RATIO

BASE FAR: 3.2 - FOR 7200 SF LOT MAX FLOOR AREA = 23,040 SF
UNDERGROUND STORIES EXEMPT FROM FAR LIMITS

- MAXIMUM PROPOSED FAR = 3.19 (OPTION B)

23.45.514 - STRUCTURE HEIGHT

BASE HEIGHT LIMIT IN MR ZONE: 60 FEET
ADDITIONAL 5 FEET PERMITTED WITH MINIMUM FLOOR TO CEILING HEIGHT OF 9'-0"
ELEVATOR PENTHOUSES PERMITTED 16 FEET ABOVE ALLOWABLE HEIGHT
PARAPETS PERMITTED 4 FEET ABOVE ALLOWABLE HEIGHT

- MAXIMUM PROPOSED ROOF HEIGHT - 65'-0"
- PROPOSED PARAPET HEIGHT - 69'-0"
- MAXIMUM PROPOSED PENTHOUSE HEIGHT - 76'-0"

23.45.518 - SETBACKS REQUIRED

- FRONT: 7 FOOT AVERAGE; 5 FOOT MINIMUM
- SIDE (INTERIOR LOT LINE, BELOW 42'): 7 FOOT AVERAGE; 5 FOOT MINIMUM SIDE (INTERIOR LOT LINE, ABOVE 42'): 10 FOOT AVERAGE; 7 FOOT MINIMUM
- REAR (ALLEY): 10 FEET
- BAY WINDOWS MAY PROJECT 2 FEET INTO SETBACKS IF THEY ARE LESS THAN 5 FEET FROM A LOT LINE, NO MORE THAN 10 FEET WIDE & MAKE UP NO MORE THAN 30% OF FACADE AREA

23.45.522 - AMENITY AREAS REQUIRED

5% OF RESIDENTIAL GROSS FLOOR AREA REQUIRED TO BE AMENITY AREA
MINIMUM 50% OF AMENITY AREA REQUIRED TO BE UNENCLOSED
ANY ENCLOSED AMENITY AREA REQUIRED TO BE PUBLIC AMENITY

- MAXIMUM 22,730 SF PROSED RESIDENTIAL AREA, 1135 SF REQUIRED AMENITY
- MINIMUM PROPOSED AMENITY AREA IS 1370 SF

23.45.524 - LANDSCAPING REQUIREMENTS

GREEN FACTOR OF .5 REQUIRED
STREET TREES REQUIRED

23.54.015 - PARKING REQUIREMENTS

NO PARKING REQUIRED WITHIN URBAN CENTER

- (16) SPACES PROPOSED IN BASEMENT GARAGE

(7) LONG TERM BICYCLE PARKING SPACES REQUIRED

- BICYCLE PARKING PROPOSED IN BASEMENT GARAGE

23.54.040 - SOLID WASTE & RECYCLING

225 SF REQUIRED FOR 25 APARTMENT UNITS
+ 50% OF 82 SF FOR COMMERCIAL USE = 41 SF
TOTAL AREA REQUIRED = 266 SF
MINIMUM REQUIRED WIDTH = 12 FEET

CONTAINERS REQUIRED PER SPU:

- (1) 2-YD RESIDENTIAL RECYCLING
- (1) 96-GAL RESIDENTIAL FOOD WASTE
- (1) 2-YD SHARED GARBAGE
- (1) 1-YD COMMERCIAL RECYCLING
- (1) 96-GAL COMMERCIAL FOOD WASTE
- 220 SF PROPOSED IN (2) FENCED AREAS IN REAR SETBACK WITH DIRECT ALLEY ACCESS



LEGAL DESCRIPTION

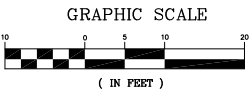
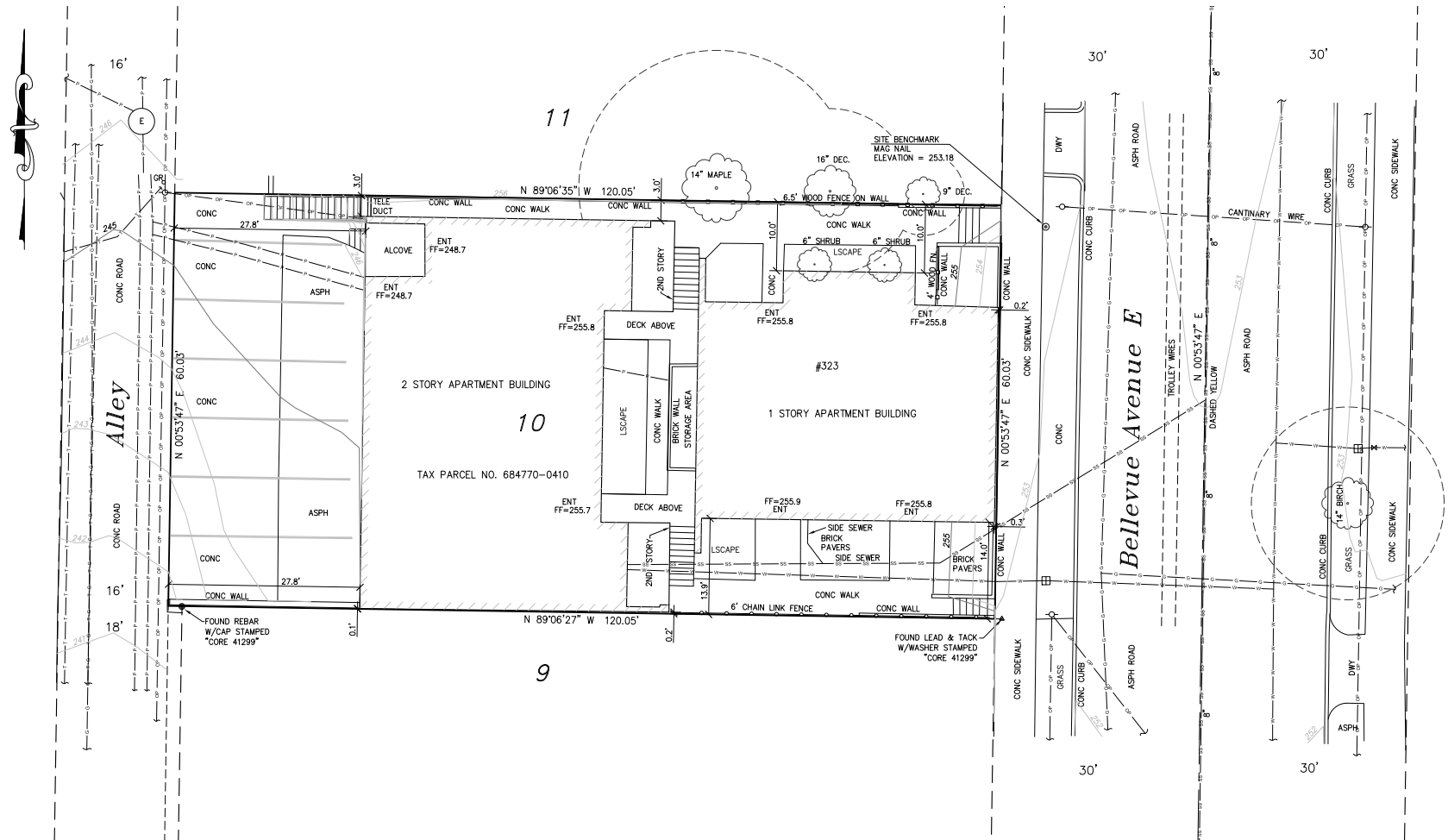
LOT 10, BLOCK 34, PONTIUS ADDITION TO SEATTLE, ACCORDING TO THE PLAT THEREOF
RECORDED IN VOLUME 1 OF PLATS, PAGE 115, IN KING COUNTY, WASHINGTON.
TAX PARCEL NO. 684770-0410

NOTES

1. BASIS OF BEARINGS: THE BEARINGS SHOWN HEREON ARE BASED THE CENTERLINE OF BELLEVUE AVE. E. BETWEEN FOUND MONUMENTS PER CITY ENGINEER'S TILE MAP NO. 334. BEING N 00°53'47" E.
2. VERTICAL DATUM: NAVD 88
3. BENCHMARK: CITY OF SEATTLE 2" DIA. BRASS CAP STAMPED "36634603" AT THE INTERSECTION OF BACK OF CONC WALKS AT THE NW CORNER OF THE INTERSECTION OF BELLEVUE AVE E & E THOMAS ST. ELEVATION = 247.803
4. DATE OF SURVEY: OCTOBER 29 AND 30, 2014
5. EQUIPMENT USED: LEICA TS 12.
6. UTILITIES SHOWN HEREON WERE FROM PHYSICAL STRUCTURES, OR FROM SURFACE PAINT MARKINGS BY A LOCATOR SERVICE. THE LOCATION OF THE SIDE SEWER IS BASED ON THE CITY SEWER CARD AND IT'S LOCATION IS APPROXIMATE.
7. 1' CONTOUR INTERVAL.
8. TOTAL AREA OF PROPERTY: 7206 SQ. FT.

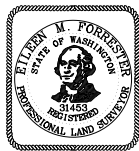
LEGEND

- | | | | |
|-------|--------------------------------|-----|------------------|
| — | BOUNDARY LINE | ⊞ | WATER METER |
| - - - | RIGHT-OF-WAY LINE | ✕ | WATER VALVE |
| —○— | WOOD FENCE | —○— | POWER POLE |
| —○—○— | CHAIN LINK FENCE | ⊗ | GROUND ROD |
| —○—○— | GAS LINE | ⊙ | ELECTRIC MANHOLE |
| —○—○— | SANITARY SEWER LINE | ⊙ | DECIDUOUS TREE |
| —○—○— | UNDERGROUND POWER | | |
| —○—○— | OVERHEAD POWER | | |
| —○—○— | UNDERGROUND COMMUNICATION LINE | | |
| —○—○— | WATER LINE | | |



SURVEYED: KH/JC					
DRAWN: EF					
CHECKED: MP					
REV	REVISION	DATE	BY	APP'D	

True NORTH
LAND SURVEYING, INC.
815 S. Weller Street
Suite 200
Seattle, WA 98104-3023
206.332.0800

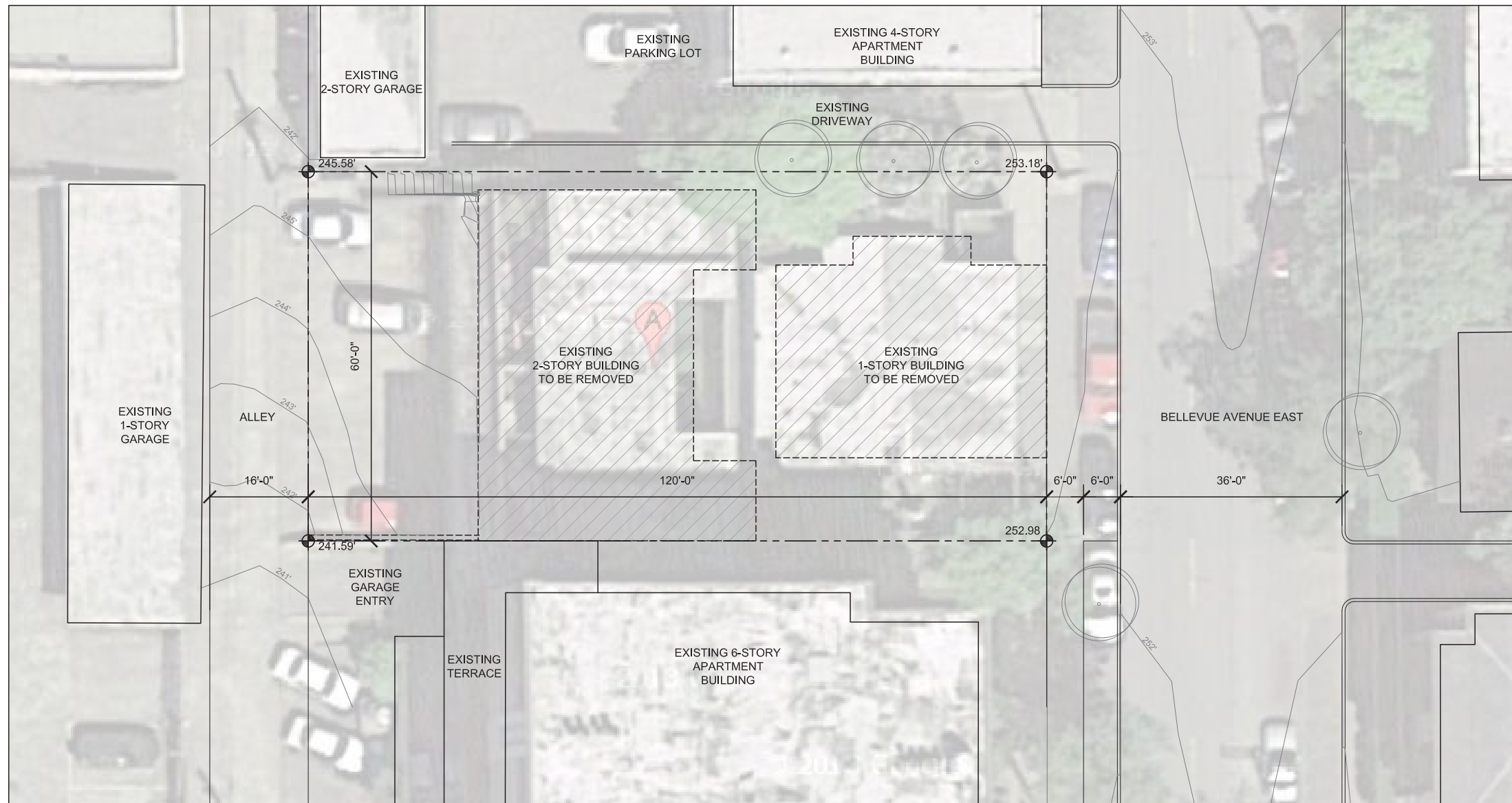


Date:
11-25-14
Scale:
1" = 10'
Book:
J14106.dwg

STERLING APARTMENT BUILDING
Boundary & Topographic Survey
FOR SUNRISE DC, LLC

PORTION OF THE NE 1/4 OF THE SW 1/4 OF SECTION 29, T 25 N, R 4 E, W.M.

Job Number:
J14-106.00
Sheet:
1 of 1



The site is located on the west slope of the Capitol Hill neighborhood at 323 Bellevue Ave E. The site occupies (1) 60' x 120' parcel in the middle of the block between E Harrison Street and E Thomas Street. The site has 60' of frontage on Bellevue Ave E on the west and is served by a 16' wide concrete alley on the east.

The site is level along Bellevue Ave E and slopes approximately 4' from north to south along the alley. There are two existing buildings which sit on level grade approximately 2' above street level. The grade is level to the back of the rear building where it is held by a retaining wall approximately 92' from the east property line. The alley grade is between 8' and 12' below the grade at the existing buildings.

EXISTING SITE PLAN

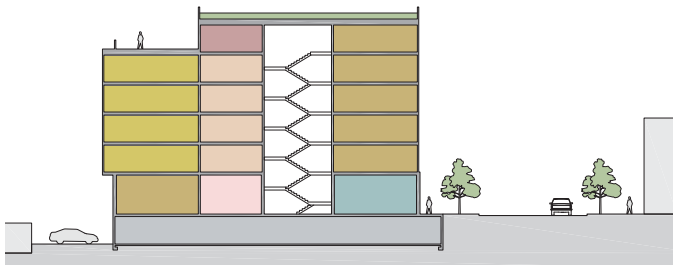




STREET LEVEL RETAIL & SIDEWALK CAFE SEATING



NEW PEDESTRIAN VIEWS THROUGH SITE



GARAGE ENTRY FROM ALLEY

CAPITOL HILL NEIGHBORHOOD PRIORITY DESIGN GUIDELINES MULTI-FAMILY RESIDENTIAL NEIGHBORHOOD

Use facade elements to break down scale & promote pedestrian interest

Structure setbacks

Consolidate access points and avoid curb cuts on residential streets

CS1 - NATURAL SYSTEMS & SITE FEATURES

Use the natural topography and/or other desirable land forms or features to inform the project design.

The project takes advantage of a ten foot drop from street to alley in order to provide parking without disrupting the street-side facade or interrupting the walkability of the pedestrian-scaled neighborhood.

CS2 - URBAN PATTERN & FORM

STREETSCAPE COMPATIBILITY

Capitol Hill Supplemental Guidance

Maintain and enhance the character and function of a mixed-use, pedestrian-oriented urban village.

The project continues a strong but modulating street edge defined by neighboring buildings with varying setbacks and street facades. Opens ground-floor uses to public realm through storefront windows, patio seating, and pedestrian-scaled canopies.

ii. Provide street trees with tree grates or in planter strips, using appropriate species to provide summer shade, winter light, and year-round visual interest.

The project provides new street trees to fill a gap in the existing street pattern.

iii. Vehicle entrances to buildings should not dominate the streetscape.

The project avoids interruption to pedestrian realm by locating vehicular access in the alley.

RELATIONSHIP TO THE BLOCK

Mid-Block Sites: Look to the uses and scales of adjacent buildings for clues about how to design a mid-block building. Continue a strong street-edge where it is already present, and respond to datum lines created by adjacent buildings at the first three floors. Where adjacent properties are undeveloped or underdeveloped, design the party walls to provide visual interest through materials, color, texture, or other means.

The project maintains the modulation of the street edge and opens to the sidewalk with pedestrian-scaled canopies and patio seating.

HEIGHT, BULK & SCALE

Capitol Hill Supplemental Guidance

i. Break up building mass by incorporating different facade treatments to give the impression of multiple, small-scale buildings, in keeping with the established development pattern.

The project is broken up visually by bay windows on the upper stories and varying window patterns at the ground level. The base and upper stories are separated by pedestrian scaled canopies and set apart by differing materials.

ii. Consider existing views to downtown Seattle, the Space Needle, Elliott Bay and the Olympic Mountains, and incorporate site and building design features that may help to preserve those views from public rights-of-way.

The project replaces a structure that was built without side setbacks with one that sets back further than required from the north property line, opening previously blocked pocket views of downtown, Seattle Center and the Olympic Mountains at the pedestrian level. New planters with native plants enhance these views.

CS3 - ARCHITECTURAL CONTEXT & CHARACTER

ARCHITECTURAL CONCEPT & CONSISTENCY

Capitol Hill Supplemental Guidance

iv. Use materials and design that are compatible with the structures in the vicinity if those represent the desired neighborhood character.

The contemporary design of the project continues a neighborhood pattern of apartment buildings that represent the time periods of their construction. A brick facade at street level maintains a material connection to the neighborhood.

PL2 - WALKABILITY

HUMAN SCALE

Capitol Hill Supplemental Guidance

Create a safe and comfortable walking environment that is easy to navigate and well-connected to existing pedestrian walkways and features.

The project provides pedestrian scaled building elements and entrances, and patio seating and clear glazing to connect ground-floor uses to the pedestrian realm.



ENTRY CANOPIES & SOFFIT LIGHTING



CONNECTION BETWEEN INTERIOR & EXTERIOR



DARK BRICK BASE

OPEN SPACES & ENTRANCES

Capitol Hill Supplemental Guidance

Maintain and enhance pedestrian scale, activity and comfort.

The restaurant/coffee shop and patio promote pedestrian activity and interaction, and the residential entrance is clearly marked by planters, signage and lighting while maintaining the privacy of the entry and separation from commercial spaces. Vehicular access is from the alley only, and does not interrupt the flow of pedestrian activity along the street.

SAFETY & SECURITY

Capitol Hill Supplemental Guidance

Consider pedestrian-scale lighting, but prevent light spillover onto adjacent properties; architectural lighting to complement the architecture of the structure; and transparent windows allowing views into and out of the structure—thus incorporating the “eyes on the street” design approach.

The restaurant/coffee shop provides eyes on the street and an active pedestrian zone, and canopies at all building entrances provide opportunities for well-lit entries.

PL3 - STREET-LEVEL INTERACTION

HUMAN ACTIVITY

Capitol Hill Supplemental Guidance

Maintain and enhance the character and function of a mixed-use, pedestrian-oriented urban village.

The proposed commercial space will provide space for outdoor seating at street level while maintaining pedestrian flow. Clear storefront windows offer pedestrian views to the restaurant/coffee shop activities inside.

DC3 - OPEN SPACE CONCEPT

LANDSCAPE DESIGN

Capitol Hill Supplemental Guidance

Maintain or enhance the character and aesthetic qualities of neighborhood development to provide for consistent streetscape character along a corridor.

Supplement and complement existing mature street trees where feasible.

Incorporate street trees in both commercial and residential environments in addition to trees on site.

Consider commercial landscape treatments that include street trees.

The project includes new street trees and planting strip that continue the pattern of street trees on adjacent properties.

DC4 - EXTERIOR ELEMENTS & FINISHES

EXTERIOR FINISH MATERIALS

Capitol Hill Supplemental Guidance

Use materials that are consistent with the existing or intended neighborhood character, including brick, cast stone, architectural stone, terracotta details, and concrete that incorporates texture and color.

Consider each building as a high-quality, long-term addition to the neighborhood; exterior design and materials should exhibit permanence and quality appropriate to the Capitol Hill neighborhood.

The primary ground floor material will be dark brick, which provides a material connection with the surrounding neighborhood and anchors the building.

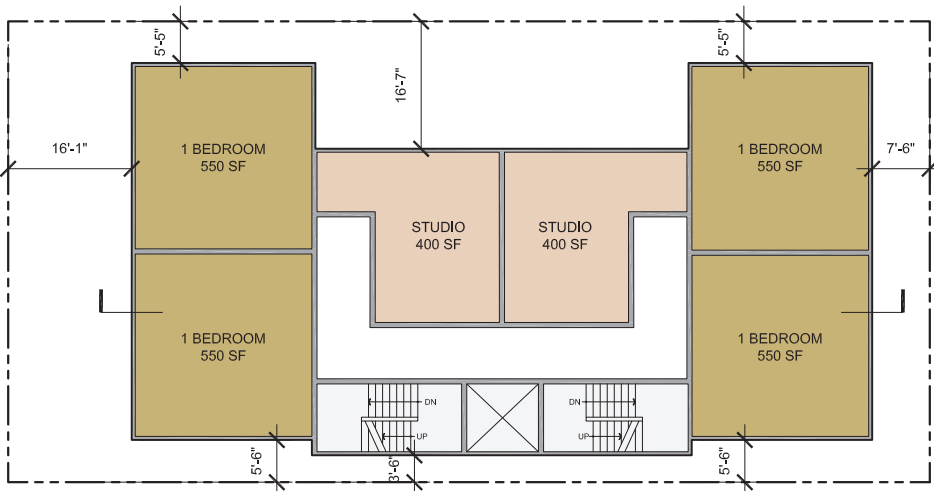
The metal panels proposed for the upper levels represent a color palette that is responsive to the existing neighborhood while maintaining a contemporary aesthetic.



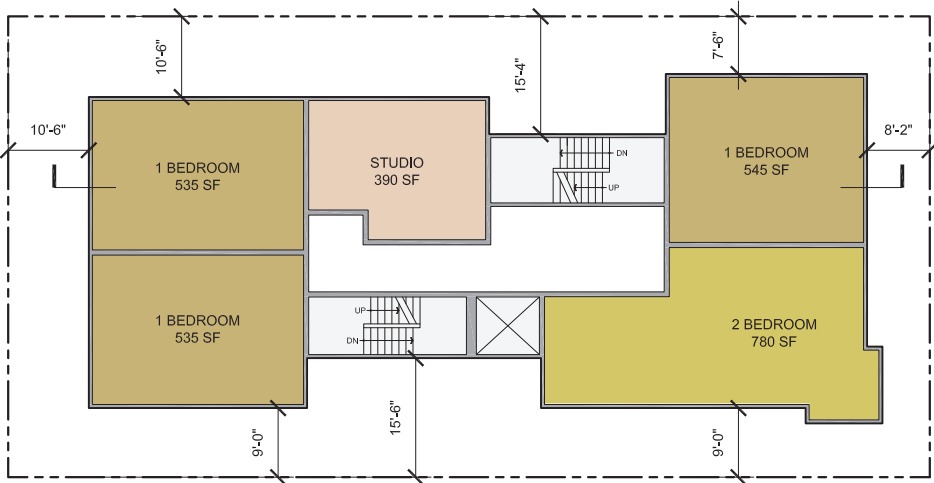
BRICK & METAL PANELS



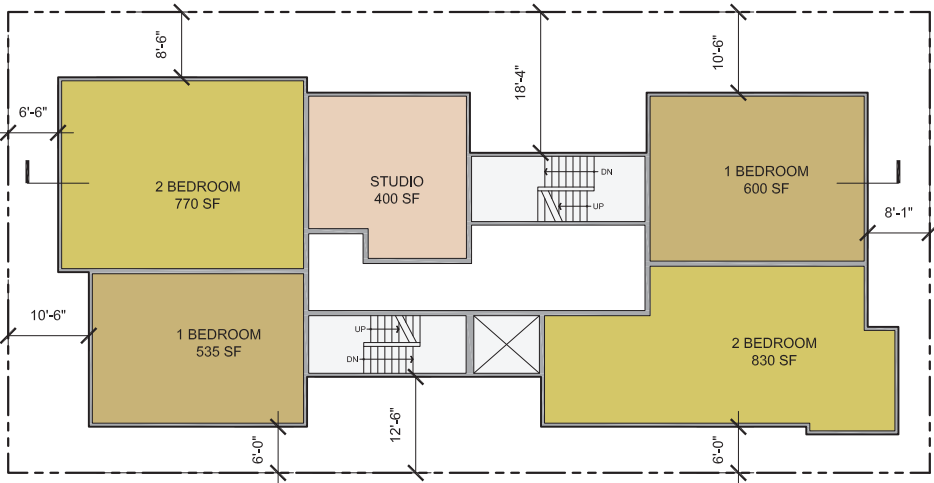
- Amenity
- Lobby
- Parking
- Commercial
- Green Roof
- Roof Deck
- 1 Bedroom
- 2 Bedroom
- Studio



MASSING OPTION A - TYPICAL RESIDENTIAL FLOOR PLAN



MASSING OPTION B - TYPICAL RESIDENTIAL FLOOR PLAN



MASSING OPTION C - TYPICAL RESIDENTIAL FLOOR PLAN



MASSING OPTION A - HORSESHOE FLOOR PLAN

29 UNITS - (8) STUDIO, (21) 1-BEDROOM
NO RESTAURANT
PARKING FOR 16 VEHICLES IN BASEMENT GARAGE
FAR: 3.16
TOTAL GSF ABOVE GRADE: 22,730
TOTAL AMENITY AREA: 1630 SF (1110 SF ROOF DECK)

Pros:

- Roof line steps down with hill & respects lower neighboring buildings
- Penthouse located on south edge of roof
- Building mass steps back from alley above garage level
- Enclosed parking garage with alley access

Cons:

- Monolithic street presence
- Least variety of unit types
- Limited stairwell access to light & air
- No pedestrian views through property
- Limited privacy for residential entrance
- Departures required for north and south setbacks

Departures:

- North & South side setbacks



MASSING OPTION B - TWIST FLOOR PLAN

25 UNITS - (5) STUDIO, (15) 1-BEDROOM, (5) 2-BEDROOM
1600 SF RESTAURANT
PARKING FOR 16 VEHICLES IN BASEMENT GARAGE
FAR: 3.19
TOTAL GSF ABOVE GRADE: 22,985
TOTAL AMENITY AREA: 1370 SF (715 SF ROOF DECK)

Pros:

- Street-level restaurant enhances pedestrian experience
- Setbacks from north & south property lines allow for pedestrian views through site
- Secure & private residential entry on north side
- Variety of unit types
- Corner bay windows modulate street facade
- Daylit central stair encourages tenant activity & health
- Enclosed parking garage with alley access

Cons:

- Continuous height for entire building mass
- Full-height stair penthouse on north side casts larger shadows on neighboring properties
- Roof deck limited by building code

Departures:

- None



MASSING OPTION C - STEPPED TWIST FLOOR PLAN PREFERRED OPTION

24 UNITS - (5) STUDIO, (10) 1-BEDROOM, (9) 2-BEDROOM
1600 SF RESTAURANT
PARKING FOR 16 VEHICLES IN BASEMENT GARAGE
FAR: 3.17
TOTAL GSF ABOVE GRADE: 22,820
TOTAL AMENITY AREA: 1450 SF (1175 SF ROOF DECK)

Pros:

- Street-level restaurant enhances pedestrian experience
- Increased setback from north property line allows for pedestrian views through site to Space Needle & Olympic Mountains beyond
- Generous secure & private residential entry on north side
- Greatest variety of unit types
- Large bay windows articulate the stepped setbacks between neighboring buildings & modulate the street facade
- Daylit central stair encourages tenant activity & health
- Roof line steps down with hill & respects lower neighboring buildings
- Enclosed amenity area at roof deck level allows all tenants to share the best views
- Penthouse located on south edge of roof
- Enclosed parking garage with alley access

Cons:

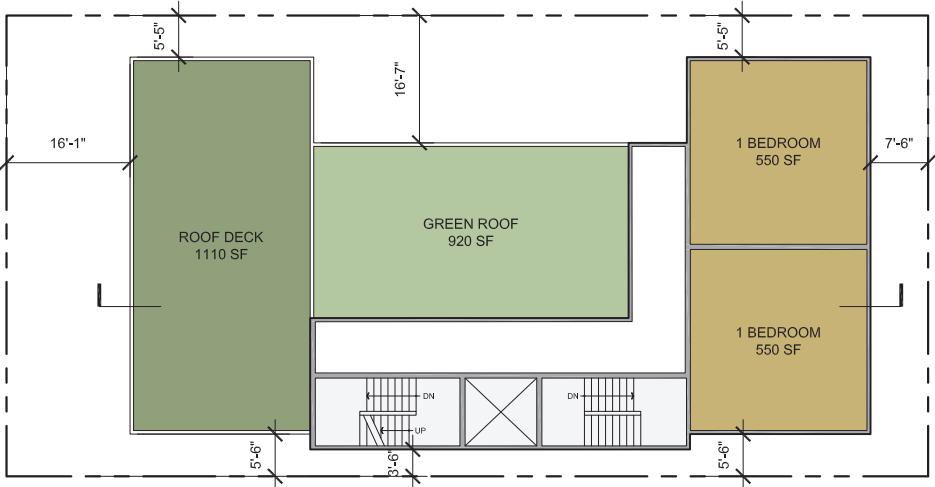
- Departures required for south setback, and east and west setbacks for upper level bay windows

Departures:

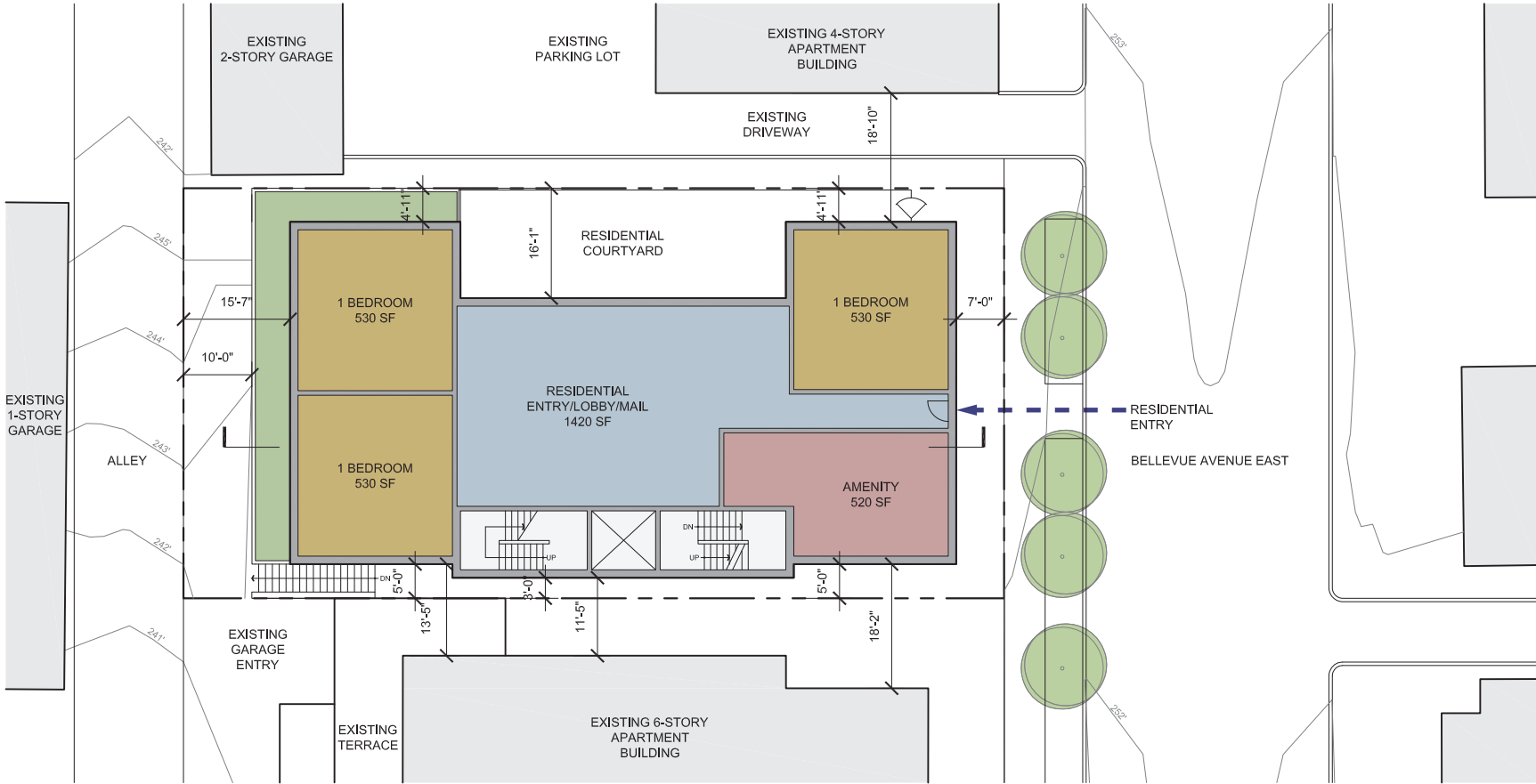
- Alley setback for floors 2-5 (beginning 22' above alley)
- Front setback for floors 2-6
- South side setback (neighboring building has blank north wall)



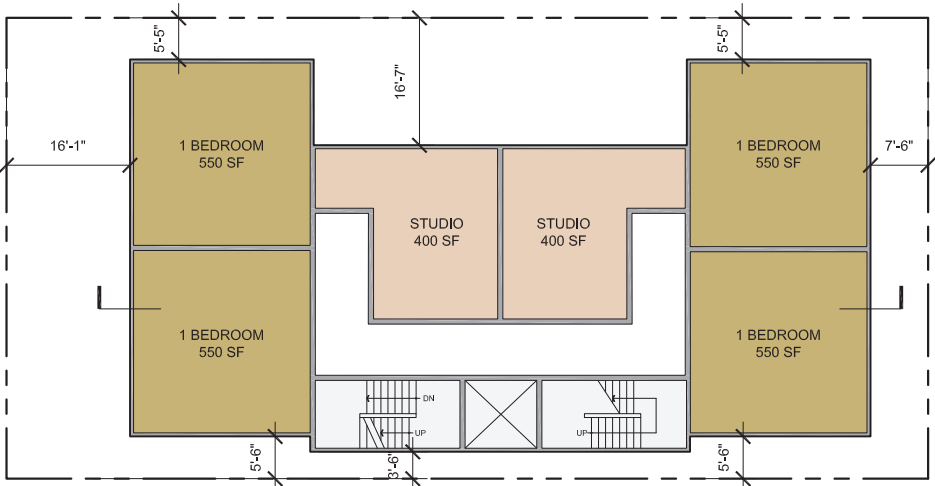
HORSESHOE FLOOR PLAN
29 UNITS - (8) STUDIO, (21) 1-BEDROOM
NO RESTAURANT
PARKING FOR 16 VEHICLES IN BASEMENT GARAGE
FAR: 3.16
TOTAL GSF ABOVE GRADE: 22,730
TOTAL AMENITY AREA: 1630 SF (1110 SF ROOF DECK)



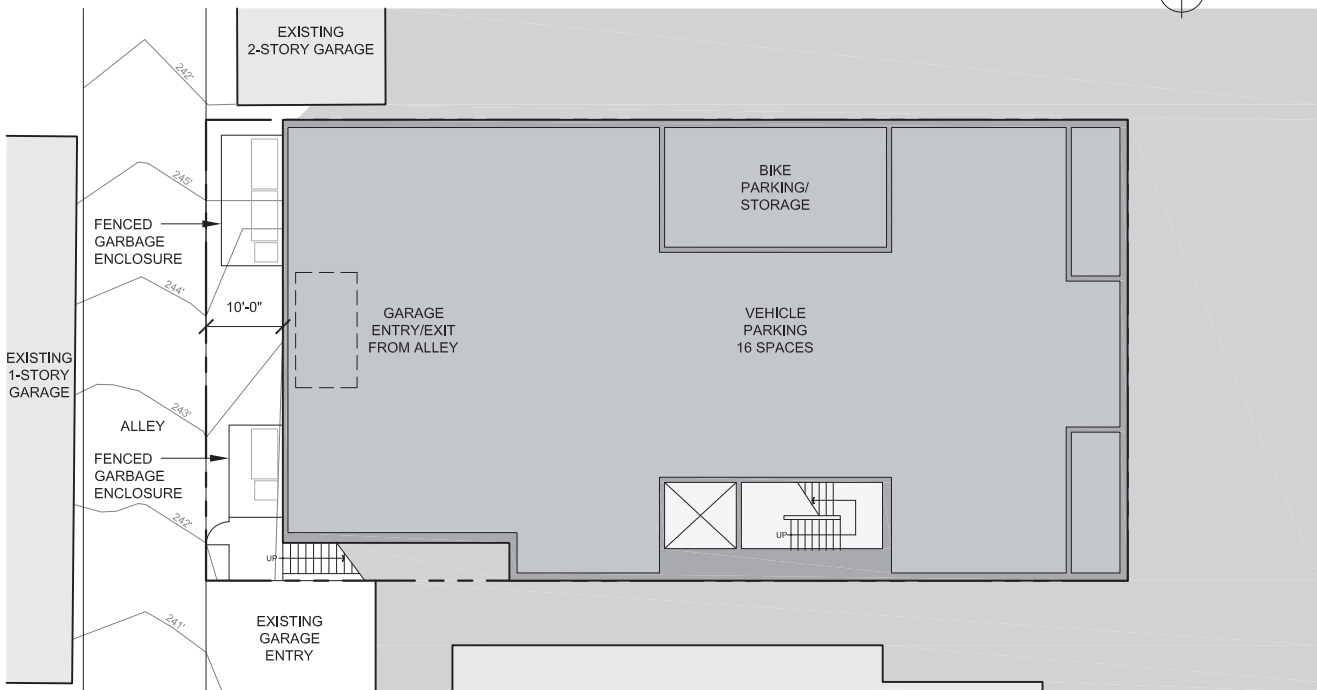
LEVEL 6/ROOF DECK PLAN



GROUND FLOOR/SITE PLAN



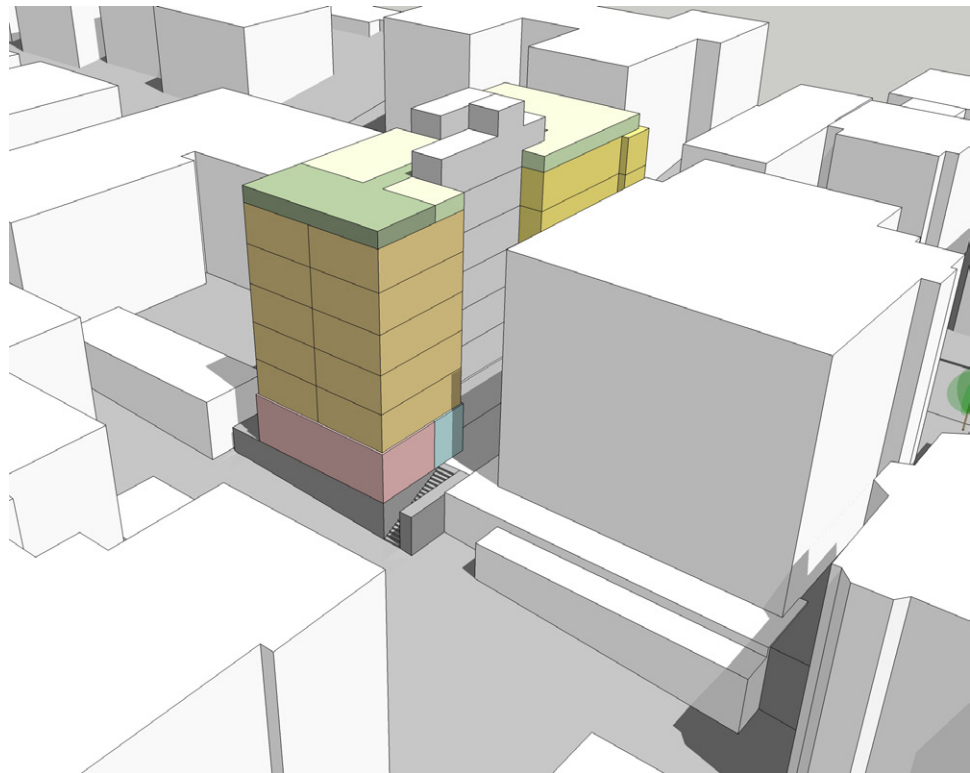
TYPICAL APARTMENT FLOOR PLAN
LEVELS 2-5



BASEMENT PLAN



- Amenity
- Lobby
- Parking
- Commercial
- Green Roof
- Roof Deck
- 1 Bedroom
- 2 Bedroom
- Studio



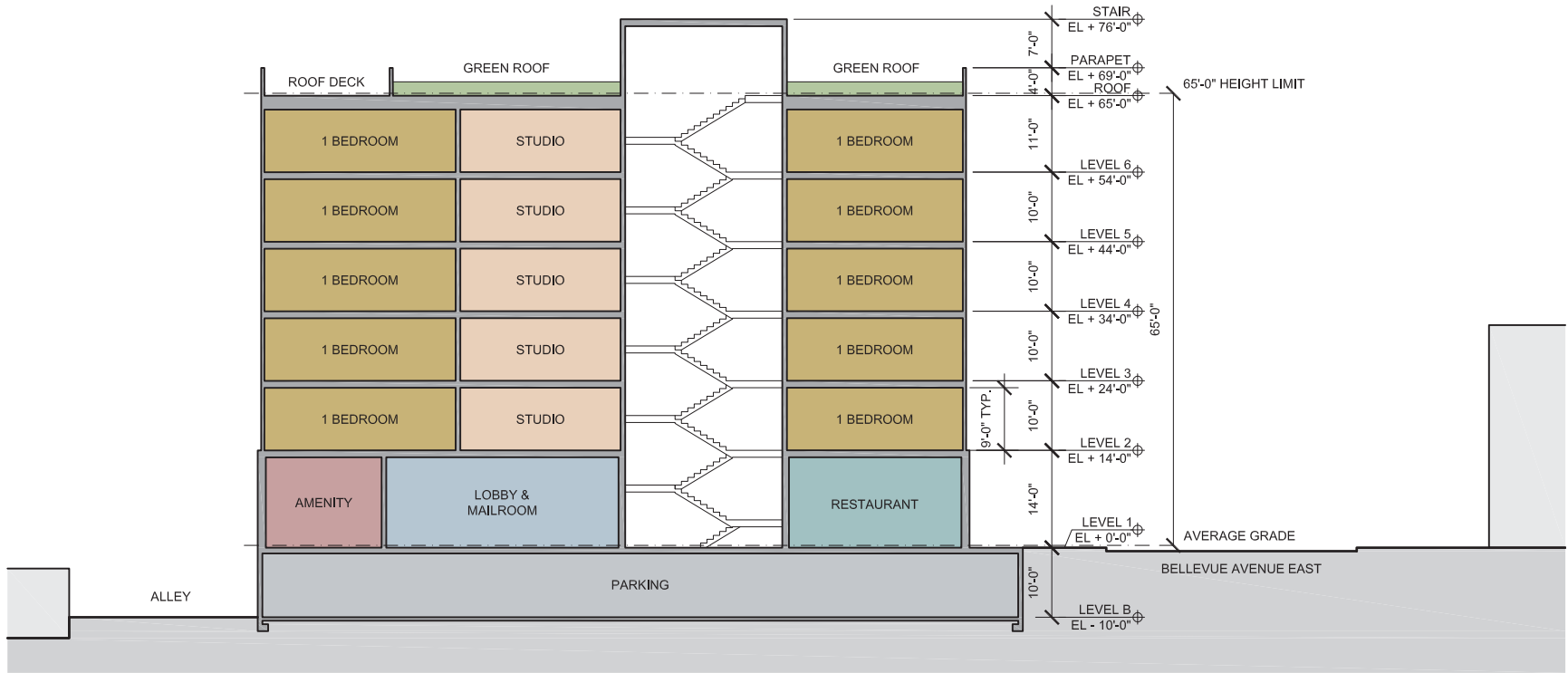
VIEW FROM SOUTHWEST



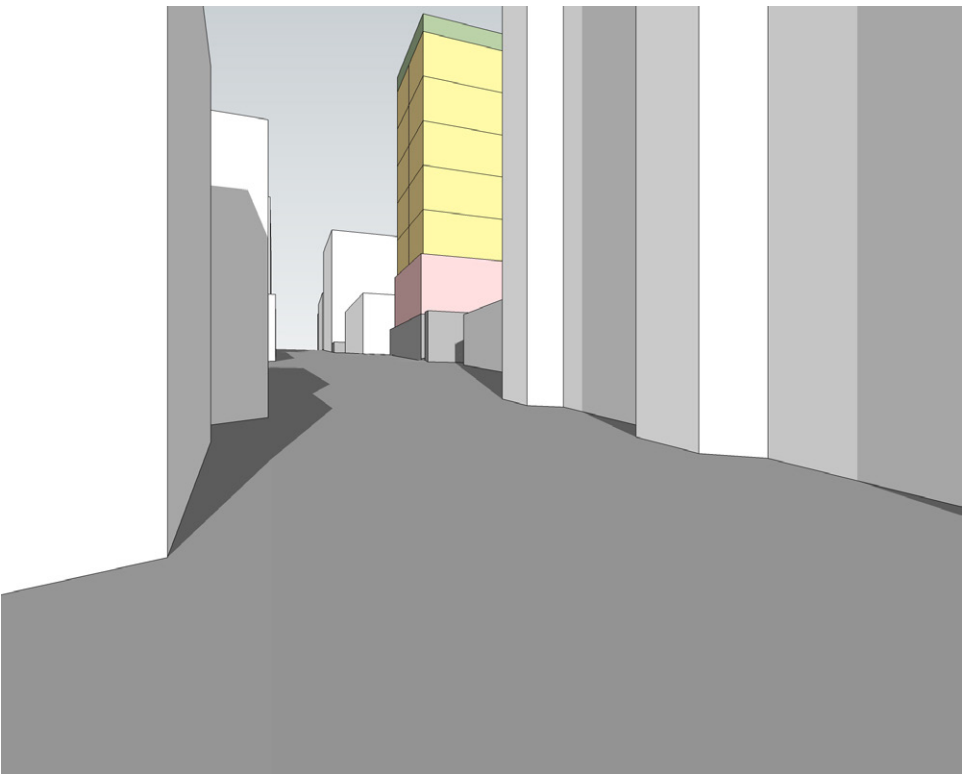
VIEW FROM NORTHEAST



BELLEVUE AVENUE EAST LOOKING SOUTH

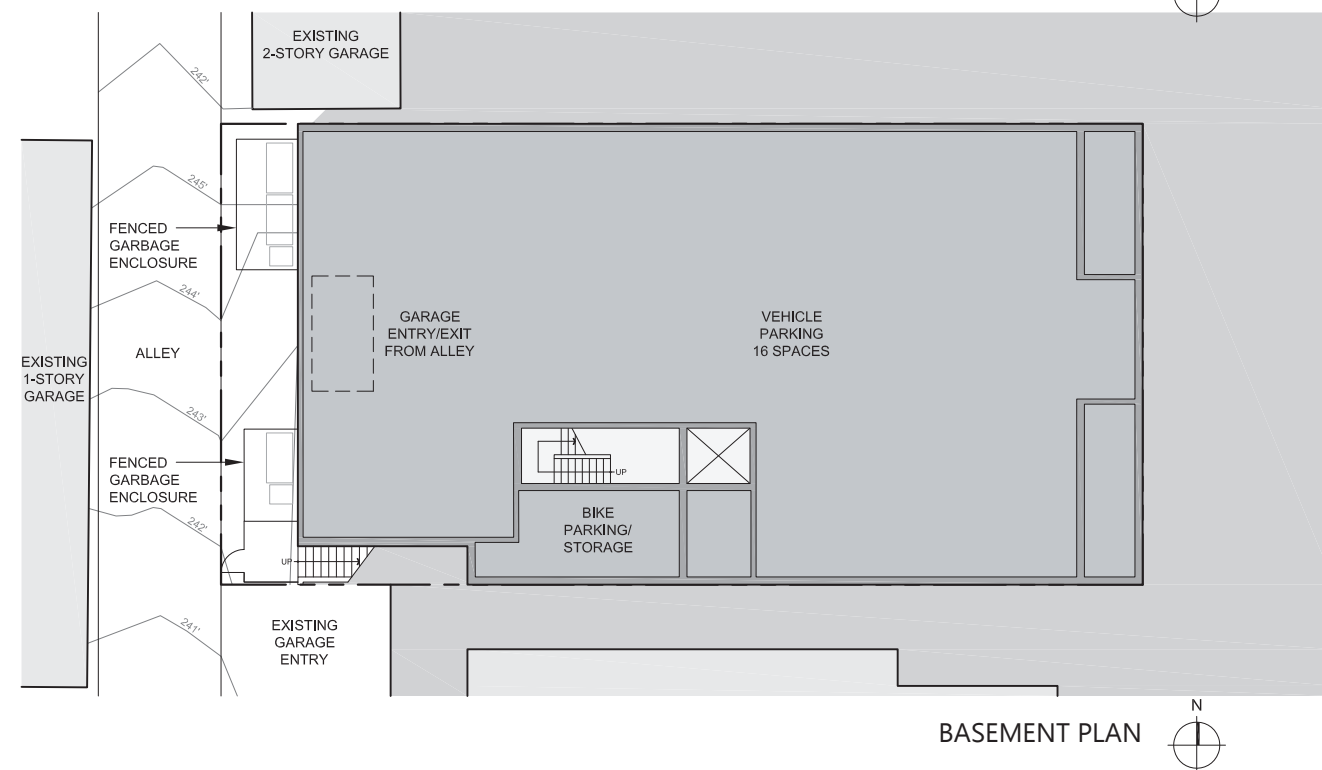
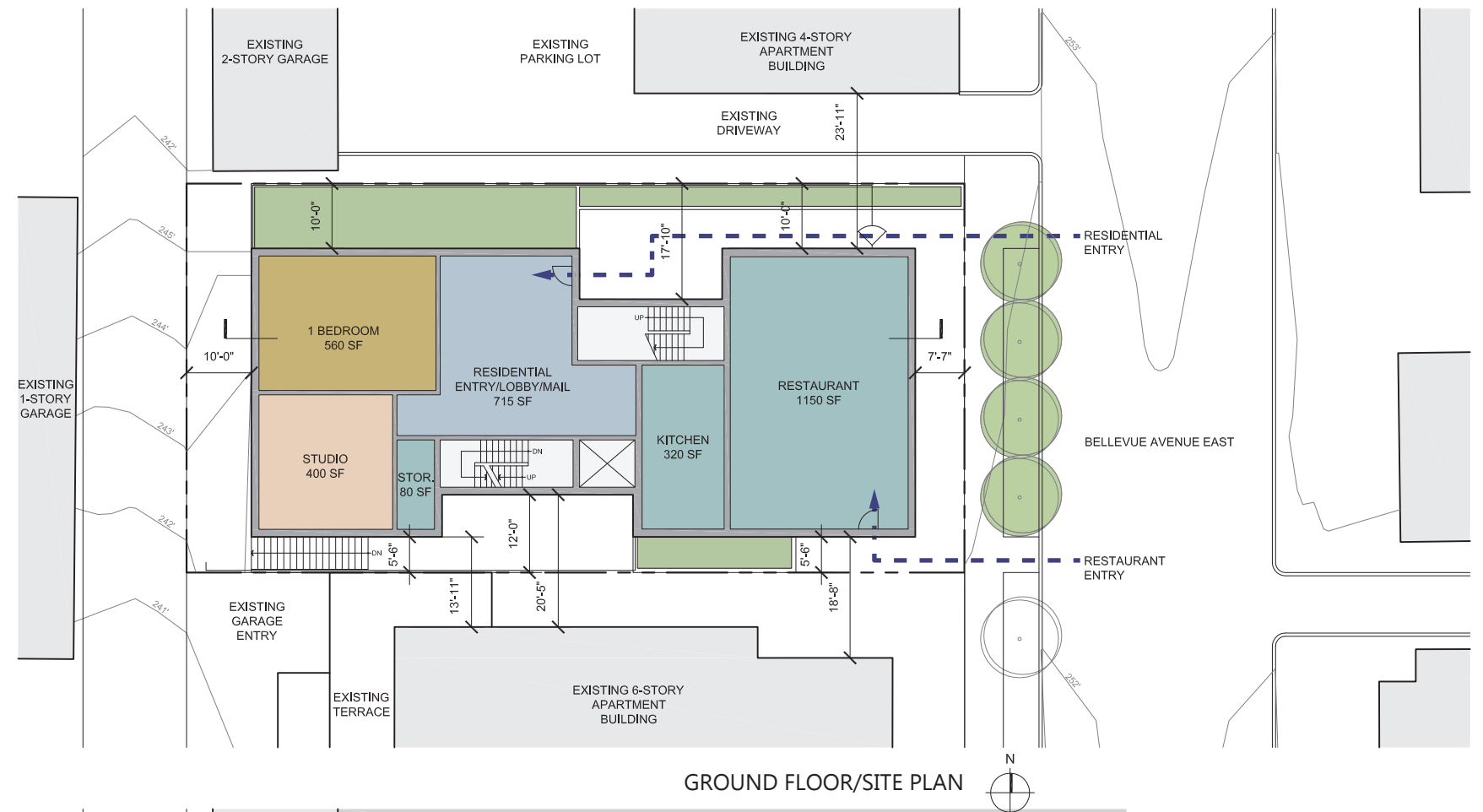
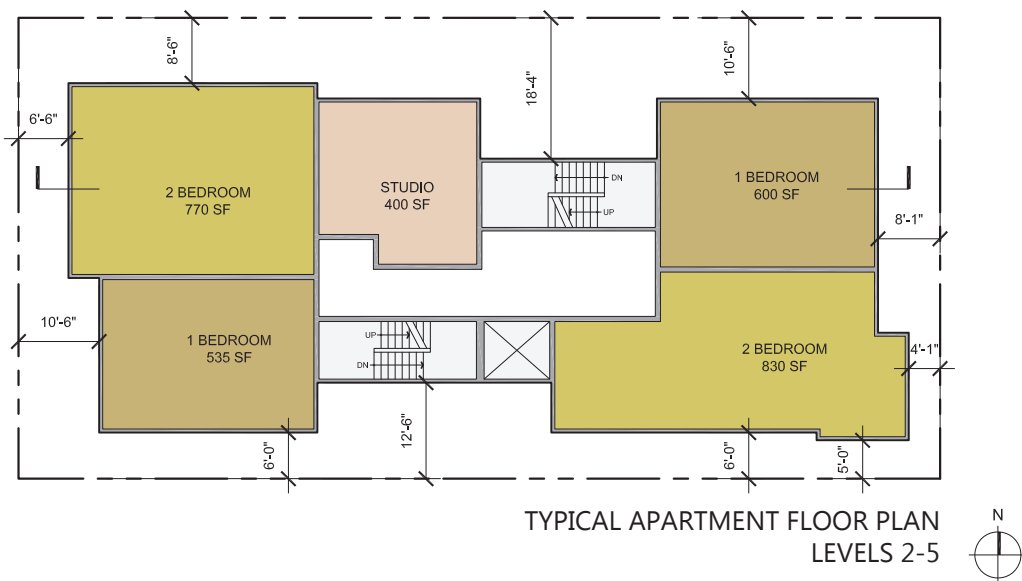
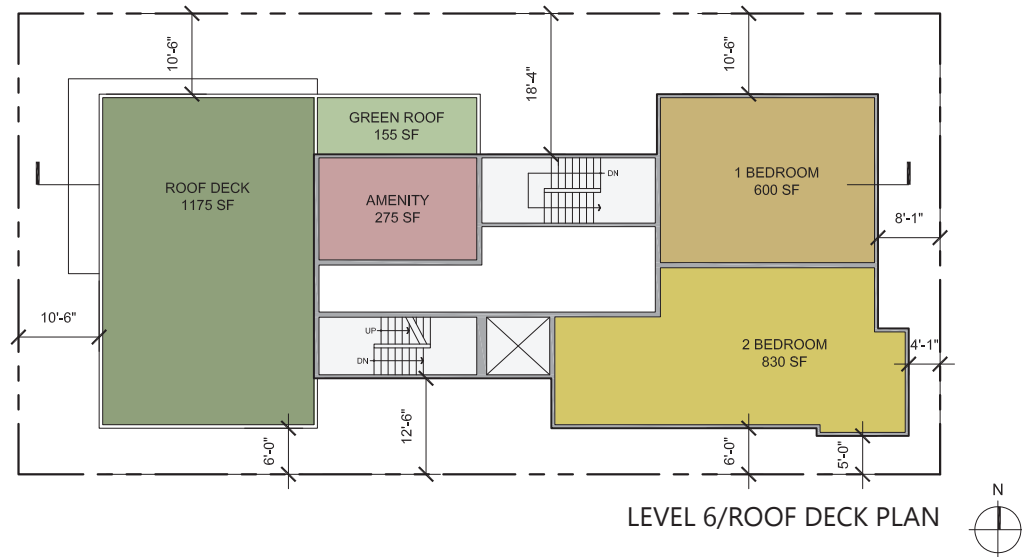


BUILDING SECTION

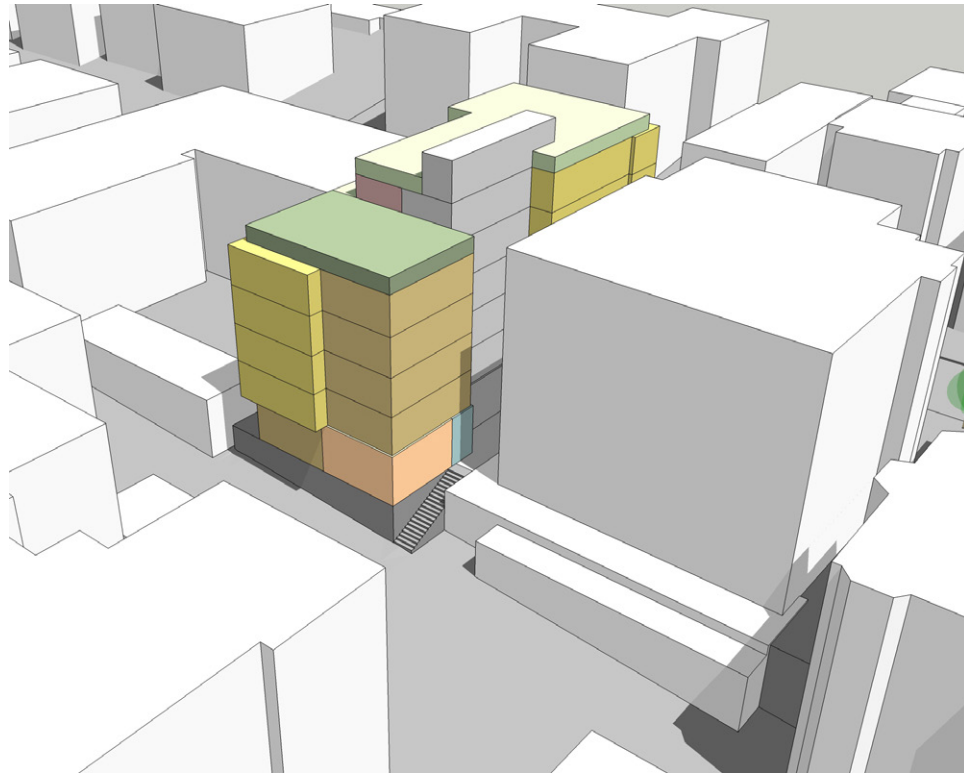


ALLEY LOOKING NORTH

STEPPED TWIST FLOOR PLAN (PREFERRED)
24 UNITS - (5) STUDIO, (10) 1-BEDROOM, (9) 2-BEDROOM
1600 SF RESTAURANT
PARKING FOR 16 VEHICLES IN BASEMENT GARAGE
FAR: 3.17
TOTAL GSF ABOVE GRADE: 22,820
TOTAL AMENITY AREA: 1450 SF (1175 SF ROOF DECK)



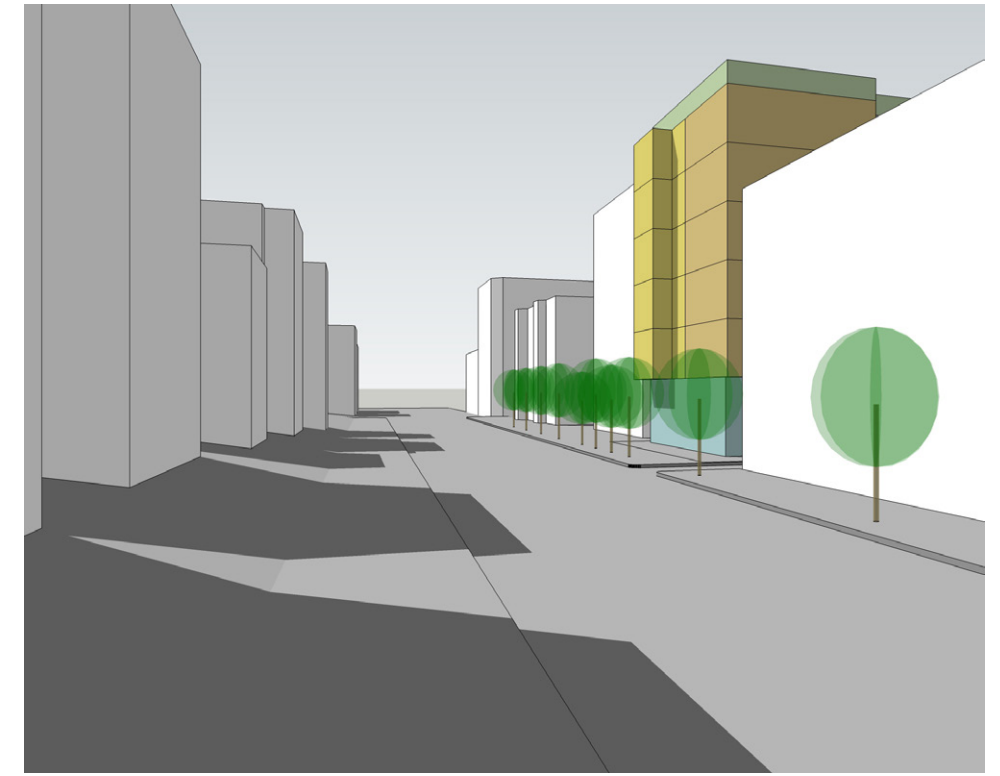
- Amenity
- Lobby
- Parking
- Commercial
- Green Roof
- Roof Deck
- 1 Bedroom
- 2 Bedroom
- Studio



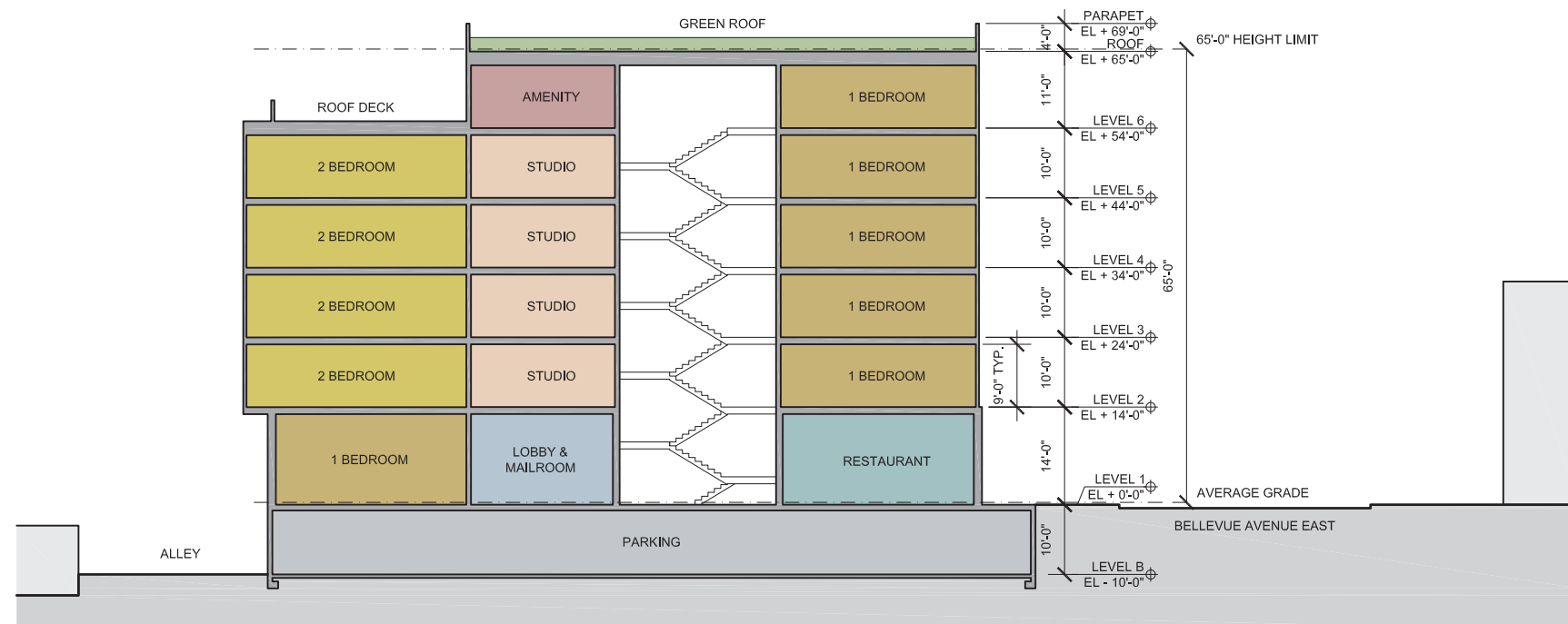
VIEW FROM SOUTHWEST



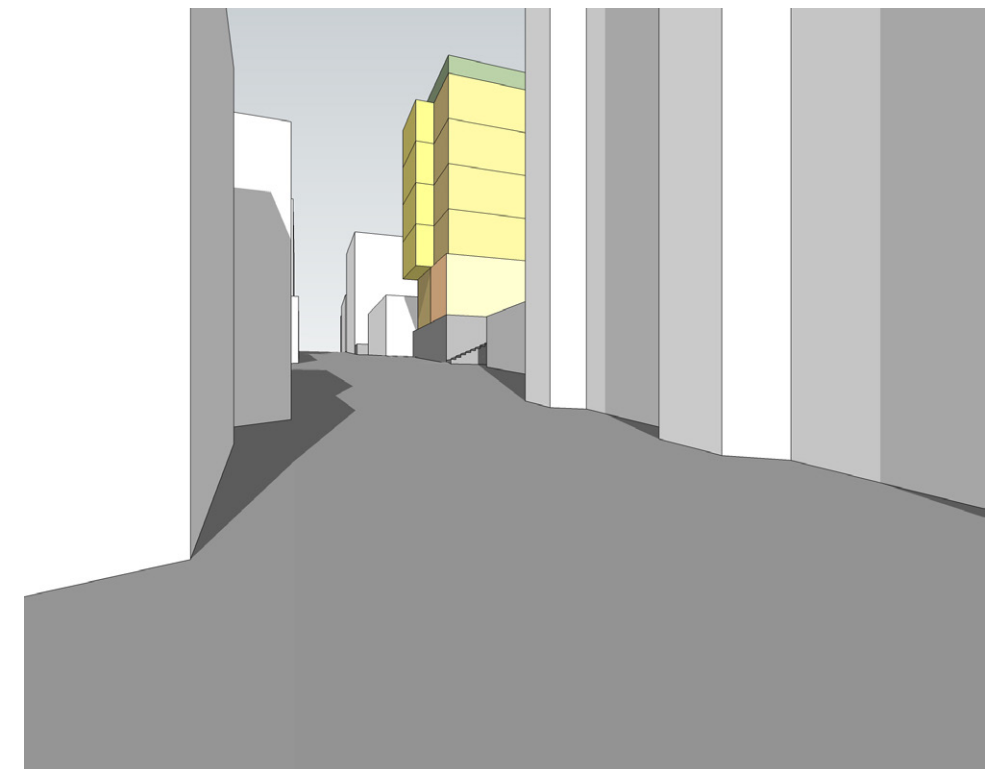
VIEW FROM NORTHEAST



BELLEVUE AVENUE EAST LOOKING SOUTH



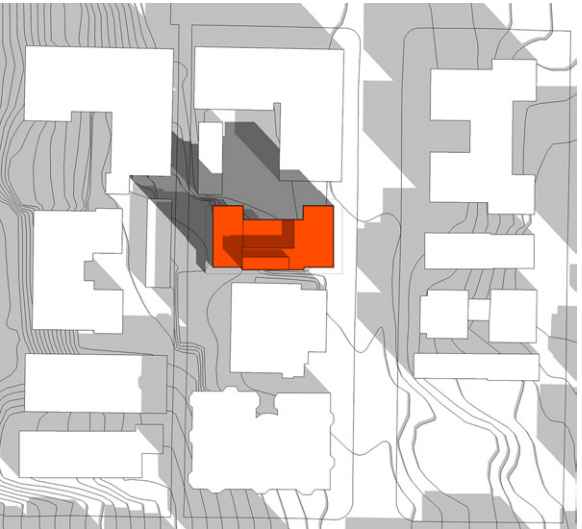
BUILDING SECTION



ALLEY LOOKING NORTH



EQUINOX
SEPTEMBER 21/MARCH 21



10 AM

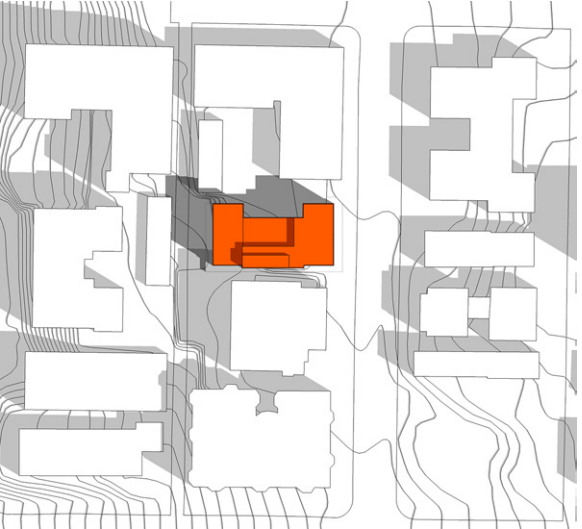


NOON

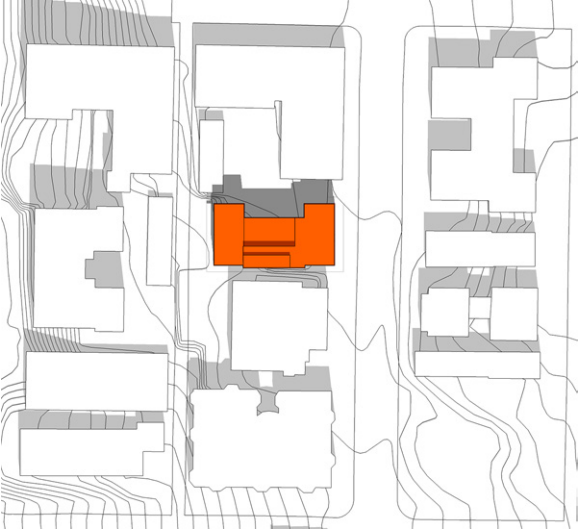


2 PM

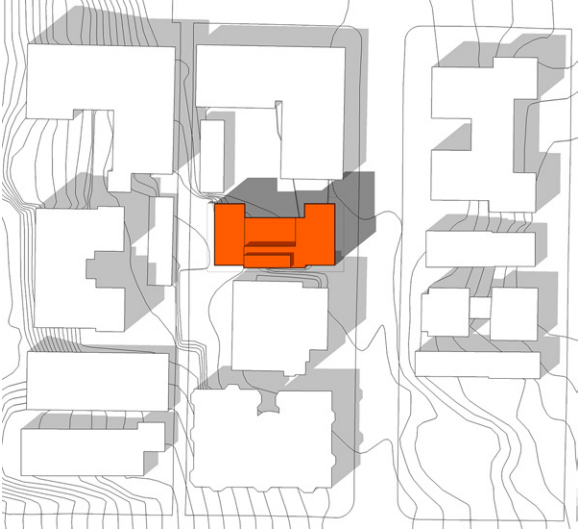
SUMMER SOLSTICE
JUNE 21



10 AM



NOON



2 PM

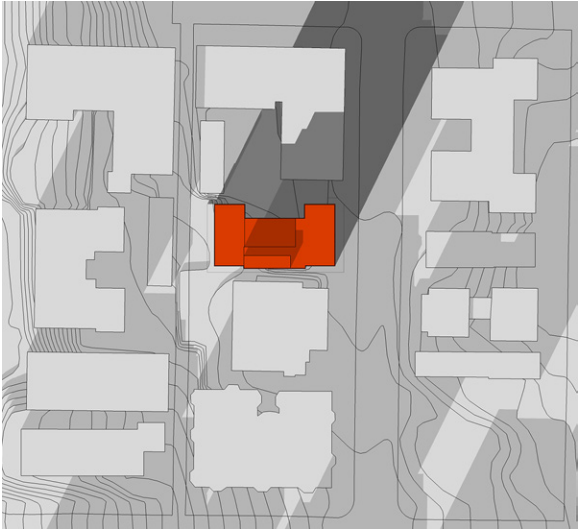
WINTER SOLSTICE
DECEMBER 21



10 AM



NOON



2 PM



EQUINOX
SEPTEMBER 21/MARCH 21



10 AM



NOON



2 PM

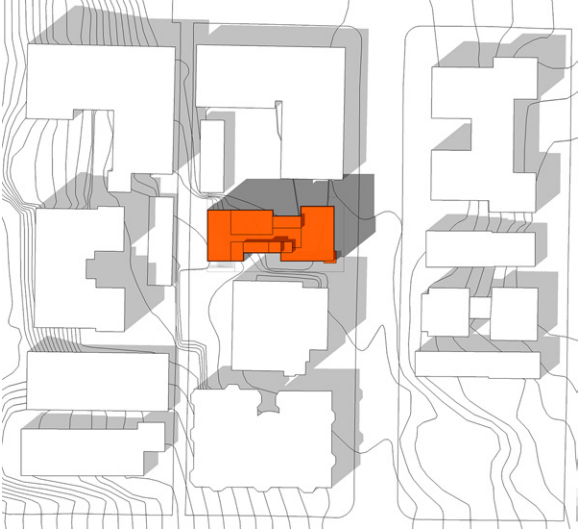
SUMMER SOLSTICE
JUNE 21



10 AM



NOON



2 PM

WINTER SOLSTICE
DECEMBER 21



10 AM



NOON



2 PM



EQUINOX
SEPTEMBER 21/MARCH 21



10 AM

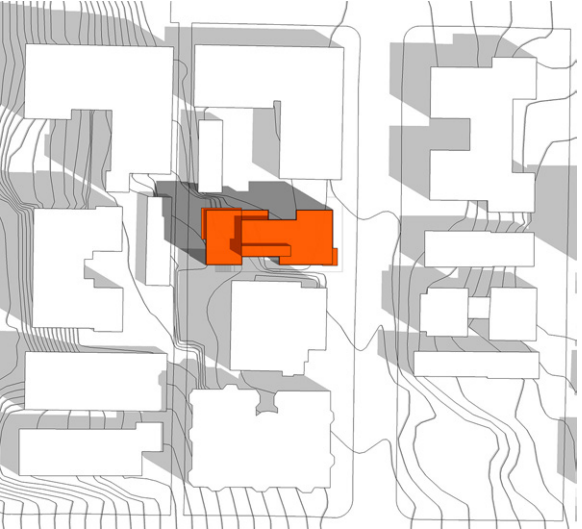


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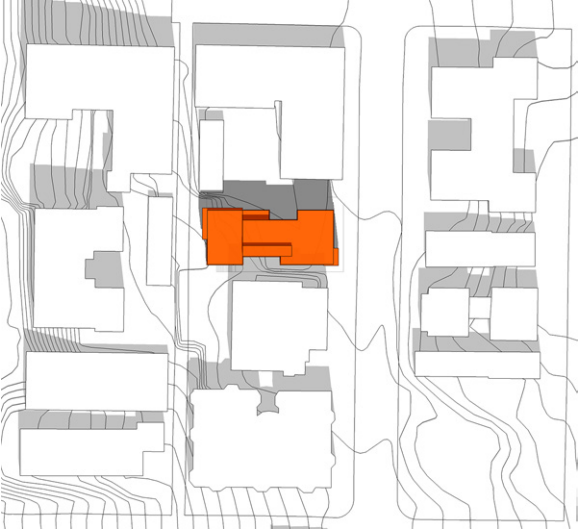


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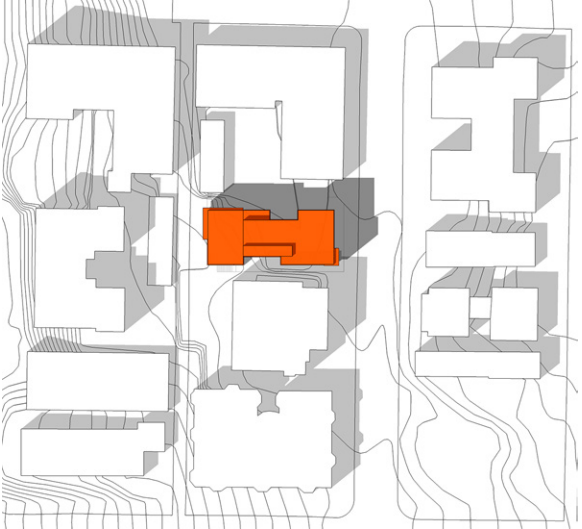
SUMMER SOLSTICE
JUNE 21



10 AM



NOON



2 PM

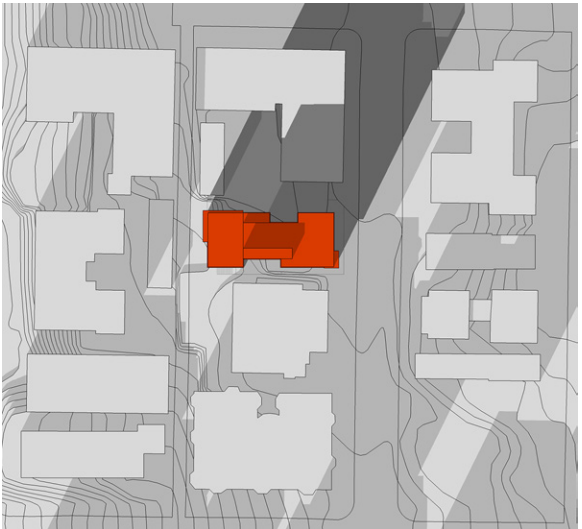
WINTER SOLSTICE
DECEMBER 21



10 AM



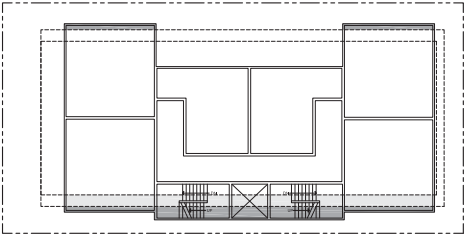
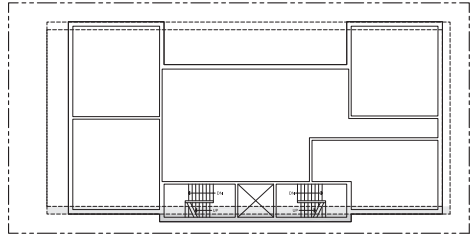
NOON



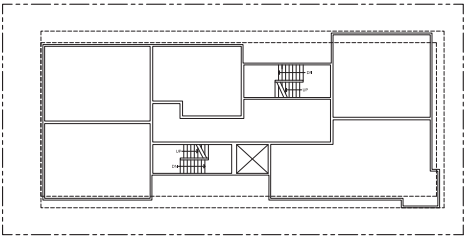
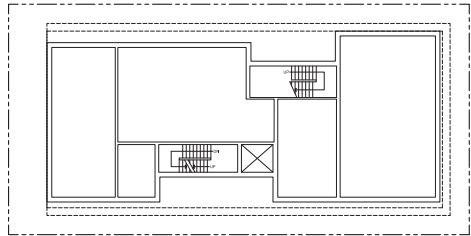
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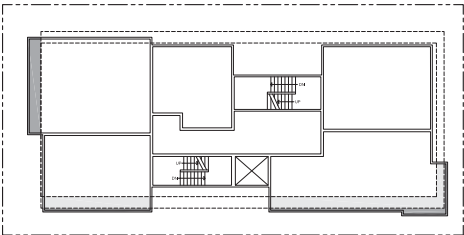
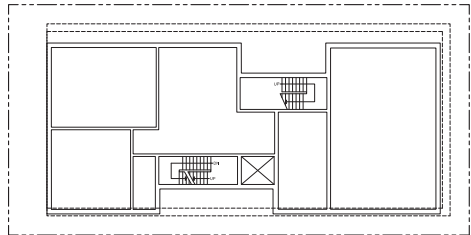
DEPARTURES	OPTION A
REAR SETBACK	COMPLIANT
SIDE SETBACK BELOW 42'	DEPARTURE REQUESTED
SIDE SETBACK ABOVE 42'	DEPARTURE REQUESTED
FRONT SETBACK	COMPLIANT



DEPARTURES	OPTION B
REAR SETBACK	COMPLIANT
SIDE SETBACK BELOW 42'	COMPLIANT BASED ON AVG
SIDE SETBACK ABOVE 42'	COMPLIANT BASED ON AVG
FRONT SETBACK	COMPLIANT BASED ON AVG



DEPARTURES	OPTION C (PREFERRED)
REAR SETBACK	DEPARTURE REQUESTED
SIDE SETBACK BELOW 42'	COMPLIANT BASED ON AVG
SIDE SETBACK ABOVE 42'	DEPARTURE REQUESTED
FRONT SETBACK	DEPARTURE REQUESTED



MR ZONING CODE	REQUIREMENT	DEPARTURE REQUESTED	REASON FOR DEPARTURE
REAR SETBACK	<ul style="list-style-type: none">10'-0" from rear lot line that abuts an alley	<p>OPTION A</p> <ul style="list-style-type: none">none <p>OPTION B</p> <ul style="list-style-type: none">none <p>OPTION C</p> <ul style="list-style-type: none">10'-0" at alley level6'-6" minimum (8'-4" average) for levels 2-5 (begins 22'-6" above alley level)	<p>OPTION C:</p> <p>Extending a portion of the building into the rear setback allows for greater floor area on each level. This allows the allowable floor area to fit on 5 levels plus a penthouse rather than 6 full levels, which allows the building mass to step back on the west side to respect the lower neighboring buildings and the topography of the neighborhood. The expanded floor plates also allow for a greater variety of apartment types, supporting the development goal of attracting long-term tenants.</p>
SIDE SETBACK FROM INTERIOR LOT LINE	<p>Below 42' of structure height:</p> <ul style="list-style-type: none">7'-0" average5'-0" minimum <p>Above 42' of structure height:</p> <ul style="list-style-type: none">10'-0" average7'-0" minimum	<p>OPTION A - South Side</p> <ul style="list-style-type: none">4'-0" average3'-0" minimum <p>OPTION A - North Side</p> <ul style="list-style-type: none">10'-4" average4'-11" minimum <p>OPTION A - South Side</p> <ul style="list-style-type: none">4'-6" average3'-6" minimum <p>OPTION A - North Side</p> <ul style="list-style-type: none">10'-10" average5'-5" minimum <p>OPTION C - South Side</p> <ul style="list-style-type: none">7'-7" average5'-0" minimum	<p>OPTION A:</p> <p>Extending the building mass into both side setbacks allows the building to step back further from the rear lot line. In addition, the larger floor plates allow the 6th floor to be a smaller penthouse level rather than a full floor plate, which further steps the building back from the rear lot line. These additional rear setbacks provide some relief to the neighboring buildings to the north and south of the site.</p> <p>OPTION C:</p> <p>The neighboring building to the north includes open space (a parking lot) on the southwest corner of its lot, while the neighboring building on the south side has a nearly blank north wall. Shifting the building mass to the south respects the open space and solar access of the northern neighbor with a limited impact on the building to the south. Additionally, the shift to the south opens a pedestrian view corridor between the new and existing buildings with views to the Space Needle and the Olympic Mountains beyond.</p>
FRONT SETBACK	<ul style="list-style-type: none">5'-0" minimum7'-0" average	<p>OPTION A</p> <ul style="list-style-type: none">none <p>OPTION B</p> <ul style="list-style-type: none">none <p>OPTION C</p> <ul style="list-style-type: none">7'-7" continuous at ground floor4'-1" minimum, 6'-9" average to allow larger bay windows on levels 2-6 (begins 12'-6" above street level)	<p>OPTION C:</p> <p>The bay windows on the upper levels of the building provide pedestrian interest and provide modulation of the facade. They also reflect the variety of existing setbacks along the street. This departure allows the corner bay window to grow beyond the limits in the zoning code, allowing for better proportioning of the facade and greater consistency with the residential program inside.</p>



23.54.040 - SOLID WASTE & RECYCLING

- 225 SF REQUIRED FOR 25 APARTMENT UNITS
+ 50% OF 82 SF FOR COMMERCIAL USE = 41 SF
TOTAL AREA REQUIRED = 266 SF
MINIMUM REQUIRED WIDTH = 12 FEET
CONTAINERS REQUIRED PER SPU:
- (1) 2-YD RESIDENTIAL RECYCLING
 - (1) 96-GAL RESIDENTIAL FOOD WASTE
 - (1) 2-YD SHARED GARBAGE
 - (1) 1-YD COMMERCIAL RECYCLING
 - (1) 96-GAL COMMERCIAL FOOD WASTE

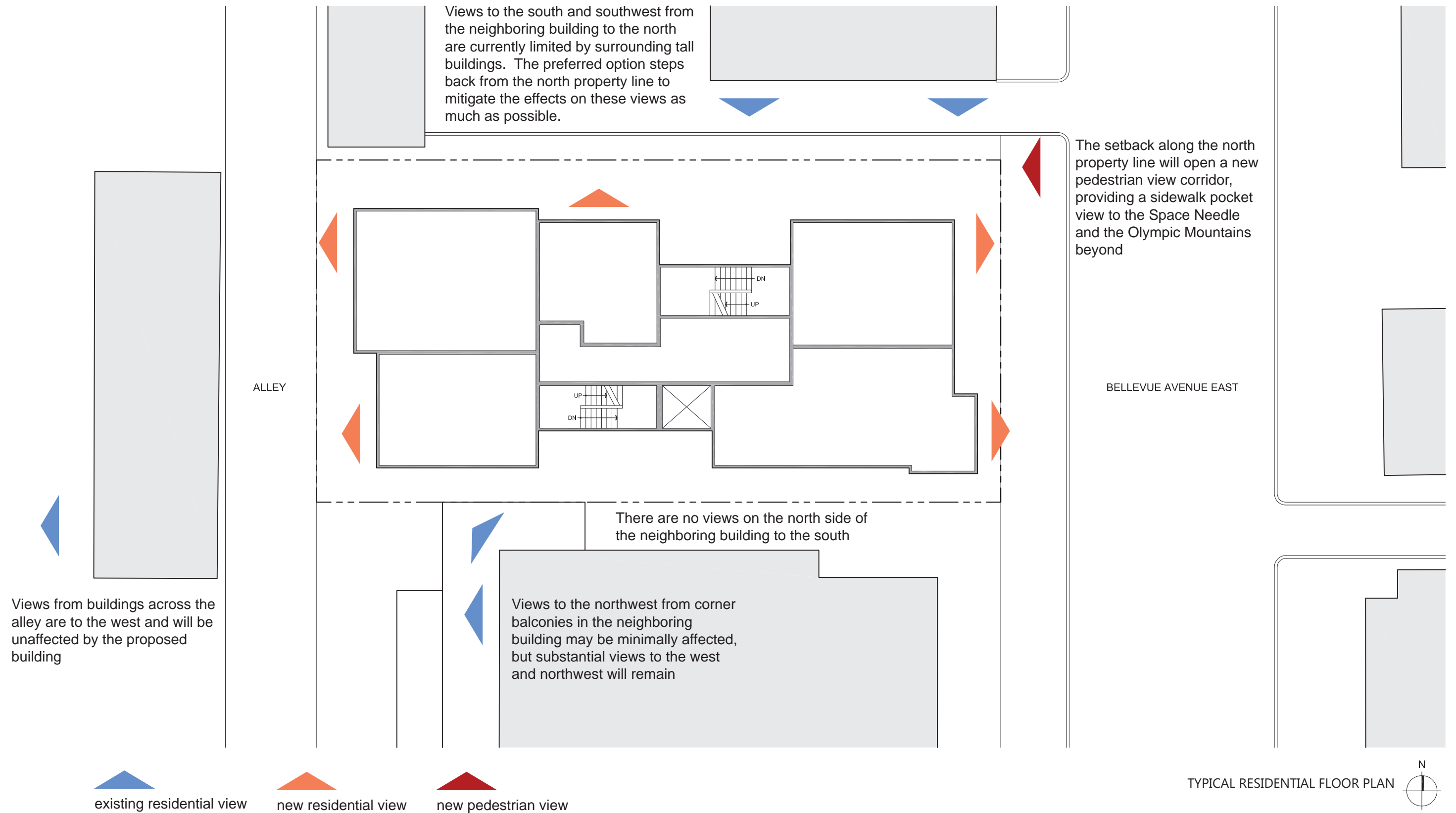
220 SF PROPOSED IN (2) FENCED AREAS IN REAR SETBACK



NEIGHBORING BUILDINGS STORE SOLID WASTE
CONTAINERS IN REAR SETBACKS OR ALLEY



PROPOSED SOLID WASTE CONTAINERS SCREENED IN REAR SETBACK
OPTION C SHOWN, OTHER OPTIONS SIMILAR





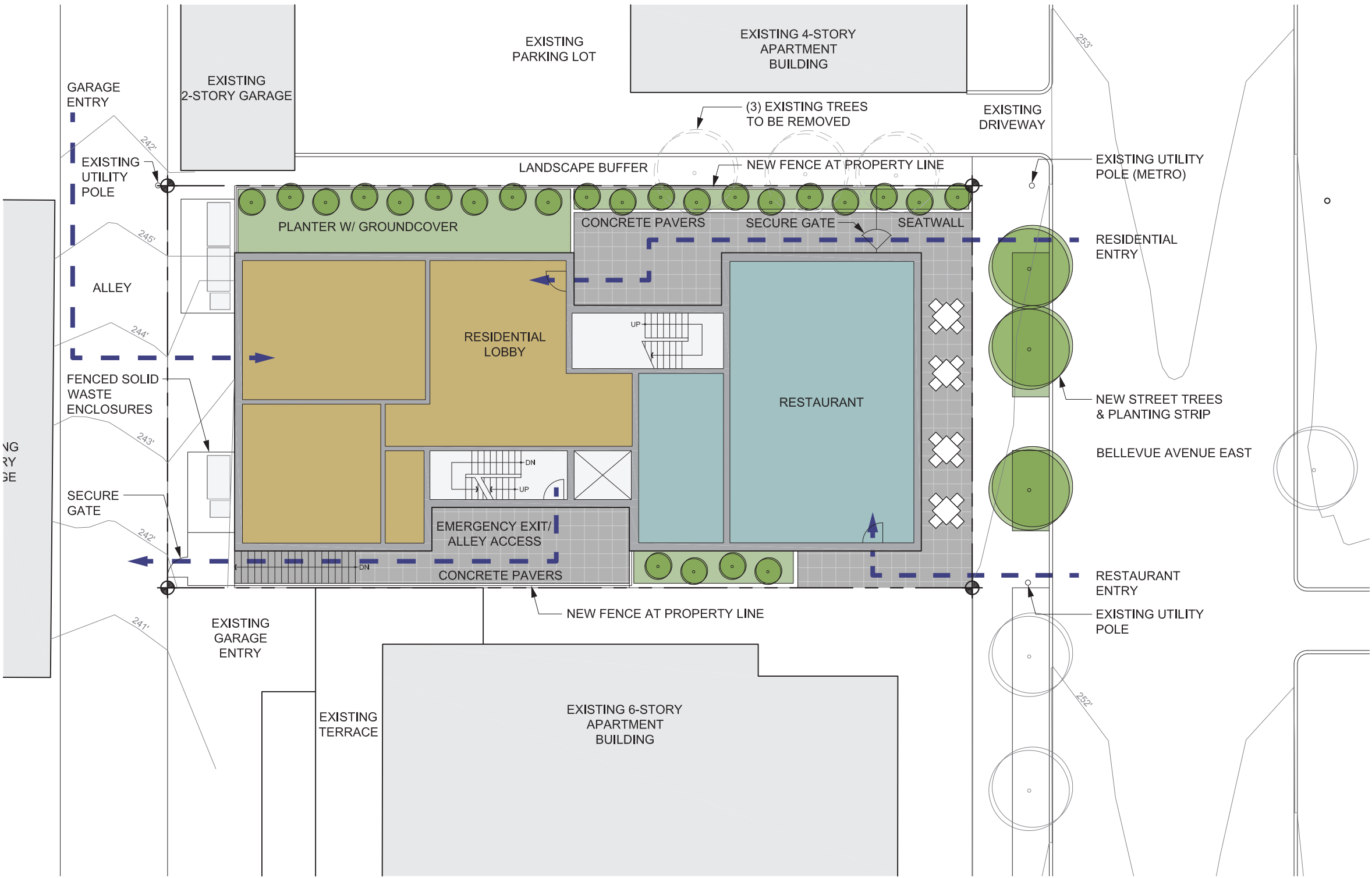
LANDSCAPED RESIDENTIAL ENTRY



GREEN FENCE & SEATWALL



SEATWALL & PLANTERS



SITE PLAN AND LANDSCAPE CONCEPT



DARK BRICK BASE



LARGE BLACK FRAME WINDOWS



METAL PANELS



RESTAURANT ENTRY (SOUTHEAST CORNER)

In keeping with the project's objective of creating a high-quality building for long-term ownership by the initial developer, exterior finish materials will be high quality and low-maintenance. Potential materials include dark brick at the ground level and metal panels for the upper levels, and pedestrian-scaled canopies at both residential and commercial entrances. The material and color choices will respond to the variety of architectural styles and materials in the neighborhood while maintaining a contemporary, modern aesthetic. Canopies & overhanging bay windows at all entrances provide opportunities for lighting to promote safety and visibility, while lush plantings provide a pleasant, semi-private entry sequence for residential tenants.



SECURE & PRIVATE TENANT ENTRY (NORTHEAST CORNER)