



**BLOCK 21** Full Alley Vacation Proposal

Second Early Design Guidance  
January 20, 2015

2200 7th Ave, DPD #3018578



# PROJECT INFO

## PROPERTY ADDRESSE & DPD PROJECT NUMBER

2200 7th Avenue, DPD # 3018578

## OWNER

Acorn Development

## ARCHITECT

**Graphite Design Group**

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Seattle, WA 98101

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## DEVELOPMENT OBJECTIVES

Develop a commercial project with approximately 835,200 gsf of office space and approximately 35,000 gsf of street level retail in three buildings. Parking below grade will be provided for approximately 835 Cars.

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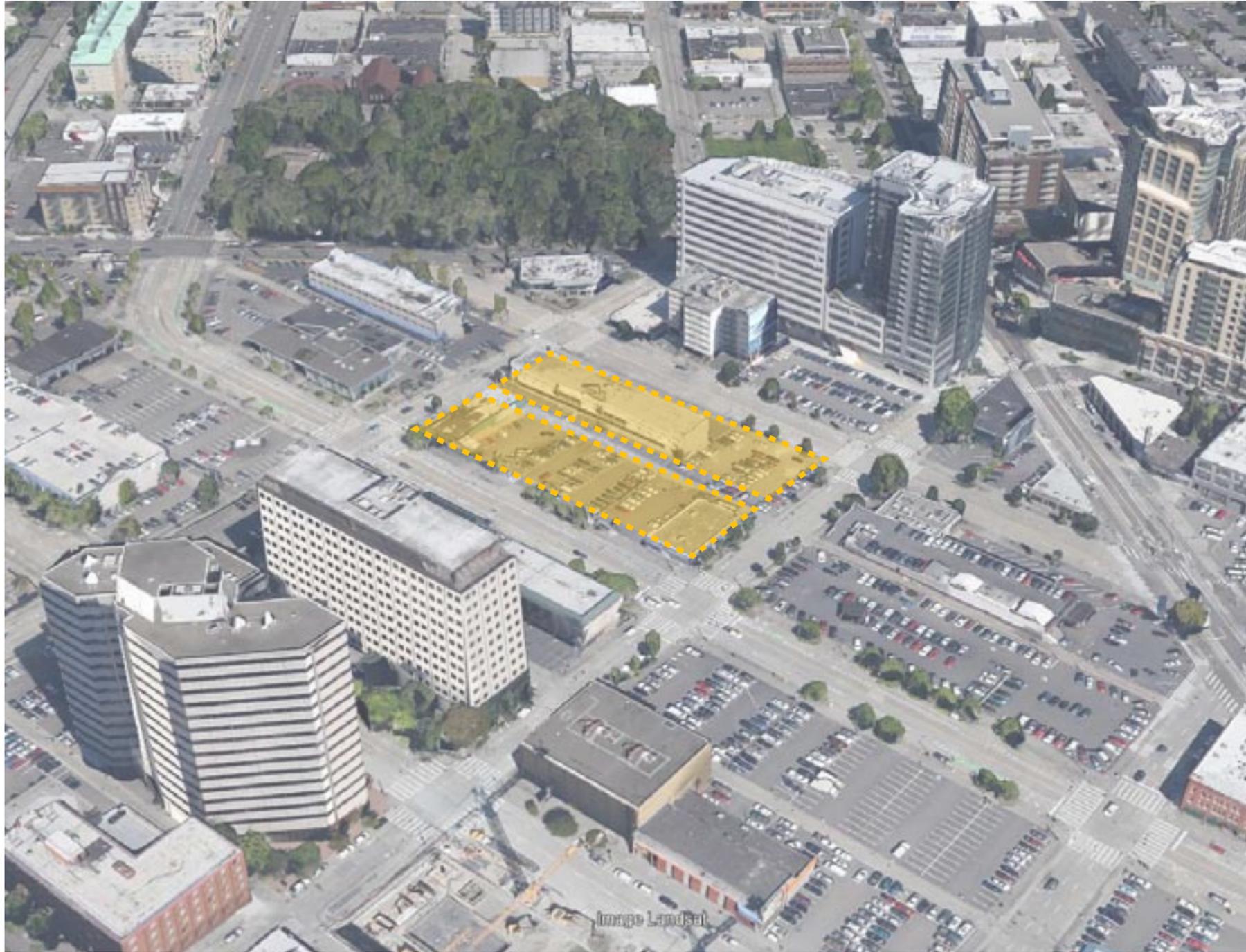
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## DEVELOPMENT OBJECTIVES





## STATEMENT OF DEVELOPMENT OBJECTIVES

The applicant proposes to design and construct a development on the full block bisected by a public alleyway and bounded by 7th Avenue on the east, 8th Avenue on the west, Blanchard Street on the south and Bell Street on the north. The site is zoned DMC 340/290-400, with a site area of approximately 77,700 square feet plus a public alleyway of approximately 5,700 square feet. The site has a base FAR of 5 with a maximum of 10.

This application is for a commercial project with approximately 835,200 gsf of office space and approximately 35,000 gsf of street level retail in three buildings. An open space and through block connection are proposed connecting 7th and 8th Avenues. Approximately 835 parking stalls will be provided below grade. All building services will be located below grade, with primary access from 8th Avenue and a secondary parking access from Bell Street. This proposal assumes a full alley vacation.

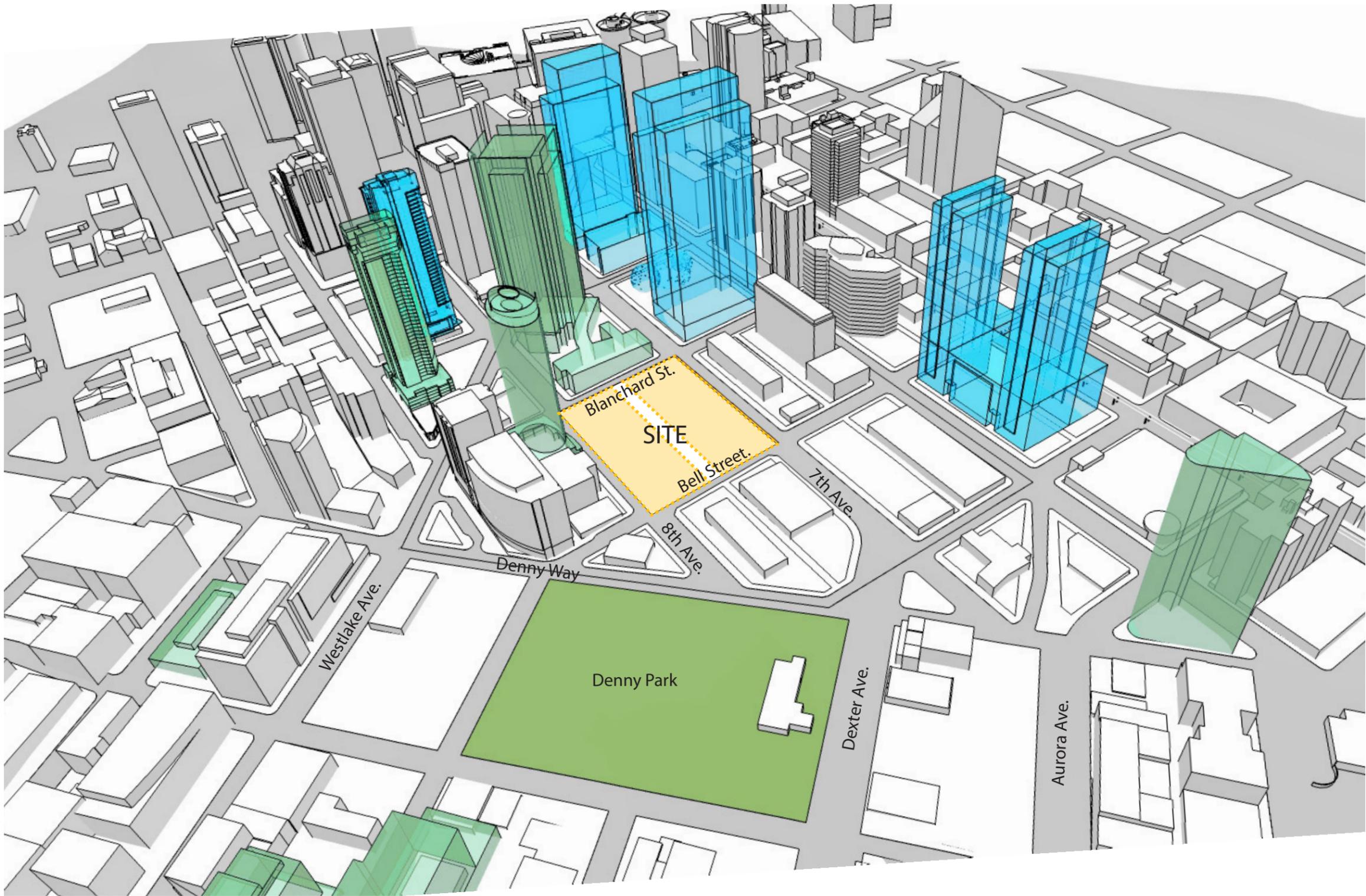
## PROJECT GOALS

- Create rich, diverse pedestrian environment with a variety of scales, active uses and character of open spaces
- Connect to and enhance existing neighborhood pedestrian, vehicular, transit and cycling circulation patterns
- Create transitional opportunity between the Denny Triangle and South Lake Union
- Respond and contribute to the established urban density pattern in a thoughtful manner
- Create flexible, active open space and retail opportunities that add vitality to the project site as well as surrounding community
- Extend northward enhancements of 7th Avenue landscaping and cycle track in pattern established by Rufus 2.0
- Maximize utilization of Green Streets at Blanchard and Bell Streets
- Locate all parking and services below grade
- Develop project utilizing sustainable design methodologies and connection to existing community sustainability initiatives such as District Energy
- Maximize development potential

## URBAN DESIGN ANALYSIS







- Under Construction
- Future Development



# DESIGN GUIDELINES



## C. The Streetscape

### C-1 Promote pedestrian interaction

*Spaces for street level uses should be designed to engage pedestrians with the activities occurring within them. Sidewalk-related spaces should be open to the general public and appear safe and welcoming.*

### C-6 Develop the alley facade

*To increase pedestrian safety, comfort, and interest, develop portions of the alley facade in response to the unique conditions of the site or project.*

The proposal has been designed to reinforce and enhance existing pedestrian patterns and capitalize on the sites transitional location between the Denny Triangle and South Lake Union.

The proposal is organized to provide a through-block connection and linked public plazas that engage pedestrians. The perimeter street frontage gives priority to active uses such as retail and building entries.



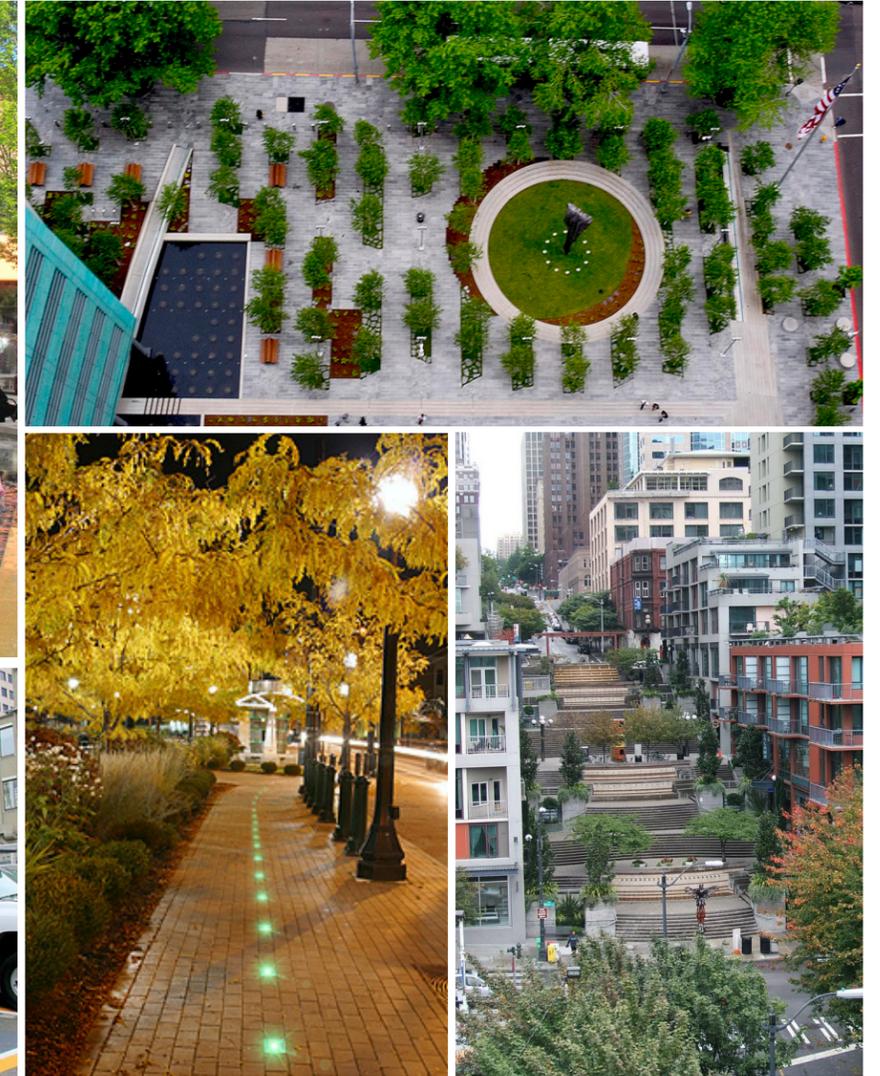
## D. Public amenities

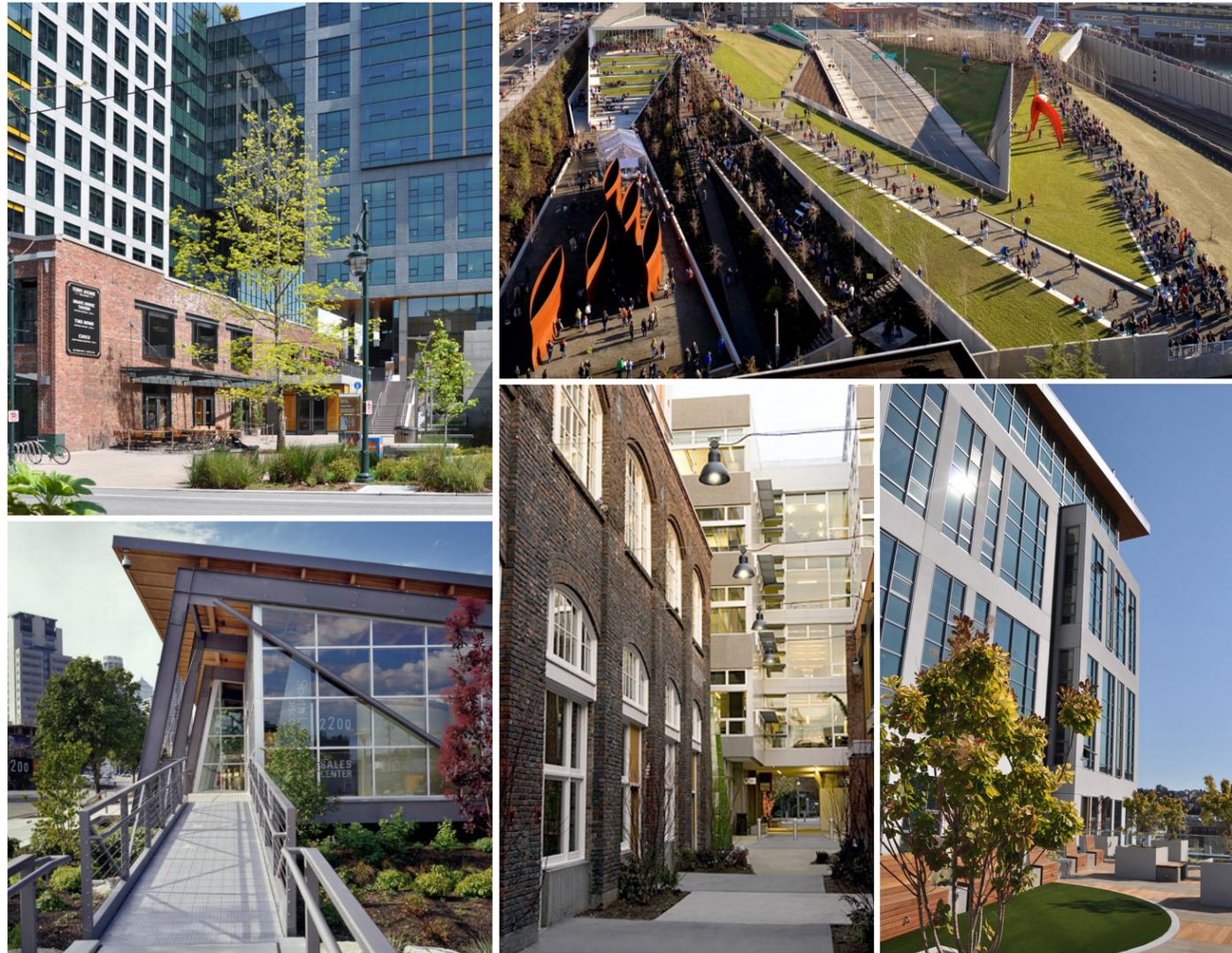
### D-1 Provide inviting and usable open space

*Design public opens spaces to promote a visually pleasing, safe and active environment for workers, residents, and visitors. Views and solar access from the principal area of the open space should be especially emphasized.*

The design gives emphasis to high quality open spaces that knit into the existing urban fabric and have been situated to maximize solar exposure.

An open plaza is located on the southwest corner of the block to invite pedestrians into the site and encourage through-block circulation. A complimentary open space on the northeast corner of the site engages pedestrian movement from the north.





## A. Site Planning and Massing

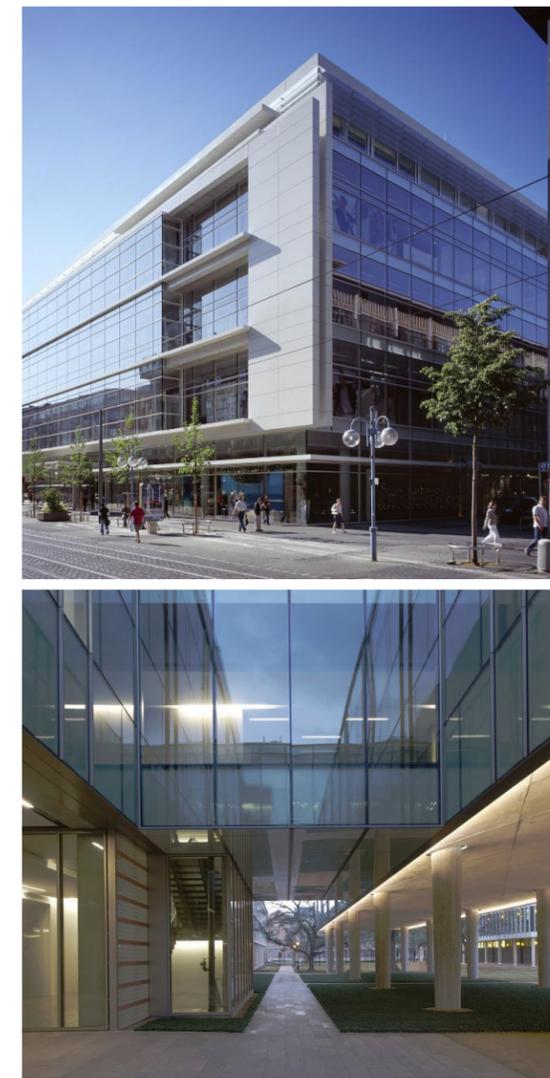
### A-2 Respond to the physical environment

*Develop an architectural concept and compose the building's massing in response to geographic conditions and patterns of urban form found beyond the immediate context of the building site.*

### A-2 Enhance the Skyline

*Design the upper portion of the building to promote visual interest and variety in the downtown skyline*

The proposed design responds to the allowable zoning envelope and resultant presence on the skyline by employing distinctive massing solutions that respond to the surrounding context and significant site slope. The proposal continues the established pattern of urban density of open space. Sculpted building forms and expressive tops will distinguish the proposal from the city skyline and respond to the prominent views of the project from the adjacent South Lake Union neighborhood to the north and Downtown to the south.



## B. Architectural Expression

### B-2 Create a transition in bulk and scale

*Compose a massing for the building to create a transition to the height, bulk and scale of development in neighboring or nearby less-intensive zones.*

### B-3 Reinforce the positive urban form & architectural attributes of the immediate area

*Consider the predominant attributes of the immediate neighborhood and reinforce desirable siting patterns, massing arrangements, and streetscape characteristics of nearby development.*

### B-4 Design a well-proportioned & unified building

*Compose the massing and organize the publicly accessible interior and exterior spaces to create a well-proportioned building that exhibits a coherent architectural concept. Design the architectural elements and finish details to create a unified building, so that all components appear integral to the whole.*

The proposal distinguishes the high-rise portion of the tower from the lower zones (aka "podium") through scale, massing and material delineation. The building podium acknowledges the surrounding low- and mid-rise structures by providing setbacks that relate to adjacent structures. The site planning of the buildings follows the existing pattern of giving priority to the southern exposure to public open space and extending the boulevard character of 7th Avenue. As a multi-building proposal, the project unifies the architectural vocabulary of the block by employing complementary materials and detailing that are shared by all structures on the block.

# EXISTING SITE PLAN

## Site Area:

77,700 square feet plus a public alleyway of approximately 5,700 square feet with approximately 360 feet of frontage on both 7th and 8th Avenues, 232 feet of frontage on both Bell and Blanchard Streets.

## Topography:

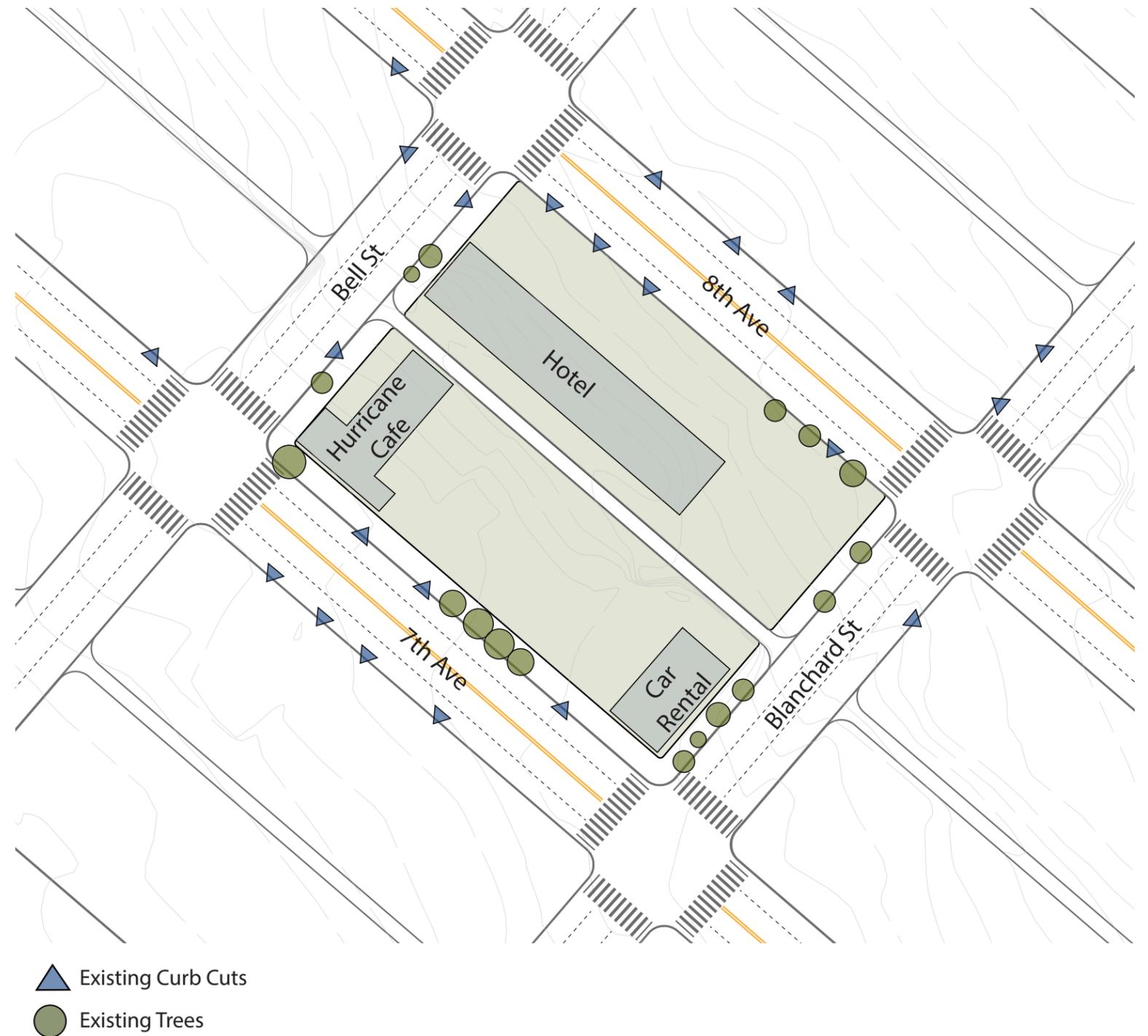
The site slopes from elevation 104' 3" in the northwest corner down to 83' 9" in the south-east corner.

## Tree Survey:

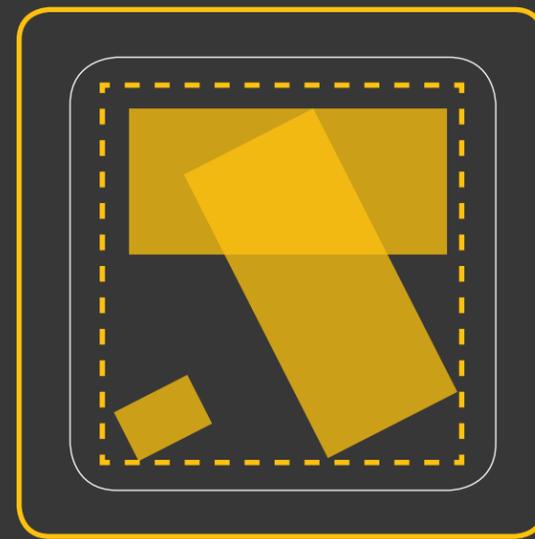
There are no significant trees on the site. Trees are located within the sidewalk right-of-way. Five trees are located along 7th Avenue, three along 8th Avenue, six along Blanchard Street and three along Bell Street.

## Existing Buildings:

The site has a hotel, restaurant, rental car facility and surface parking lot.

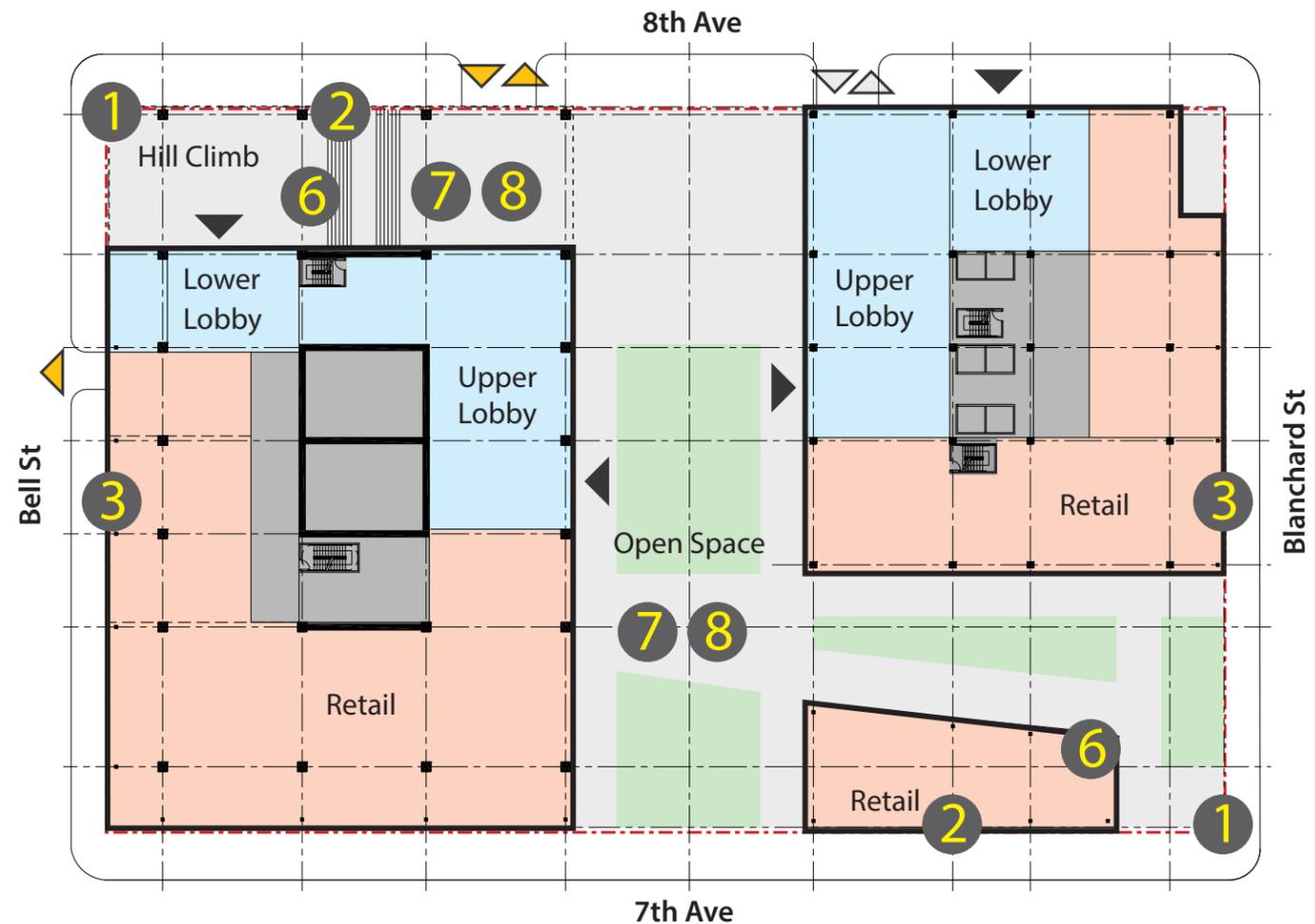


# EDG1 GUIDANCE



# SUMMARY OF EDG1 BOARD GUIDANCE

- 1 Provide better open space that is easily accessed.
- 2 Engage with the street; design a porous street edge.
- 3 All open space should be accessible at grade.
- 4 Setback the structures along Bell and Blanchard streets.
- 5 Provide modulation and articulation of the tower. Redesign to be better proportioned using modulation, façade treatment and/or a tower size similar to Option 2.
- 6 Avoid office uses along the street facing level.
- 7 Retail and open space should relate to each other.
- 8 Provide open space and retail space along Bell and Blanchard.



EDG1 Site Plan

- 1 Eliminate retail pavilion and expand grade-level open space along Seventh Avenue
- 2 Consolidate vehicular entries and expand extent of accessible open space along Eighth Avenue
- 3 Voluntarily set back north and south buildings 10' along Blanchard and Bell Streets.
- 4 Provide fully ADA accessible route at through-block connection
- 5 Provide active ground-level frontages at Blanchard and Bell Streets
- 6 Limit ground-level uses to retail and building entries in lieu of office use.
- 7 Shape podium and tower to provide further modulation and articulation
- 8 Utilize massing, materiality and detailing to relate facade design to building uses



Proposed Site Plan

**1. Massing at Grade: The Board gave guidance to pursue whatever massing option provides better public open space, but expressed they would support a version of the preferred Option 3 if it is well designed and provides well designed open space.**

- a. Pursue Option 3 with more transparency at the ground level open space and resolve how the through block connection will work to engage the development with the street. Erode the corner of the tower at Bell St. and 8th Ave. and the three-story plinth. (B4.1&2)
- b. Consider development of Option 2 that incorporates a shifting and narrowing of the lower building to create better open space. (B4.1)
- c. Consider combining Options 1 and 2 to provide an option with all open space accessible at grade. (B4.1)
- d. Consider a development of Option 1 that narrows the building to provide more open space along the two green streets, Bell and Blanchard St. (B4.1)
- e. Consider moving the massing back at grade to provide relief on the green streets, Bell and Blanchard St.(B1.1, B3.3, C1.3)

**2. Upper Massing: The Board gave the following guidance on the development of the upper level massing of the Options.**

- a. Provide significant modulation and strong articulation of the shaft and tower in Option 3.
- b. The Board encouraged the 'gap' between the top of the podium and the tower in Option 3. (A2, B4)
- c. Work with the 'yellow ribbon' concept presented in Option 3, which represents a two to three story 'band' wrapping around and through the site. Consider bringing the ribbon up the tower. (A2, B4)
- d. Redesign the 'odd' proportions of the tower with modulation and façade treatment. (C2.1)
- e. The Board indicated some support for the massing of the tower on Option 2, noting the massing of the preferred option 3 tower was bulky. (B4)

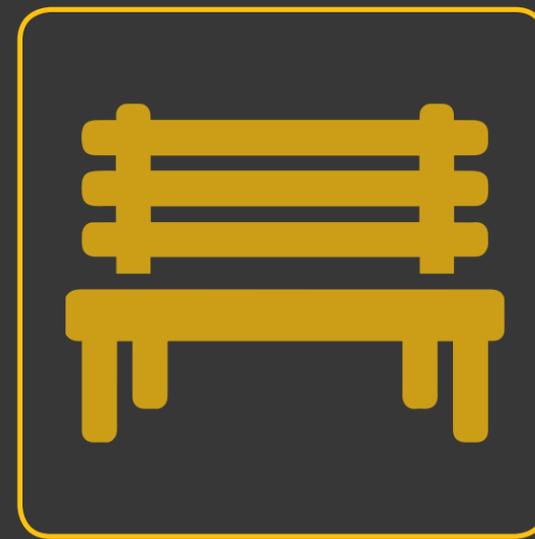
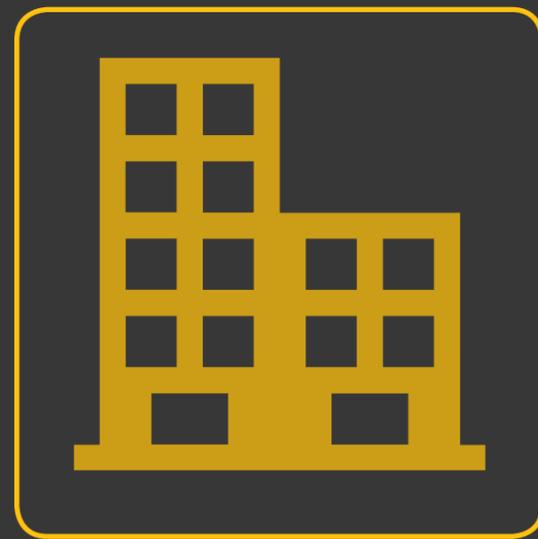
**3. Relationship to the Street: The Board emphasized the importance of how the on-site uses will interface with the street and noted that any benefits need to be for the public. Direct connect to the street is key.**

- a. Make the site porous and inviting to pedestrians along 8th Ave. (C1, D1)
- b. Pursue an Option 3 design with more transparency at the ground level open space and resolve how the through block connection will work to engage more with the street. (C1.3, C3.1)
- c. Consider lowering the through block open space in Option 3 so it accessible at grade on both 7th and 8th Avenues. The open space on the podium along 8th Ave will create a disconnect between the street and the sidewalk. (B3.1)
- d. Consider placing uses other than offices at the lower floors that would provide a different design treatment near the street. (C1.3, C3.1)

**4. Open Space: The Board directed the applicant to program the on-site open space to enhance public benefits.**

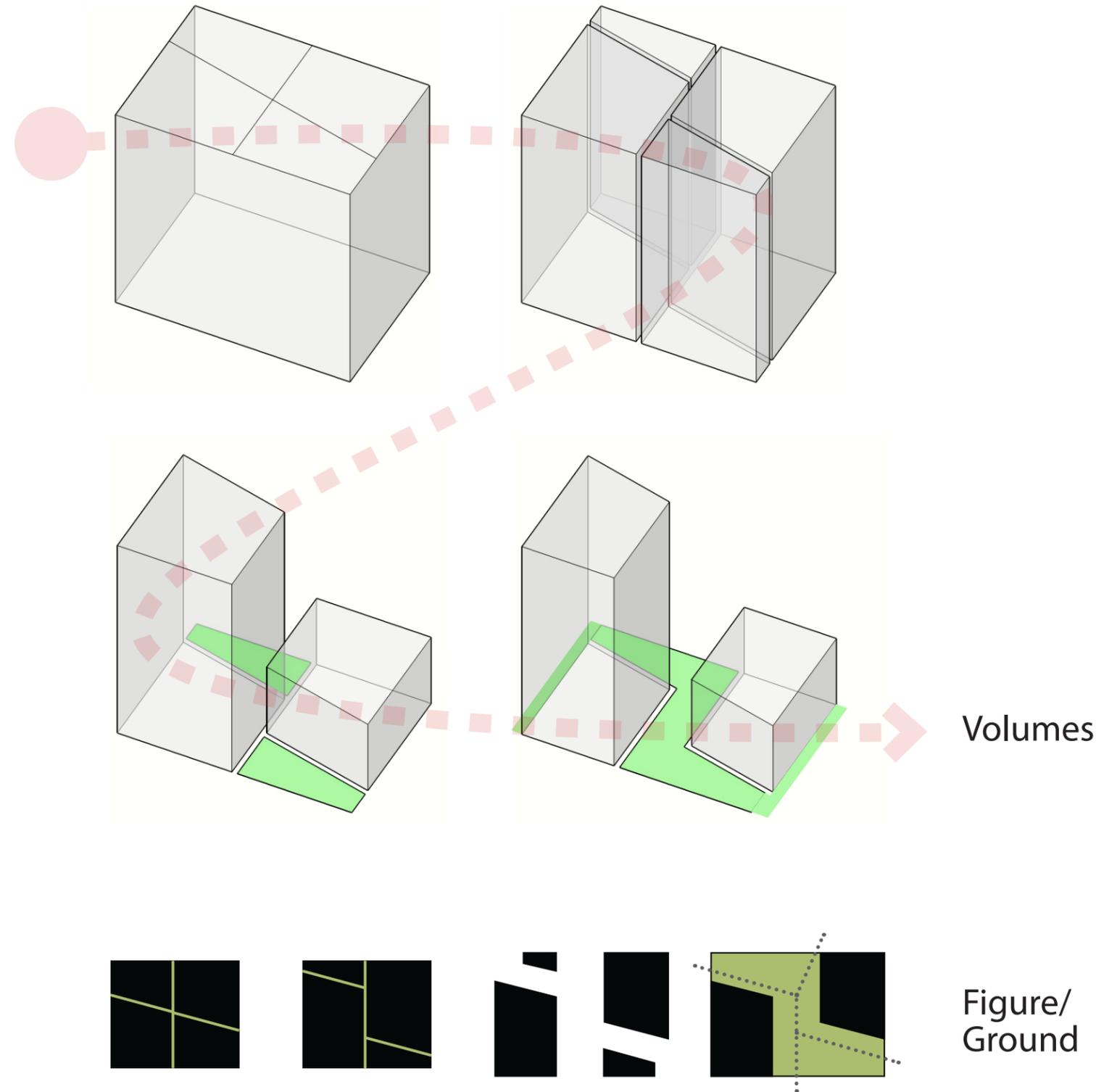
- a. Design the access to all open space to be easily accessible and usable for the public. (D1.1&2)
- b. Consider lowering the through block open space in Option 3 so it accessible at grade on both 7th and 8th Avenues. (B3.1)
- c. Provide easily accessible public space. Program the open space and retail space to complement each other, and relate to the two green streets, Bell and Blanchard St. (B1.1)
- d. Design the scale of the open space so that it will appear inviting when empty. (D2.1, D3, D5, D6)
- e. Resolve the open space of the preferred Option 3 to meet the street, feel comfortable, and be activated. (D1.1&2, D2.1, D3, D5, D6)

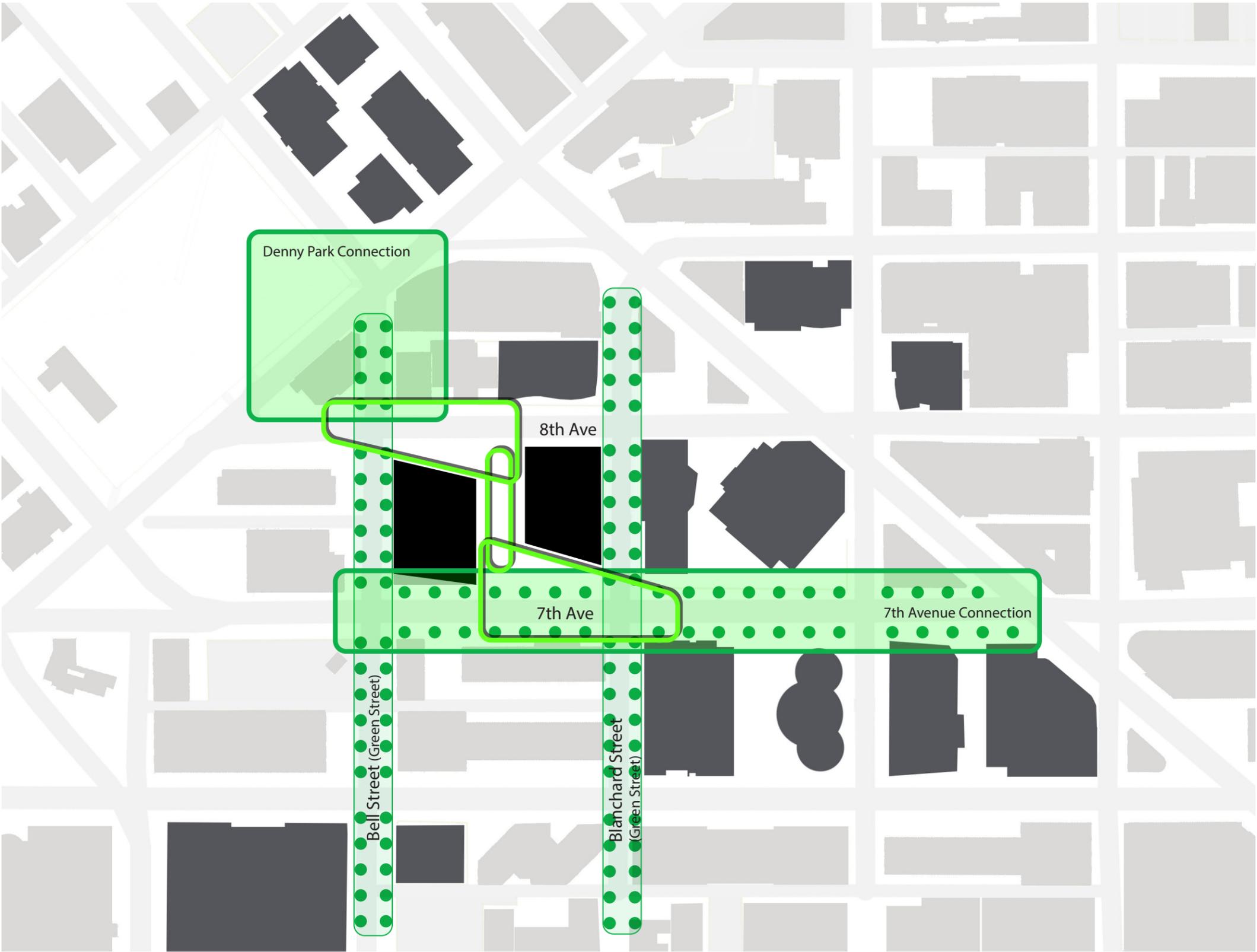
## SITE AND TOWER MASSING



# SITE AND TOWER MASSING

- Provide better open space that is easily accessed.
- **Engage with the street; design a porous street edge.**
- All open space should be accessible at grade.
- **Setback the structures along Bell and Blanchard streets.**
- **Provide modulation and articulation of the tower. Redesign to be better proportioned using modulation, façade treatment and/or a tower size similar to Option 2.**
- **Avoid office uses along the street facing level.**
- Retail and open space should relate to each other.
- Provide open space and retail space along Bell and Blanchard.





Legend

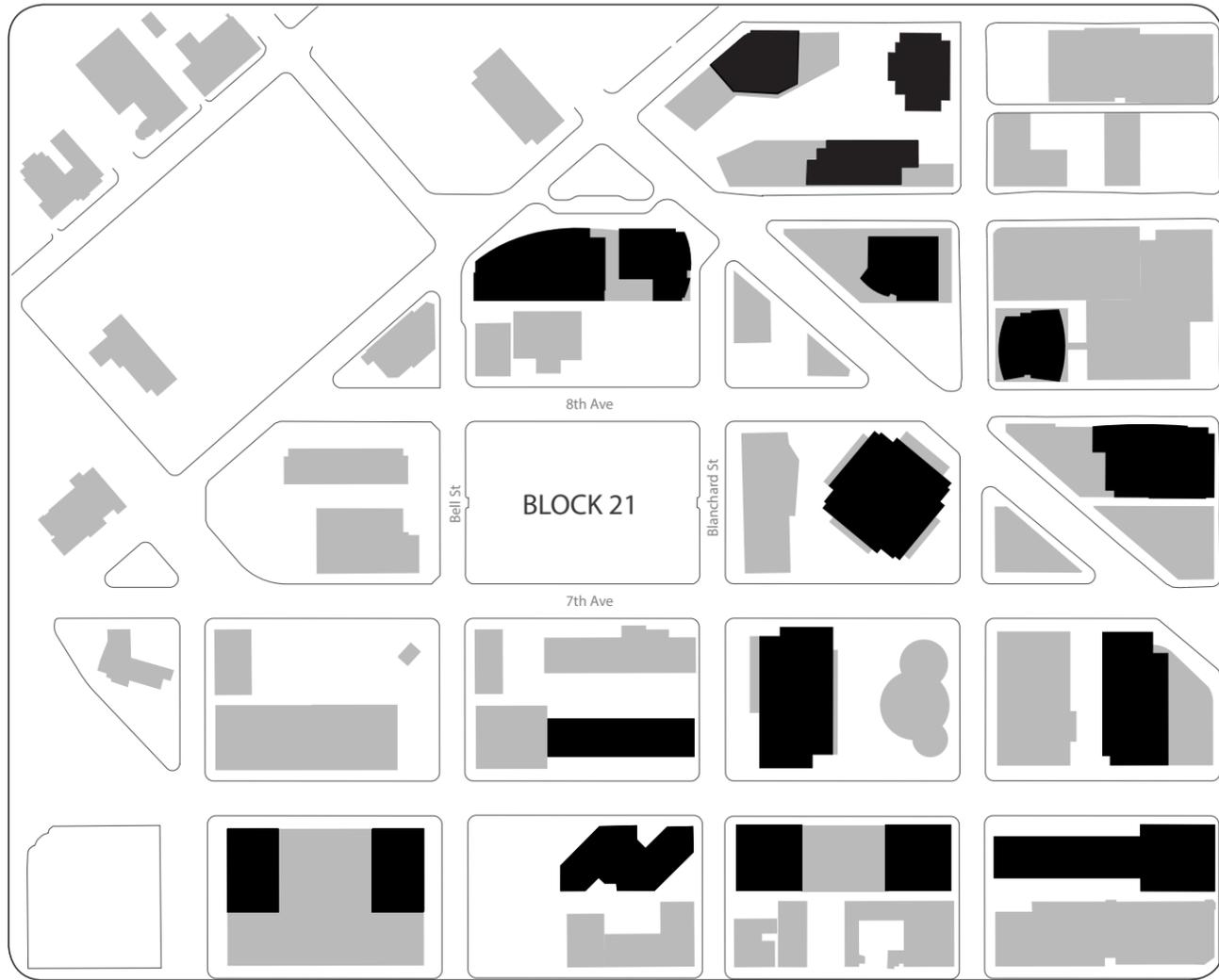


Green Streets and 7th Ave. Boulevard

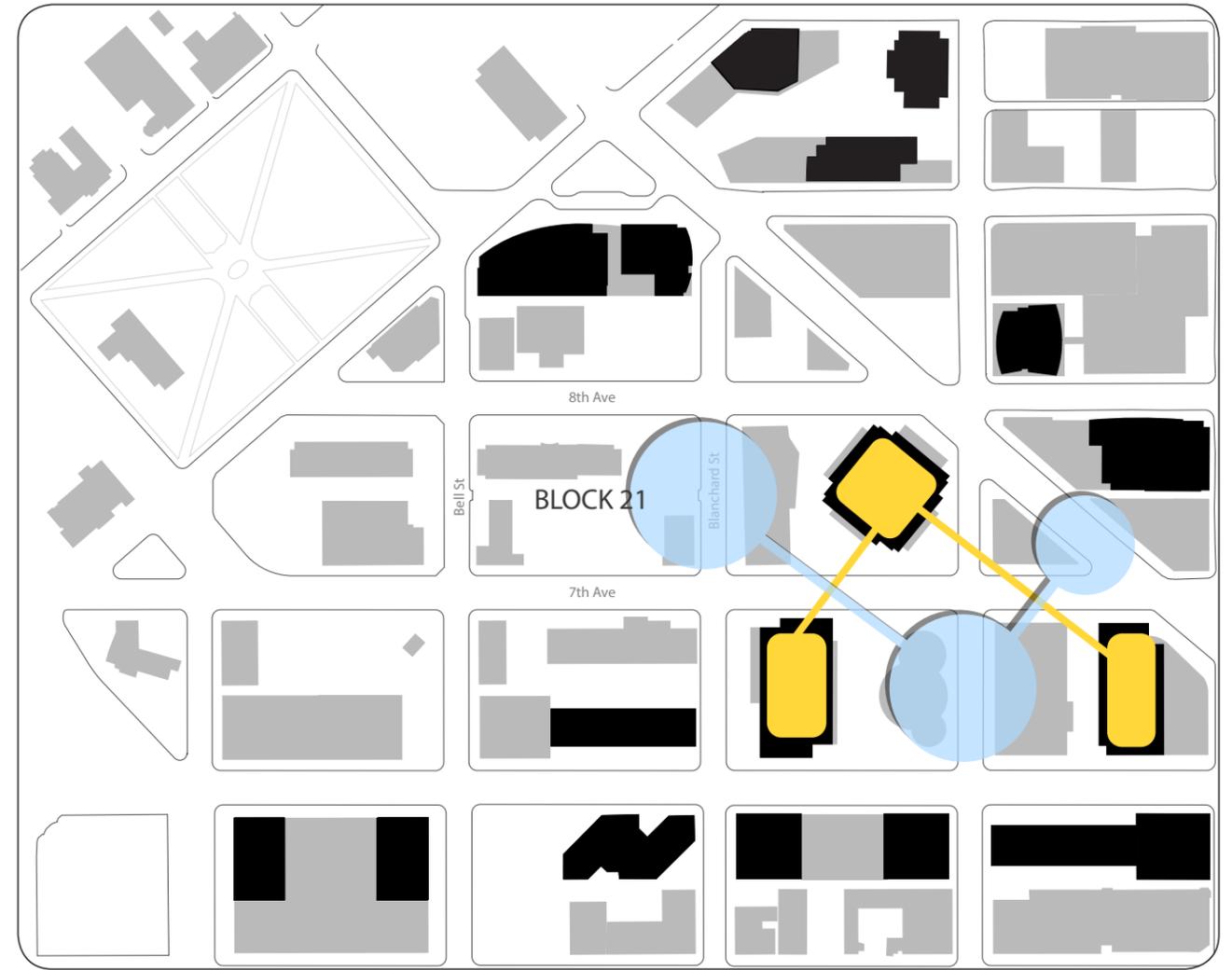


Connections

# URBAN DENSITY PATTERNS - PRESENT & FUTURE



1. Current



2. Rufus 2.0

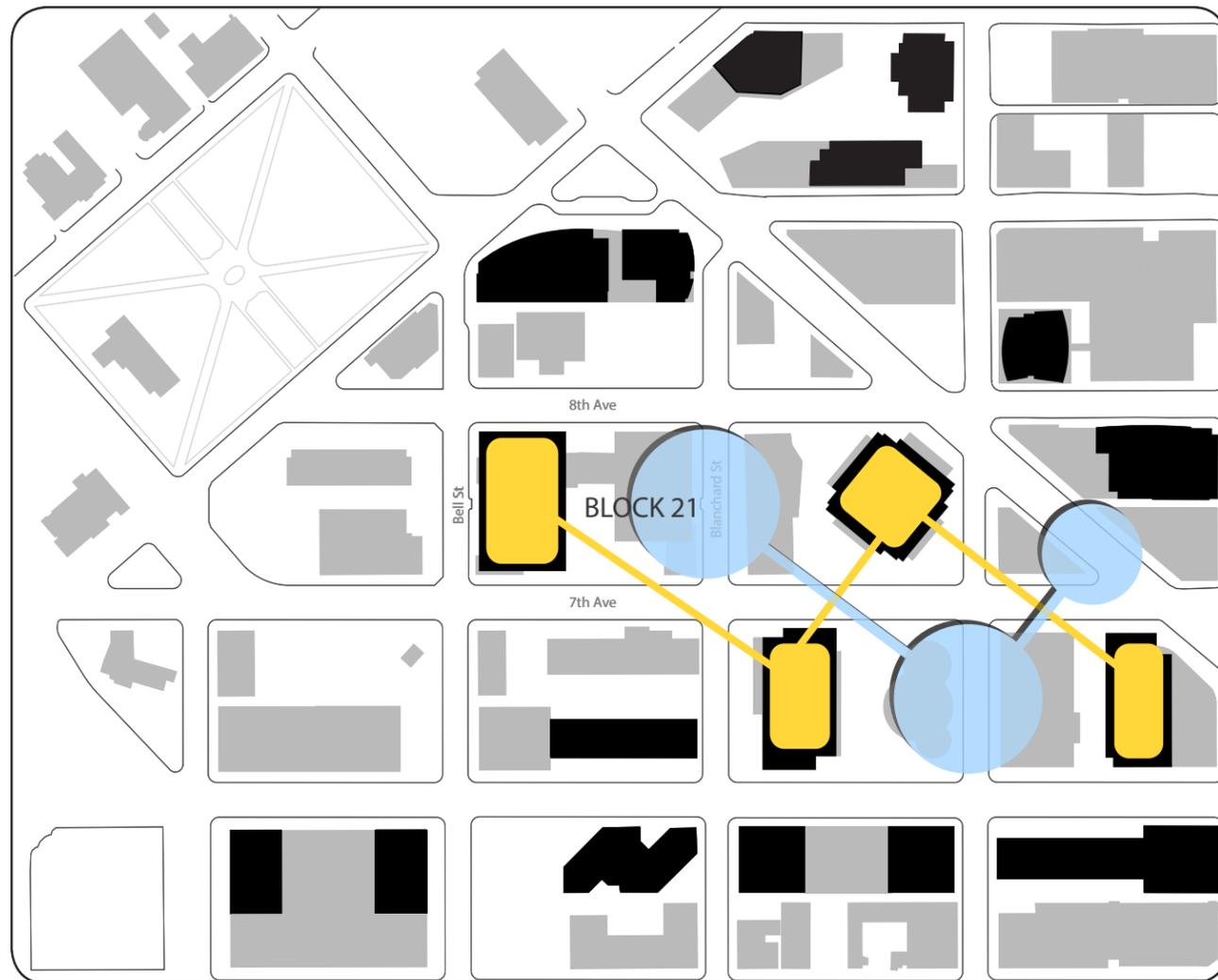


Low-rise / Open Space

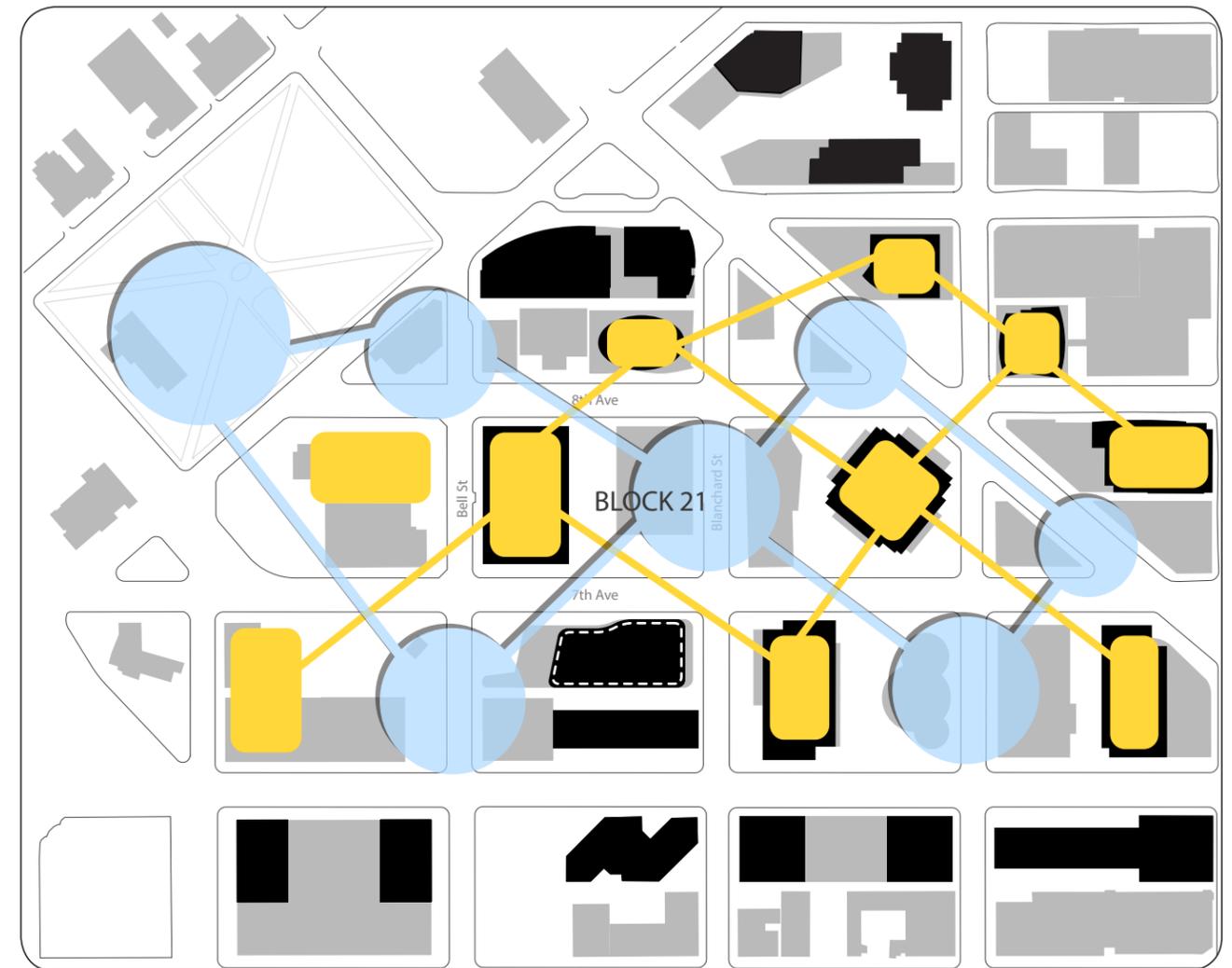


High-Rise Nodes

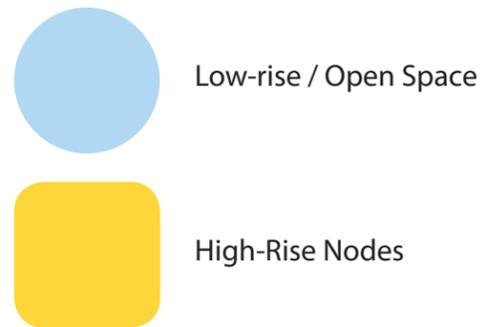




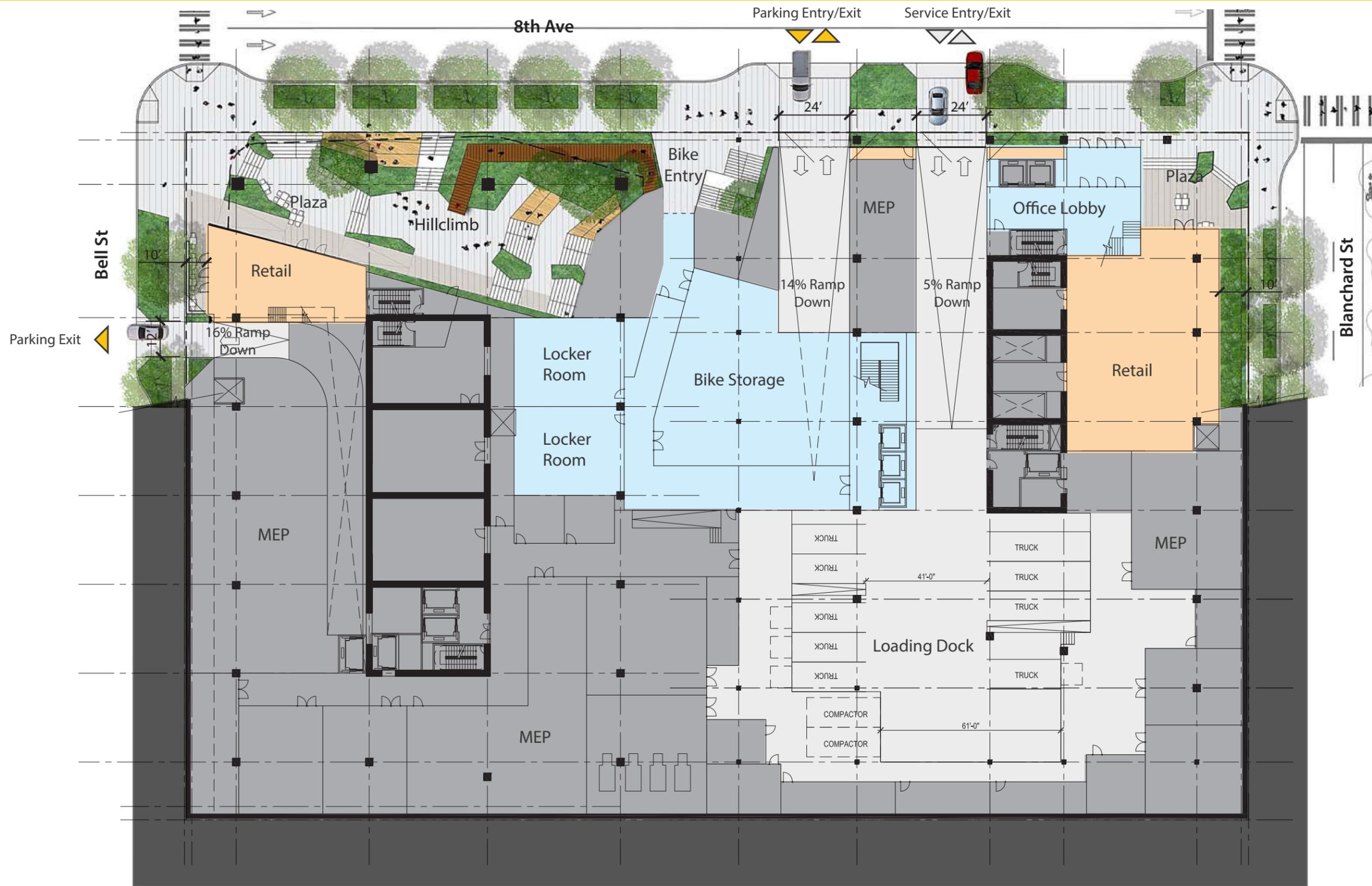
3. Rufus 2.0 + Block 21



4. Potential Future Development

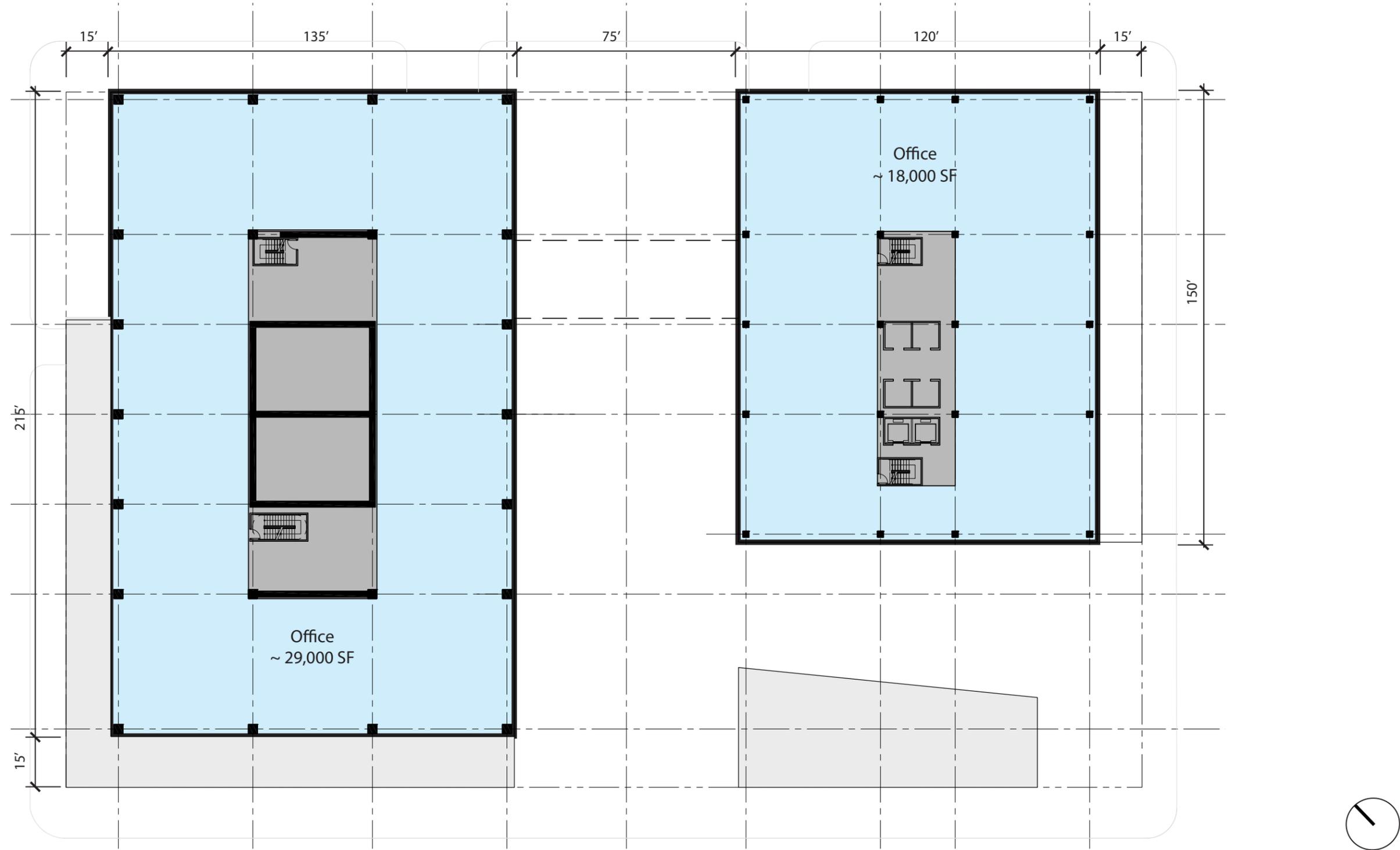


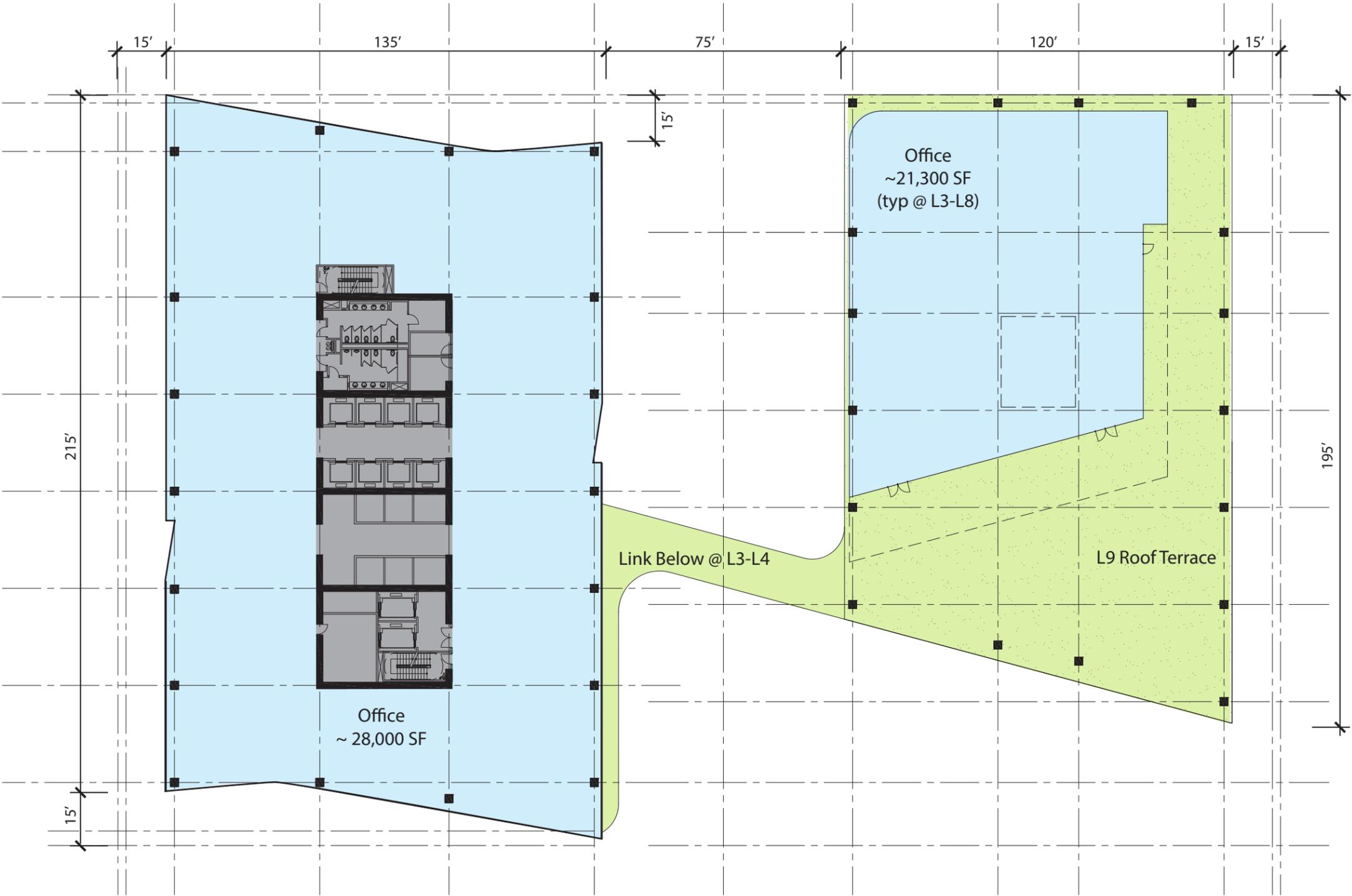
# EIGHTH AVENUE PLAN



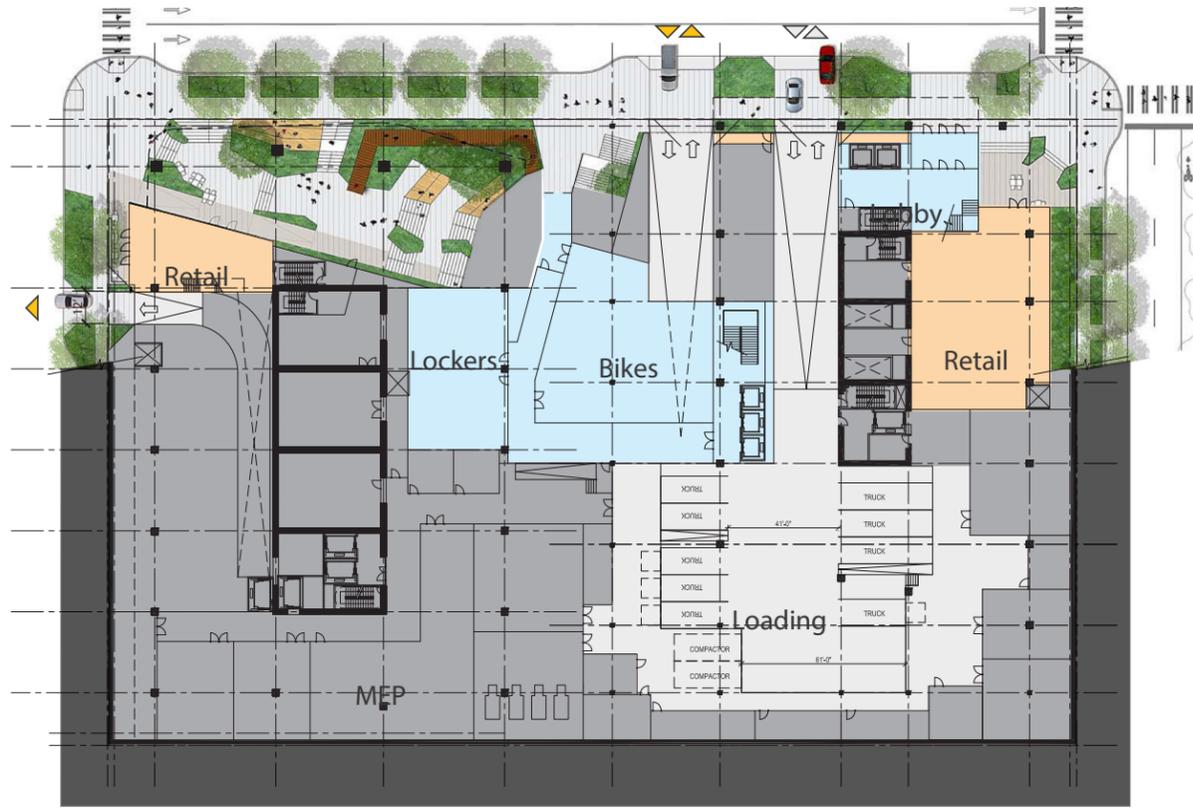


# EDG1 TOWER PLAN





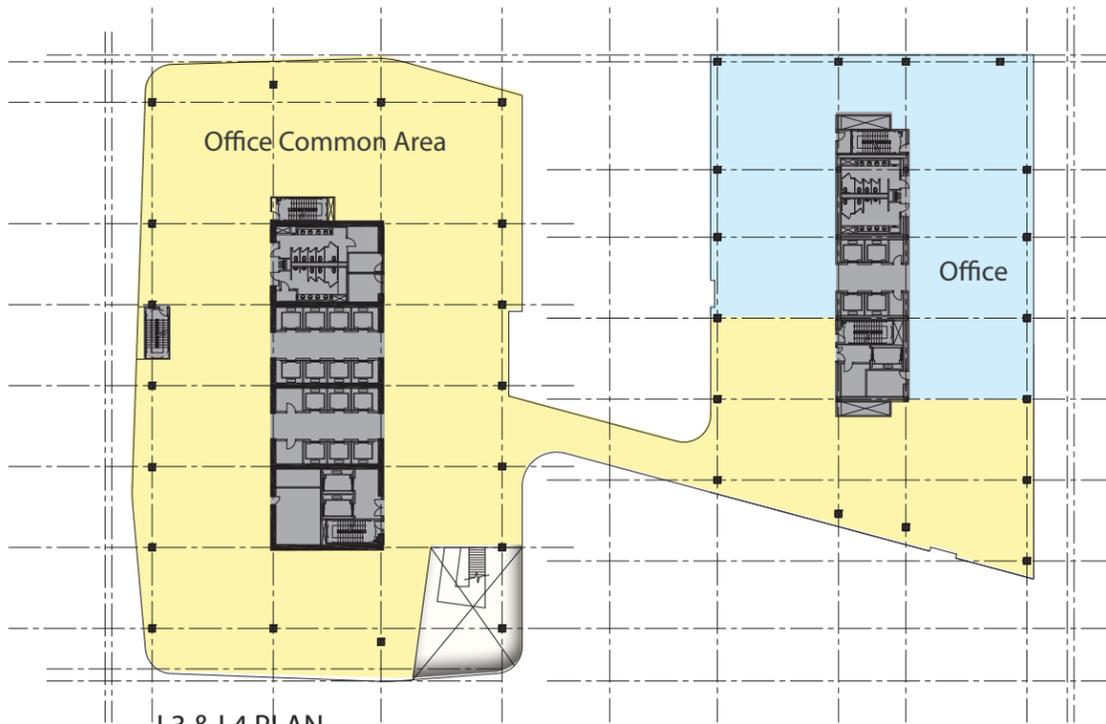
# FLOOR PLANS



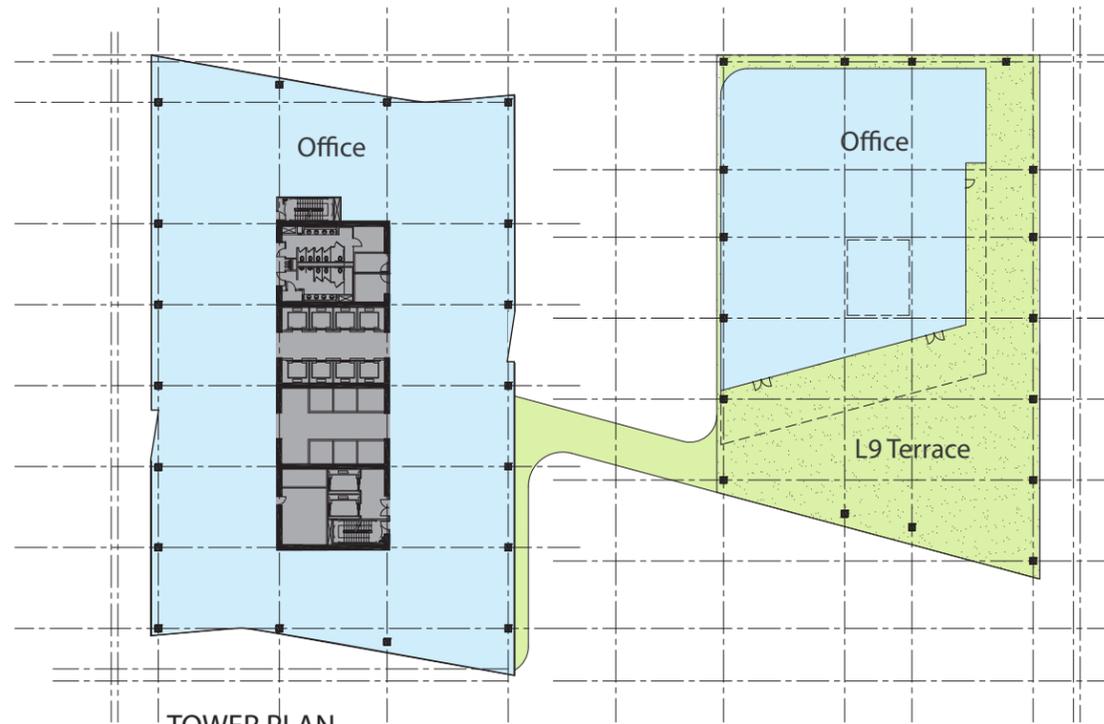
8TH AVENUE PLAN



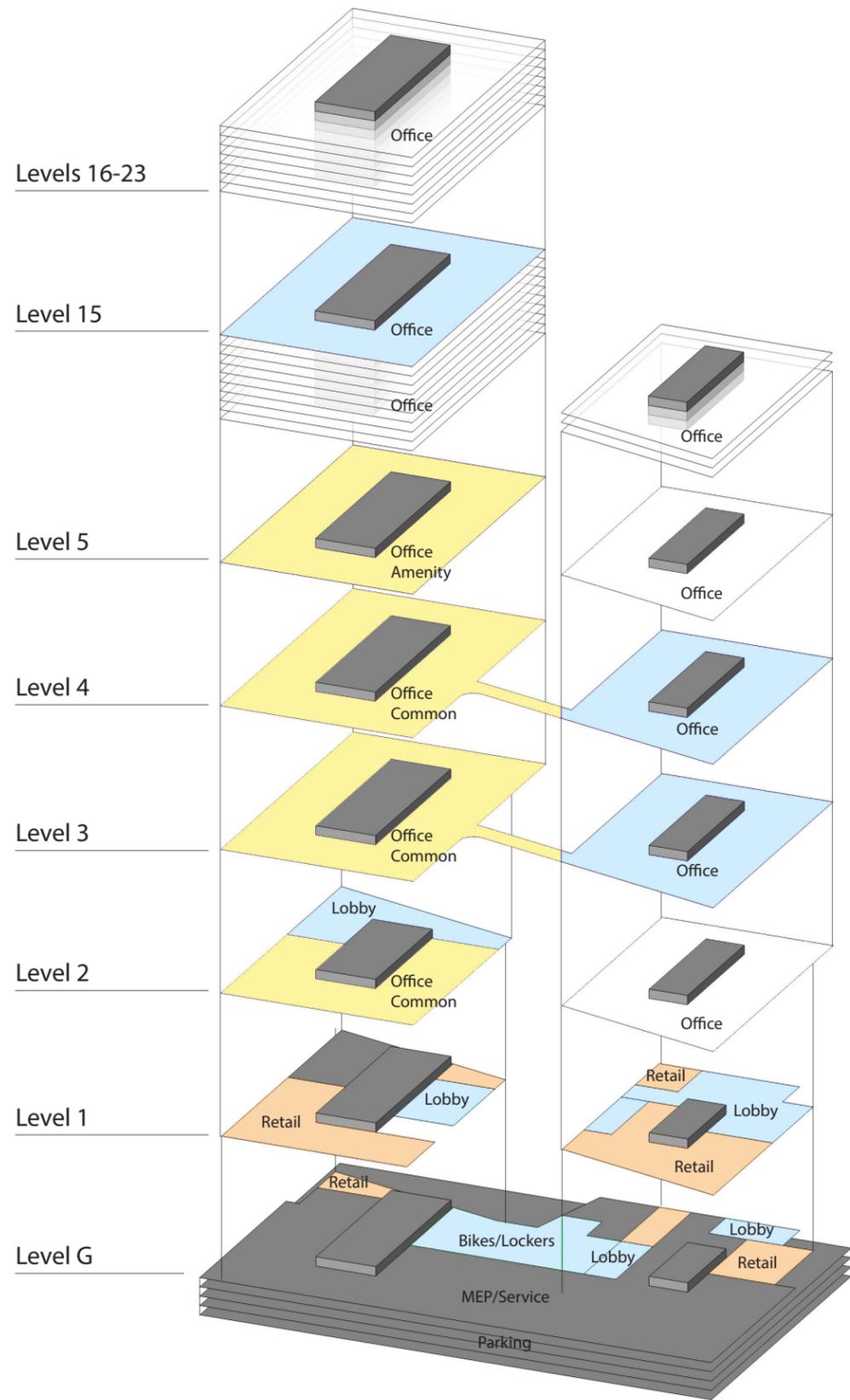
7TH AVENUE PLAN



L3 & L4 PLAN



TOWER PLAN



# AERIAL LOOKING EAST



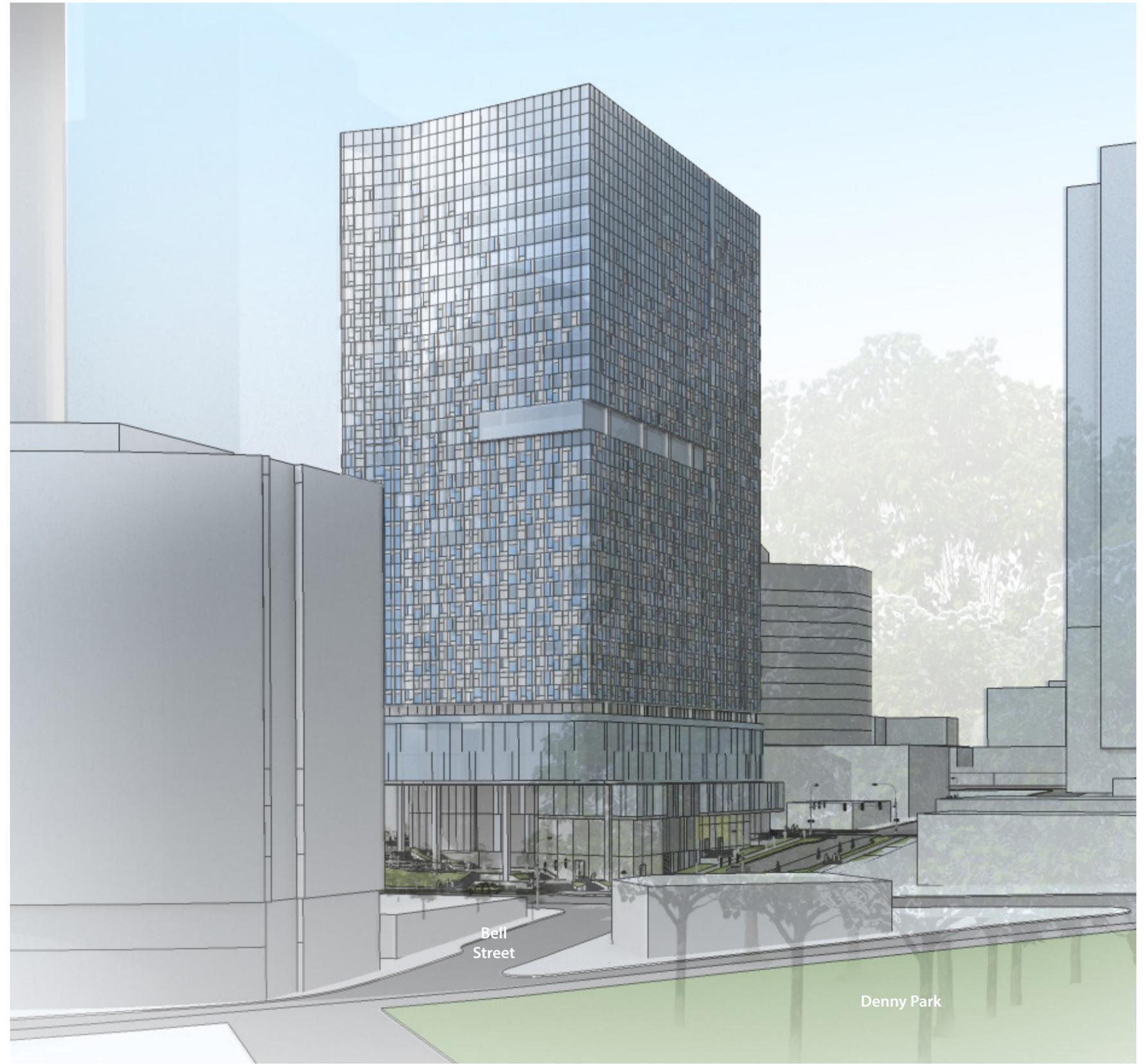


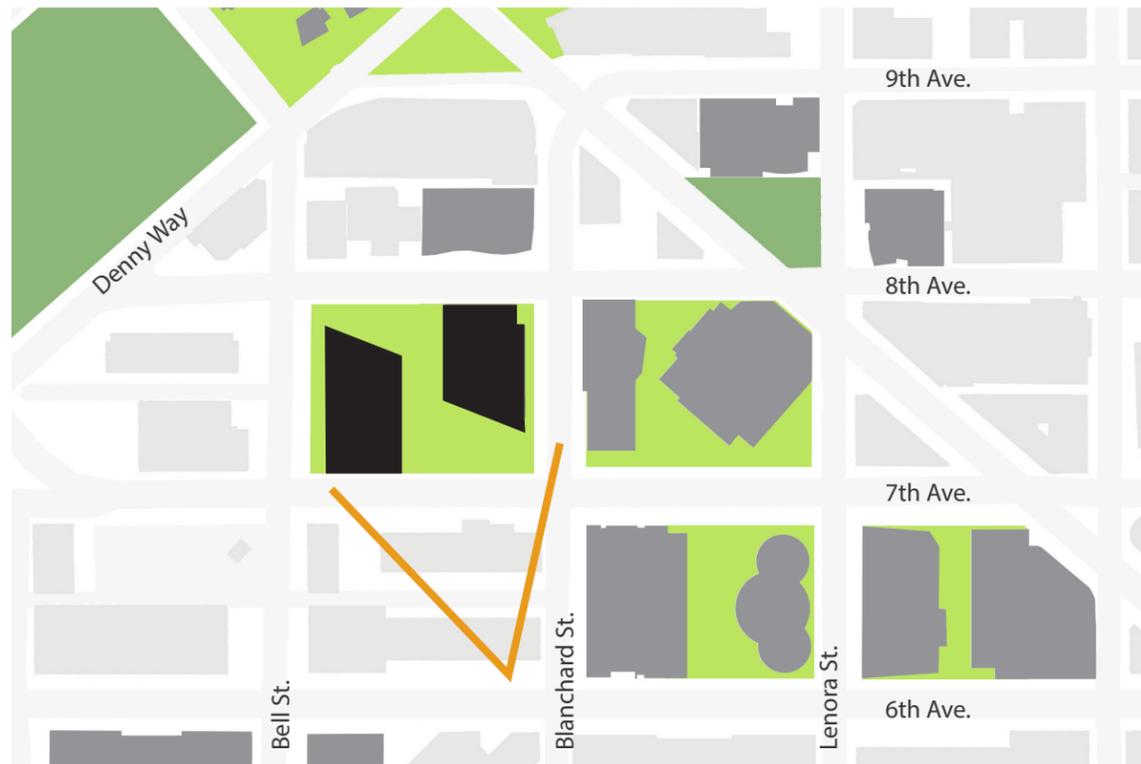
# 7TH AVENUE AND BELL STREET



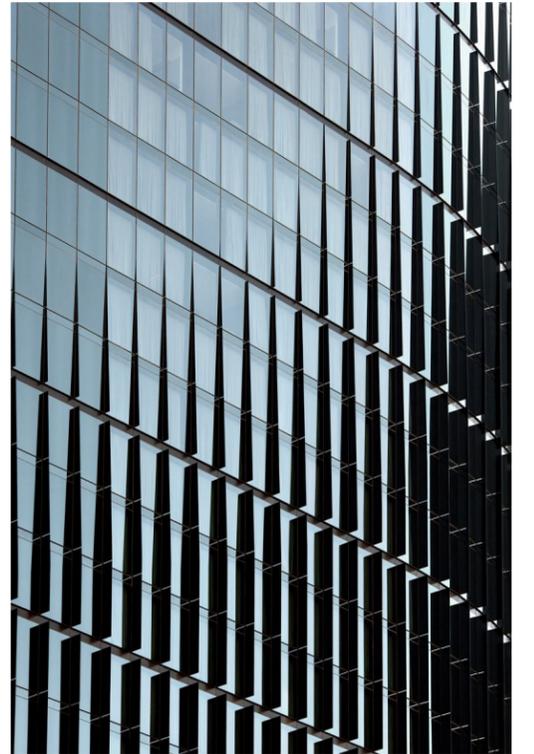
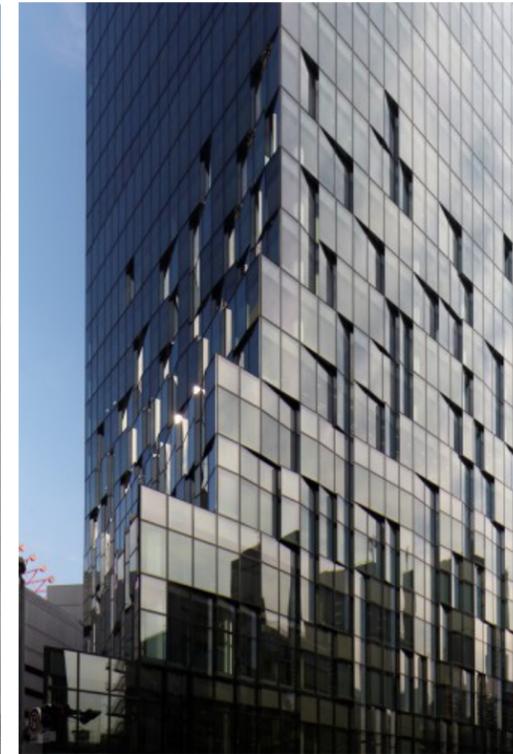


# 8TH AVENUE AND BELL STREET

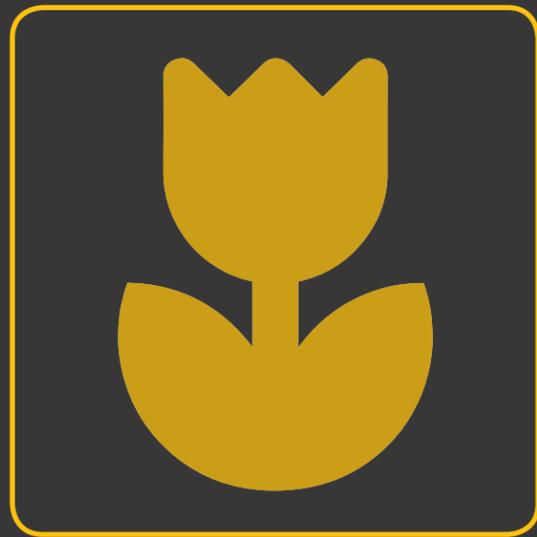




# TOWER FACADE CONCEPTS



# OPEN SPACE DEVELOPMENT

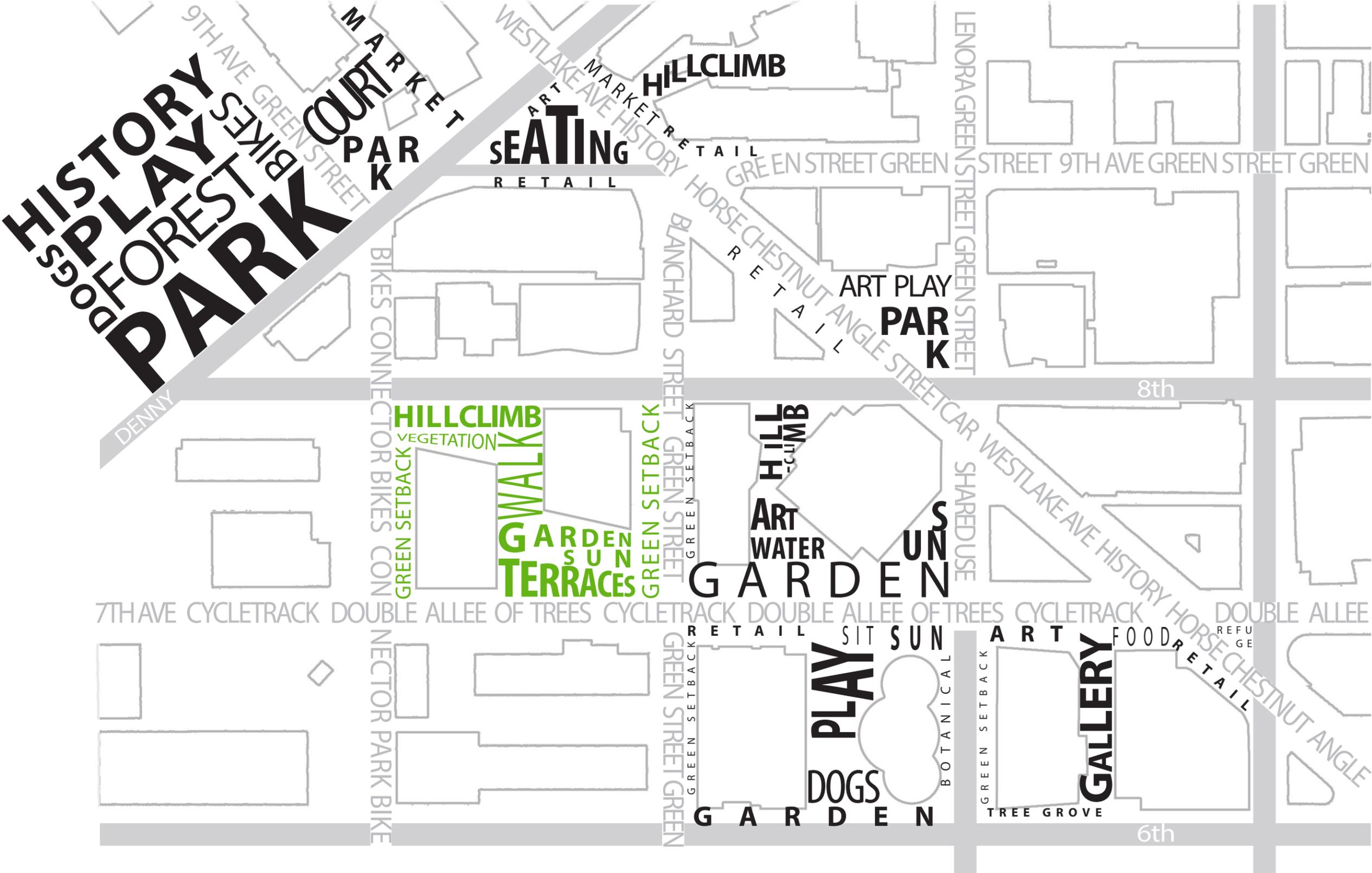


# OPEN SPACE DEVELOPMENT

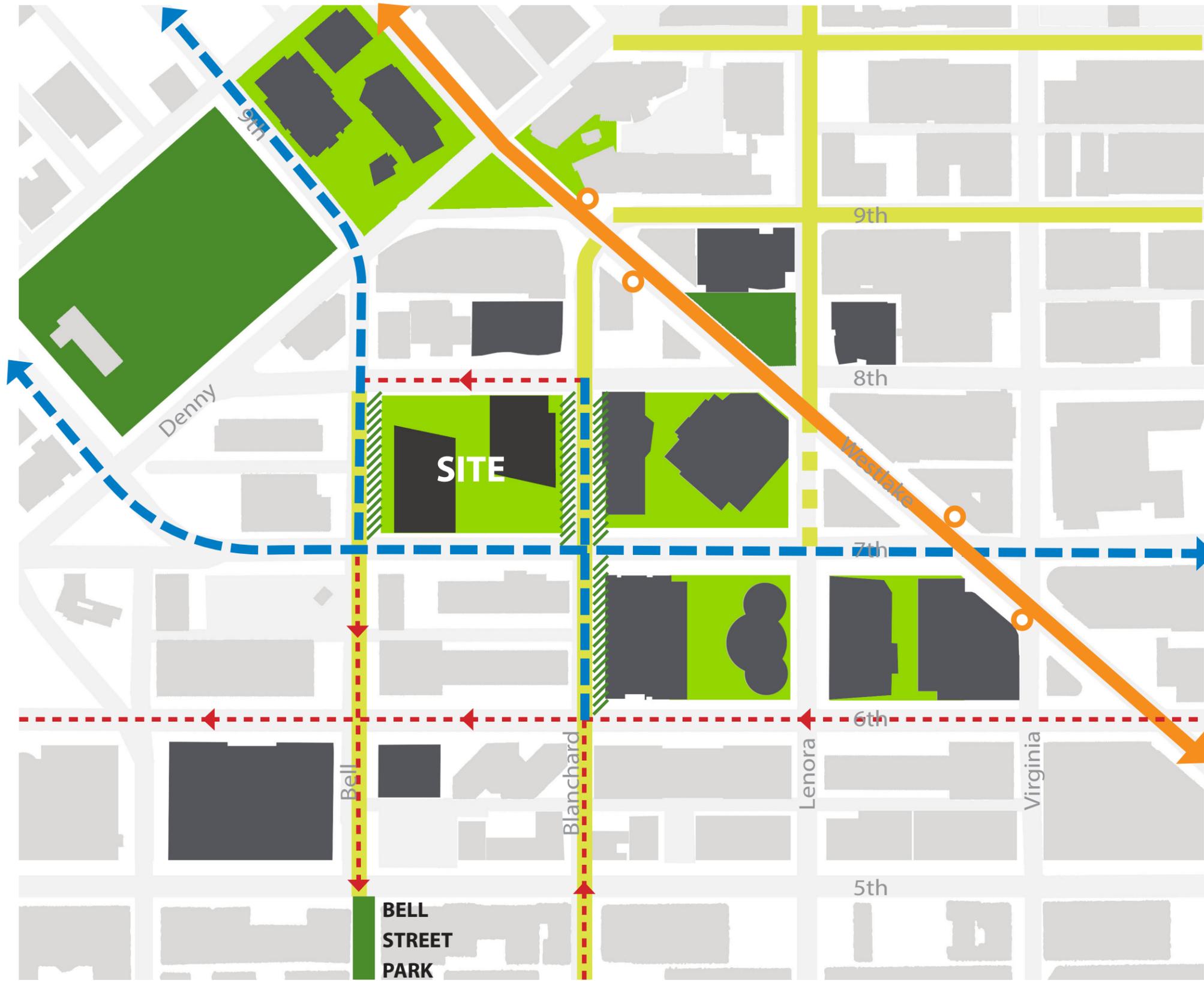
## Relationship to Streets and Open Space

- Provide better open space that is easily accessed.
- Engage with the street; design a porous street edge.
- All open space should be accessible at grade.
- Setback the structures along Bell and Blanchard streets.
- Provide modulation and articulation of the tower. Redesign to be better proportioned using modulation, façade treatment and/or a tower size similar to Option 2.
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- Provide open space and retail space along Bell and Blanchard.





# BELL STREET CORRIDOR

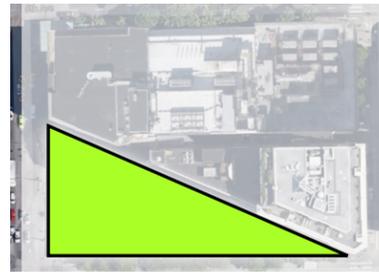


Bell Street Park



7th Avenue Cycle Track

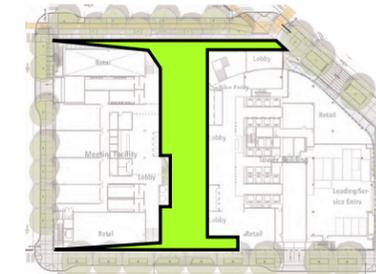
-  Streetcar + Stop
-  Green Street
-  Shared-use Street
-  Public Open Space
-  Private Open Space (Public-Accessible)
-  Green Street Setback
-  In-Street Bike Lane
-  Cycle Track



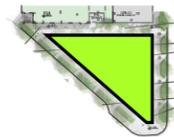
Westlake Park  
~25,000 SF



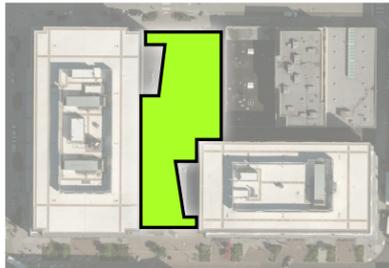
**325 Boren Ave. N.**  
(Amazon.com "Ruby + Dawson")  
~16,000 SF



**Block 14**  
~14,000 SF



9th & Lenora Park  
~6,000 SF



**551 Boren Ave. N**  
(Amazon.com "Obidos")  
~14,000 SF



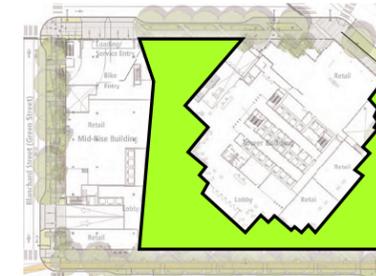
**Block 19**  
~26,000 SF



Kenny Triangle  
~3,600 SF

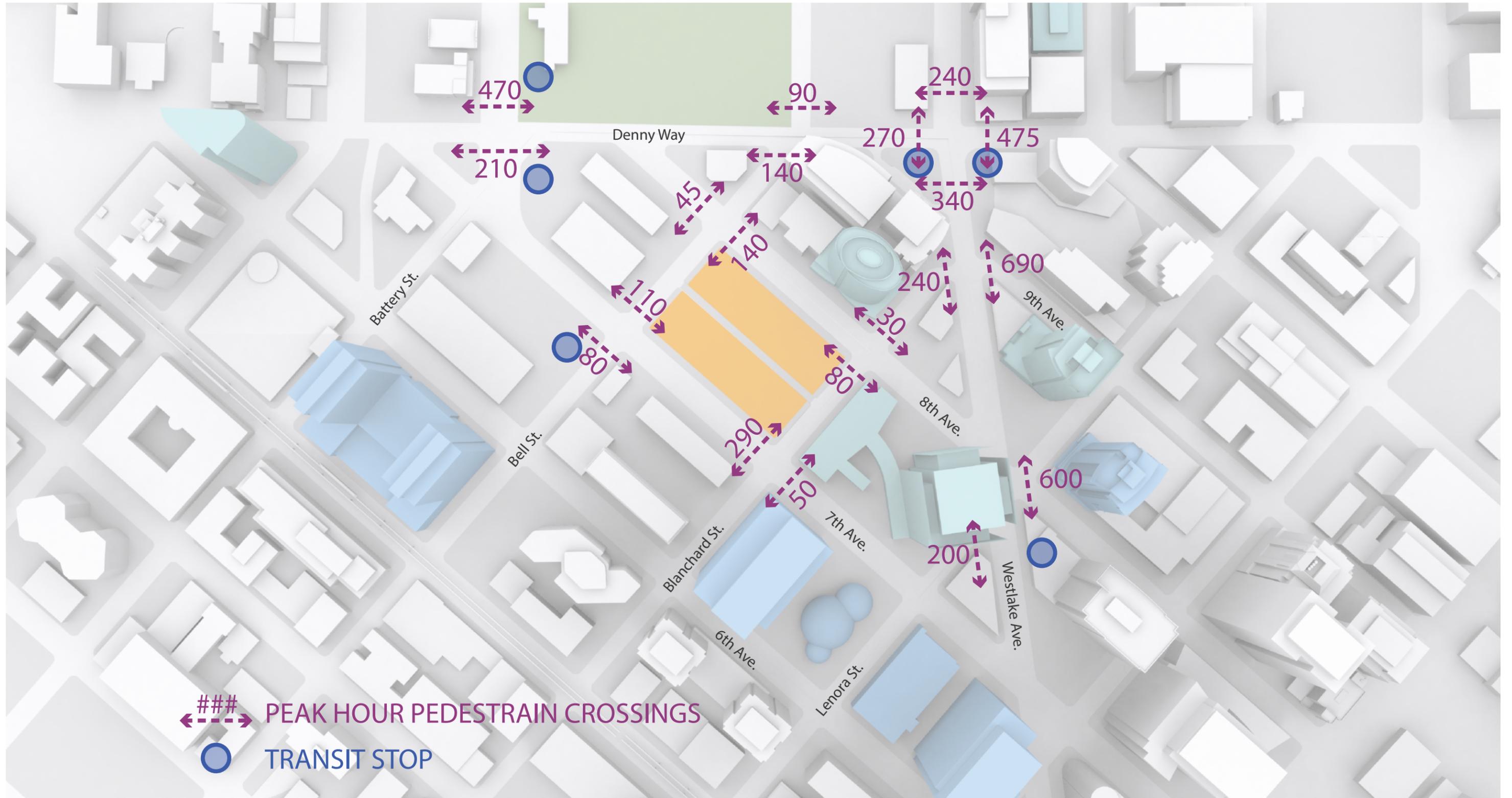


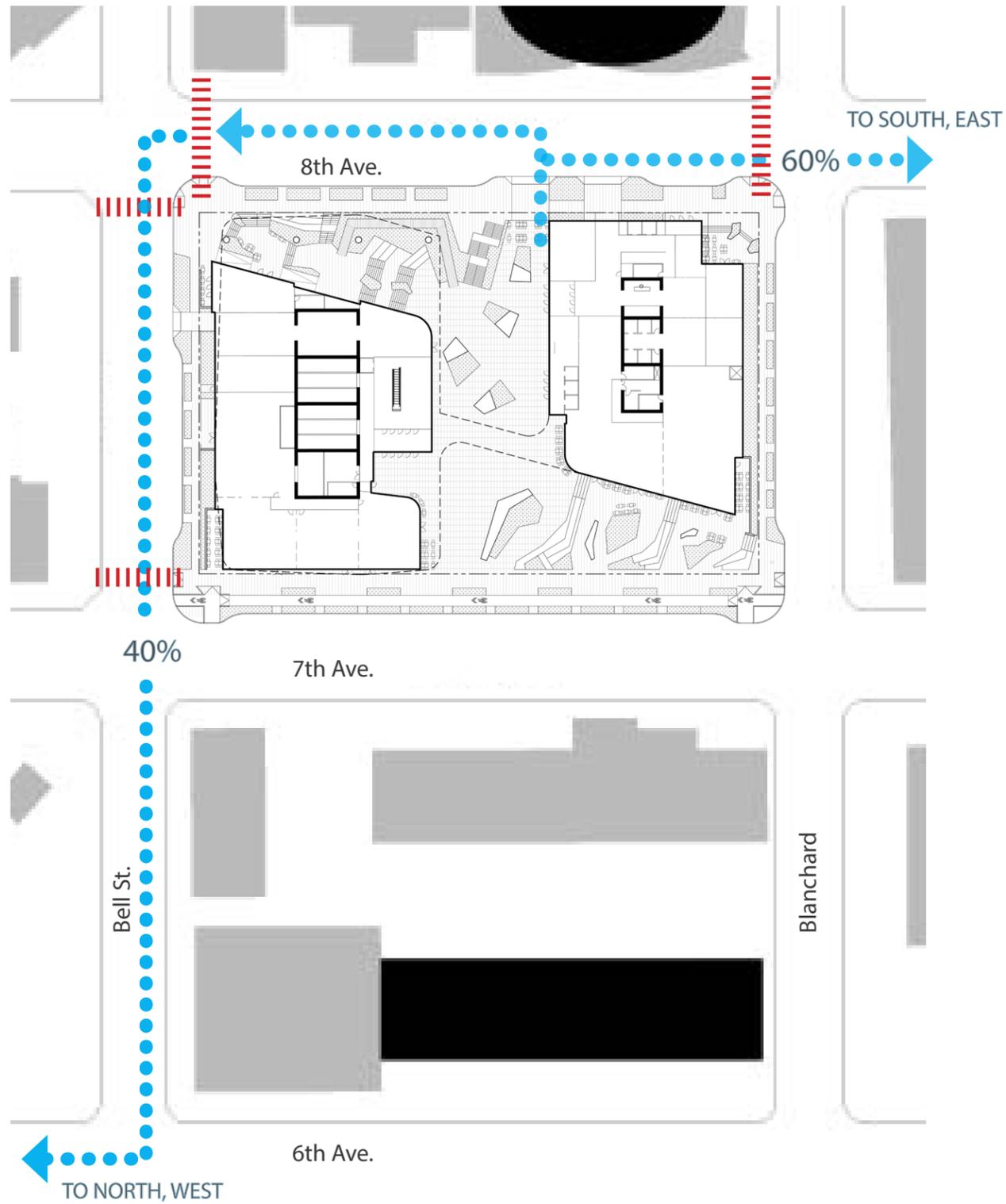
**BLOCK 21**  
~22,800 SF Open to Sky  
~8,600 SF Under Cover  
~31,400 SF Total



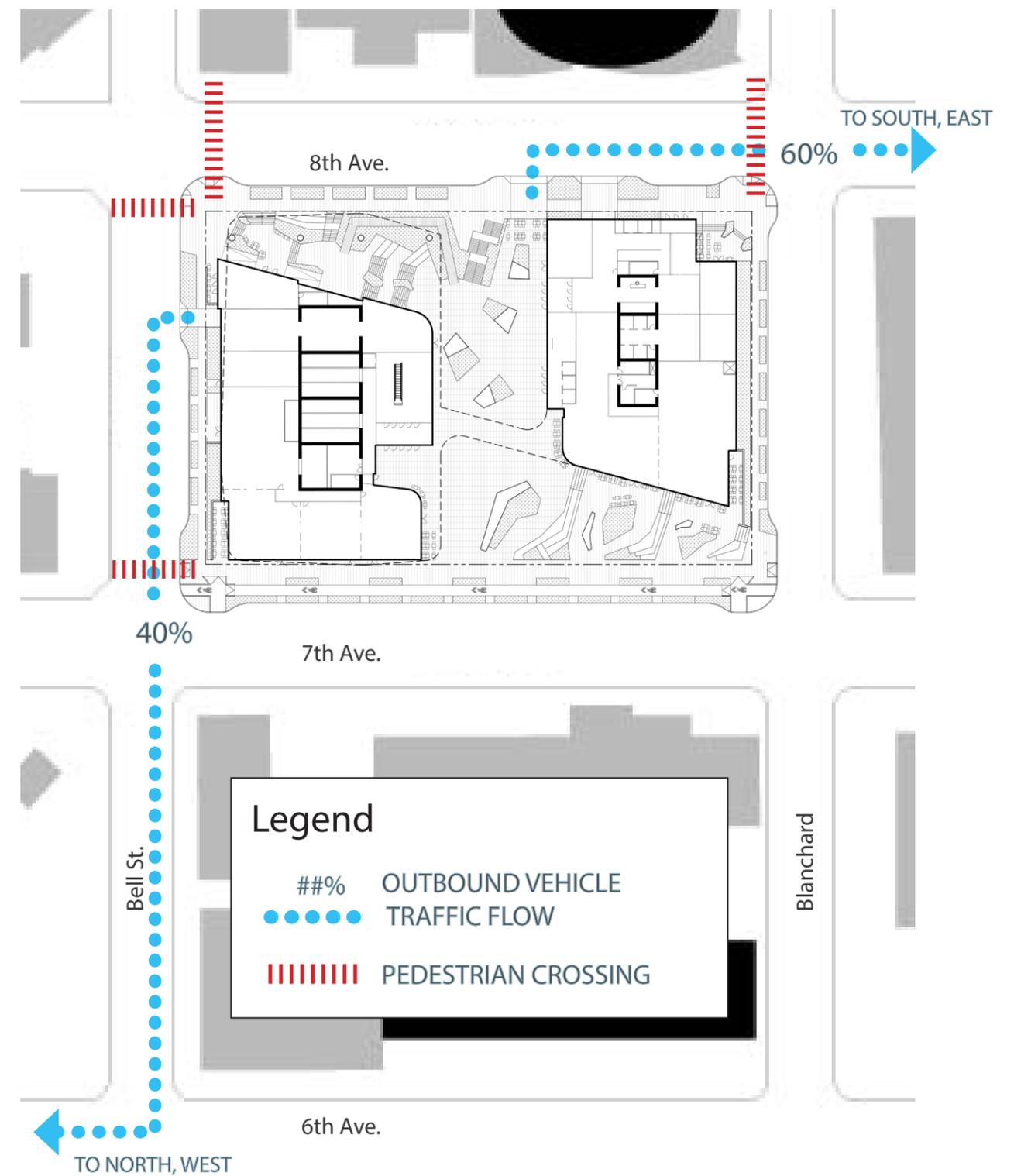
**Block 20**  
~25,000 SF

# PEDESTRIAN CROSSING VOLUMES





1: Outbound Traffic, 8th Ave. Exit Only



2: Outbound Traffic, 8th Ave. and Bell St. Exits

# SITE PLAN

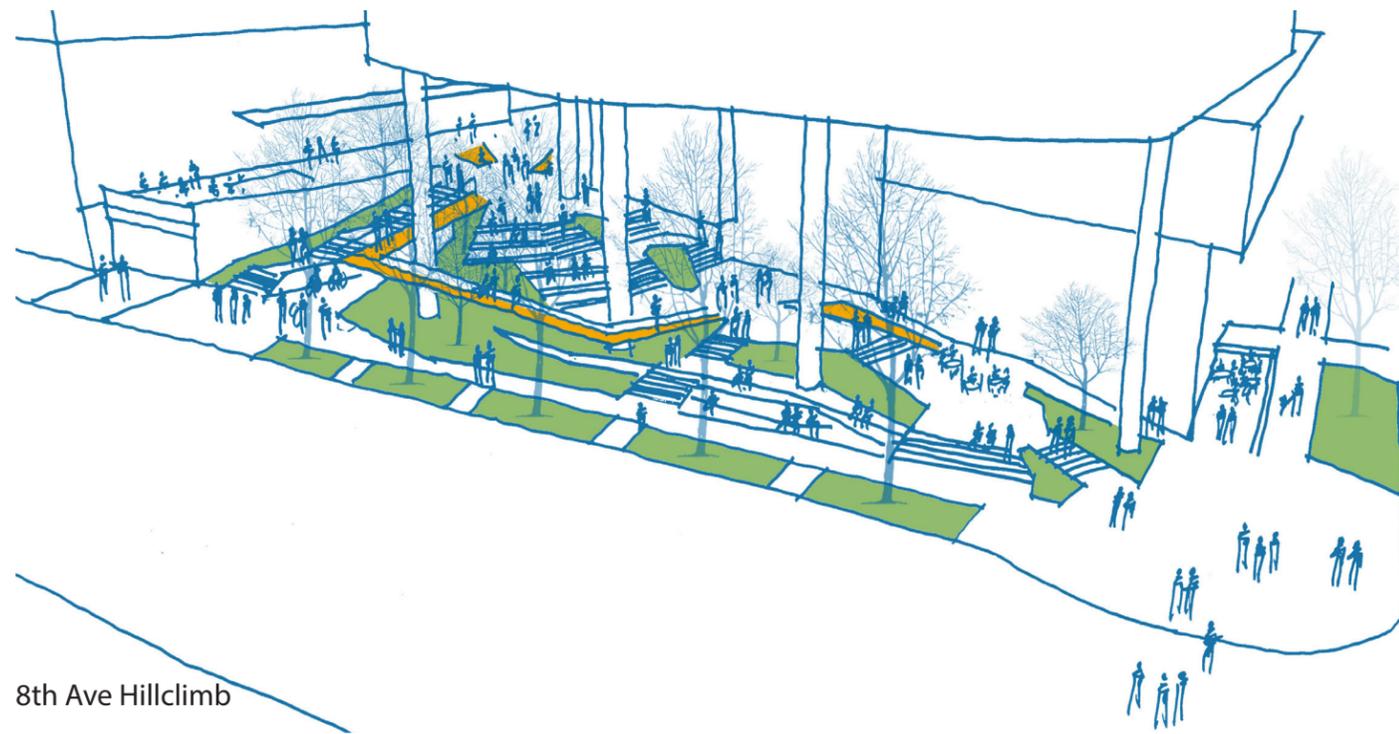


## Legend

- 1 8th Avenue Open Space
- 2 Central Open Space
- 3 7th Avenue Open Space
- 4 Bell Green Street Setback
- 5 Blanchard Green Street Setback
- 6 7th Ave Cycle Track and Double Tree Allée

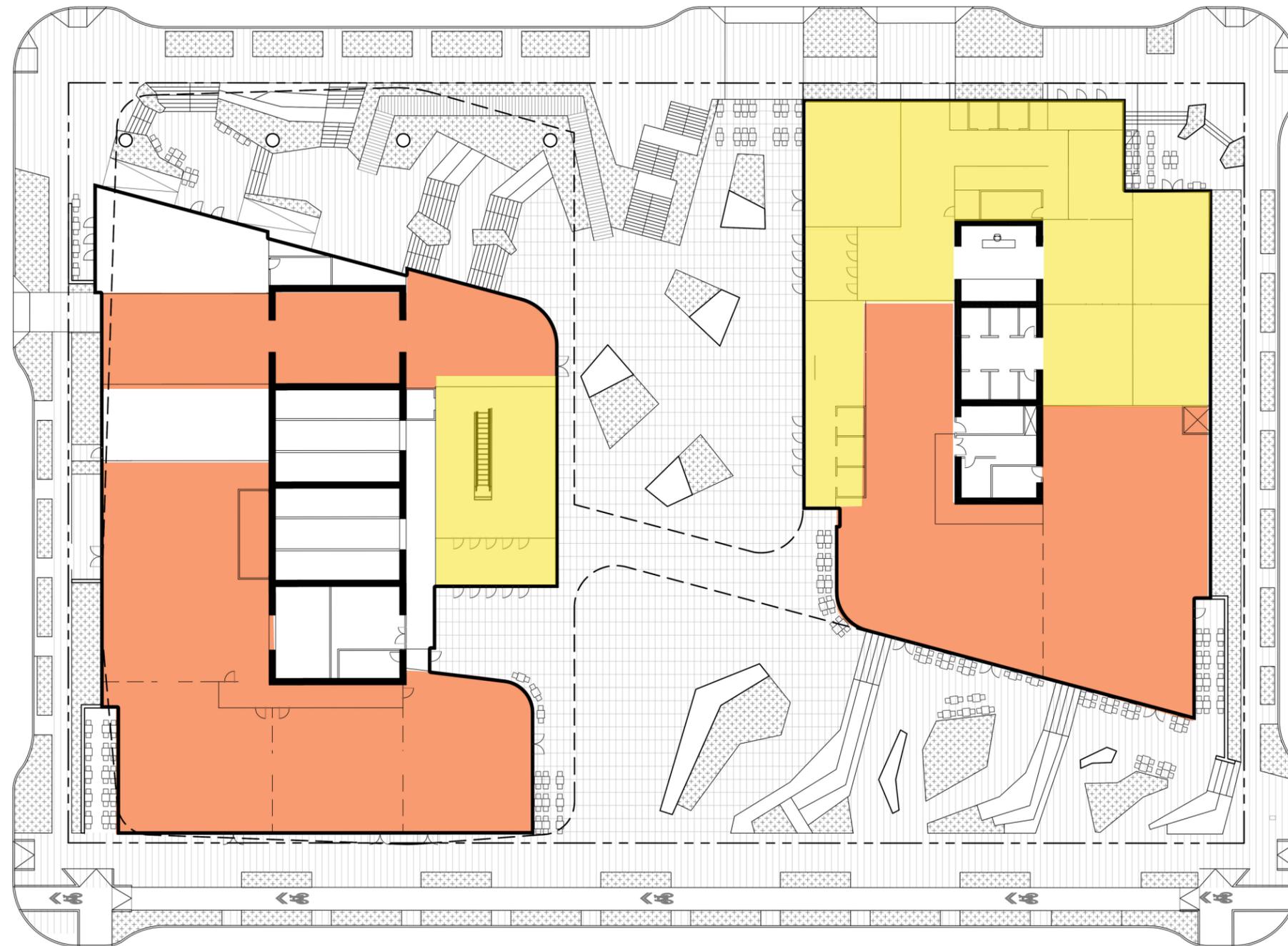


7th Ave Plaza



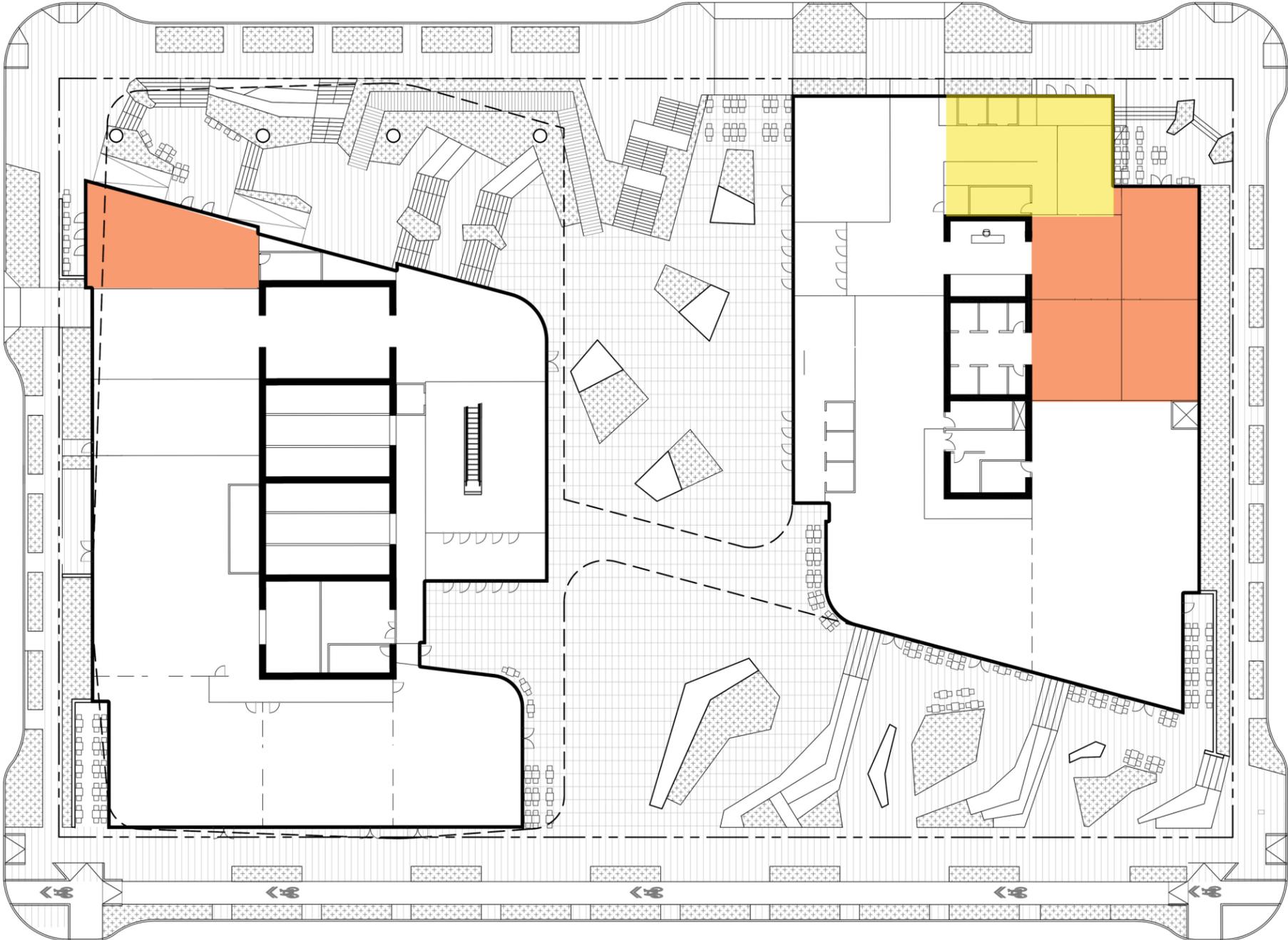
8th Ave Hillclimb

# GROUND FLOOR USES: LEVEL 1



## Legend

- Retail
- Lobby



Legend

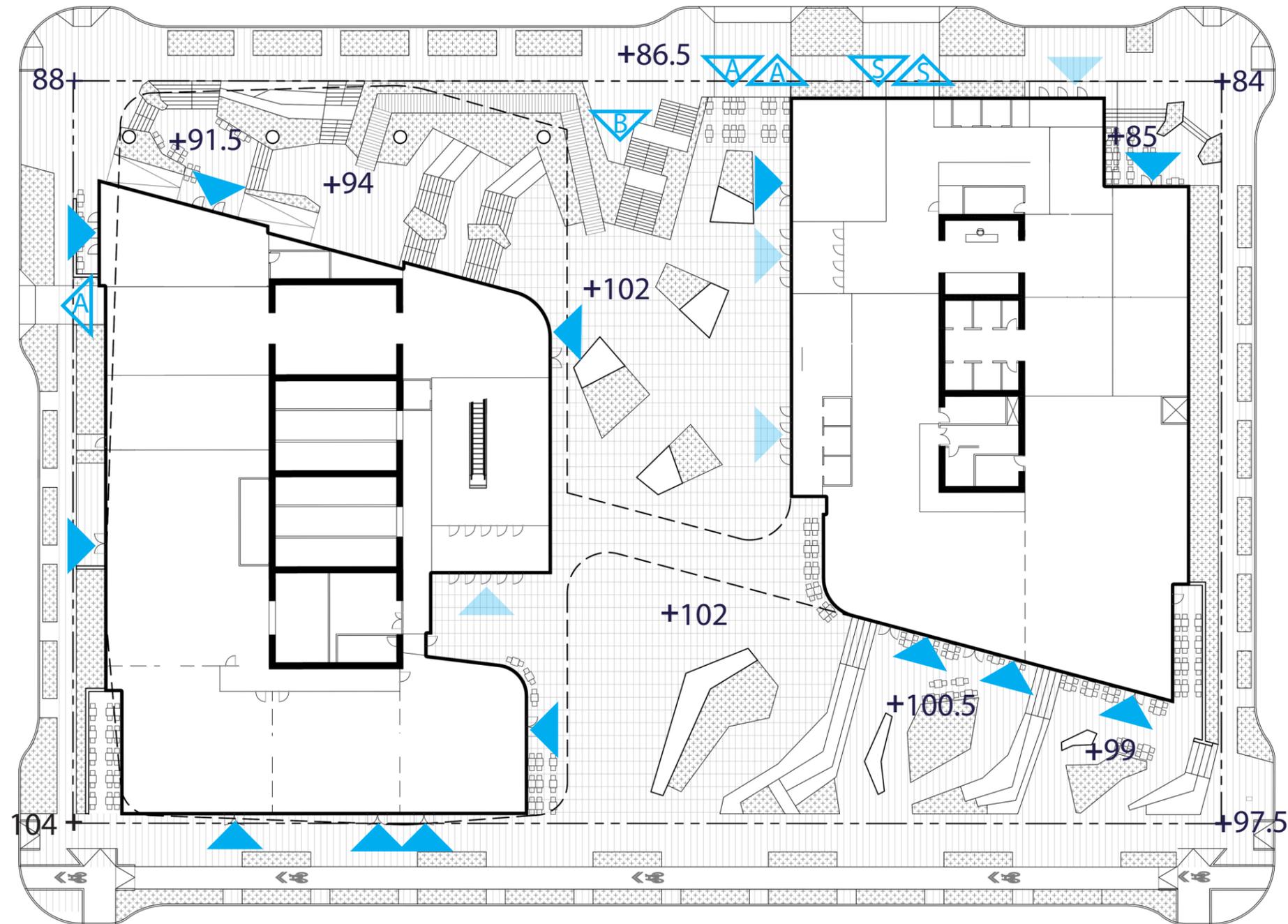


Retail



Lobby

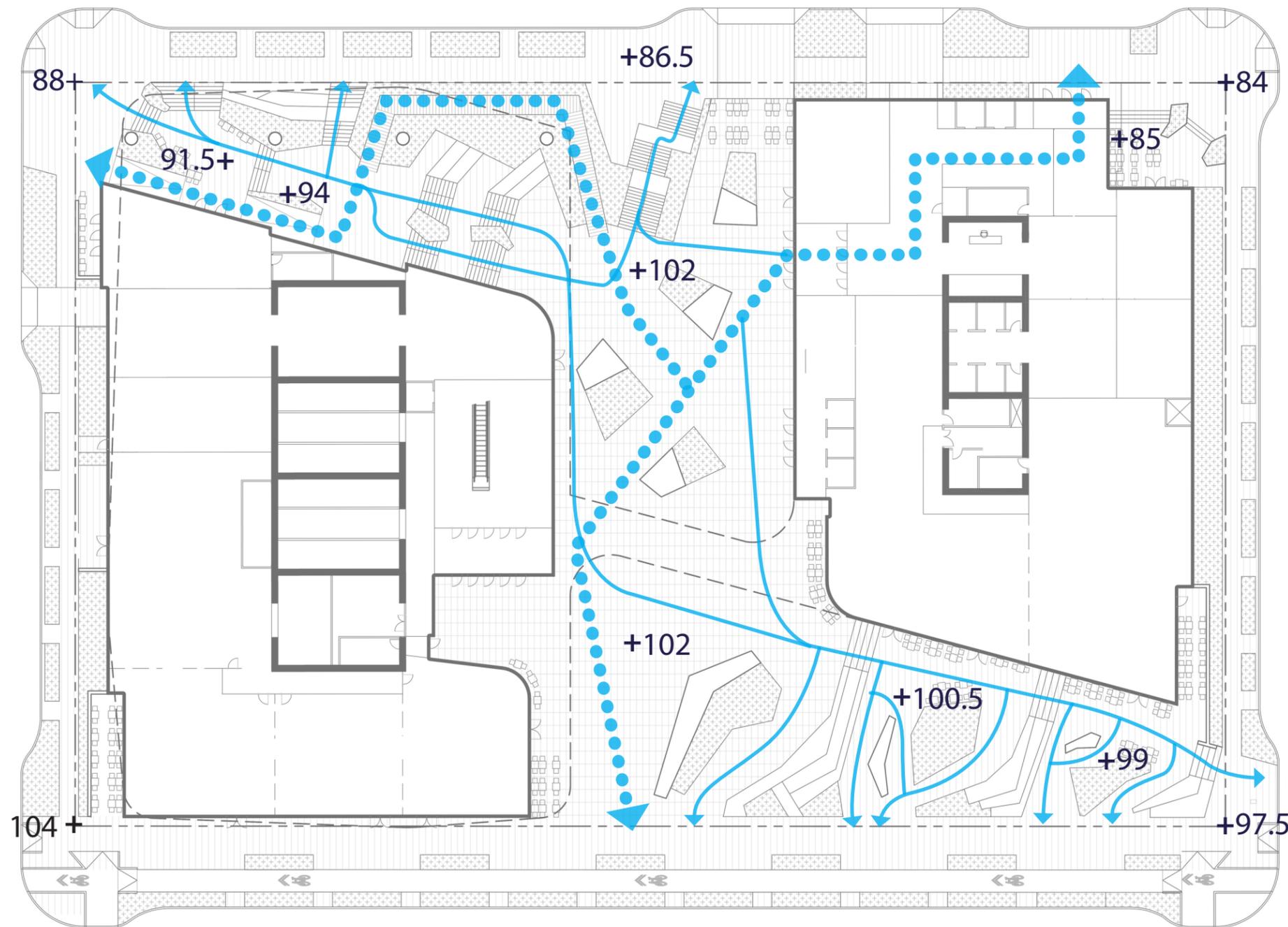
# BUILDING ENTRIES AND ACCESS



## Legend

-  Retail
-  Lobby
-  Auto
-  Bike
-  Service
- +97.5** Spot Grade

# PEDESTRIAN CIRCULATION, ACCESS, ADA PATHWAYS



## Legend



Primary ADA Pathways

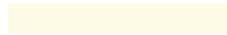


Pedestrian Circulation

# SOLAR ACCESS



## Legend

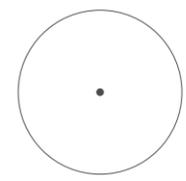
-  Sun
-  Part Shade
-  Shade



Legend

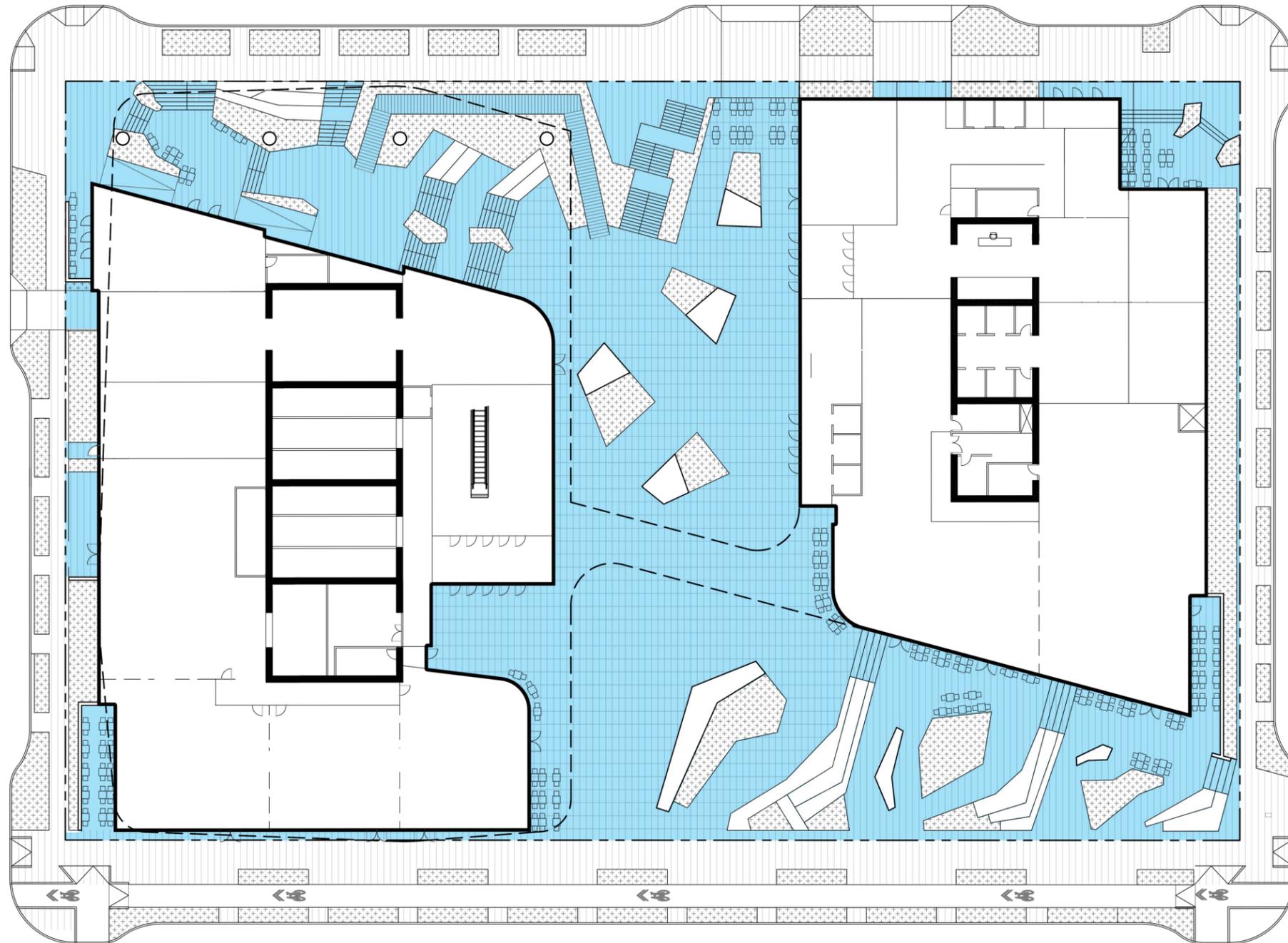


Planting



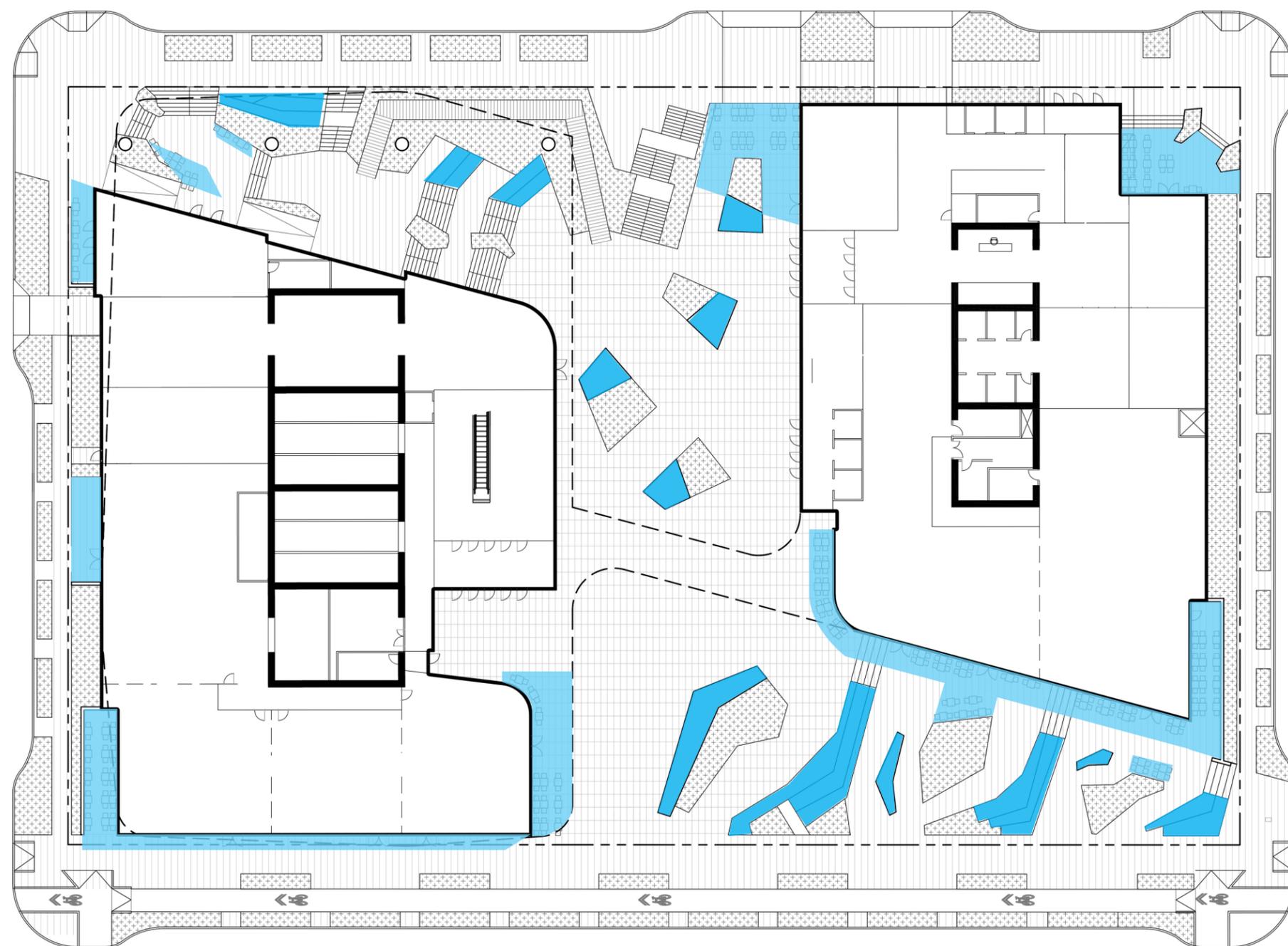
Trees

# PAVING



## Legend

 Paving



Legend



Seating Elements



Flexible Seating Zones

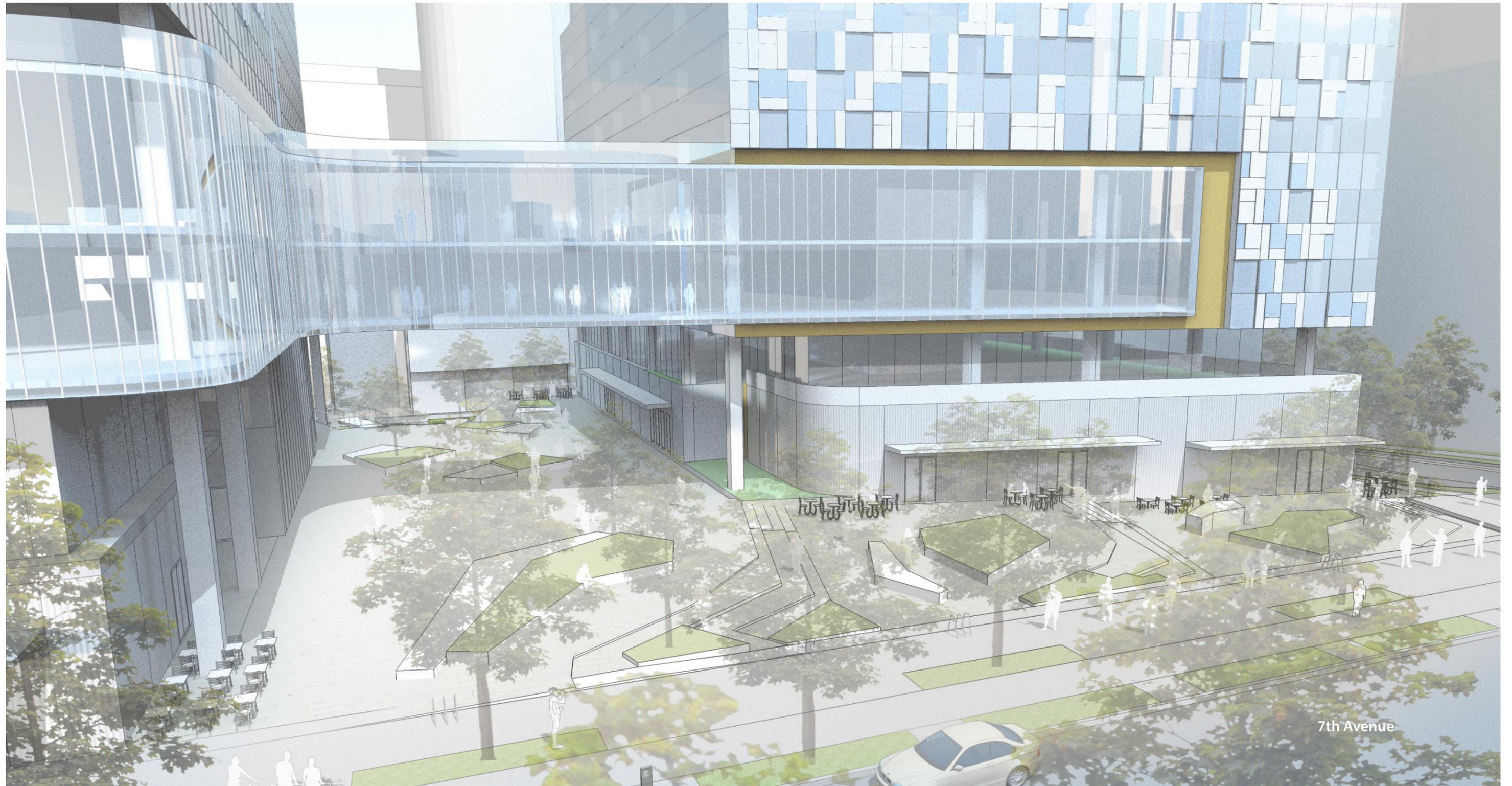
# 7TH AVENUE PLAZA

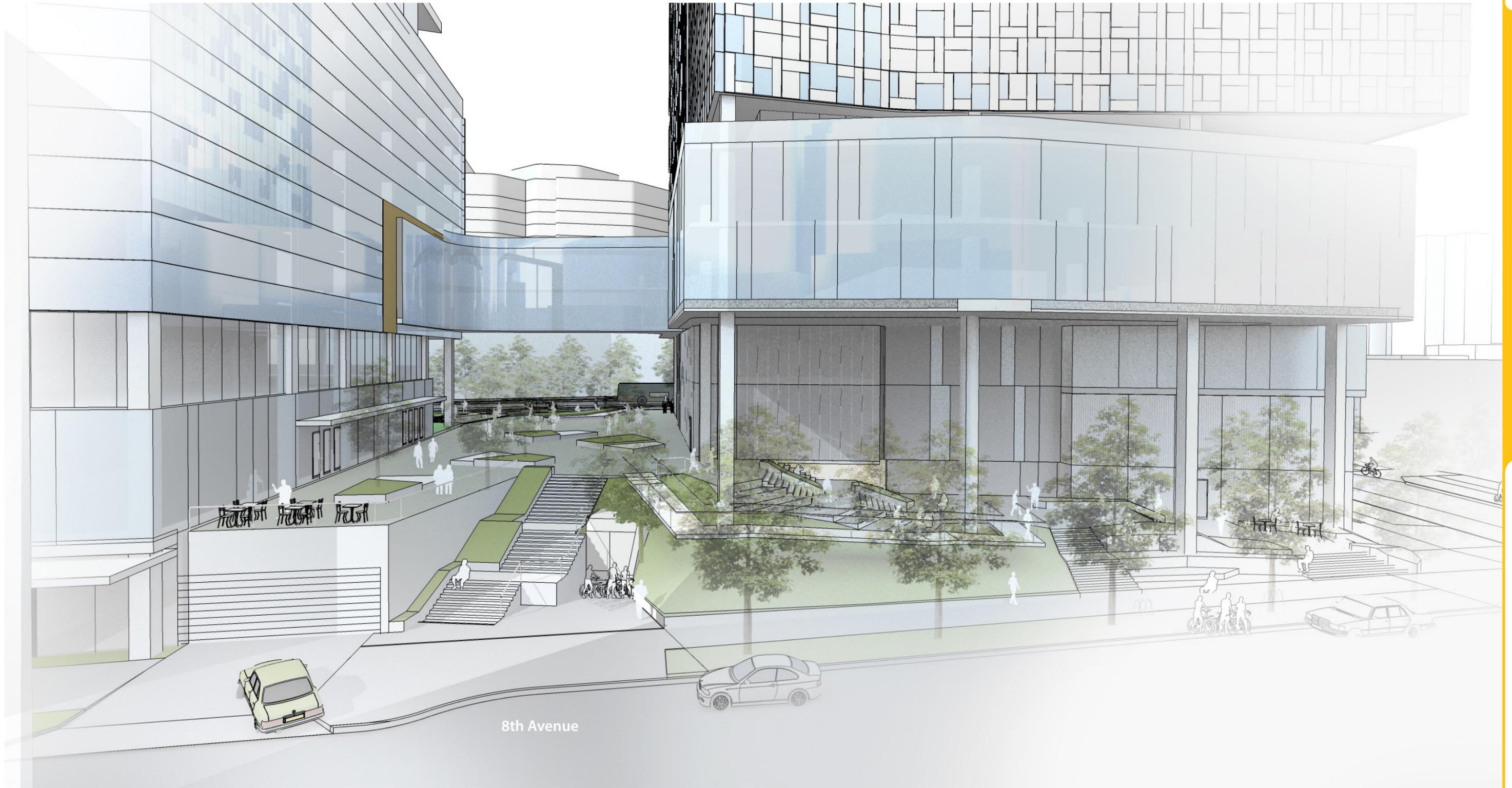




Eighth Avenue Hill Climb Looking West

# 7TH AVENUE PLAZA



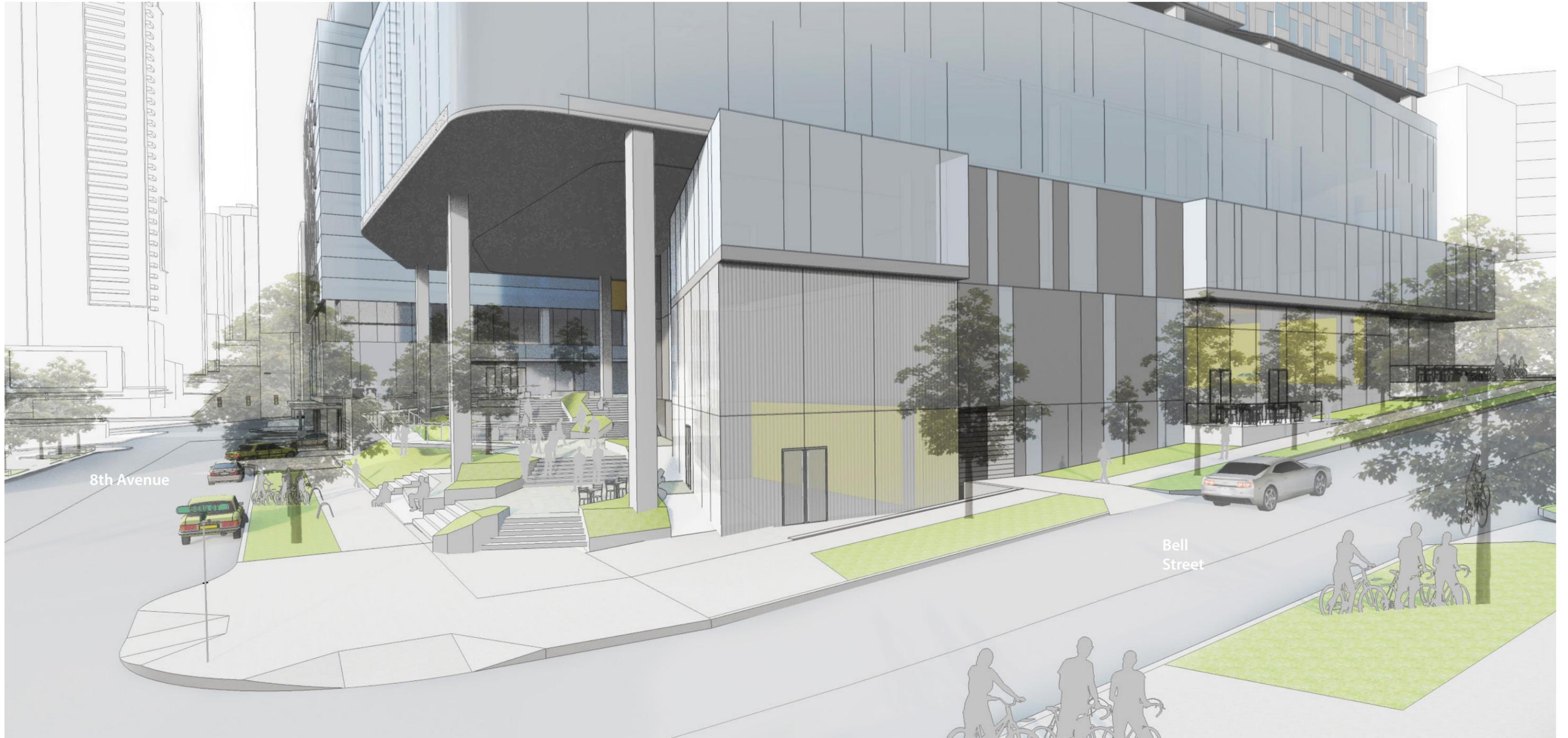


# BELL STREET AND 7TH AVENUE

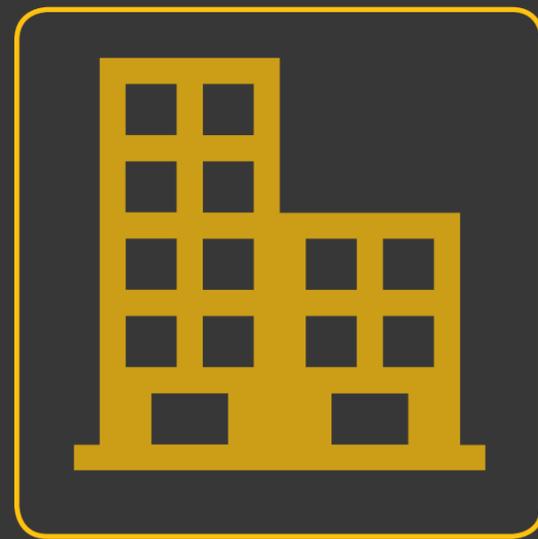




# BELL STREET



# DEVELOPMENT DEPARTURES



# DEVELOPMENT DEPARTURES

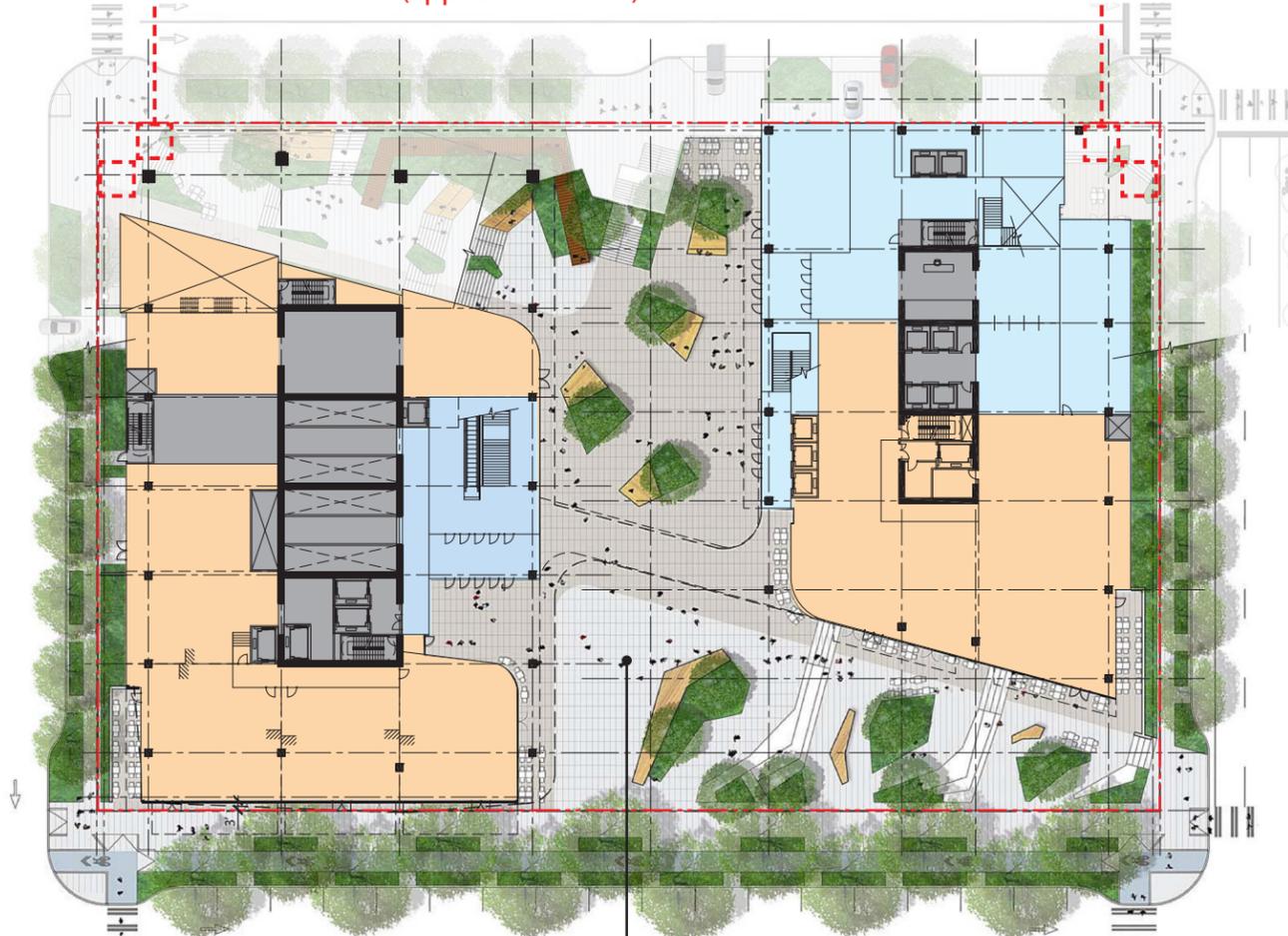
## Additional Setback for Green Street Departures

Item #	Development Standard	Requirement	Departure Amount Required	Rationale	Design Guidelines Reinforced	Reference
1	23.49.056 Street Facade, Landscaping, and Street Setbacks	B. Facade Setback Limits 2. General Setback Limits. The following setback limits apply on streets not requiring property line facades, as shown on Map 1H. d. The maximum setback of the facade from the street lot lines at intersections is 10 feet. The minimum distance the facade must conform to this limit is 20 feet along each street.	The setback at the corner of 8th Ave (& Bell St) exceeds the maximum setback limit by 10 feet.	The entry at this corner is enhanced and supported by a more gracious zone between the public right-of-way and the building.	A-1 Respond to physical environment B-2 Create a transition in bulk & scale B-4 Design a well-proportioned & unified building C-4 Reinforce building entries	Diagram 1
2	Same as (1) above	Same as (1) above	The setback at the corner of Bell St (& 8th Ave) exceeds the maximum setback limit by 10 feet.	The entry at this corner is enhanced and supported by a more gracious zone between the public right-of-way and the building.	A-1 Respond to physical environment B-2 Create a transition in bulk & scale B-4 Design a well-proportioned & unified building C-4 Reinforce building entries	Diagram 1
3	Same as (1) above	Same as (1) above	The setback at the corner of 8th Ave (& Blanchard St) exceeds the maximum setback limit by 10 feet.	The entry at this corner is enhanced and supported by a more gracious zone between the public right-of-way and the building.	A-1 Respond to physical environment B-2 Create a transition in bulk & scale B-4 Design a well-proportioned & unified building C-4 Reinforce building entries	Diagram 1
4	Same as (1) above	Same as (1) above	The setback at the corner of 8th Ave (& Blanchard St) exceeds the maximum setback limit by 10 feet.	The entry at this corner is enhanced and supported by a more gracious zone between the public right-of-way and the building.	A-1 Respond to physical environment B-2 Create a transition in bulk & scale B-4 Design a well-proportioned & unified building C-4 Reinforce building entries	Diagram 1

## Upper-Level Development Standard Departures - Revised from EDG 1: Item 5 No Longer Required

Item #	Development Standard	Requirement	Departure Amount Required	Rationale	Design Guidelines Reinforced	Reference						
5	23.49.058 Upper-Level Development Standards	B. Facade Modulation 2. The maximum length of a facade without modulation is prescribed in Table 23.49.058A... <table border="1"> <tr> <td>Elevation</td> <td>Max length un-modulated facade w/in 15' of prop line</td> </tr> <tr> <td>161-240'</td> <td>125'</td> </tr> <tr> <td>241-500'</td> <td>100'</td> </tr> </table>	Elevation	Max length un-modulated facade w/in 15' of prop line	161-240'	125'	241-500'	100'	None Required	N/A	A-2 Enhance the skyline B-1 Respond to neighborhood context B-4 Design a well-proportioned & unified building	Diagram 2
Elevation	Max length un-modulated facade w/in 15' of prop line											
161-240'	125'											
241-500'	100'											

**Items 1, 2, 3 & 4**  
**23.49.056**  
 Setback from intersection more than 10' (applies to first 20')



7th & 8th Ave max setback area= 3,600 sf  
 Bell & Blanchard max setback area= 2,320 sf  
 Complies on all frontages due to public open space not considered as setback area.

Diagram 1-  
 Level 1 Plan

**Item 5**  
**23.49.058**  
 Facades do not exceed upper level facade length without modulation and no departure is required

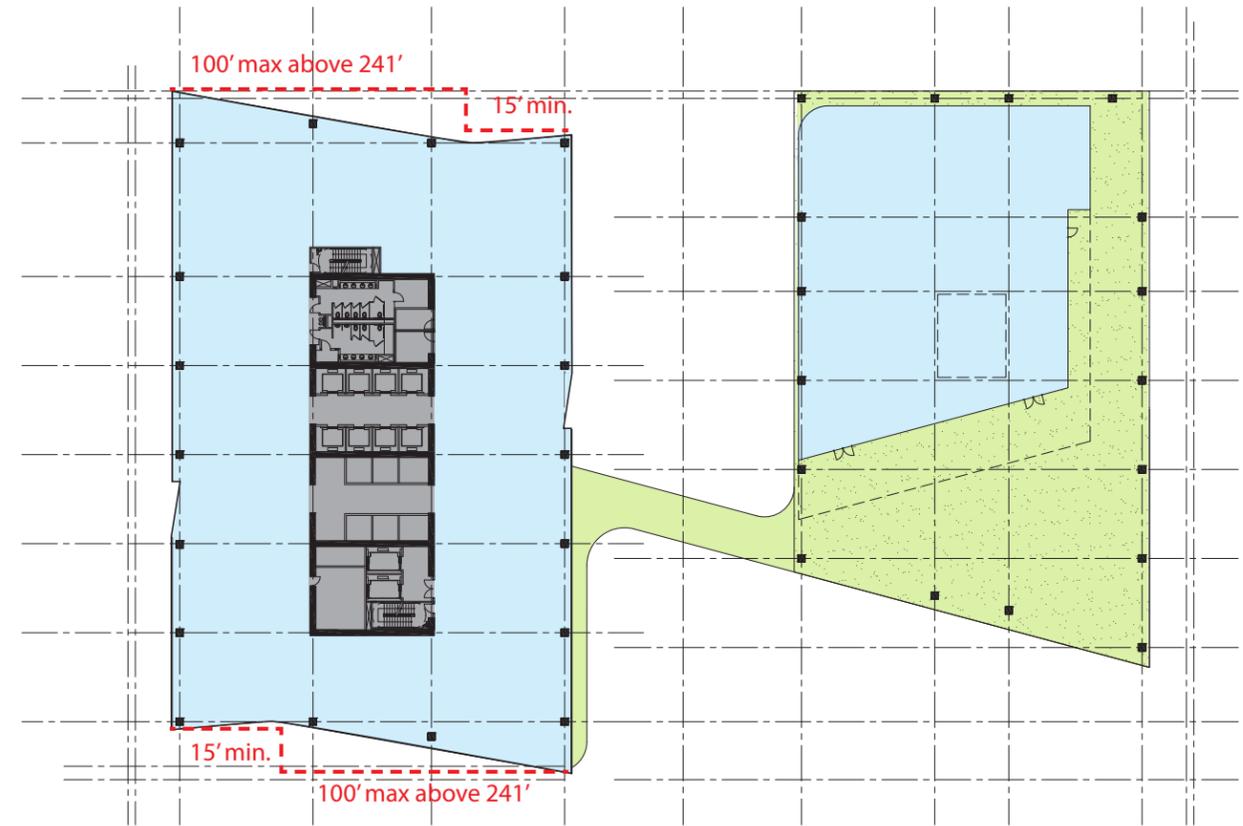


Diagram 2-  
 Upper Level Plan

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# APPENDIX



# CODE ANALYSIS

## Zone: DMC 340/290-400

Denny Triangle Urban Center Village

### 23.49.042 Permitted Uses

Standard
All uses are permitted outright except those prohibited by SMC 23.49.046, and parking, which shall be regulated by 23.49.045.

### 23.49.008 Structure Height

Standard
Nonresidential Height Maximum: 340'
Rooftop Features allowed above height limit: <ul style="list-style-type: none"> <li>Railings, planters, skylights, clerestories, greenhouses and parapets may extend up to 4' above height limit.</li> <li>Solar collectors may extend up to 7' above height limit.</li> <li>Mechanical equipment, stair penthouses, etc... may extend up to 15' above the height limit.</li> </ul>
Rooftop features may cover up to a combined coverage limit of 35%.
Elevator penthouses may extend up to 23' above the height limit (8' cab) or 25' above the limit (9' cab) plus an additional 10' if elevator provides access to usable rooftop open space.
The amount of rooftop area enclosed by screening may exceed the maximum percentage of the combined coverage of all rooftop features.
Measures may be taken to screen rooftop features from public view through the design review process. Rooftop screening may exceed ten percent of the applicable height limit or 15 feet, whichever is greater.

### 23.49.009 Street-level Use Requirements

Standard
None required on 7th Avenue, 8th Avenue, Bell Street, or Blanchard Street.

### 23.49.011 Floor Area Ratio

Standard
Base FAR: 5 Maximum FAR: 10 Additional chargeable floor area above the base FAR may be obtained as outlined in section 23.49.011 and may include generally the following: <ul style="list-style-type: none"> <li>Amenity Bonuses</li> <li>Transfer Development Rights</li> <li>Rural Development Credit</li> <li>Housing and Child Care</li> </ul>
<ul style="list-style-type: none"> <li>A minimum of 5% of floor area above base FAR must be obtained through Landmark TDRs to the extent they are available.</li> <li>FAR gained through housing and child care bonuses (23.49.012) together with housing (23.49.015) and landmark TDRs shall equal 75% of the area by which the total chargeable area permitted on the lot exceeds the base FAR.</li> <li>At least 1/2 of the balance of the 25% shall be gained from a sending lot with a major performing arts center if available.</li> <li>The balance of the 25% shall be gained through bonus floor area for amenities (23.49.013)</li> </ul>
<ul style="list-style-type: none"> <li>The first increment above base FAR must be provided through regional development credits, pursuant to SMC 23.58.A.044 (SMC 23.49.011.A.2.a).</li> </ul>
<b>Areas Exempt from FAR:</b> <ul style="list-style-type: none"> <li>Street level use (retail) that has a minimum flr-flr of 13', horizontal depth of 15', and overhead weather protection is provided.               <ul style="list-style-type: none"> <li>Child Care</li> <li>Human Services</li> <li>Residential use and live-work units</li> <li>Museums and museum expansion spaces</li> <li>Performing art theaters</li> <li>Floor area below grade</li> <li>Public restrooms</li> <li>Shower facilities for bicycle commuters</li> <li>Certain area in Landmark structures</li> <li>An allowance of 3.5% of GFA for mechanical equipment after all other deductions have been taken</li> </ul> </li> </ul>
Rooftop mechanical equipment, whether enclosed or not, shall be counted as part of the GFA of the structure except for those structures existing prior to June 1, 1989 or replacement mechanical equipment.

### 23.49.013 Bonus Floor Area for Amenities

Standard
<ol style="list-style-type: none"> <li>Open Space and Green Street Improvements</li> <li>Hill Climb Assists (N/A)</li> <li>Human Services Per 23.49.013 A3</li> <li>Public Restrooms</li> <li>Rehabilitation and Preservation of Landmark Structure</li> <li>Transit Station Access (N/A)</li> </ol>
Amenity Ratios and Limits per 23.49.13 B3

### 23.49.014 Transfer of Development Rights

Standard
<ol style="list-style-type: none"> <li>Housing TDR</li> <li>DMC Housing TDR</li> <li>Landmark Housing TDR</li> <li>Landmark TDR</li> <li>Open Space TDR; and</li> <li>South Downtown Historic TDR</li> </ol>
Note Table A 23.49.014

### 23.49.016 Open Space

Standard
<b>Private Open Space - Office Use Requirements:</b> <ul style="list-style-type: none"> <li>20 SF for every 1000 GSF of Office Use</li> <li>Only applies to office use greater than 85,000 GSF; Office use less than 85,000 GSF is exempt.</li> <li>Must be open to the sky, meet Downtown Amenity Standards and be accessible to all tenants.</li> </ul>
<b>On-site public open space</b> <ul style="list-style-type: none"> <li>Available for amenity feature bonus per section 23.49.013</li> </ul>
<b>Off-site public open space</b> <ul style="list-style-type: none"> <li>Available for amenity feature bonus per section 23.49.013</li> <li>Must be in a downtown zone within 1/4 mile of the project site.</li> <li>Must be open to the public without charge.</li> <li>Minimum of 5,000 SF of contiguous area.</li> </ul>
<b>Payment in lieu</b> <ul style="list-style-type: none"> <li>Payment in lieu of open space development is permitted if the Director determines that such payment will contribute to the improvement of a green street or there is public open space abutting the lot or in the vicinity.</li> </ul>

**23.49.018 Overhead weather protection and lighting**

<b>Standard</b>
Continuous weather protection is required along entire street frontage
Exceptions: <ul style="list-style-type: none"> <li>• If set back farther than 5' from property line</li> <li>• Abuts a bonused open space or amenity feature</li> <li>• If separated from the street property line by a landscaped area at least 2' in width</li> <li>• Driveways and loading docks</li> </ul>
Dimensions: <ul style="list-style-type: none"> <li>• Min. 8' from building wall or must extend to a line 2' from curb line, whichever is less</li> <li>• Lower edge minimum height of 10' and a maximum of 15' above the sidewalk</li> <li>• Pedestrian lighting to be provided</li> </ul>

**23.49.019 Parking quantity, location and access requirements**

<b>Standard</b>
No parking, either long-term or short-term, is required on lots in Downtown zones
<ul style="list-style-type: none"> <li>• On Blanchard Street and Bell Street (green street), parking is permitted at street level only if separated from the street by other uses</li> <li>• On 7th and 8th Avenue (class II pedestrian streets), parking is permitted at street level if it meets the standards of 23.49.019B, including:                     <ul style="list-style-type: none"> <li>• At least 30% of the street frontage (excluding garage doors) is separated from the street by other uses;</li> <li>• The façade of the separating uses meets the transparency and blank wall standards for class I ped. streets;</li> <li>• The portion of parking not separated by other uses is screened, and;</li> <li>• The street façade is enhanced by detailing, artwork, landscaping, etc...</li> </ul> </li> <li>• Parking not at street level within structures must be located below street level or separated from street level by other uses</li> <li>• Up to four levels of above grade parking may be permitted if it meets the standards of 23.49.019B</li> </ul>
Maximum parking limit for nonresidential uses <ul style="list-style-type: none"> <li>• Parking for nonresidential uses is limited to one parking space per every 1,000 square feet of gross floor area in nonresidential use.</li> <li>• Parking for nonresidential uses may be permitted to exceed the maximum standard as a special exception as granted by the Director.</li> <li>• Access to parking and loading shall be from the alley when the lot abuts an improved alley, unless the Director approves an alternate access route.</li> </ul>
Bicycle Parking (Minimums): <ul style="list-style-type: none"> <li>• Office: 1 space per 5,000 SF</li> <li>• Hotel: .05 spaces per hotel room</li> <li>• Retail use over 10,000 SF: 1 space per 10,000 SF</li> <li>• Residential: 1 space for every 2 dwelling units</li> </ul>
After the first 50 spaces are provided additional spaces are required at 1/2 the ratio noted
Structures containing more than 250,000 SF of office space shall include shower facilities
Off-street loading spaces shall be provided per 23.54.030

**23.49.022 Minimum sidewalk and alley width**

<b>Standard</b>
Minimum sidewalk width on Blanchard Street, Bell Street, 7th Avenue and 8th Avenue: 12'.
Minimum alley width: 20', achievable through setback or dedication if required.

**23.49.045 Parking**

<b>Standard</b>
Principal use parking garages for short-term parking may be permitted as conditional use.
In DMC zones, principal use long-term and short-term surface parking may be permitted as administrative conditional use.
Accessory parking garages for both long-term and short-term parking are permitted outright up to the maximum parking limit established by 23.49.019

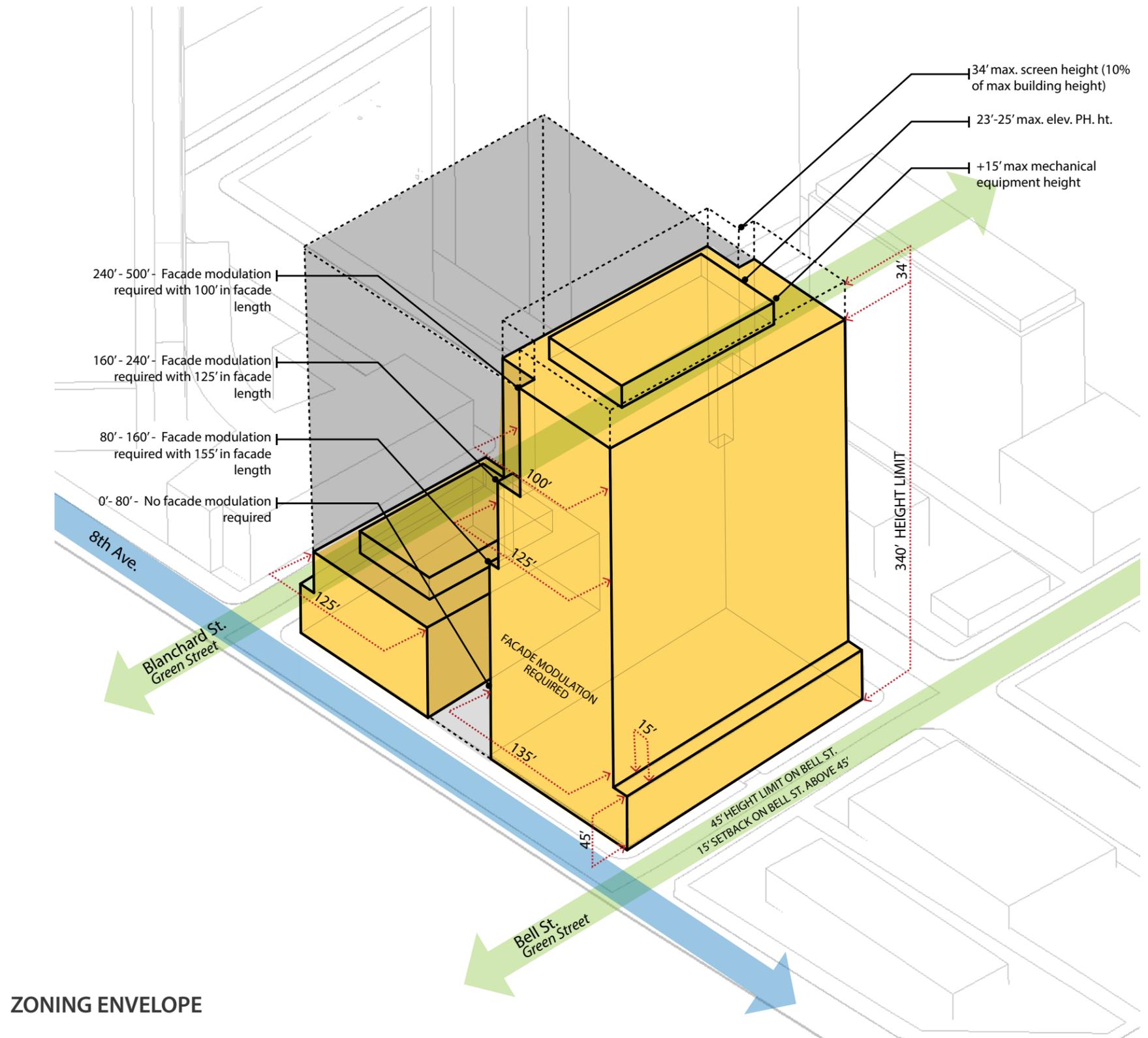
**23.49.056 street façade, landscaping and street setback requirements**

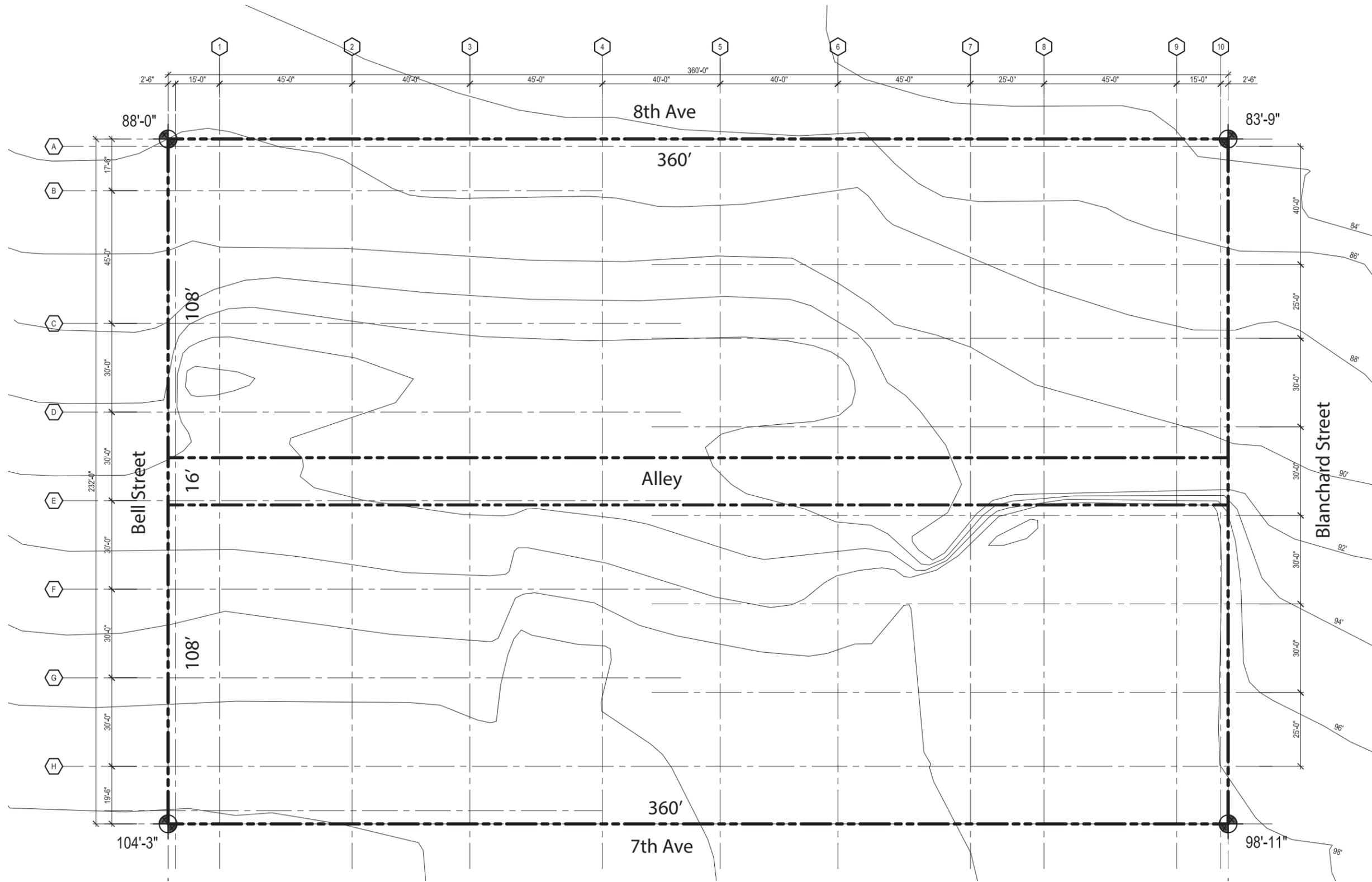
<b>Standard</b>
Minimum façade heights: <ul style="list-style-type: none"> <li>• 7th and 8th Avenues (class II pedestrian streets): 15'</li> <li>• Blanchard Street and Bell Street (green streets): 25'</li> </ul>
Setbacks <ul style="list-style-type: none"> <li>• The max. area of all setbacks shall not exceed the area derived by multiplying the averaging factor by the width of the street frontage. The averaging factor is... ten on Class II pedestrian streets and designated green streets.</li> <li>• The maximum setback of the facade from the street lot lines at intersections is 10 feet. Minimum conforming distance is 20 feet along each street.</li> <li>• Any exterior open space that meets amenity standards is not considered part of the setback area.</li> <li>• If a sidewalk is widened into the lot as a condition of the development setback shall be measured from the line of the new sidewalk.</li> </ul>
Transparency and blank façade requirements: <ul style="list-style-type: none"> <li>• Along 7th and 8th Avenues (class II ped. street) 30% of street façade to be transparent between 2' and 8' above sidewalk level.</li> <li>• Along Bell and Blanchard Streets (green streets) 60% of street façade to be transparent between 2' and 8' above sidewalk level.</li> <li>• On 7th and 8th Avenues blank façades limited to segments 30' except for garage doors which may be wider than 30'.</li> <li>• On 7th and 8th Avenues the total of all blank façade segments shall not exceed 70% of the street façade.</li> <li>• On Blanchard and Bell Streets blank façades limited to segments 15' except for garage doors which may be wider than 30'.</li> <li>• On Blanchard and Bell Streets the total of all blank façade segments shall not exceed 40% of the street façade.</li> <li>• Blank façade sections shall be separated by transparent area at least 2' wide</li> </ul>
Street Trees are required on all streets.
Landscaping in the Denny Triangle Urban Village <ul style="list-style-type: none"> <li>• All areas abutting a street lot line that are not covered by a structure, have a depth of 10 feet or more, and are larger than 300 SF shall be landscaped.</li> <li>• Setbacks required to meet minimum sidewalk widths shall be exempt from landscape requirements.</li> </ul>

**23.49.058 Upper-Level Development Standards**

<b>Standard</b>
"Tower" Definition <ul style="list-style-type: none"> <li>• Any structure where a portion is above a height of 85 feet in a structure that has any nonresidential use above 65 feet or does not have residential use above a height of 160 feet.</li> </ul>
Façade modulation and upper-level width limits apply to: <ul style="list-style-type: none"> <li>• Structures 160' in height or less in which any story above 85' exceeds 15,000 SF</li> <li>• Portions of structures in non-residential use above a height of 160' in which any story above an elevation of 85' exceeds 15,000 SF.</li> </ul>
Façade Modulation (non-residential) <ul style="list-style-type: none"> <li>• Required of street facing facades within 15' of street above 85'.</li> <li>• Maximum façade length without modulation within 15' of street lot line:                     <ul style="list-style-type: none"> <li>• 155' façade length from elevation 86 to 160 feet.</li> <li>• 125' façade length from elevation 161 to 240 feet.</li> <li>• 100' façade length from elevation 241 to 500 feet.</li> <li>• 80' façade length for elevations above 500 feet.</li> </ul> </li> <li>• Modulation defined as at least 15' deep step back from property line at least 60' long.</li> </ul>
Upper Level Width Limit <ul style="list-style-type: none"> <li>• On lots where the width and depth of the lot each exceed 200 feet, the maximum facade width for any portion of a building above 240 feet shall be 145 feet along the general north/south axis of a site.</li> </ul>
Tower Separation <ul style="list-style-type: none"> <li>• On DMC sites zoned with a maximum height limit of more than 160' located in the Denny Triangle Urban Village, if any part of a tower exceeds 160' then all portions of the tower that are above 125' must be separated by a minimum of 60' from any portion of any other existing tower above 125' in height. From a structure allowed pursuant to the Land Use Code in effect prior to the effective date of March 20th 2006 Ordinance 122054.</li> </ul>
Upper level setbacks <ul style="list-style-type: none"> <li>• When a lot in a DMC Zone is located on a designated green street, a continuous upper-level setback of 15' shall be provided on the street frontage abutting the green street at a height of 45 feet.</li> </ul>

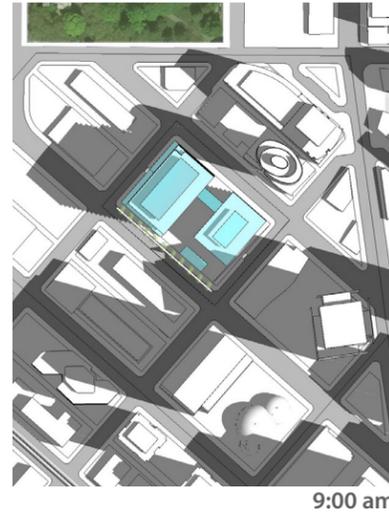
# ZONING ENVELOPE



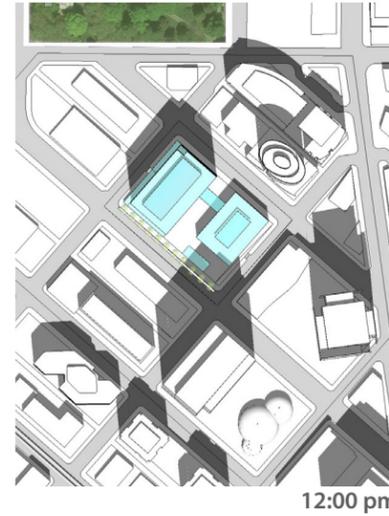


# SHADOW ANALYSIS

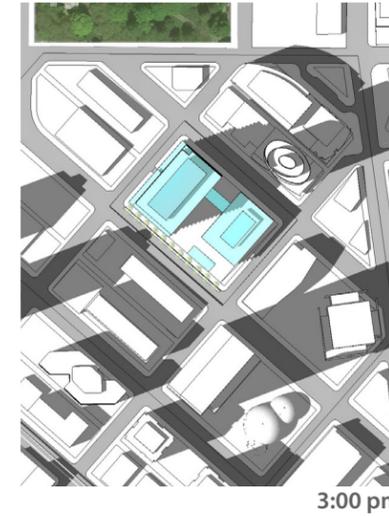
Summer- June 21st



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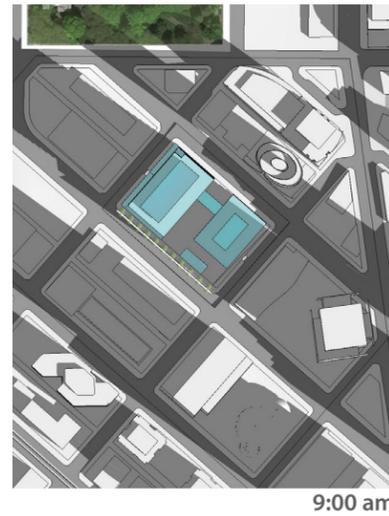


12:00 pm

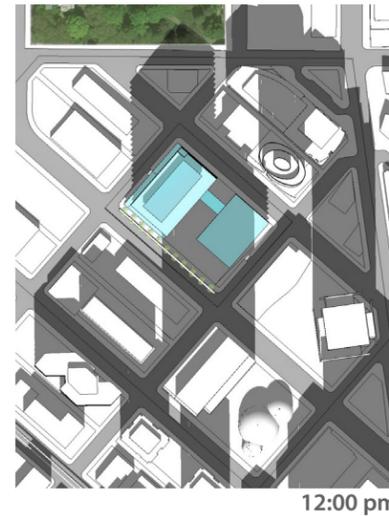


3:00 pm

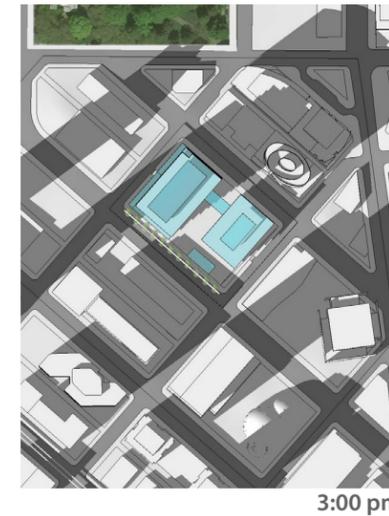
Spring & Fall- March & Sept. 20th



9:00 am

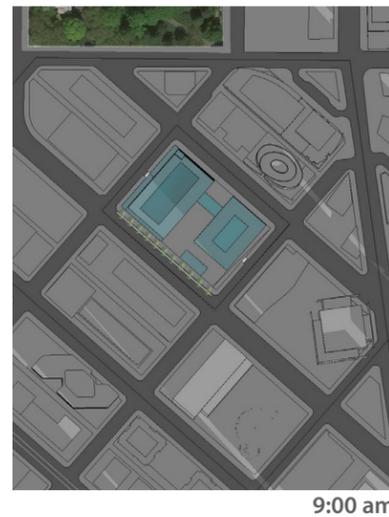


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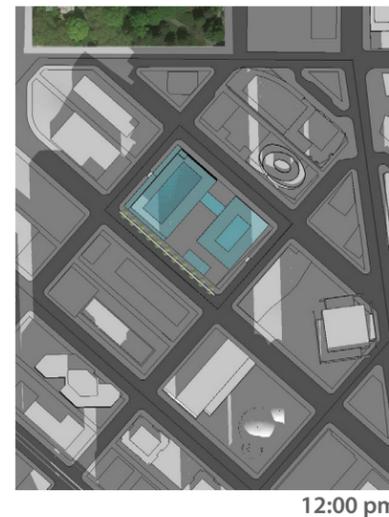


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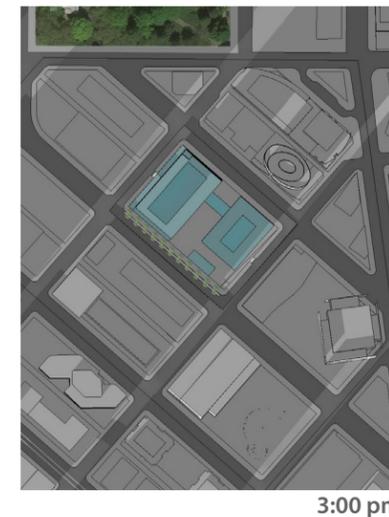
Winter- December 21st



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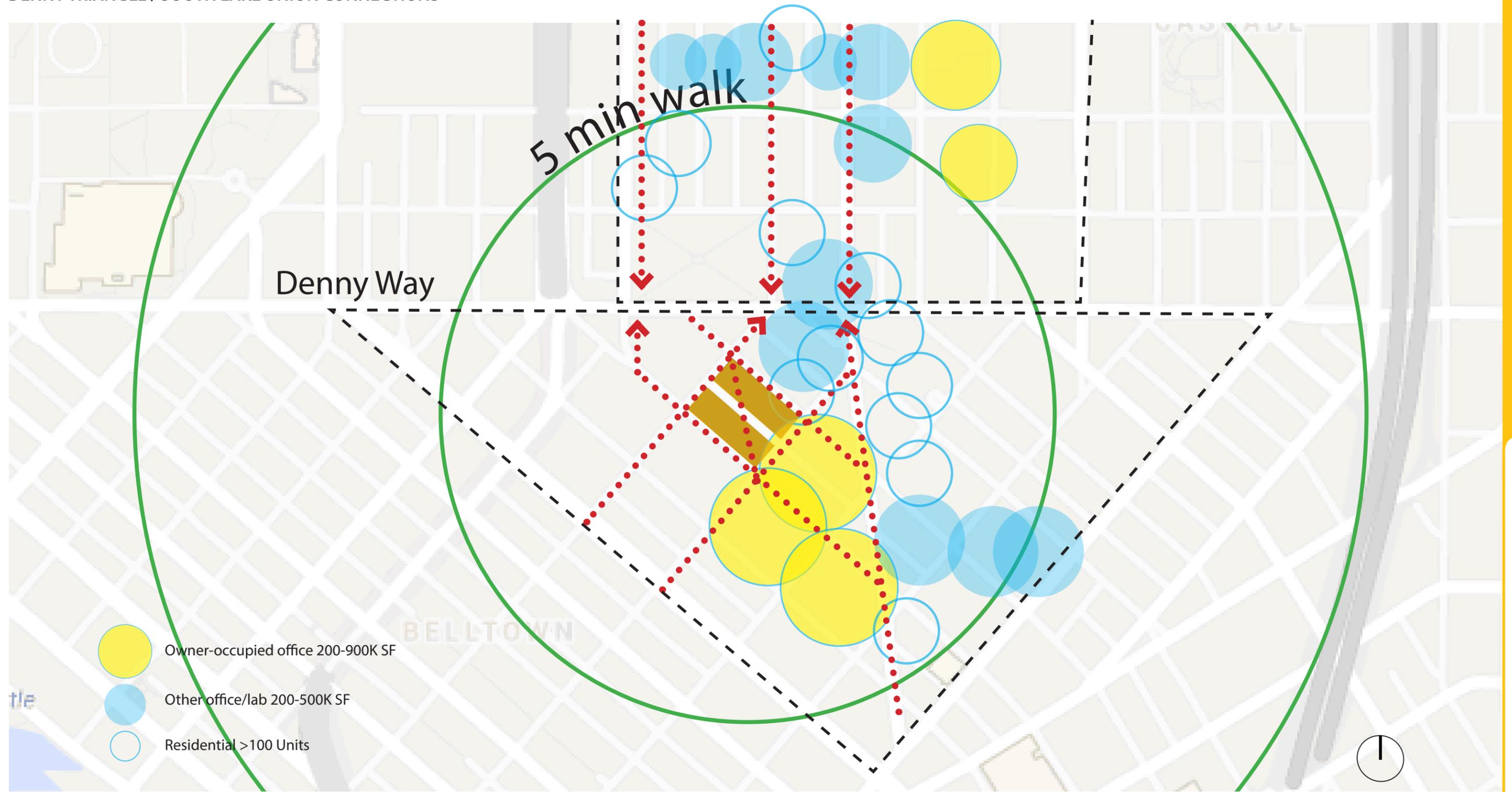
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3:00 pm



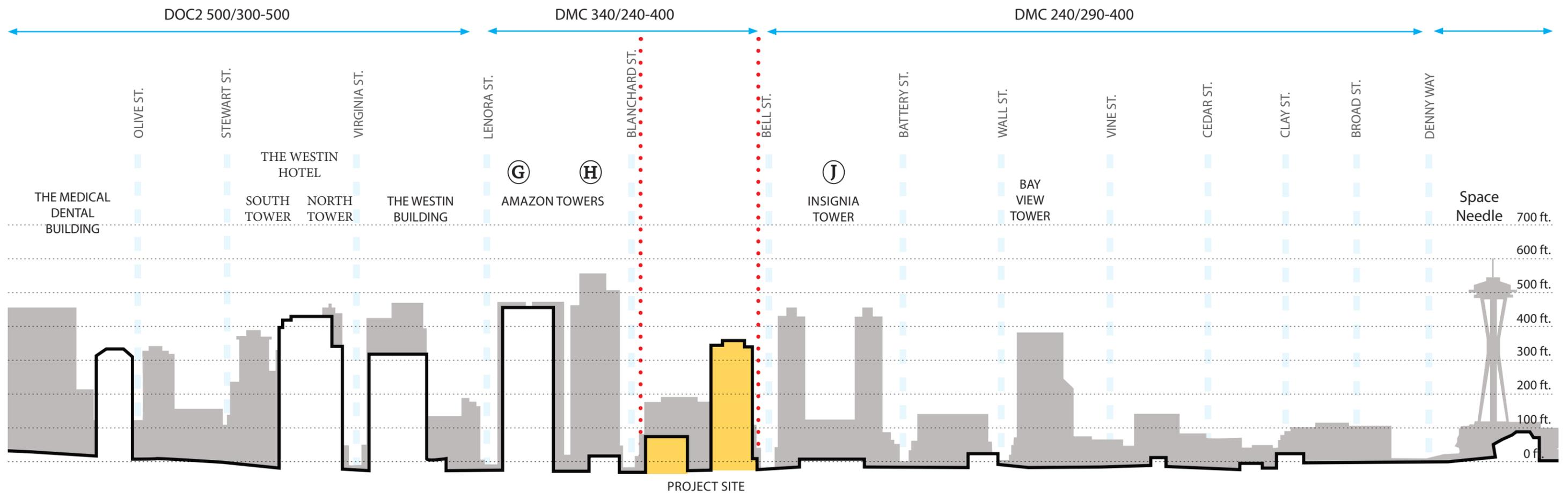
DENNY TRIANGLE / SOUTH LAKE UNION CONNECTIONS



# URBAN CONTEXT- SEATTLE SECTION

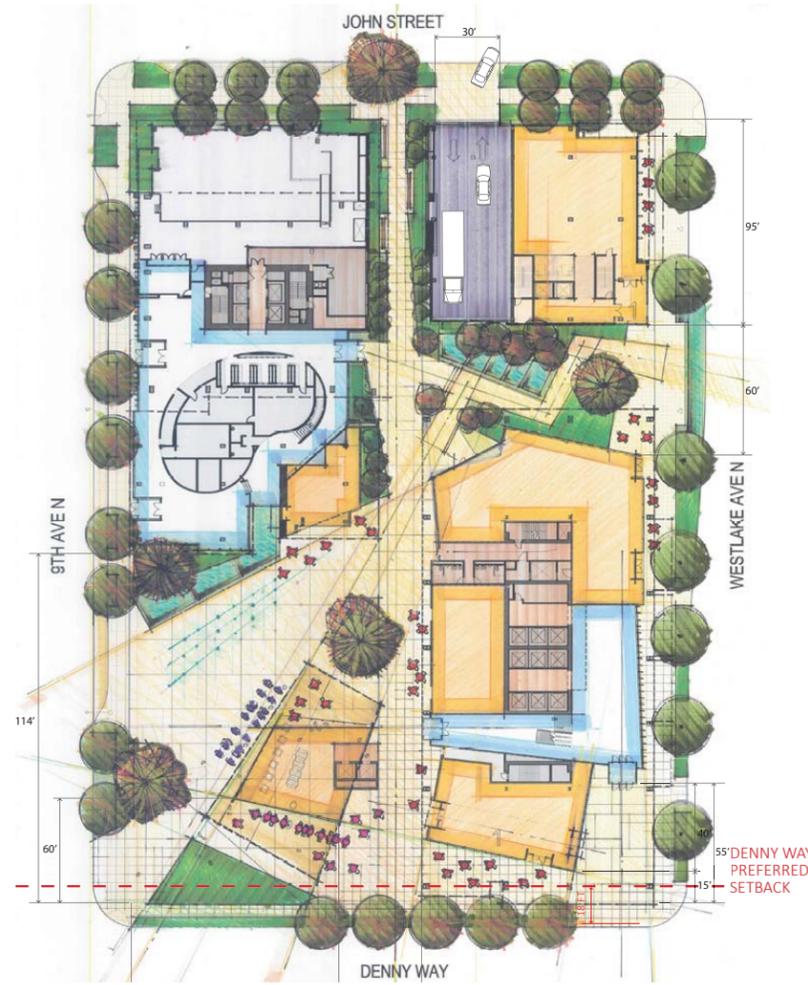


The site section taken along Eighth Avenue shows the site relative to adjacent zones and their respective height and density limits. Generally allowable heights increase as one transitions south from South Lake Union to the downtown CBD.





2202 8th Avenue Site Plan



Block 89 Site Plan



Vicinity Map



2202 8th Avenue Perspective View



Block 89 Perspective View

# CURRENT AND PIPELINE PROJECTS



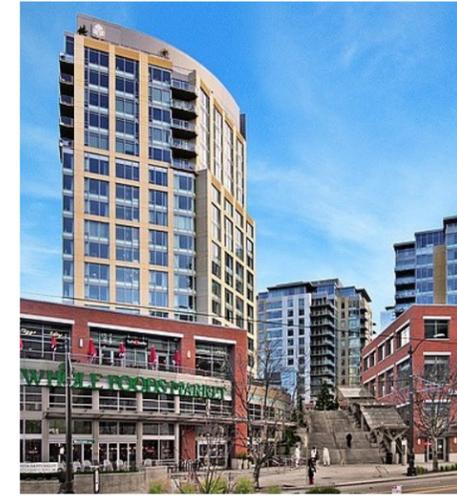
A. La Quinta Hotel



B. Proposed Apartment Tower



C. 2201 Westlake/Enso



D. 2200 Westlake/ Pan Pacific Hotel



E. Proposed Apartment Tower



F. Apartment Tower Under Construction



G. Office Tower Under Construction



H. Office Tower Under Construction



I. Apartment Towers



J. Condo Towers Under Construction



K. Office Tower Under Construction



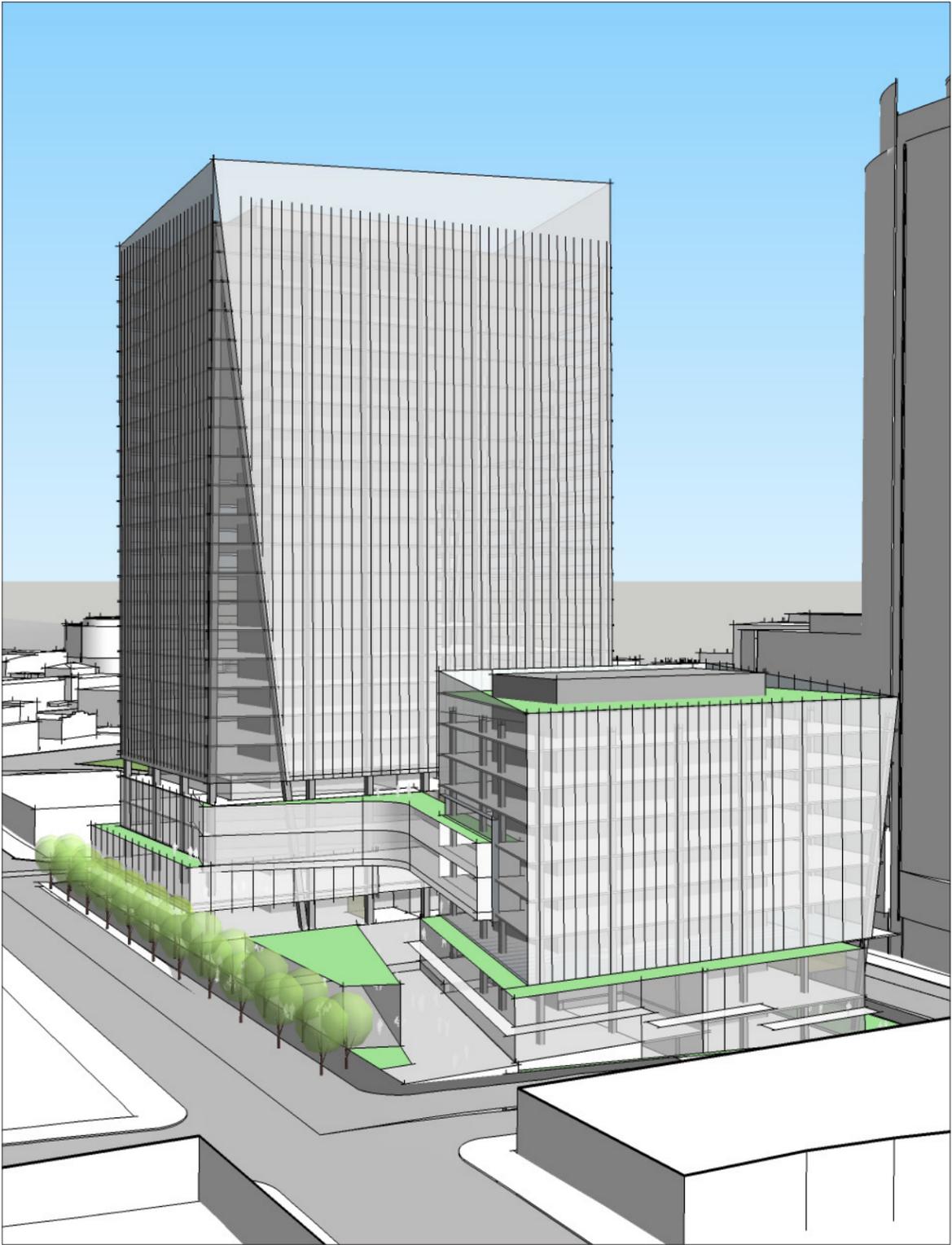
Looking SW



Looking NW



Through-block



Looking north