

ISOLA 17TH TOWNHOMES
SITES A + B

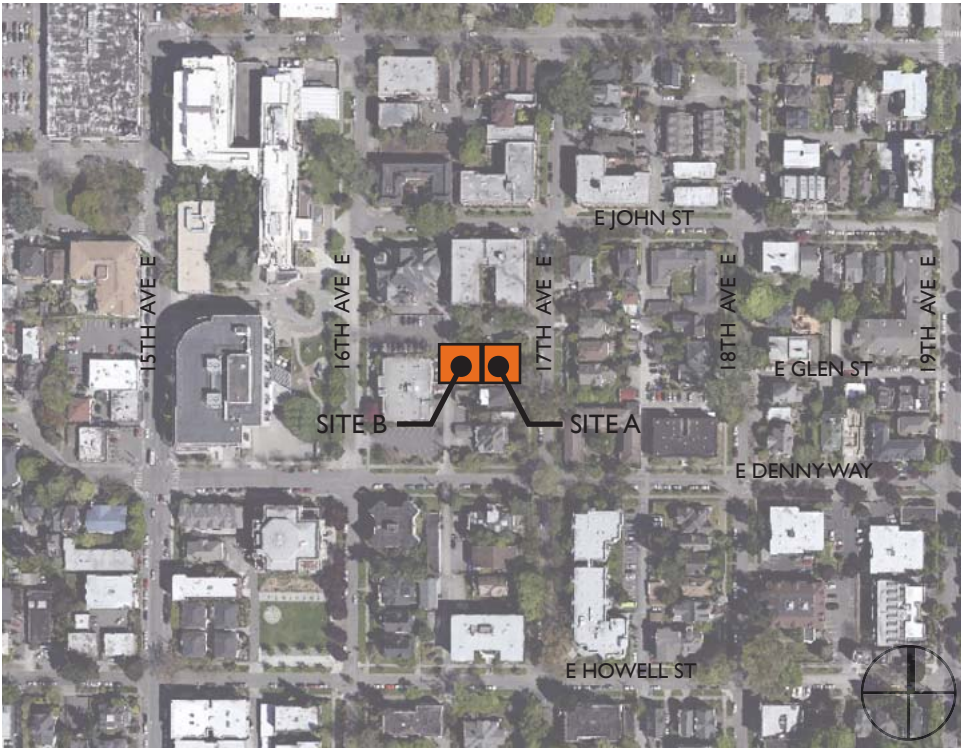


STREAMLINE DESIGN REVIEW
DPD #3018509 + #3020040

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PROJECT INTRODUCTION



ADDRESS: 113-117 17th Ave E
DPD PROJECT #: SITE A 3018509
SITE B 3020040
OWNER: Isola Homes
APPLICANT: Nicholson Kovalchick Architects
CONTACT: Chris Jones

ZONING AND OVERLAY DESIGNATION

The parcels are zoned LR3 and located within the Capitol Hill Urban Center Village. The LR3 zoning encompasses several the surrounding blocks, with a small enclave of MIO zoning for the nearby Group Health campus. The site is also located within a Frequent Transit Corridor.

NEIGHBORING DEVELOPMENT

The project sites are located within the Capitol Hill Urban Center Village, and adjacent to a 6,000 SF parking lot to the north and a single family home to the south. The surrounding neighborhood is a varied mix of old and new buildings, small single family structures, townhouses and midrise apartment buildings. There are several notable buildings in the vicinity including churches, classic brick apartment buildings, a Fred Anhalt apartment building, and the Group Health campus. There are multiple shops, restaurants and cafes along 15th Avenue E within walking distance of the site.

DEVELOPMENT OBJECTIVES

- **Note:** Although this SDR packet describes both Sites A & B, it is intended that they be functionally independent and have separate building permit applications. It is possible that each site will be developed on its own and at different times.
- These projects will contribute to the growing density and varied architectural language of the surrounding neighborhood. They propose a total of 8 new 3-story residential units within two townhome structures on separate parcels. Located in a highly walkable neighborhood with proximity to several frequent transit lines, these sites propose a mix of parked and unparked units that feature quality building finishes and richly landscaped outdoor spaces,

SITE A

EXISTING - SITE

Two existing parcels, 113 and 117 17th Avenue East, with a total lot area of 8,402 SF, have been reconfigured through an LBA into two equal lots of approximately 60'x70' and 4,201 SF. Site A is served by 17th Avenue East to the east and has an easement to the alley through Site B. The adjacent parcel to the north is a parking lot serving the nearby Group Health campus, and the adjacent parcel to the south is a single family home. The site is mostly flat, sloping roughly 2 feet from the south west corner at the alley to the north east corner at 17th Avenue East. The project includes the demolition of two existing single-family structures.

Number of Residential Units:	4
Number of Parking Stalls:	0
Area of Residential Levels:	Approximately 6,332 sf
Area of Amenity:	Approximately 2,186 sf
Total Site Area:	Approximately 4,201 sf

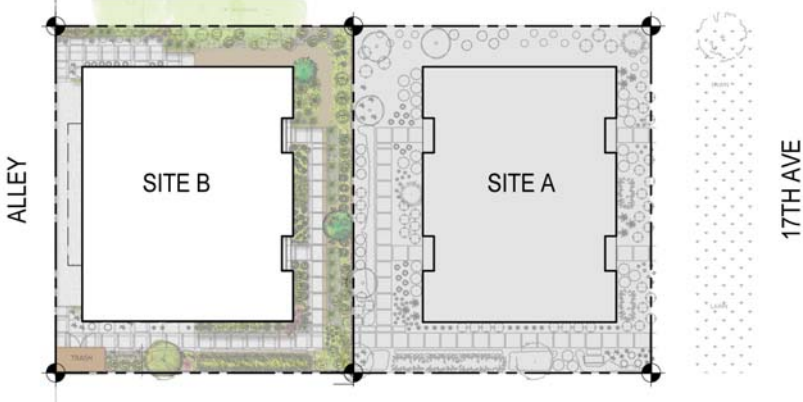


SITE B

EXISTING - SITE

Two existing parcels, 113 and 117 17th Avenue East, with a total lot area of 8,402 SF, have been reconfigured through an LBA into two equal lots of approximately 60'x70' and 4,201 SF. Site B is served by a pedestrian access easement to 17th Avenue East and has direct access to the alley at the west. The adjacent parcel to the north is a parking lot serving the nearby Group Health campus, and the adjacent parcel to the south is a single family home. The site is mostly flat, sloping roughly 2 feet from the south west corner at the alley to the north east corner at 17th Avenue East. The project includes the demolition of two existing single-family structures.

Number of Residential Units:	4
Number of Parking Stalls:	6
Area of Residential Levels:	Approximately 6,184 sf
Area of Garage (Level 1):	Approximately 965 sf
Area of Amenity:	Approximately 1,777 sf
Total Site Area:	Approximately 4,201 sf



SITE ANALYSIS

URBAN CONTEXT

STREETSCAPES

IMMEDIATE SITE CONTEXT

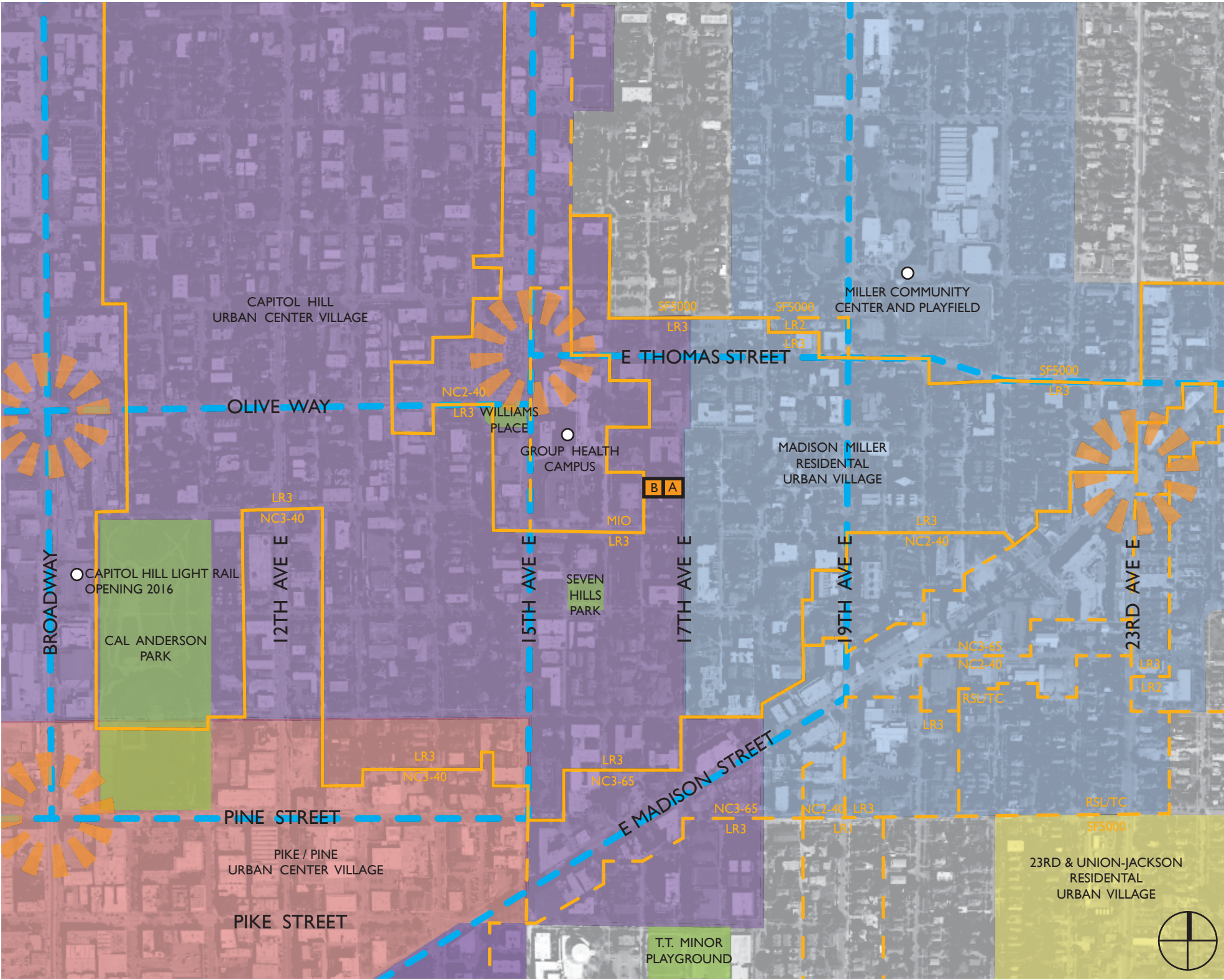
EXISTING SITE PLAN

PROPOSED SITE PLAN

ZONNING SUMMARY

SITE ANALYSIS

URBAN CONTEXT



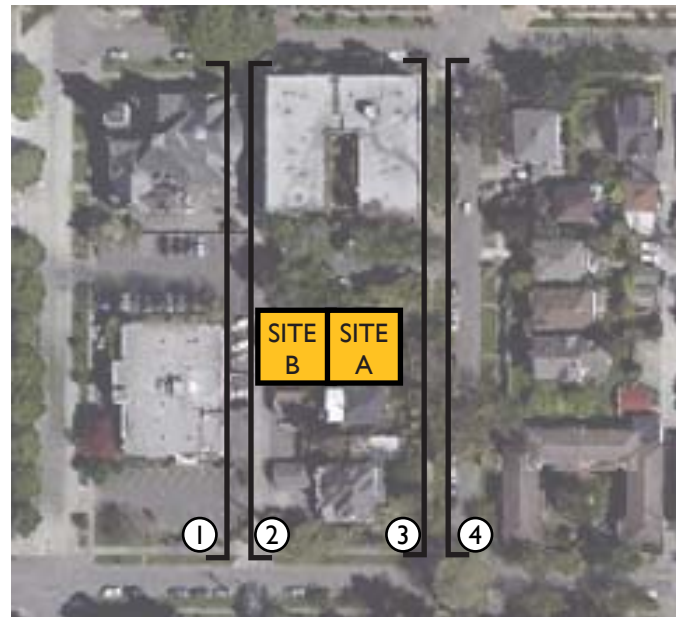
OPPORTUNITIES & CONSTRAINTS

- Very walkable neighborhood
- Well connected to transit
- Surrounded by a very diverse mix of buildings
- Close to businesses on 15th Ave E
- Several Parks Nearby
- Proximity to Group Health Campus

KEY	
	SITE
	PARK
	NODE
	LANDMARK
	ZONING BOUNDARY
	BUS ROUTE
	PEDESTRIAN AREA

SITE ANALYSIS

STREETSCAPES



① ALLEY LOOKING WEST



② ALLEY LOOKING EAST



③ 17TH AVE E LOOKING WEST



④ 17TH AVE E LOOKING EAST

SITE ANALYSIS

IMMEDIATE SITE CONTEXT



① ANHALT APARTMENTS



② GROUP HEALTH CAMPUS



② GROUP HEALTH CAMPUS



③ CATALYSIS OFFICES IN HISTORIC CHURCH



④ NEIGHBORING BRICK APARTMENT BUILDING



⑤ THE SANCTUARY CONDOMINIUMS



⑥ SEVEN HILLS PARK



⑦ BUCKLEY APARTMENTS



⑧ SHEFFIELD CONDOMINIUMS

SITE ANALYSIS

IMMEDIATE SITE CONTEXT



⑨ TOWNHOMES



⑩ TOWNHOMES



⑪ TOWNHOMES



KEY MAP



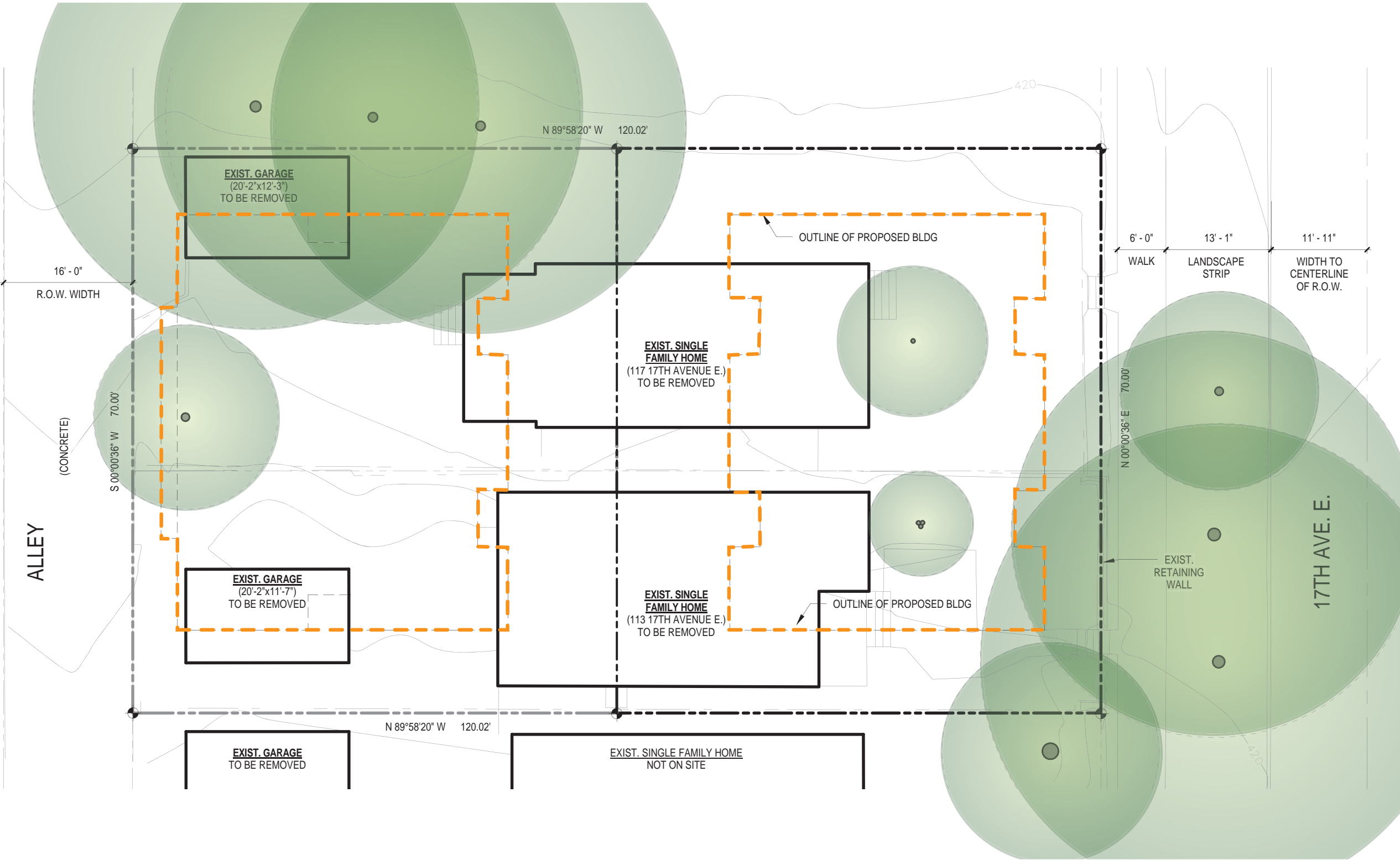
⑫ TOWNHOMES



⑬ TOWNHOMES

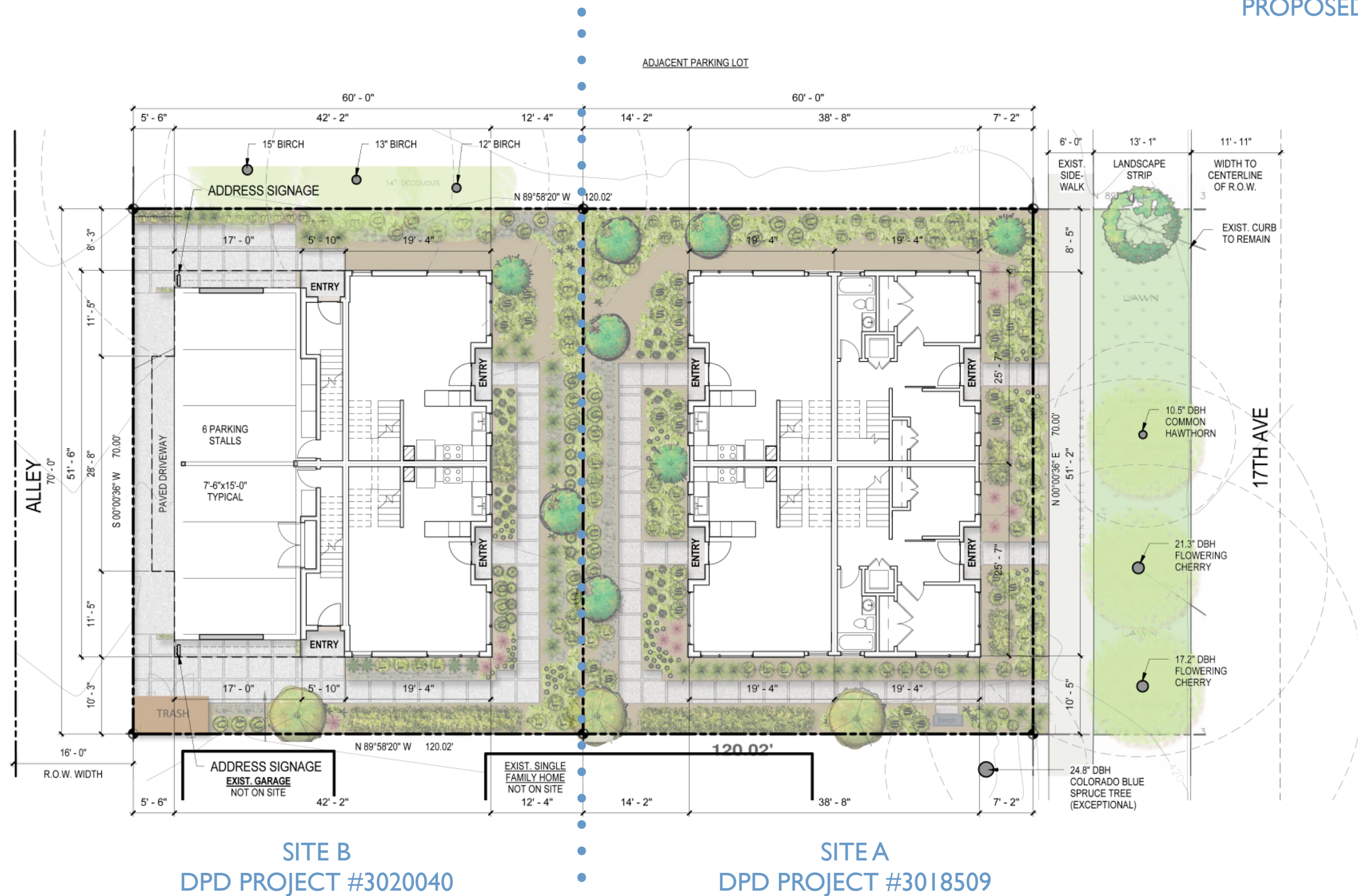
SITE ANALYSIS

EXISTING SITE PLAN



SITE ANALYSIS

PROPOSED SITE PLAN



SITE ANALYSIS

ZONING SUMMARY

PARCEL #: 808040-0045 and 808040-0046
ZONING: LR3
OVERLAYS: Capitol Hill Urban Center Village
LOT AREA: SITE A: 4,201 SF
SITE B: 4,201 SF

23.45.504 PERMITTED USES

Permitted outright: Residential

23.45.510 FLOOR AREA RATIO

Base FAR: 1.2
Maximum FAR: 1.4, assuming sustainable design, alley improvement, and parking access per SMC 23.45.510.C

23.45.514 STRUCTURE HEIGHT

- Allowed Maximum Structure Height:
- Base Height: 30'-0"
 - Additional height allowances (will need to decide after design complete)
 - Parapet to enclose sloped roof 4'
 - Rooftop features (stair penthouse, mech equip) 10'
 - IF under 15% of roof area (20% if mech screened)

23.86.006 STRUCTURE HEIGHT MEASUREMENT

The height of a structure is the difference between the elevation of the highest point of the structure not excepted from applicable height limits and the average grade level. Average grade level means the average of the elevation of existing lot grades at the midpoints, measured horizontally, of each exterior wall of the structure or at the midpoint of each side of the smallest rectangle that can be drawn to enclose the structure.

23.45.518 SETBACK REQUIREMENTS

- Front setback:
- 7' average, 5' minimum
- Rear setback:
- 0' with Alley
- Side setback:
- For facades 40' or less in length, 5'
 - For facades greater than 40' in length, 7' average, 5' minimum
- Additional setbacks:
- 10' minimum required separation between principal structures
 - Cornices, eaves, gutters, roofs and other forms of weather protection may project into required setbacks and separations a maximum of 4 feet if they are no closer than 3 feet to any lot line.

23.45.522 AMENITY AREA

Required: 25% of lot area
SITE A: 4,201 SF x 25% = 1,050 SF
SITE B: 4,201 SF x 25% = 1,050 SF

General requirements:

- All units must have access to a common or private amenity area
- No minimum dimension for private amenity areas, except 10' horizontal minimum at non-street side lot lines.
- No common amenity area shall be less than 250 sf in area, and common amenity areas shall have a minimum horizontal dimension of 10'
- Minimum 50% of common amenity area at ground level shall be landscaped
- Elements such as seating, lighting, outdoor protection, art, etc shall be provided

Requirements for townhouse developments in LR zones:

- A minimum of 50% of required amenity area shall be provided at ground level, except roof top amenity area meeting subsection 23.45.510.E.5 may be counted as ground level amenity area: roof amenity area must meet ground level amenity area standards in 23.45.522, and at least 25% of the perimeter of the roof amenity area must not be enclosed by the walls of the structure.
- Ground level amenity area may be either private or common space
- An amenity area shall not be enclosed within a structure in LR zones

23.45.524 LANDSCAPING REQUIREMENTS

Green Factor score minimum 0.6 required

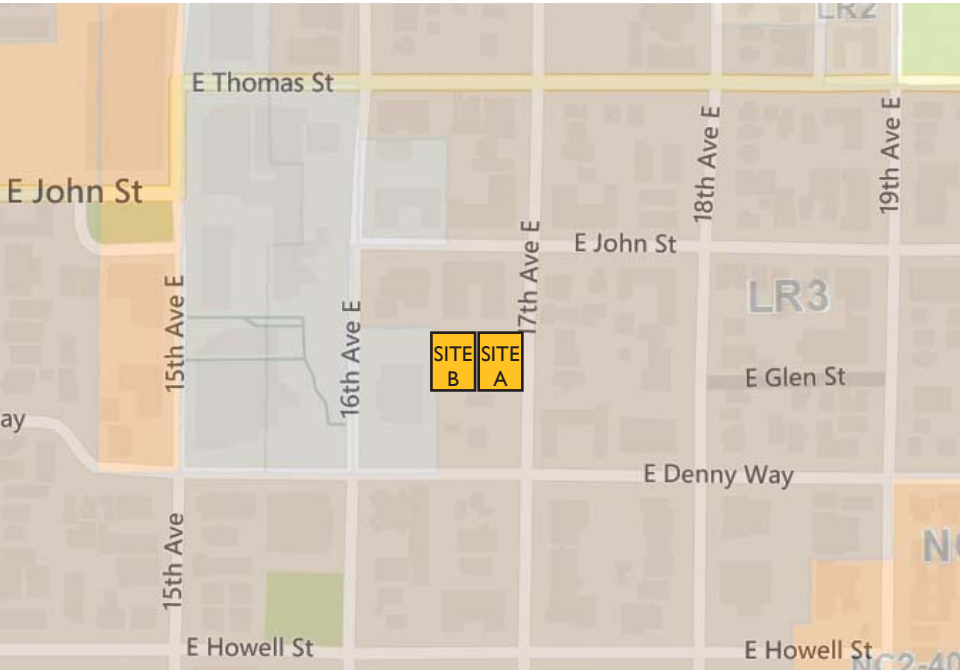
- Vegetated walls may not count towards more than 25% of Green Factor

23.45.527 STRUCTURE WIDTH AND FACADE LENGTH LIMITS IN LR ZONES

Structure Width: LR3 inside Urban Centers are limited to 150'
Facade Length: the maximum combined length of all portions of facades within 15' of a lot line that is neither a rear, alley, or street lot line shall not exceed 65% of the length of that lot line.

23.54.015 REQUIRED PARKING

No parking is required for all residential uses within urban centers
Bicycle long-term parking: 1 per 4 units.



DPD ZONING MAP

23.54.040 SOLID WASTE & RECYCLABLE MATERIALS STORAGE AND ACCESS

- Residential development with a single entity for utility billing may provide each dwelling unit with their own 2' x 6' storage area, or can provide 84 SF of shared storage space for 2-8 units.
- The shared storage space for 8 or fewer units shall have a minimum horizontal dimension of 7' in both width and depth.
 - The shared storage space must have a floor that is level and hard surfaced
 - The shared storage space must be screened from public view and minimize light and glare impacts.

ARCHITECTURAL CONCEPT

DESIGN GUIDELINES

ELEVATIONS

LANDSCAPE DESIGN

FLOOR PLANS

DESIGN PERSPECTIVES + FEATURES

ADJUSTMENTS

RECENT PROJECTS

DESIGN GUIDELINES

CS2 URBAN PATTERN AND FORM

Citywide Guideline:

Strengthen the most desirable forms, characteristics, and patterns of the streets, block faces, and open spaces in the surrounding area.

Supplemental Capitol Hill Neighborhood Guidelines:

I Streetscape Compatibility

Neighborhood Priority: Maintain and enhance the character and function of a mixed-use, pedestrian-oriented urban village. The character of a neighborhood is often defined by the experience of walking along its streets. How buildings meet the sidewalk helps determine the character, scale and function of the streetscape. The siting of a new building should reinforce the existing desirable spatial characteristics of the Capitol Hill streetscapes.

The siting of buildings should acknowledge and reinforce the existing desirable spatial characteristics of the right-of-way.

i. Retain or increase the width of sidewalks.

Response: The existing sidewalk will be maintained and serve as a primary access point for the two units facing the street and a private walkway to the rear units.

ii. Provide street trees with tree grates or in planter strips, using appropriate species to provide summer shade, winter light, and year-round visual interest.

Response: The existing street trees along 17th Avenue East will remain and be protected during construction

iii. Vehicle entrances to buildings should not dominate the streetscape.

Response: Although no parking is required for this project, the six stalls that are being provided for Site B will be accessed directly from the existing improved alley. These stalls are located underneath the two alley facing townhome units and will be screened on the north and south sides by concrete structural walls. Generous landscaping will be provided in front of these walls to soften the structural elements and add additional screening.

iv. Orient townhouse structures to provide pedestrian entrances to the sidewalk.

Response: Access to Site A is provided from the sidewalk directly to the front units and by a walkway along the south side of the lot for the rear units. Units on Site B may may access the walkway to the sidewalk via access easement through Site A.

III Height, Bulk, and Scale Compatibility

Neighborhood Priority: Preserve and augment the neighborhood's architectural qualities, historic character and pedestrian scale. Contemporary building practices can potentially create visual conflicts with older buildings due to differences in scale, massing and degrees of articulation. Capitol Hill emphasizes the notion of historical continuity—the relationship of built structures over time. Compatible design should respect the scale, massing and materials of adjacent buildings and landscape.

Projects should be compatible with the scale of development anticipated by the applicable Land Use Policies for the surrounding area and should be sited and designed to provide a sensitive transition to nearby, less-intensive zones. Projects on zone edges should be developed in a manner that creates a step in perceived height, bulk and scale between the anticipated development potential of adjacent zones.

i. Break up building mass by incorporating different façade treatments to give the impression of multiple, small-scale buildings, in keeping with the established development pattern.

Response: Developing two compact buildings across these adjacent sites instead of one larger structure allows for very generous landscaping and setbacks, providing massing proportions that are more intimately scaled and in keeping with the neighborhood.

Brick, the primary cladding material, complements the many buick structures in the area and provides a traditional touchpoint to these contemporary homes. The angled wood walls above each unit door not only emphasize and give warmth to the entries, they provide deep relief to the facade. Similarly, the lighter toned vertical metal panels divide the building into unit scaled masses, defining each as its own entity.



Project Image

Precedent Building



Entry Precedent



Landscape Lighting Inspiration

PL2 WALKABILITY

Citywide Guideline:

Create a safe and comfortable walking environment that is easy to navigate and well-connected to existing pedestrian walkways and features.

Supplemental Capitol Hill Neighborhood Guidelines:

III. Personal Safety and Security

Project design should consider opportunities for enhancing personal safety and security in the environment under review.

ia. pedestrian-scale lighting, but prevent light spillover onto adjacent properties

Response: The lighting in this proposal will include well-lit entryways and pedestrian pathway lighting that are appropriate in scale and intensity to the residential character of the neighborhood. Fixtures will enhance the buildings and provide security while eliminating spillover to adacent properties. Lighting at the parking area will provide safety for vehicles and occupants.

ib. architectural lighting to complement the architecture of the structure

Response: Fixtures at the entries will highlight the warm wood accents, while selected landscape lighting will be placed to enhance the appearance of the buildings from the street.

ic. transparent windows allowing views into and out of the structure thus incorporating the “eyes on the street” design approach.

Response: There will be large, fully transparent windows adjacent to all entry porches, allowing tenants to easily monitor their visitors.

DESIGN GUIDELINES

II. Pedestrian Open Spaces and Entrances

Neighborhood Priority: Maintain and enhance pedestrian scale, activity and comfort. The pedestrian environment (sidewalks, pathways, crossings, entries and the like) should be safe and accessible. The pedestrian environment should connect people to places they want to go, and should provide good spaces the be used for many things. New development should reflect these principles by enhancing commercial district streetscapes that make street-level pedestrian activity a priority.

Convenient and attractive access to the building's entry should be provided to ensure comfort and security, paths and entry areas should be sufficiently lighted and entry areas should be protected from the weather. Opportunities for creating lively, pedestrian-oriented open space should be considered.

ii. Create open spaces at street level that link to the open space of the sidewalk.

Response: The courtyard between Buildings A + B links the tenants to the sidewalk at 17th Ave E as well as the alley, creating a pedestrian link between all aspects of the project sites.

iii. Building entrances should emphasize pedestrian ingress and egress as opposed to accommodating vehicles.

Response: Since vehicles can only access the site directly off of the alley, all Building entries are for pedestrian use only and are highlighted by inviting angled wood walls that terminate in a protective entry canopy.

DC1 PROJECT USES AND ACTIVITIES

City Guideline Summary

Optimize the arrangement of uses and activities on site.

Supplemental Capitol Hill Neighborhood Guidelines:

I Parking and Vehicle Access

Neighborhood Priority: Maintain and enhance the character and function of a mixed-use, pedestrian-oriented urban village. A wall of garage doors and multiple curb cuts greatly diminish the quality of the pedestrian environment. Where alley access is not possible, garage entries and driveways should be consolidated to enhance the streetscape for pedestrians.

Siting should minimize the impact of automobile parking and driveways on the pedestrian environment, adjacent properties and pedestrian safety.

i. Preserve and enhance the pedestrian environment in residential and commercial areas by providing for continuous sidewalks that are unencumbered by parked vehicles and are minimally broken within a block by vehicular access.

Response: This neighborhood is served by a generous and well used network of sidewalks and typical parking access via alley. This proposal maintains the existing condition of parking access from the alley only, which provides for an uninterrupted sidewalk along 17th Avenue East.



DC4 EXTERIOR ELEMENTS AND FINISHES

City Guideline Summary

Use appropriate and high quality elements and finishes for the building and its open spaces.

Supplemental Capitol Hill Neighborhood Guidelines:

II. Exterior Finish Materials

Neighborhood Priority: Building exteriors should be constructed of durable and maintainable materials that are attractive even when viewed up close. Materials that have texture, pattern or lend themselves to a high quality of detailing are encouraged.



iv. Use materials that are consistent with the existing or intended neighborhood character, including brick, cast stone, architectural stone, terracotta details, and concrete that incorporates texture and color.

Response: The main material for this proposal is a dark charcoal gray brick that will contrast the warm wood entry accents. This reflects the surrounding distinguished character of the greater Capitol Hill neighborhood.

v. Consider each building as a high-quality, long-term addition to the neighborhood; exterior design and materials should exhibit permanence and quality appropriate to the Capitol Hill neighborhood.

Response: The strong, traditional character of the brick veneer provides stability and durability along with a direct connection to the traditional apartment buildings in Capitol Hill. The metal panels are a durable, high quality material that work in conjunction with the stained wood to accent and modulate these buildings. When combined together, these materials provide the homes with a rich, lasting, and subtly modern character that will be an asset to their neighborhood

ELEVATION DESIGN

SITE A (DESIGN FEATURES)

NORTH ELEVATION



Glass Roof Deck Railing



Charcoal Vinyl Windows



EAST ELEVATION



Entry Canopy



Charcoal Fiberglass/Glass Entry Door



Roof Deck Canopy



ELEVATION DESIGN

SITE A (MATERIALITY)

SOUTH ELEVATION



Dark Gray Brick



4" Reveal - Fiber Cement Lap Siding



Fiber Cement Accent Panel



Horizontal Wood Slats



Concrete



WEST ELEVATION



ELEVATION DESIGN

SITE B (DESIGN FEATURES)

NORTH ELEVATION



Glass Roof Deck Railing



Fiber Cement Accent Panel



EAST ELEVATION



Entry Canopy



Charcoal Fiberglass/Glass Entry Door



Roof Deck Canopy



ELEVATION DESIGN

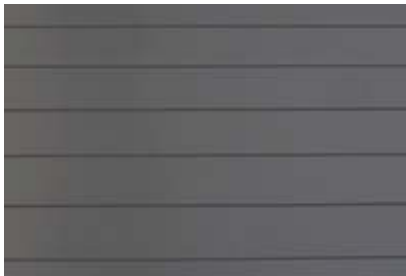
SITE B (MATERIALITY)



Concrete



4" Reveal - Fiber Cement Lap Siding



Dark Gray Brick



Horizontal Wood Slats

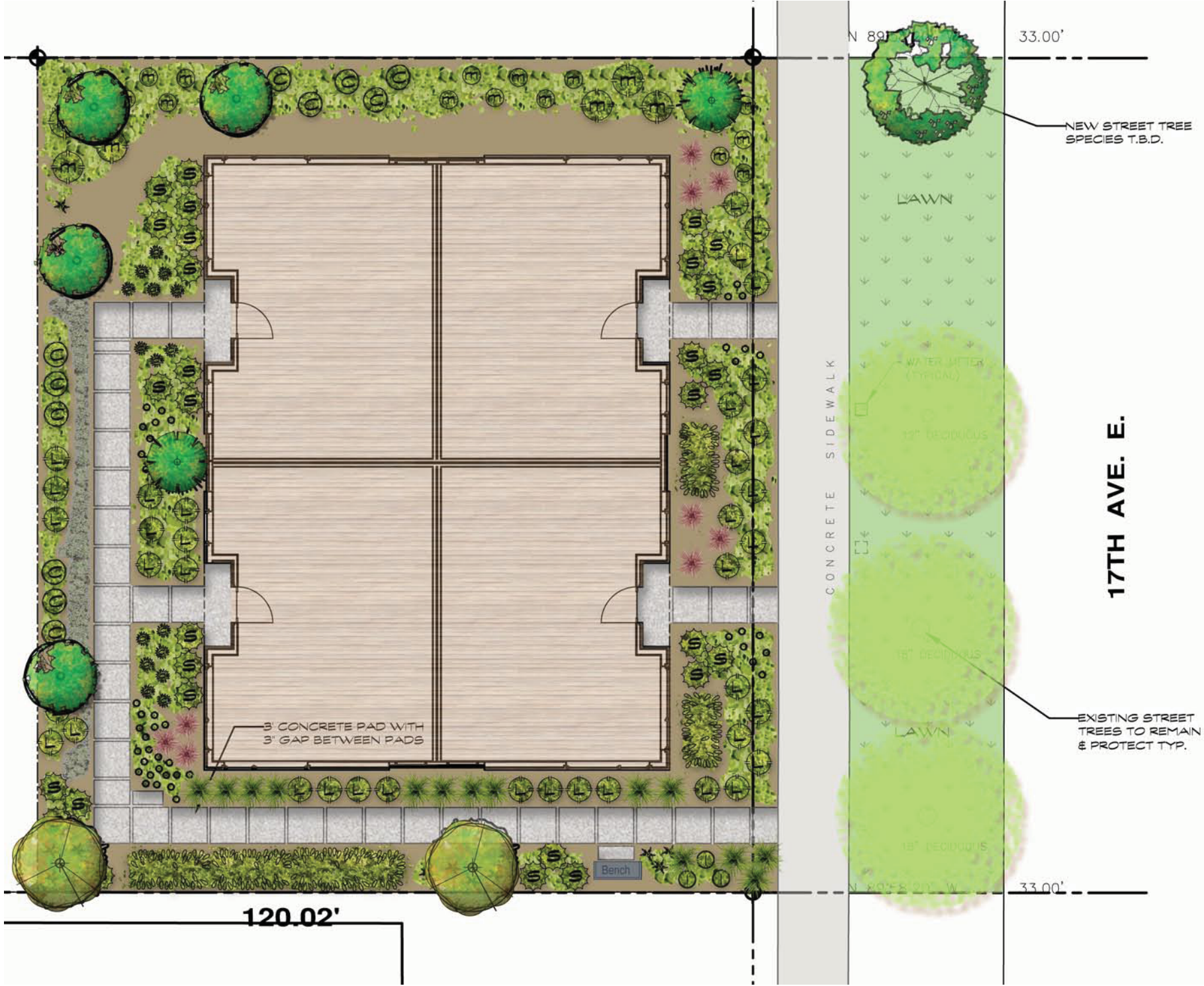


Charcoal Vinyl Windows



LANDSCAPE DESIGN

SITE A



TREES



SHRUBS



GROUNDCOVERS

LANDSCAPE PLAN

PLANTINGS SCHEDULE

LANDSCAPE DESIGN

SITE B

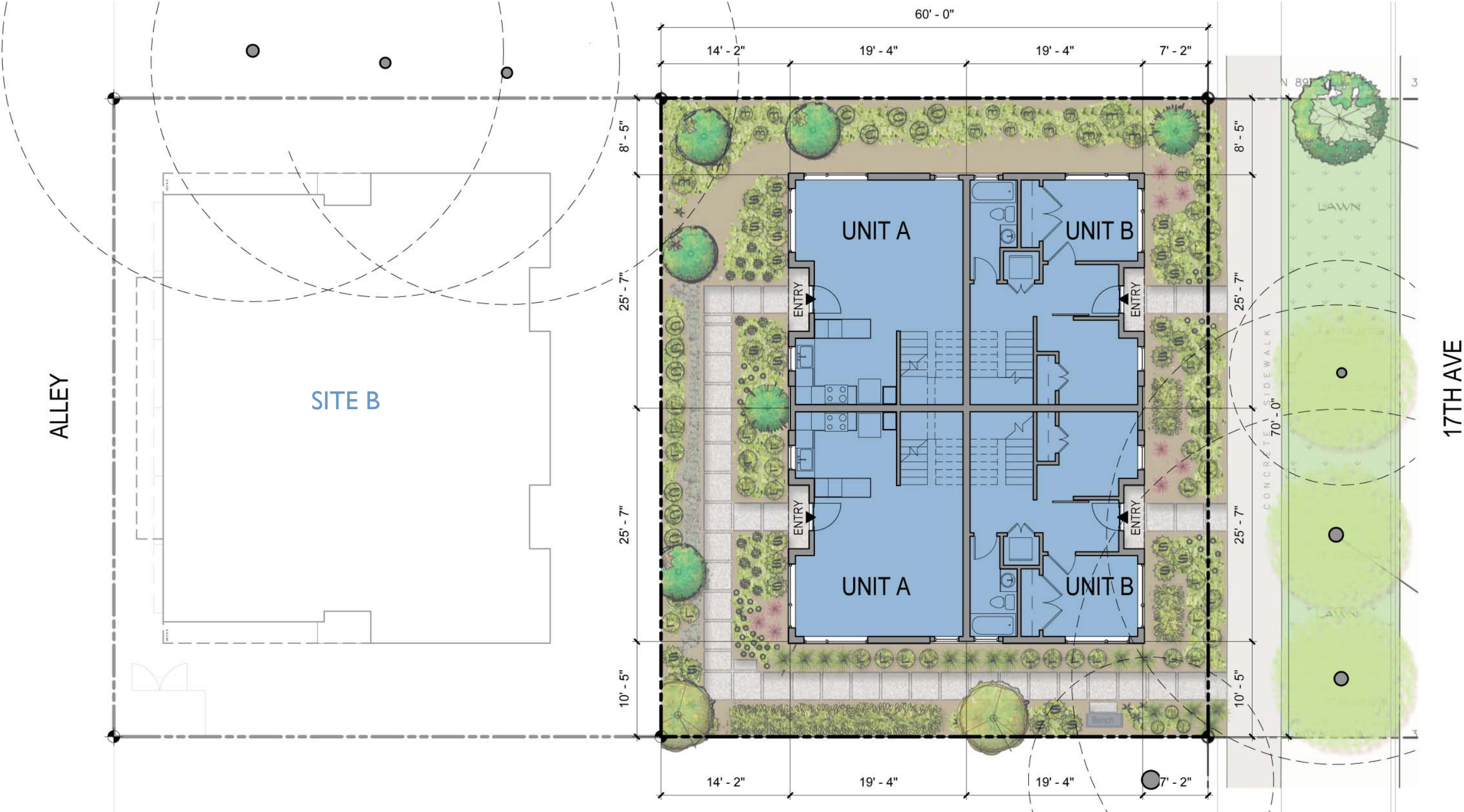


LANDSCAPE PLAN

PLANTINGS SCHEDULE

FLOOR PLANS

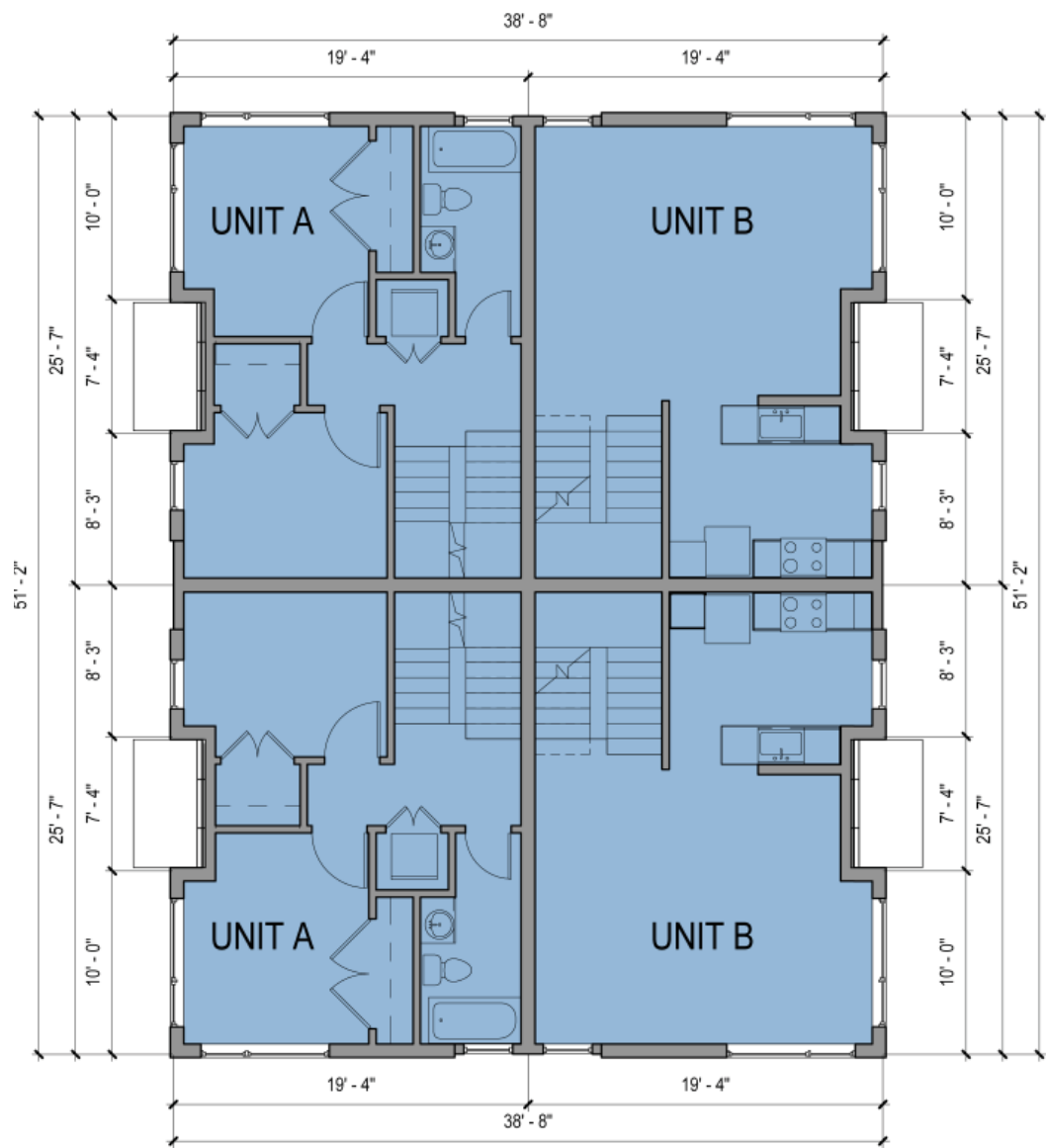
SITE A



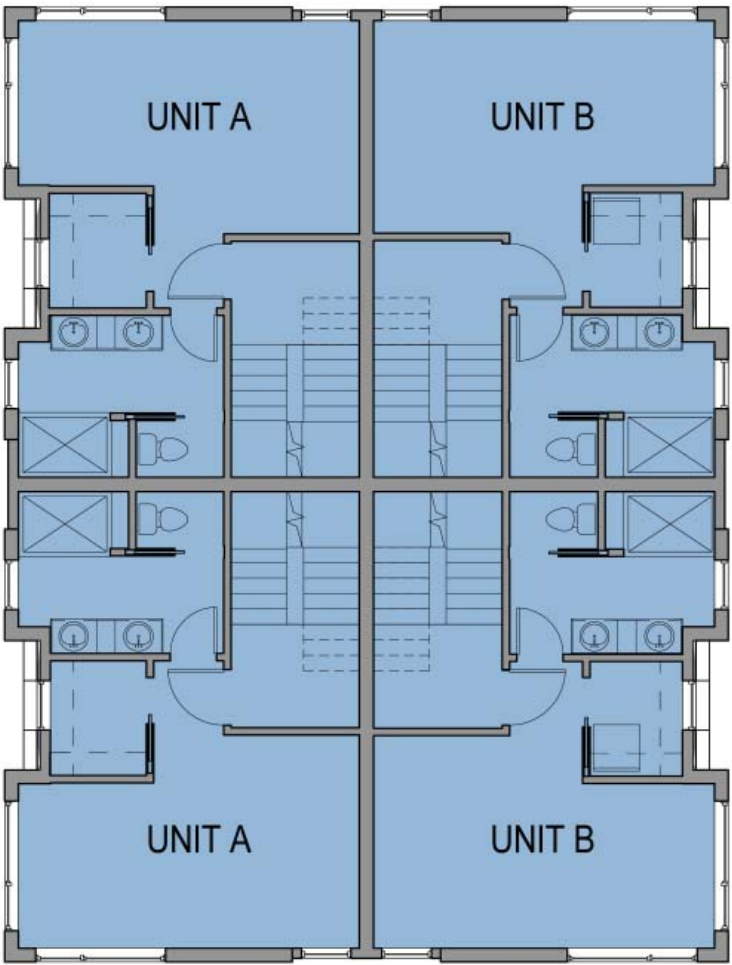
FIRST FLOOR PLAN

FLOOR PLANS

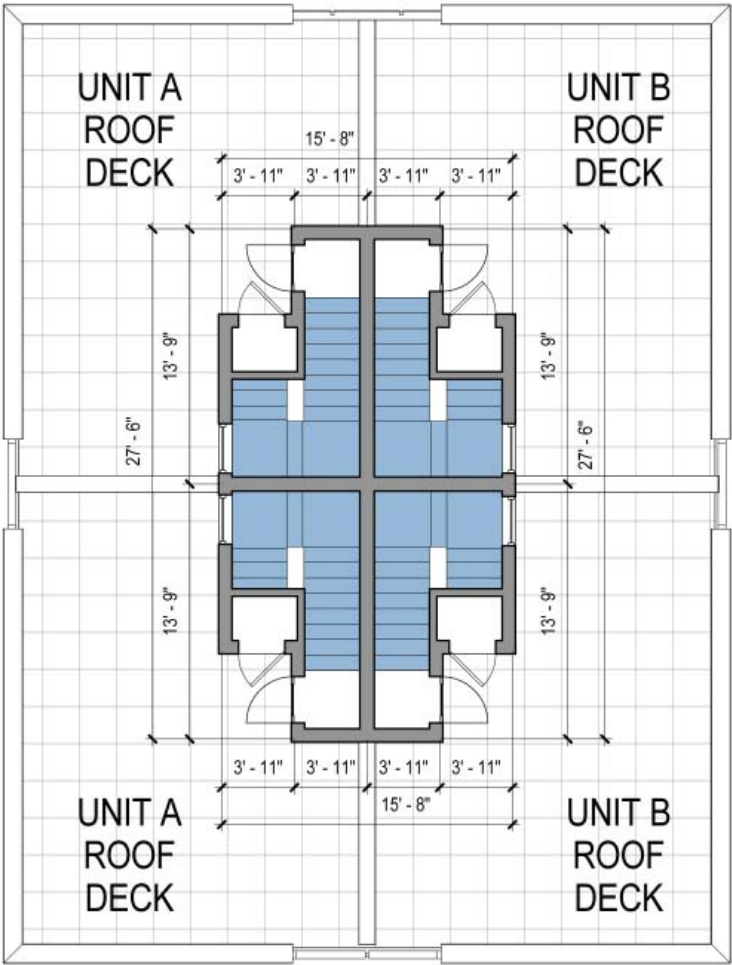
SITE A



SECOND FLOOR PLAN



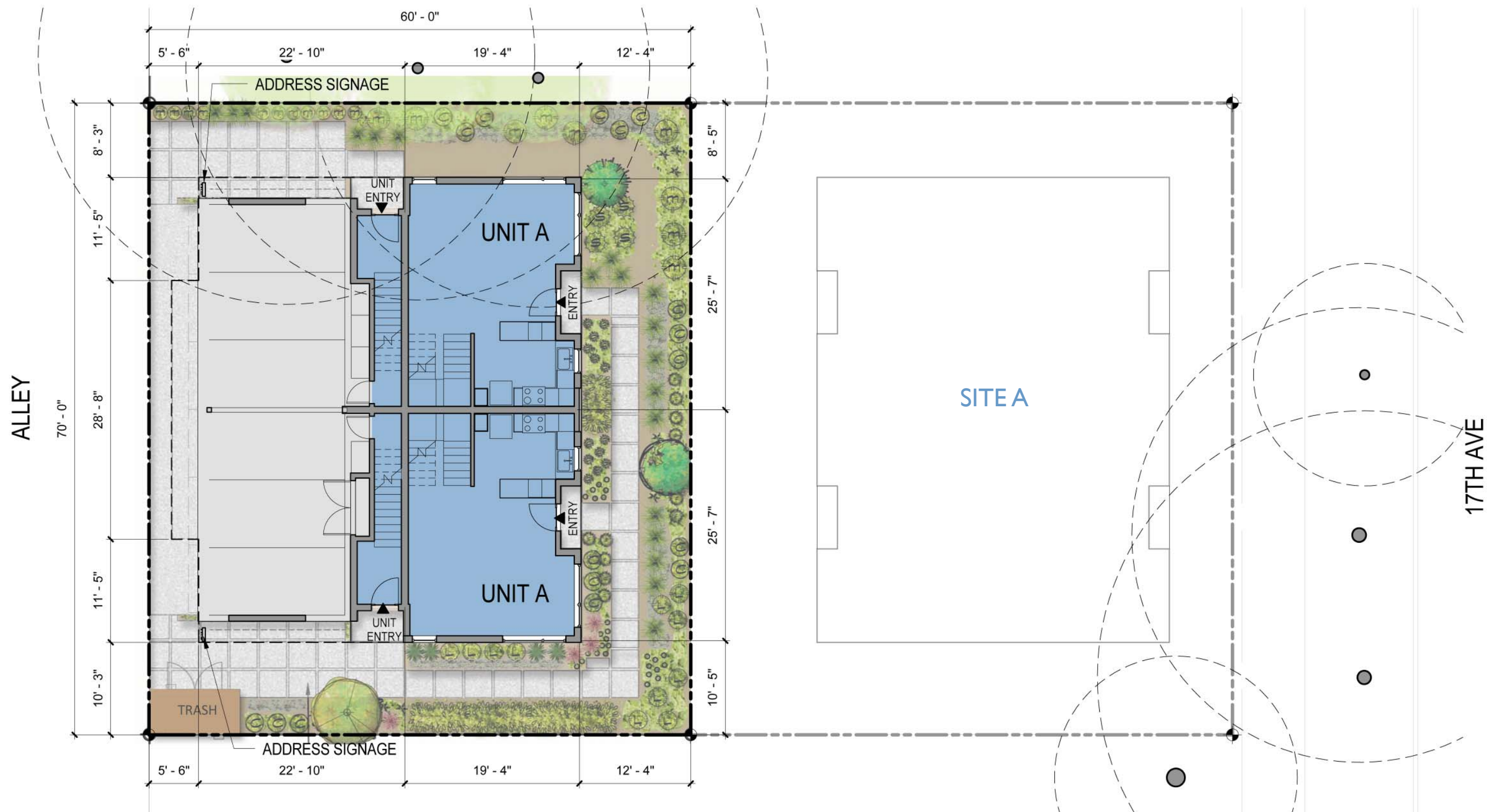
THIRD FLOOR PLAN



ROOF PLAN

FLOOR PLANS

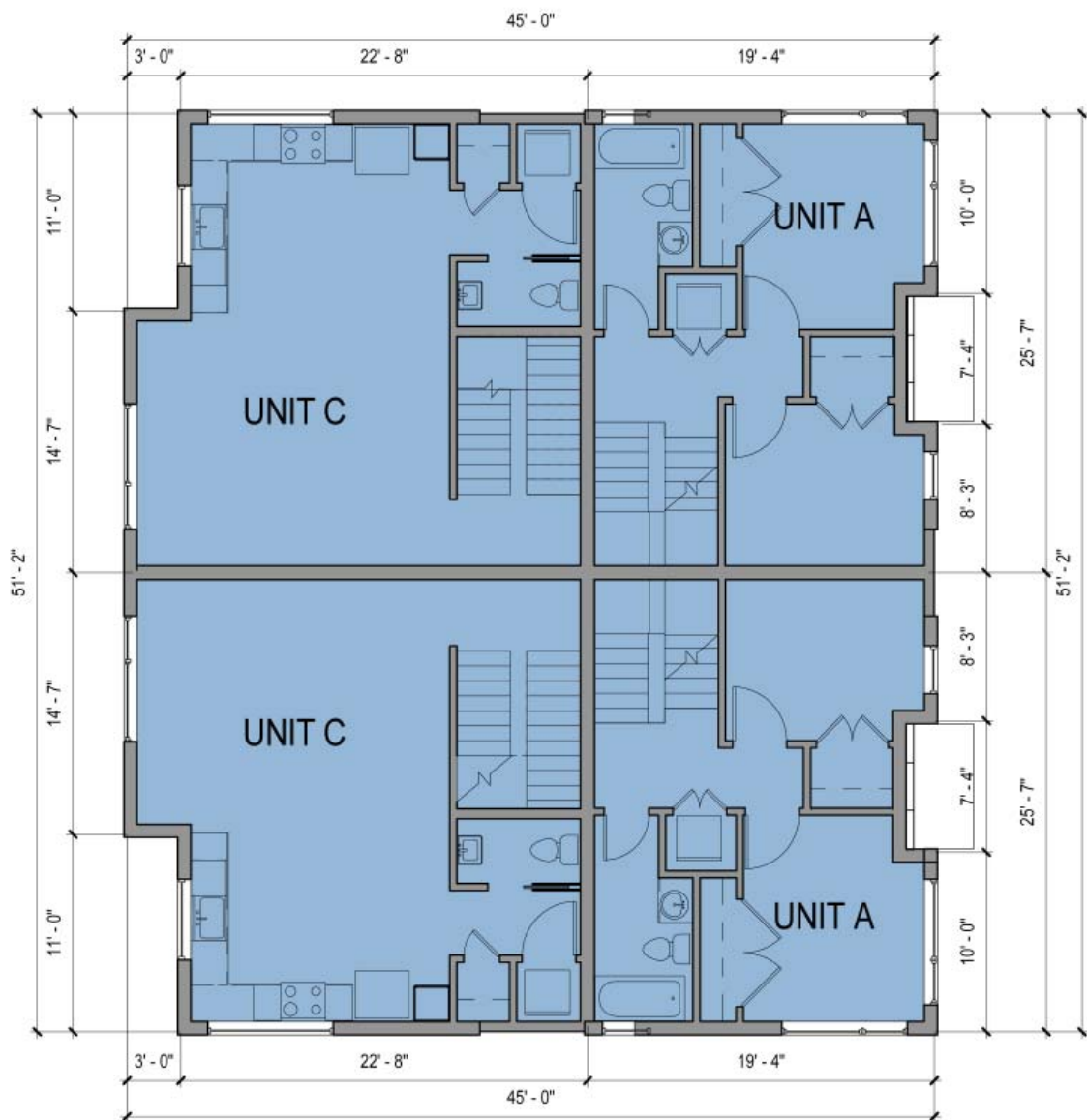
SITE B



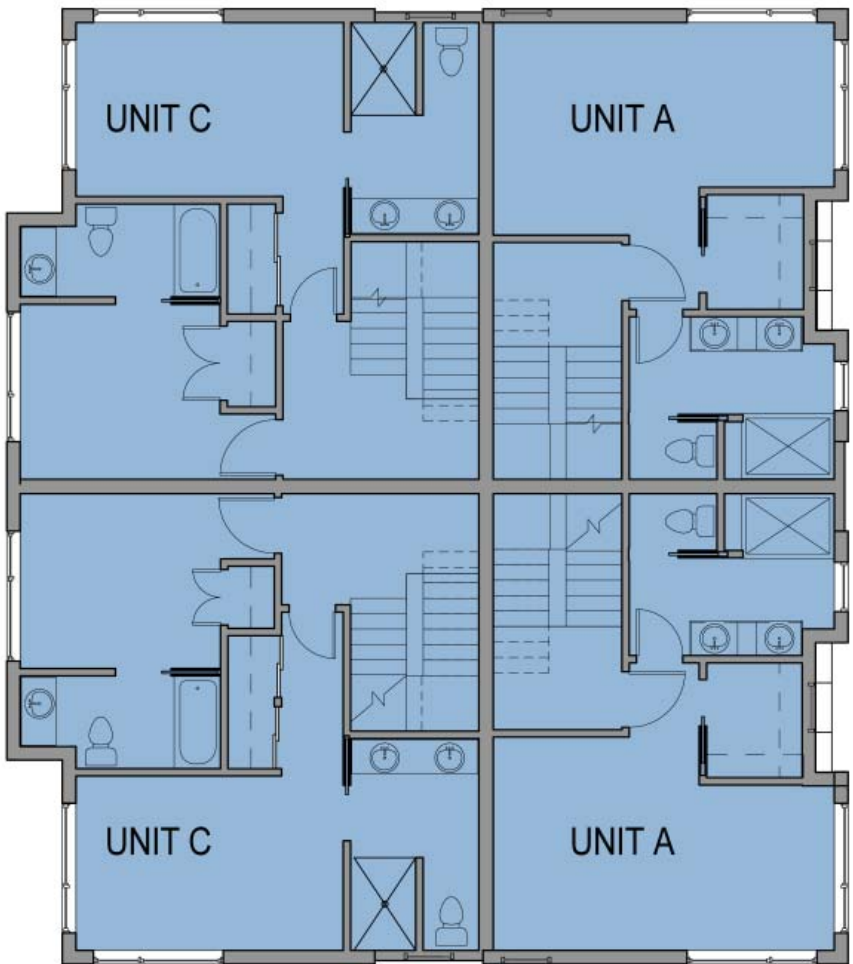
FIRST FLOOR PLAN

FLOOR PLANS

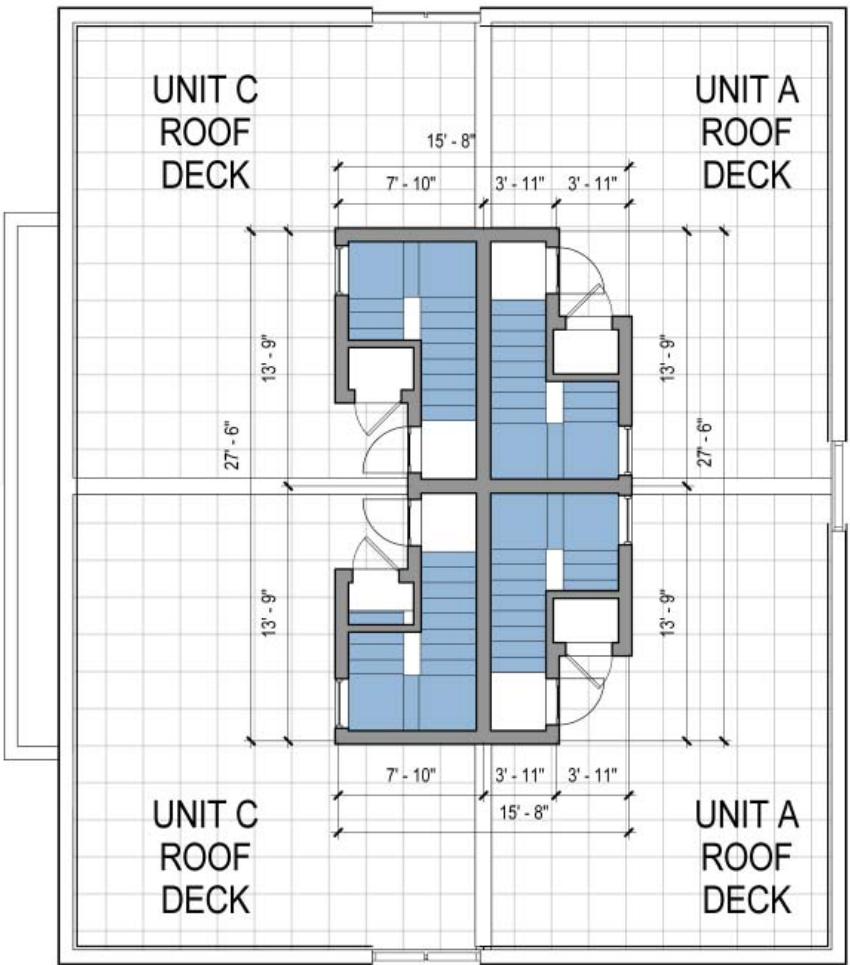
SITE B



SECOND FLOOR PLAN



THIRD FLOOR PLAN



ROOF PLAN

ARCHITECTURAL CONCEPT

DESIGN PERSPECTIVES

..... **CS2 - I - iv:** Building Entrances located at sidewalk where possible



..... **PL2 - III - c:** Transparency at the street level is important to this design as a safety measure for sidewalk visibility

..... **CS2 - I (and) CS2 - I - ii:** Existing street trees, planting strip, and sidewalk to remain



..... **CS2 - I - iii:** All vehicle entrances are located at rear alley access

DCI - I - i: Due to the direct alley parking access, the rest of the site can be landscaped for pedestrian enjoyment

ARCHITECTURAL CONCEPT

DESIGN PERSPECTIVES



..... **PL2 - III - a + b:** Lighting and transparency at the courtyard ground level is vital to a secure and community-driven courtyard space



..... **DC4 - II - iv + v:** High quality materials such as brick and wood were selected for this design as a response to the character of the Capitol Hill neighborhood.

..... **CS2 - III - i:** Building mass is broken by recessed material changes indicating unit separation as well as unit entries

ADJUSTMENTS

DEVELOPMENT STANDARD ADJUSTMENTS

DEVELOPMENT STANDARD	REQUIREMENT	PROPOSED	DEPARTURE AMOUNT	REASON FOR DEPARTURE	DESIGN REVIEW GUIDELINES
SITE B SMC 23.45.527.B Maximum Facade Length	The maximum combined length of all portions of façades within 15 feet of a lot line that is neither a rear lot line nor a street or alley lot line shall not exceed 65 percent of the length of that lot line.	Proposed facade length within 15 feet of the side lot lines is 42'-4" or 70.6%	Allowed per code: 60'-0" x 65% = 39'-0" Proposed Length: 42'-4" Departure Amount: 39'-0" / 42'-4" = 9.2%	Increasing the facade length will help the project to better meet the following Design Review Guidelines: PL2-II - Provide Open Spaces and Entrances: By allowing the facade length to be 3'-4" greater than the allowable 65%, this proposal offers greater pedestrian links between the streetscape, courtyard, and alley elements, as well as generous and more usable landscape space surrounding each building. This adjustment also allows the tenants of this site to have completely covered parking spaces that do not interfere or interrupt the elegant and protective design of the unit entry alcoves.	PL2-II - Provide Open Spaces and Entrances
SITE B SMC 23.41.018.D.4 SDR Decision Reduce Setback 50%	If the criteria listed in subsection 23.41.018.D.3 are met, the Director may allow adjustments to the following development standards to the extent listed for each standard: Setbacks and separation requirements may be reduced by a maximum of 50 percent.	Proposed Alley setback is 2'-6" Minimum with a 3'-9" Average (50% is 2'-6" Minimum with a 3'-6" Average)	Allowed per code: 50% of required setback = 2'-6" Min with a 3'-6" Avg. Departure Amount: 2'-6" Min with a 3'-9" Avg. 3'-9" - 3'-6" = 3" more than the required Avg.	Increasing the facade length will help the project to better meet the following Design Review Guidelines: CS2-I-iv - Streetscape Compatibility: By orienting the townhome structure closer to the alley, this proposal offers greater opportunity for landscaping and pedestrian experience along the side pathways and courtyard. PL2-II - Provide Open Spaces and Entrances: By keeping the building as close to the Alley as possible, this proposal creates more open space at the street level for pedestrian unit entries and courtyard space that will remain free of vehicle disturbance.	CS2-I-iv - Streetscape Compatibility PL2-II - Provide Open Spaces and Entrances

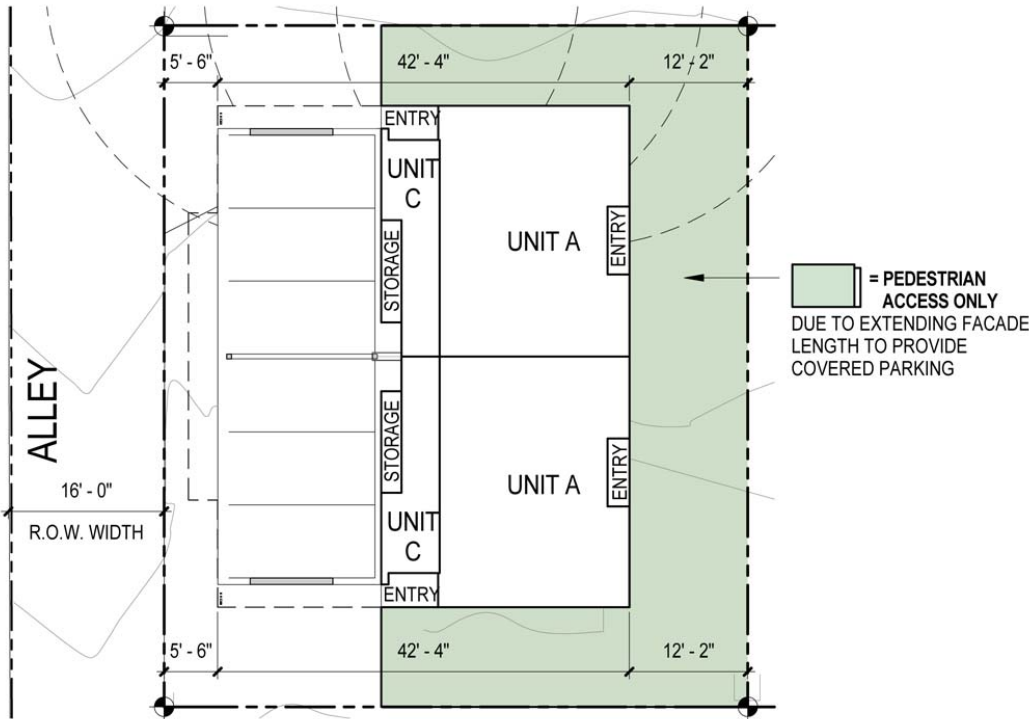


DIAGRAM - MAXIMUM FACADE LENGTH

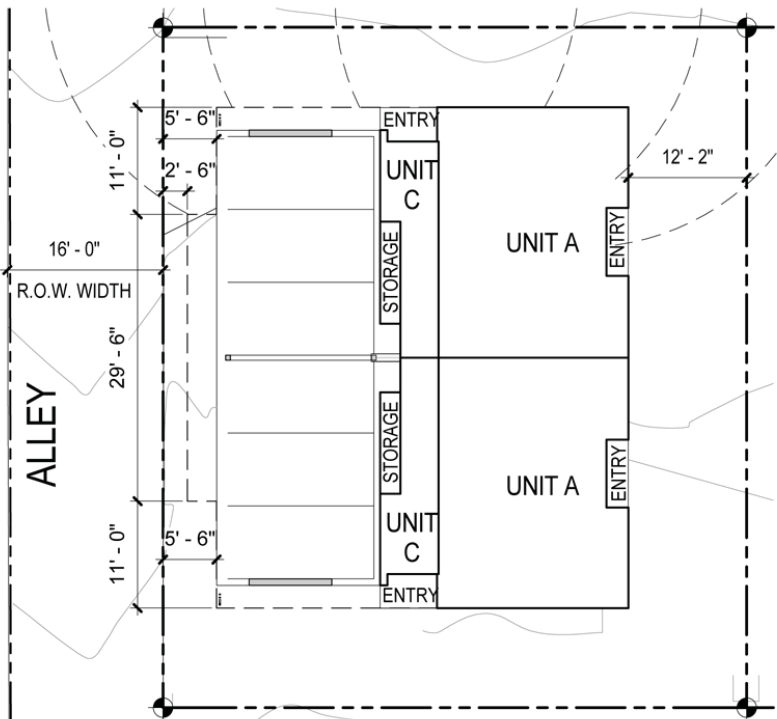


DIAGRAM - REDUCE SETBACK 50%

DESIGN PRECEDENTS

DESIGN PRECEDENTS + RECENT PROJECTS



FOURTH & ROY



HARBOR WORK LIVE - LEED-H GOLD TARGET



SALVEO - LEED-H PLATINUM & BUILT GREEN 5-STAR



MALDEN



WOODLAND PARK

ISOLA 17TH TOWNHOMES - DPD # 3018509 + #3020040

STREAMLINED DESIGN REVIEW