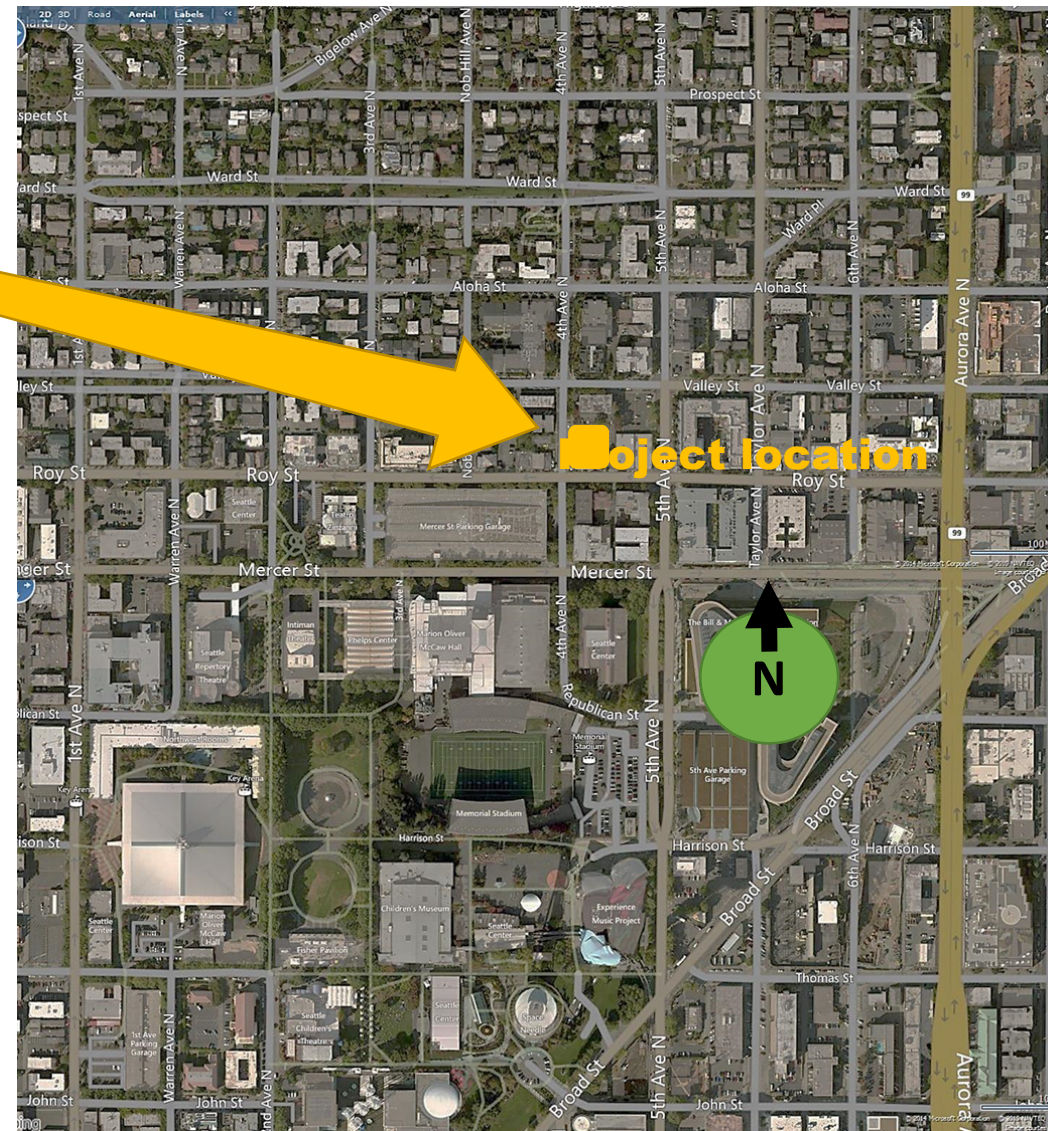
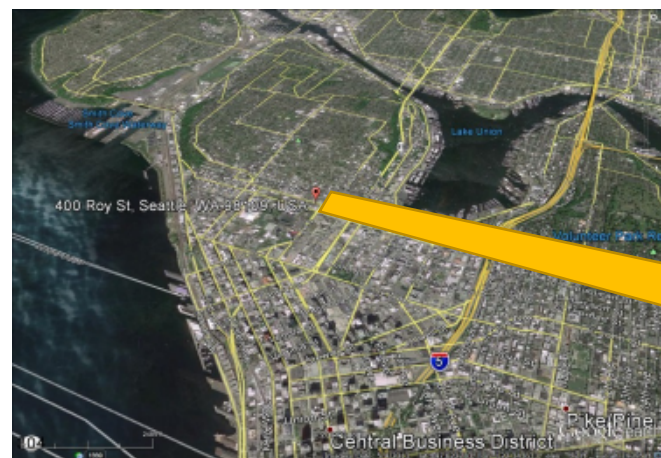


- PROJECT NAME: 400 ROY APARTMENTS
- ADDRESS: 400 ROY STREET, SEATTLE, WA
- DPD PROJECT #: 3018206 MUP / 6442844 BUILDNG PERMIT #
- # OF UNITS: 64 APARTMENT UNITS / BUILT GREEN 4 STAR
- # OF STORIES: 3.5 STORIES OF RESIDENTIAL OVER 1 STORY RETAIL / PARKING BELOW BUILDING
- RETAIL AREA ALONG ROY ST: 3,436.5GSF
- RESIDENTIAL GSF: 49,239 GSF
- PARKING - CARS: 30 CARS PARKING BELOW BUILDING
- PARKING - BICYCLES: 32 BICYCLES STORAGE AT GARAGE



DESIGN REVIEW MEETING
MARCH 16, 2016 - 2ND
ROUND REVIEW SUBMITTAL

PROJECT INFORMATION -



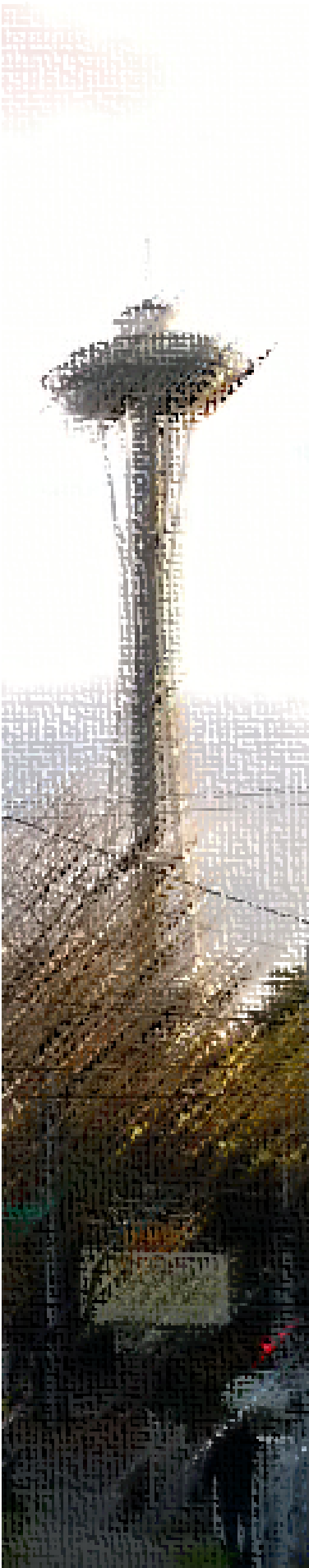
DESIGN REVIEW: RECOMMENDATION PROPOSAL 400 ROY STREET APARTMENTS

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PROPOSAL

1

03/06/2016





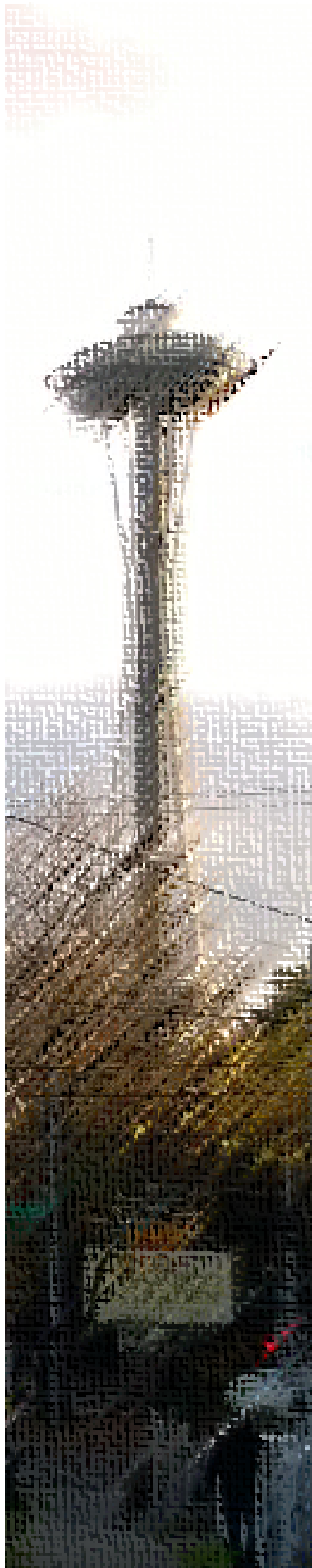
**DESIGN REVIEW: RECOMMENDATION PROPOSAL
400 ROY STREET APARTMENTS**

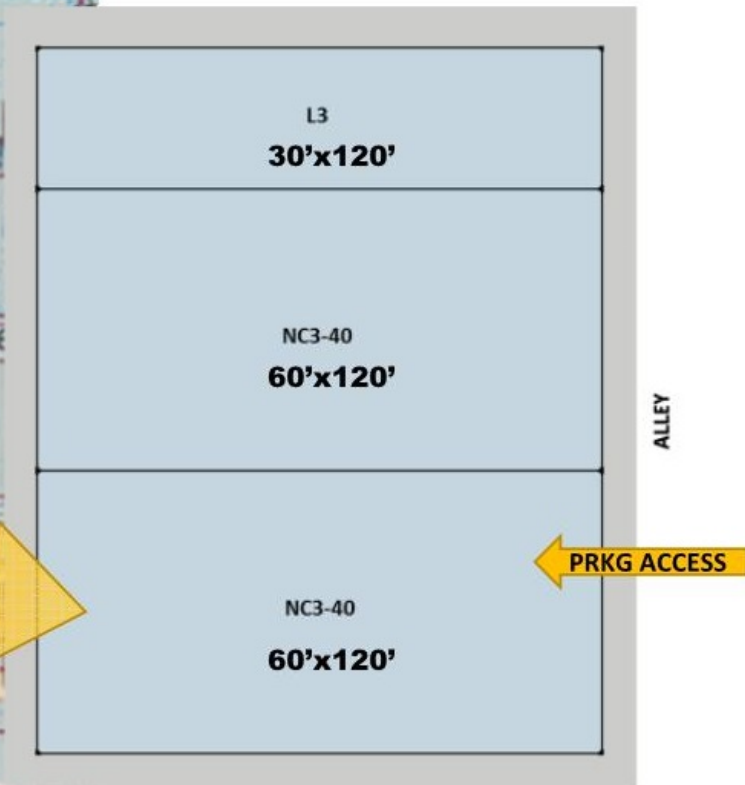
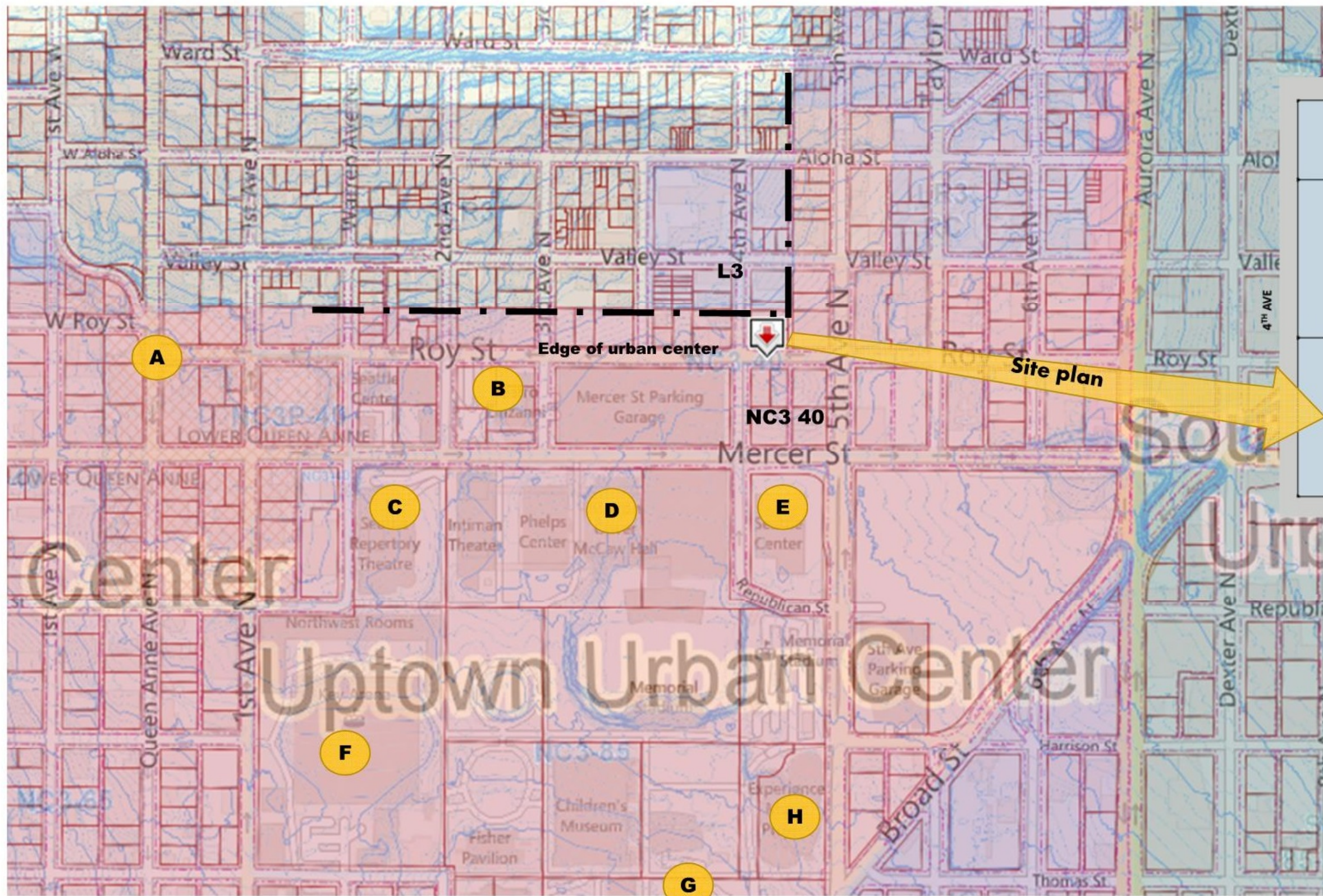
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■ SUMMARY CONTEXT ANALYSIS 3

AERIAL VIEW –
VICINITY MAP –
SURROUNDING USES, STRUCTURES, ZONING –
EXISTING SITE CONDITIONS –
AXONOMETRIC VIEWS –
ZONING STANDARDS –
EDG – MAJOR POINTS –

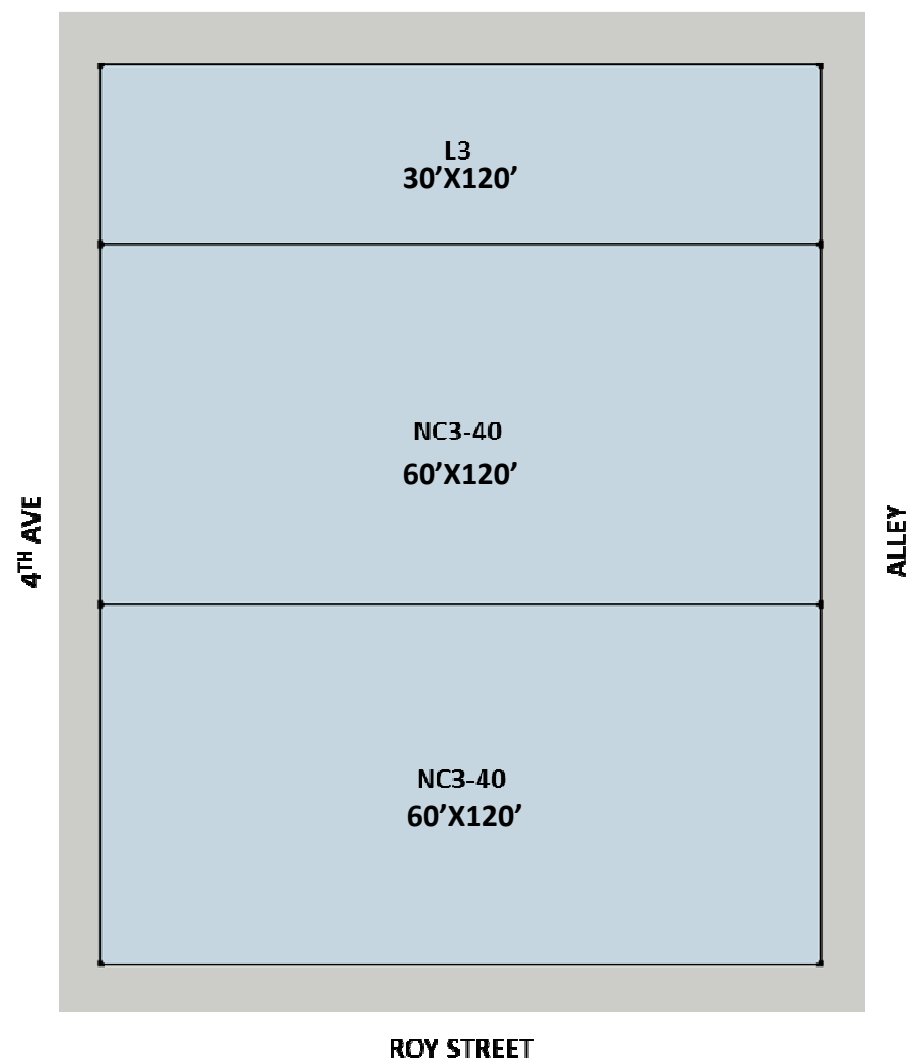
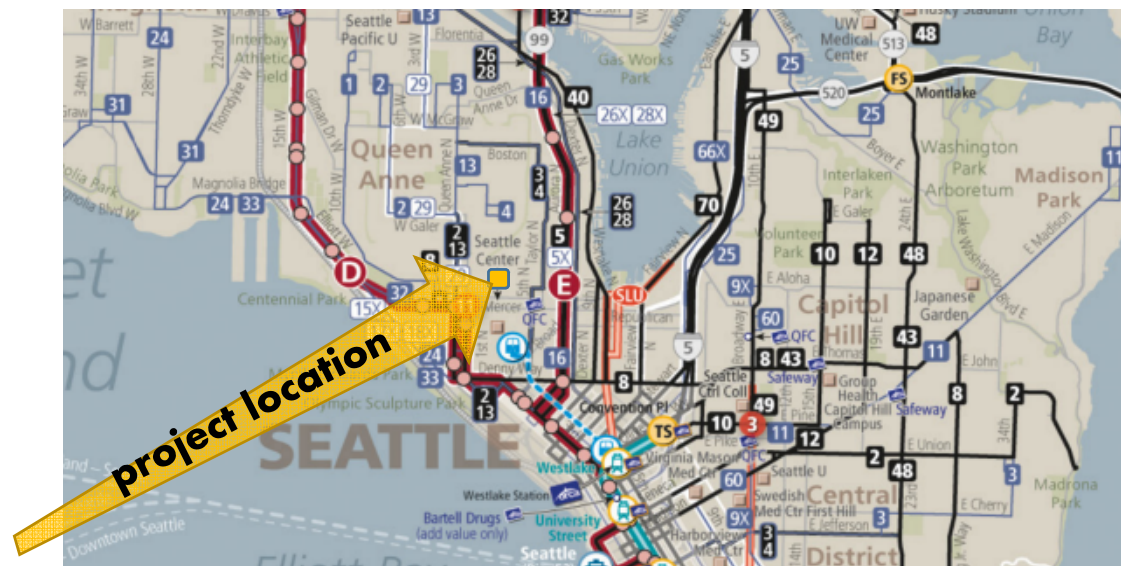
03/06/2016



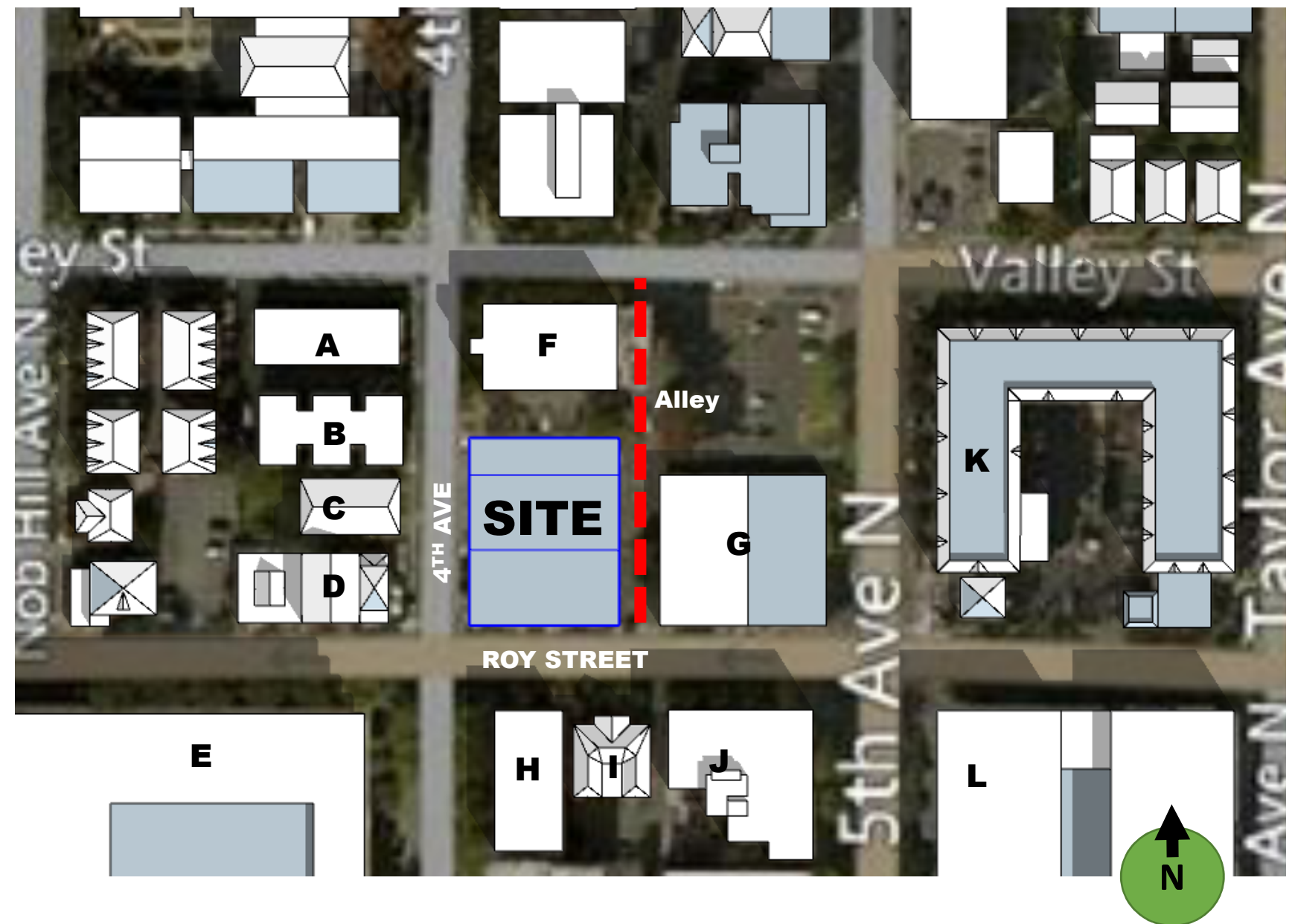


ROY STREET
SITE PLAN

| INVENTORY OF COMMUNITY NODES | | | | |
|------------------------------|--|--|--|--|
| A | INTERSECTION OF ROY AND QUEEN ANNE AVE | | | |
| B | TEATRO ZINZANI | | | |
| C | THE REP | | | |
| D | OPERA HOUSE | | | |
| E | KCTS STUDIOS | | | |
| F | KEY ARENA | | | |
| G | SPACE NEEDLE | | | |
| H | EMP | | | |

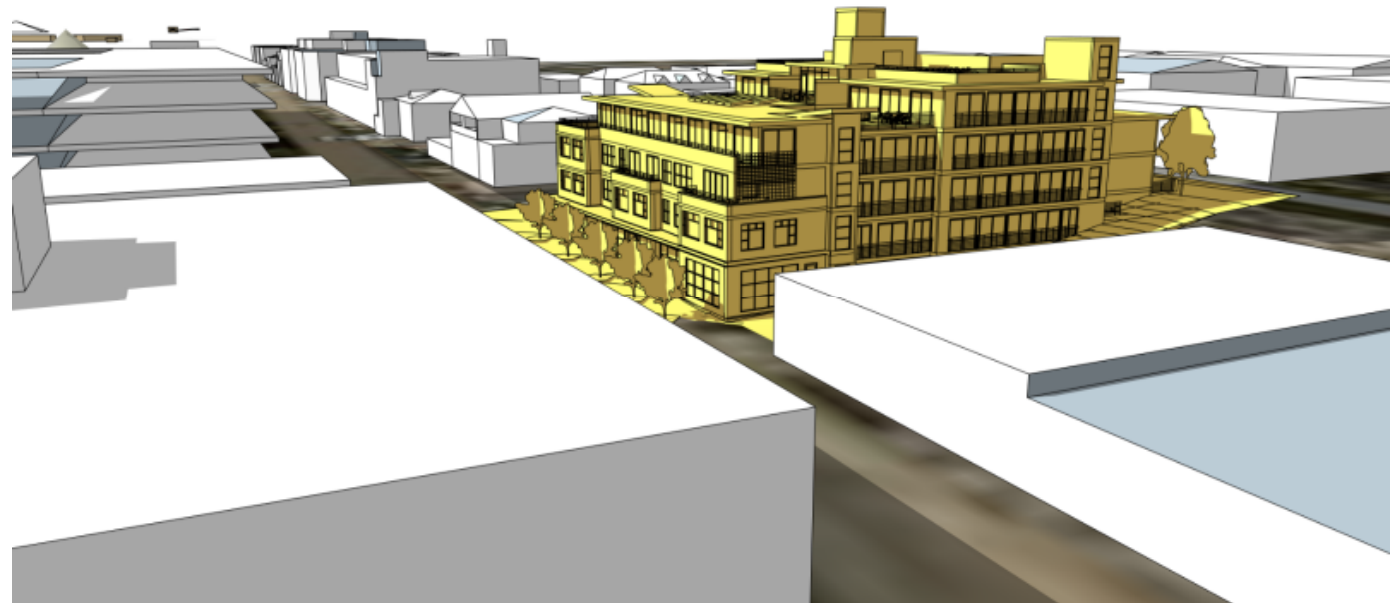
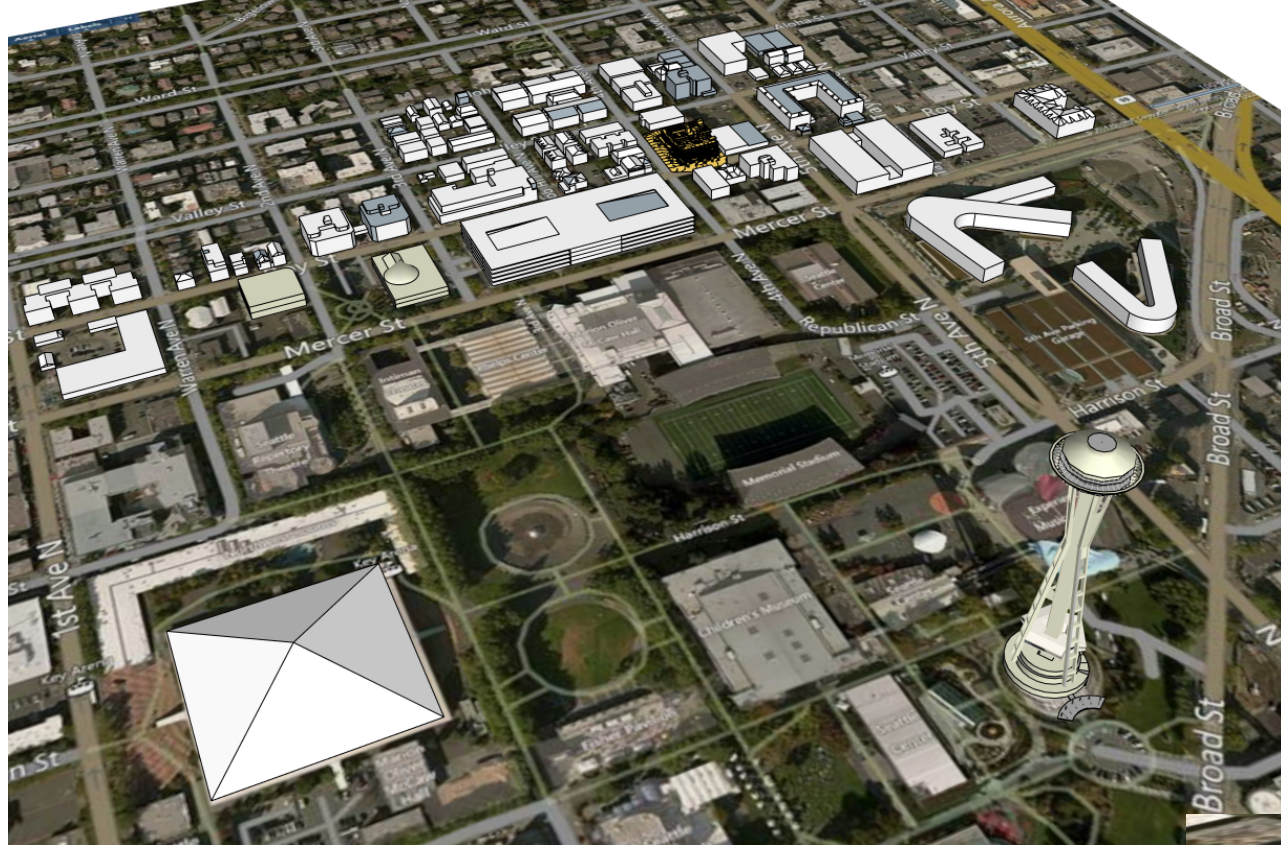


SITE PLAN



| INVENTORY OF NEIGHBORING PROPOERTIES | | | |
|--------------------------------------|----------------|---|---------|
| A | MULTI-FAMILY | 2 | STORIES |
| B | MULTI-FAMILY | 4 | STORIES |
| C | MULTI-FAMILY | 3 | STORIES |
| D | RESTAURANT | 2 | STORIES |
| E | PARKING GARAGE | 3 | STORIES |
| F | MULTI-FAMILY | 4 | STORIES |
| G | COMMERCIAL | 1 | STORY |
| H | MULTI-FAMILY | 4 | STORIES |
| I | RESTAURANT | 3 | STORIES |
| J | MULTI-FAMILY | 4 | STORIES |
| K | HOTEL | 4 | STORIES |
| L | MULTI-FAMILY | 4 | STORIES |





DESIGN REVIEW: RECOMMENDATION PROPOSAL / 400 ROY STREET APARTMENTS

AXONIMETRIC VIEWS

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SEATTLE LAND USE CODE: - relevant sections – LR3

- **23.45.510 – Multi-family FAR**
 - Per table 23.45.510 LR3 within urban center FAR or 1.5 or 2 where project complies with Built-Green 4 star. (23.45.510.c)

FAR for the building element within the LR3 lot is less than the allowable – refer to tabulations on following pages

- **23.45.512 – Multi –family density**
 - Per table 23.45.512 unlimited density is allowed when project in LR3 complies with Built Green 4 star.

We are planning a built-green 4 star project qualifying for the higher FAR and unlimited density for the LR3 lot.

- **23.45.514 Structure height (L3)**
 - F: L3, 30’ ht. limit may be increased by 4’.
- 23.45.518 H. Projections permitted in required setbacks and separations
 - 1.Cornices, eaves, gutters, roofs and other forms of weather protection may project into required setbacks and separations a maximum of 4 feet if they are no closer than 3

All project elements are within the allowable height limits

- **23.45.522 – Amenity area for L3 –**
 - A.1&2: 25% of lot area – with a minimum of 50% of the amenity area or 450 sf at ground level and within the L3 lot boundaries.
 - The area is made up of two segments at the West and East ends of the L3 Lot.

All amenity areas identified are within the dimensional and area parameters stated for both zones.

- **23.45.527.B –DEPARTURE REQUEST: Façade length limited to 65% of lot depth along side-yard within 15’ of the property line. Refer to page 42 – DEPARTURE REQUEST.**

SEATTLE LAND USE CODE: - relevant sections – NC3 - 40

- **23.47A.005 Street Level uses**
 - D.1.a...Along designated pedestrian streets...80% of the street level façade shall be one of the following uses: General sales and services, retail sales, etc. etc.

Retail sales and service is the planned occupancy along Roy Street – the façade along this exposure is comprised of 91% retail sales and services.

- **23.47A.008 Street Level development standards**
 - B.2.a: Transparency: Sixty percent of the street-facing facade between 2 feet and 8 feet above the sidewalk shall be transparent.
 - B.3.a: height and depth of non-residential uses: average depth of 30’ with a minimum depth of 15’ from the street facing façade. / Minimum floor to floor height of 13’.

Transparency requirements are met along Roy street and the floor to floor heights and average depths for retail are met.

- **23.47A.012 Structure height (NC3-40)**
 - A: NC3-40 = 40’ height limit
 - 1.a: allows additional 4’ of height if street level retail is at 13’ floor to floor and
 - The additional height does not allow an additional floor that would not otherwise be feasible.
 - C: Roof top Features
 - 2: open railings, planters, parapets may exceed the allowable height...by up to 4’.
 - Height measurement methodology for the building is per SMC 23.86.006.A.2 allowing the overall site to be divided into separate increments to better fit a sloping site. We elected to divide the site along the individual lot lines, with all widths of individual sections set at 60’, 60’ and 30’, with the latter corresponding to the L3 lot which has a different allowable height. All increments are well in excess of the minimum 15’ width.

All project elements are within the allowable height limits

- **23.47A.013 FAR for NC**
 - Per table 23.47A.013 max FAR of 3 for NC3-40 and 3.25 for mixed use with max for any single use not to exceed 3.

Project FAR is below all specified limits – refer to summary table on zoning submittal to dpd



EDG SUMMARY GUIDANCE / RESPONSE

I. COMMENTS IN RED HIGHLIGHT THE ITEMS THAT RESPOND TO SPECIFIC EDG GUIDANCE–

1. MASSING AND CONCEPT: CLEAR SEPARATION BETWEEN ROY STREET COMMERCIAL AND 4TH AVE N RESIDENTIAL

A. RETAIL TRANSPARENCY & UPPER LEVEL CONTINUITY –ROY TO 4TH AVE N.

I. DONE – LARGE SIMILARLY SIZED AND ARTICULATED WNDOWS ARE ADDED AT ALL ELEVATIONS OF THE UPPERMOST STORY.

B. TRANSPARENCY AT CIRCULATION “GASKET”

I. LARGE WINDOW OPENINGS ARE PROVIDED AT BOTH THE ENDS OF THE CORRIDOR – SOUTH FACING WINDOWS ARE ALSO ADDED AT THE WEST END WHERE THE ELEMENT EXTENDS FURTHER FROM THE FACE OF THE BUILDING AND HIGHLIGHTS THE SPACE NEEDLE VIEW

C. 4TH AND ROY CORNER – EMBOLDEN & ENLIVEN

I. BRICK ELEMENT AT CORNER POSITION IS 1 LEVEL HIGHER THAN THE OTHER TWO ALONG ROY.

II. ANGLED ORIENTATION ENHANCES THIS EXPRESSION

III. RECESSED RETAIL COURTYARD DEVELOPED AT THE CORNER RETIAL ENTRY

IV. CANOPY EXTENDS AND RETURNS AT CORNER WITH LARGEST OVERHANG AND PREDOMINANT EXPRESSION.

D. DATUM AND MATERIAL CONSISTENCY

I. DONE

E. COMMON LANGUAGE ALONG TOP OF STRUCTURE – PARAPETS / OPENINGS / RAILINGS

I. CAP AND OPEN UPPER RAIL LANGUAGE DEVELOPED ACROSS TOP OF MASONRY WALL (WITH PRECAST CONCRETE CAPS)AND FRAMED WALLS (WITH METAL CAPS) BOTH WITH SIMILAR OPEN RAILS ABOVE.

F. OPEN PARAPETS AND RAILINGS ALONG RESIDENTIAL PORTION ABOVE RETAIL.

I. WE WANTED TO MAINTAIN SOME DEGREE OF OPACITY TO THE DECK RAILS THAT WE BELIEVE IS MORE APPROPRIATE FOR THE URBAN SETTING FROM BOTH THE SIDEWALK AND THE OCCUPANT STANDPOINT. SEE COMMENT ABOVE AS TO OUR METHODOLOGY

G. GREATER TRANSPARENCY AT ALLEY CORNER.

I. DONE

H. ORCHESTRATE APPLICATION AND TRANSITIONS OF BUILDING MATERIALS.

I. DONE

2. STREETScape – MULTIPLE RETAIL ENTRY POINTS – STRONGER ROY STREET CONNECTION BETWEEN INTERIOR RETAIL AND SIDEWALK SPACES

A. INCREASED SETBACKS ALONG ROY?

I. RECESSES ALONG ROY ARE SET FURTHER BACK ALLOWING FOR SIDEWALK SEATING AS SHOWN. THESE TWO

GLAZING AREAS WILL BE UPWARD ACTING GLAZED GARAGE DOORS ACROSS THE ENTIRE OPENING ACTIVATING RETAIL AREAS DIRECTLY WITH THE SIDEWALK.

B. WRAP BUILDING CORNERS WITH INCREASED GLAZING

I. DONE – REFER TO ELEVATIONS AND PERSPECTIVE VIEWS

C. CONTINUOUS RETAIL CANOPY

I. DONE – FACE ELEMENT RUNS FROM GASKET TO GASKET / EAST TO WEST ELEVATIONS – OVERHANG BEGINS TO THE WEST OF THE FIRST MASONRY ELEMENT.

D. BIGGER STATEMENT AT 4TH AND ROY

I. DONE – REFER TO ANSWER TO 1C

3. ENTRIES – DISTINCT LOCATIONS / EXPRESSION

A. MULTIPLE RETAIL ENTRANCES

I. RETAIL ENTRY POINTS AT 4TH, ROY AND THE ALLEY AT THE RETAILERS OPTION INCREASING OPTIONS FOR EXPRESSION AND RETAIL ACTIVATION.

B. CELEBRATE BIKE ENTRY

I. WE HAVE MOVED BIKE ENTRY TO THE ALLEY END OF THE GASKET, PROMINENTLY LOCATED JUST SOUTH OF THE MAIN GARAGE ENTRY GATE. PROJECTED LED BICYCLE SYMBOL WILL BE SET TO THE PAVING JUST IN FRONT OF THE BIKE ENTRY

C. GATE OR OTHER UNIQUE IDENTIFIER AT BIKE ENTRANCE.

I. BIKE ENTRY IS MOVED TO THE EAST END OF THE GASKET FOR GREATER CLARITY OF ENTRANCE AND OF THE RETAIL CORNER AT 4TH AND ROY. LED PROJECTOR TO PAVING AREA WILL ENLIVEN BIKE ENTRY.

D. SIGNAGE – QUEEN ANNE CHARACTER.

I. OUR PROPOSED SIGNAGE IS SIMPLE, UNASSUMING AND DOES NOT COMPETE WITH THE ARCHITECTURE, WHICH WE SUBMIT IS A GREAT FIT FOR THE CHARACTER OF THE QUEEN ANNE NEIGHBORHOOD.

4. OPEN AND AMENITY SPACES – CONFORM TO ZONE SPECIFIC CRITERIA

I. COMMON L3 AMENITY AREAS AT WEST AND EAST CORNER OF SITE

I. DONE

II. PROVIDE COMMON OPEN SPACE ALONG ALLEY

I. WE ARE MAINTAINING THIS CORNER AS A MAJOR TREE LOCATION AND ARE ALSO PLANNING THIS AS A DOG WALK AREA. THE AREA IS GENEARELLY OPEN TO AND FOLLOWS THE ALLEY GRADE

III. LOCATE BACK EXIT DOOR TO ACTIVATE COMMON AREA OFF OF ALLEY

I. DONE

IV. BELOW GRADE OPEN SPACE – USEABLE / EFFECTIVE PRIVATE AREAS WITH SENSE OF OPENESS AND SUNLIGHT.

I. REFER TO ANSWER TO 4.VI

V. DESIGN FOR EYES INTO OPEN SPACE TO PROVIDE SECURITY

i. SCREEN LANGUAGE WILL PROVIDE SMALL MODULE MESH WITHIN LARGER FRAME MATRIX – ALLOWING LIGHT AND LIMITED VISIBILITY THROUGH THE ENDS OF THE RECESSED COURT WHILE BEING DIFFICULT TO CLIMB.

VI. FINISH RETAINING WALL – INTERESTING WAY / FLEXIBLY PLANTING BETWEEN UNITS

i. RETAINING WALL IS A GREEN WALL AND WILL BE PLANTED WITH CLIMBING MEDIUM

ii. WE HAVE ELIMINATED THE PATIO AREAS IN FAVOR OF FULL ON-STRUCTURE LANDSCAPING (2’0” DEEP SOIL)– ENHANCES SECURITY FOR LOWER UNITS AND

iii. WE HAVE EXTENDED THE BAYS DOWN TO THIS LEVEL, AND CANTED THE SIDES TO A MORE TRADITIONAL FORM – GREATLY ENHANCING THE INTERIOR EXPERIENCE OF THESE UNITS.

5. PROVIDE A STREET LEVEL PERSPECTIVE OF THE RESIDENTIAL ENTRY.

I. VIEWS ADDED

6. PROVIDE A DETAIL WITH MATERIALS OF THE CANOPY AT THE RESIDENTIAL ENTRY.

I. DONE – ADDED TO SOUTH COLOR AND MATERIAL ELEVATION

7. PROVIDE A PLAN DETAIL OF THE ENTRY INTO AND THE INTERIOR, OF THE RESIDENTIAL LOBBY.

I. DONE

8. SHOW WHAT THE TOWNHOUSE STOOPS WILL LOOK LIKE, INCLUDING MATERIALS AND LANDSCAPING.

I. DONE – ADDITIONAL PERSPECTIVE VIEWS ELABORATE – AND DETAIL ADDED TO WEST COLOR AND MATERIAL ELEVATION.

9. STUDY THE RELATIONSHIP BETWEEN THIS PROJECT AND THE PROPOSED DEVELOPMENT TO THE EAST (PROJECT #3015918). STUDY THE PROPOSED PROJECT PLANS TO MAKE SURE WINDOWS DON’T ALIGN.

I. WE HAVE MET WITH THE NEIGHBORING PROPERTY AND IT IS ON HOLD FOR 2-4 YEARS AND THE FINAL CONFIGURATION IS INDETERMINANT.

II. OUR UNITS ARE 18’ WIDE, WITH ONLY THE EAST WALL AVAIABLE FOR WINDOWS, WHICH WE ARE MAXIMIZING

III. ALL UNITS AT THIS AREA OF THE PROJECT ARE EITHER OPEN 1 OR 2 BED UNITS, AND ALL SLEEPING AREAS ARE INTERNAL TO THE UNIT.

DESIGN REVIEW: RECOMMENDATION PROPOSAL / 400 ROY STREET APARTMENTS

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EDG – MAJOR POINTS

03/06/2016

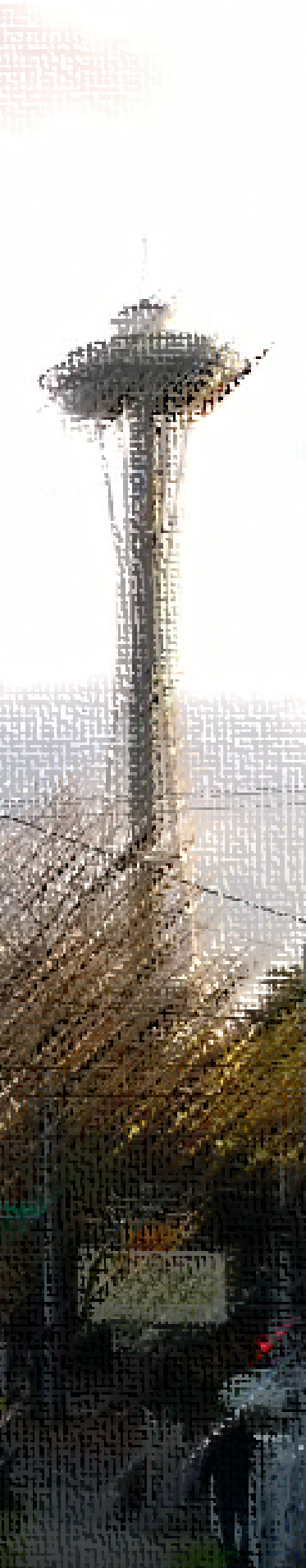
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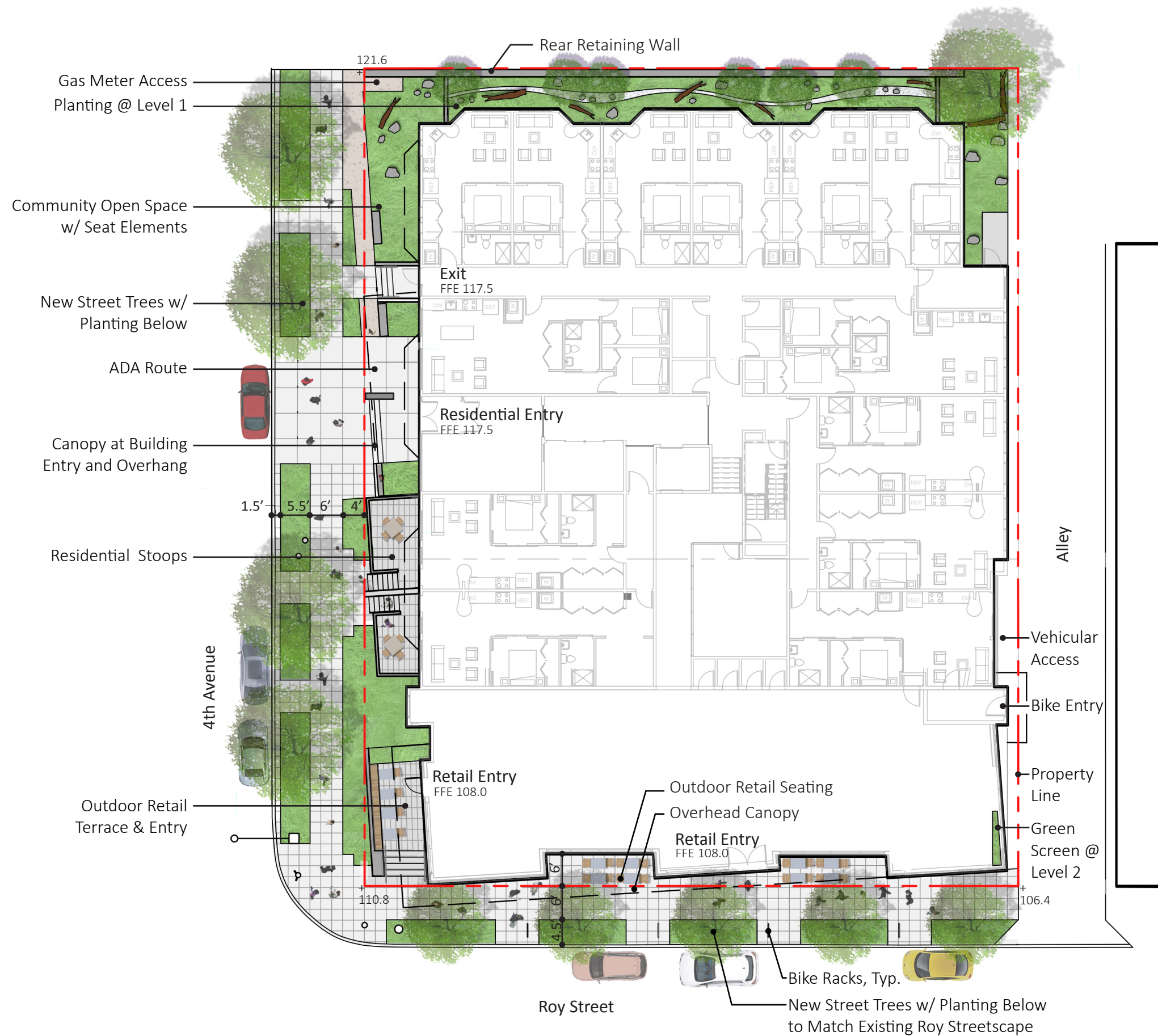


**DESIGN REVIEW: RECOMMENDATION PROPOSAL
400 ROY STREET APARTMENTS**

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COMPOSITE SITE PLAN –
FLOOR PLANS –
SOLID WASTE PLAN --
COMPOSITE HARDSCAPE / LANDSCAPE PLAN –
ELEVATIONS (INCLUDING MATERIAL / COLOR PALETTE) –
RENDERINGS –
EXTERIOR LIGHTING PLAN –
SIGNAGE CONCEPT PLAN –
BUILDING SECTIONS –
DEPARTURE REQUEST --





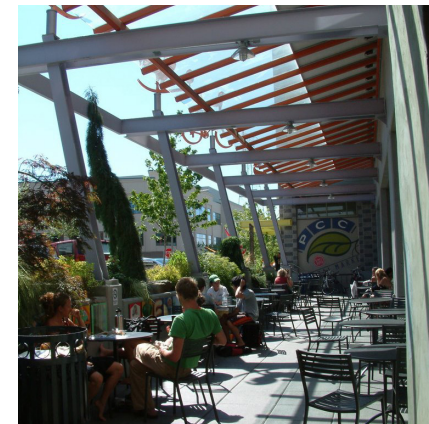
Concept Imagery



Residential stoops activate the street



Generous landscaped setbacks



Outdoor retail terrace along 4th Ave



Active retail edge along Roy Street



Visual Landscape



400 ROY STREET

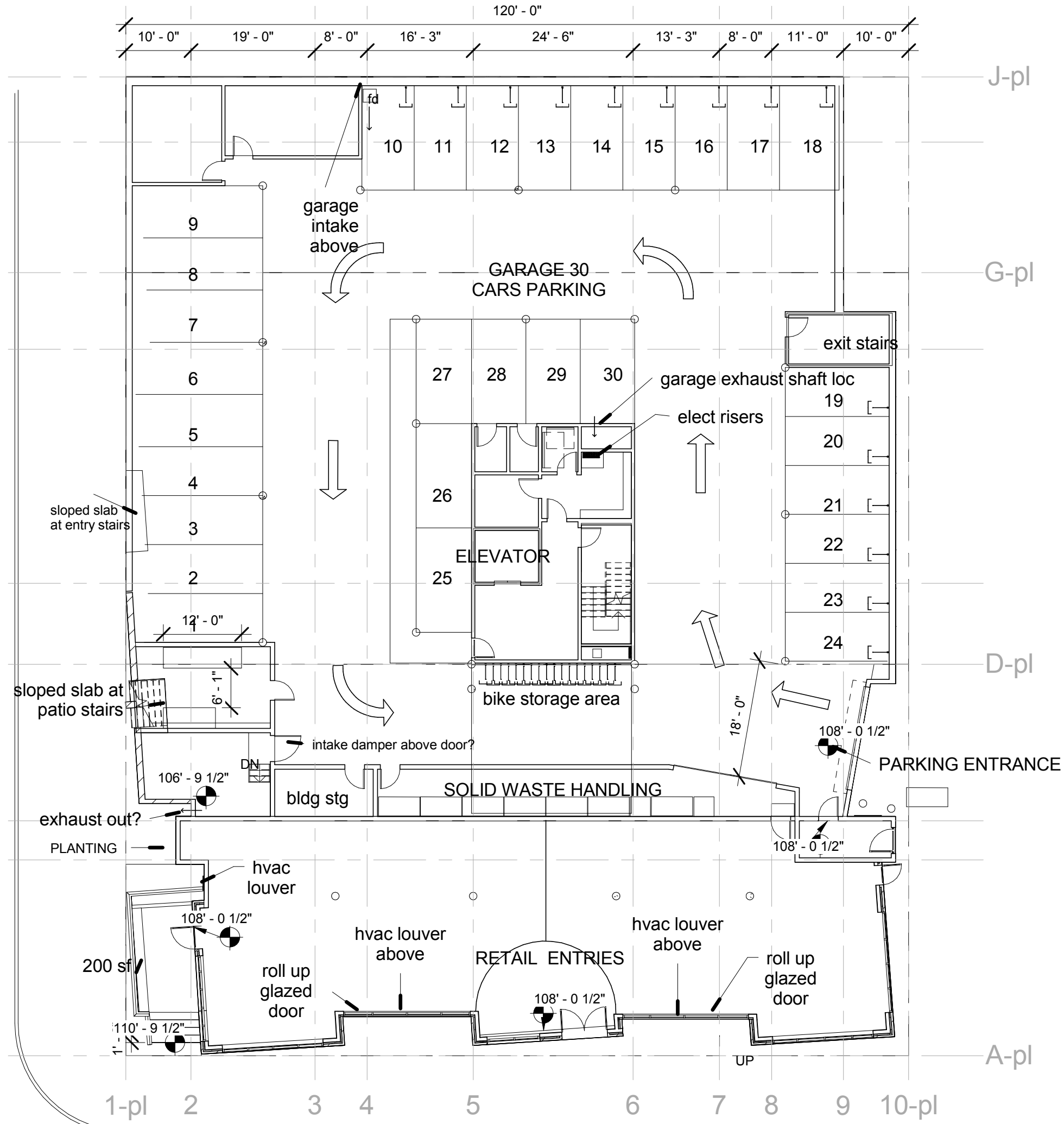
APARTMENT COMPLEX

PARKING-RETAIL
PLAN

DRB-01

Scale 1/16" = 1'-0" 03/06/2016

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1 DRB - RETAIL / PRKG
1/16" = 1'-0"



400 ROY STREET

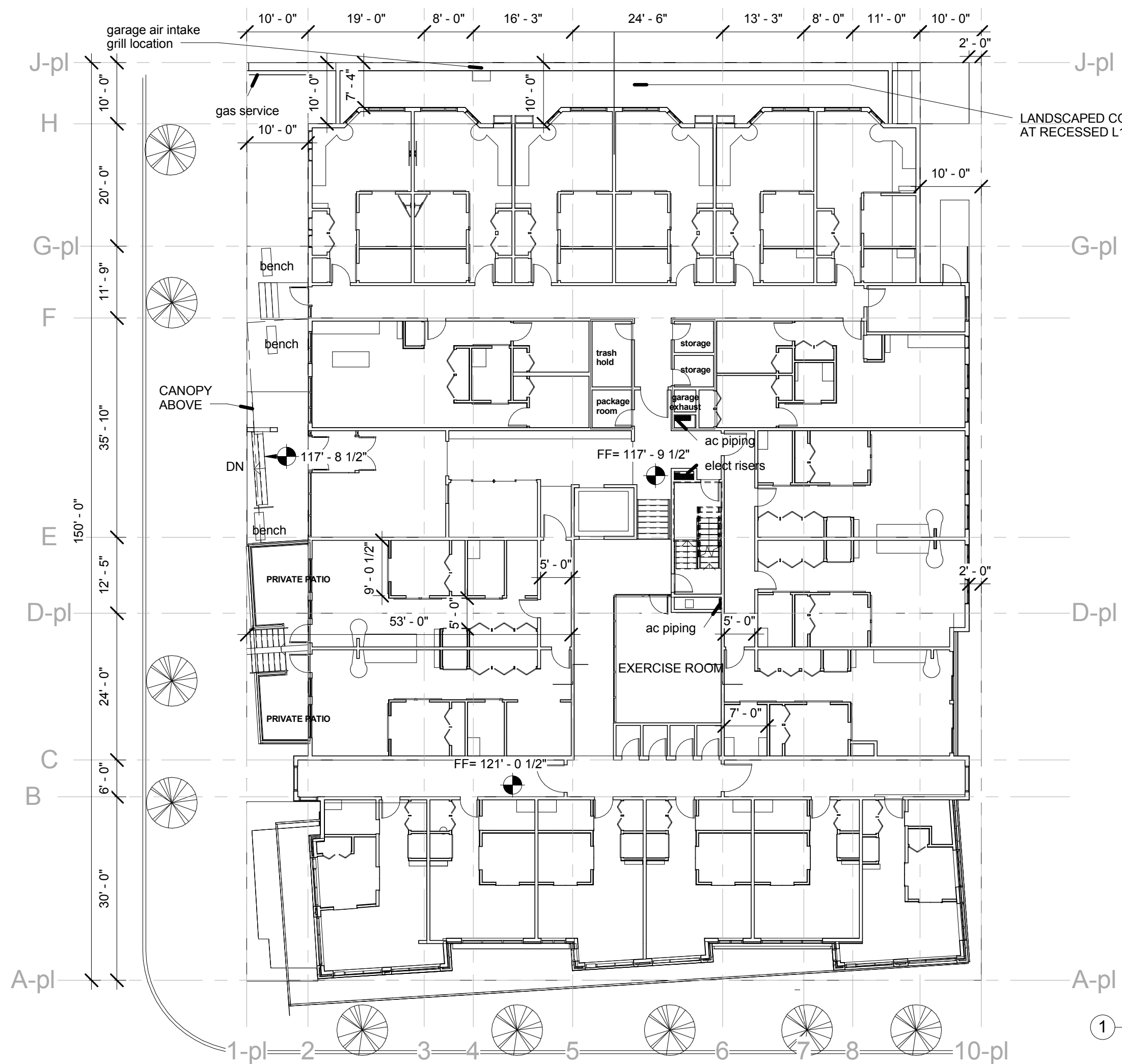
APARTMENT COMPLEX

LVL 1 RESIDENTIAL

DRB-02

Scale 1/16" = 1'-0" 03/06/2016

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1 DRB-LVL 1 RESIDENTIAL
1/16" = 1'-0"



400 ROY STREET

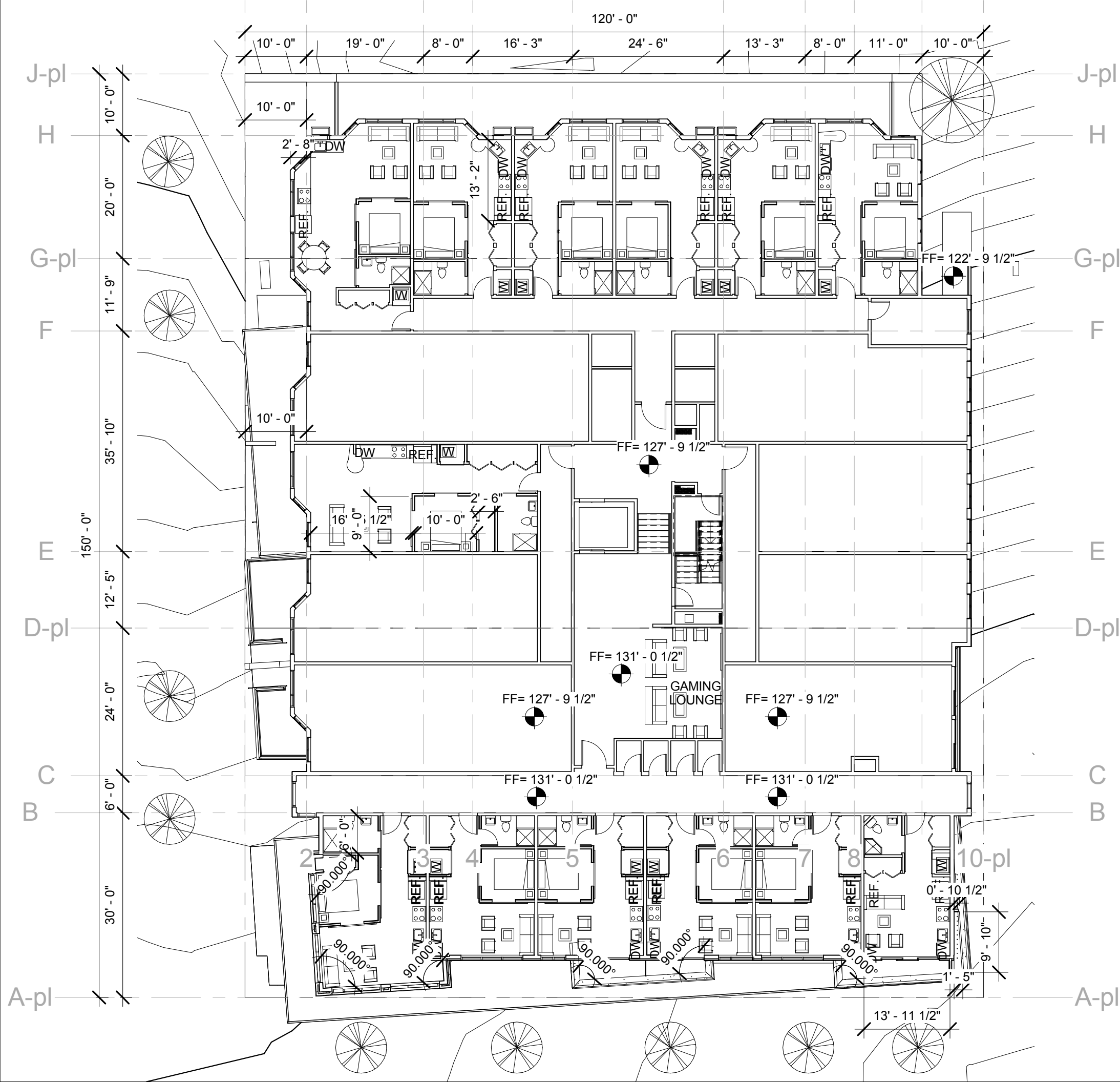
APARTMENT COMPLEX

LVL 2 RESIDENTIAL

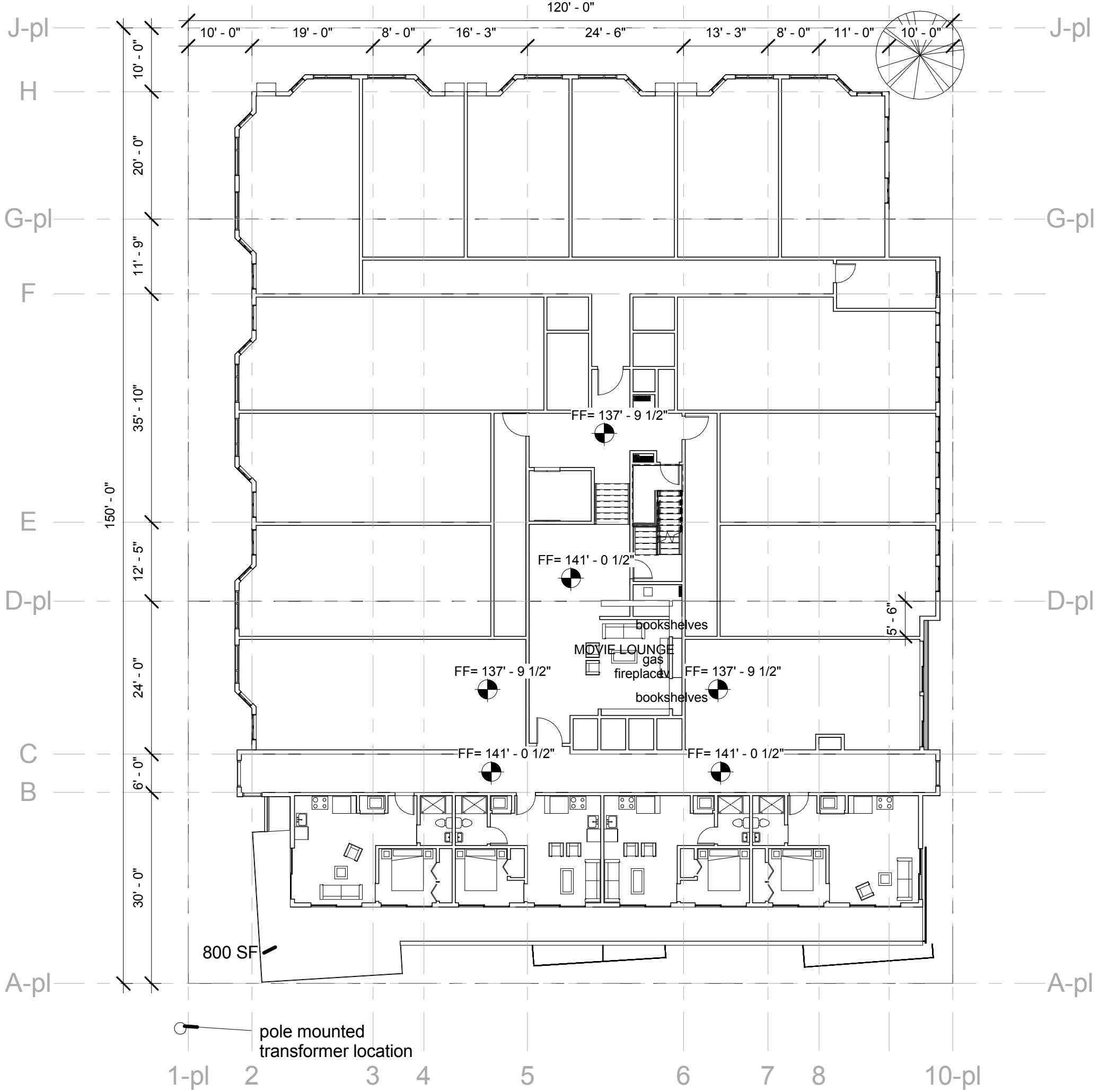
DRB-03

Scale 1/16" = 1'-0" 03/06/2016

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1 DRB-LVL 2 RESIDENTIAL
1/16" = 1'-0"



400 ROY STREET

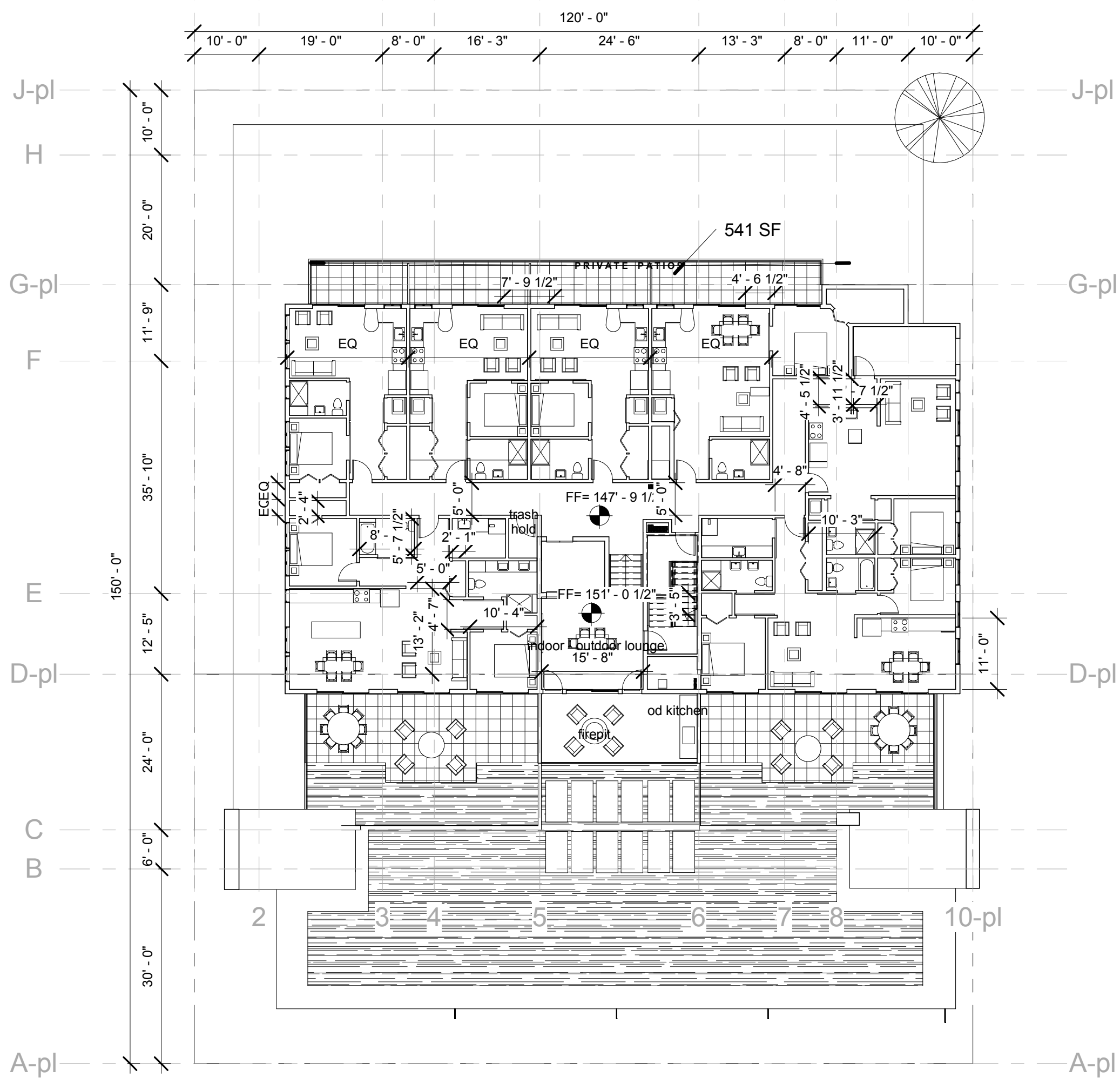
APARTMENT COMPLEX

LVL 3 RESIDENTIAL

DRB-04

① DRB-LVL 3 RESIDENTIAL
1/16" = 1'-0"

Scale 1/16" = 1'-0" 03/06/2016



400 ROY STREET

APARTMENT COMPLEX

LVL 4 RESIDENTIAL

DRB-05

1 DRB-LVL 4 RESIDENTIAL
1/16" = 1'-0"

Scale 1/16" = 1'-0" 03/06/2016

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400 ROY STREET

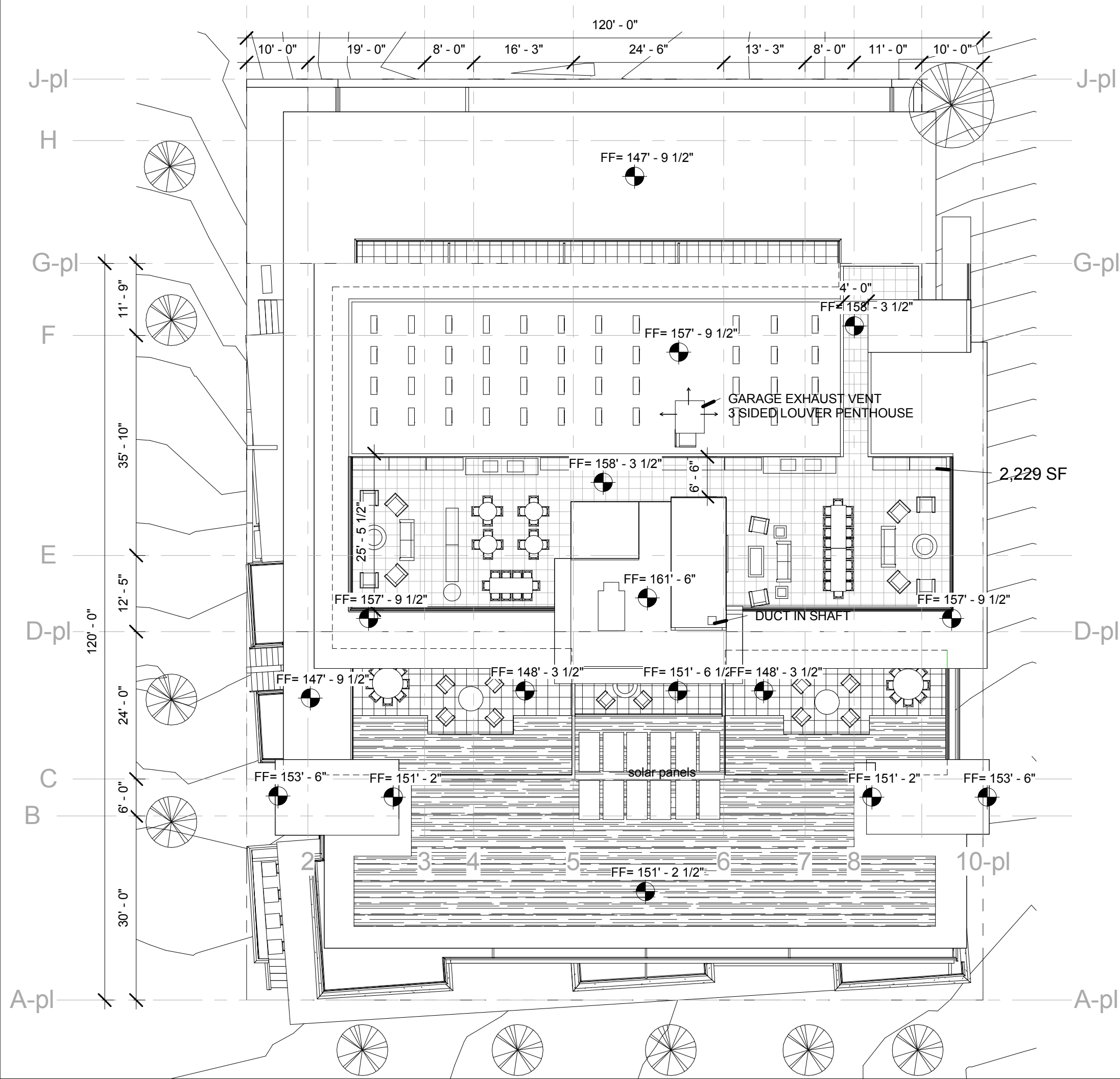
APARTMENT COMPLEX

LVL 5 - ROOF AMENITY

DRB-06

Scale 1/16" = 1'-0" 03/06/2016

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1 DRB-ROOF AMENITY AREAS
1/16" = 1'-0"



SiteWorkshop^{LLC}
LANDSCAPE ARCHITECTURE

400 ROY STREET

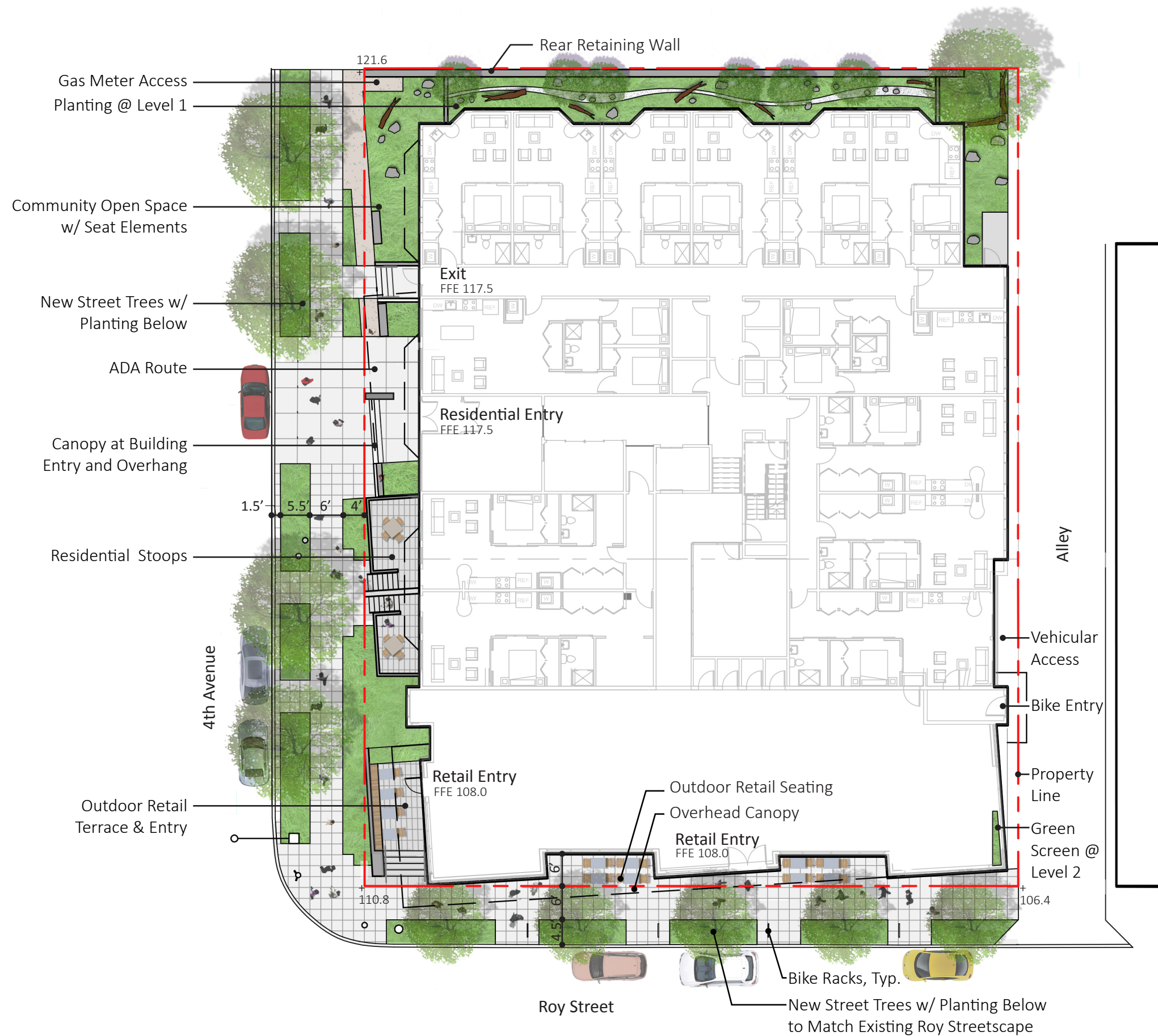
GRACE ARCHITECTS PLLC - 7310 15TH AVE NW - SEATTLE, WA - 98117 - rwallen@gracearchitectspllc.com - 206 957 9800

Context Plan

APARTMENT COMPLEX

03/06/2016

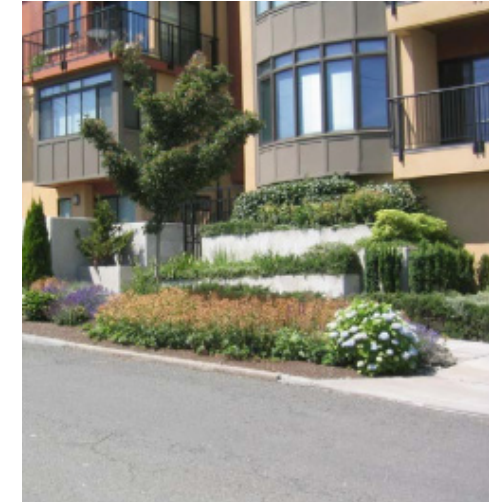
DR-LD 001



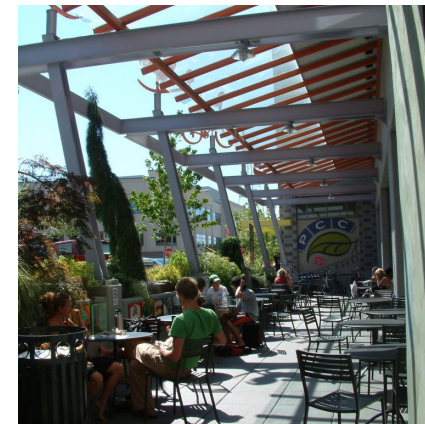
Concept Imagery



Residential stoops activate the street



Generous landscaped setbacks



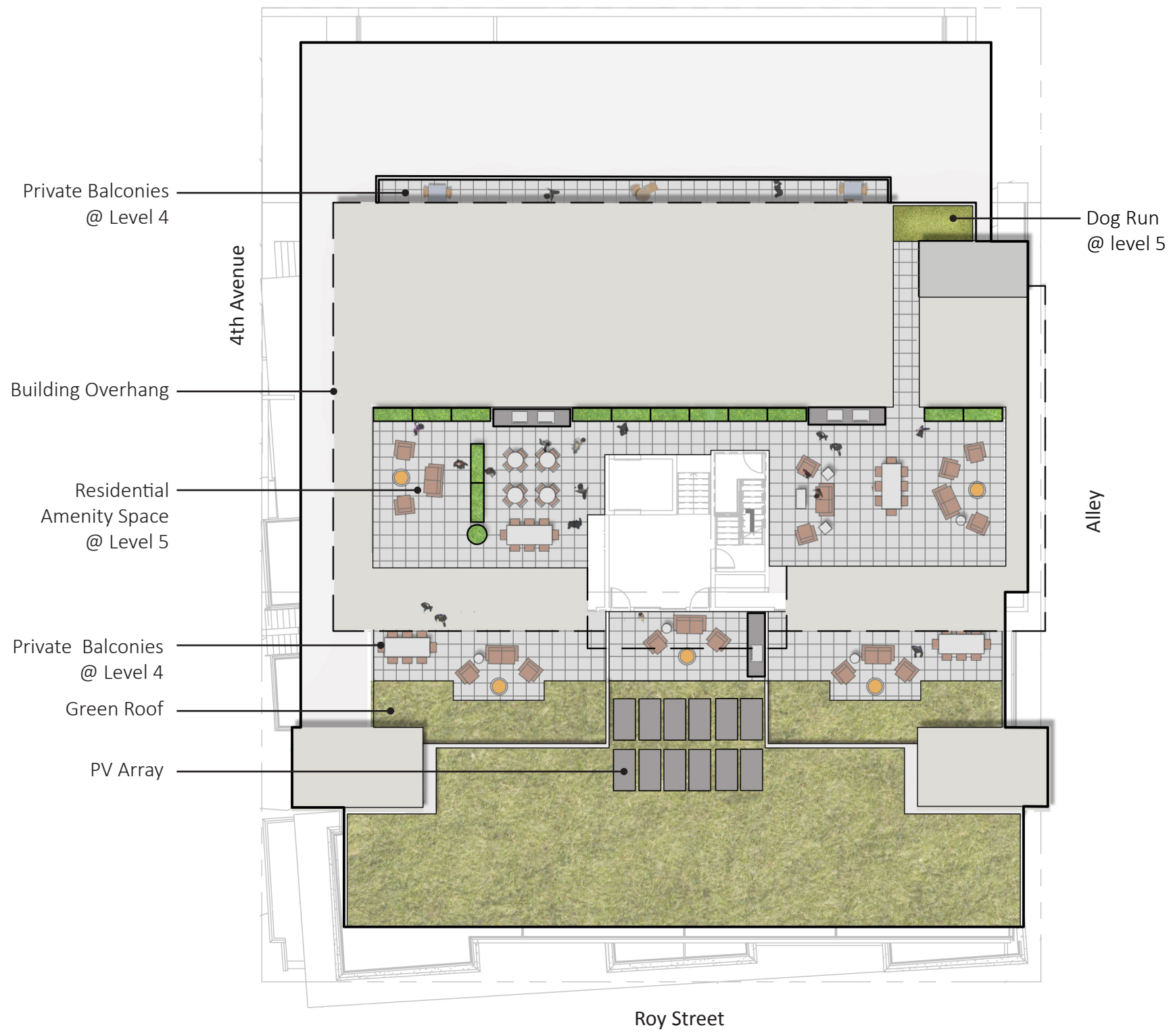
Outdoor retail terrace along 4th Ave



Active retail edge along Roy Street



Visual Landscape



Concept Imagery



Semi-private outdoor rooms



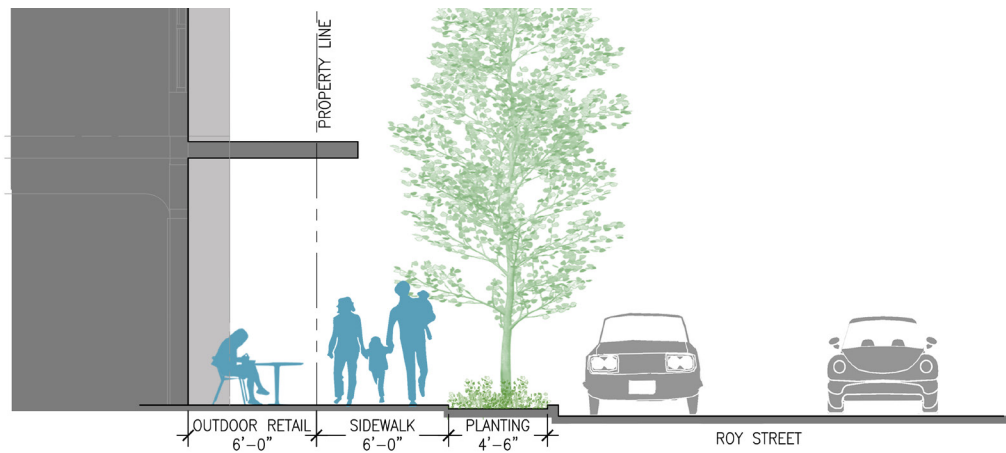
Fire pits



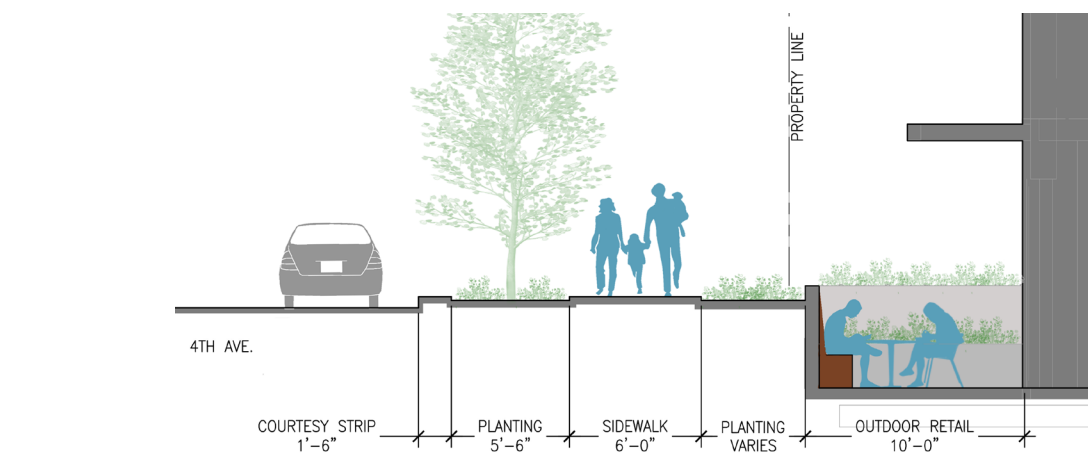
Green Roof



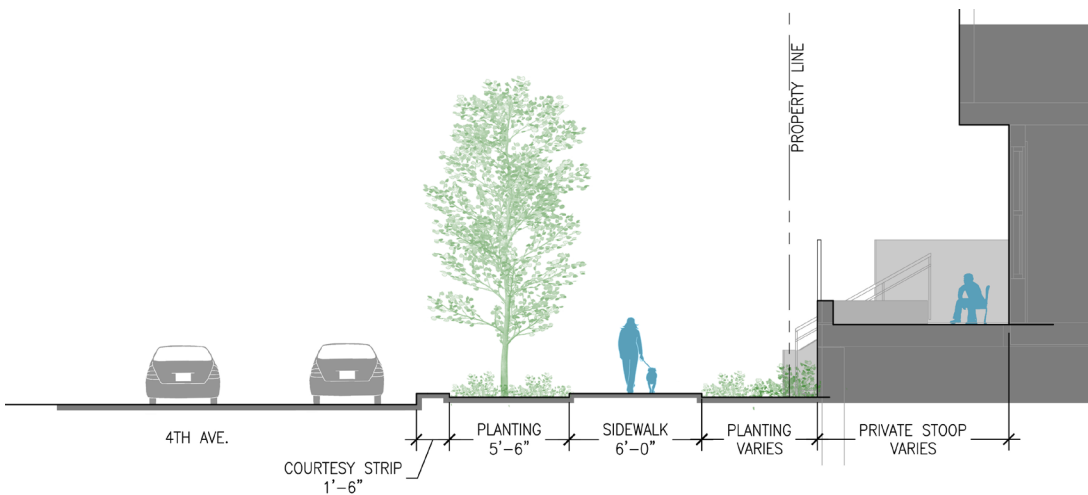
Amenity spaces



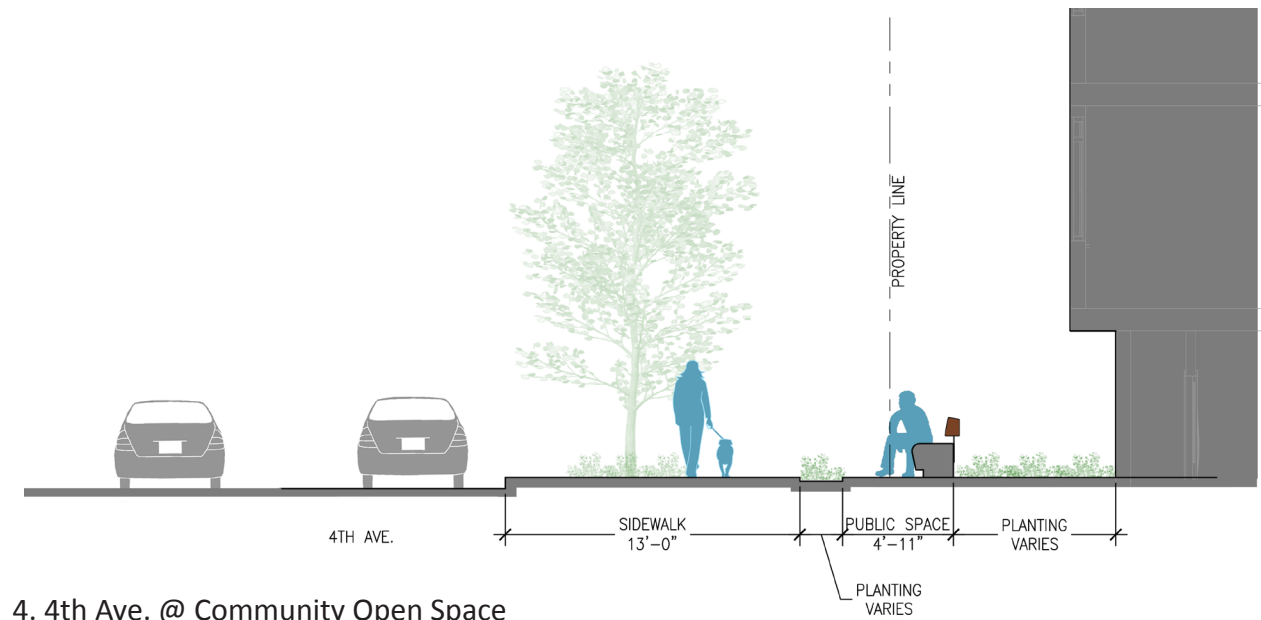
1. Roy Street @ Retail



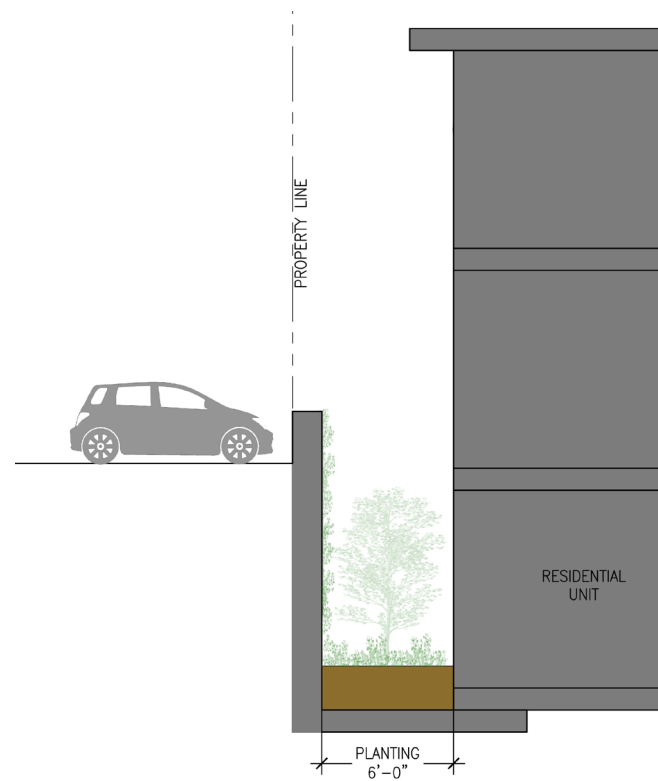
2. 4th Ave. @ Outdoor Retail Terrace



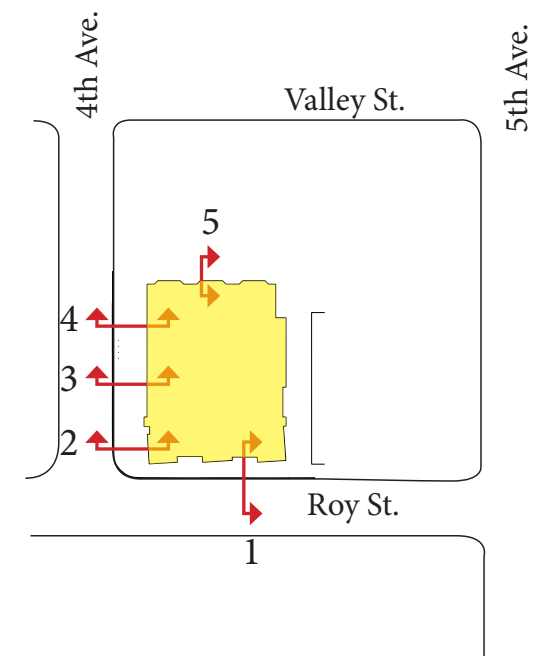
3. 4th Ave. @ Stoop



4. 4th Ave. @ Community Open Space



5. Sunken Garden





Sidewalk Paving



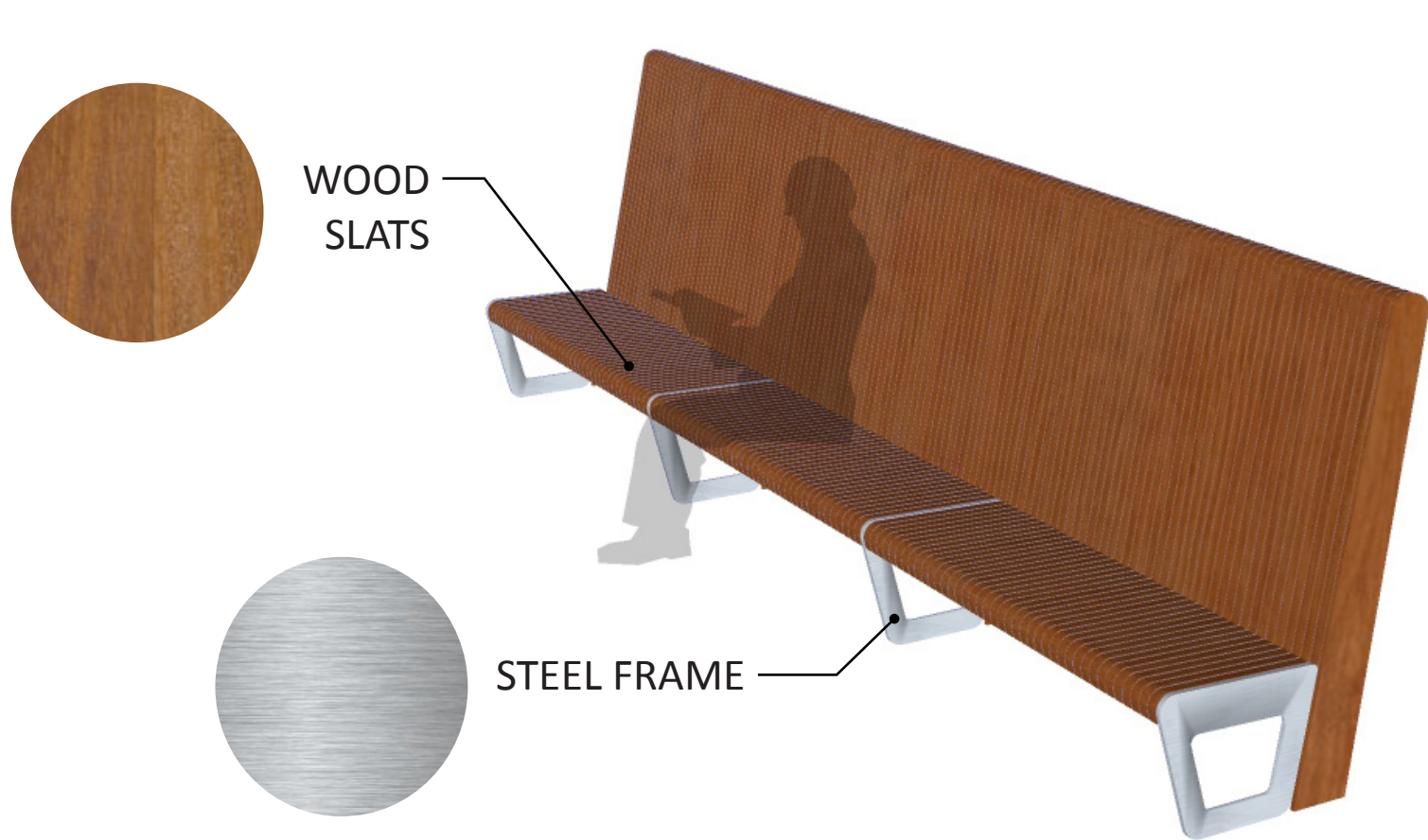
Stabilized Decomposed Granite



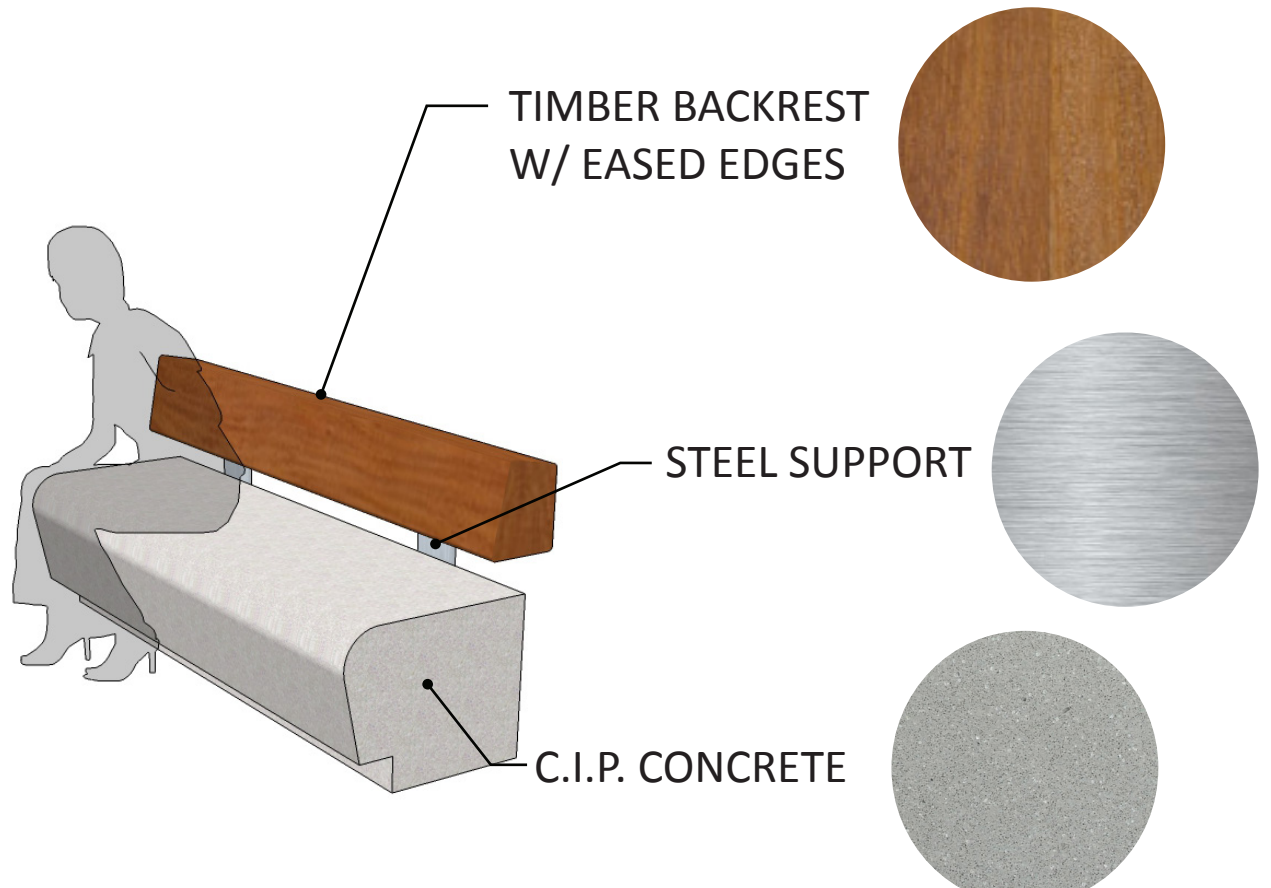
Pet Relief Area



Bike Racks



Retail Terrace Bench



Community Space Bench



Cornus 'Eddie's White Wonder' (Roy Street)



Luzula 'Ruby Stiletto'



Daphne x transatlantica 'Jim's Pride'



Polystichum munitum



Cornus kousa 'Starlight' (4th Avenue)



Molinia caerulea ssp. caerulea 'Moorflamme'



Geranium 'Rozanne'



Dicentra 'King of Hearts'



Leucojum aestivum 'Gravetye Giant'



Helleborus argutifolius



Acer Circinatum

Street Trees

Understory

Shade Garden



SiteWorkshop^{LLC}
LANDSCAPE ARCHITECTURE

400 ROY STREET

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Plants

APARTMENT COMPLEX

03/06/2016

DR-LD 001



400 ROY STREET

APARTMENT COMPLEX



① EAST ELEVATION - design review
1/16" = 1'-0"



SE CORNER VIEW

- Gasket highlighted – proud of surrounding elements, accent color and flat roof section at a differentiating level – and reduced overhangs.
- Bike entry moved to this end of the development
- Green screen above corner brick element forms rail at level 3 along Roy and will have window cut out at unit kitchen sink at level 2
- Typical brick treatment
 - Contrasting soldier course at window head and pre-cast concrete sills at all windows in masonry walls.
 - Pre-cast concrete cap at part ht rail with open rail top above.
 - SE corner element integrates awning face channel into brick veneer.
- Retail openings at recessed conditions and at the NW corner (4th ave face) will be offered as optional operational roll up glazed doors in the same configuration as shown.

EAST ELEVATIONS

DRB-07.a

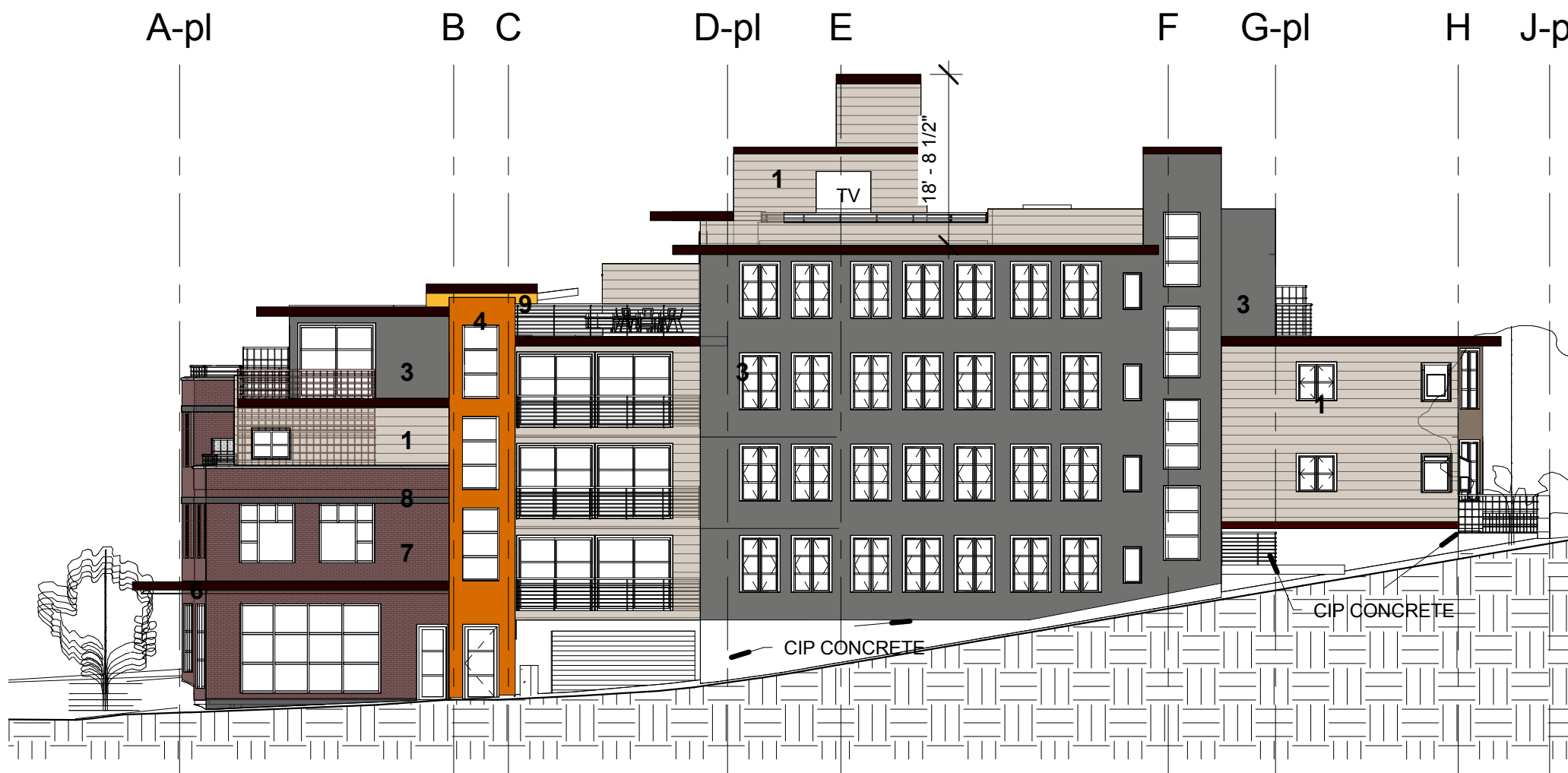
Scale 1/16" = 1'-0" Date
03/06/2016

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400 ROY STREET

APARTMENT COMPLEX



1 EAST ELEVATION - ALLEY / colors
1/16" = 1'-0"

- 1: "BODY" WALL COLOR AT HARDI LAP SIDING AREAS - CEDAR MILL 7" EXPOSURE
- 2: ACCENT WALL COLOR AT BAY POP-OUTS - HARDI-PANEL FLAT PANEL (SMOOTH) CLADDING WITH SAME COLOR REVEALJOINTS
- 3: UPPER FLOOR WALL AND ALLEYWALL COLOR - ON HARDI-PANEL FLAT PANEL CLADDING WITH SAME COLOR REVEAL JOINTS.
- 4: ACCENT COLOR AT "GASKET" WALLS - ON HARDI-PANEL FLAT PANEL CLADDING WITH SAME COLOR REVEAL JOINTS
- 5: VINYL WINDOW COLOR - VPI WINDOWS - SAND COLOR.
- 6: ALUMINUM STOREFRONT WINDOWS AND RAILINGS - FASCIAL METAL TO MATCH
- 7: BRICK MASONRY - COVINGTON IRONWASHED - MUTUAL MATERIALS
- 8: SOLDIER COURSE AT FLOOR LINES IN MASONRY WALL AREAS - CLINKER - MUTUAL MATERIALS
- 9: SOFFIT MATERIALS AT ALL ROOF OVERHANGS - STONEWOOD RESIN PANELS



1 2 3 4 5 6 7 8 9
COLORS AND MATERIALS
no scale

EAST ELEVATION -
COLORS

DRB-07.b

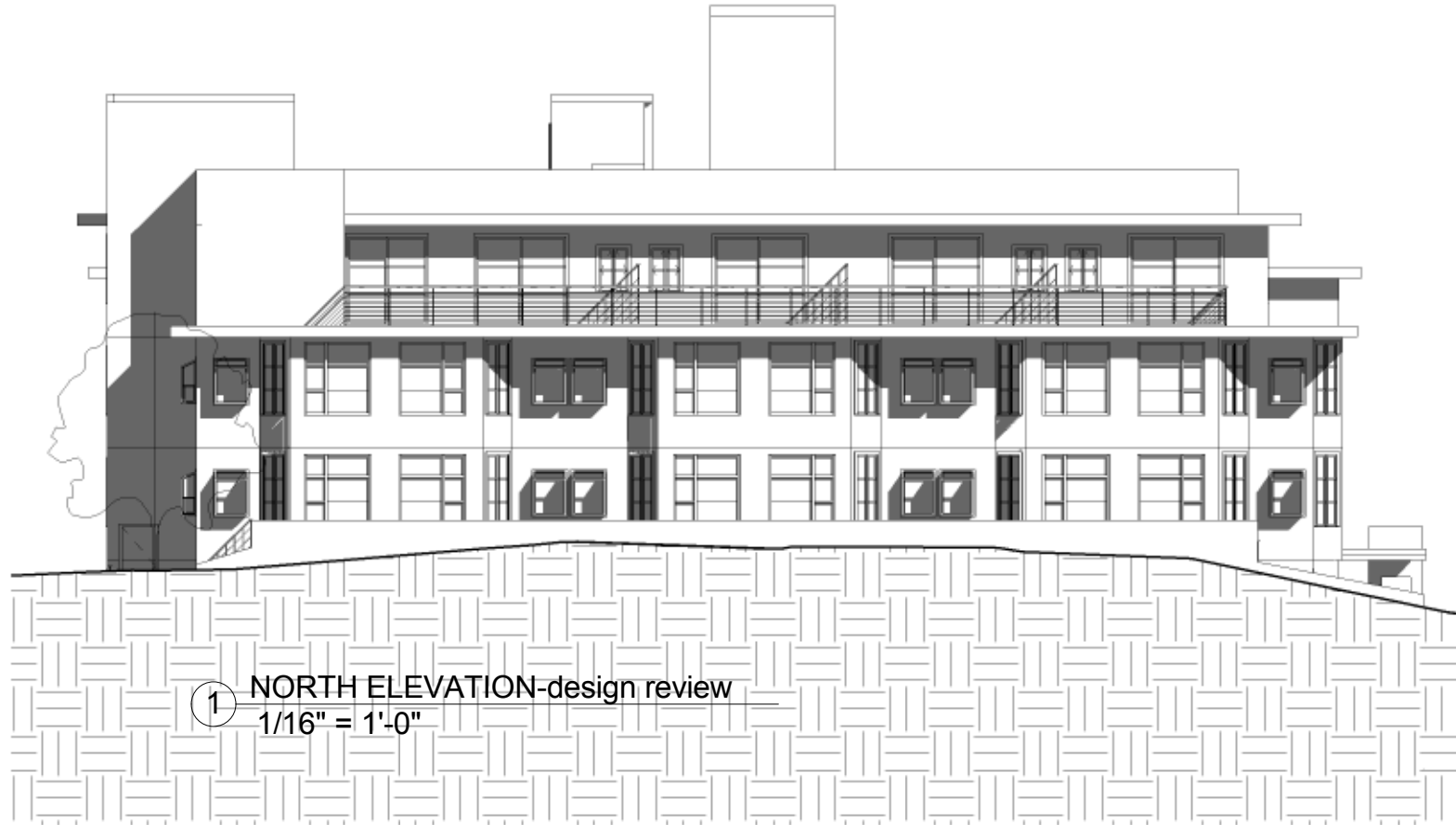
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APARTMENT COMPLEX



NE CORNER VIEW: THE ALLEY

- Dog walk area eliminated from directly outside of back door...and moved to the roof element directly above. Landscaping proposed in this location
- Major tree location at property corner
- Gasket (bicycle entry) and Corner Retail at and toward Roy Street are prominently visible from this walk - line

NORTH ELEVATION

DRB-08.a

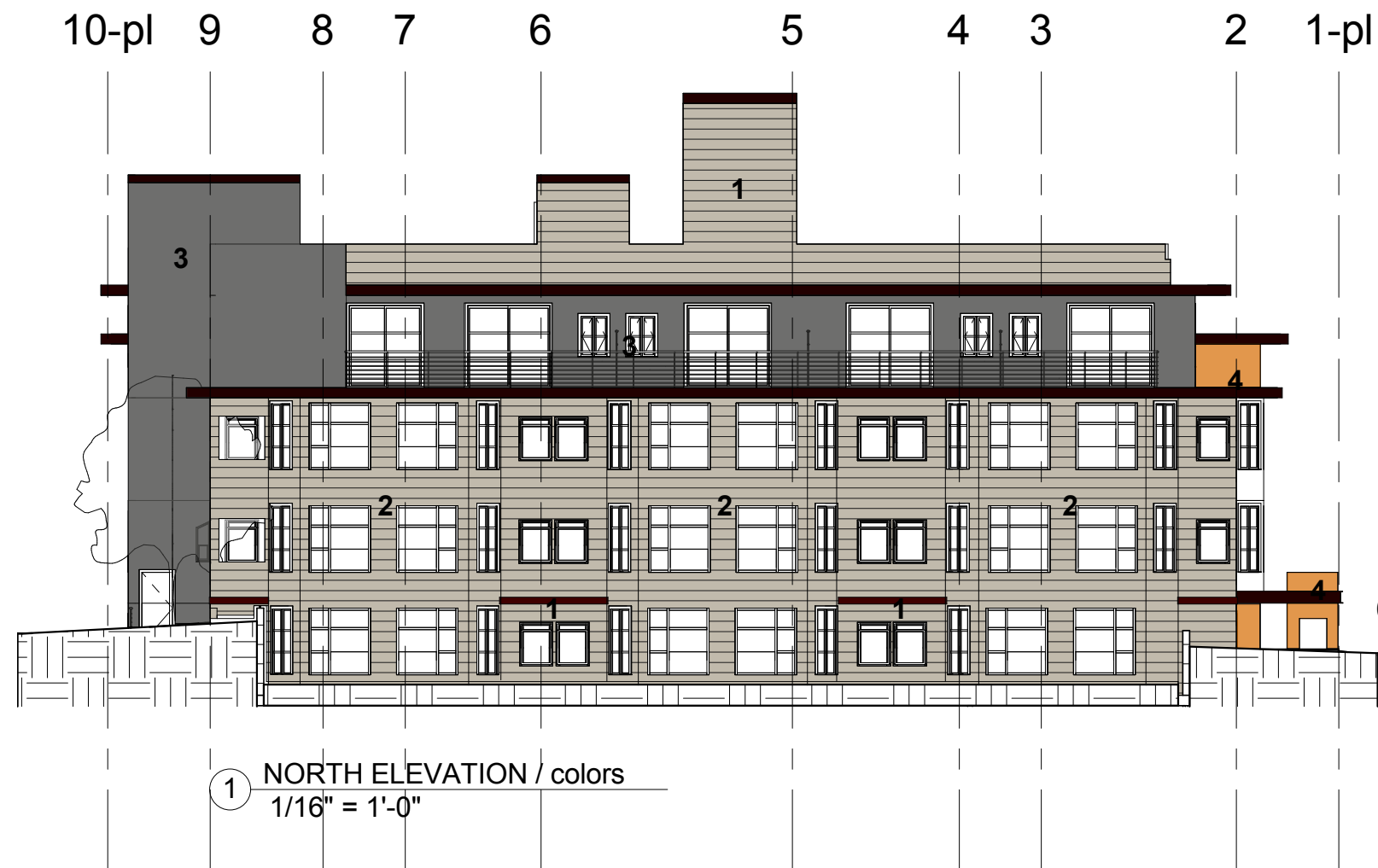
Scale 1/16" = 1'-0" Date
03/06/2016

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400 ROY STREET

APARTMENT COMPLEX



1 NORTH ELEVATION / colors
1/16" = 1'-0"

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1

SW 7038
Tony Taupe
Interior / Exterior
Locator Number: 249-C3

SW 7069
Iron Ore
Interior / Exterior
Locator Number: 251-C7

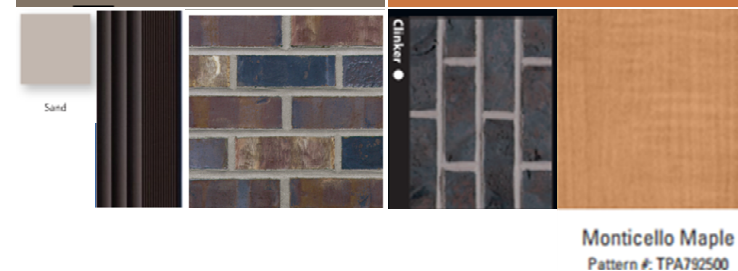
3

2

SW 7514
Foothills
Interior / Exterior
Locator Number: 248-C7

SW 6642
Rhumba Orange
Interior / Exterior
Locator Number: 121-C6

4



5

6

7

8

9

NORTH ELEVATION
- COLORS

DRB-08.b

COLORS AND MATERIALS
no scale

Scale As indicated Date
03/06/2016

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400 ROY STREET

APARTMENT COMPLEX

SOUTH ELEVATION

DRB-09.a

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① SOUTH ELEVATION - design review
1/16" = 1'-0"



SW CORNER VIEW

- Gasket highlighted – proud of surrounding elements, accent color and flat roof section at a differentiating level – and reduced overhangs.
- Bike entry moved to alley end of the development. Base of gasket lands in planting area. Windows added to the ground level of the gasket at this elevation
- Highlighting primary NW corner”
 - Extended awning overhang
 - Recessed retail court available
 - full height brick element differentiating from the other two.
- Typical masonry treatment applied to retail elements and to 4th ave stoop treatment (accent color brick used at stoops)



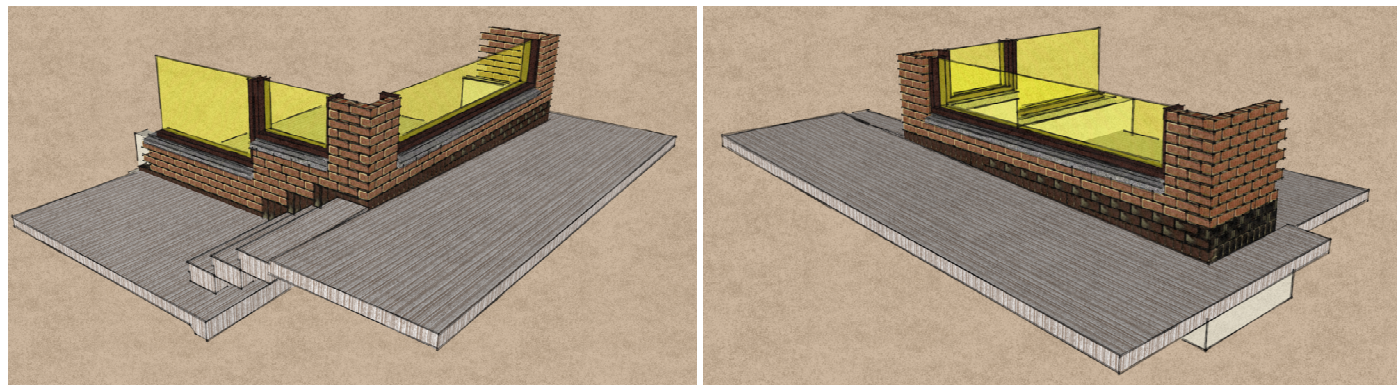
400 ROY STREET

APARTMENT COMPLEX



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1 SOUTH ELEVATION - ROY STREET / colors
1/16" = 1'-0"



BRICK MASONRY AT SIDEWALK - USE ACCENT BRICK AT MIN 1 COURSE DEPTH AND SET A LEVEL DATUM FROM THAT POINT TO POINT OF RETURN AND WILL STEP DOWN STAIRS GENERALLY AS INDICATED - THROUGH WALL FLASHINGS WILL BE PLACED JUST BEHIND MORTAR JOINT WITH WEEPS EVERY 40".

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| | |
|--|---|
| SW 7038 Tony Taupe Interior / Exterior Locator Number: 249-C3 | SW 7069 Iron Ore Interior / Exterior Locator Number: 251-C7 |
| SW 7514 Foothills Interior / Exterior Locator Number: 248-C7 | SW 6642 Rhumba Orange Interior / Exterior Locator Number: 121-C6 |
| Sand | Monticello Maple Pattern #: TPA792500 |

COLORS AND MATERIALS
no scale

SOUTH ELEVATION
- COLORS

DRB-09.b

Scale As indicated Date
03/06/2016

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400 ROY STREET

APARTMENT COMPLEX



① WEST ELEVATION - design review
1/16" = 1'-0"



NW CORNER VIEW – DOWN 4TH

- Residential entry highlighted –
 - lead up from upper corner of site is simple series of benches flanking the main floor exit and prominent to the south of the main entry stairs.
 - (configured to discourage sleeping) and a sidewalk path angling to the entry...(see site plan and landscape plans)
- Central massing of assertive overhangs above and
- Clear awning element providing recognition and cover at point of entry
- View into garden unit courtyards afforded from this vantage point

WEST ELEVATION

DRB-10.a

Scale 1/16" = 1'-0" Date
03/06/2016

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400 ROY STREET

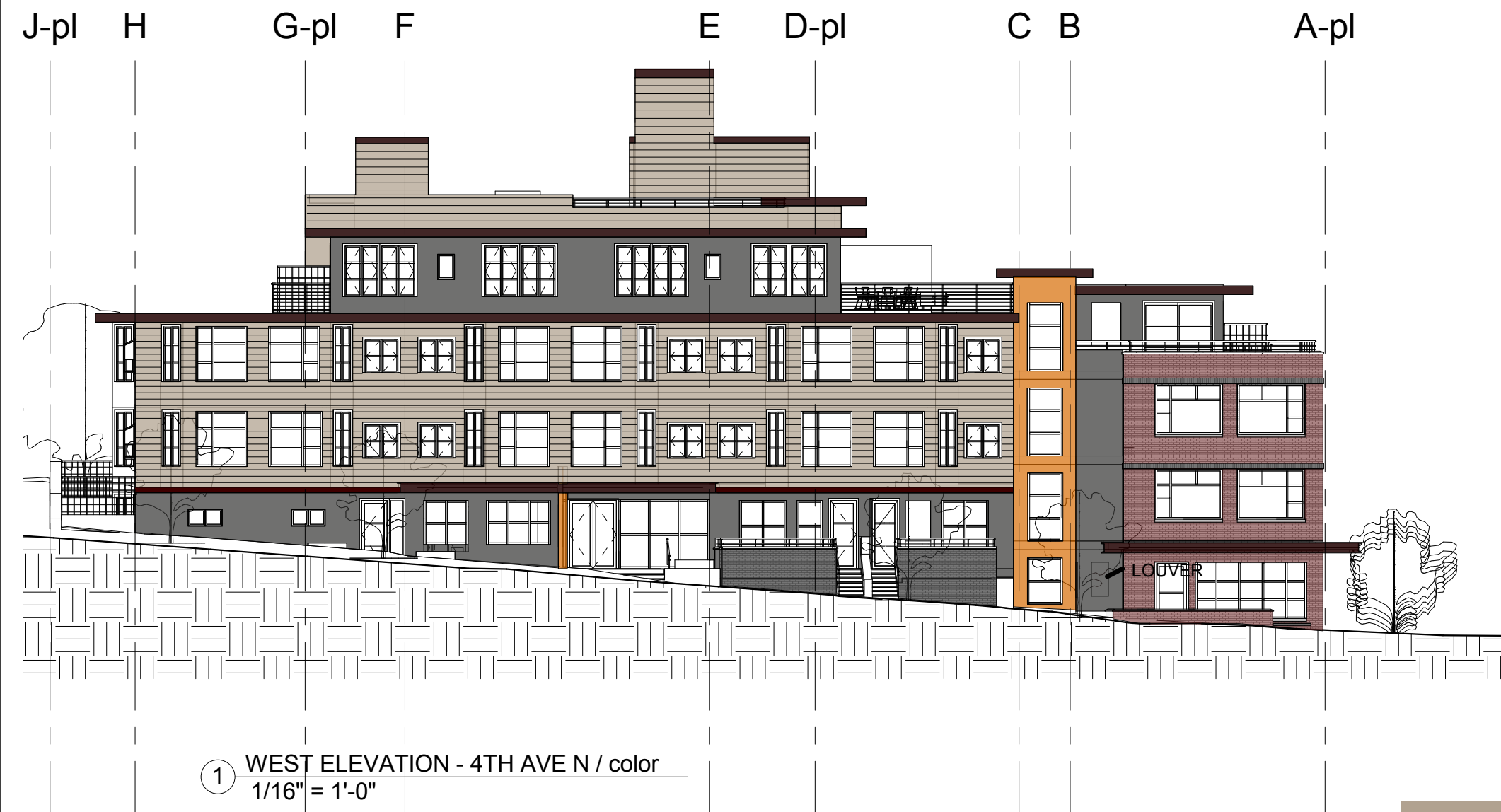
APARTMENT COMPLEX

WEST ELEVATION -
COLORS

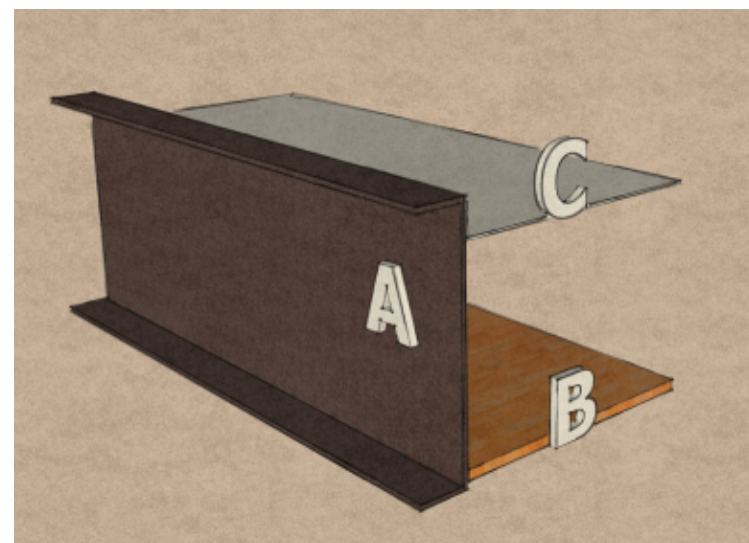
DRB-10.b

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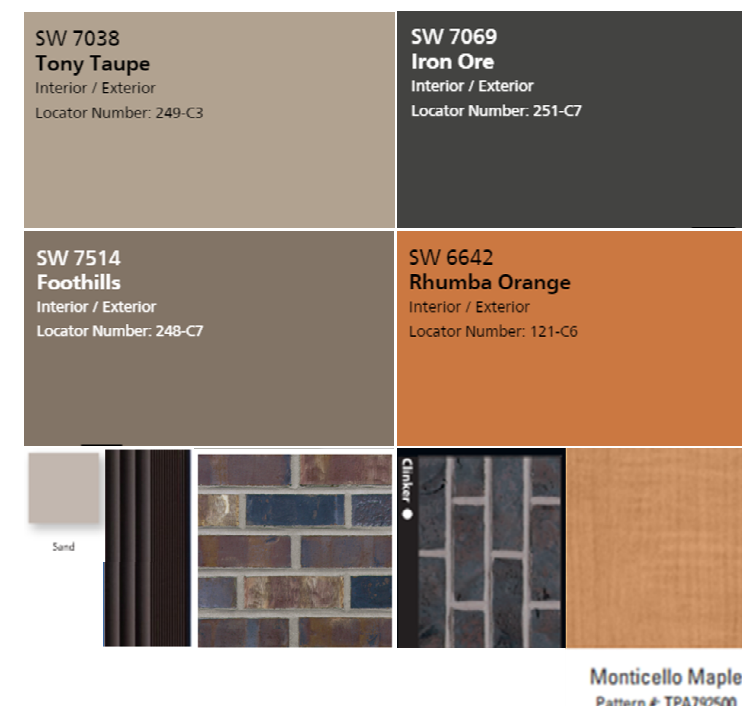
- A: 15" X 3" BENT STEEL PLATE CANOPY
EDGE - PAINTED
- B: FINISH SOFFIT OF MATERIAL "9" -
MONTICELLO MAPLE - STONEWOOD
- C: ROOFING MEMBRANE

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COLORS AND MATERIALS

no scale

1 WEST ELEVATION - 4TH AVE N / color
1/16" = 1'-0"

2 canopy edge
1/16" = 1'-0"



SW CORNER VIEW

03/06/2016 34



WEST VIEW FROM ACROSS 4TH AVE N.

03/06/2016

35



WEST ELEVATION VIEW ACROSS 4TH AVE N.





400 ROY STREET

APARTMENT COMPLEX



L1 RECESSED CAN LIGHT - FLOOD

L2 RECESSED CAN LIGHT - FLOOD - MOUNT AT CANOPY STRUCTURE

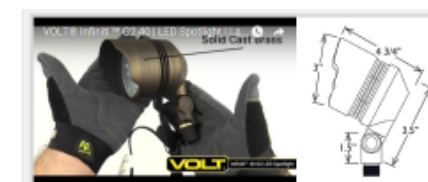
L3 WALL MOUNTED EXTERIOR WALL LIGHT OVER EXTERIOR DOOR



L4 WALL MOUNTED LIGHT OVER OUTDOOR KITCHENS AT ROOF



L5 LANDSCAPE UPLIGHT AT ROOF TOP PLANTERS / AND AT RECESSED COURTYARD



exit WALL MOUNTED EXIT SIGN

LIGHT "POOL" CAST ON SFC BELOW BEYOND ROOF OR CANOPY LINE

EXTERIOR LIGHTING
1/4" = 1'-0"

1 LIGHTING EXHIBIT
1/16" = 1'-0"

400 ROY STREET

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EXTERIOR LIGHTING - 4TH AVE N

DRB-12

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APARTMENT COMPLEX



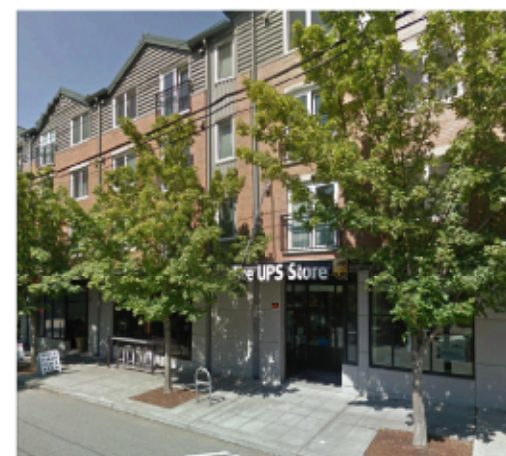
② WEST-signage
1/16" = 1'-0"



③ EAST - signage
1/16" = 1'-0"



① SOUTH - signage
1/16" = 1'-0"



EXAMPLES OF MARQUEE MOUNTED SIGNAGE
THROUGHOUT THE NEIGHBORHOOD

EXTERIOR
SIGNAGE

DRB-13

Scale 1/16" = 1'-0" Date

03/06/2016

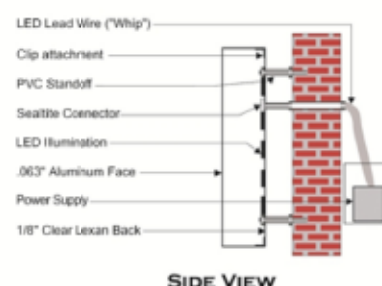
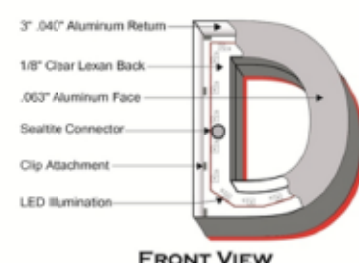
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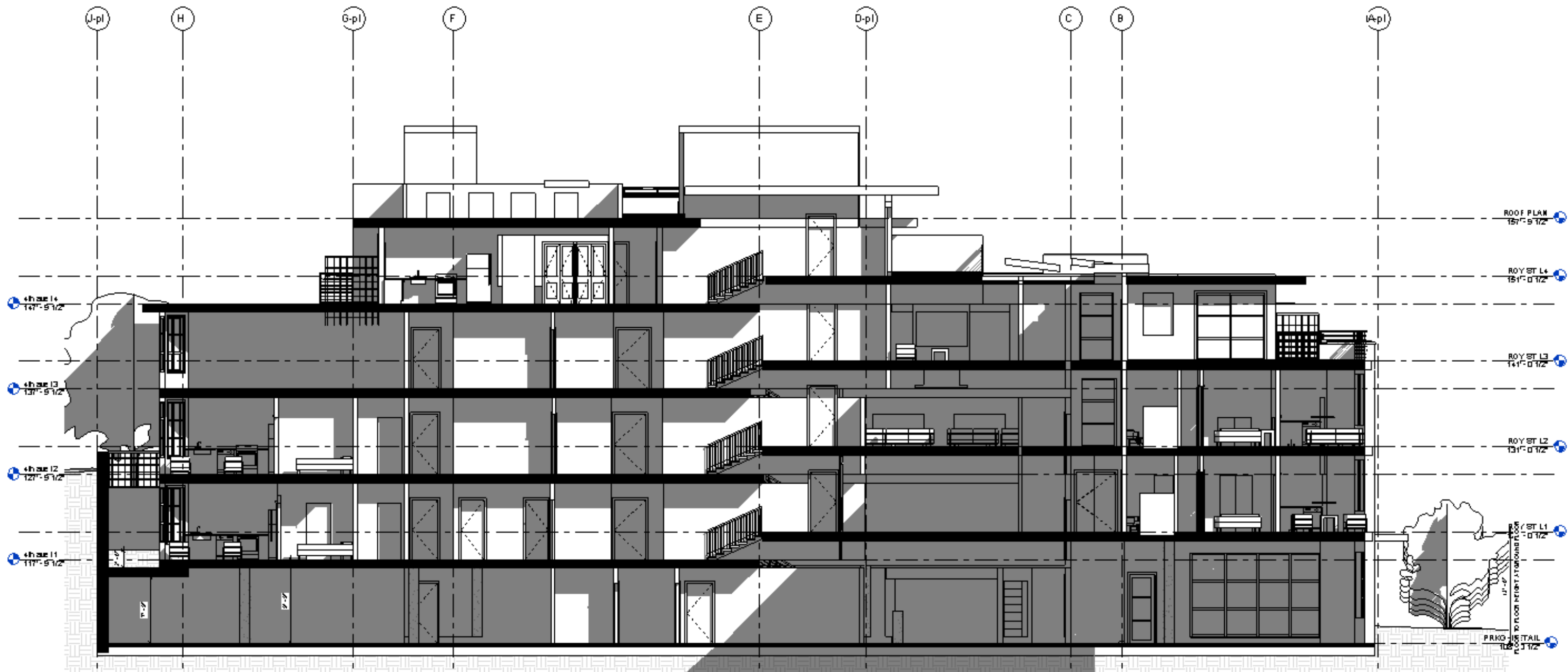
Primary signage will be marquee mounted - reverse lit channel letters mounted at the face of the awning channel (12" letter height) or suite numbers mounted on the brick over their respective entry doors. Variations above or below the top/bottom flanges will be considered on a case by case basis

Logo signage may be placed adjacent to the entry doors and may be lit or not consistent with the retailer's standards.

Window signage will be black letters - applied to the door glass - sized according to the message

Reverse Lit Channel Letters



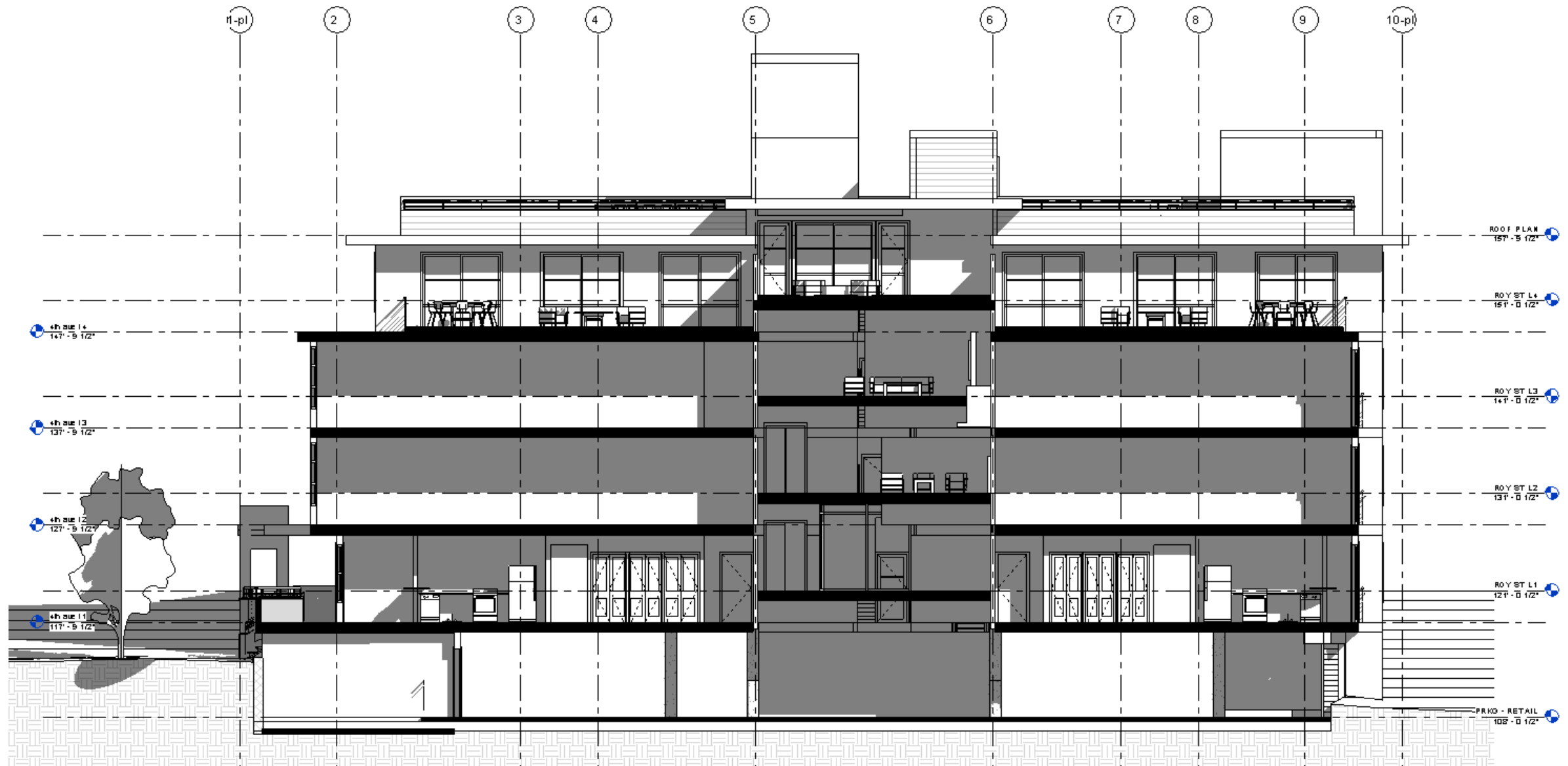


DESIGN REVIEW: RECOMMENDATION PROPOSAL / 400 ROY STREET APARTMENTS

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BUILDING SECTIONS

03/06/2016



DESIGN REVIEW: RECOMMENDATION PROPOSAL / 400 ROY STREET APARTMENTS

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BUILDING SECTIONS

03/06/2016

PERTINENT CITY WIDE / UPTOWN DESIGN GUIDELINES.

KEY ADVANTAGES IN GRANTING THE DEPARTURE REQUEST IN THE CONTEXT OF CITY WIDE/ UPTOWN DESIGN GUIDELINES.

DEPARTURE REQUEST RATIONALE

The proposed departure relates directly to the residential massing of the project along 4th avenue. It offers several advantages relating directly to the relevant design guidelines.

CS3
Architectural Context and Character

Citywide Guideline:

Contribute to the architectural character of the neighborhood.

Uptown Supplemental Guidance

I. Architectural Context

The Uptown Park character area emphasizes the notion of historic continuity—the relationship of built structures over time. This encourages the emergence of new urban forms while maintaining the key elements of historicity buildings.

DC2
Architectural Concept

Citywide Guideline:

Develop an architectural concept that will result in a unified and functional design that fits well on the site and within its surroundings.

Uptown Supplemental Guidance

I. Architectural Context

The Uptown Park and Heart of Uptown character districts prefer an architecture that emphasizes human scale and quality, detailing and materials, and that remains compatible with the existing community. Generally, the following architectural features are encouraged during the design review process:

- a. Increased architectural detailing;
- b. Individualized elements;
- c. Substantial window detailing and recessed windows;
- d. Variations in window and additional window detailing, horizontal part lines with built-up cornice; and
- e. References to historic architectural styles found in the area including art deco, and the unique styling of Seattle Fairview Seattle.

- "Character...emphasizes...historic continuity...the relationship of built structures over time..."
- Creating a distinctly residential expression facing along 4th avenue is clear EDG guidance. The combination of the robust overhang of the low sloped roofs and the series of 3 large bays repeated on both the West and North faces of the residential building mass are strongly grounded in the historic residential character of the area.
- This form is as functional as it is beautiful, enhancing the interior utility of the units and providing added natural light and cross ventilation; its use in the neighborhood grounds the design in the historical context of the residential elements throughout the neighborhood.
- The clean corner joining the west and north faces of the residential building element that this departure allows is one of the key benefits to approval, where the architectural treatment as referenced above is presented clearly and with a quiet dignity to the surrounding neighborhood.
- Develop an architectural concept that fits well on the site and within its surroundings.

L3 LOT IS THE NORTHERN MOST 30' ALONG 4TH AVE N – FROM GRID GPL TO JPL

PERTINENT CITY WIDE / UPTOWN DESIGN GUIDELINES.

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DEPARTURE REQUEST RATIONALE

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CS2
Urban Pattern and Form

Citywide Guideline:

Strengthen the most desirable forms, characteristics, and patterns of the streets, block faces, and open spaces in the surrounding area.

Uptown Supplemental Guidance

I. Responding to Site Characteristics

Throughout Uptown new developments should, to the extent possible, be sited to further contribute to the neighborhood's pedestrian character.

In the Uptown Urban and Heart of Uptown character areas encourage outdoor dining areas utilizing sidewalks and areas adjacent to sidewalks. Outdoor dining is especially encouraged for sites on block faces with southern exposure.

PL2
Walkability

Citywide Guideline:

Create a safe and comfortable walking environment that is easy to navigate and well-connected to existing pedestrian walkways and features.

Uptown Supplemental Guidance

I. Entrances Visible from the Street

Throughout Uptown, major entrances to developments should be prominent. The use of distinctive design with historical references is strongly encouraged. Design, detailing, materials and landscaping may all be employed to this end. Building addresses and names (if applicable) should be located at entrances, beautifully crafted.

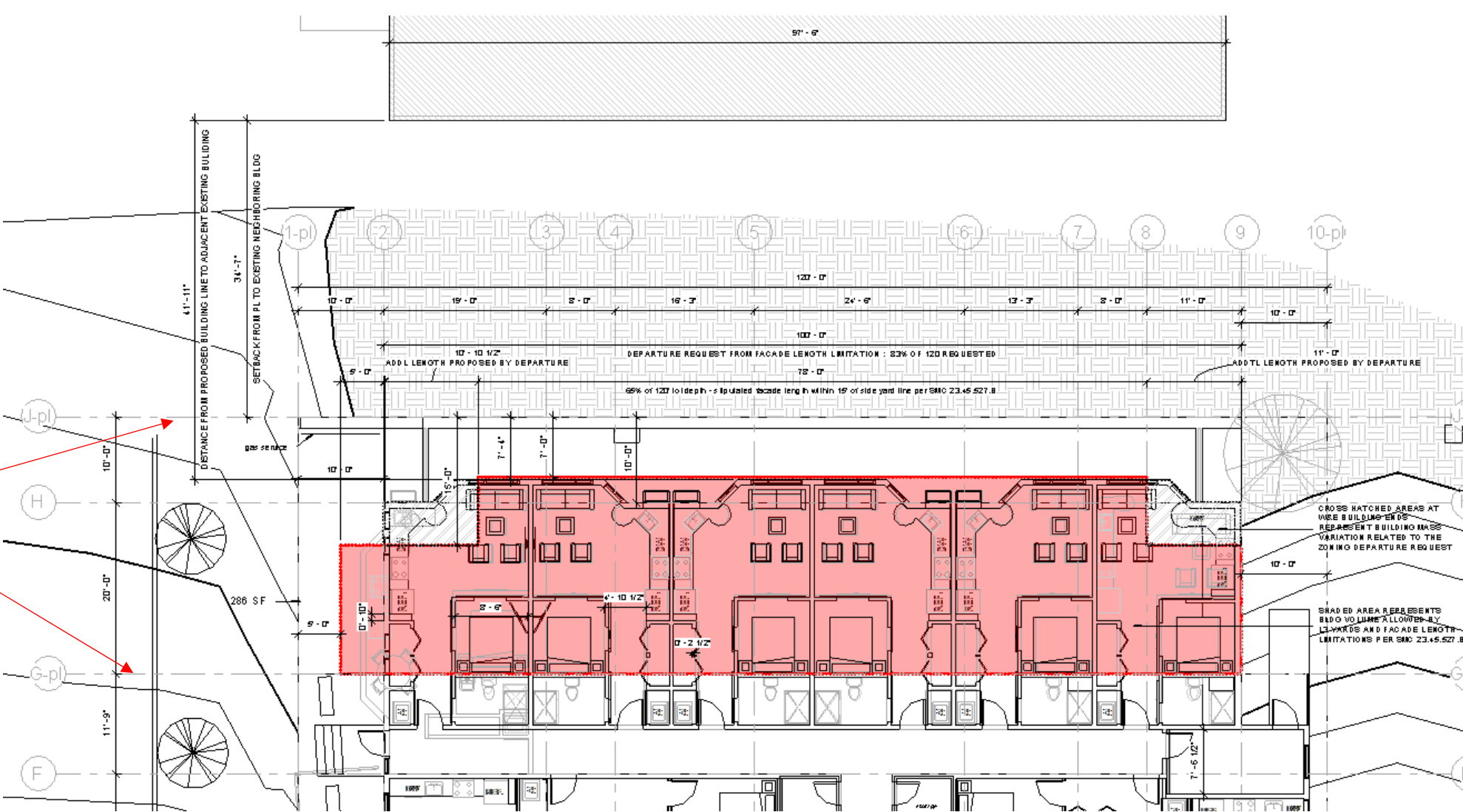
Streets throughout Uptown should be sociable places that offer a sense of security, and residential building projects should make a positive contribution to life on the street.

II. Pedestrian Open Spaces and Entrances

Throughout Uptown entries should be designed to be pedestrian friendly (site position, scale, architectural detailing, and materials) and should be clearly discernable to the pedestrian.

- "Strengthen the most desirable forms..."
- "New development should...be sited to further contribute to the neighborhood pedestrian character."
- "Major entrances...should be prominent."
- "Entries should be designed to be pedestrian friendly via position, scale...clearly discernable to the pedestrian."

- The building is sited to maintain a consistent 10' setback from the property line along the entire 4th avenue exposure offering:
 - o A landscaped area with pedestrian path and bench seating parallel to the city sidewalk leading to:
 - o The prominent main residential entrance at center mass of the residential section of the building.
 - o Private residential stoops and
 - o a corner retail court at 4th and Roy
- This setback and associated elements reinforce the contextual view of the SPACE NEEDLE, one of Seattle's iconic landmarks. The Space needle is prominently framed along the 4th ave sidewalk adding to the special character of the neighborhood and
- The clean line of the west building face, generous setback from the ROW and the residential entry centered on the 4th avenue building mass present a prominent and welcoming residential entrance via clarity, position and scale.



CODE CITATION: 23.45.527.B.

Maximum façade length in Lowrise zones.

1. The maximum combined length of all portions of façades within 15 feet of a lot line that is neither a rear lot line nor a street or alley lot line shall not exceed 65 percent of the length of that lot line, except as specified in subsection 23.45.527.B. 2.

CODE REQUIREMENT: 65% of 120' lot width or 78'-0" is the maximum allowable facade length within 15' of the property line within the L3 zone.

CODE DEPARTURE: Allow 100' of facade length within 15' of the property line - refer to plan for graphic representation of request compared to the code requirement.

Granting the departure request allows us to retain the current generous setback in a consistent plane across the entire west face of the building broken only for the gasket expression. The simplicity and clarity of massing of the residential element is the major contributor to its successful presentation to the neighborhood. Clearly the rationale is to assure that neighboring buildings separated by 14'-30' do not create long narrow spaces between buildings relative to their property depth. Our nearest building is 42' from our furthest proposed projection and measures 97'... 3' less than our proposed length. Refer to Design Guideline specific rationale below