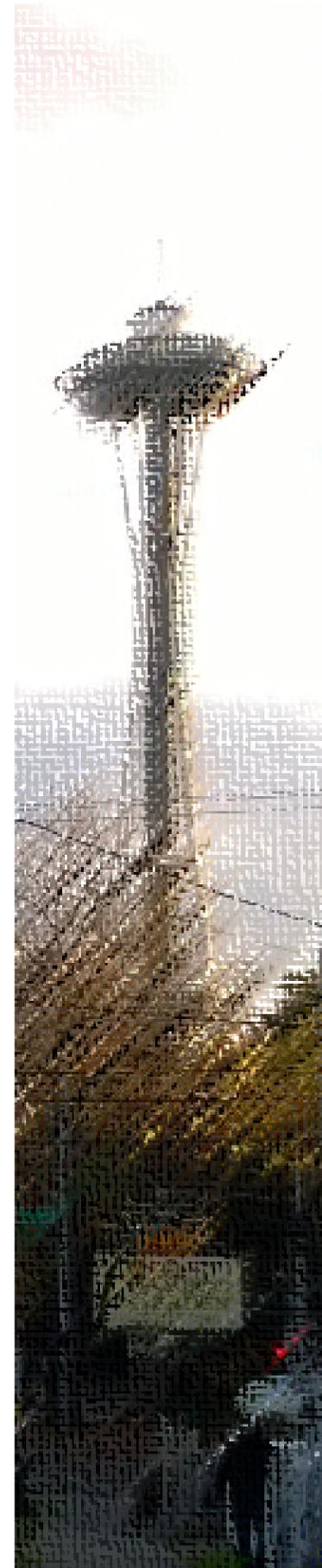
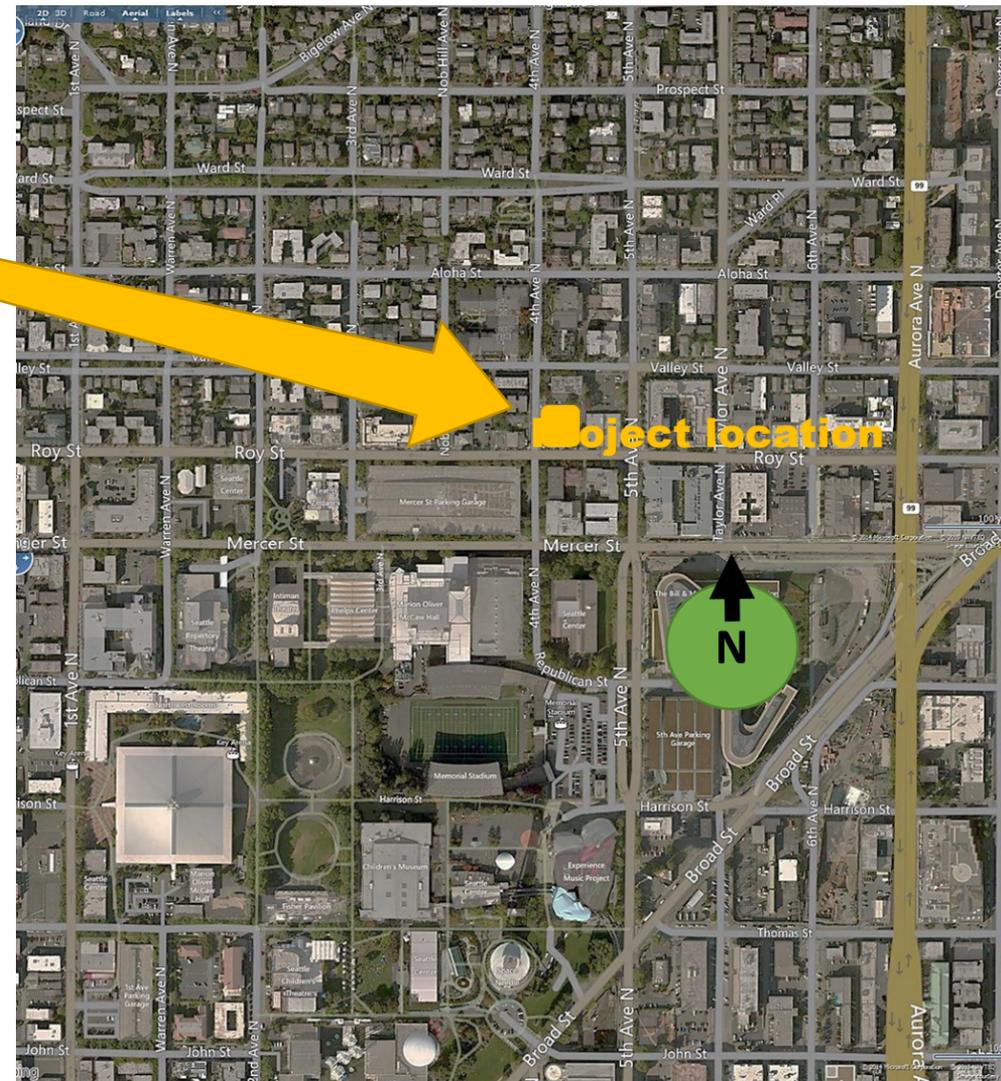
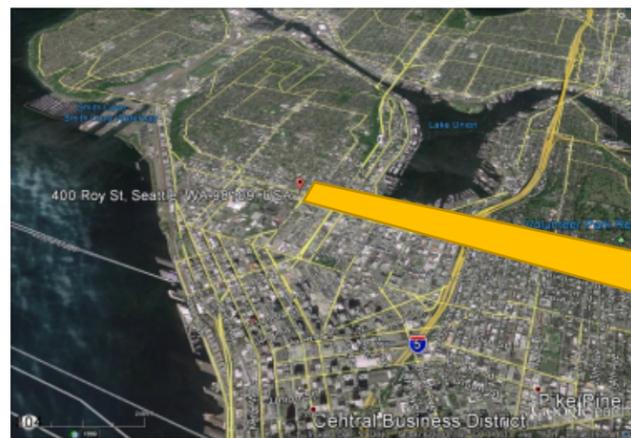


- PROJECT NAME: 400 ROY APARTMENTS
- ADDRESS: 400 ROY STREET, SEATTLE, WA
- DPD PROJECT #: 3018206 MUP / 6442844 BUILDNG PERMIT #
  
- # OF UNITS: 64 APARTMENT UNITS / BUILT GREEN 4 STAR
- # OF STORIES: 3.5 STORIES OF RESIDENTIAL OVER 1 STORY RETAIL / PARKING BELOW BUILDING
- PARKING / RETAIL FACING ROY STREET
  
- RETAIL AREA ALONG ROY ST: 3,436.5GSF
- RESIDENTIAL GSF: 49,239 GSF
- PARKING - CARS: 30 CARS PARKING BELOW BUILDING
- PARKING - BICYCLES: 32 BICYCLES STORAGE AT GARAGE



PROJECT INFORMATION -



**DESIGN REVIEW: RECOMMENDATION PROPOSAL**  
**400 ROY STREET APARTMENTS**

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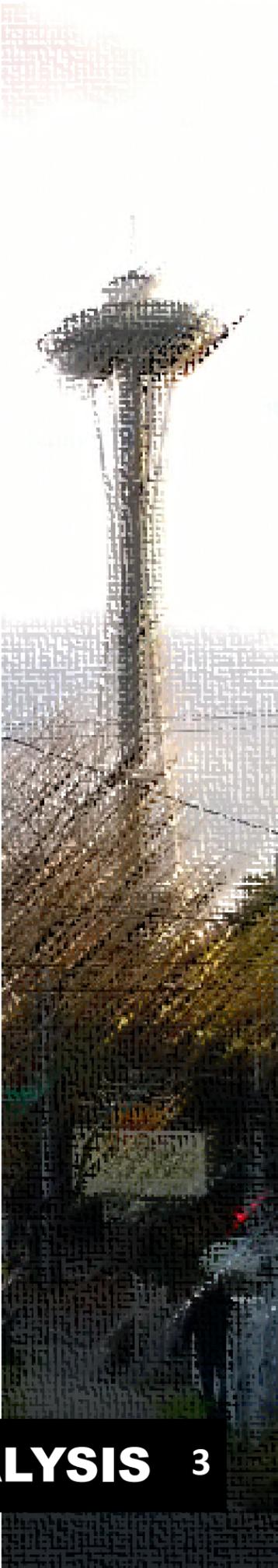


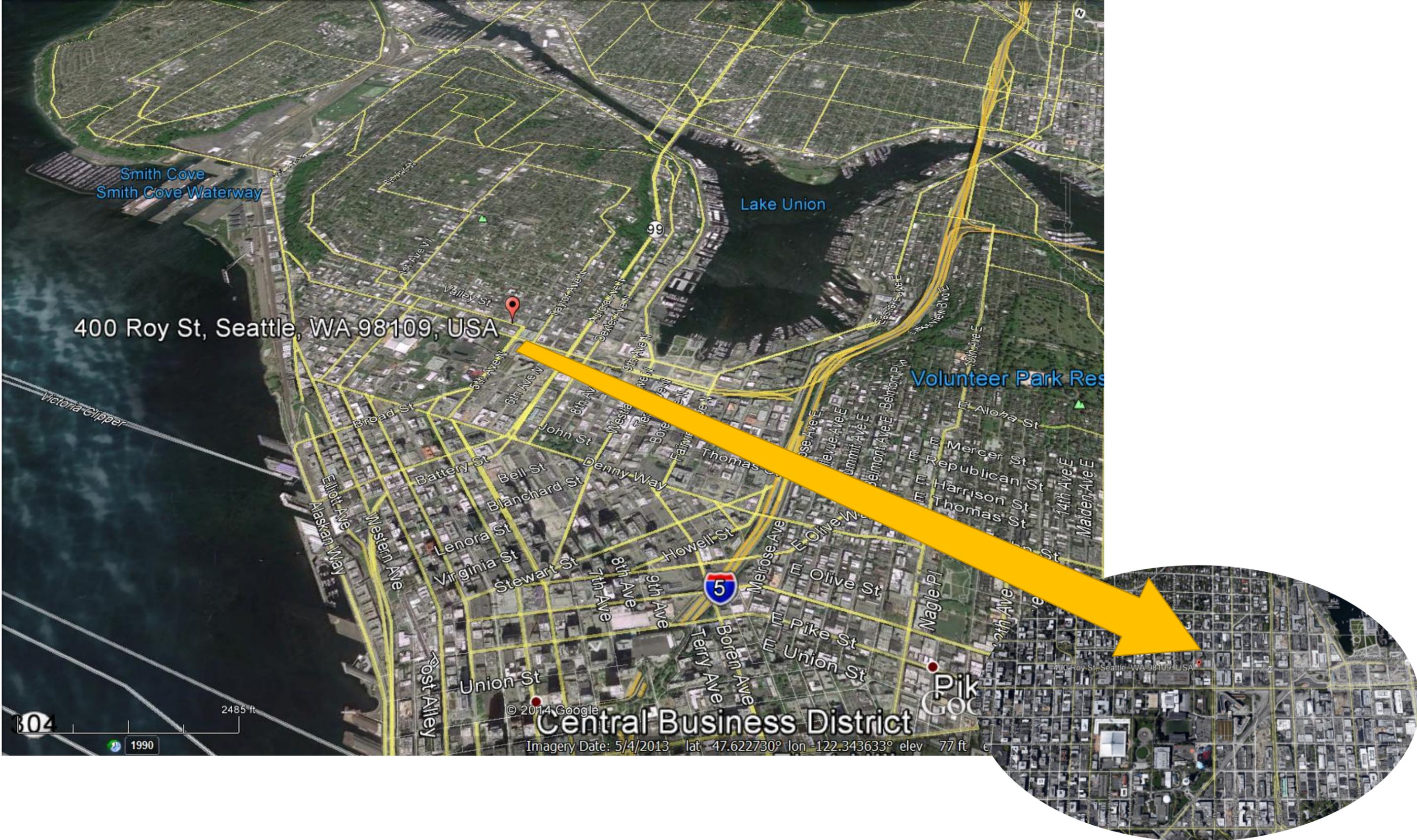


**DESIGN REVIEW: RECOMMENDATION PROPOSAL  
400 ROY STREET APARTMENTS**

GRACE ARCHITECTS PLLC – 7310 15<sup>TH</sup> AVE NW – SEATTLE, WA – 98117 – rwallen@gracearchitectspllc.com

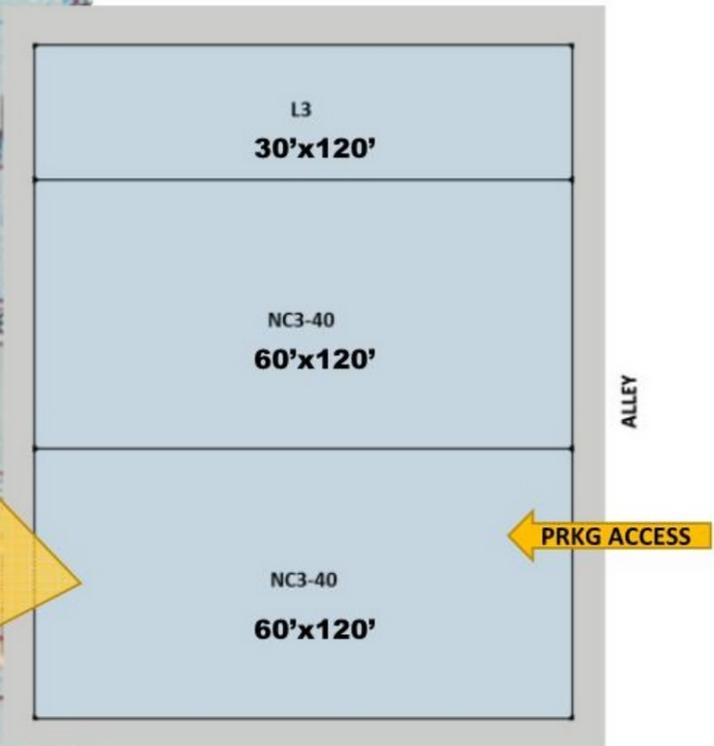
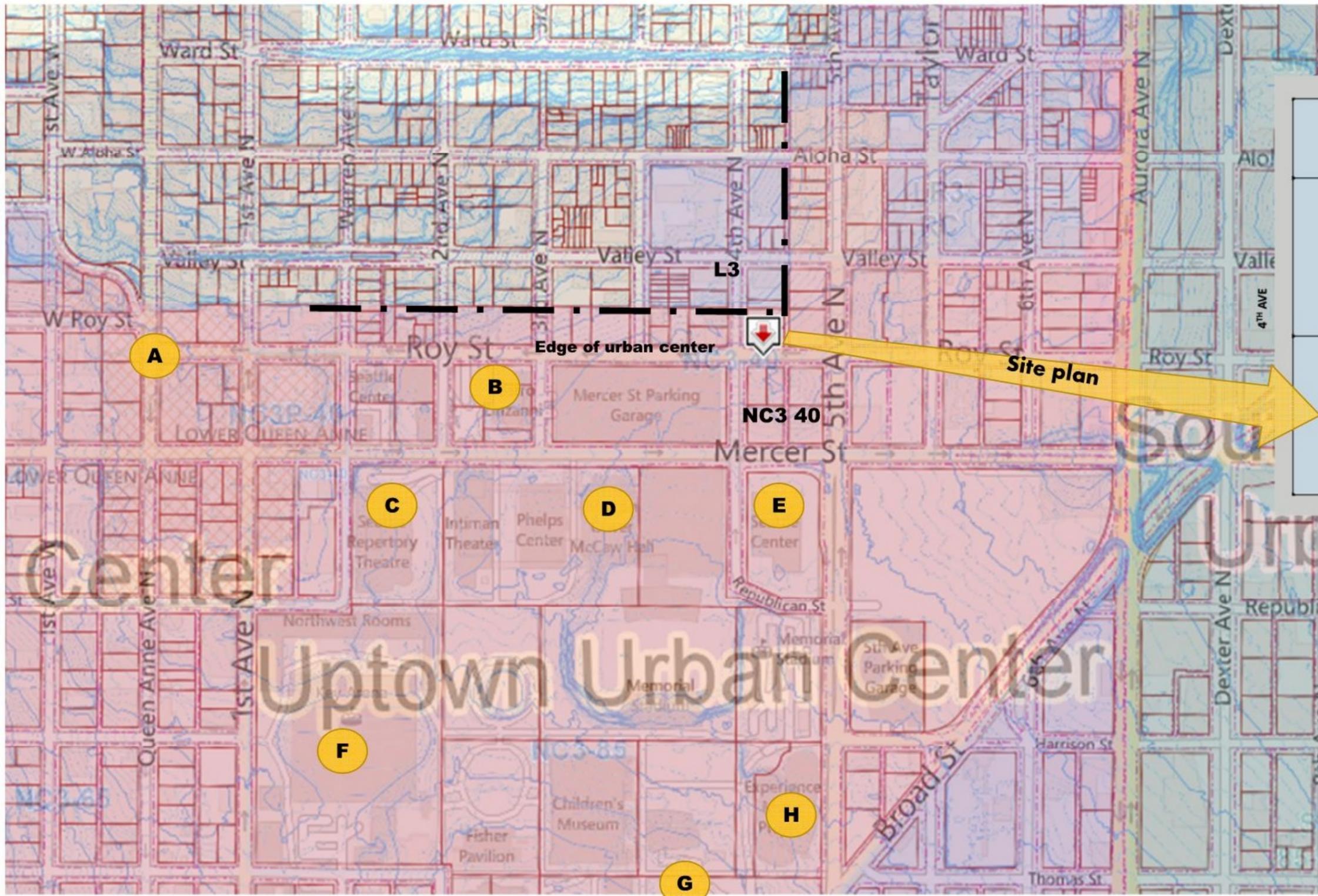
AERIAL VIEW –  
VICINITY MAP –  
SURROUNDING USES, STRUCTURES, ZONING -  
EXISTING SITE CONDITIONS -  
AXONOMETRIC VIEWS -  
ZONING STANDARDS –  
EDG – MAJOR POINTS -





**DESIGN REVIEW: RECOMMENDATION PROPOSAL / 400 ROY STREET APARTMENTS**

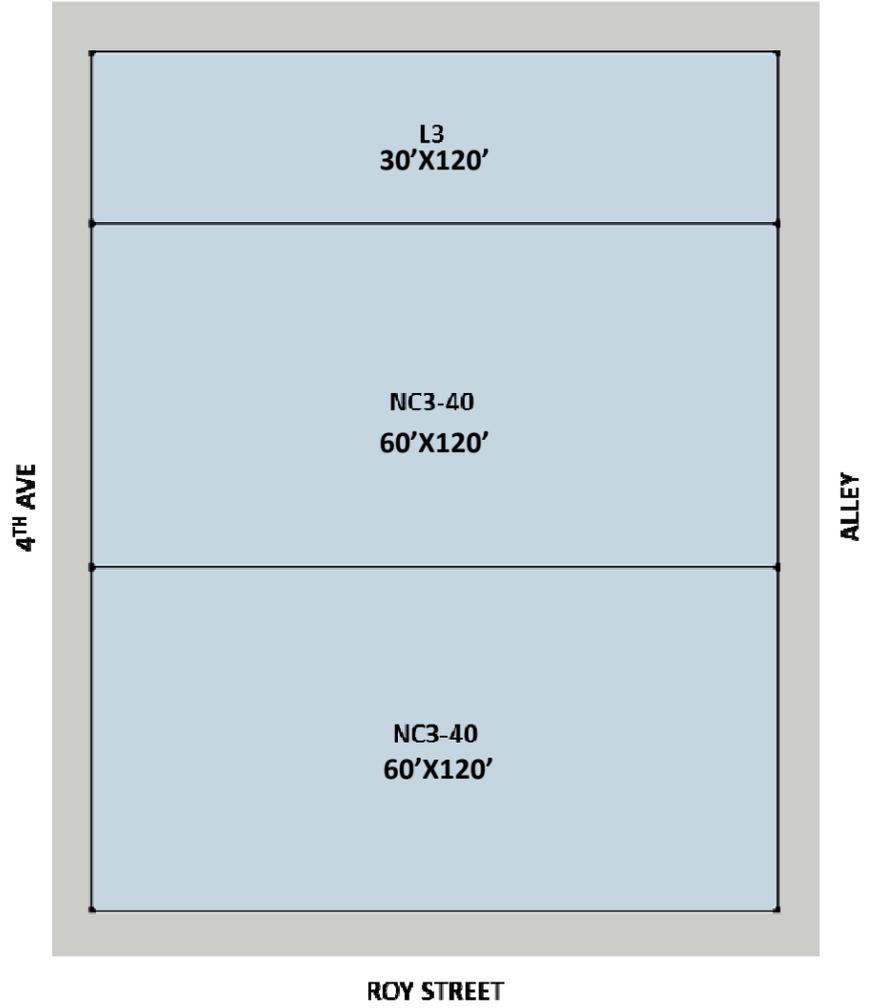
**ARIEL VIEW**



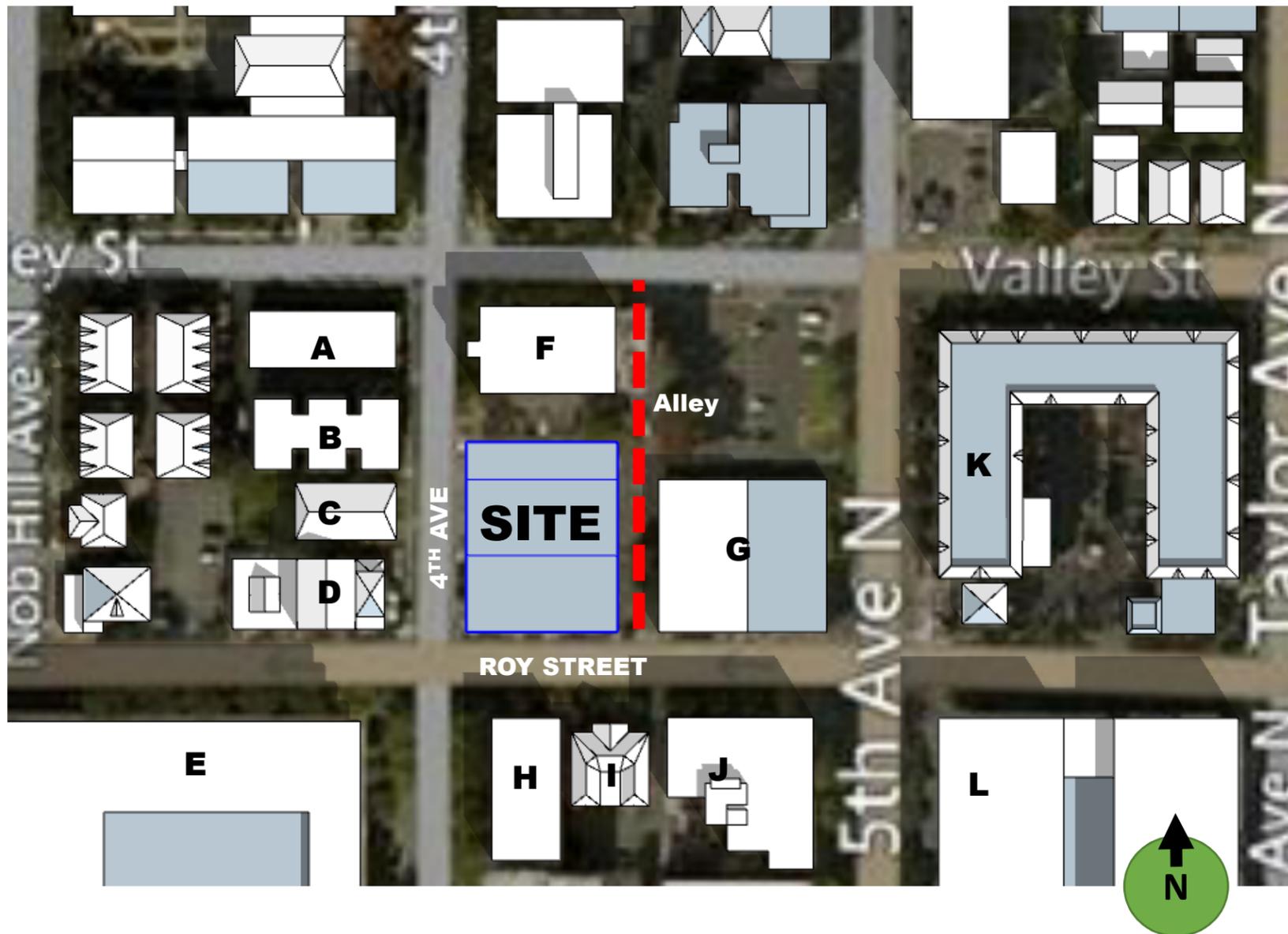
ROY STREET  
**SITE PLAN**

INVENTORY OF COMMUNITY NODES	
<b>A</b>	INTERSECTION OF ROY AND QUEEN ANNE AVE
<b>B</b>	TEATRO ZINZANI
<b>C</b>	THE REP
<b>D</b>	OPERA HOUSE
<b>E</b>	KCTS STUDIOS
<b>F</b>	KEY ARENA
<b>G</b>	SPACE NEEDLE
<b>H</b>	EMP





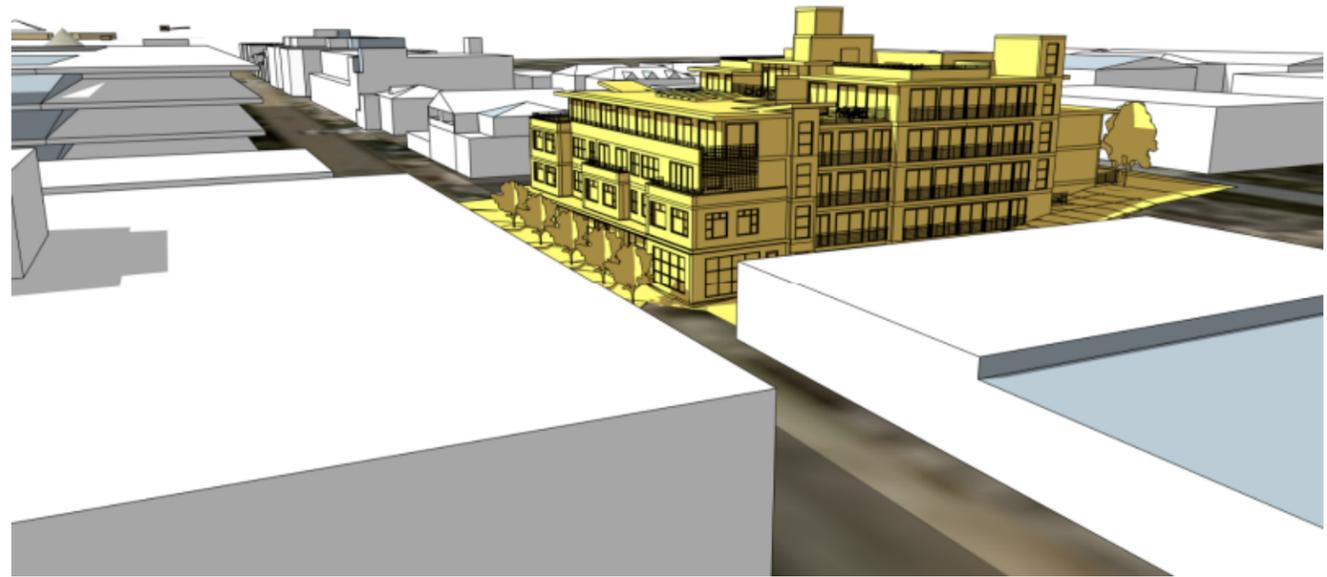
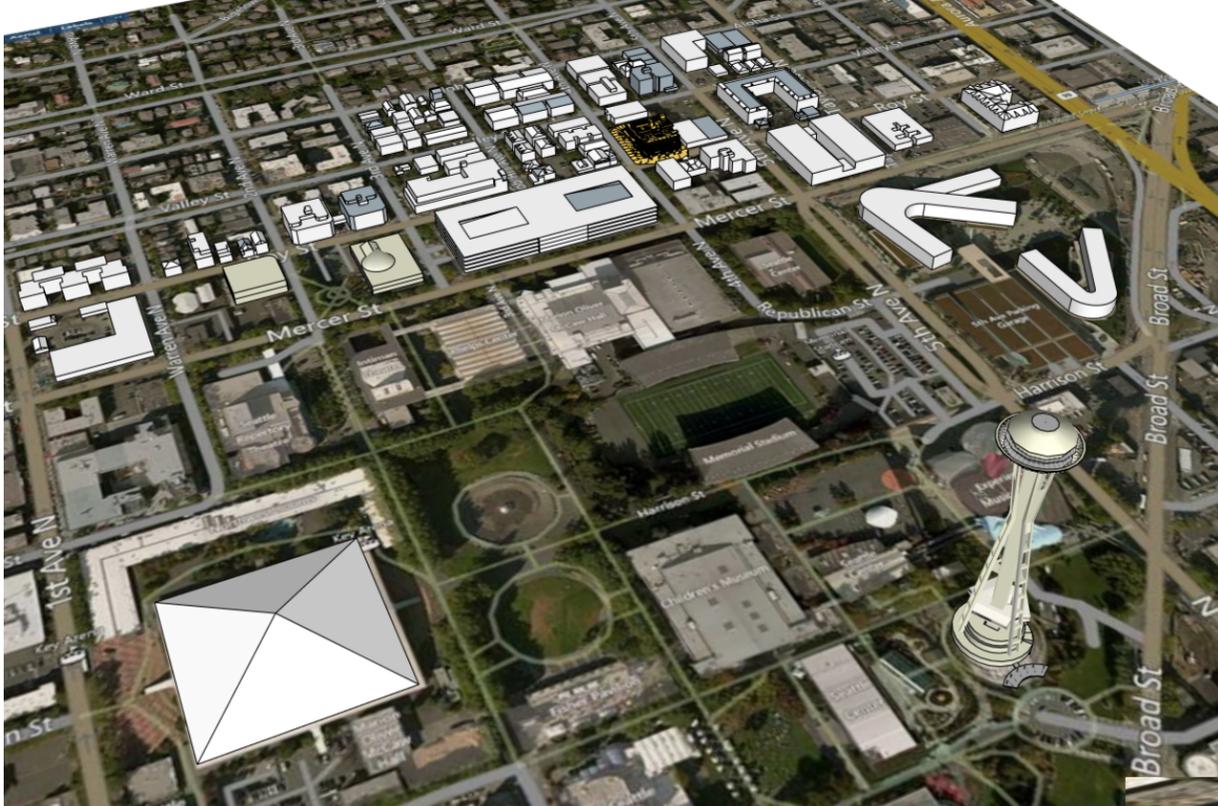
**SITE PLAN**



**INVENTORY OF NEIGHBORING PROPOERTIES**

<b>A</b>	MULTI-FAMILY	2	STORIES
<b>B</b>	MULTI-FAMILY	4	STORIES
<b>C</b>	MULTI-FAMILY	3	STORIES
<b>D</b>	RESTAURANT	2	STORIES
<b>E</b>	PARKING GARAGE	3	STORIES
<b>F</b>	MULTI-FAMILY	4	STORIES
<b>G</b>	COMMERCIAL	1	STORY
<b>H</b>	MULTI-FAMILY	4	STORIES
<b>I</b>	RESTAURANT	3	STORIES
<b>J</b>	MULTI-FAMILY	4	STORIES
<b>K</b>	HOTEL	4	STORIES
<b>L</b>	MULTI-FAMILY	4	STORIES





**DESIGN REVIEW: RECOMMENDATION PROPOSAL / 400 ROY STREET APARTMENTS**

**AXONIMETRIC VIEWS**

**SEATTLE LAND USE CODE: - relevant sections – LR3**

- **23.45.510 – Multi-family FAR**
  - Per table 23.45.510 LR3 within urban center FAR or 1.5 or 2 where project complies with Built-Green 4 star. (23.45.510.c)

*FAR for the building element within the LR3 lot is less than the allowable – refer to tabulations on following pages*

- **23.45.512 – Multi –family density**
  - Per table 23.45.512 unlimited density is allowed when project in LR3 complies with Built Green 4 star.

*We are planning a built-green 4 star project qualifying for the higher FAR and unlimited density for the LR3 lot.*

- **23.45.514 Structure height (L3)**
  - F: L3, 30’ ht. limit may be increased by 4’.
- 23.45.518 H. Projections permitted in required setbacks and separations
  - 1.Cornices, eaves, gutters, roofs and other forms of weather protection may project into required setbacks and separations a maximum of 4 feet if they are no closer than 3

*All project elements are within the allowable height limits*

- **23.45.522 – Amenity area for L3 –**
  - A.1&2: 25% of lot area – with a minimum of 50% of the amenity area or 450 sf at ground level and within the L3 lot boundaries.
  - The area is made up of two segments at the West and East ends of the L3 Lot.

*All amenity areas identified are within the dimensional and area parameters stated for both zones.*

- **23.45.527.B –DEPARTURE REQUEST: Façade length limited to 65% of lot depth along side-yard within 15’ of the property line. Refer to page 42 – DEPARTURE REQUEST.**

**SEATTLE LAND USE CODE: - relevant sections – NC3 - 40**

- **23.47A.005 Street Level uses**
  - D.1.a...Along designated pedestrian streets...80% of the street level façade shall be one of the following uses: General sales and services, retail sales, etc. etc.

*Retail sales and service is the planned occupancy along Roy Street – the façade along this exposure is comprised of 91% retail sales and services.*

- **23.47A.008 Street Level development standards**
  - B.2.a: Transparency: Sixty percent of the street-facing facade between 2 feet and 8 feet above the sidewalk shall be transparent.
  - B.3.a: height and depth of non-residential uses: average depth of 30’ with a minimum depth of 15’ from the street facing façade. / Minimum floor to floor height of 13’.

*Transparency requirements are met along Roy street and the floor to floor heights and average depths for retail are met.*

- **23.47A.012 Structure height (NC3-40)**
  - A: NC3-40 = 40’ height limit
    - 1.a: allows additional 4’ of height if street level retail is at 13’ floor to floor and
    - The additional height does not allow an additional floor that would not otherwise be feasible.
  - C: Roof top Features
    - 2: open railings, planters, parapets may exceed the allowable height...by up to 4’.
  - Height measurement methodology for the building is per SMC 23.86.006.A.2 allowing the overall site to be divided into separate increments to better fit a sloping site. We elected to divide the site along the individual lot lines, with all widths of individual sections set at 60’, 60’ and 30’, with the latter corresponding to the L3 lot which has a different allowable height. All increments are well in excess of the minimum 15’ width.

*All project elements are within the allowable height limits*

- **23.47A.013 FAR for NC**
  - Per table 23.47A.013 max FAR of 3 for NC3-40 and 3.25 for mixed use with max for any single use not to exceed 3.

*Project FAR is below all specified limits – refer to summary table on zoning submittal to dpd*



# EDG SUMMARY GUIDANCE / RESPONSE

## I. COMMENTS IN RED HIGHLIGHT THE ITEMS THAT RESPOND TO SPECIFIC EDG GUIDANCE—

1. MASSING AND CONCEPT: CLEAR SEPARATION BETWEEN ROY STREET COMMERCIAL AND 4<sup>TH</sup> AVE N RESIDENTIAL
  - A. RETAIL TRANSPARENCY & UPPER LEVEL CONTINUITY –ROY TO 4<sup>TH</sup> AVE N.
    - I. **DONE – LARGE SIMILARLY SIZED AND ARTICULATED WNDOWS ARE ADDED AT ALL ELEVATIONS OF THE UPPERMOST STORY.**
  - B. TRANSPARENCY AT CIRCULATION “GASKET”
    - I. **LARGE WINDOW OPENINGS ARE PROVIDED AT BOTH THE ENDS OF THE CORRIDOR – SOUTH FACING WINDOWS ARE ALSO ADDED AT THE WEST END WHERE THE ELEMENT EXTENDS FURTHER FROM THE FACE OF THE BUILDING AND HIGHLIGHTS THE SPACE NEEDLE VIEW**
  - C. 4<sup>TH</sup> AND ROY CORNER – EMBOLDEN & ENLIVEN
    - I. **BRICK ELEMENT AT CORNER POSITION IS 1 LEVEL HIGHER THAN THE OTHER TWO ALONG ROY.**
    - II. **ANGLED ORIENTATION ENHANCES THIS EXPRESSION**
    - III. **RECESSED RETAIL COURTYARD DEVELOPED AT THE CORNER RETIAL ENTRY**
    - IV. **CANOPY EXTENDS AND RETURNS AT CORNER WITH LARGEST OVERHANG AND PREDOMINANT EXPRESSION.**
  - D. DATUM AND MATERIAL CONSISTENCY
    - I. **DONE**
  - E. COMMON LANGUAGE ALONG TOP OF STRUCTURE – PARAPETS / OPENINGS / RAILINGS
    - I. **CAP AND OPEN UPPER RAIL LANGUAGE DEVELOPED ACROSS TOP OF MASONRY WALL (WITH PRECAST CONCRETE CAPS )AND FRAMED WALLS (WITH METAL CAPS) BOTH WITH SIMILAR OPEN RAILS ABOVE.**
  - F. OPEN PARAPETS AND RAILINGS ALONG RESIDENTIAL PORTION ABOVE RETAIL.
    - I. **WE WANTED TO MAINTAIN SOME DEGREE OF OPACITY TO THE DECK RAILS THAT WE BELIEVE IS MORE APPROPRIATE FOR THE URBAN SETTING FROM BOTH THE SIDEWALK AND THE OCCUPANT STANDPOINT. SEE COMMENT ABOVE AS TO OUR METHODOLOGY**
  - G. GREATER TRANSPARENCY AT ALLEY CORNER.
    - I. **DONE**
  - H. ORCHESTRATE APPLICATION AND TRANSITIONS OF BUILDING MATERIALS.
    - I. **DONE**
2. STREETScape – MULTIPLE RETAIL ENTRY POINTS – STRONGER ROY STREET CONNECTION BETWEEN INTERIOR RETAIL AND SIDEWALK SPACES
  - A. INCREASED SETBACKS ALONG ROY?
    - I. **RECESSES ALONG ROY ARE SET FURTHER BACK ALLOWING FOR SIDEWALK SEATING AS SHOWN. THESE TWO**
3. ENTRIES – DISTINCT LOCATIONS / EXPRESSION
  - A. MULTIPLE RETAIL ENTRANCES
    - I. **RETAIL ENTRY POINTS AT 4<sup>TH</sup>, ROY AND THE ALLEY AT THE RETAILERS OPTION INCREASING OPTIONS FOR EXPRESSION AND RETAIL ACTIVATION.**
  - B. CELEBRATE BIKE ENTRY
    - I. **WE HAVE MOVED BIKE ENTRY TO THE ALLEY END OF THE GASKET, PROMINENTLY LOCATED JUST SOUTH OF THE MAIN GARAGE ENTRY GATE. PROJECTED LED BICYCLE SYMBOL WILL BE SET TO THE PAVING JUST IN FRONT OF THE BIKE ENTRY**
  - C. GATE OR OTHER UNIQUE IDENTIFIER AT BIKE ENTRANCE.
    - I. **BIKE ENTRY IS MOVED TO THE EAST END OF THE GASKET FOR GREATER CLARITY OF ENTRANCE AND OF THE RETAIL CORNER AT 4<sup>TH</sup> AND ROY. LED PROJECTOR TO PAVING AREA WILL ENLIVEN BIKE ENTRY.**
  - D. SIGNAGE – QUEEN ANNE CHARACTER.
    - I. **OUR PROPOSED SIGNAGE IS SIMPLE, UNASSUMING AND DOES NOT COMPETE WITH THE ARCHITECTURE, WHICH WE SUBMIT IS A GREAT FIT FOR THE CHARACTER OF THE QUEEN ANNE NEIGHBORHOOD.**
4. OPEN AND AMENITY SPACES – CONFORM TO ZONE SPECIFIC CRITERIA
  - I. COMMON L3 AMENITY AREAS AT WEST AND EAST CORNER OF SITE
    - I. **DONE**
  - II. PROVIDE COMMON OPEN SPACE ALONG ALLEY
    - I. **WE ARE MAINTAINING THIS CORNER AS A MAJOR TREE LOCATION AND ARE ALSO PLANNING THIS AS A DOG WALK AREA. THE AREA IS GENEARELLY OPEN TO AND FOLLOWS THE ALLEY GRADE**
  - III. LOCATE BACK EXIT DOOR TO ACTIVATE COMMON AREA OFF OF ALLEY
    - I. **DONE**
  - IV. BELOW GRADE OPEN SPACE – USEABLE / EFFECTIVE PRIVATE AREAS WITH SENSE OF OPENESS AND SUNLIGHT.
    - I. **REFER TO ANSWER TO 4.VI**
5. PROVIDE A STREET LEVEL PERSPECTIVE OF THE RESIDENTIAL ENTRY.
  - I. **VIEWS ADDED**
6. PROVIDE A DETAIL WITH MATERIALS OF THE CANOPY AT THE RESIDENTIAL ENTRY.
  - I. **DONE – ADDED TO SOUTH COLOR AND MATERIAL ELEVATION**
7. PROVIDE A PLAN DETAIL OF THE ENTRY INTO AND THE INTERIOR, OF THE RESIDENTIAL LOBBY.
  - I. **DONE**
8. SHOW WHAT THE TOWNHOUSE STOOPS WILL LOOK LIKE, INCLUDING MATERIALS AND LANDSCAPING.
  - I. **DONE – ADDITIONAL PERSPECTIVE VIEWS ELABORATE – AND DETAIL ADDED TO WEST COLOR AND MATERIAL ELEVATION.**
9. STUDY THE RELATIONSHIP BETWEEN THIS PROJECT AND THE PROPOSED DEVELOPMENT TO THE EAST (PROJECT #3015918). STUDY THE PROPOSED PROJECT PLANS TO MAKE SURE WINDOWS DON’T ALIGN.
  - I. **WE HAVE MET WITH THE NEIGHBORING PROPERTY AND IT IS ON HOLD FOR 2-4 YEARS AND THE FINAL CONFIGURATION IS INDETERMINANT.**
  - II. **OUR UNITS ARE 18’ WIDE, WITH ONLY THE EAST WALL AVAIABLE FOR WINDOWS, WHICH WE ARE MAXIMIZING**
  - III. **ALL UNITS AT THIS AREA OF THE PROJECT ARE EITHER OPEN 1 OR 2 BED UNITS, AND ALL SLEEPING AREAS ARE INTERNAL TO THE UNIT.**



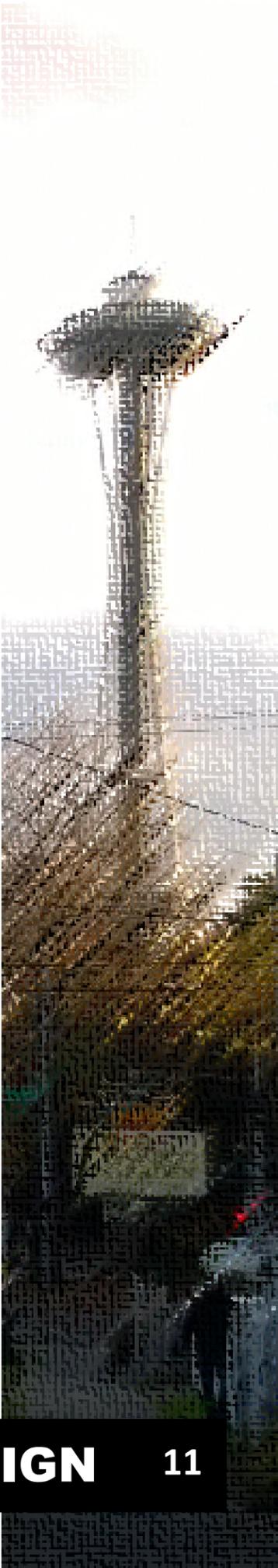




**DESIGN REVIEW: RECOMMENDATION PROPOSAL  
400 ROY STREET APARTMENTS**

GRACE ARCHITECTS PLLC – 7310 15<sup>TH</sup> AVE NW – SEATTLE, WA – 98117 – rwallen@gracearchitectsllc.com

COMPOSITE SITE PLAN –  
FLOOR PLANS –  
SOLID WASTE PLAN --  
COMPOSITE HARDSCAPE / LANDSCAPE PLAN –  
ELEVATIONS (INCLUDING MATERIAL / COLOR PALETTE) –  
RENDERINGS –  
EXTERIOR LIGHTING PLAN –  
SIGNAGE CONCEPT PLAN –  
BUILDING SECTIONS –  
DEPARTURE REQUEST --

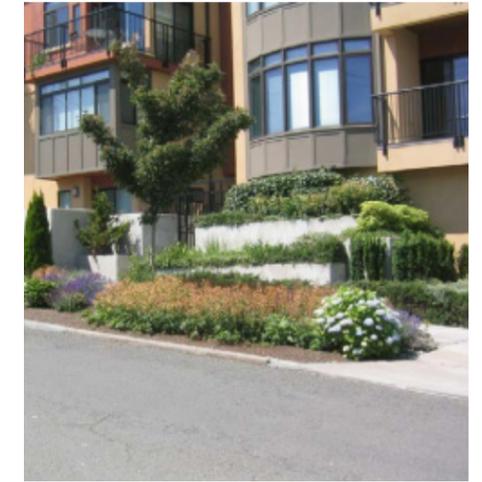




**Concept Imagery**



Residential stoops activate the street



Generous landscaped setbacks



Outdoor retail terrace along 4th Ave



Active retail edge along Roy Street



Visual Landscape



**400 ROY STREET**

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**Landscape Plan**

APARTMENT COMPLEX

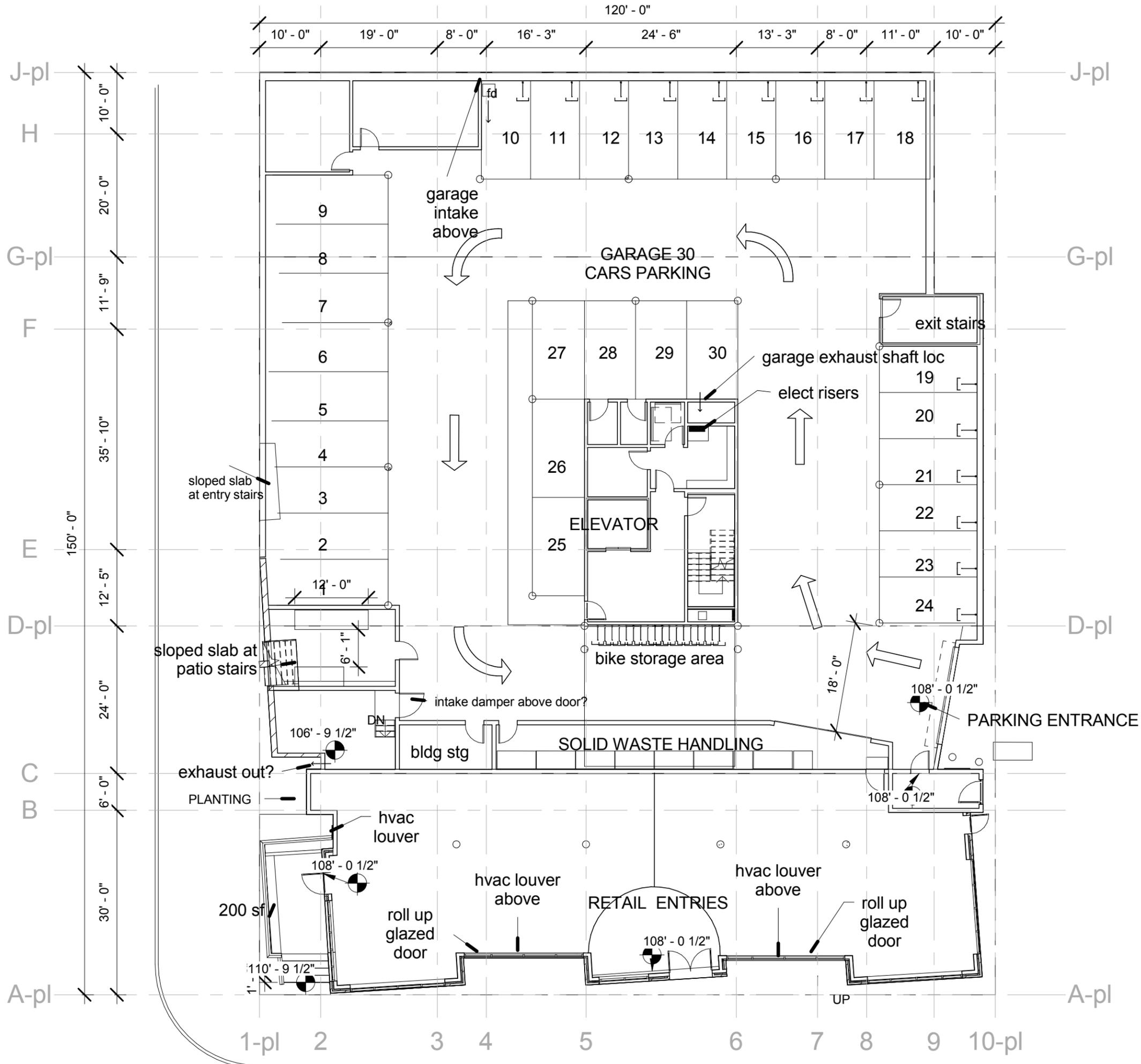
**DR-LD 001**

01/10/16



# 400 ROY STREET

APARTMENT COMPLEX



## PARKING-RETAIL PLAN

### DRB-01

Scale 1/16" = 1'-0" 01/10/16

1 DRB - RETAIL / PRKG  
1/16" = 1'-0"

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# 400 ROY STREET

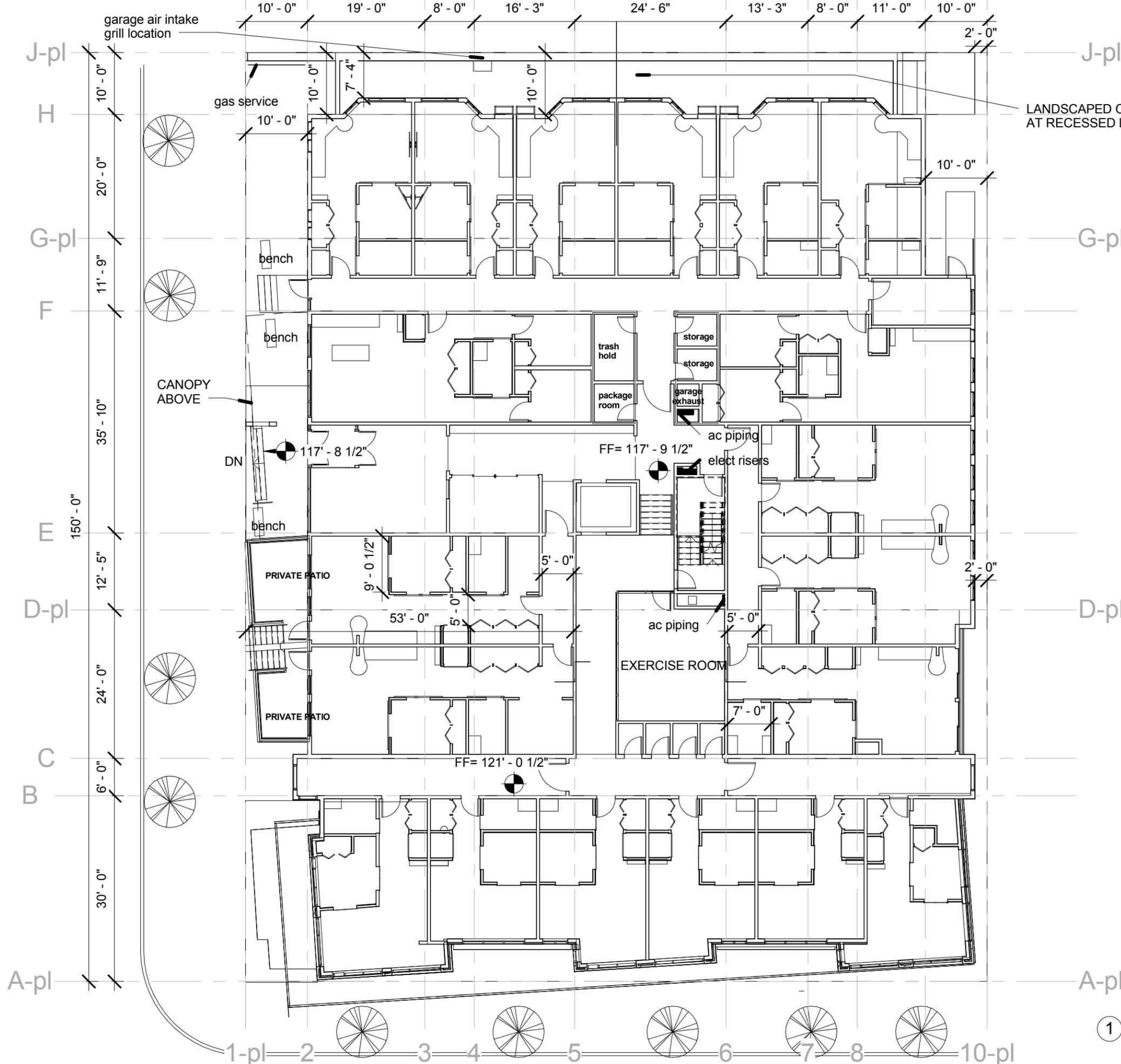
APARTMENT COMPLEX

LVL 1 RESIDENTIAL

## DRB-02

Scale 1/16" = 1'-0" 01/10/16

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1 DRB-LVL 1 RESIDENTIAL  
1/16" = 1'-0"



# 400 ROY STREET

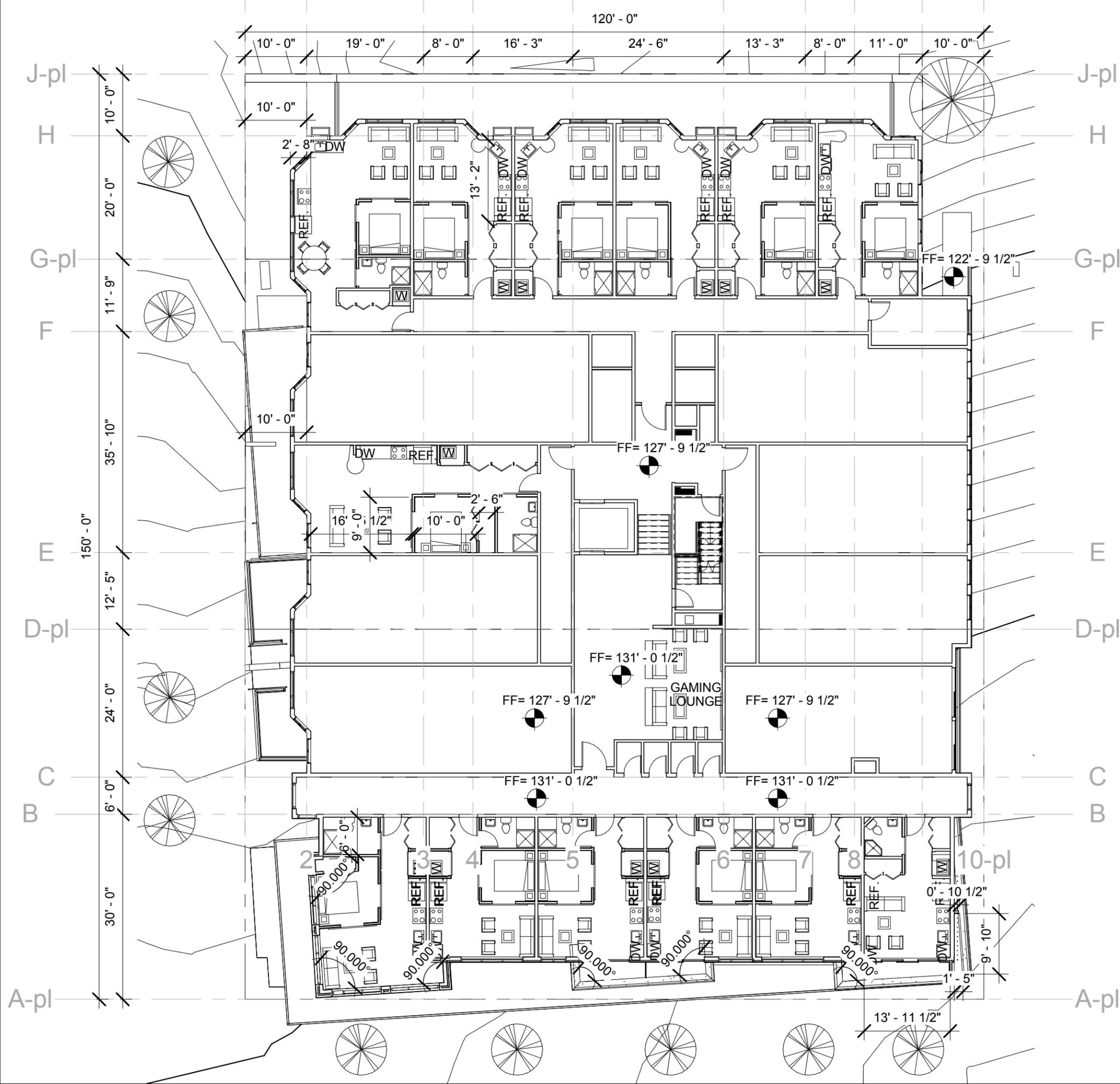
APARTMENT COMPLEX

LVL 2 RESIDENTIAL

## DRB-03

Scale 1/16" = 1'-0" 01/10/16

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1 DRB-LVL 2 RESIDENTIAL  
1/16" = 1'-0"



# 400 ROY STREET

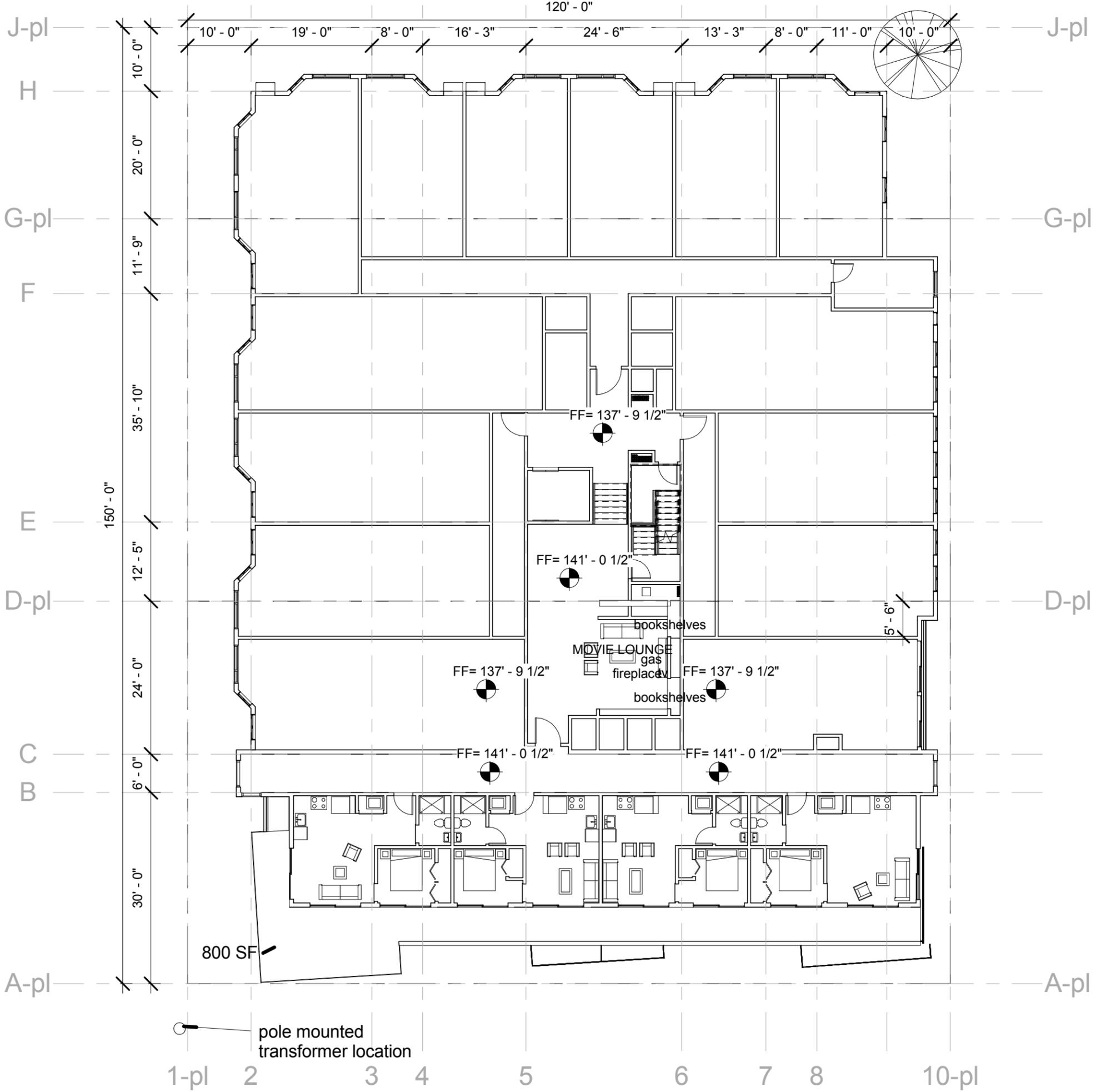
APARTMENT COMPLEX

LVL 3 RESIDENTIAL

## DRB-04

Scale 1/16" = 1'-0" 10/1/10/16

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① DRB-LVL 3 RESIDENTIAL  
1/16" = 1'-0"



400 ROY STREET

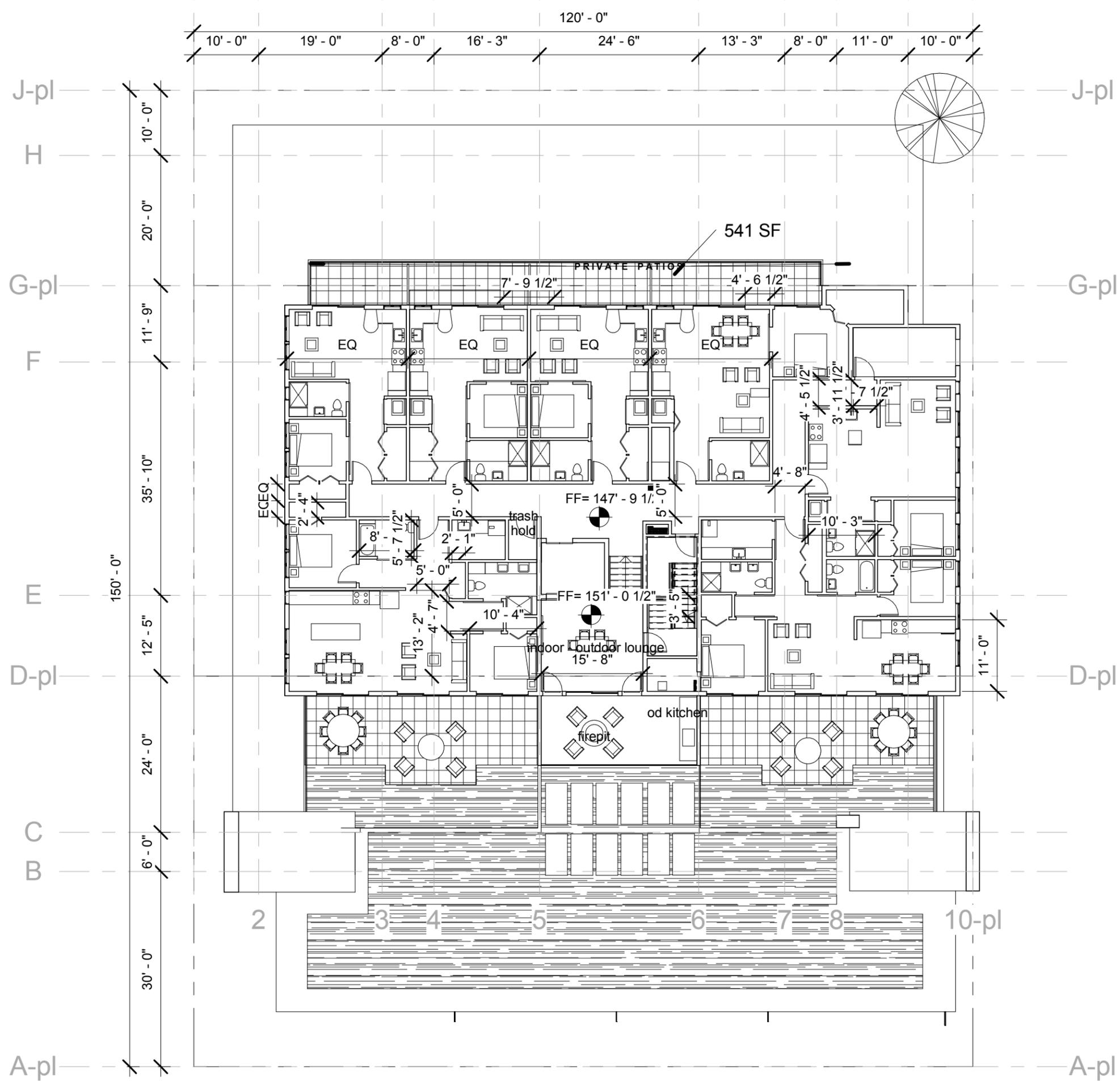
APARTMENT COMPLEX

LVL 4 RESIDENTIAL

DRB-05

Scale 1/16" = 1'-0" 01/10/16

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1 DRB-LVL 4 RESIDENTIAL  
1/16" = 1'-0"



# 400 ROY STREET

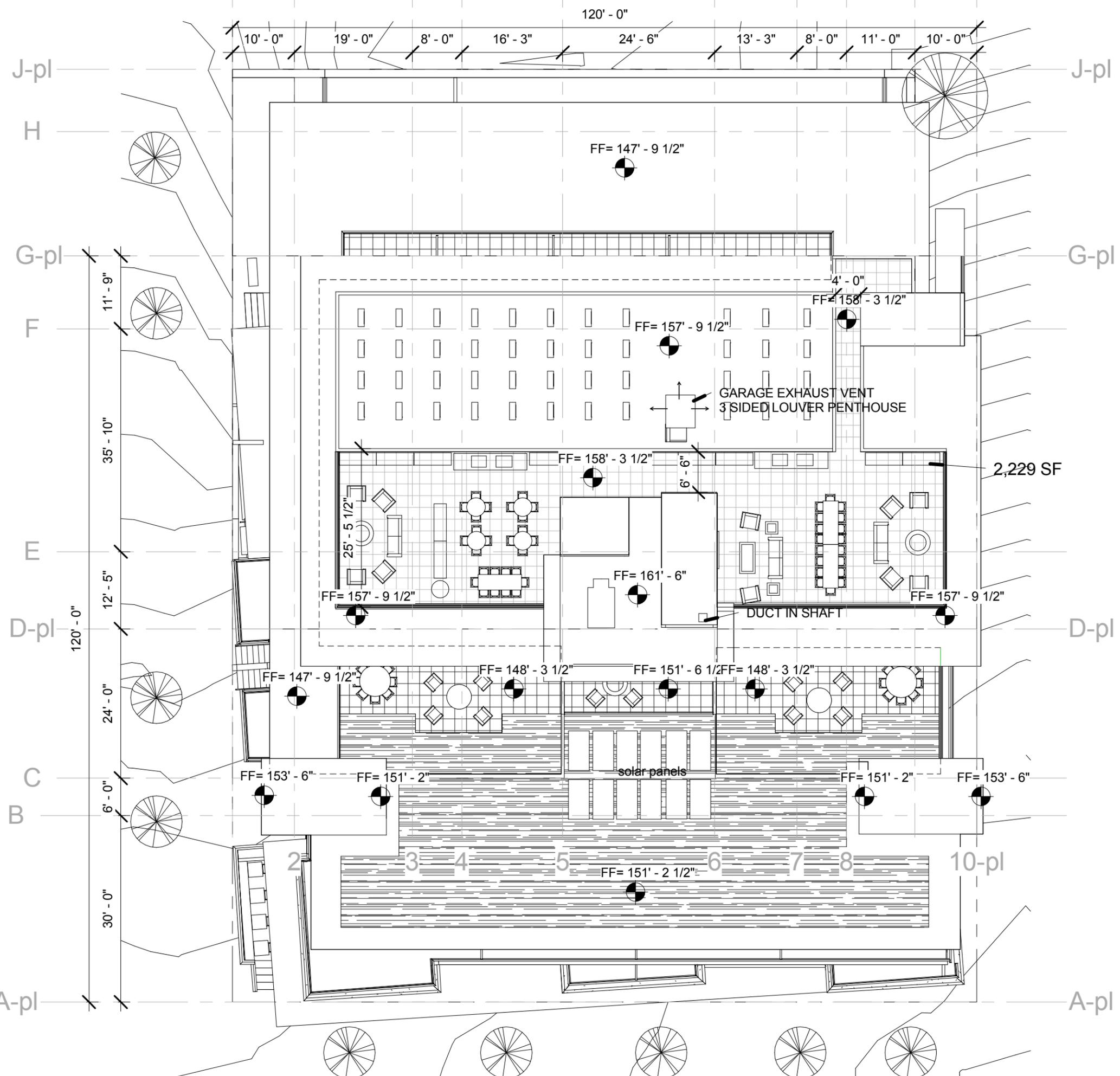
APARTMENT COMPLEX

LVL 5 - ROOF AMENITY

## DRB-06

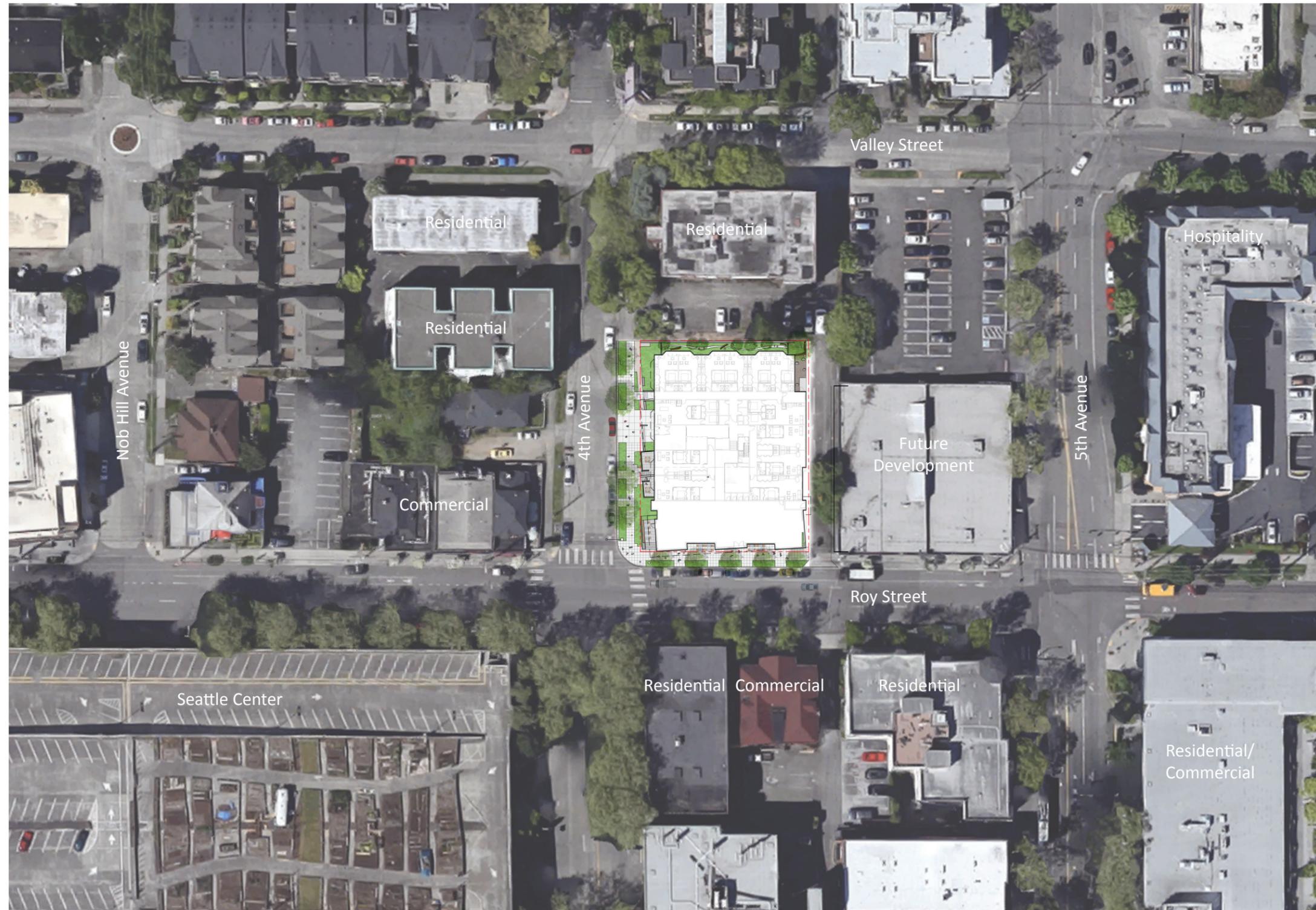
Scale 1/16" = 1'-0" 01/10/16

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1 DRB-ROOF AMENITY AREAS  
1/16" = 1'-0"





SiteWorkshop LLC  
LANDSCAPE ARCHITECTURE

# 400 ROY STREET

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## Context Plan

APARTMENT COMPLEX

11.05.15

# DR-LD 001



**Concept Imagery**



Residential stoops activate the street



Generous landscaped setbacks



Outdoor retail terrace along 4th Ave



Active retail edge along Roy Street



Visual Landscape



**400 ROY STREET**

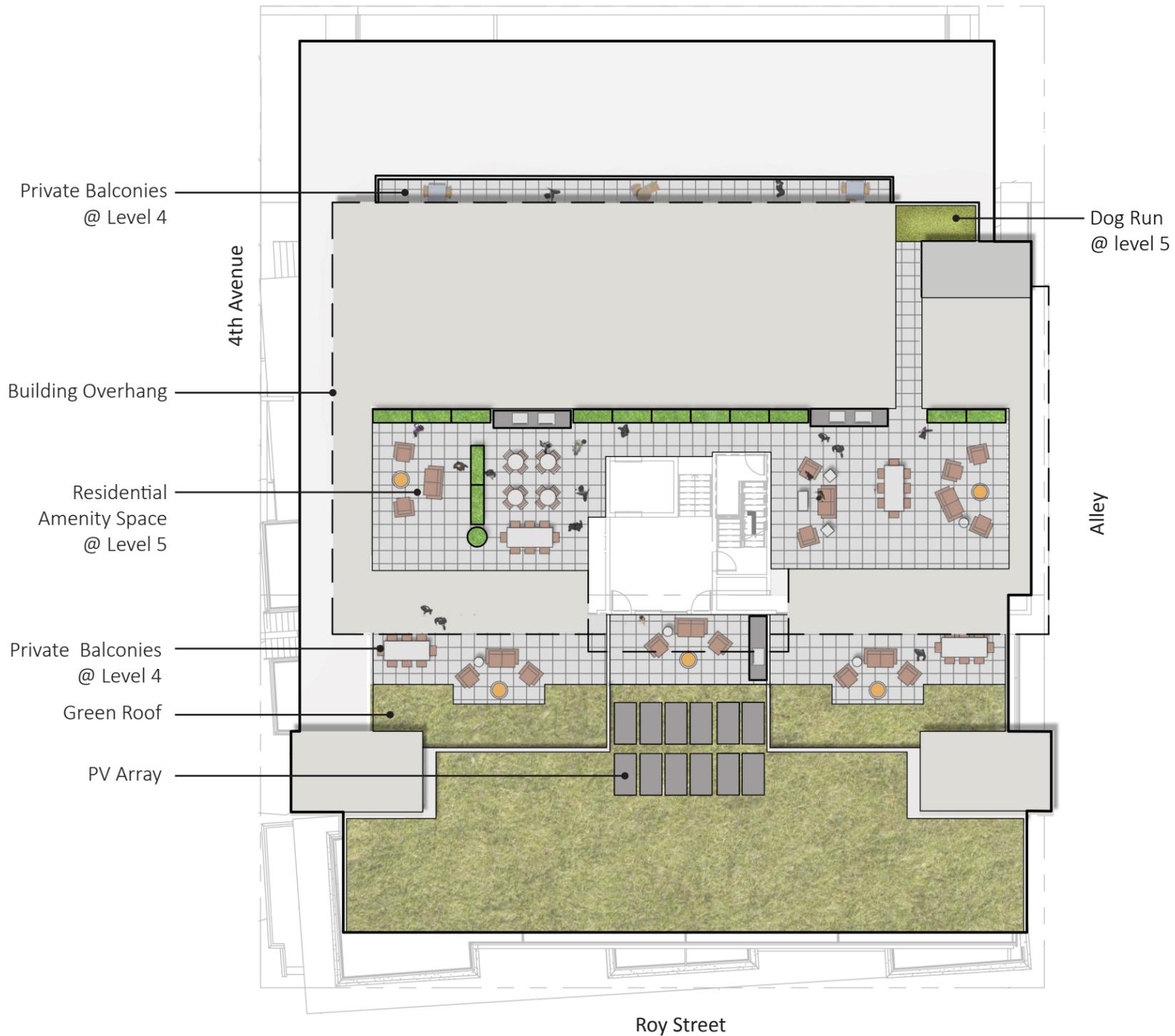
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**Landscape Plan**

APARTMENT COMPLEX

**DR-LD 001**

01/10/16



**Concept Imagery**



Semi-private outdoor rooms



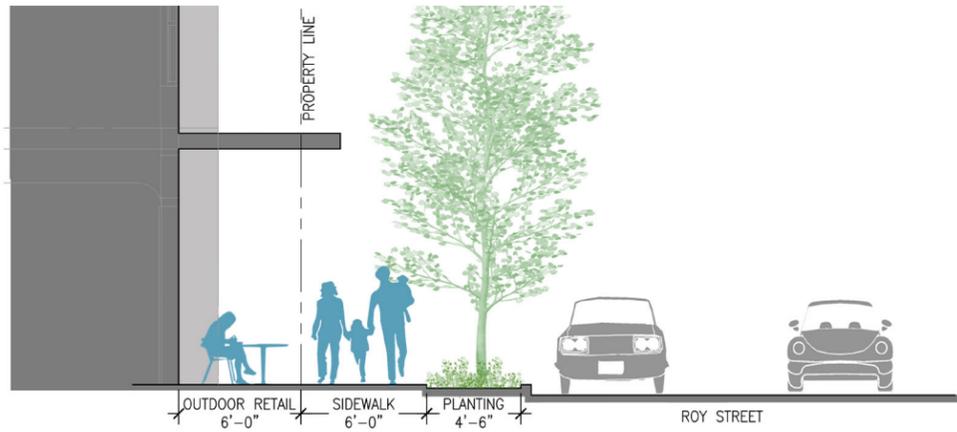
Fire pits



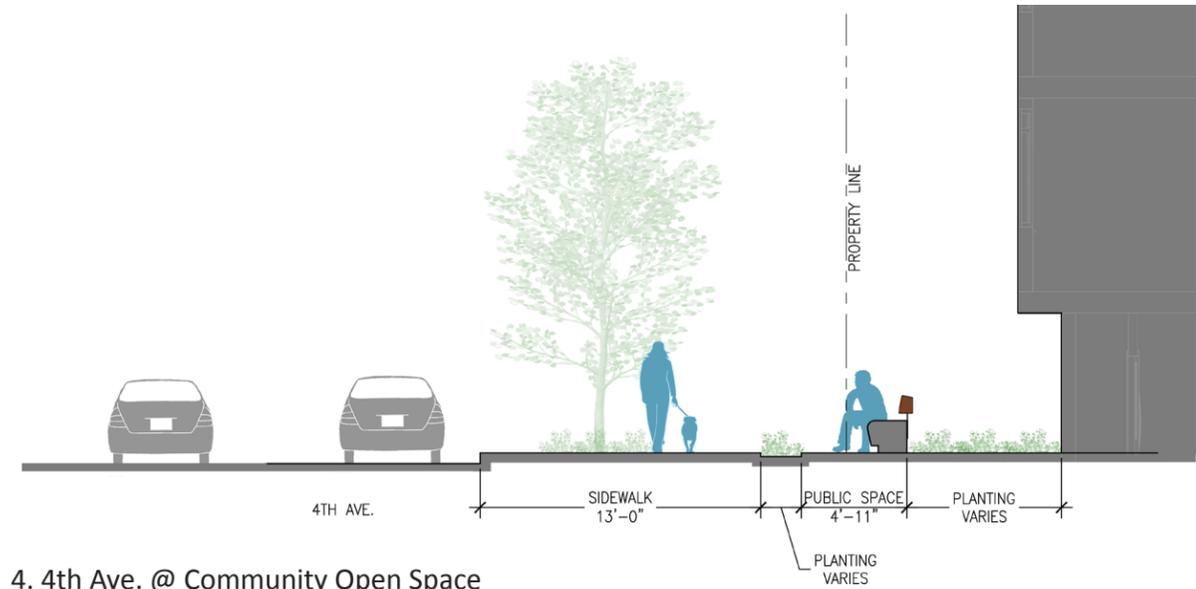
Green Roof



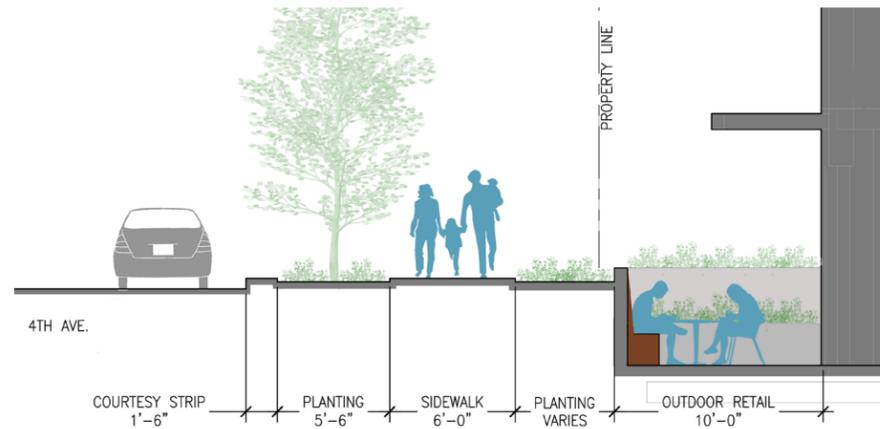
Amenity spaces



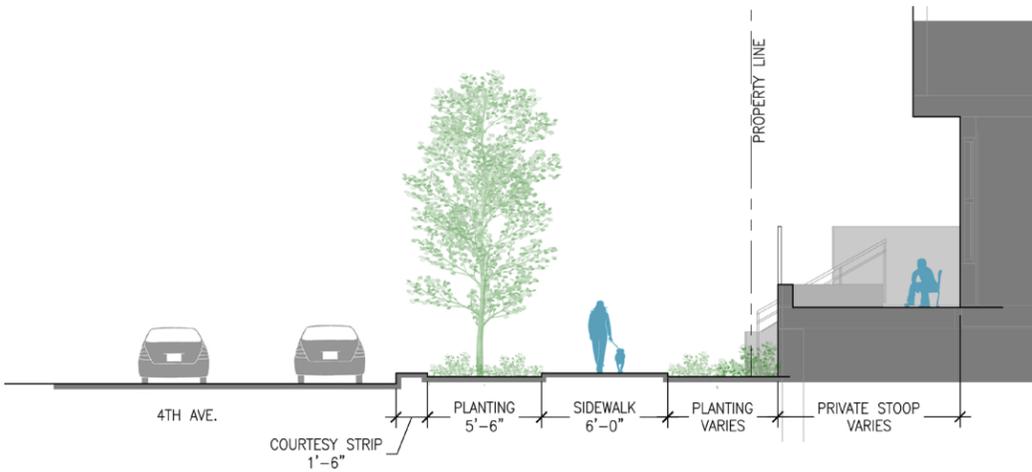
1. Roy Street @ Retail



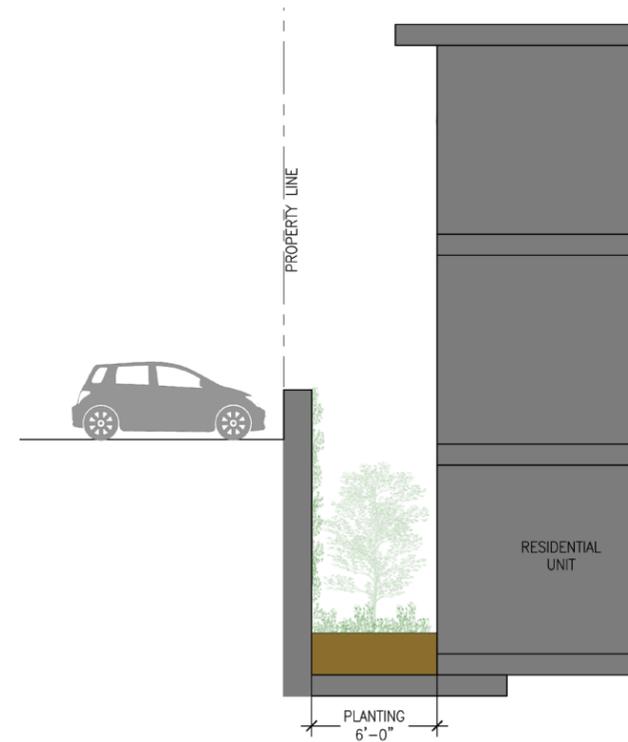
4. 4th Ave. @ Community Open Space



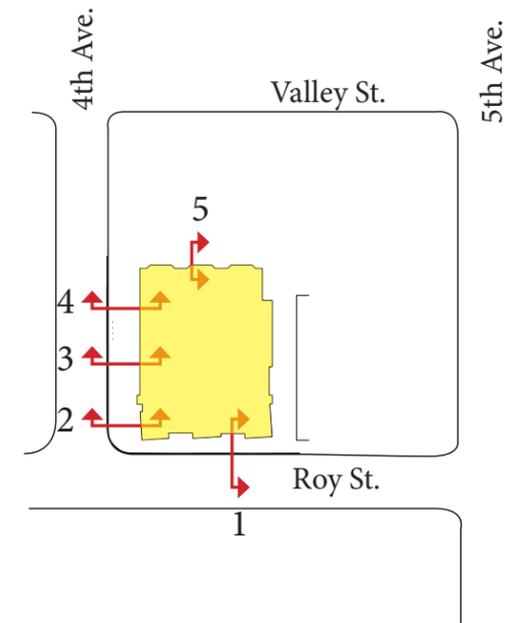
2. 4th Ave. @ Outdoor Retail Terrace



3. 4th Ave. @ Stoop



5. Sunken Garden



SiteWorkshop LLC  
LANDSCAPE ARCHITECTURE

# 400 ROY STREET

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## Landscape Sections

APARTMENT COMPLEX

DR-LD 001

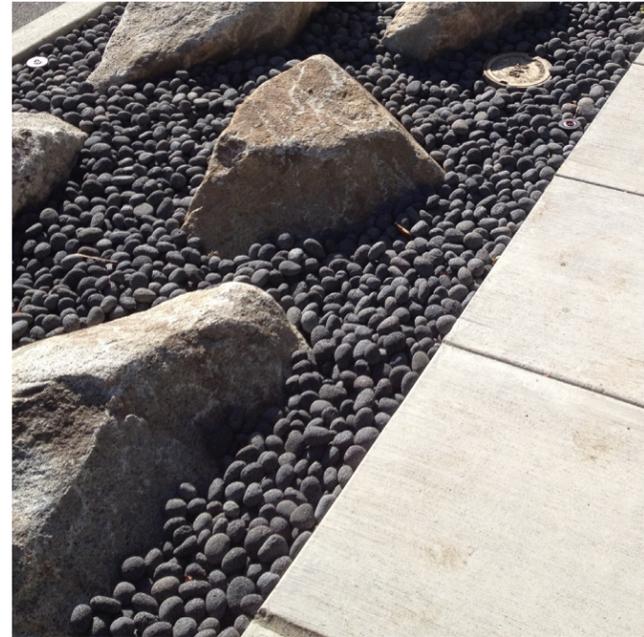
01/10/16



Sidewalk Paving



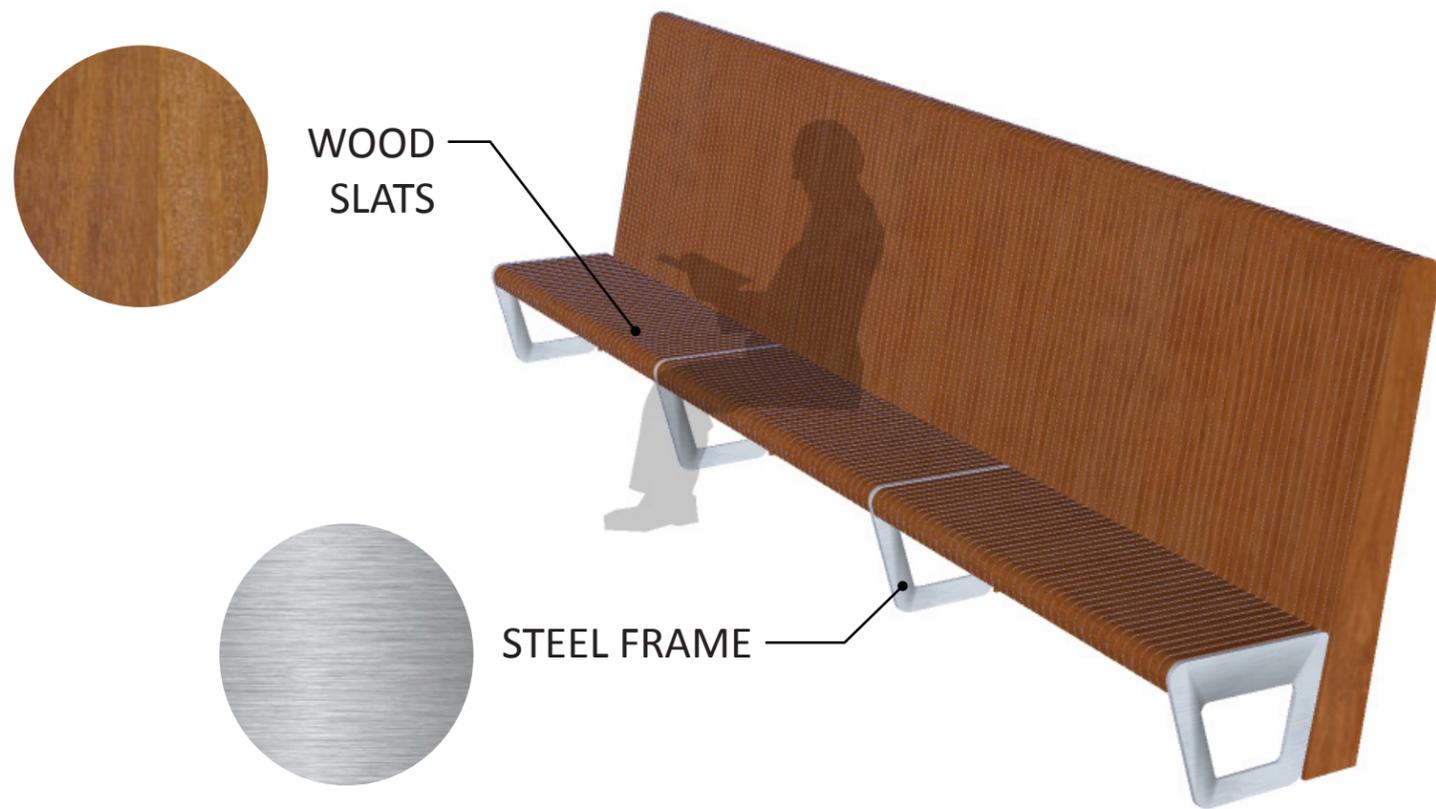
Stabilized Decomposed Granite



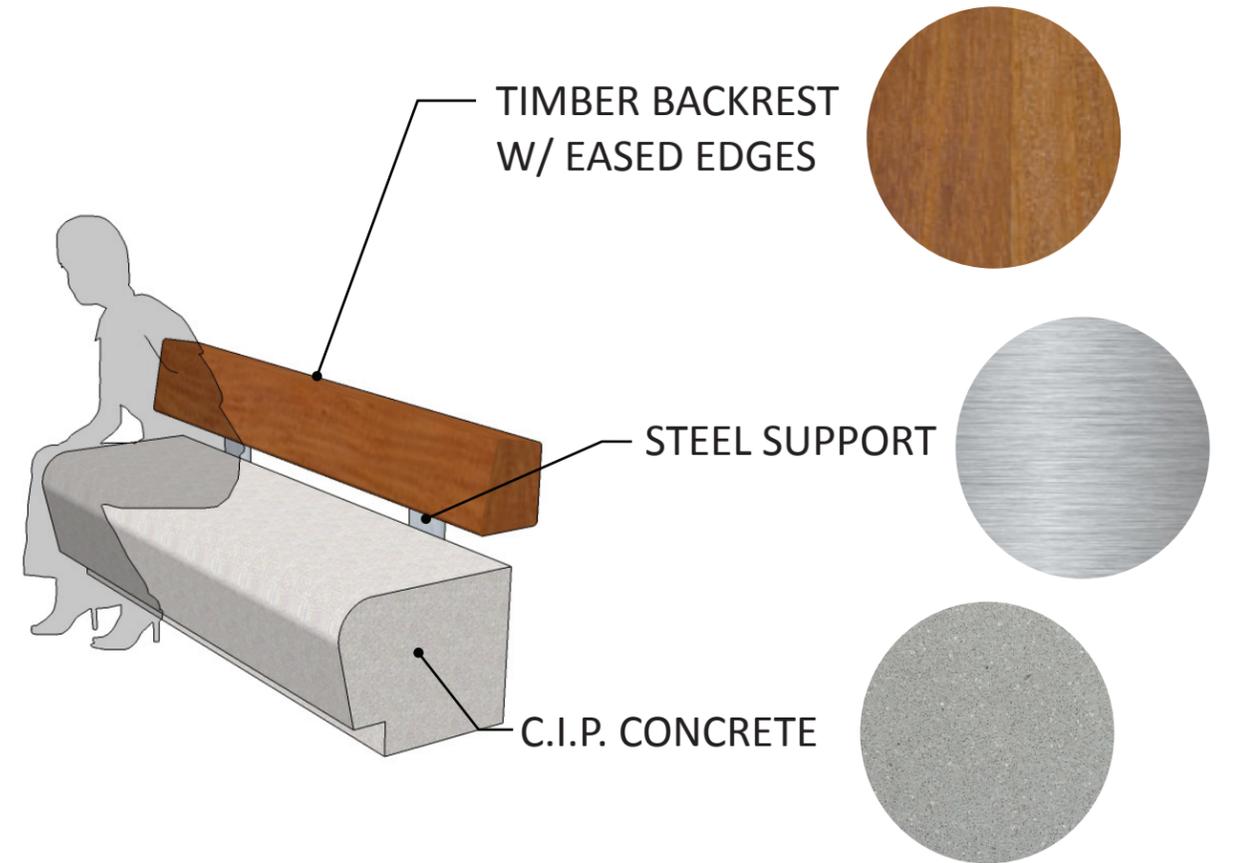
Pet Relief Area



Bike Racks



Retail Terrace Bench



Community Space Bench



*Cornus 'Eddie's White Wonder'* (Roy Street)



*Luzula 'Ruby Stiletto'*



*Daphne x transatlantica 'Jim's Pride'*



*Polystichum munitum*



*Cornus kousa 'Starlight'* (4th Avenue)



*Molinia caerulea ssp. caerulea 'Moorflamme'*



*Geranium 'Rozanne'*



*Dicentra 'King of Hearts'*



*Leucojum aestivum 'Gravetye Giant'*



*Helleborus argutifolius*



*Acer Circinatum*

**Street Trees** .....

**Understory** .....

**Shade Garden** .....



SiteWorkshop LLC  
LANDSCAPE ARCHITECTURE

**400 ROY STREET**

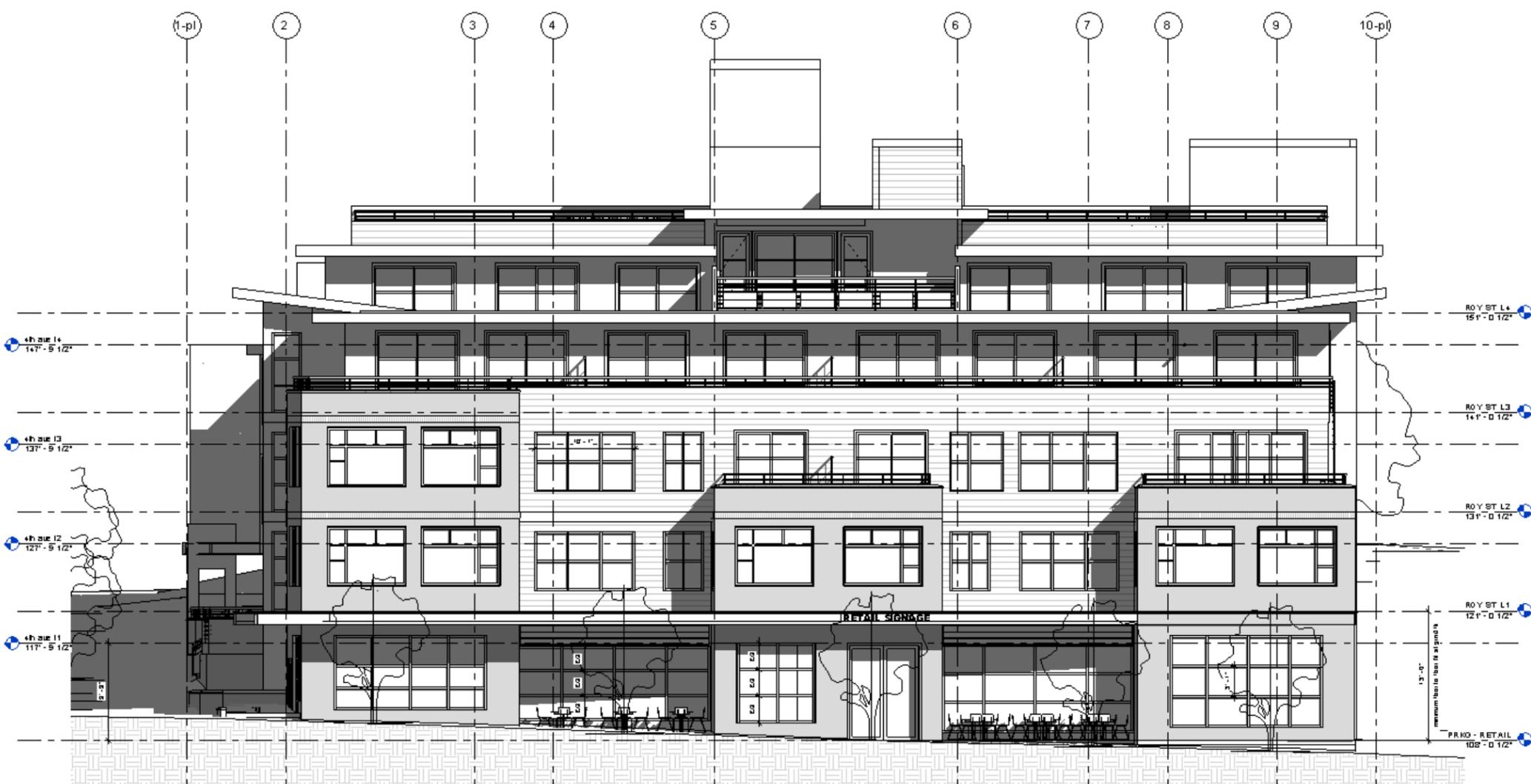
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**Plants**

APARTMENT COMPLEX

**DR-LD 001**

01/10/16



**CORNER VIEW**  
 Gasket highlighted – proud of surrounding elements, accent color and kicked roof section  
 Bike entry moved to this end of the development  
 Green screen above corner brick element forms rail at level 3 along Roy and will have window cut out at unit kitchen sink at level 2  
 Typical brick treatment

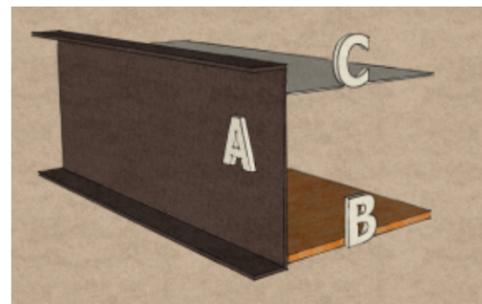
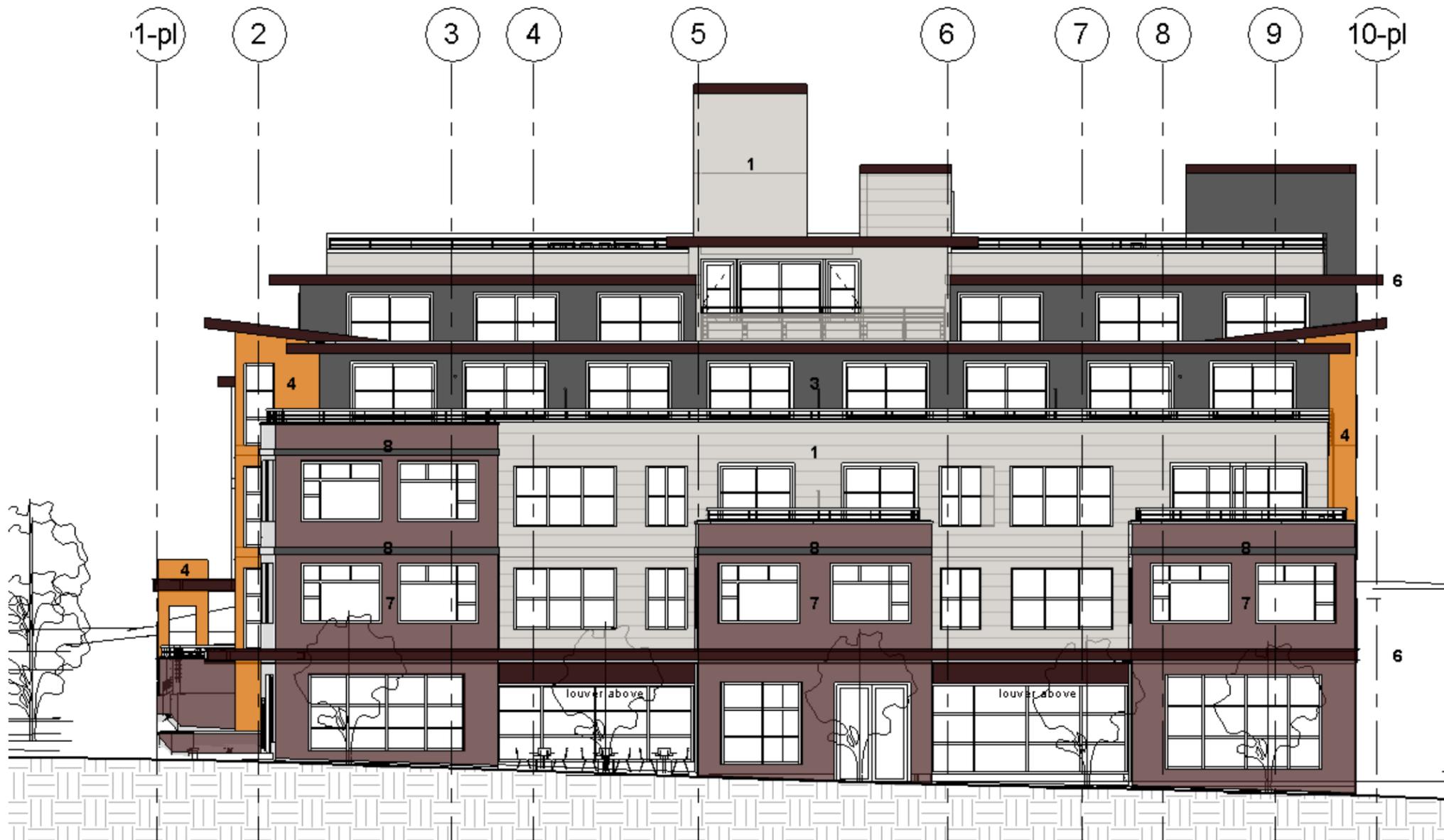
- Contrasting soldier course at floor line
- Pre-cast concrete cap at part ht rail with open rail top above.
- SE corner element integrates awning face channel into brick veneer.

Retail openings at recessed conditions and at the NW corner (4<sup>th</sup> ave face) will be offered as optional operational roll up glazed doors in the same configuration as shown.



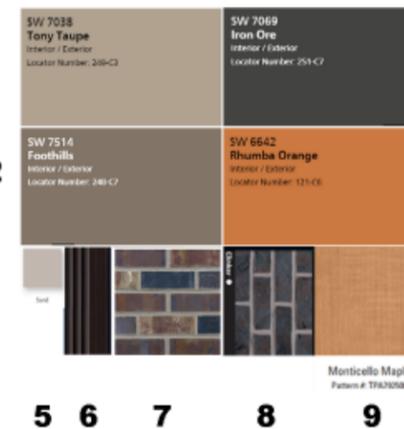
**DESIGN REVIEW: RECOMMENDATION PROPOSAL / 400 ROY STREET APARTMENTS**

**ELEVATION – SOUTH**



CANOPY DETAIL

- A. 15" X 3" BENT STEEL PLATE CANOPY EDGE – PTD TO MATCH DEEP BRONZE COLOR (6)
- B. STONEWOOD SOFFIT PANEL (9) – TYPICAL AT ALL CANOPY SOFFITS
- C. ROOF MEMBRANE (DARK GREY) – ROOF STRUCTURE TO BE DETERMINED.



- 1: "BODY" WALL COLOR AT HARDI LAP SIDING AREAS - CEDAR MILL 7" EXPOSURE
- 2: ACCENT WALL COLOR AT BAY POP-OUTS - HARDI-PANEL FLAT PANEL (SMOOTH) CLADDING WITH SAME COLOR REVEAL JOINTS
- 3: UPPER FLOOR WALL AND ALLEY WALL COLOR - ON HARDI-PANEL FLAT PANEL CLADDING WITH SAME COLOR REVEAL JOINTS.
- 4: ACCENT COLOR AT "GASKET" WALLS - ON HARDI-PANEL FLAT PANEL CLADDING WITH SAME COLOR REVEAL JOINTS
- 5: VINYL WINDOW COLOR - VPI WINDOWS - SAND COLOR.
- 6: ALUMINUM STOREFRONT WINDOWS AND RAILINGS - FASCIAL METAL TO MATCH
- 7: BRICK MASONRY - COVINGTON IRONWASHED - MUTUAL MATERIALS SOLDIER COURSE AT FLOOR LINES IN MASONRY WALL AREAS - CLINKER - MUTUAL MATERIALS
- 9: SOFFIT MATERIALS AT ALL ROOF OVERHANGS - STONEWOOD RESIN PANELS





**NW CORNER VIEW – DOWN 4TH**

- Residential entry highlighted—
  - lead up from upper corner of site is simple series of benches
    - (configured to discourage sleeping) and a sidewalk path angling to the entry... (see site plan and landscape plans)
  - Central massing of assertive overhangs above and
  - Clear awning element providing recognition and cover at point of entry
  - View into garden unit courtyards afforded from this vantage point



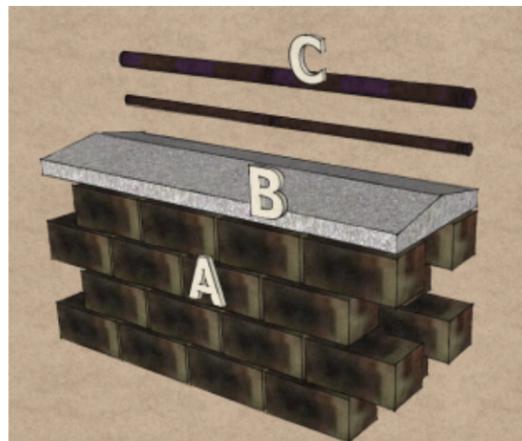
**NORTHWEST CORNER VIEW:**

Strong corner condition turning between north and west faces frames the sidewalk promenade along 4<sup>th</sup> ave. N.



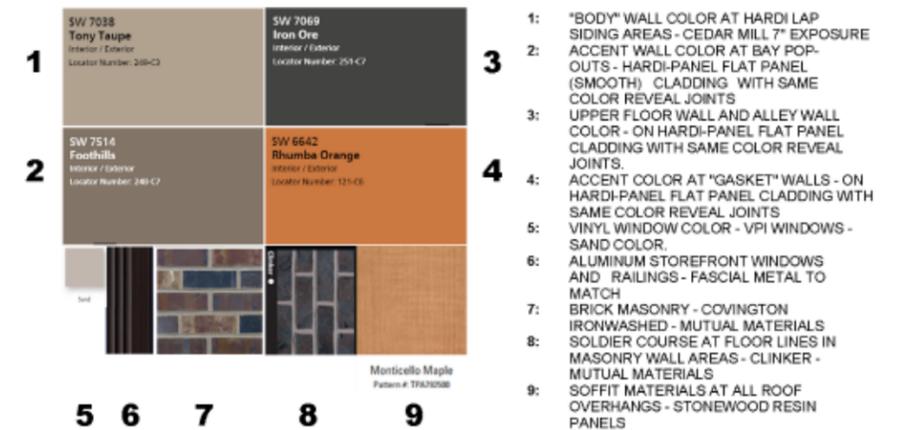
**DESIGN REVIEW: RECOMMENDATION PROPOSAL / 400 ROY STREET APARTMENTS**

**ELEVATION – WEST**



- A. MASONRY WALL – TWO SIDED WITH DARKER BRICK ( 8 ) AT PRIVATE RESIDENTIAL PATIOS
- B. PRECAST CONCRETE CAP – SIZED TO COVER ASSEMBLY / SLOPED TO DRAIN
- C. APPROXIMATE RAIL ASSEMBLY – TYPICAL ABOVE ALL MASONRY WALLS WHERE THEY TERMINATE ON DECKS OR PATIOS –
  - I. SIMILAR CONDITION AT FRAMED WALLS WITH METAL CAP.

## MASONRY WALL CAP CONDITION





**NE CORNER VIEW: THE ALLEY**

- Dog walk area directly outside of back door...
- Major tree location at property corner
- Gasket (bicycle entry) and Corner Retail at and toward Roy Street are prominently visible from this walk - line

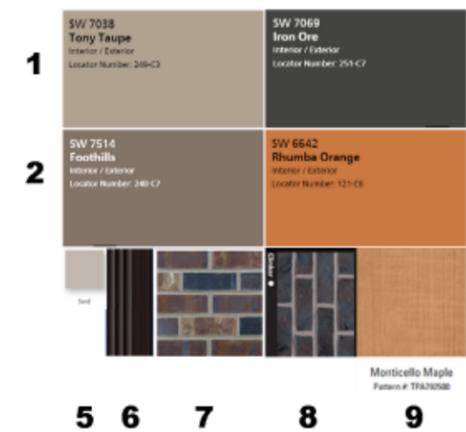
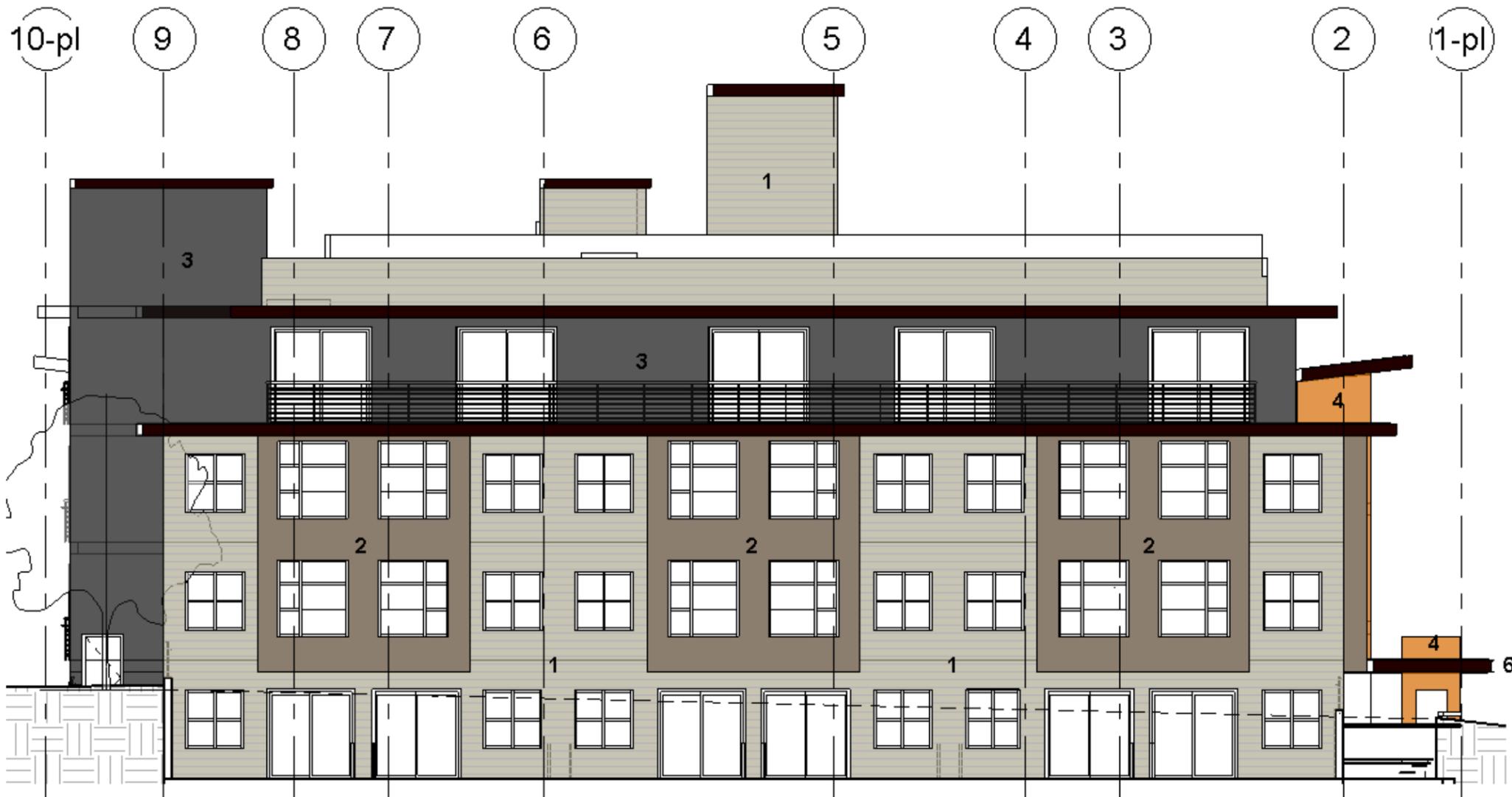
## ELEVATION - NORTH



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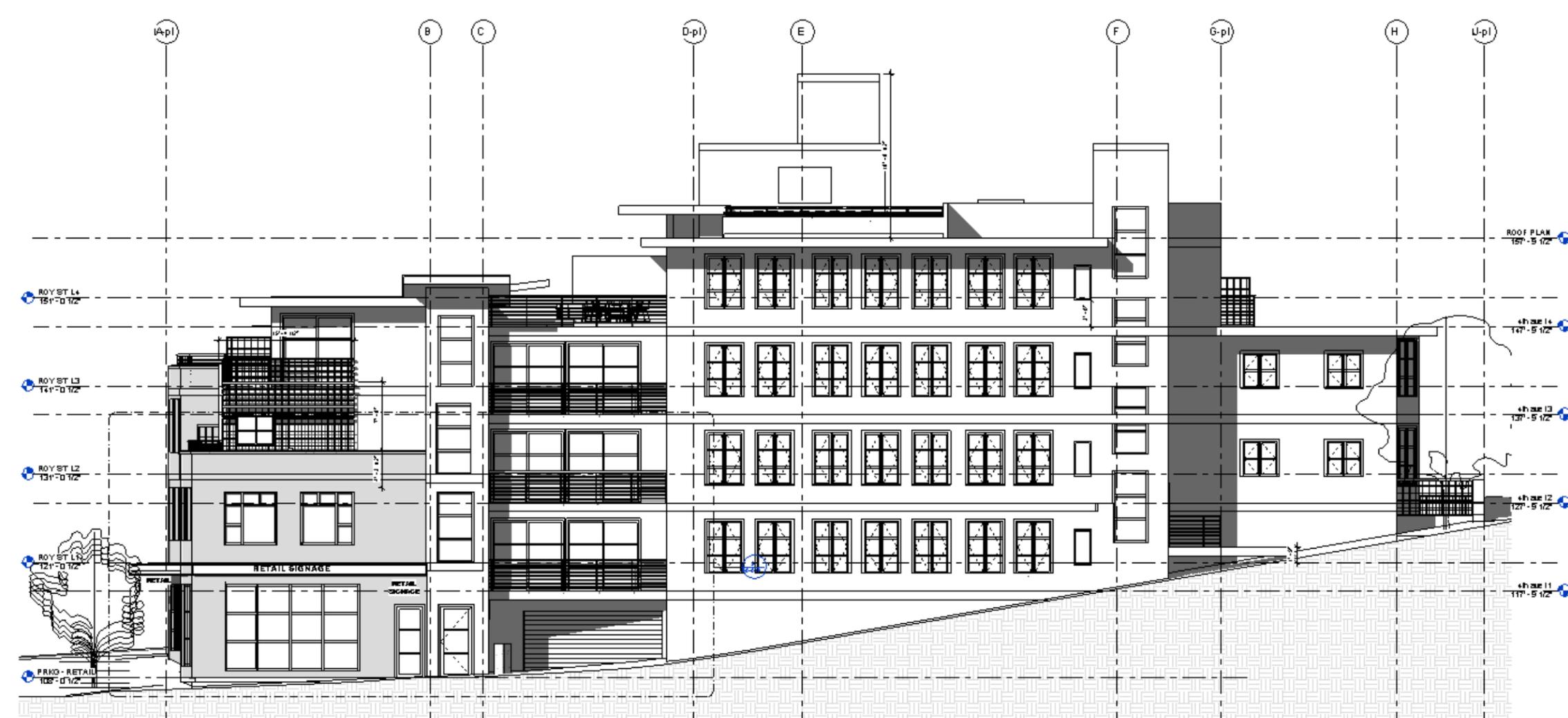
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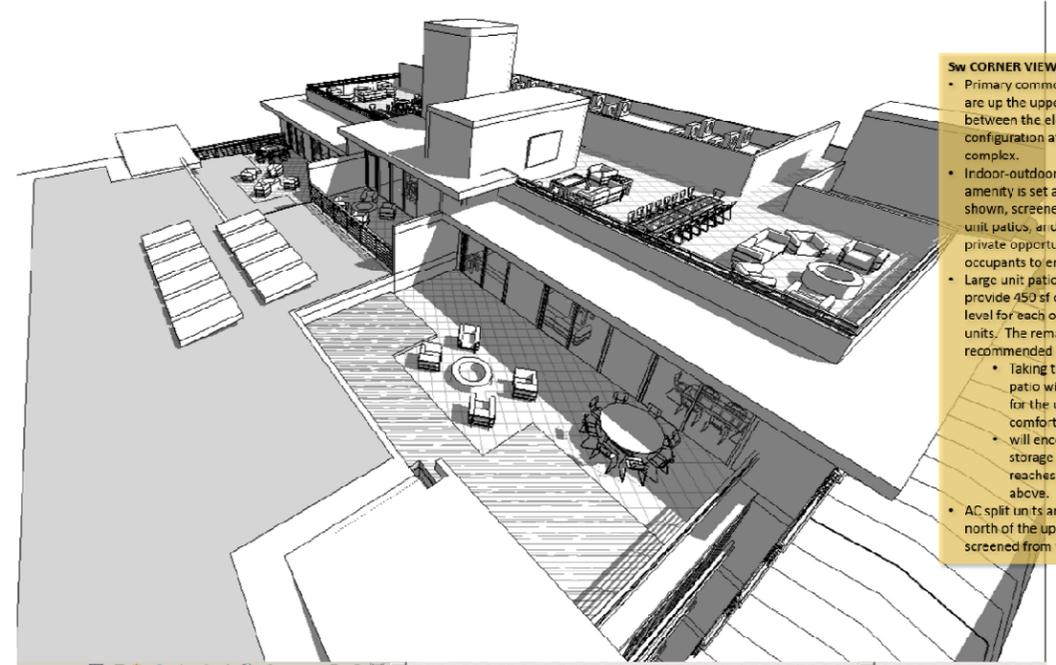




**SW CORNER VIEW**  
 Gasket highlighted – proud of surrounding elements, accent color and kicked roof section  
 Bike entry moved to this end of the development  
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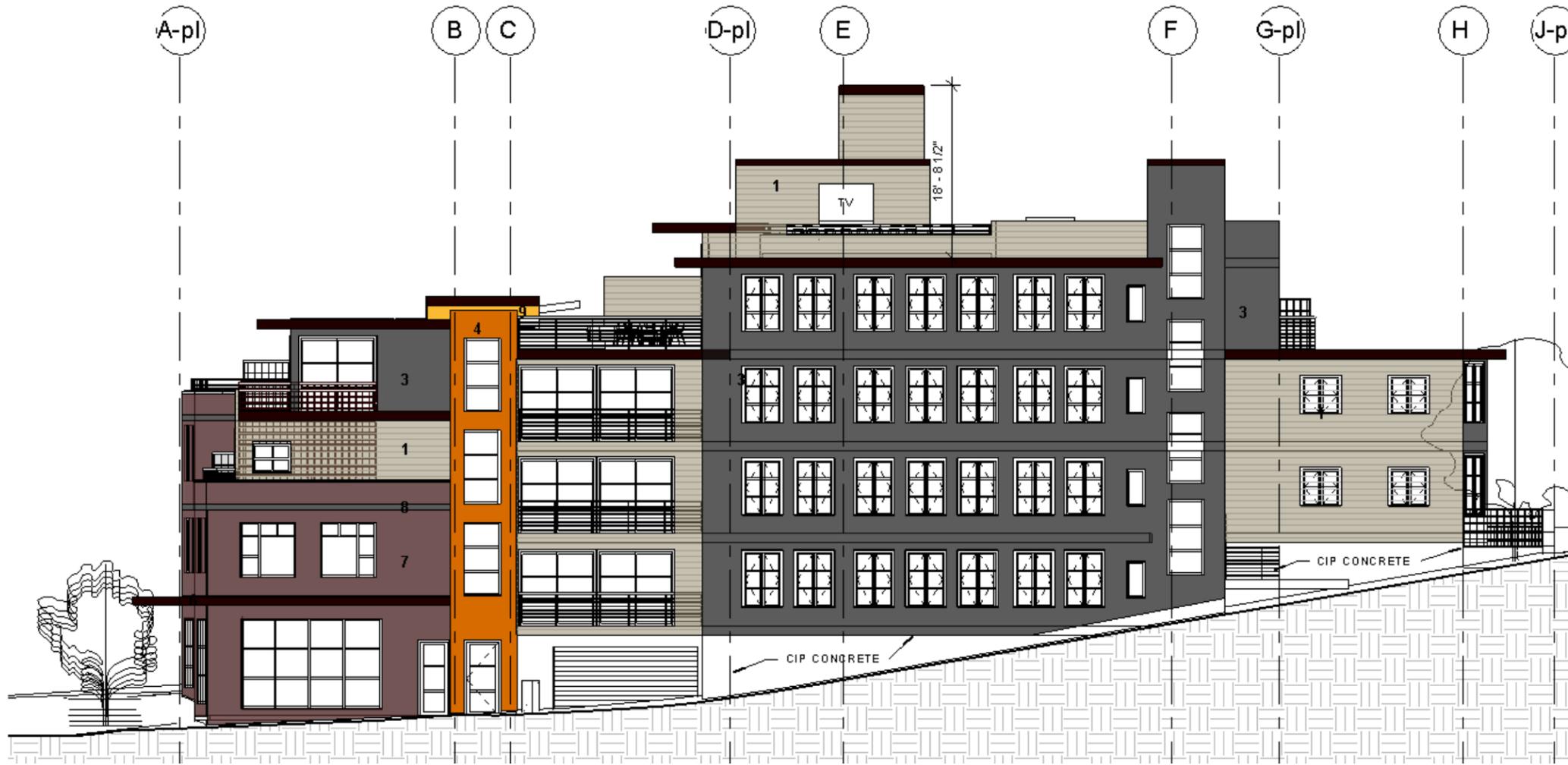
**SW CORNER VIEW: ROOF TOP**

- Primary common roof top amenities are up the upper most roof – split between the elevator / stair tower configuration at the middle of the complex.
- Indoor-outdoor common rooftop amenity is set at half level down as shown, screened from adjacent large unit patios, and offering a more private opportunity for unit occupants to entertain.
- Large unit patios at L4 are shaped to provide 450 sq ft of usable area at this level for each of the large 2 bed units. The remainder of this space is recommended as green roof:
  - Taking the entire space for patio will appear oversized for the units... (not comfortable) and
  - will encourage outdoor storage in the further reaches... visible from the roof above.
- AC split units are housed to the north of the upper roof section and screened from view on all sides.



**DESIGN REVIEW: RECOMMENDATION PROPOSAL / 400 ROY STREET APARTMENTS**

**ELEVATION – WEST**



<b>1</b> SW 7038 Tony Taupe Interior / Exterior Locator Number: 209-C	<b>3</b> SW 7069 Iron Ore Interior / Exterior Locator Number: 251-C7			
<b>2</b> SW 7514 Foothills Interior / Exterior Locator Number: 240-C7	<b>4</b> SW 6642 Rhumba Orange Interior / Exterior Locator Number: 121-C8			
<b>5</b>	<b>6</b>	<b>7</b>	<b>8</b>	<b>9</b>

Monticello Maple  
 Pattern # TR10208



**DESIGN REVIEW: RECOMMENDATION PROPOSAL / 400 ROY STREET APARTMENTS**

**ELEVATION – EAST / C&M**



SIGNAGE

SIGN



**WEST VIEW FROM ACROSS 4TH AVE N.**



**WEST ELEVATION VIEW ACROSS 4TH AVE N.**



SE CORNER VIEW



# 400 ROY STREET

APARTMENT COMPLEX

-  L1 RECESSED CAN LIGHT - FLOOD
-  L2 RECESSED CAN LIGHT - FLOOD - MOUNT AT CANOPY STRUCTURE
-  L3 WALL MOUNTED EXTERIOR WALL LIGHT OVER EXTERIOR DOOR



-  L4 WALL MOUNTED LIGHT OVER OUTDOOR KITCHENS AT ROOF



-  L5 LANDSCAPE UPLIGHT AT ROOF TOP PLANTERS / AND AT RECESSED COURTYARD



-  exit WALL MOUNTED EXIT SIGN

-  LIGHT "POOL" CAST ON SFC BELOW BEYOND ROOF OR CANOPY LINE

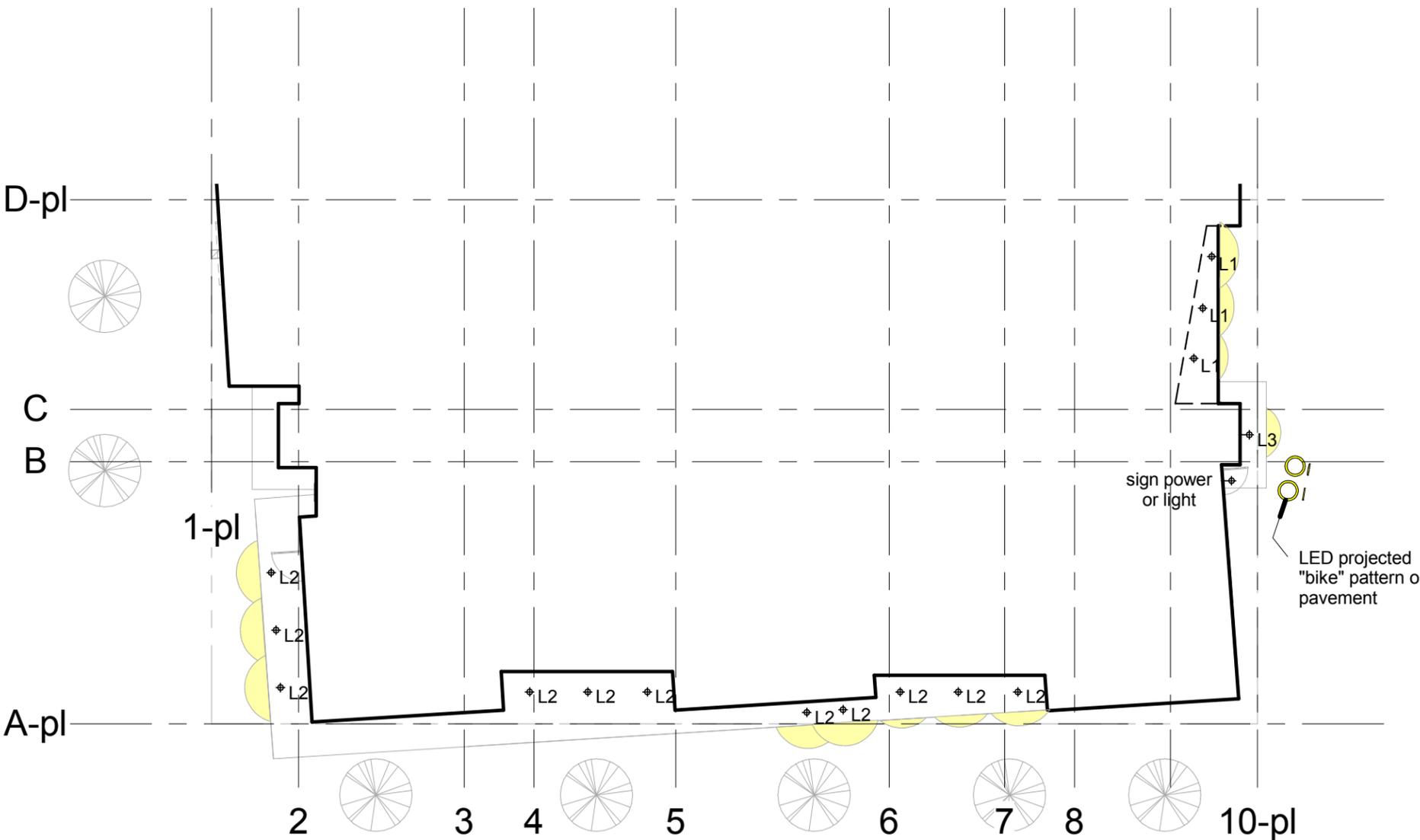
-  EXTERIOR LIGHTING  
1/4" = 1'-0"

EXTERIOR LIGHTING - ROY ST

## DRB-11

Scale As indicated 01/10/16

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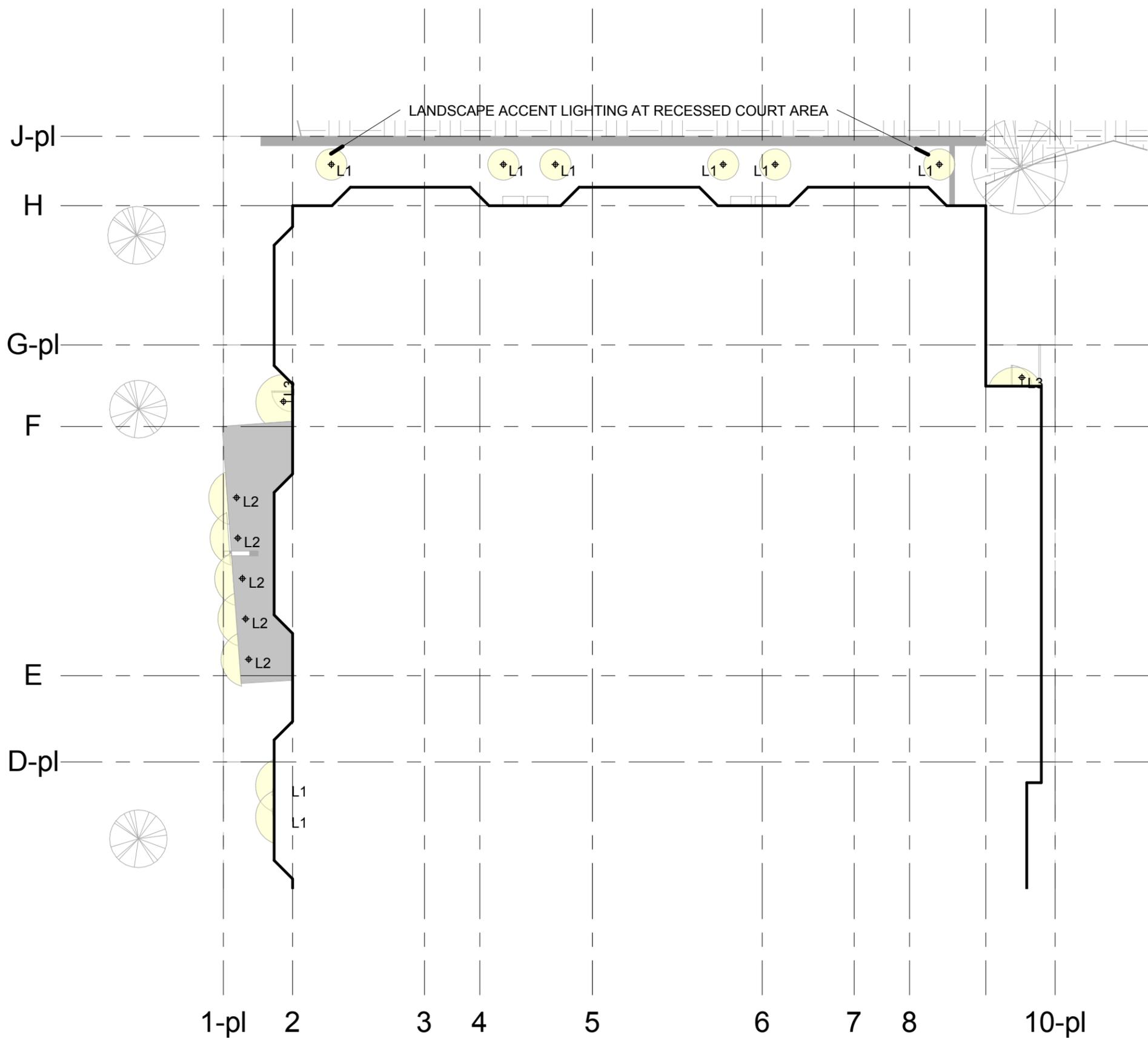


1 PRKG - RETAIL exterior ltg plan  
1/16" = 1'-0"

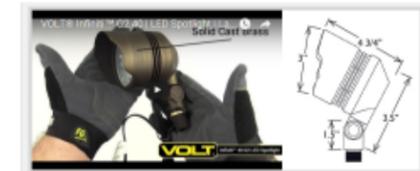


# 400 ROY STREET

APARTMENT COMPLEX



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-  L5 LANDSCAPE UPLIGHT AT ROOF TOP PLANTERS / AND AT RECESSED COURTYARD
-  exit WALL MOUNTED EXIT SIGN
-  LIGHT "POOL" CAST ON SFC BELOW BEYOND ROOF OR CANOPY LINE
-  EXTERIOR LIGHTING  
1/4" = 1'-0"



① 4th ave l1 exterior lgt plan  
1/16" = 1'-0"

EXTERIOR LIGHTING - 4TH AVE N

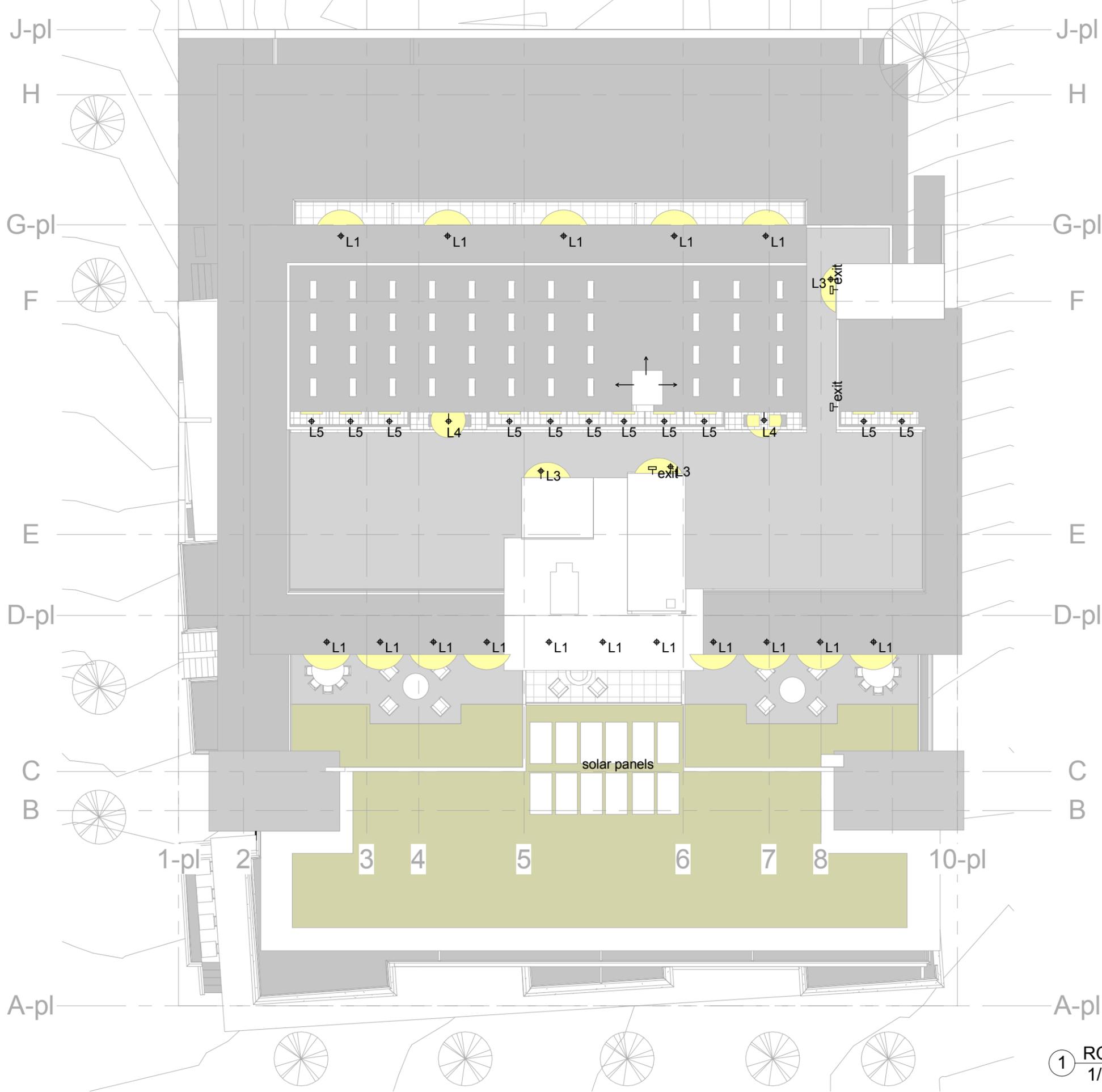
## DRB-12

Scale As indicated 01/10/16



# 400 ROY STREET

APARTMENT COMPLEX

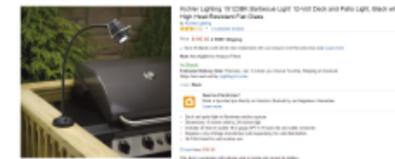


- L1 RECESSED CAN LIGHT - FLOOD
- L2 RECESSED CAN LIGHT - FLOOD - MOUNT AT CANOPY STRUCTURE

- L3 WALL MOUNTED EXTERIOR WALL LIGHT OVER EXTERIOR DOOR



- L4 WALL MOUNTED LIGHT OVER OUTDOOR KITCHENS AT ROOF



- L5 LANDSCAPE UPLIGHT AT ROOF TOP PLANTERS / AND AT RECESSED COURTYARD



- exit WALL MOUNTED EXIT SIGN

- LIGHT "POOL" CAST ON SFC BELOW BEYOND ROOF OR CANOPY LINE

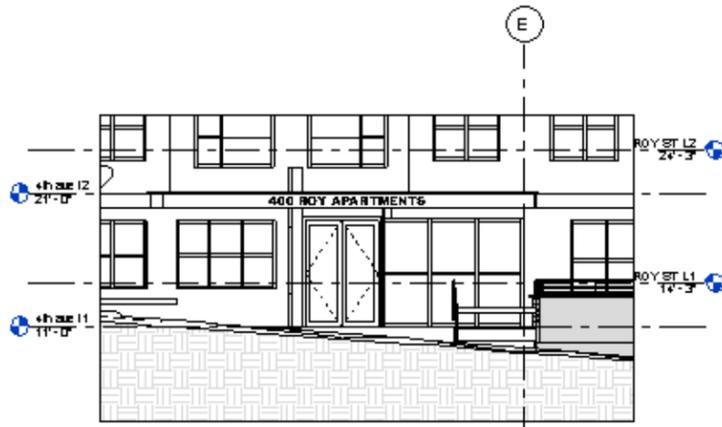
- EXTERIOR LIGHTING  
1/4" = 1'-0"

EXTERIOR LIGHTING - ROOF

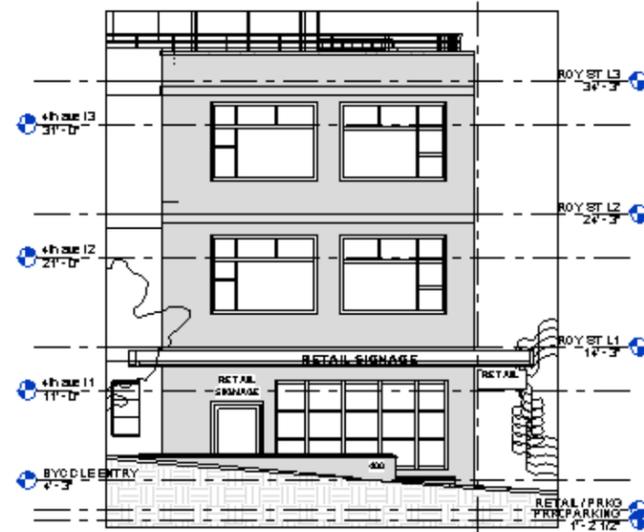
## DRB-13

Scale As indicated 01/10/16

1 ROOF PLAN - lighting plan  
1/16" = 1'-0"



1 WEST ELEVATION - 4TH AVE N - s/nage 1  
3/16" = 1'-0"

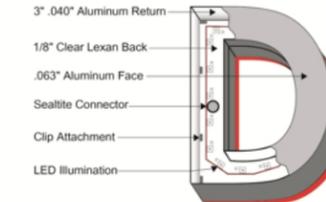


2 WEST ELEVATION - 4TH AVE N - s/nage 2  
3/16" = 1'-0"

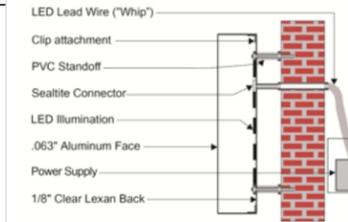


REVERSE CHANNEL LIT SIGNAGE AT PRIMARY BUILDING IDENTIFICATION RETAIL SIGNAGE WILL BE DEVELOPED BY INDIVIDUAL RETAILERS IN COMPLIANCE WITH THE SEATTLE SIGNAGE CODE.

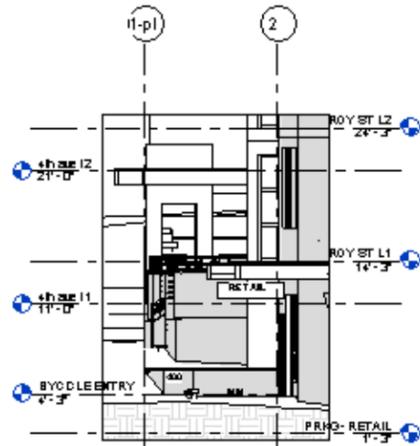
Reverse Lit Channel Letters



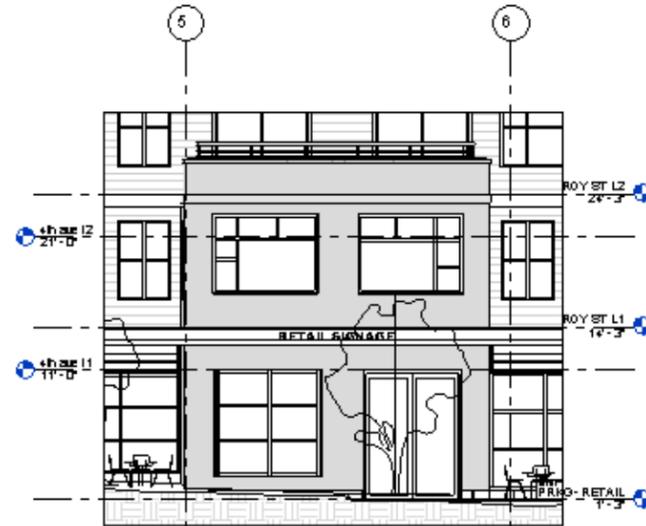
FRONT VIEW



SIDE VIEW



3 SOUTH ELEVATION - s/nage 3  
3/16" = 1'-0"



4 SOUTH ELEVATION - s/nage 4  
3/16" = 1'-0"

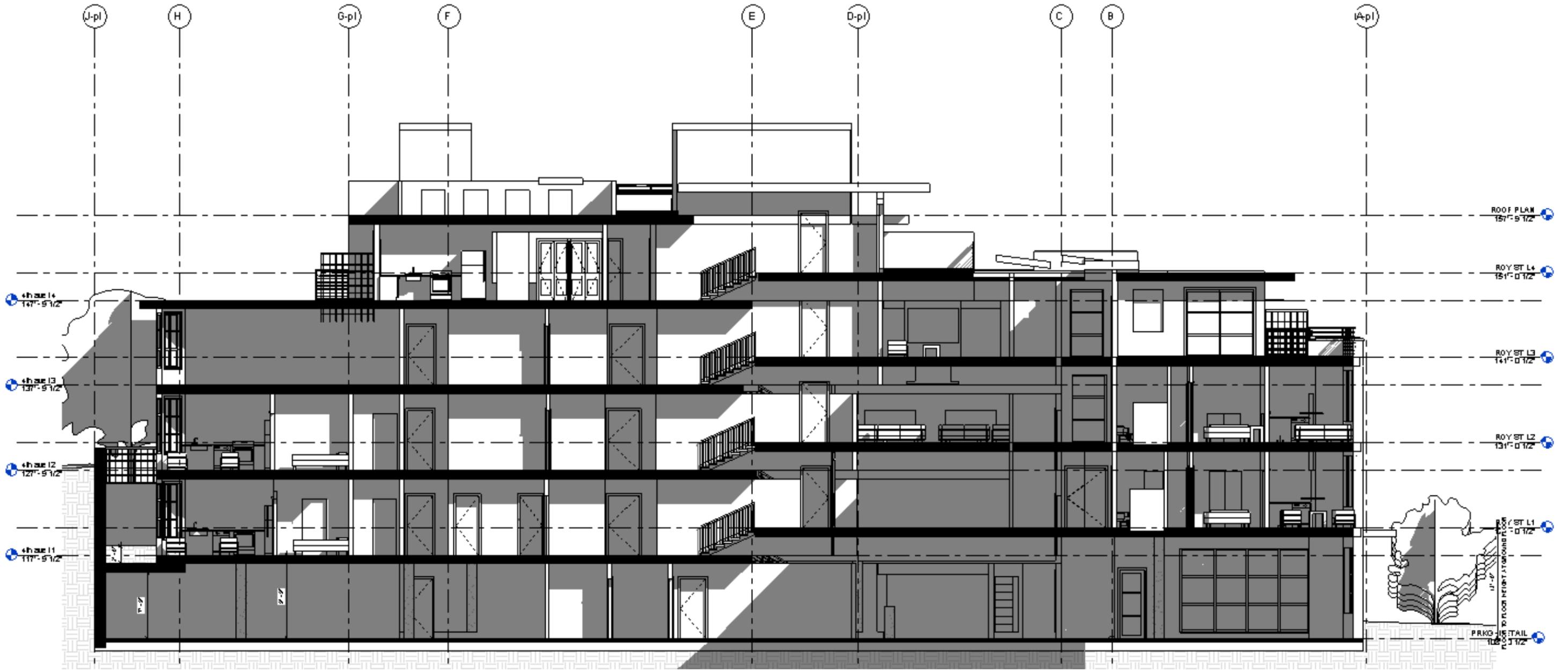


5 EAST ELEVATION - s/nage 5  
3/16" = 1'-0"



DESIGN REVIEW: RECOMMENDATION PROPOSAL / 400 ROY STREET APARTMENTS

**SIGNAGE CONCEPT PLAN**

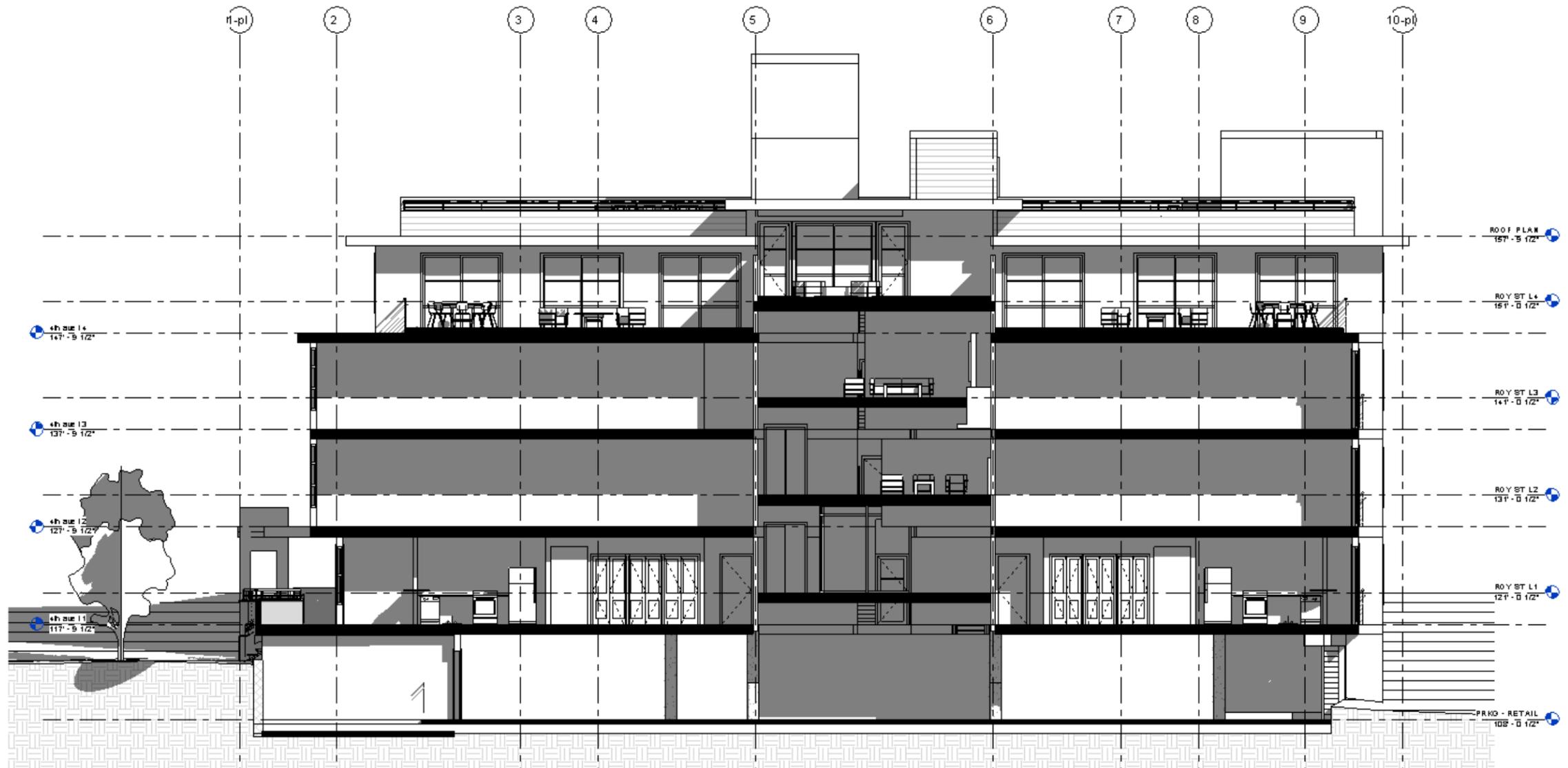


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**BUILDING SECTIONS**

01/10/16



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**BUILDING SECTIONS**

01/10/16

PERTINENT CITY WIDE / UPTOWN DESIGN GUIDELINES.

**KEY ADVANTAGES IN GRANTING THE DEPARTURE REQUEST IN THE CONTEXT OF CITY WIDE/ UPTOWN DESIGN GUIDELINES.**

**DEPARTURE REQUEST RATIONALE**

*The proposed departure relates directly to the residential massing of the project along 4<sup>th</sup> avenue. It offers several advantages relating directly to the relevant design guidelines.*

**CS3 Architectural Context and Character**

**Citywide Guideline:**  
Contribute to the architectural character of the neighborhood.

**Uptown Supplemental Guidance**

**I. Architectural Context**  
The Uptown Park character area emphasizes the nature of the lots, continuity—the relationship of built structures over time. This relationship is emphasized through the use of historic architectural elements, maintaining the key elements of historicity buildings.

**DC2 Architectural Concept**

**Citywide Guideline:**  
Develop an architectural concept that will result in a unified and functional design that fits well on the site and within its surroundings.

**Uptown Supplemental Guidance**

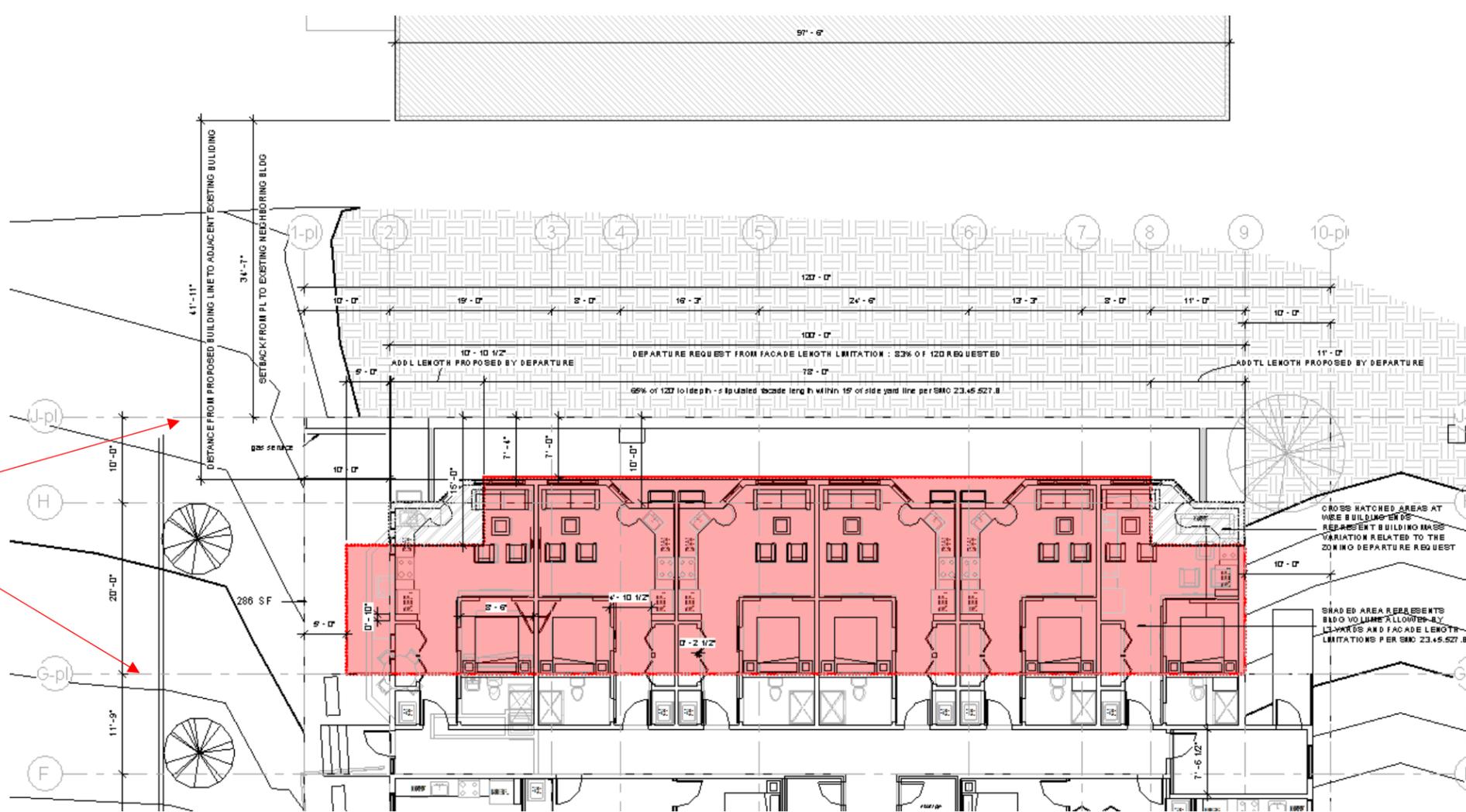
**I. Architectural Context**  
The Uptown Park and Heart of Uptown character districts prefer an architecture that emphasizes human scale and quality, detailing and materials, and that remains compatible with the existing community. Generally, the following architectural features are encouraged during the design review process:

- a. Increased architectural detailing;
- b. Individualized elements;
- c. Substantial window detailing and recessed windows;
- d. Ornamentation in window and additional window detailing, formal pergola lines with built-up cornice; and
- e. References to historic architectural styles found in the area including art deco, and the unique styling of Westside Park area buildings.

- "Character...emphasizes...historic continuity...the relationship of built structures over time..."
- "Develop an architectural concept that fits well on the site and within its surroundings."

- Creating a distinctly residential expression facing along 4<sup>th</sup> avenue is clear EDG guidance. The combination of the robust overhang of the low sloped roofs and the series of 3 large bays repeated on both the West and North faces of the residential building mass are strongly grounded in the historic residential character of the area.
- This form is as functional as it is beautiful, enhancing the interior utility of the units and providing added natural light and cross ventilation; its use in the neighborhood grounds the design in the historical context of the residential elements throughout the neighborhood.
- The clean corner joining the west and north faces of the residential building element that this departure allows is one of the key benefits to approval, where the architectural treatment as referenced above is presented clearly and with a quiet dignity to the surrounding neighborhood.

**L3 LOT IS THE NORTHERN MOST 30' ALONG 4<sup>TH</sup> AVE N – FROM GRID GPL TO JPL**



PERTINENT CITY WIDE / UPTOWN DESIGN GUIDELINES.

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**CS2 Urban Pattern and Form**

**Citywide Guideline:**  
Strengthen the most desirable forms, characteristics, and patterns of the streets, block faces, and open spaces in the surrounding area.

**Uptown Supplemental Guidance**

**I. Responding to Site Characteristics**  
Throughout Uptown new developments should, to the extent possible, be sited to further contribute to the neighborhood's pedestrian character.

**II. In the Uptown Urban and Heart of Uptown character areas**  
encourage outdoor dining areas utilizing sidewalks and areas adjacent to sidewalks. Outdoor dining is especially encouraged for sites on block faces with southern exposure.

- "Strengthen the most desirable forms..."
- "New development should...be sited to further contribute to the neighborhood pedestrian character."
- "Major entrances...should be prominent..."
- "Entries should be designed to be pedestrian friendly via position, scale...clearly discernable to the pedestrian."

- The building is sited to maintain a consistent 10' setback from the property line along the entire 4<sup>th</sup> avenue exposure offering:
  - o A landscaped area with pedestrian path and bench seating parallel to the city sidewalk leading to:
  - o The prominent main residential entrance at center mass of the residential section of the building.
  - o Private residential stoops and
  - o a corner retail court at 4<sup>th</sup> and Roy
- This setback and associated elements reinforce the contextual view of the SPACE NEEDLE, one of Seattle's iconic landmarks. The Space needle is prominently framed along the 4<sup>th</sup> ave sidewalk adding to the special character of the neighborhood and

**PL2 Walkability**

**Citywide Guideline:**  
Create a safe and comfortable walking environment that is easy to navigate and well-connected to existing pedestrian walkways and features.

**Uptown Supplemental Guidance**

**I. Entrances Visible from the Street**  
Throughout Uptown, major entrances to developments should be prominent. The use of distinctive design with historical references is strongly encouraged. Design, detailing, materials and landscaping may all be employed to this end. Building addresses and names (if applicable) should be located at entrances, readily visible.

Streets throughout Uptown should be sociable places that offer a sense of security, and residential building projects should make a positive contribution to life on the street.

**II. Pedestrian Open Spaces and Entrances**  
Throughout Uptown entries should be designed to be pedestrian friendly via position, scale, architectural detailing, and materials and should be clearly discernable to the pedestrian.



**CODE CITATION: 23.45.527.B.**

**Maximum façade length in Lowrise zones.**

**1. The maximum combined length of all portions of façades within 15 feet of a lot line that is neither a rear lot line nor a street or alley lot line shall not exceed 65 percent of the length of that lot line, except as specified in subsection 23.45.527.B. 2.**

**CODE REQUIREMENT: 65% of 120' lot width or 78'-0" is the maximum allowable facade length within 15' of the property line within the L3 zone.**

**CODE DEPARTURE: Allow 100' of facade length within 15' of the property line - refer to plan for graphic representation of request compared to the code requirement.**

**Granting the departure request allows us to retain the current generous setback in a consistent plane across the entire west face of the building broken only for the gasket expression. The simplicity and clarity of massing of the residential element is the major contributor to its successful presentation to the neighborhood. Clearly the rationale is to assure that neighboring buildings separated by 14'-30' do not create long narrow spaces between buildings relative to their property depth. Our nearest building is 42' from our furthest proposed projection and measures 97'... 3' less than our proposed length. Refer to Design Guideline specific rationale below**

