



# 121 12th Avenue E

Recommendation Meeting - May 6, 2015  
DPD Project #3017532  
Updated Recommendation Packet

b9 architects



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## OBJECTIVES

Design and construct a residential building containing 51 apartment units

Number of Residential Units (Approx.) 51

Number of Parking Stalls (Approx.) 0

**Sustainability**  
Achieve a 4-Star Built Green certification.  
Utilize reclaimed materials.

**Community**  
The proposal will be designed around a central courtyard that connects directly to 12th Avenue E to the east and opens to a shared and walkway that connects the site from north to south.

## TEAM

ARCHITECT b9 architects

DEVELOPMENT Capitol Hill Development LLC

STRUCTURAL MalsamTsang Engineering

GEOTECHNICAL PanGEO, Inc.



# CITY OF SEATTLE

APPLICATION FOR EARLY DESIGN GUIDANCE

**PART I: CONTACT INFORMATION**

1. Property Address	121 12th Ave E
2. Project number	3017532
3. Additional related project number(s):	N/A
4. Owner/Lessee Name	Capitol Hill Development LLC
5. Contact Person Name	Bradley Khouri
	Firm
	Mailing Address
	City State Zip
	Phone
	Email address
	b9 architects
	610 2nd Avenue
	Seattle, WA 98104
	206.297.1284
	bgk@b9architects.com
6. Applicant's Name	Bradley Khouri
Relationship to Project	Architect
7. Design Professional's Name	Bradley Khouri
Address	610 2nd Avenue
Phone	206.297.1284
Email address	bgk@b9architects.com
Project Designer	Lisa Healy
Address	610 2nd Avenue
Phone	206.297.1284
Email address	lisa@b9architects.com

**PART II: SITE AND DEVELOPMENT INFORMATION**

- Please describe the existing site, including location, existing uses and/or structures, topographical or other physical features, etc.

*The site combines three parcels at the southwest corner of E John St. and 12th Ave. E. There are three existing buildings on the site that house a variety of uses - one duplex, one triplex and one office building. The site slopes about 6 feet down to the west and 2 feet to the south. At this location noth E John St. and 12th Ave. E are considered minor arterials. E John St. serves Olive Way to the west and 23rd Ave. to the E. 12th Avenue E serves Jackson Street to the south and E Aloha Street to the north.*
- Please indicate the site's zoning and any other overlay designations, including applicable Neighborhood Specific Guidelines.

*The site is zoned LR3 and is within the boundaries of the Capitol Hill Urban Center Village and a frequent transit corridor. The site is within the Capitol Hill Planning Area and is therefore required to respond to the Capitol Hill Neighborhood Design Guidelines.*
- Please describe neighboring development and uses, including adjacent zoning, physical features, existing architectural and siting patterns, views, community landmarks, etc.

*The site is a prominent corner at E John St. and 12th Ave E. Neighboring development around the site is predominantly multifamily structures with one single family structure adjacent to the west. Cal Anderson Park is one block south and one block west with the Sound Transit Light Rail Capitol Hill Station under construction beneath Nagel Place. Volunteer Park is located seven blocks to the north and contains the Seattle Asian Art Museum, the Volunteer Park Conservatory, reservoir and the water tower. The site is walking distance to three commercial districts, Broadway, 15th Avenue E and Pike-Pine.*
- Please describe the applicant's development objectives, indicating types of desired uses, structure height (approx), number of residential units (approx), amount of commercial square footage (approx), and number of parking stalls (approx). Please also include potential requests for departure from development standards.

*The proposed development will extend the desirable aspects of Capitol Hill while continuing a pattern of creating new housing in one of Seattle's most characteristic neighborhoods. The structure will provide approximately 51 units. The structure will be built to the maximum height allowed (44 ft.) with a partially below-grade story and will request the following departures from development standards:*

  - SMC 23.47A.014.B1 Setback Requirements
  - SMC 23.45.527.B1 Facade Length Requirements
  - SMC 23.45.527.A Facade width

# ZONING ANALYSIS

**23.45.004 PERMITTED USES:**

- Residential Use: Townhouse and Single Family

**23.45.514 HEIGHT:**

- Maximum height is 30 feet for Townhouse Developments in LR3 in Urban Centers, Urban Villages, and Station Area Overlay Districts.
- Open railings, planters, skylights, clerestories, greenhouses, solariums, parapets and firewalls may extend up to 4 feet above the otherwise applicable height limit, whichever is higher.
- The high side(s) of a shed or butterfly roof may extend 3 feet above the height limits set in the otherwise applicable height limit, whichever is higher.
- The height limit is increased 4 feet above the height shown on Table A for 23.45.514 for a structure that includes a story that is partially below-grade

**23.45.514 HEIGHT: ROOFTOP FEATURES:**

- Mechanical equipment may extend up to 15 feet above the applicable height limit, as long as the combined total coverage of all features gaining additional height does not exceed 20 percent of the roof area, or 25 percent of the roof area if the total includes stair or elevator penthouses or screened mechanical equipment.
- Stair and elevator penthouses may extend above the applicable height limit up to 16 feet.

**TABLE A FOR 23.45.010 FLOOR AREA RATIO:**

- LR3, Inside an Urban Village, for Townhouse Developments 1.2 or 1.4. The higher FAR limit applies if the project meets the standards of subsection 23.45.510.C
- In order to qualify for the higher FAR limit shown in Table A for 23.45.510, certain standards shall be met regarding: green building performance standards; alley access and improvement standards; parking location if parking is required; access to parking if parking is provided.

**TABLE A FOR 23.45.512 DENSITY:**

- Density Limits in Lowrise Zones: 1/1600 or No limit for Townhouses in LR3 zone. For townhouses that meet the standards of subsection 23.45.510.C, there is no density limit in LR2 and LR3 zones.

**TABLE A FOR 23.45.527 STRUCTURE WIDTH:**

- LR3 inside Urban Villages, Urban Centers or Station Area Overlay Districts is 150 feet.
- The maximum combined length of all portions of facades within 15 feet of a lot line that is neither a rear lot line nor a street or alley lot line shall not exceed 65 percent of the length of that lot line, except as specified in subsection 23.45.527.B.2.

**TABLE A FOR 23.45.518 SETBACKS AND SEPARATIONS:**

For All LR Zones:

Setback	Single-Family	Townhouse Dev.
Front	7 feet avg, 5 min.	7 feet avg, 5 min.
Rear	0 with Alley, 7 if no alley	7 feet avg, 5 min.
Side Setback for Facades 40' or less	5 feet	5 feet
Side Setback for Facades 40' or greater	5 feet min.	7 feet avg, 5 min.

**23.54.015 / 23.54.030/ 23.45.536 PARKING:**

- Table B Residential Uses – Residential uses in commercial and multifamily zones within urban centers or within the Station Area Overlay District(1) - No minimum requirement.

**23.45.524 LANDSCAPING STANDARDS**

- All landscaping provided to meet requirements under this Section 23.45.524 shall meet standards promulgated by the Director to provide for the long-term health, viability, and coverage of plantings.
- Landscaping that achieves a Green Factor score of 0.6 or greater, determined as set forth in Section 23.86.019, is required for any lot with development containing more than one dwelling unit in Lowrise zones. Vegetated walls may not count towards more than 25 percent of a lot's Green Factor score.
- Street trees are required if any type of development is proposed, except as provided in subsection 23.45.524.B . 2 and B.3 below and Section 23.53.015. Existing street trees shall be retained unless the Director of Transportation approves their removal.

**23.45.522 AMENITY AREA:**

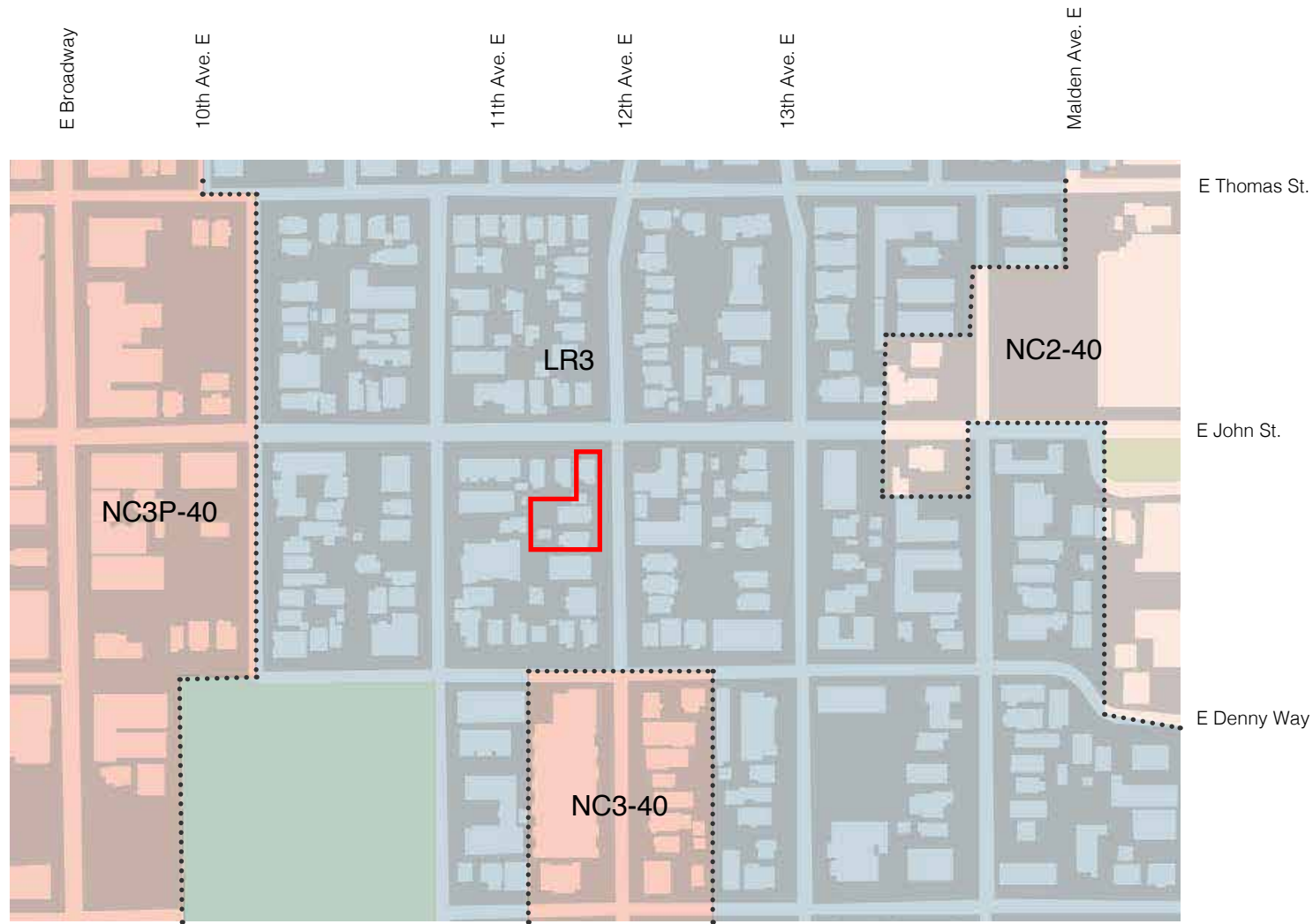
- The required amount of amenity area for apartments in LR zones is equal to 25 percent of the lot area.
- A minimum of 50 percent of the required amenity area shall be provided at ground level.
- For apartments, amenity area required at ground level shall be provided as common space.
- All units shall have access to a common or private amenity area.
- Projections into amenity areas. Structural projections that do not provide floor area, such as garden windows, may extend up to 2 feet into an amenity area if they are at least 8 feet above finished grade.
- Common amenity area for apartments shall meet the following conditions:
  - a. No common amenity area shall be less than 250 square feet in area, and common amenity areas shall have a minimum horizontal dimension of 10 feet.
  - b. Common amenity area shall be improved as follows:
    - 1) At least 50 percent of common amenity area provided at ground level shall be landscaped with grass, ground cover, bushes and/or trees.
    - 2) Elements that enhance the usability and livability of the space for residents, such as seating, outdoor lighting, weather protection, art, or other similar features shall be provided.

**23.45.529 DESIGN STANDARDS:**

- Application of provisions. The provisions of this Section 23.45.529 apply to all residential uses that do not undergo any type of design review pursuant to Chapter 23.41, except single-family dwelling units.

**23.45.545 STANDARDS FOR CERTAIN ACCESSORY USES:**

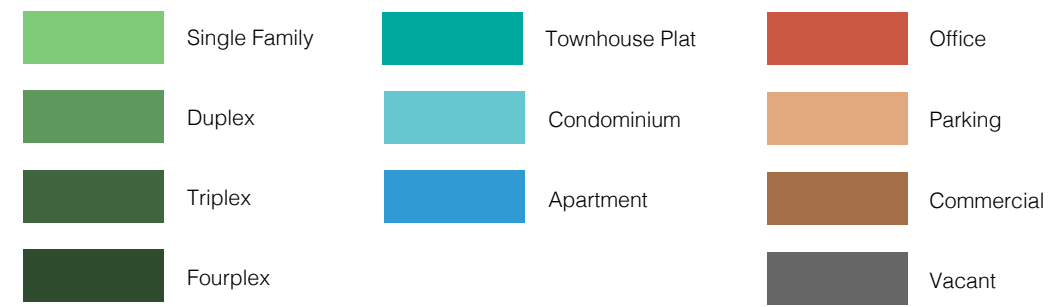
- Solar collectors on roofs. Solar collectors that meet minimum written energy conservation standards administered by the Director and that are located on a roof are permitted as follows:
  - a. In Lowrise zones up to 4 feet above the maximum height limit or 4 feet above the height of elevator penthouse(s).



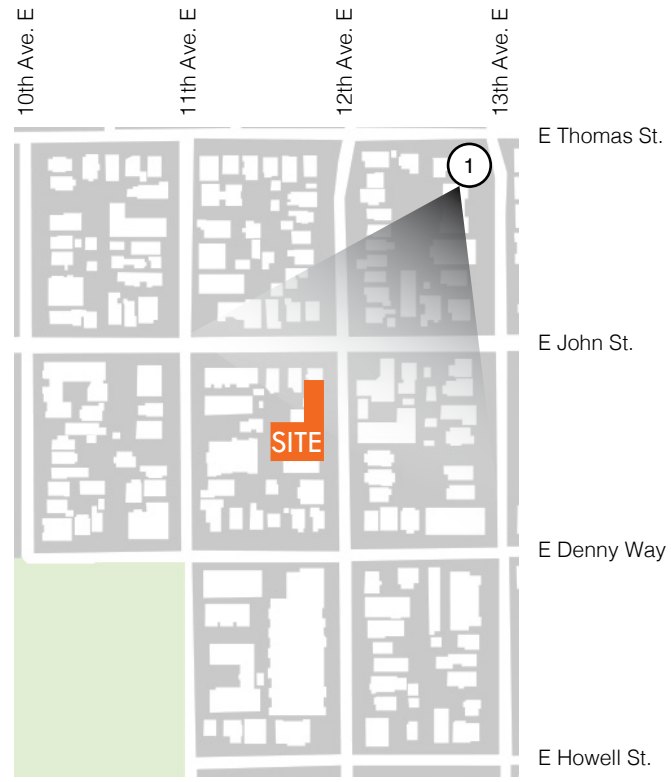
Seattle DPD Zoning Map  
(entire area lies within Capitol Hill Urban Center Village)



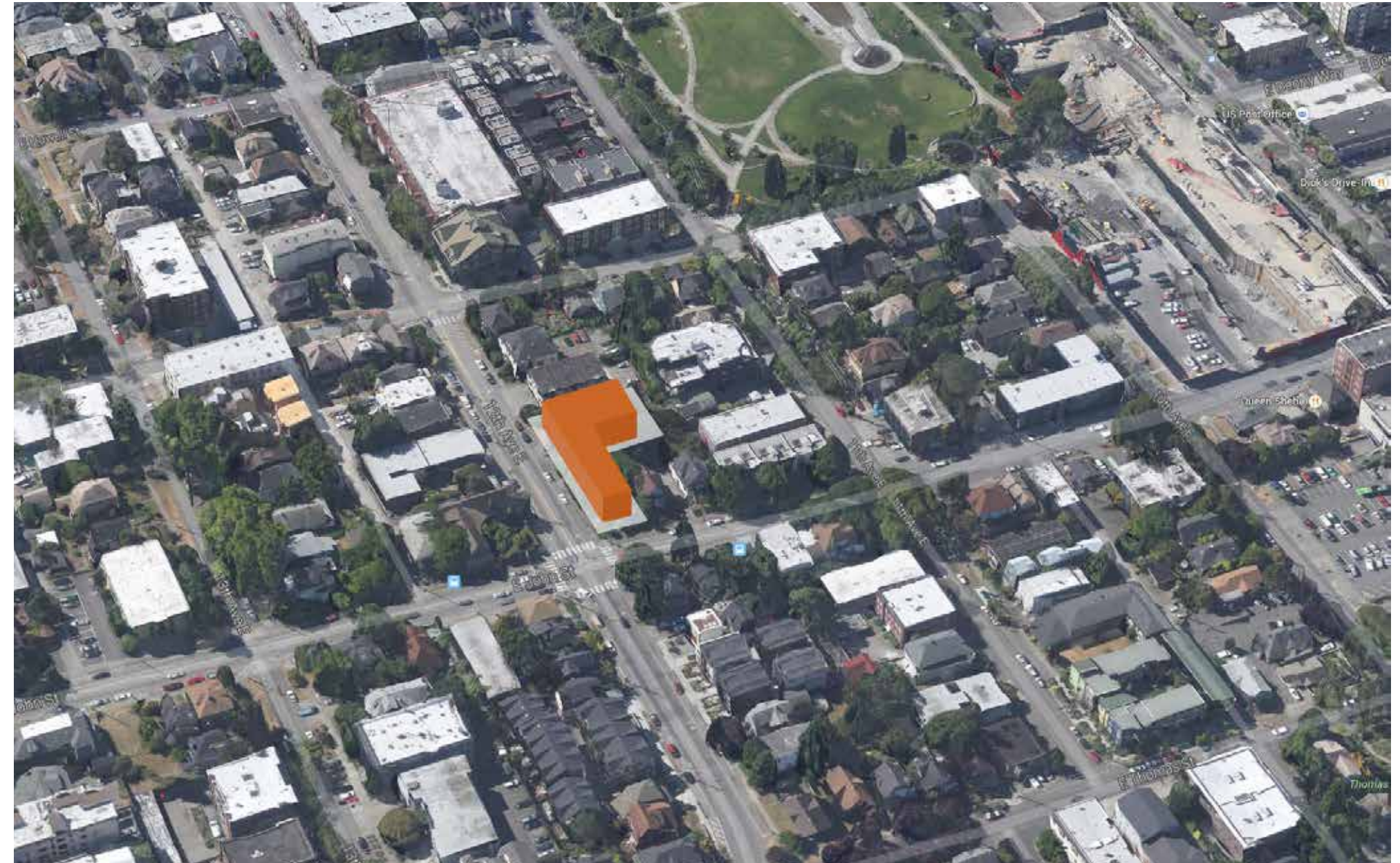
Adjacent Uses







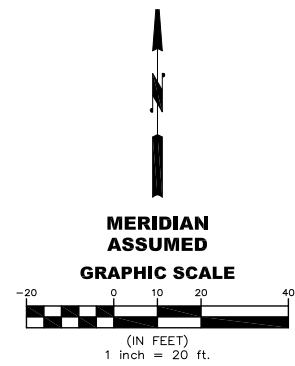
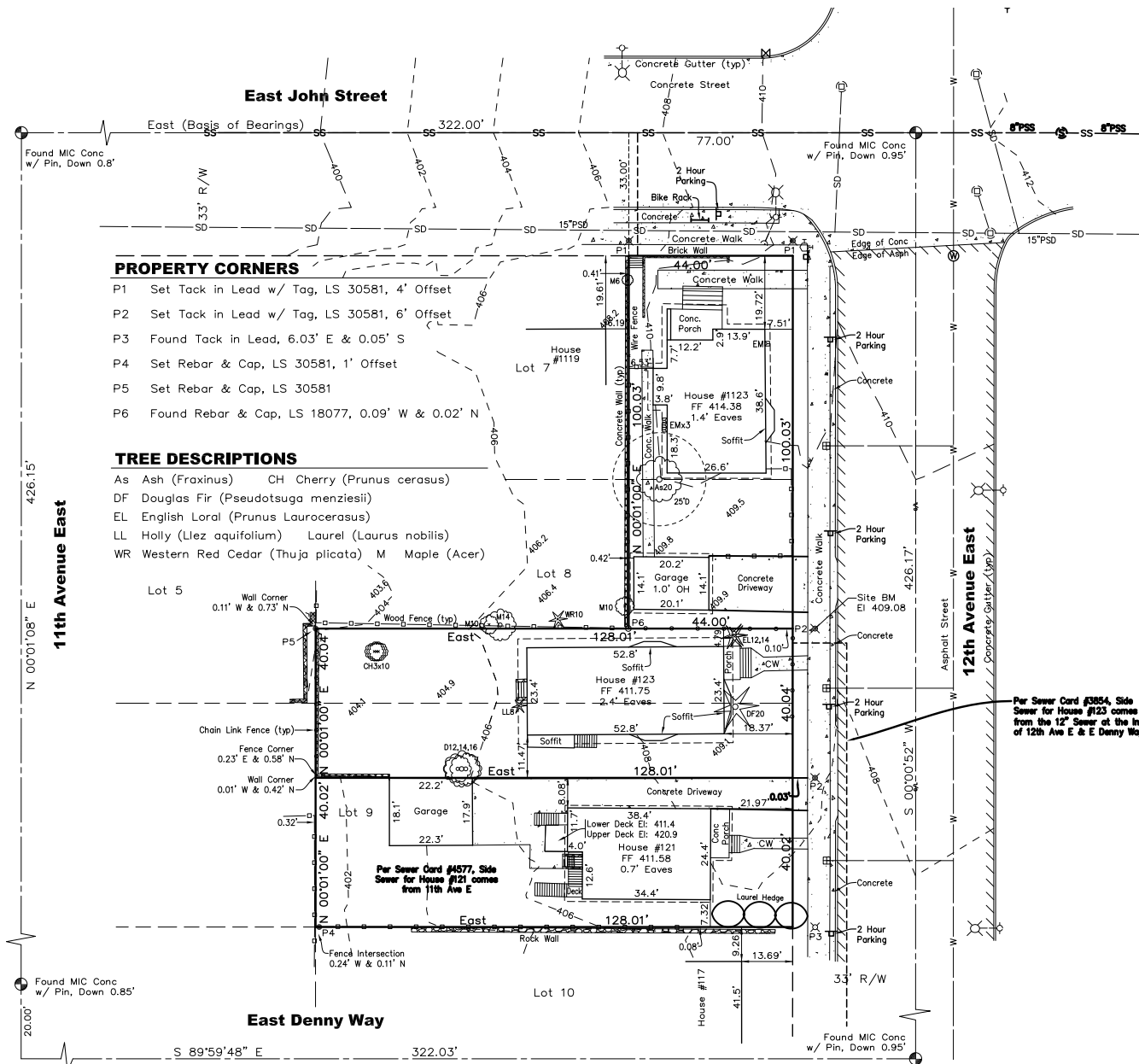
# SITE OVERVIEW



1 Aerial



# SURVEY



## LEGAL DESCRIPTIONS

1123 E. John St:  
THE EAST 44 FEET OF LOT 7 AND THE EAST 44 FEET OF THE NORTH 40 FEET OF LOT 8, BLOCK 44, JOHN H. NAGLES 2nd ADDITION TO THE CITY OF SEATTLE ACCORDING TO THE PLAT THEREOF, RECORDED IN VOLUME 5 OF PLATS, PAGE 67, RECORDS OF KING COUNTY, WASHINGTON.

APN 600350-0890

123 12th Avenue E:  
THE SOUTH 20 FEET OF LOT 8 AND THE NORTH 20 FEET OF LOT 9, BLOCK 44, JOHN H. NAGLES 2nd ADDITION TO THE CITY OF SEATTLE ACCORDING TO THE PLAT THEREOF, RECORDED IN VOLUME 5 OF PLATS, PAGE 67, RECORDS OF KING COUNTY, WASHINGTON.

APN 600350-0810

121 12th Avenue E:  
THE SOUTH 40 FEET OF LOT 9, BLOCK 44, JOHN H. NAGLES 2nd ADDITION TO THE CITY OF SEATTLE ACCORDING TO THE PLAT THEREOF, RECORDED IN VOLUME 5 OF PLATS, PAGE 67, RECORDS OF KING COUNTY, WASHINGTON.

APN 600350-0820

## SURVEY NOTES

INSTRUMENT USED: SOKKIA SET 5 EDM  
METHOD USED: FIELD TRAVERSE

APPROXIMATE POINT ACCURACY: ±0.05'

SURVEY MEETS OR EXCEEDS STATE STANDARDS PER WAC 332-130-090.

MONUMENTS SHOWN HEREON WERE VISITED ON AUGUST 12, 2012.

THE INFORMATION SHOWN ON THIS MAP REPRESENTS THE RESULTS OF A SURVEY MADE ON THE INDICATED DATE AND CAN ONLY BE CONSIDERED AS THE GENERAL EXISTING CONDITION AT THAT TIME.

NO EASEMENTS, RESTRICTIONS OR RESERVATION OF RECORD WHICH WOULD BE DISCLOSED BY A TITLE REPORT ARE SHOWN.

VERTICAL DATUM - NAVD 1988  
CONTOUR INTERVAL - 2 FEET

BENCH MARK: POINT NAME: SNV-2640: Brass Cap stamped 'C of S 2640' 0.5' W and 0.5' N of Int Front CW @ SE Cor E. John St & 11th Ave E. Elev: 338.005

## SURVEY IN THE:

S.E. 1/4, S.E. 1/4 SEC. 29 TWP. 25N., RGE. 4E., W.M.





1 View from backyard of 1119 E John St. looking SE



2 View from backyard of 123 12th Ave. E looking W



3 View from backyard of 123 12th Ave. E looking NW



4 View from backyard of 121 12th Ave. E looking S

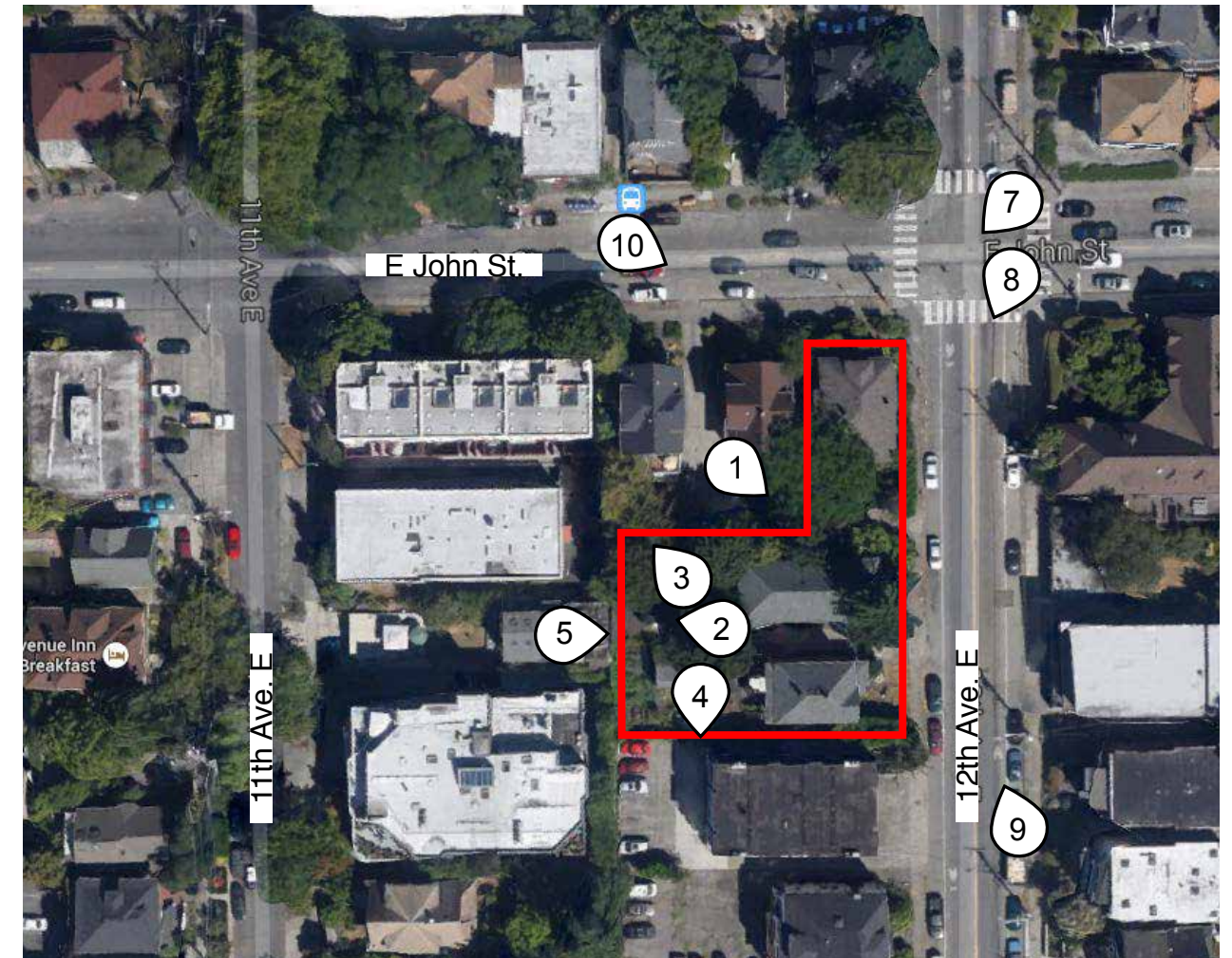


5 View from backyard of 122 11th Ave E. looking E

## EXISTING SITE CONDITIONS

The project site is located on the southwest corner of 12th Avenue E and E John Street on Capitol Hill. An existing duplex, triplex and office building currently occupy the site and will be demolished. The site dimensions are approximately 180 ft. north-south and 128 ft. east-west.

The site has phenomenal access to both the Capitol Hill neighborhood and greater Seattle. E Broadway and 15th Ave. E are close by and both have a mixture of restaurants, retail and offices. Cal Anderson Park is a great amenity just one block south of the site and Volunteer Park is seven blocks to the north. Metro bus lines numbers 9, 49, 60 and 10 serving downtown Seattle, Rainer Beach, the University District, Seattle Center, Montlake, Westwood Village, Georgetown and Beacon Hill are also within a 5-minute walk. The Capitol Hill light rail station is under construction three blocks away at E Broadway and will provide access south to SeaTac Airport and north to Lynnwood.







7 NE corner of 12th Ave. E and E John St. looking SW



8 12th Ave. E looking SW

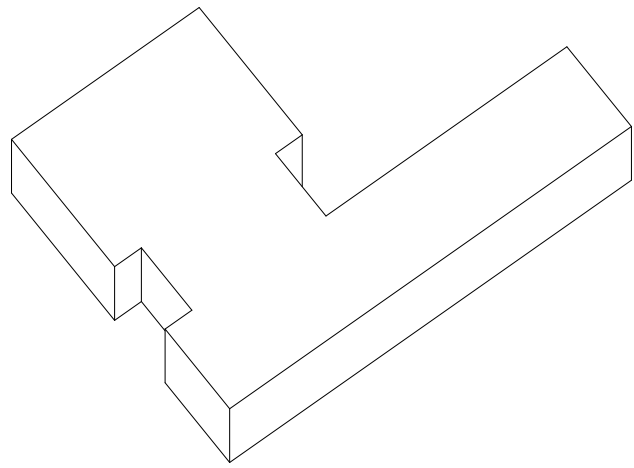


9 12th Ave. E looking NW

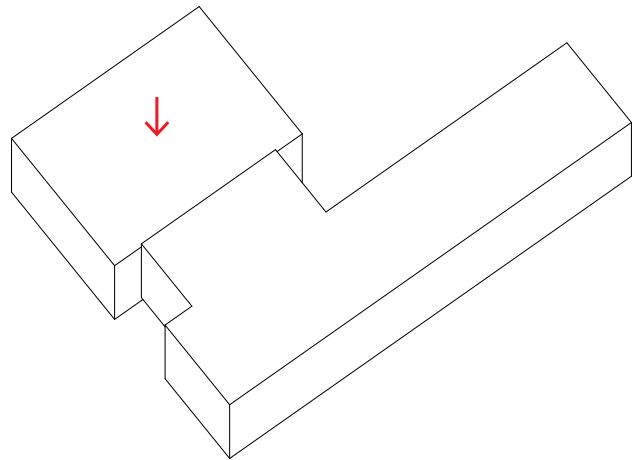


10 E John St. looking SE

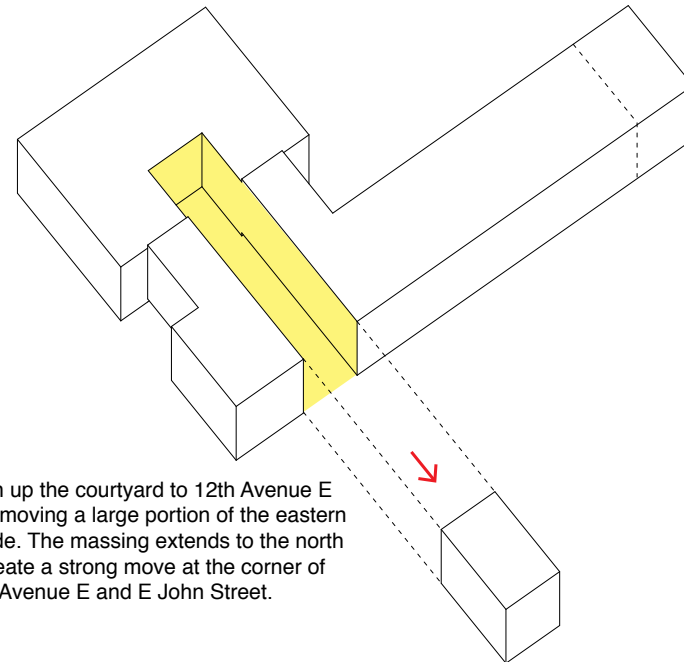
# EDG DEVELOPMENT



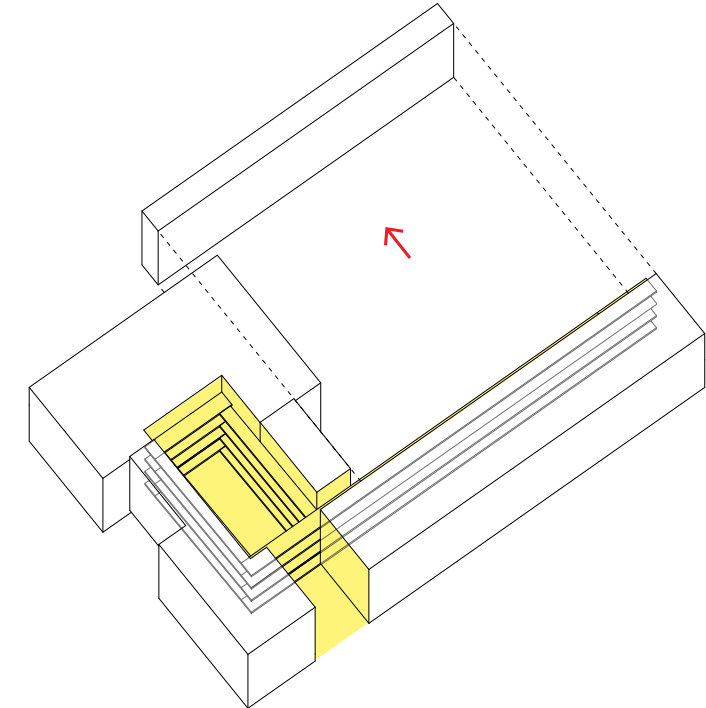
1 Begin with allowable zoning envelope on an irregular shaped lot.



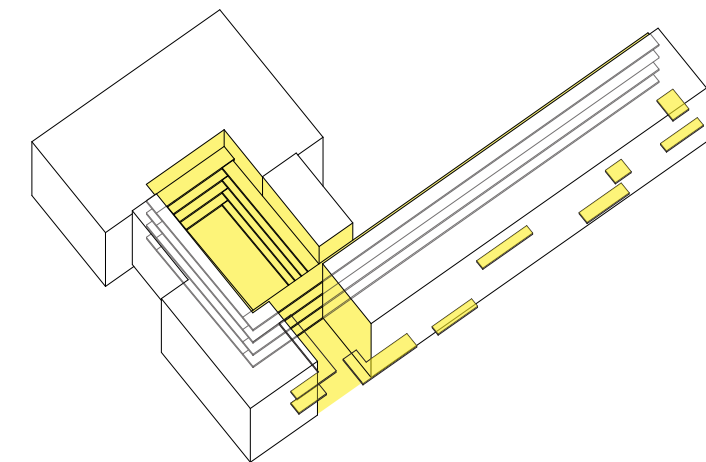
2 Step the building down at the west portion of the site to better fit the natural topography.



3 Open up the courtyard to 12th Avenue E by removing a large portion of the eastern facade. The massing extends to the north to create a strong move at the corner of 12th Avenue E and E John Street.



4 Massing is removed along the west property line to provide room for a network of exterior walkways and provides a larger setback to the adjacent residential structure to the west.



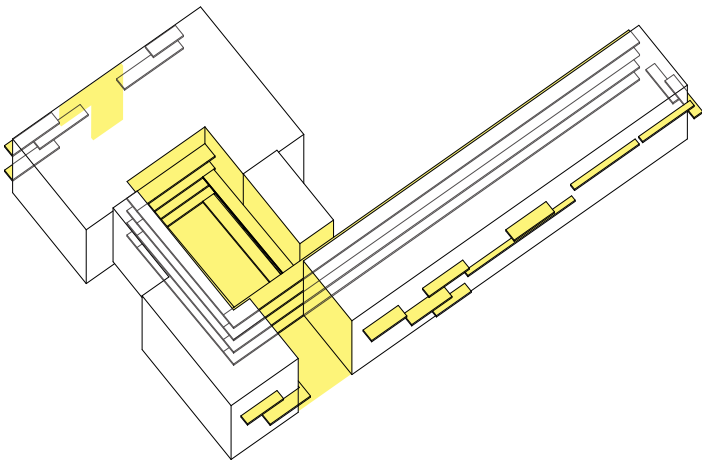
5 Preferred Design at Early Design Guidance - Activation at street facade



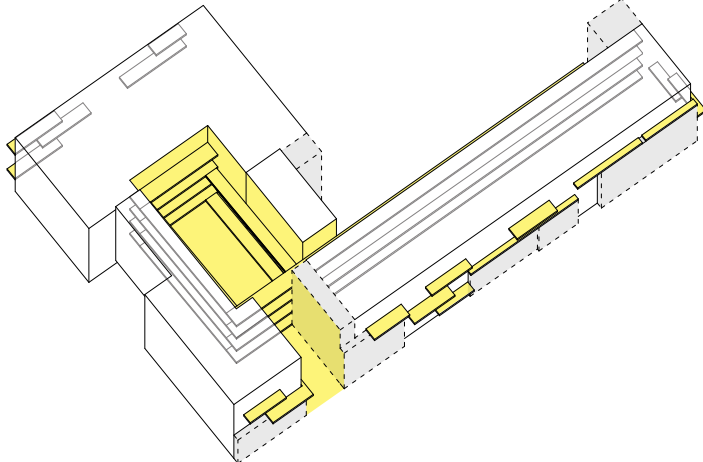
# DESIGN EVOLUTION

Revisions after Early Design Guidance Meeting:

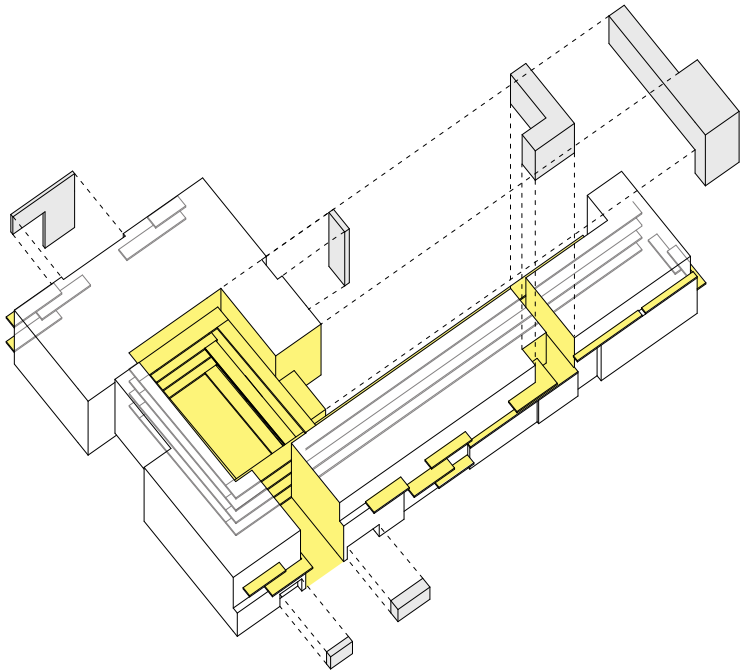
- Extend exterior walkways and decks to exterior facades to create rhythm and visual interest along facades and to be consistent with the Capitol Hill vernacular
- Provide massing modulation along the street facades to reduce the perceived façade length and create a more pleasing proportion to the overall building
- Provide a strong architectural response to the prominent location at the corner of 12th Avenue E and E John Street that is consistent with the overall facade articulation and proportion along the facade fronting onto 12th Avenue E.
- Relocate the transformer vault away from the corner at E John Street



6 The network of exterior walkways and decks extend to the exterior facades and are highlighted by the use of bright colors. The bright colors used in the courtyard also extend to the west facade to show a visual connection throughout the project



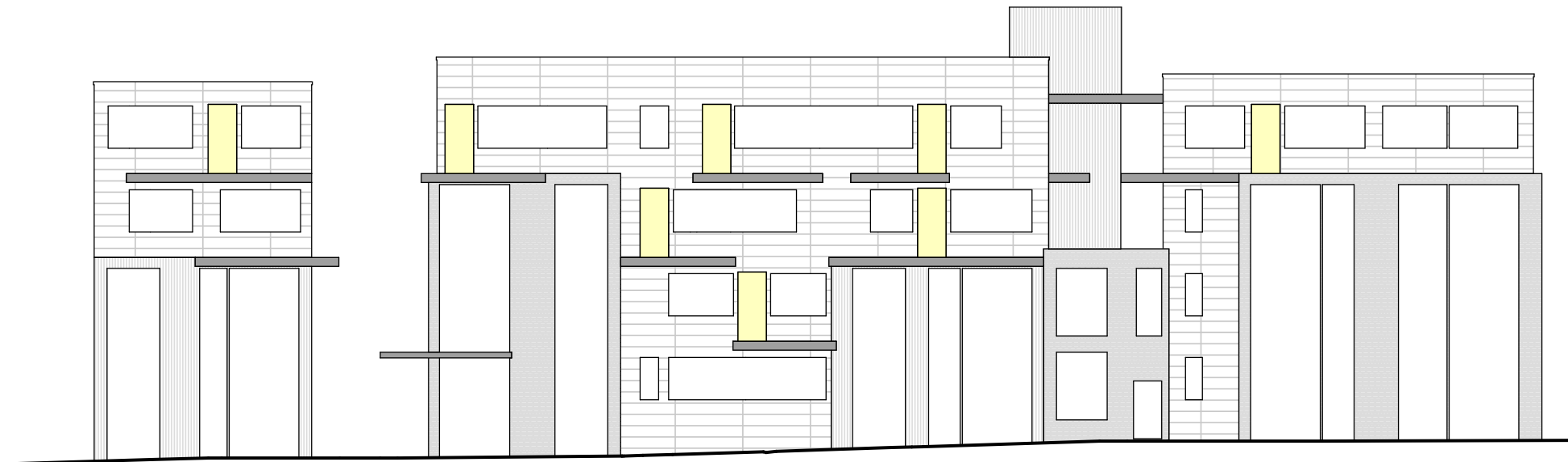
7 Massing modulation is added along the street facades to reduce the perceived facade length and overall height, bulk and scale of the structure while creating a strong architectural presence at the corner of 12th Avenue E and E John Street.



8 Massing is carved away at exterior facades to further open up the long facade along 12th Avenue E and the central courtyard, provide privacy and security for the partially below-grade units at the street, and modulate the exterior facades in response to the adjacent sites responding to concerns of height, bulk and scale.



## FENESTRATION DIAGRAMS



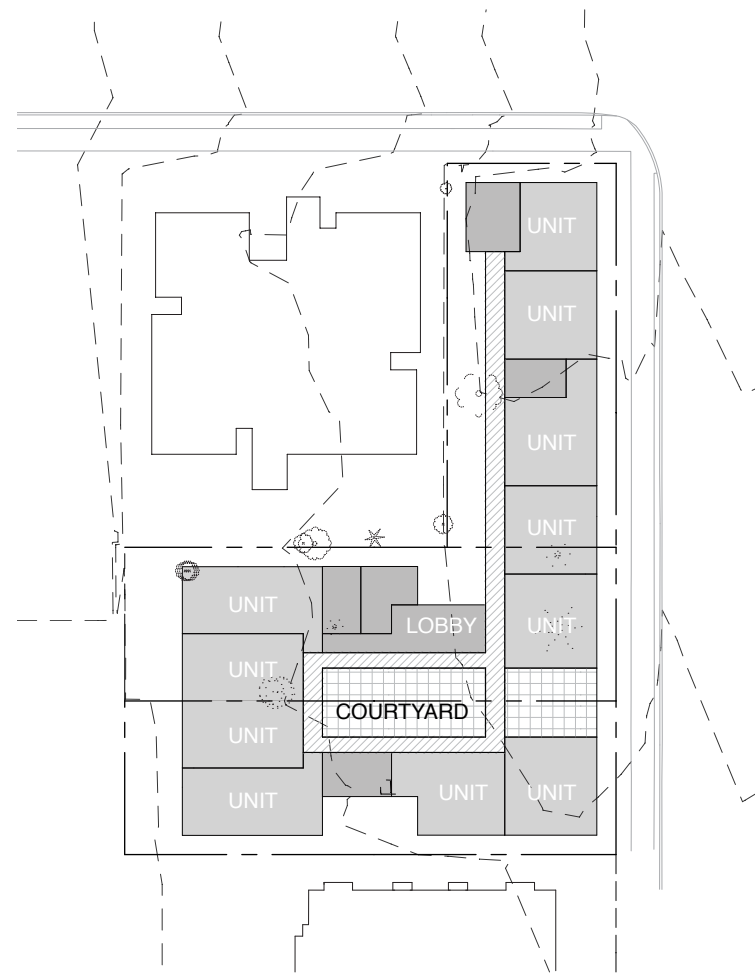
The fenestration strategy is designed to further break down the scale of the building mass by clearly articulating the rhythms of each massing volume. The massing projections at the 1st, 2nd and 3rd stories are articulated by large vertical openings and are detailed with a vertical material. These massing projections have a more regularized glazing strategy and are located at the major points of the project such as the corner and the opening to the shared courtyard. The recessed volumes are detailed with a horizontal material and are articulated with a contrasting rhythm of horizontal openings. The glazing strategy in the horizontal massing is designed to create visual interest and movement between the more constant vertical volumes. The combination of the contrasting fenestration patterns creates a rhythm of movement and pause along the street facade that continues throughout the entire project.



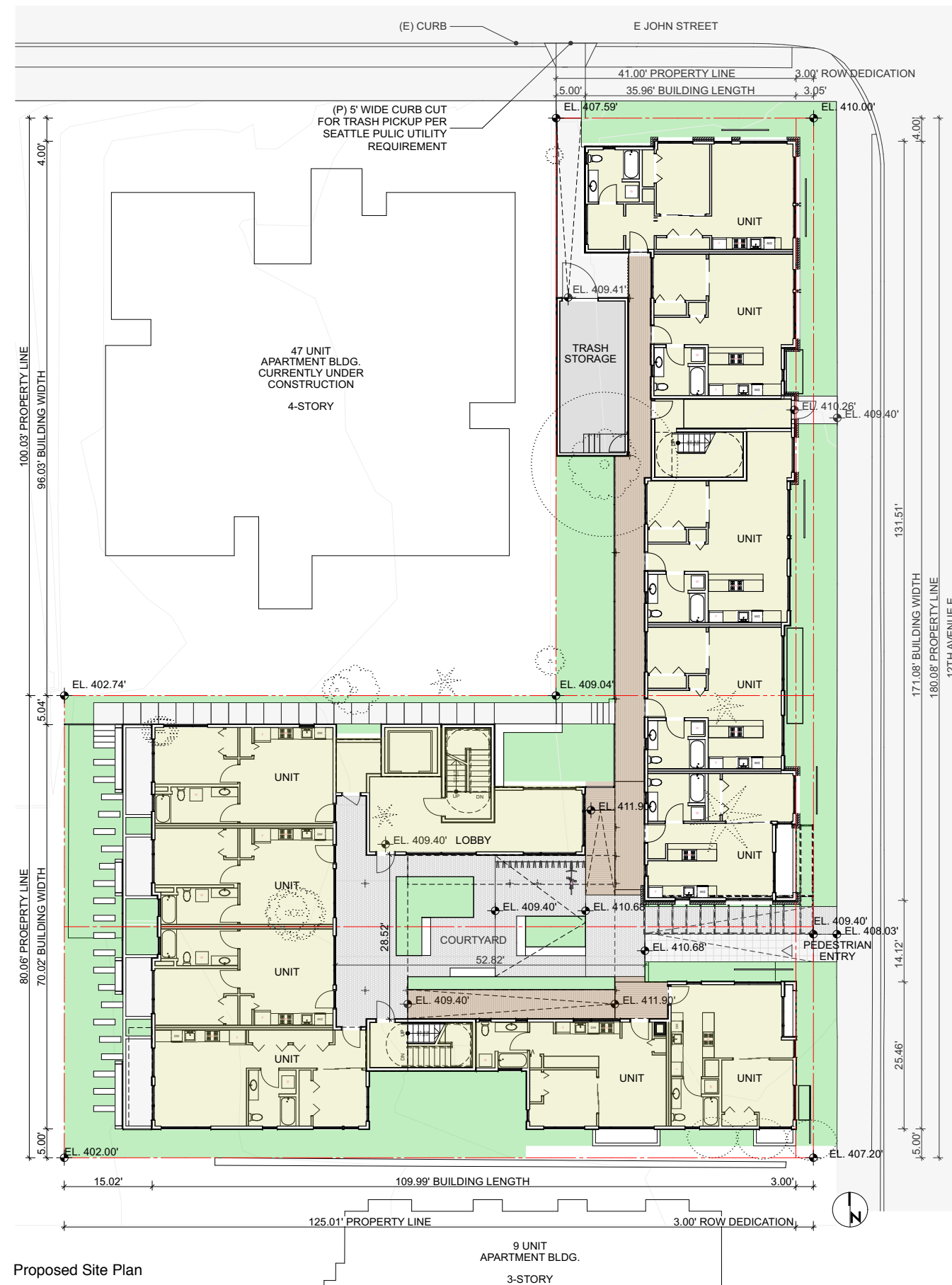
**Revised Fenestration after response to design guidance through land use corrections of the MUP proposal** - Fenestration in the horizontal volumes have been revised to provide a more regular approach while maintaining the contrasting fenestration pattern to the vertical projection volumes. This strategy enhances the massing modulation while alignment creates a more balanced facade and visual interest along the facade as well as minimize the height, bulk and scale of the structure.

# SITE PLAN

While the overall footprint of the proposal has remained similar, the structure and spaces have been developed to create a strong connection with the courtyard and the street. The partially below-grade units at street level have been detailed to provide privacy and security from the street with architectural and landscape details. The courtyard has been refined to include planters, benches, and outdoor seating at multiple levels and visually extends to the exterior facades by a similar treatment to the exterior decks. The massing along 12th Avenue E has been further developed to reduce the overall perceived facade length. The transformer vault has been moved away from the corner at E John street in order to provide a strong architectural move at the corner that follows through the rest of the project.

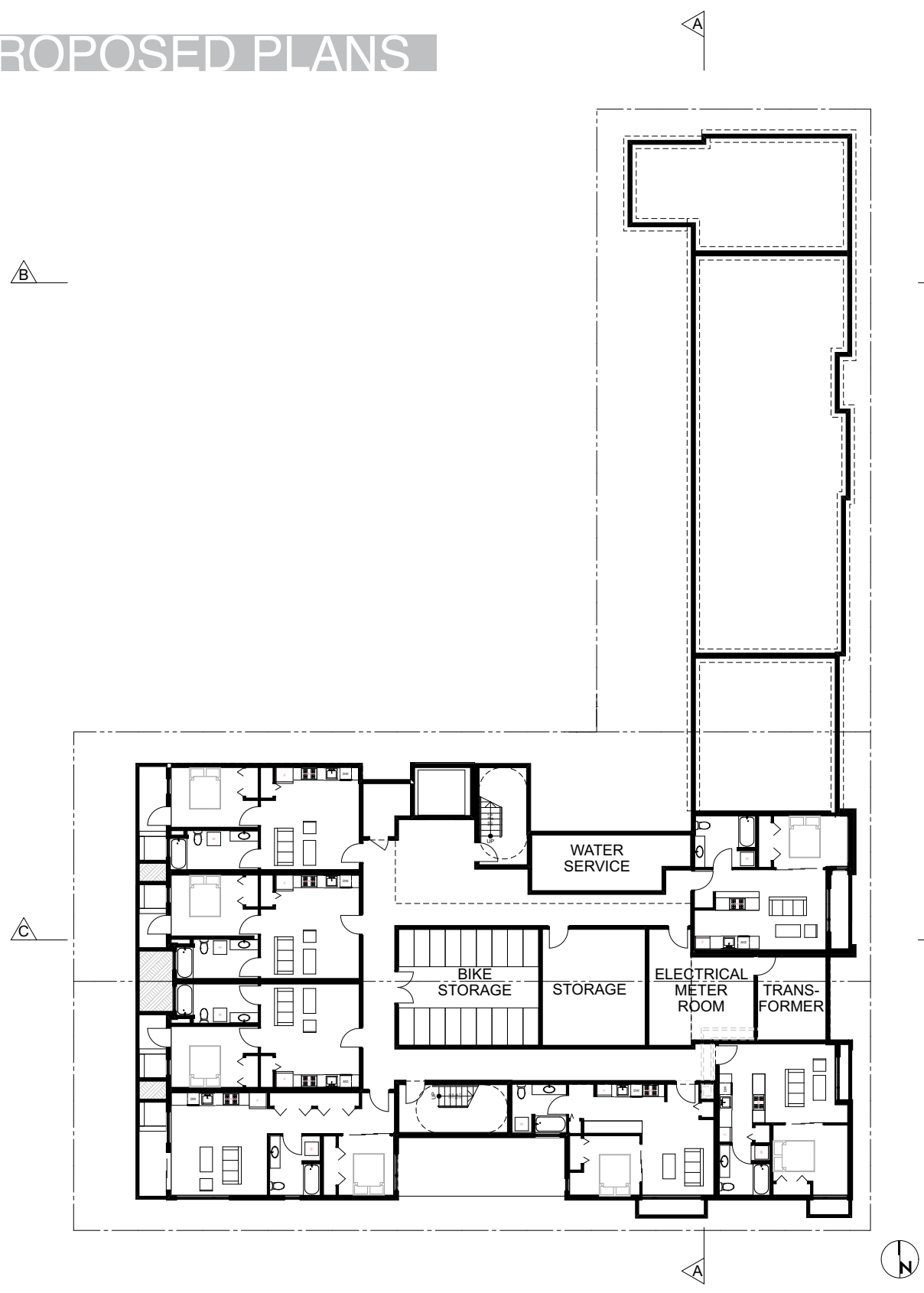


Site Plan at EDG

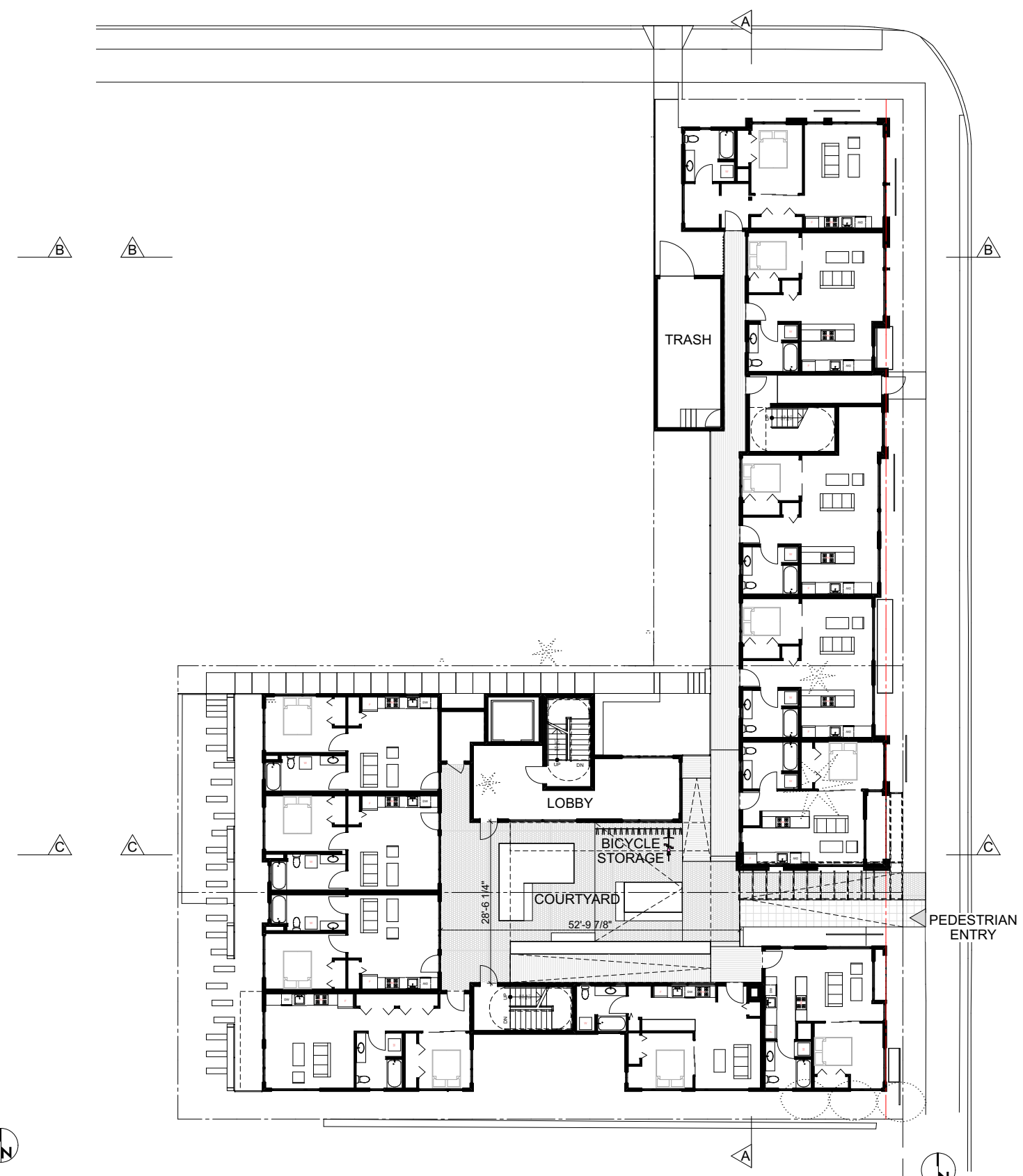


Proposed Site Plan

# PROPOSED PLANS

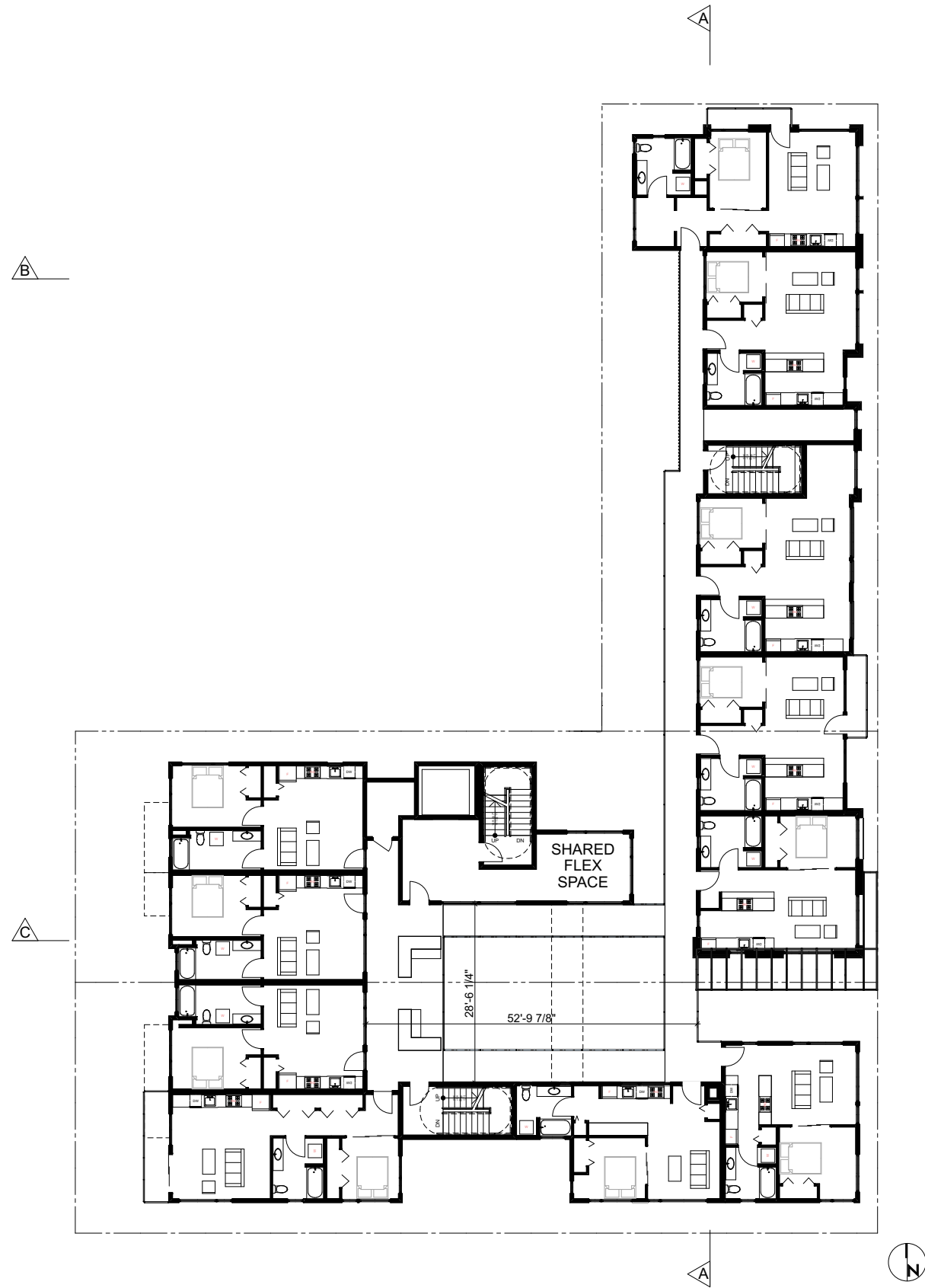


BASEMENT

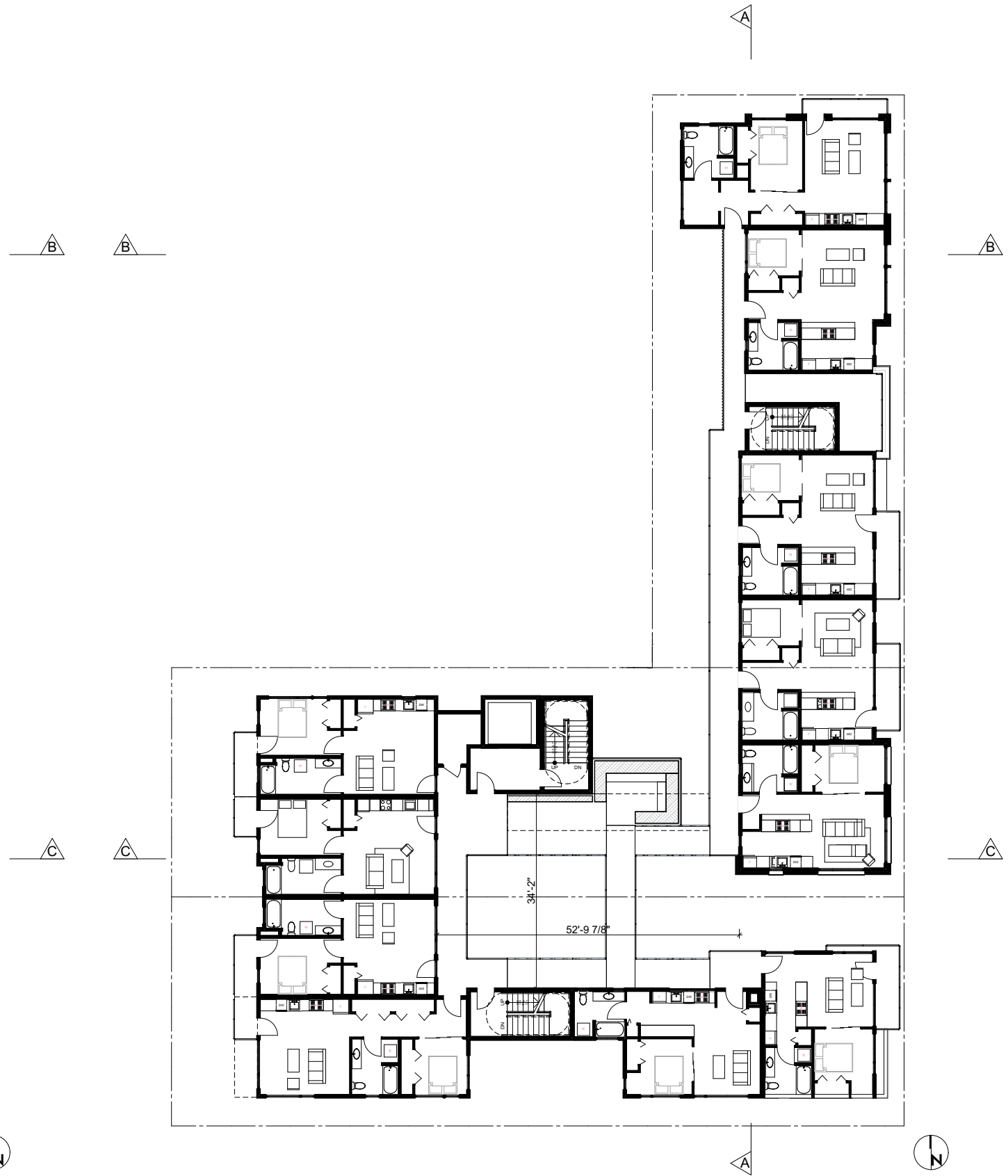


FIRST FLOOR



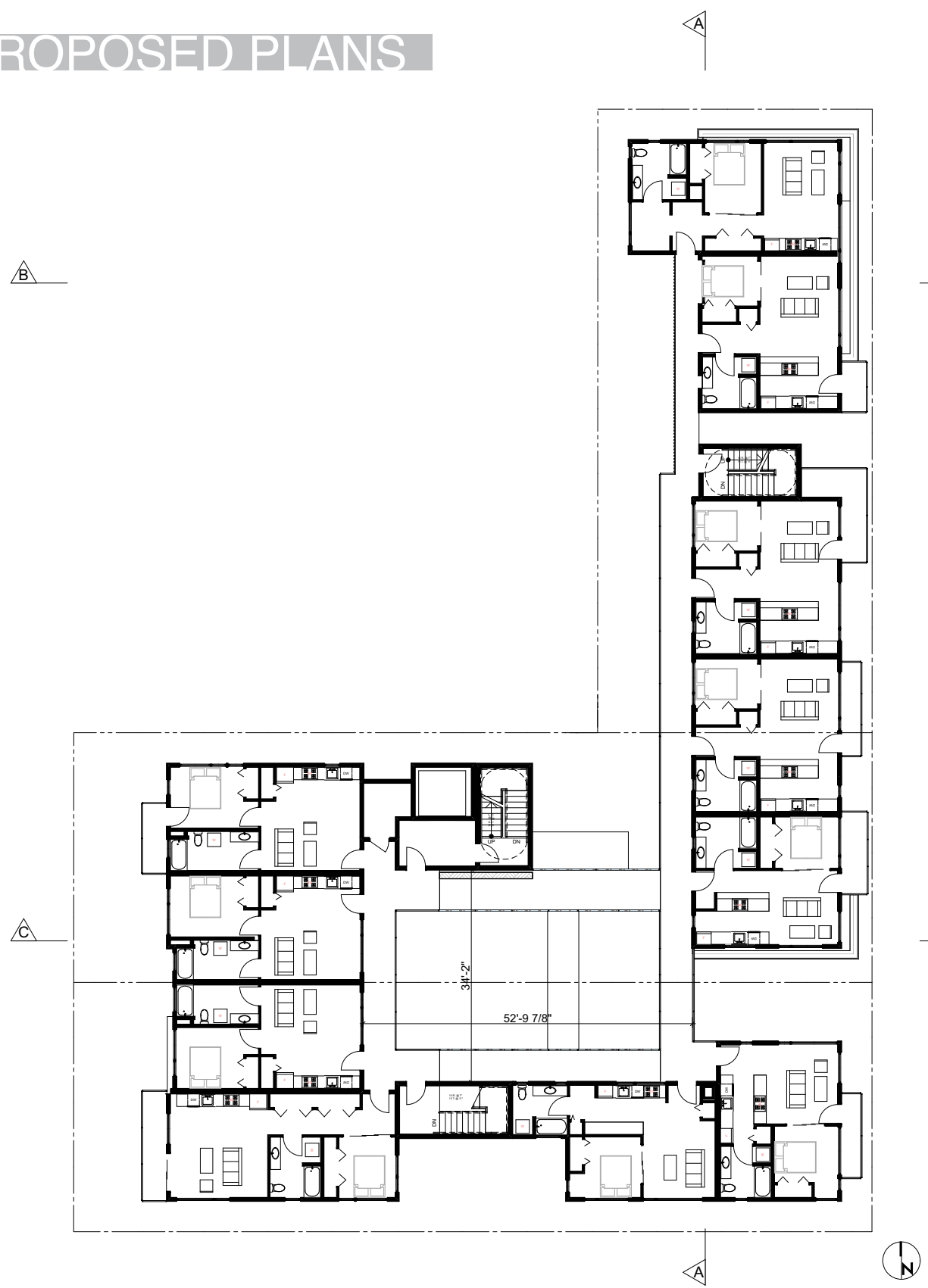


SECOND FLOOR

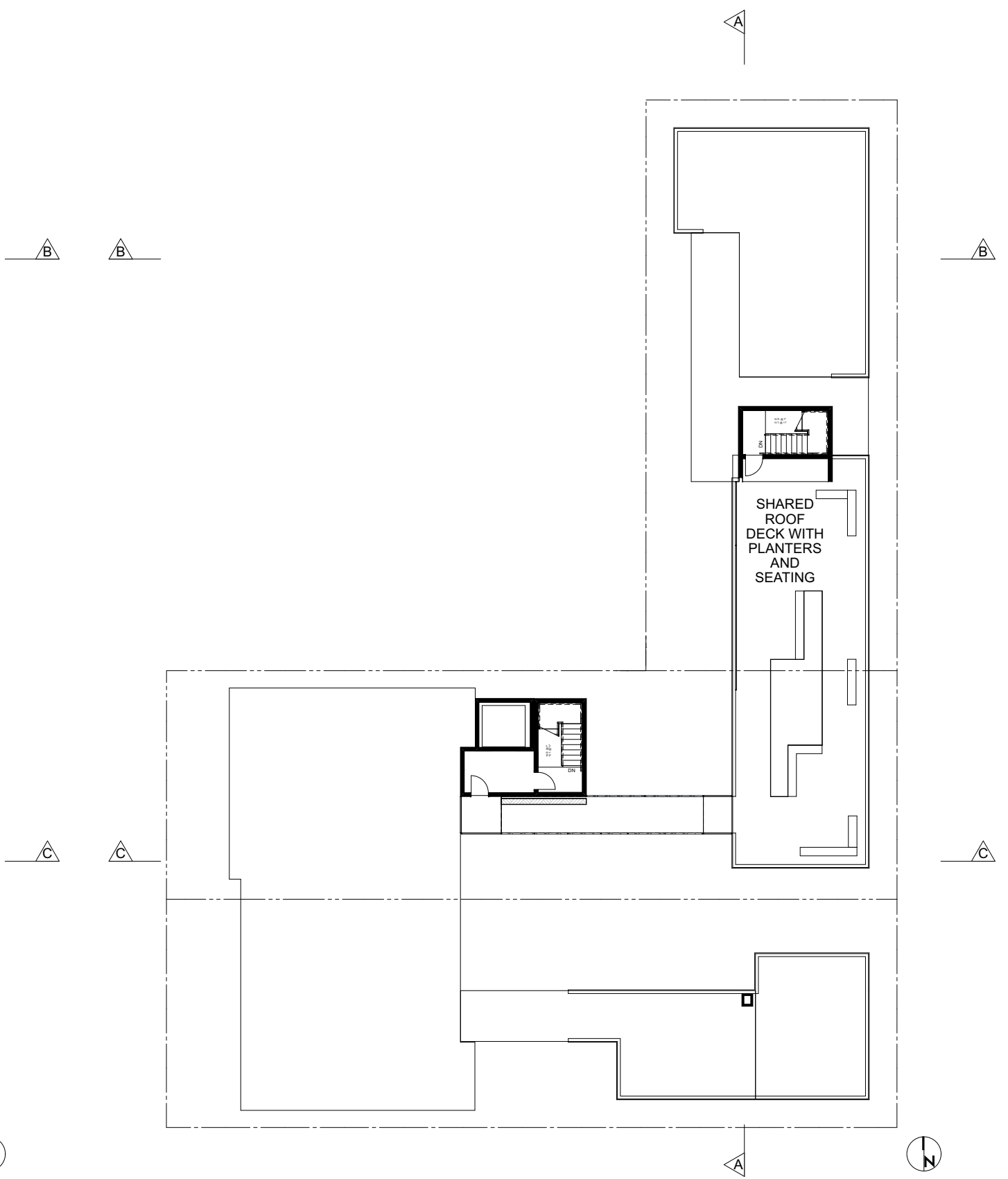


THIRD FLOOR

# PROPOSED PLANS



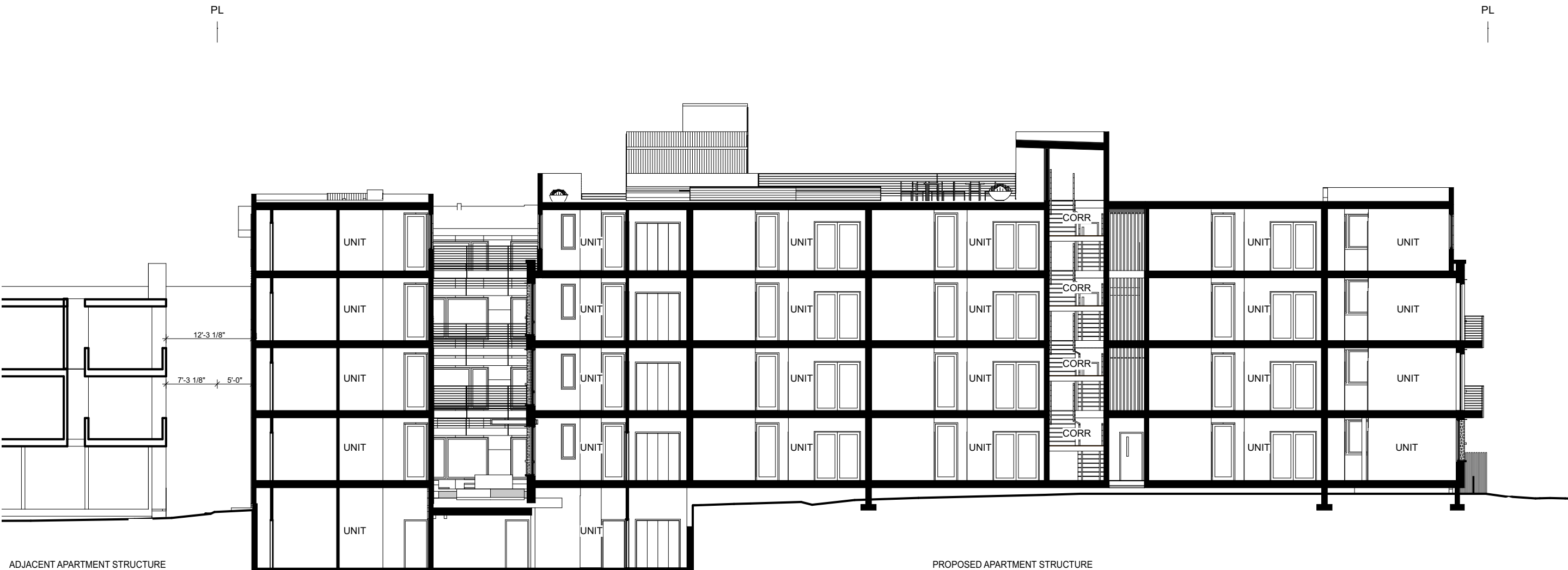
FOURTH FLOOR



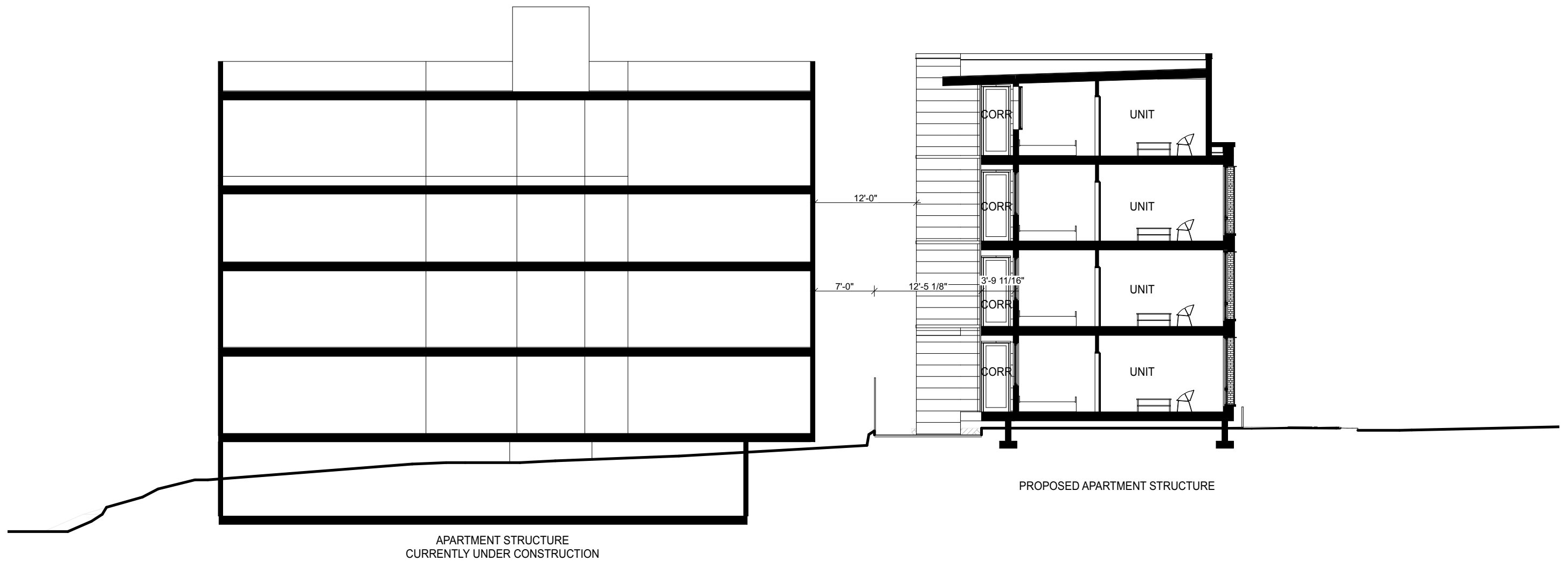
ROOF

# SITE SECTIONS

These site sections shows the how the proposed structure sits within the site and how it relates to its adjacent surroundings.

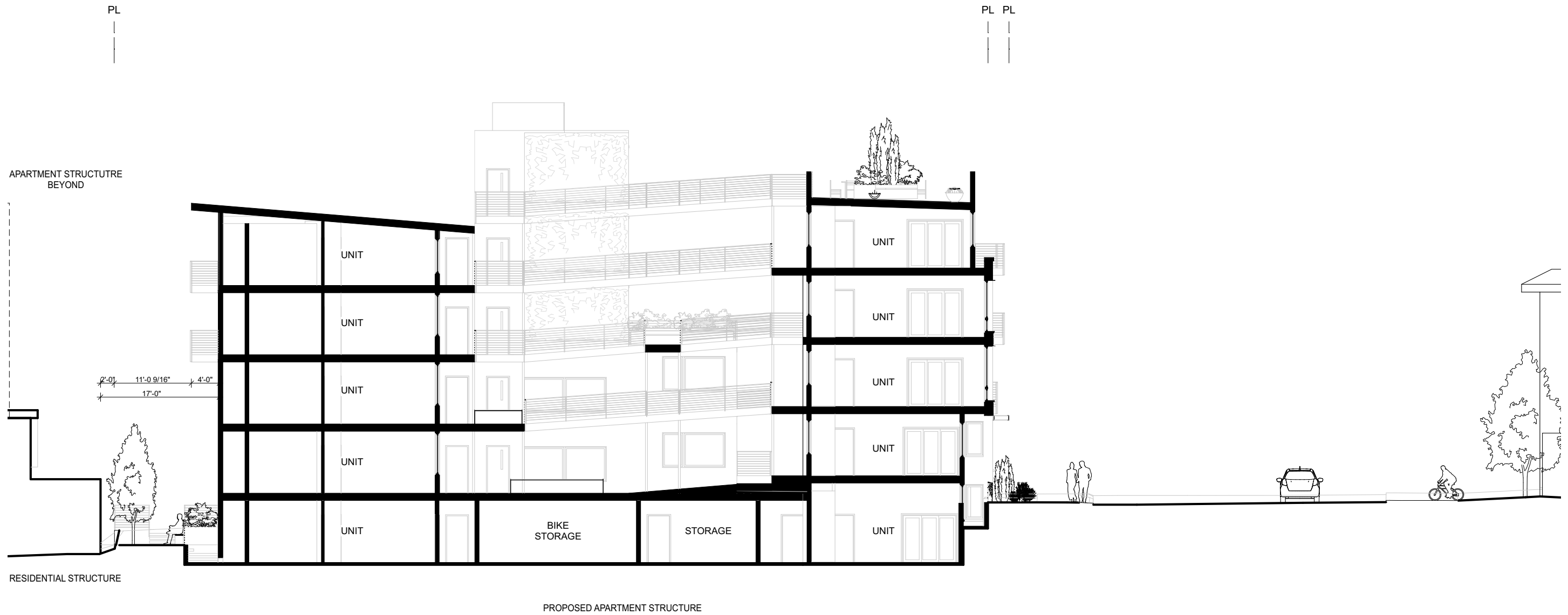


SITE SECTION 'A'



SITE SECTION 'B'





SITE SECTION 'C'

# LANDSCAPE



1 Wood and Concrete Bench



2 Concrete Pavers



3 Cedar or Sim. Walkway Decking







1 Dogwood



2 Japanese Maple



3 Hinoki Cypress



4 Boxwood



4 Swedish Aspen



5 Limber Pine



6 Vine Maple



7 Evergreen Clematis



8 Hydrangea



9 Epimedium hybrid



10 Salal



11 Autumn Moor Grass



12 Hakonechloa Beni Kazi



13 Fern



14 Blue Oat Grass



## SUMMARY OF GUIDANCE

### BOARD RECOMMENDATION Massing and Building Location

The Board was particularly concerned with the lack of variation in the three design options. After considerable discussion, four of the six Design Review Board members gave guidance to develop massing alternative three and proceed to MUP application. The Board felt the preferred massing alternative three provided a better design response to context by locating courtyard as a centerpiece of the design. The Board noted that significant efforts will be necessary to resolve street façade articulation and massing.

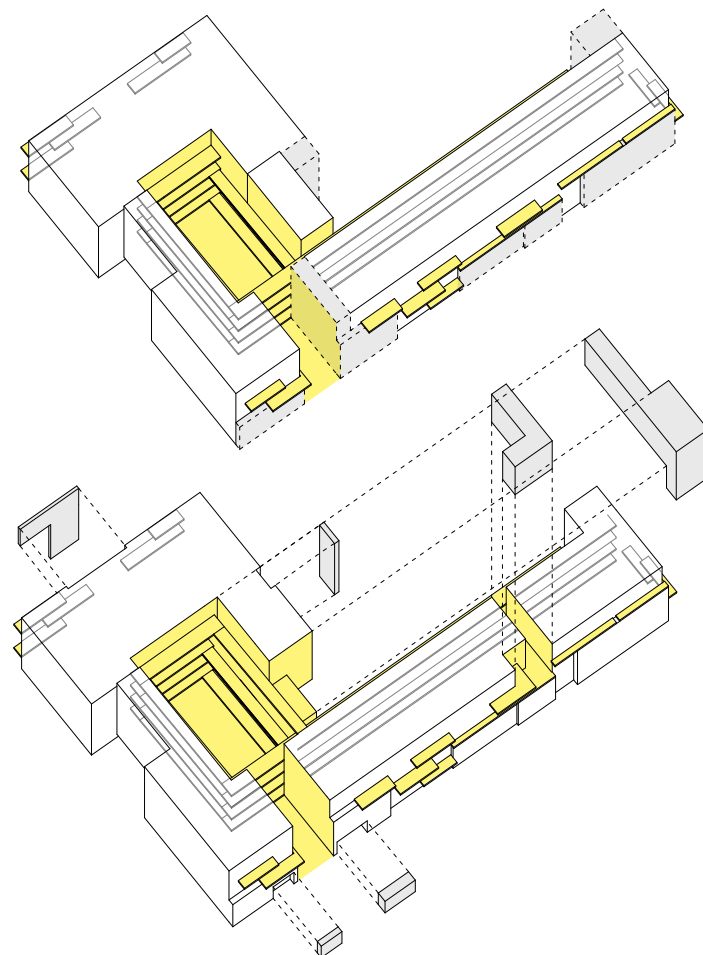
- a) The Board directed the applicant to use modulation and articulation at the 12th Avenue E façade to reduce the perceived façade length and create a more pleasing proportion to the overall building (CS2-C2).
- b) The Board reviewed cumulative setback provided along the south property line, which measured between 14-16 feet, and recommended that it was sufficient (CS2-D5).
- c) The Board noted the facades facing adjacent residential structures should be designed to minimize disrupting the privacy of residents in adjacent buildings (CS2-D5).

### SUMMARY RESPONSE

- Massing and material modulation have been designed throughout the project to reduce the perceived facade length along 12th Avenue E as well as to provide visual interest and rhythm at each exterior facade.
- Deck projections at the exterior facades continue the architectural language of the exterior decks connecting the units and the shared courtyard and provide further rhythm along the exterior facades.
- Generous setbacks are provided at the side and rear property lines and an architectural screen is proposed for half of the exterior walkway along the west side setback. This provides screening for privacy to the adjacent structure as well as works to shorten the perceived length of the exterior walkways.



1 12th Avenue E



### BOARD RECOMMENDATION Corner Treatment

The Board directed that the prominent location on the corner of two major streets necessitated an architectural response at the corner.

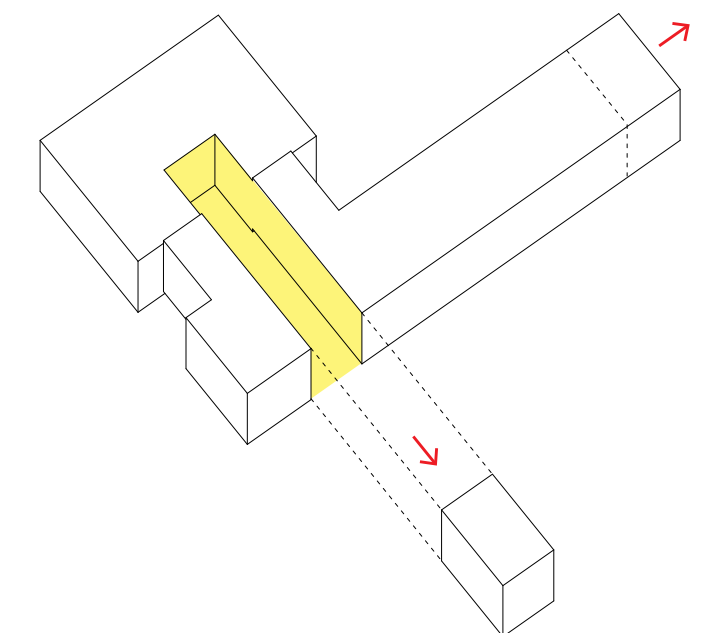
- a) The Board felt that the treatment and articulation of the corner should inform the overall façade articulation and proportion on 12th Avenue E (CS2-C1).
- b) The Board was particularly concerned about the location of the electrical vault and solid waste storage space along the narrow E John Street facade. The Board directed the applicant to work with Seattle Public Utilities and Seattle City Light to identify an appropriate location for services. The location should be chosen to be sensitive to adjacent sites (DC1-C2 and C4).
- c) Once a location is determined for solid waste, the street level façade must be designed along the sidewalk to minimize visual and odor impacts (DC1-C2 and C4).

### SUMMARY RESPONSE

- The proposal provides a strong architectural move at the corner of the site with projecting volumes and decks and high quality materials including dark brick, vertical cerclad siding and steel railings. The massing and glazing strategies at the corner continue throughout the rest of the project to create a unified design.
- Coordination with Seattle Public Utilities confirmed that the location of the trash/recycling storage area in the west setback with access to E John Street is ideal. The trash/recycling storage area will be enclosed to reduce visual and odor impacts and will be sided with a screening material to compliment the architectural screen proposed along the west facade.
- The project team is coordinating with Seattle City Light to re-locate the transformer vault away from the corner to the below-grade story. This allows the corner to have a clearer and more consistent massing and glazing strategy.



2 Corner View at 12th Avenue E and E John Street



**BOARD RECOMMENDATION**  
**Courtyard**

The Board stated that the provided courtyard was consistent with the Capitol Hill vernacular. The Board noted that Design Alternative three provided the best design response to the context by minimizing impacts to adjacent residential structures.

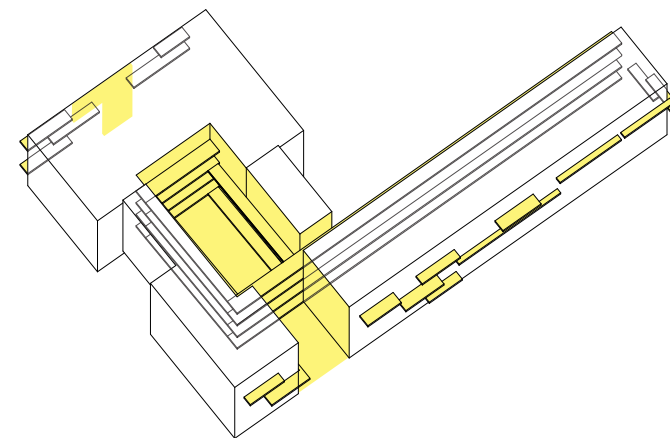
- a) The Board directed that the courtyard space be expressed visibly along the street façade. At the Recommendation Meeting the applicant should demonstrate how the courtyard is read from the adjacent 12th Avenue right-of-way (DC3-iii, CS2-B2).
- b) The bicycle entry and storage space should be resolved within the overall flow of the building (PL4-B2).
- c) The Board expressed concern about the viability and privacy of below grade units facing the street and the common entrance walkway. The Board directed the applicant to design these spaces with a comfortable transition between the unit and public area, incorporating design techniques used in Crime Prevention through Environmental Design (PL3-B).
- d) The landscape plan should maximize tree canopy with the courtyard and setback spaces (DC3-iii).

**SUMMARY RESPONSE**

- The project design concept emerges out of the geometry of the site, created through a linear element that wraps around a central courtyard. A combination of landscaping, pavers, trellis, varied massing and contrast in materials and colors all contribute to the expression of the courtyard along the 12th Avenue E facade. The opening to 12th Avenue E provides entry for the building, with all access through the courtyard. Colors and materials, fenestration, landscaping, furniture terraces above grade and bike parking encourage activity and lingering for visitors and residents. The trellis identifying the courtyard entry with signage and color is similar in form and projection to the decks above.
- 51 bicycle parking spaces are provided in this project with 15 exterior spaces provided at grade in the shared courtyard and 36 interior spaces provided in the basement with stair and elevator access.
- The partially below-grade units at the street are setback from the sidewalk to provide a buffer for safety and privacy. A 3 foot tall planting screen is proposed in front of the units as well as a mixture of taller and shorter plantings arranged to create a layering affect that provides further privacy to the units. The partially below grade units are designed to allow daylight in and view out without impacting privacy.
- The Landscape Design maximizes tree canopy and plantings at multiple levels throughout the project, particularly in the setbacks and in the central courtyard.



3 Courtyard Entry View

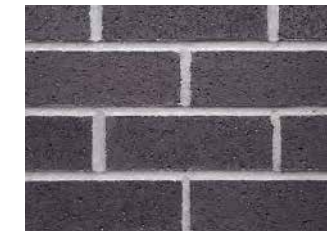


**BOARD RECOMMENDATION**  
**Materials**

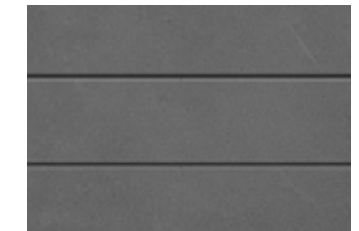
The Board encouraged use of durable, quality materials, respectful of the existing materiality context of the established Capitol Hill neighborhood (CS3-A1 and A4, CS3-I-iv, DC4-II).

**SUMMARY RESPONSE**

- Durable, high quality materials that reference the vernacular materials of the neighborhood are proposed in the project. The greatest amount of detail is focused on the street facades and places of human interaction such as the courtyard and walkways. A mixture of dark brick, vertical ceraclad siding, painted hardie panel, steel railings and wood walkways further enhance the massing modulation to break down the building scale and provide visual interest and rhythm.



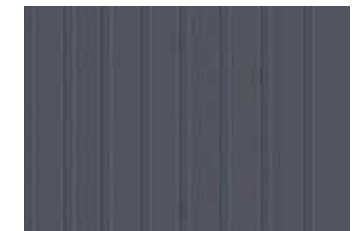
Mission Brick  
Ebony



16" x 8' Hardie Panel Horizontal Siding  
SW 7067 Cityscape or Sim.



Ceraclad Cast Stripe Vertical Siding  
Ash or Sim.



8" Reveal Ceraclad Vertical Siding  
Midnight Blue or Sim.



4' x 8' Hardie Panel Horizontal Siding  
BM 2024-30 Citron or Sim.



Evergreen Clematis



Wood and Concrete Bench



Gapped Hardwood Siding





View from SW



## MASSING & BUILDING LOCATION

### CS2-C-2. Mid-Block Sites

Massing modulation has been carefully designed along 12th Avenue E to minimize the perceived façade length, create a rhythm of movement along the façade and direct the pedestrian to the central courtyard entry. Deck projections and material changes further emphasize the modulation, relate to the human scale and encourage interaction. The varying heights of the modulation take the scale of the adjacent structures into consideration and fit into the scale of the existing context. A strong street-edge is maintained with key punctuations at the courtyard entry and the egress stair to break up the façade into a more fitting scale for the neighborhood. The evolution of the design considers carefully the location of the project in its neighborhood and specific to its block. Two recently permitted structures of a similar scale are located immediately adjacent to the west (currently under construction) and two parcels to the south. The design concept originates at the corner of 12th Avenue E and E John Street, extending down 12th and wrapping around a courtyard space at the site's center.

### CS2-D-5. Respect for Adjacent Sites

Generous setbacks are provided to the west and south to respect adjacent properties. The glazing is designed to maintain privacy and avoid light and glare spillage onto adjacent sites. A wood screening element is provided along the north half of the west walkway. The courtyard and exterior walkways located at the center of the site create a place for human interaction and circulation that does not disrupt the adjacent sites.



View from SW at EDG



View from 12th Avenue E looking NW



## CORNER TREATMENT

### CS2-C-1. Corner Sites

The project design maintains a strong corner at 12th Avenue E and E John Street with a three story massing projection to the north and the east. Deck projections further enhance the corner design and high quality materials such as brick and ceraclad siding are focused at this prominent location. The massing modulation language articulated at the corner continues along the façade fronting onto 12th Avenue E to create a rhythm along the façade and continue a holistic design approach throughout the entire project.

### DC1-C-2. Visual Impacts

No parking is required or provided in this project. There are no implications of visual impacts of parking related issues.

### DC1-C-4. Service Uses

Coordination with Seattle City Light will allow the transformer vault to move away from E John Street and is proposed to be located in the below-grade story beneath the courtyard. This removes all visual impacts relating to the transformer vault. Coordination with Seattle Public Utilities has confirmed the trash/recycling storage location in the west side setback is the ideal location as it is removed the central courtyard and circulation space and maintains easy access to E John Street for pickup. The trash storage area is enclosed to reduce visual and odor impacts. The design of the enclosure ties into the architectural painted wood screen along the west property line to maintain the building aesthetics.



View from NE

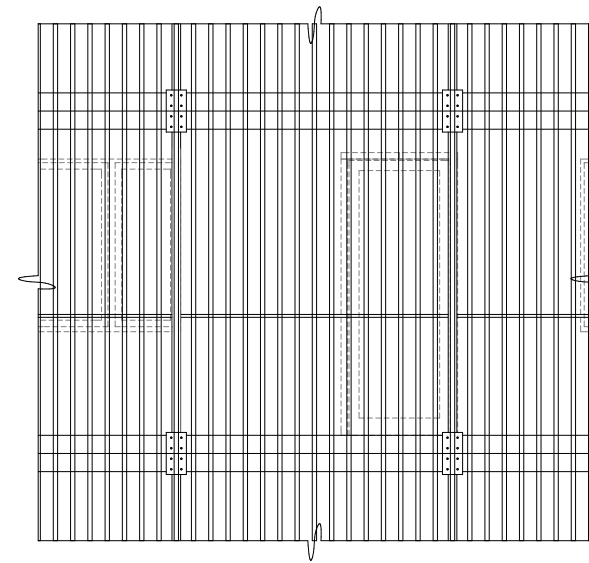


View from NE at EDG

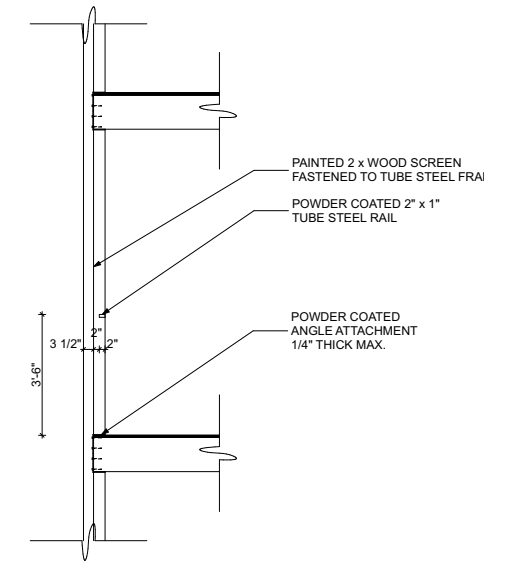




West Property Line Detail View



Elevation Detail of Steel Frame



Section Detail of Architectural Screen



View from NE



Close up view of the corner at 12th Avenue E and E John Street



## COURTYARD AT GRADE



1 Entry to Courtyard from 12th Avenue E



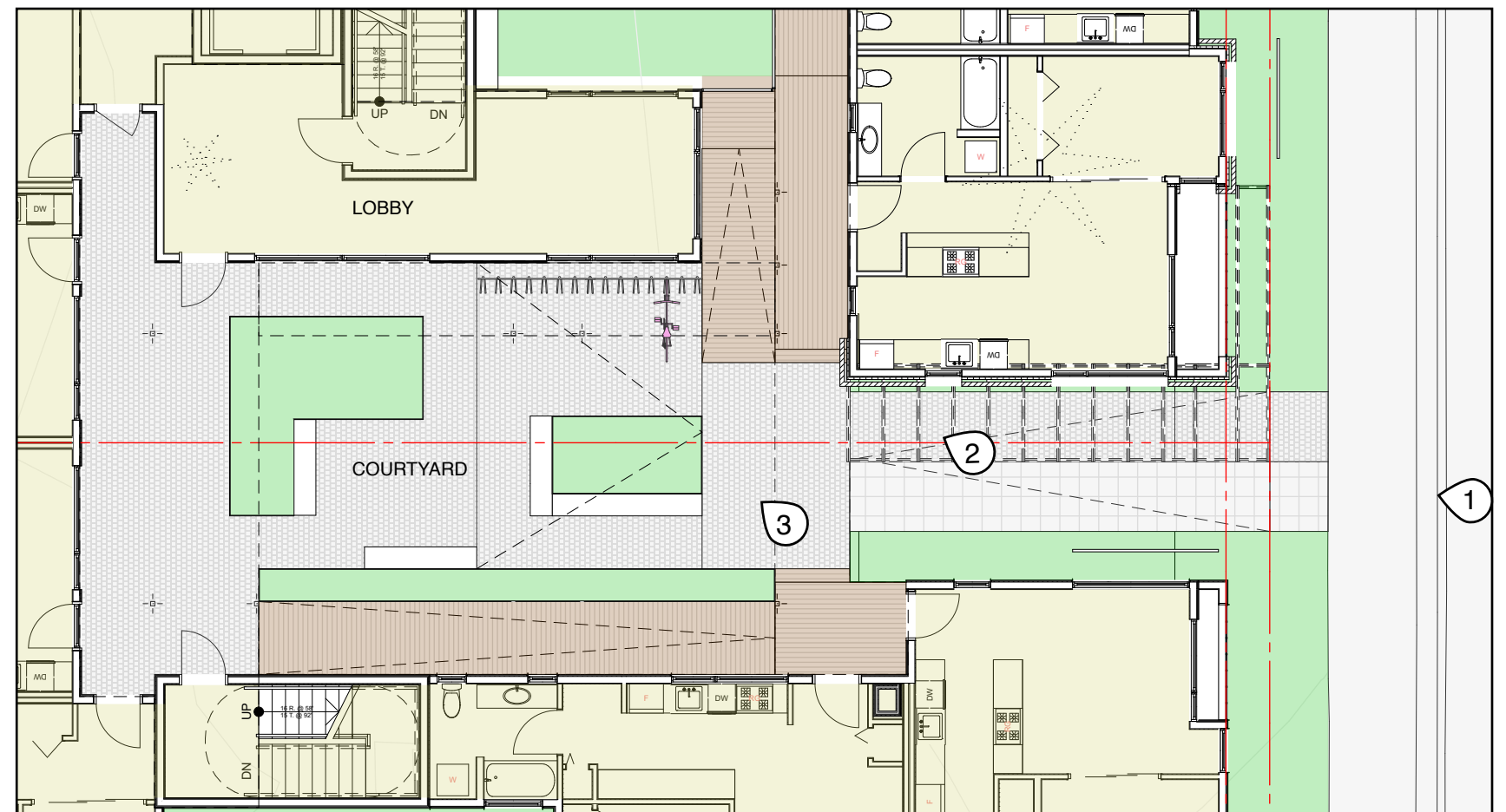
2 Entry into Main Courtyard from 12th Avenue E

### DC3-I-ii. Courtyards

The project design concept emerges out of the geometry of the site, created through a linear element that wraps around a central courtyard. A combination of landscaping, pavers, trellis, varied massing and contrast in materials and colors all contribute to the expression of the courtyard along the 12th Avenue E facade. The opening to 12th Avenue E provides entry for the building, clad in wood, with all access through the courtyard. Colors and materials, fenestration, landscaping, furniture terraces above grade and bike parking encourage activity and lingering for visitors and residents. The trellis identifying the courtyard entry with signage and color is similar in form and projection to the decks above.

### PL4-B-2. Bike Facilities

51 bicycle parking spaces are provided in this project with 15 covered exterior spaces provided at grade in the shared courtyard and 36 interior spaces provided in the basement with stair and elevator access.



Courtyard Plan





3 Courtyard View looking NW from 1st Floor



## COURTYARD ABOVE GRADE

### DC3-I-ii Courtyards

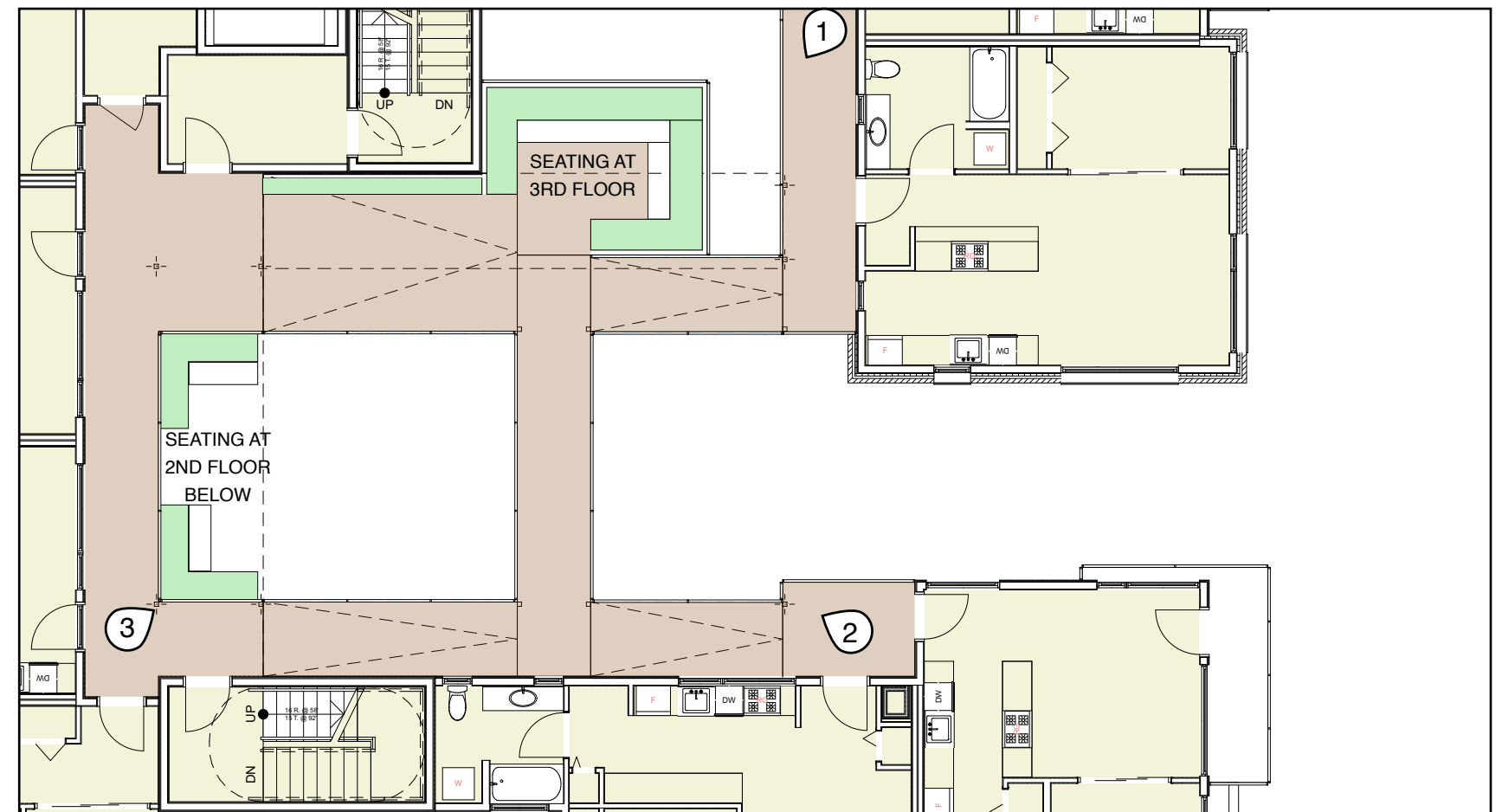
The courtyard is activated by above grade walkways and terraces. The network of exterior spaces at upper levels creates opportunities for casual and planned interaction. Above the lobby "volume", clearly articulated in wood, is an outdoor roof deck that looks across and down to other walkways and is clearly visible within the building. A smaller one is located at the west end of the courtyard at the second floor with a commanding view of the entry from 12th Avenue E below and the varied walkways above. Access to the roof deck at the northeast end of the site is through the same exterior walkways, creating multiple conditions for outdoor communal gathering.



1 Walkway View looking SW from 3rd Floor



2 Courtyard View looking NW from 2nd Floor



Courtyard Plan





3 Courtyard View looking NE from 2nd Floor





Entry View showing relationship of walkway to partially below-grade units



Section Perspective at courtyard looking S

## BELOW GRADE UNITS

PL3-B-1. Security and Privacy

PL3-B-2. Ground-level Residential

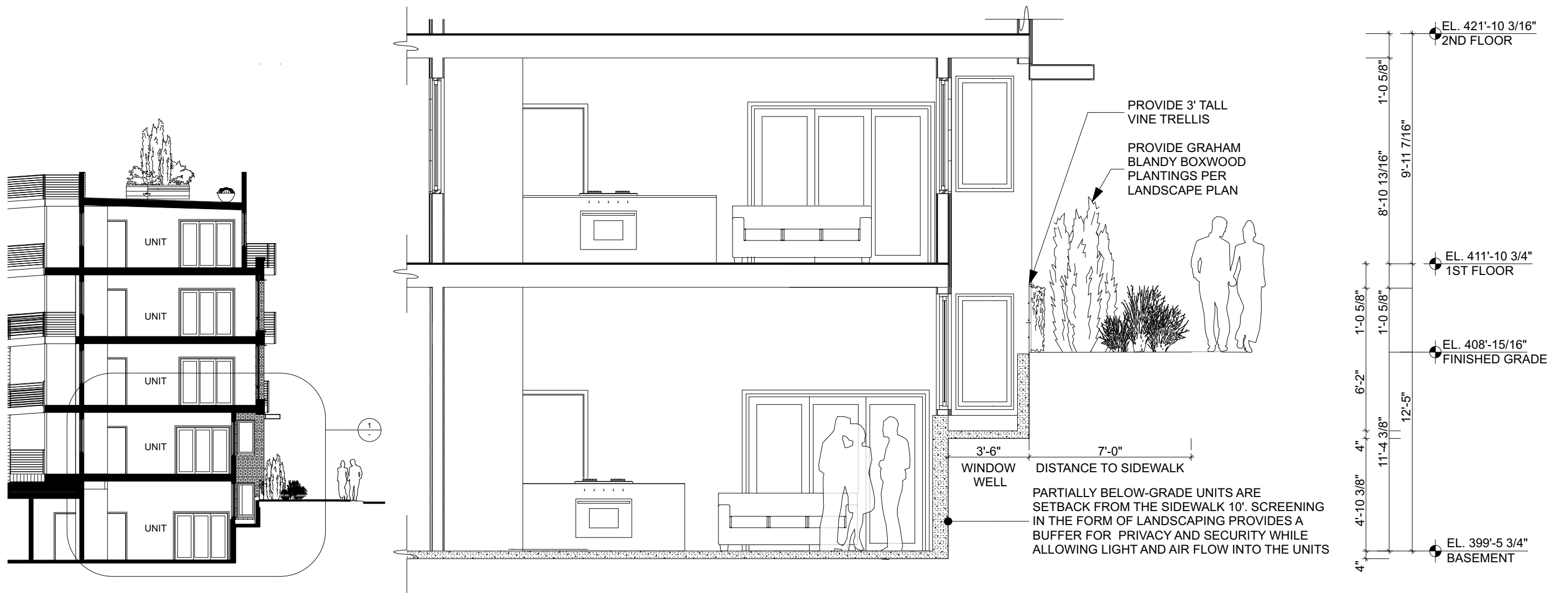
The partially below-grade units at the street are set back from the sidewalk to provide a buffer for safety and privacy. A 3 foot tall planting screen is proposed in front of the units as well as a mixture of taller and shorter plantings arranged to create a layering affect that provides further privacy to the units. The below-grade units have higher ceilings that create a larger separation from grade to the unit's floor.

The Landscape Design maximizes tree canopy and plantings at multiple levels throughout the project.



Section Perspective at courtyard looking N





Section showing partially below-grade units - Refer to page 23 for full section

Detail showing the partially below-grade units' relationship to the street

# SIDEWALK VIGNETTES



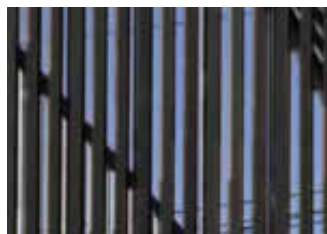
E John Street looking SE



View from 12th Avenue E and E John Street looking SW



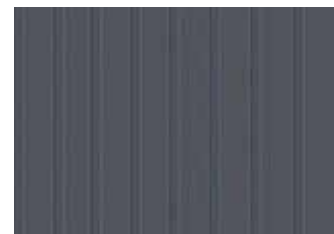
View from 12th Avenue E looking SW



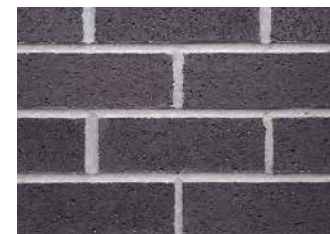
Painted wood screen



Hinoki Cypress



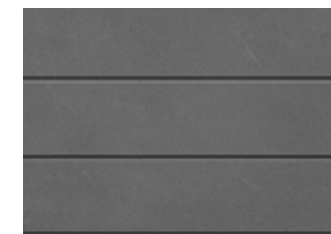
8" Reveal Ceraclad Vertical Siding  
Midnight Blue



Mission Brick  
Ebony



Vine Maple



16" x 8' Hardie Panel Horizontal  
Siding



Steel Guardrail





View from 12th Avenue E looking SW



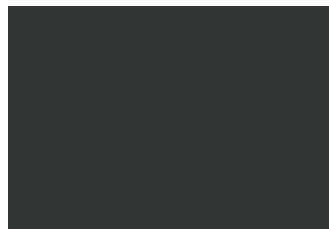
View from 12th Avenue E looking W



View from 12th Avenue E looking NW



4' x 8' Hardie Panel Horizontal Siding  
BM 2024-30 Citron or Sim.



Parapet Cap / Deck Fascia  
BM 2131-10 Black Satin or Sim.



Painted Steel Arbor  
BM 2175-10 Aztec Brick or Sim



Evergreen Clematis



Blue Oat Grass



Steel Guardrail



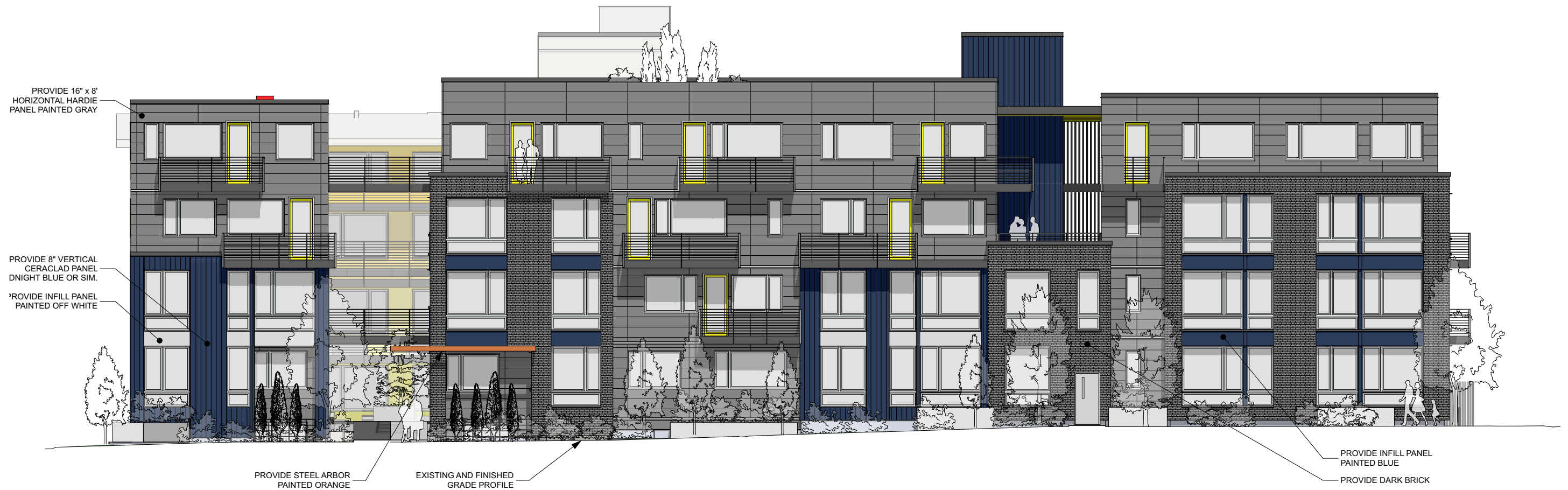
Dogwood



# MATERIALS

CS3-A-1. Fitting Old and New Together; CS3-A-4. Evolving Neighborhoods; CS3-I-iv. Materials; DC4-II Exterior Finish Materials

Durable, high quality materials that reference the vernacular materials of the neighborhood are proposed in the project. The greatest amount of detail is focused on the street facades and places of human interaction such as the courtyard and walkways. A mixture of dark brick, vertical ceraclad siding, painted hardie panel, steel railings and wood walkways further enhance the massing modulation to break down the building scale and provide visual interest and rhythm.



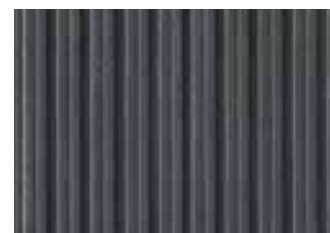
## EAST ELEVATION



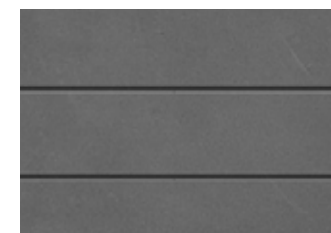
Mission Brick Ebony



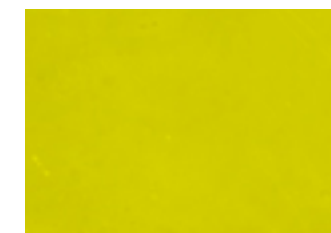
8" Reveal Ceraclad Vertical Siding Midnight Blue or Sim.



Ceraclad Cast Stripe Vertical Siding Charcoal or Sim.



16" x 8" Hardie Panel Horizontal Siding SW 7067 Cityscape or Sim.



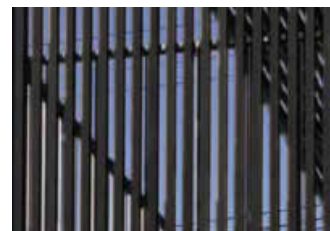
4' x 8' Hardie Panel Horizontal Siding BM 2024-30 Citron or Sim.



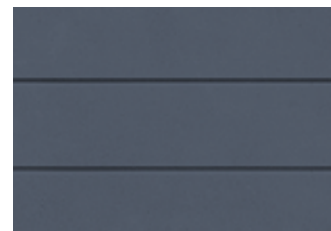
Steel Guardrail



WEST ELEVATION



Painted wood screen



16" x 8' Hardie Panel Horizontal Siding  
BM 2129-30 Blue Note or Sim.



Guardrails / Handrails / Vent Hood  
SW 2125 Rainshower or Sim.



4' x 8' Hardie Panel Horizontal Siding  
BM 2024-40 Yellow Finch or Sim.



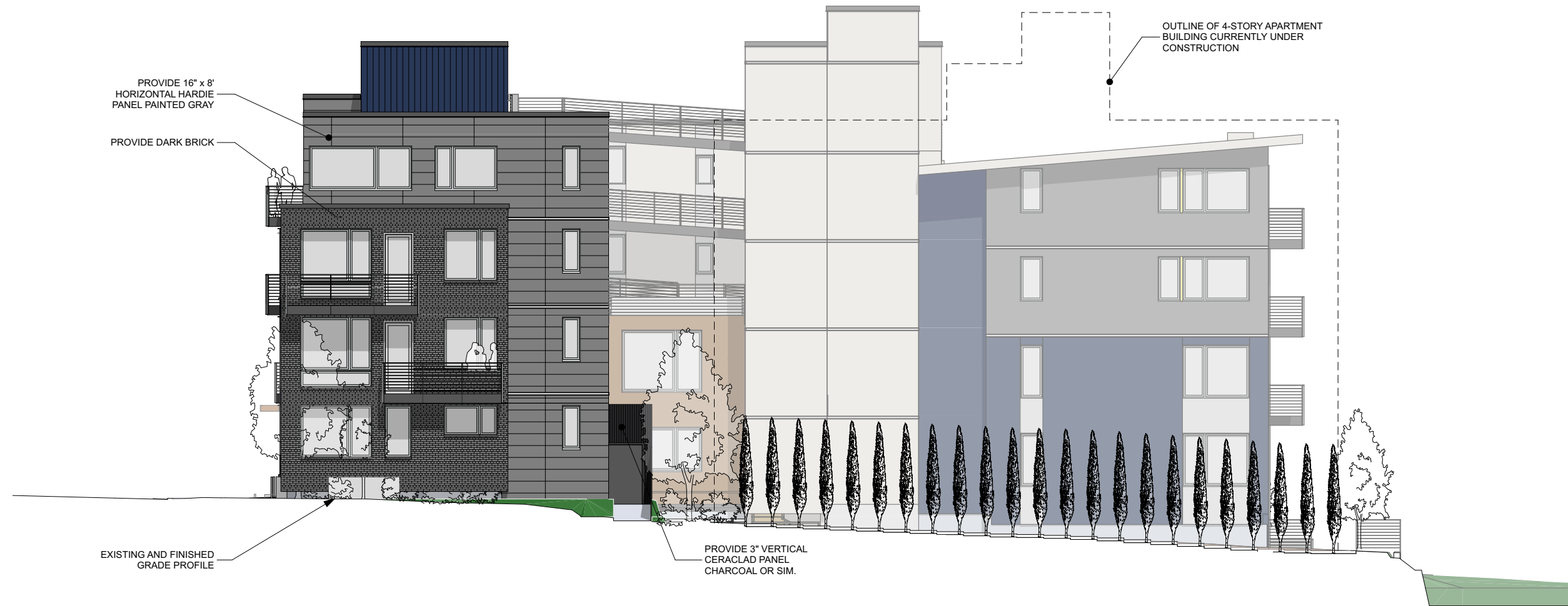
4' x 8' Hardie Panel Horizontal Siding  
SW 6689 Overjoy or Sim.



4' x 8' Hardie Panel Horizontal Siding  
SW 6670 Gold Crest or Sim.



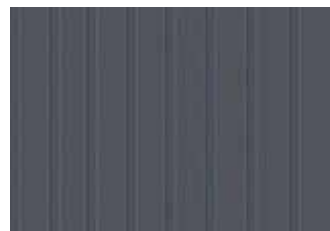
# MATERIALS



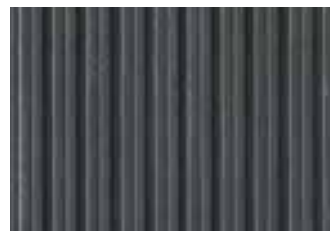
NORTH ELEVATION



Mission Brick  
Ebony



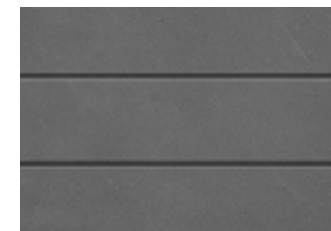
8" Reveal Ceraclad Vertical Siding  
Midnight Blue or Sim.



Ceraclad Cast Stripe Vertical Siding  
Charcoal or Sim.



Ceraclad Cast Stripe Vertical Siding  
Ash or Sim.



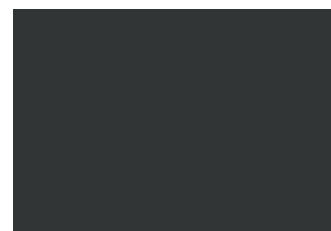
16" x 8' Hardie Panel Horizontal Siding  
SW 7067 Cityscape or Sim.



Painted wood screen



**SOUTH ELEVATION**



Parapet Cap / Deck Fascia  
BM 2131-10 Black Satin or Sim.



Guardrails / Handrails / Vent Hood  
SW 2125 Rainshower or Sim.



4' x 8' Hardie Panel Horizontal Siding  
BM 2024-30 Citron or Sim.



4' x 8' Hardie Panel Horizontal Siding  
BM 2024-40 Yellow Finch or Sim.



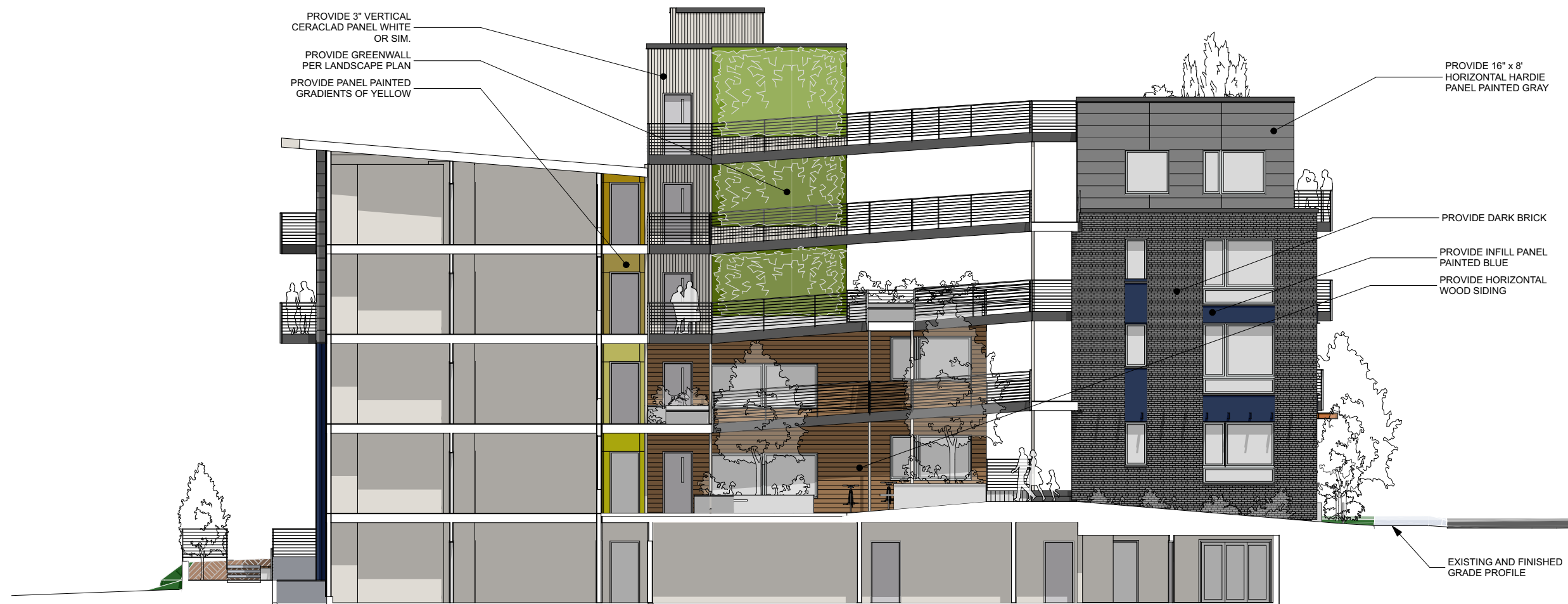
4' x 8' Hardie Panel Horizontal Siding  
SW 6689 Overjoy or Sim.



4' x 8' Hardie Panel Horizontal Siding  
SW 6670 Gold Crest or Sim.



# MATERIALS



NORTH COURTYARD ELEVATION



Gapped Hardwood Siding



Evergreen Clematis Green Wall



Ceraclad Cast Stripe Vertical Siding  
Ash



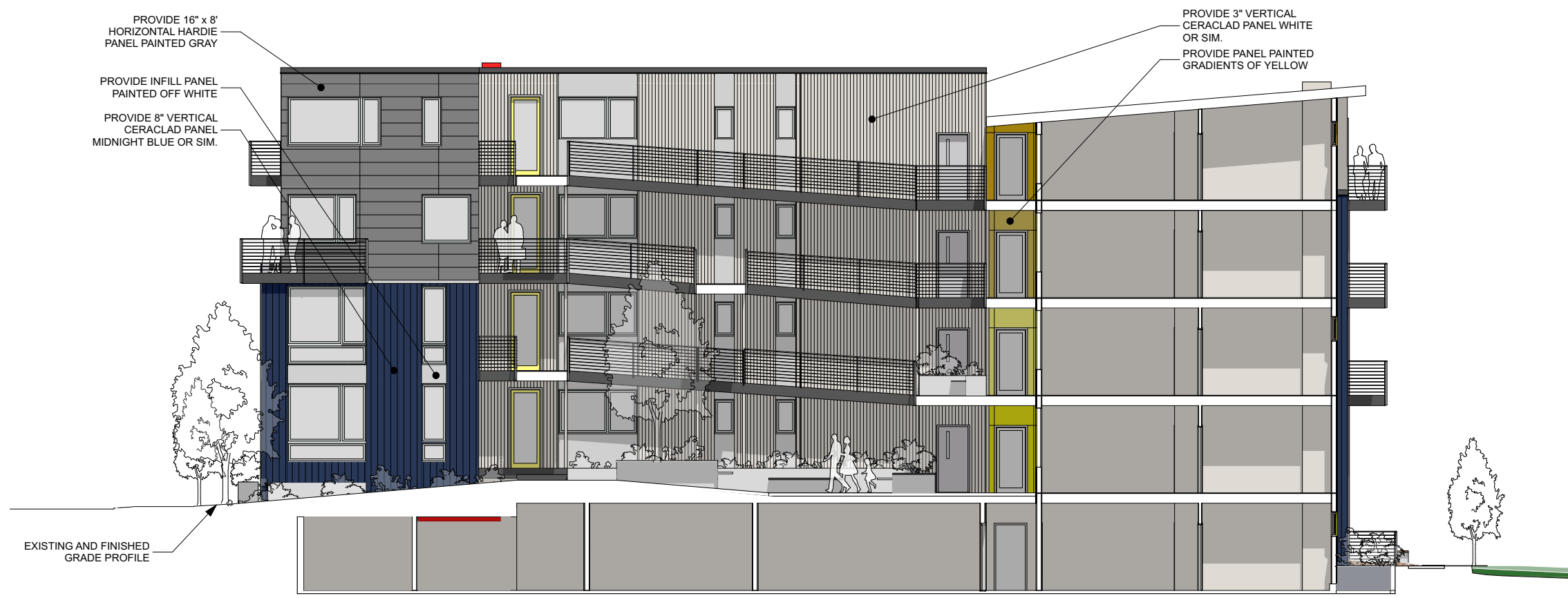
16" x 8" Hardie Panel Horizontal Siding  
SW 7067 Cityscape or Sim.



Cedar or Sim. Decking



Steel Guardrail



**SOUTH COURTYARD ELEVATION**



Parapet Cap / Deck Fascia  
BM 2131-10 Black Satin or Sim.



Guardrails / Handrails / Vent Hood  
SW 2125 Rainshower or Sim.



4' x 8' Hardie Panel Horizontal Siding  
BM 2024-30 Citron or Sim.



4' x 8' Hardie Panel Horizontal Siding  
BM 2024-40 Yellow Finch or Sim.



4' x 8' Hardie Panel Horizontal Siding  
SW 6689 Overjoy or Sim.



4' x 8' Hardie Panel Horizontal Siding  
SW 6670 Gold Crest or Sim.



# PROJECT VIEWS



View from SW



View from NW



# PROJECT VIEWS



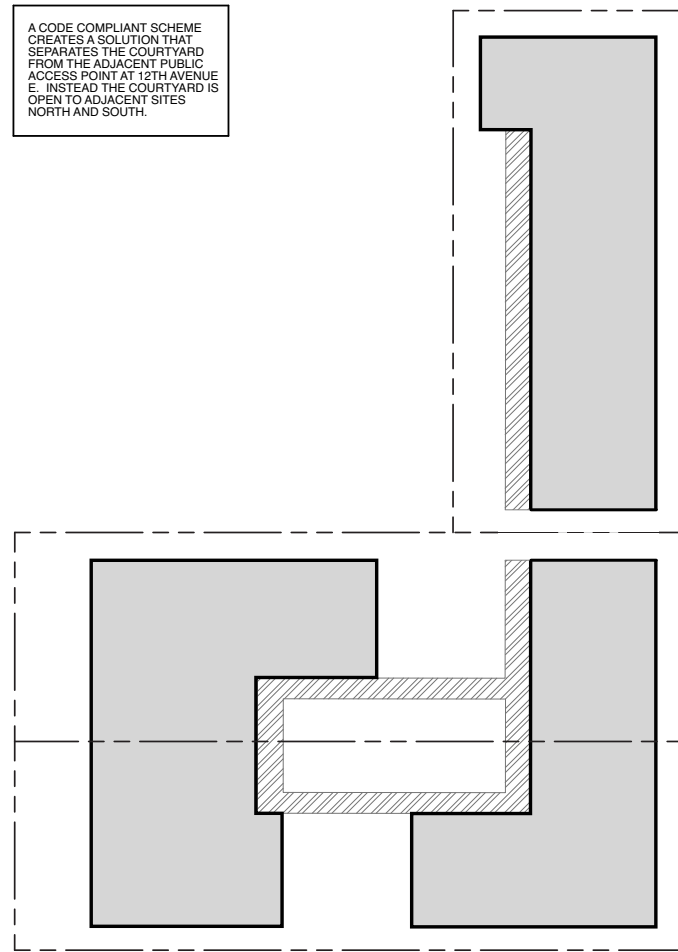
Aerial View from NE



View from NW

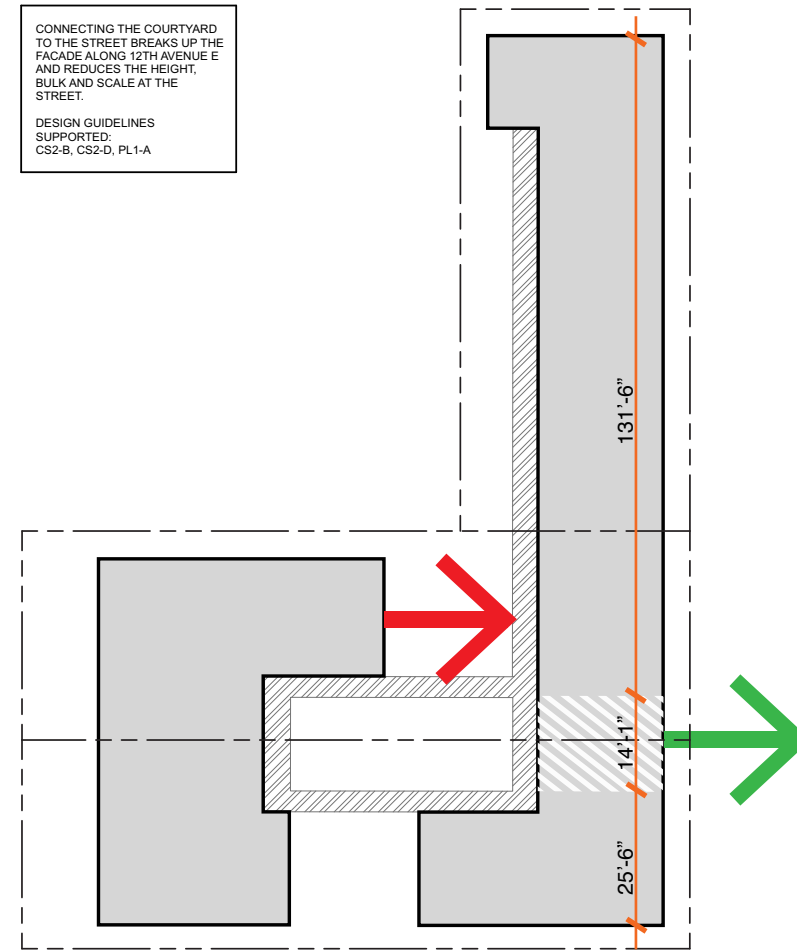


# DEPARTURE DIAGRAMS



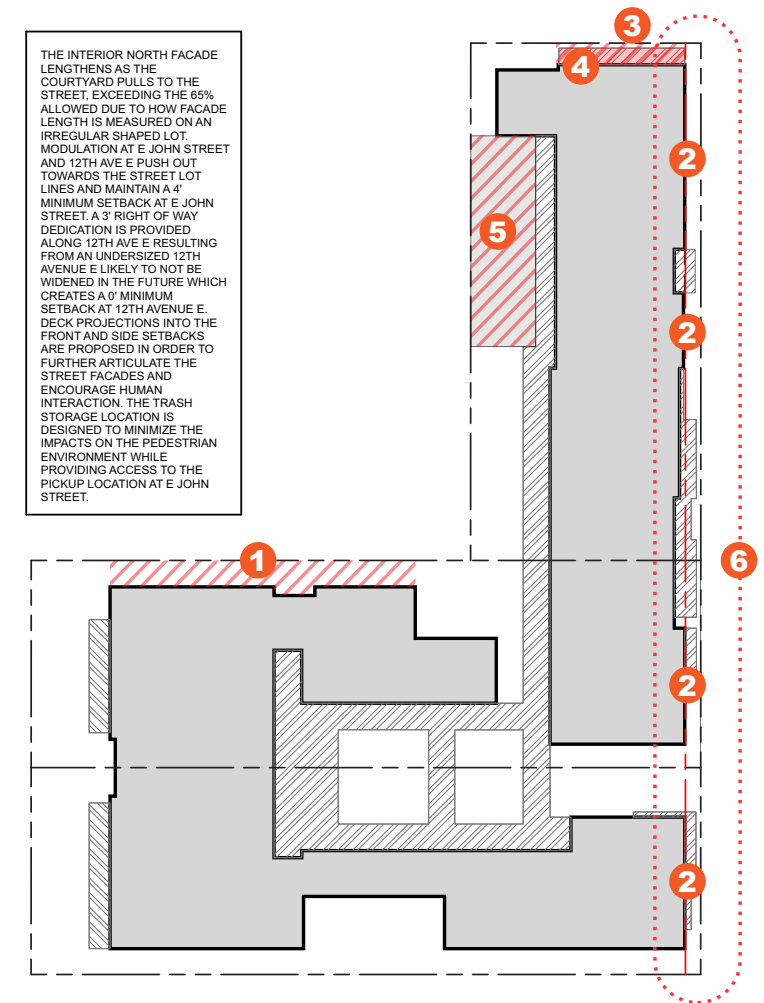
A CODE COMPLIANT SCHEME CREATES A SOLUTION THAT SEPARATES THE COURTYARD FROM THE ADJACENT PUBLIC ACCESS POINT AT 12TH AVENUE E. INSTEAD THE COURTYARD IS OPEN TO ADJACENT SITES NORTH AND SOUTH.

Code Compliant Scheme



CONNECTING THE COURTYARD TO THE STREET BREAKS UP THE FACADE ALONG 12TH AVENUE E AND REDUCES THE HEIGHT, BULK AND SCALE AT THE STREET.  
DESIGN GUIDELINES SUPPORTED: CS2-B, CS2-D, PL1-A

Separate Massing and Expand



THE INTERIOR NORTH FACADE LENGTHENS AS THE COURTYARD PULLS TO THE STREET, EXCEEDING THE 65% ALLOWED DUE TO HOW FACADE LENGTH IS MEASURED ON AN IRREGULAR SHAPED LOT. MODULATION AT E JOHN STREET AND 12TH AVE E PUSH OUT TOWARDS THE STREET LOT LINES AND MAINTAIN A 4' MINIMUM SETBACK AT E JOHN STREET. A 3' RIGHT OF WAY DEDICATION IS PROVIDED ALONG 12TH AVE E RESULTING FROM AN UNDERSIZED 12TH AVENUE E LIKELY TO NOT BE WIDENED IN THE FUTURE WHICH CREATES A 0' MINIMUM SETBACK AT 12TH AVENUE E. DECK PROJECTIONS INTO THE FRONT AND SIDE SETBACKS ARE PROPOSED IN ORDER TO FURTHER ARTICULATE THE STREET FACADES AND ENCOURAGE HUMAN INTERACTION. THE TRASH STORAGE LOCATION IS DESIGNED TO MINIMIZE THE IMPACTS ON THE PEDESTRIAN ENVIRONMENT WHILE PROVIDING ACCESS TO THE PICKUP LOCATION AT E JOHN STREET.

Departure Requests

# DEPARTURE MATRIX

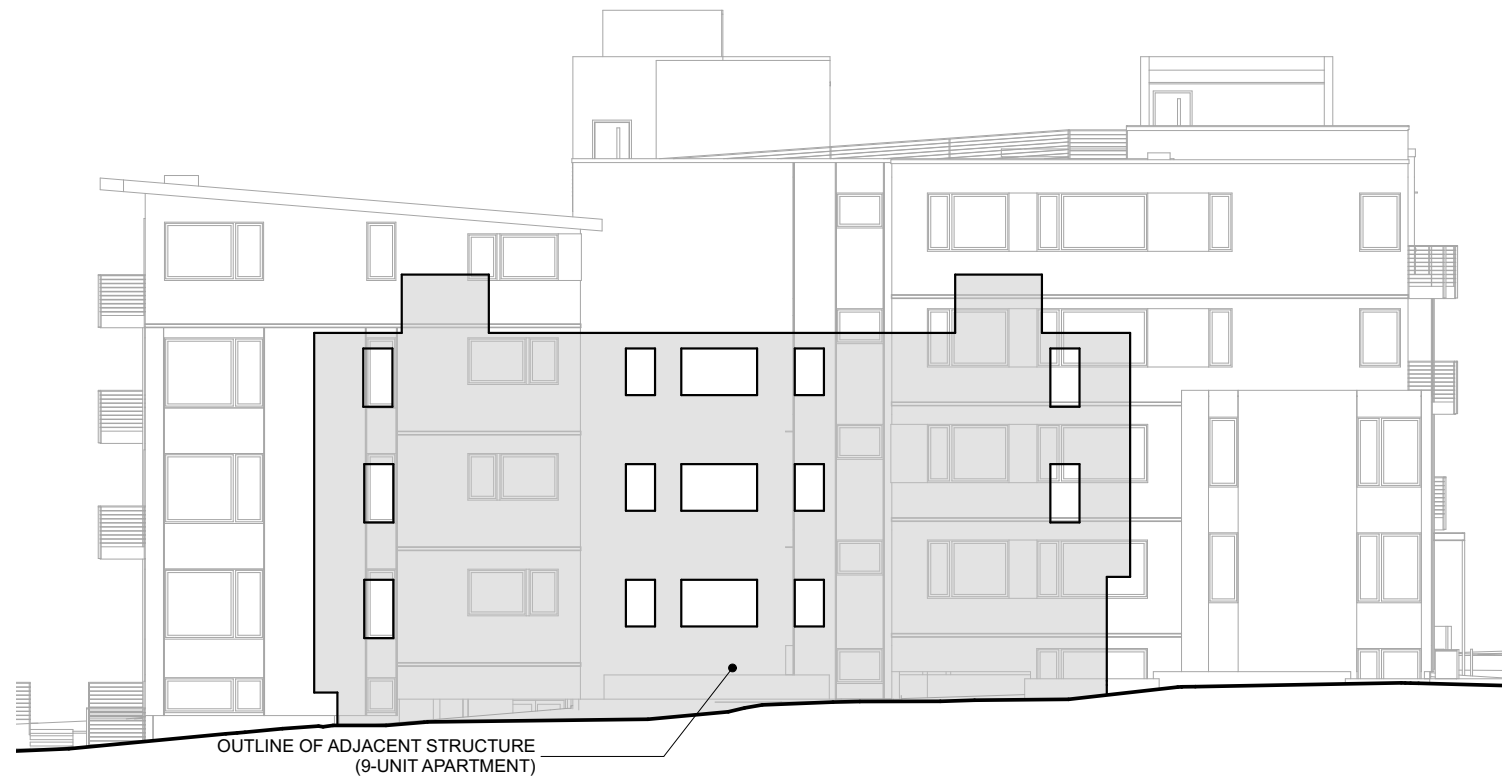
ITEM	CODE SECTION AND REQUIREMENT NAME	REQUIRED	PROVIDED	AMOUNT OF DEPARTURE	JUSTIFICATION	SUPPORTED DESIGN GUIDANCE
1	<b>FACADE LENGTH</b> SMC 23.45.527.B.1	A MAXIMUM OF 65% OF LOT LENGTH, WHICH IS 54'-7 1/4"	69.5% ALONG THE (MID) NORTH PROPERTY LINE, WHICH IS 58'-4 7/8"	FAÇADE LENGTH: 3'-9 5/8" INCREASE IN LENGTH	THE INCREASE IN FACADE LENGTH RESULTS FROM AN UNUSUAL SITE GEOMETRY AND A DESIRE TO CREATE A LARGE CENTRAL COURTYARD FOR THE PROJECT. BECAUSE OF THE L-SHAPED GEOMETRY THE COURTYARD CAN ONLY BE LOCATED IN ITS CURRENT POSITION AT THE CENTER OF THE SITE. THIS COMBINED WITH THE METHOD OF INTERPERTING SIDE AND REAR SETBACK (ONLY ONE REAR IS ALLOWED) CREATES A LONGER THAN ALLOWED FACADE LENGTH ALONG THE INTERNAL NORTH SIDE SETBACK. THIS SIDE OF THE PROJECT ABUTS THE REAR OF THE ADJACENT PROPOSED APARTMENT BUILDING WHICH WILL PROVIDE A 15 FOOT REAR SETBACK. THIS COMBINED WITH OUR DESIGN CONCEPT AND VARIED MASSING SUPPORTS THIS REQUESTED DEPARTURE.	CS2.D HEIGHT, BULK, & SCALE, PL.3.C STREET LEVEL INTERACTION RESIDENTIAL EDGES, CS.2.B ADJACENT SITES, STREETS, AND OPEN SPACES, PL.3.A STREET LEVEL INTERACTION ENTRIES
2	<b>FRONT SETBACK</b> SMC 23.45.518.A	5' MINIMUM SETBACK	0' MINIMUM SETBACK	SETBACK: 5' REDUCTION OF MINIMUM SETBACK	THE PROJECT IS PROVIDING A 3 FOOT RIGHT-OF-WAY DEDICATION ALONG 12TH AVE E FOR FUTURE ARTERIAL IMPROVEMENTS. THIS DEDICATION CHANGES THE DEPARTURE REQUEST FROM A 2' MINIMUM SETBACK TO A 0' MINIMUM SETBACK AT SPECIFIC MASSING PROJECTIONS ALONG THE STREET FACADE. MODULATION OF THE MASSING WITH PLANE CHANGES ALONG 12TH AVENUE E PROVIDES A RHYTHM AND ADDS HUMAN SCALE TO THE LONG STREET FACADE CREATED BY AN IRREGULAR SHAPED LOT. THE REDUCED MINIMUM SETBACK ALLOWS FOR THE MODULATION AND ARTICULATION THAT BREAKS DOWN THE SCALE AND LENGTH OF THE FACADE AND BETTER RELATES THE PROPOSAL TO THE SCALE OF THE NEIGHBORHOOD CONTEXT.	CS2.D HEIGHT, BULK, & SCALE, PL3-B-2 RESIDENTIAL EDGES, CS2-C RELATIONSHIP TO THE BLOCK, DC2-B-1 FAÇADE COMPOSITION, DC2-D SCALE AND TEXTURE
3	<b>STREET SIDE SETBACK</b> SMC 23.45.518.A	5' MINIMUM SETBACK	4' MINIMUM SETBACK	SETBACK: 1' REDUCTION OF MINIMUM SETBACK	MODULATION OF THE MASSING WITH PLANE CHANGES ALONG E JOHN STREET CONTINUES THE ARCHITECTURAL LANGUAGE FROM THE STREET FACADE ALONG 12TH AVENUE E TO PROVIDE A WHOLISTIC DESIGN APPROACH TO THE PROJECT. THE REDUCED MINIMUM SETBACK ALLOWS FOR THE MODULATION THAT ARTICULATES THE STRONG STREET CORNER.	CS2.D HEIGHT, BULK, & SCALE, PL3-B-2 RESIDENTIAL EDGES, CS2-C RELATIONSHIP TO THE BLOCK, DC2-B-1 FAÇADE COMPOSITION, DC2-D SCALE AND TEXTURE
4	<b>STREET SIDE SETBACK: PROJECTIONS</b> SMC 23.45.518.1	UNENCLOSED DECKS AND BALCONIES MAY PROJECT A MAXIMUM OF 4 FEET INTO REQUIRED SETBACKS IF EACH ONE IS: 1. NO CLOSER THAN 5 FEET TO ANY LOT LINE; 2. NO MORE THAN 20 FEET WIDE; AND 3. SEPARATED FROM OTHER DECKS AND BALCONIES ON THE SAME FACADE OF THE STRUCTURE BY A DISTANCE EQUAL TO AT LEAST 1/2 THE WIDTH OF THE PROJECTION.	DECKS PROJECT UP TO 4' TO WITHIN OF 9" THE FRONT/STREET SIDE PROPERTY LINE AND ARE NOT SEPARATED FROM DECKS ON THE SAME FAÇADE BY A DISTANCE OF AT LEAST 1/2 THE WIDTH OF THE PROJECTIONS.	SETBACK: 4'-3" REDUCTION MINIMUM FOR DECK PROJECTIONS IN SETBACK AND REDUCED DECK SEPARATION MINIMUM	THE SETBACK PROJECTIONS EXTENDS CLOSER THAN 3 FEET TO THE STREET FACING LOT LINE IN ORDER TO PROVIDE MODULATION AND DETAIL AT THE CORNER. THE DECKS ARE AN EXTENSION OF THE ARCHITECTURAL DESIGN CONCEPT AND ADDING DETAIL AND LAYERING TO THE PROPOSAL. THE INNER WALKWAYS LINE THE COURTYARD AND EMERGE AT THE STREET FACING FACADES TO PROVIDE OPPORTUNITIES FOR SAFETY AND SECURITY, COUPLED WITH ACTIVITY AT THE STREET EDGE.	PL.2.B SAFETY AND SECURITY, PL.3.A ENTRIES, CS2.D.4 HEIGHT BULK & SCALE, DC.2.C ARCHITECTURAL CONCEPT SECONDARY ARCHITECTURAL FEATURES
5	<b>SIDE SETBACK: STRUCTURES IN SETBACKS</b> SMC 23.45.518.J.1	5' SETBACK FROM PROPERTY LINE 3' SETBACK FROM PRINCIPAL STRUCTURE	0' SETBACK FROM PROPERTY LINE 0' SETBACK FROM PRINCIPAL STRUCTURE	SETBACK: 5' REDUCTION OF SIDE SETBACK, 3' REDUCTION OF SETBACK FROM PRICIPAL STRUCTURE	THE CONSOLIDATION OF THE TRASH STORAGE LOCATION IN THE WEST SIDE SETBACK PROVIDES ACCESS FROM THE UNITS TO THE TRASH STORAGE AREA AND FROM THE TRASH STORAGE AREA TO THE PICKUP LOCATION AT E JOHN STREET WHILE MINIMIZING THE IMPACT ON THE PEDESTRIAN EXPERIENCE. ENCLOSING THE TRASH STORAGE AREA MINIMIZES THE ODOR AND VISUAL IMPACTS ON THE PROPOSAL AS WELL AS ADJACENT SITES.	DC1-C-4 SERVICE USES, CAPITOL HILL GUIDELINE DC1-II SCREENING OF DUMPSTERS, UTILITIES AND SERVICE AREAS
6	<b>FAÇADE WIDTH</b> SMC 23.45.527.A	A MAXIMUM OF 150'	174'-3 3/4" ALONG THE EAST PROPERTY LINE	FAÇADE WIDTH: 24'-3 3/4" INCREASE IN WIDTH	THE INCREASE IN FACADE WIDTH RESULTS FROM AN UNUSUAL SITE GEOMETRY AND A DESIRE TO CREATE A LARGE CENTRAL COURTYARD FOR THE PROJECT. BECAUSE OF THE L-SHAPED GEOMETRY THE COURTYARD CAN ONLY BE LOCATED IN ITS CURRENT POSITION AT THE CENTER OF THE SITE. THIS PUSHES THE APARTMENTS TO THE EXTERIOR OF THE SITE WHICH INCREASES THE FACADE WIDTH ALONG 12TH AVENUE E. THE FACADE IS BROKEN DOWN IN SCALE WITH VARIED MASSING MODULATION, GLAZING STRATEGIES AND MATERIAL CHANGES. THIS UNUSAL SITE PLAN MAXIMIZES THE LIGHT AND AIR FLOW THROUGHOUT THE PROJECT AND PROVIDES MOST UNITS WITH TWO OR MORE SIDES OF GLAZING.	CS2.D HEIGHT, BULK, & SCALE, PL.3.C STREET LEVEL INTERACTION RESIDENTIAL EDGES, CS.2.B ADJACENT SITES, STREETS, AND OPEN SPACES, PL.3.A STREET LEVEL INTERACTION ENTRIES



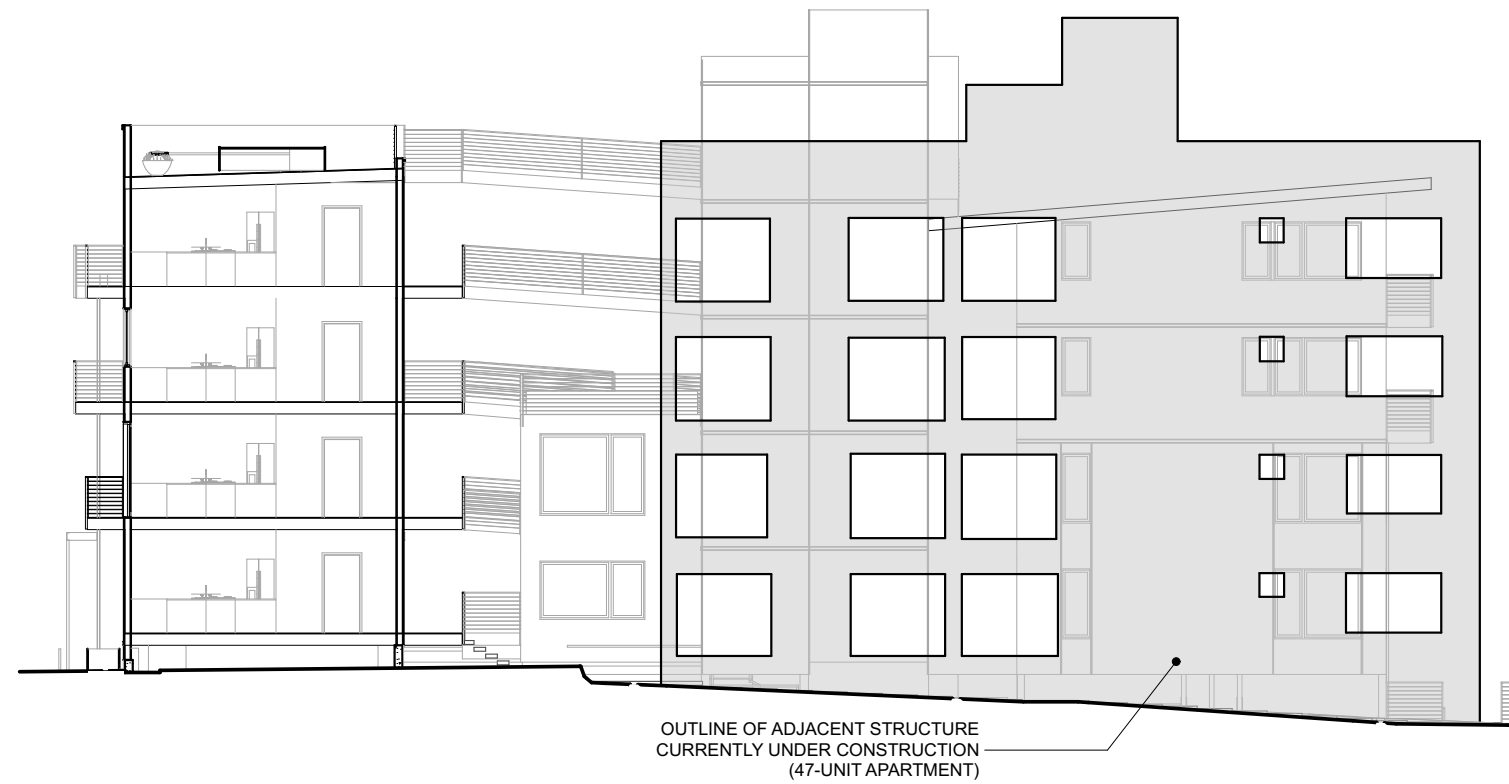
# ADJACENT STRUCTURES



WEST PRIVACY ELEVATION



SOUTH PRIVACY ELEVATION



NORTH PRIVACY ELEVATION

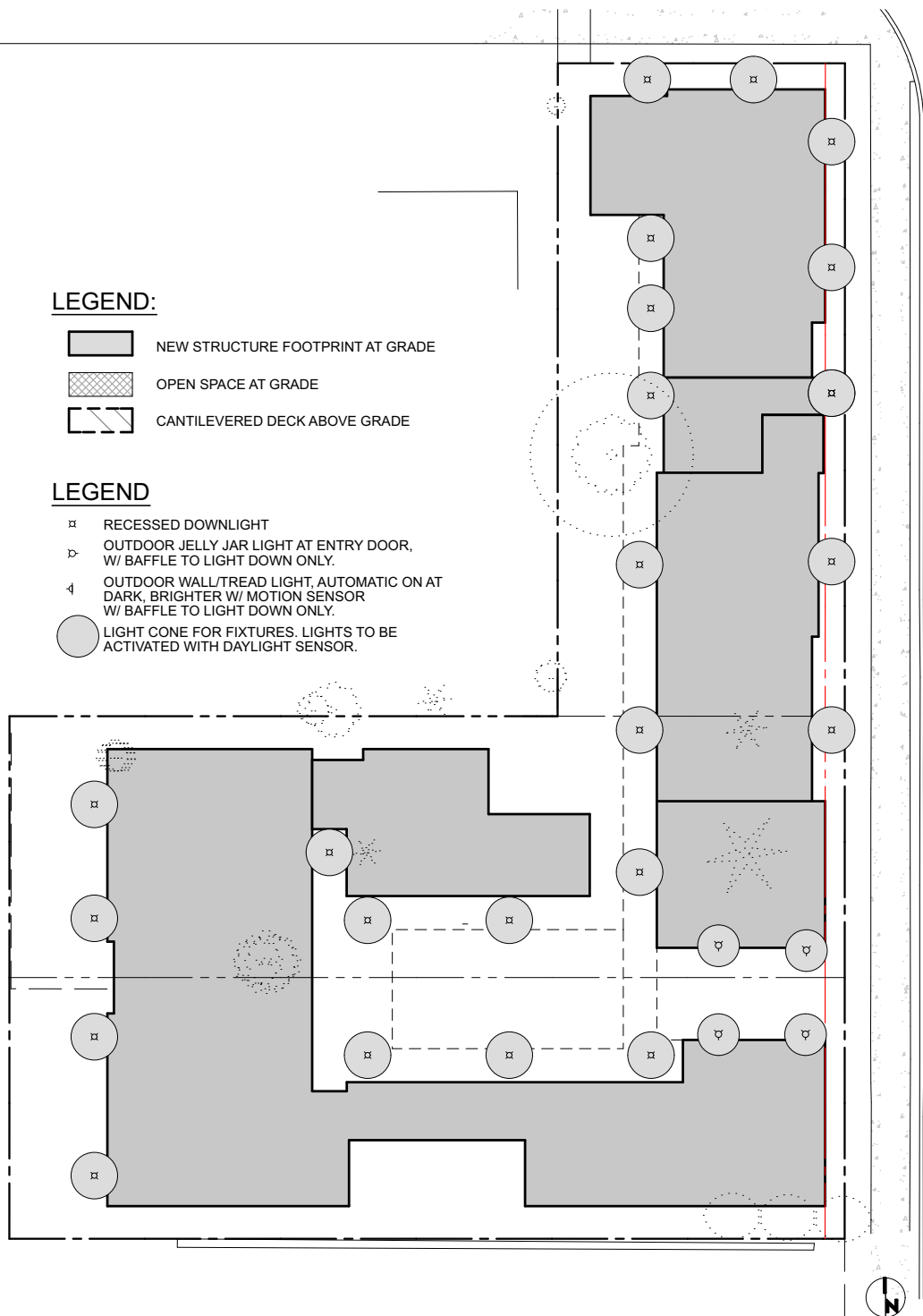


# SIGNAGE

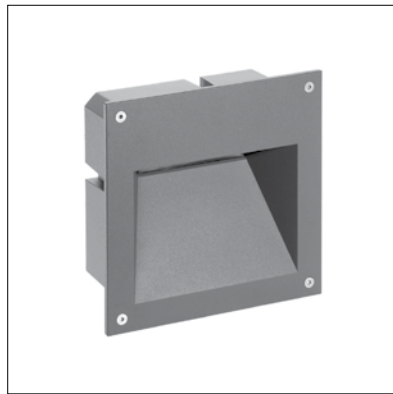
BUILDING NUMBER SIGNAGE  
Stainless steel Numbers located at  
the arbor above entry to courtyard  
**121**



# LIGHTING



12th Avenue East



1 Recessed Wall Fixture



2 Sconce Fixture for Units / Penthouses



3 Recessed Exterior Can Fixtures

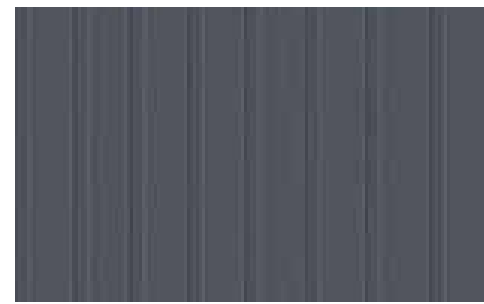




4' x 8' Hardie Panel Horizontal Siding  
SW 6670 Gold Crest or Sim.



16" x 8' Hardie Panel Horizontal Siding  
BM 2129-30 Blue Note or Sim.



8" Reveal Ceraclad Vertical Siding  
Midnight Blue or Sim.



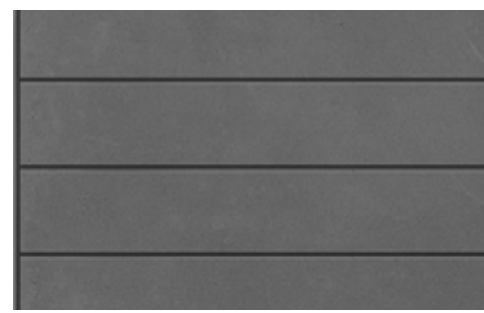
Wood and Concrete Bench



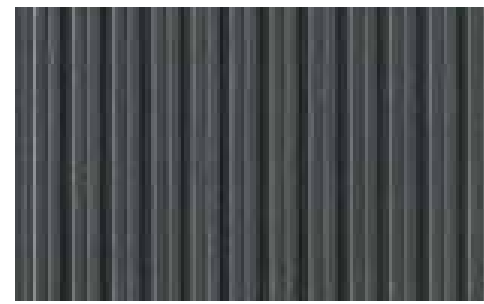
Gapped Hardwood Siding



4' x 8' Hardie Panel Horizontal Siding  
SW 6689 Overjoy or Sim.



16" x 8' Hardie Panel Horizontal Siding  
SW 7067 Cityscape or Sim.



Ceraclad Cast Stripe Vertical Siding  
Charcoal or Sim.



Concrete Pavers



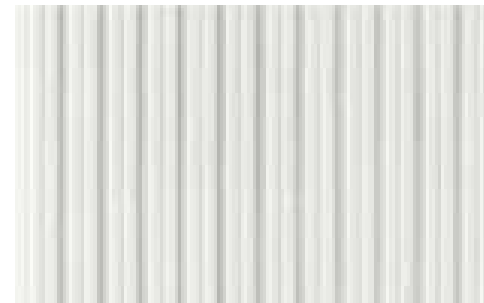
Evergreen Clematis Green Wall



4' x 8' Hardie Panel Horizontal Siding  
BM 2024-40 Yellow Finch or Sim.



Guardrails / Handrails / Vent Hood  
SW 2125 Rainshower or Sim.



Ceraclad Cast Stripe Vertical Siding  
Ash or Sim.



Concrete Pavers



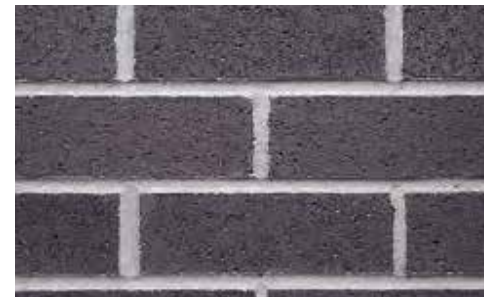
Painted wood screen



4' x 8' Hardie Panel Horizontal Siding  
BM 2024-30 Citron or Sim.



Parapet Cap / Deck Fascia  
BM 2131-10 Black Satin or Sim.



Mission Brick  
Ebony



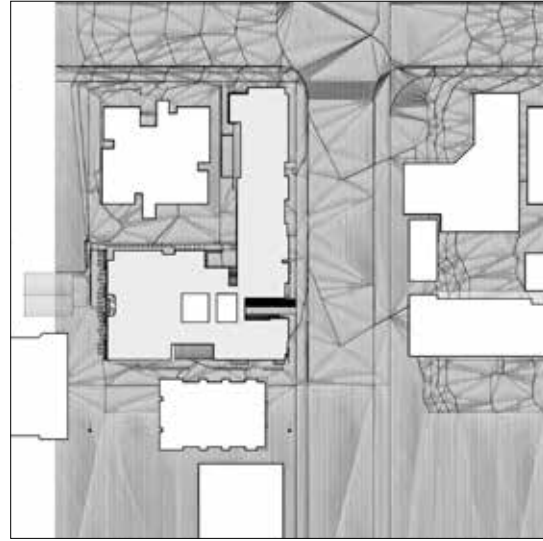
Cedar or Sim. Decking



Painted Steel Arbor  
BM 2175-10 Aztec Brick or Sim

# SHADOW STUDIES

9 AM



12 PM



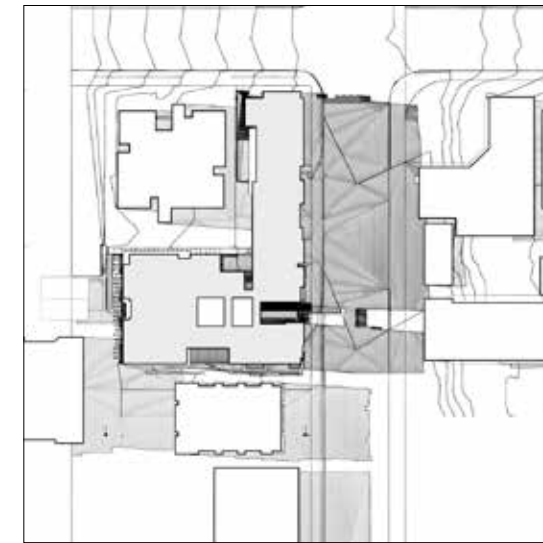
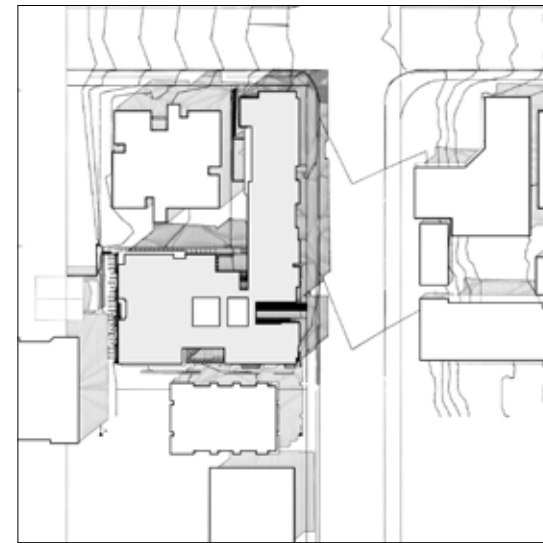
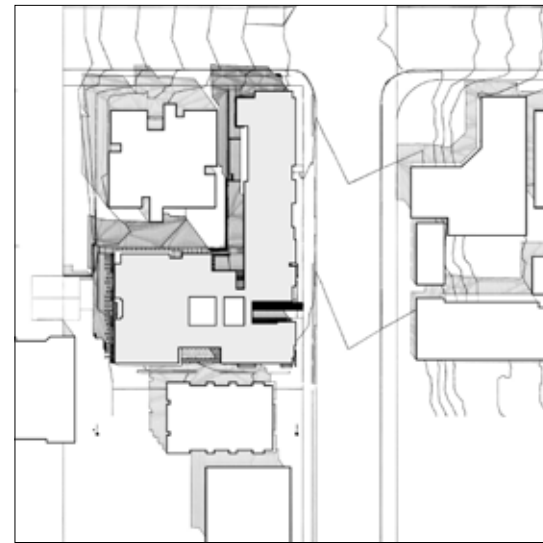
3 PM



6 PM



DECEMBER 21



JUNE 21



MARCH 21



# COMPLETED WORK



3515 Wallingford Ave N



1818 E Yesler Way



1818 E Yesler Way





208 18th Avenue E



1504 19th Avenue



90 E Newton Street



1411 E Fir Street