

# CB ANDERSON ARCHITECTS PLLC



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## 4712 Townhomes Streamlined Design Review

Property Address: 4712 Delridge Way SW

Project number: 4712 Delridge LLC/Aleksey Strelyuk  
14650 1ST AVE S  
Burien, WA 98168

Owner/Lessee Name: 3017213

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PART II: DESIGN GUIDANCE PRO-  
POSAL PACKET

1. PROPOSAL: **Statement of develop-  
ment objectives indicating type of desired uses,  
structure height, number of residential units,  
amount of commercial square footage and num-  
ber of parking stalls.**

Development Objectives, Uses &  
Residential Units:

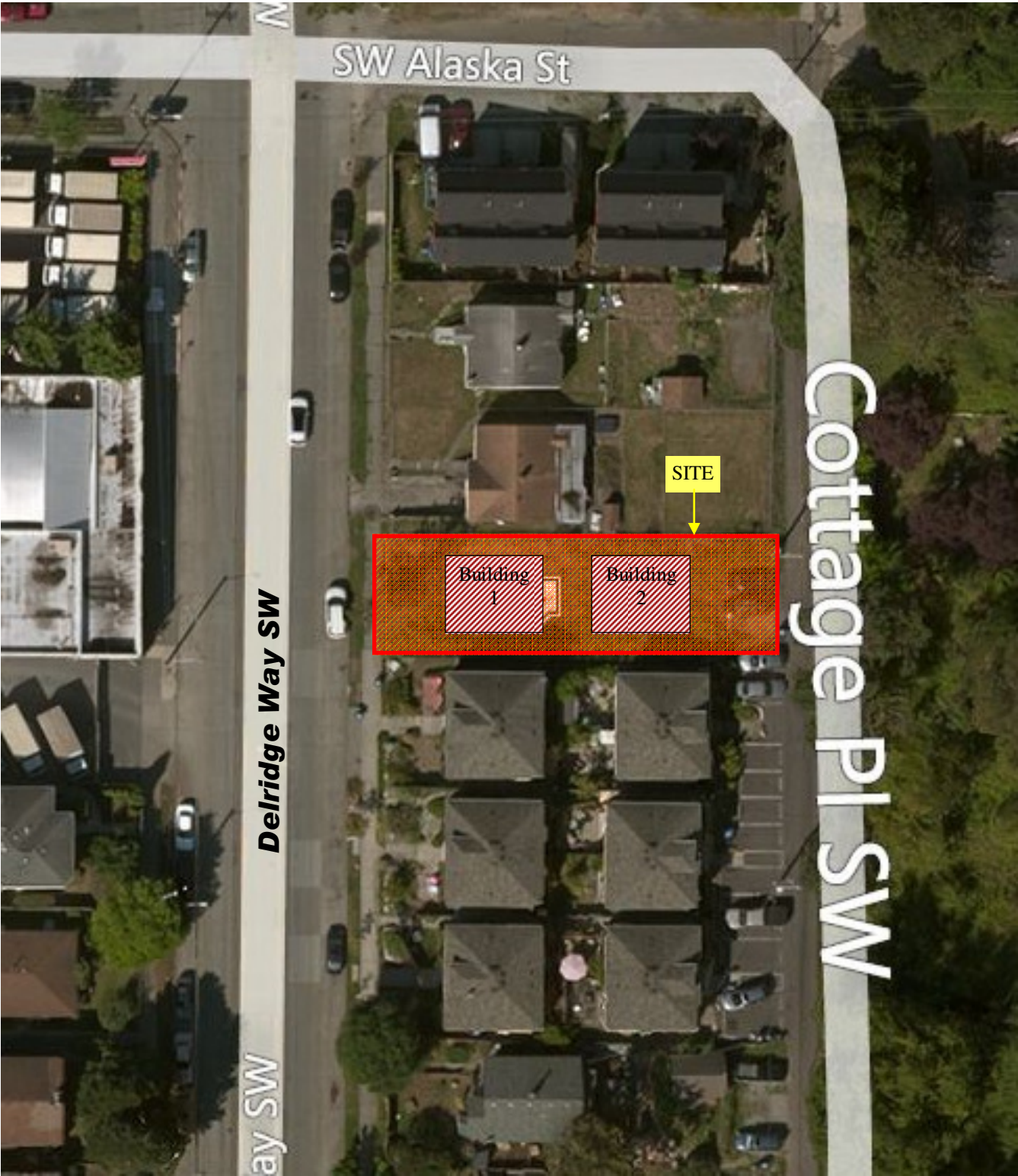
The objective of this project is to built townhomes that have a contemporary look and fit into a developing neighborhood as well as maximize the site for town-  
homes. The neighborhood has many amenities which can handle the increase in density. There will be a total of four units with 2 units in front off the street and a 2 units in back.

Structure Height:

The proposed townhomes have shed roofs and are allowed to have 30' plate height with shed roofs at 3' above the plate height.

Access & Parking:

The pedestrian access to the townhomes will be from Delridge Way SW. The front units will be accessed directly from the street. The back units will be accessed from a path that runs along the entire north side of the property. Parking will be from the named alley (Cottage Place SW). Each unit can go to a back door from the parking to their unit.



SITE WITH PROPOSED BUILDINGS





2. ANALYSIS OF CONTEXT: Initial site analysis addressing site opportunities and constraints, adjacent buildings, zoning of the site and adjacent properties, overlay designations, solar access, views, circulation patterns, community nodes, landmarks, and existing architectural and siting

Site context and zoning:

The immediate neighboring zoning is Lowrise Multifamily LR2 and Single Family 5000. There is a commercial facility across the street. There are more businesses a few blocks north and south on Delridge which are pedestrian friendly. There is also a large community center and park a half a block to the Northwest.

Circulation:

The commercial districts a few blocks to the north and south makes this a good area for convenience. Also there are many parks nearby that make it easy to walk or jog too. The parking is convenient off the alley.

Existing Architecture:

There is a large mix of architecture in this community. There are still many single family houses on this street, but are often protected with large fences from the somewhat busy street. Between these are townhomes or apartments that are a mix of style from traditional to contemporary.

3. EXISTING SITE CONDITIONS: A drawing of existing site conditions, indicating topography of the site or other physical features and location of structures of prominent landscape elements on the site including but not limited to all trees 6 inches or greater in diameter measured 4.5' above the ground (CAM 242)

Site topography:

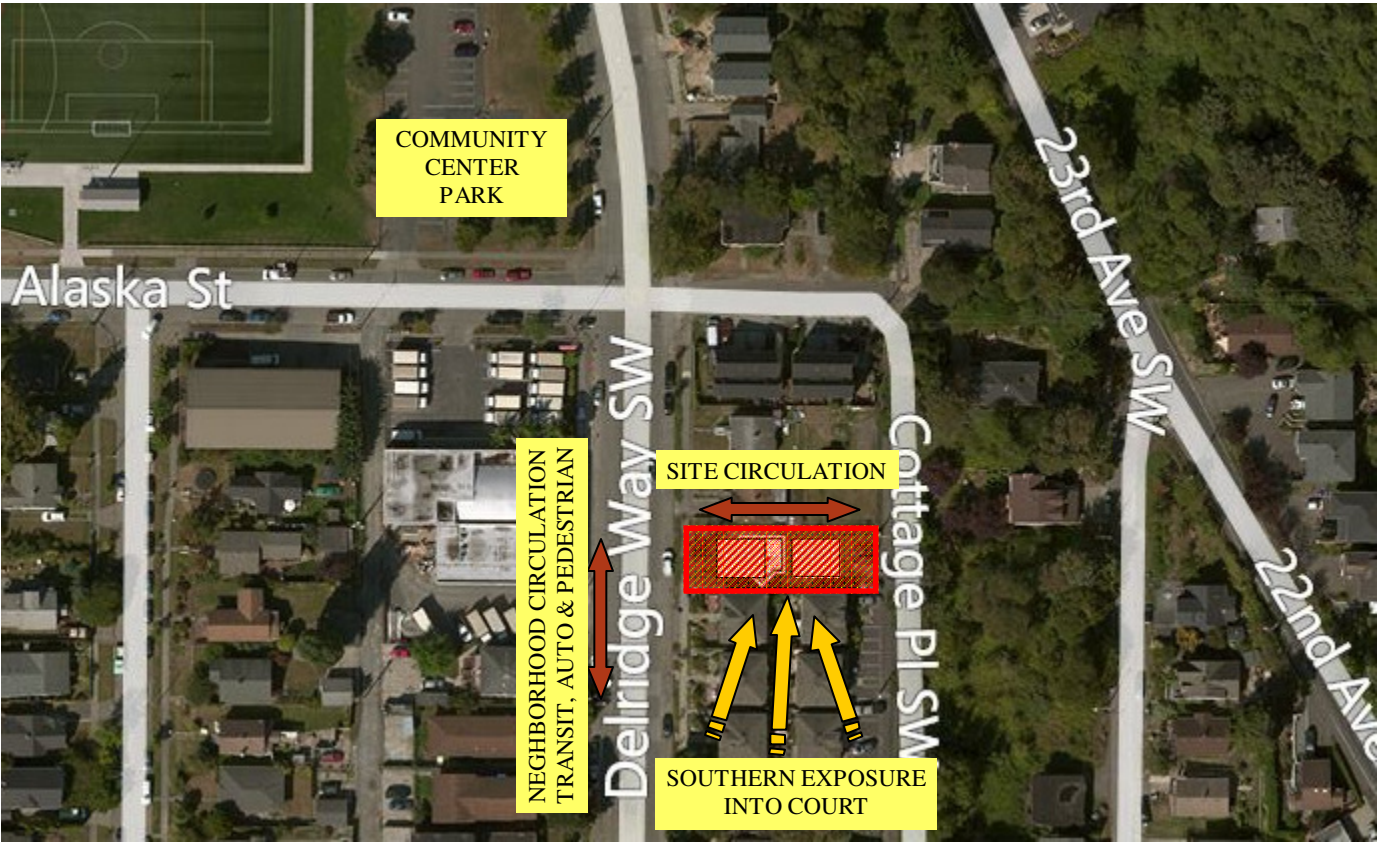
The site slopes uphill from Delridge Way to the alley. This allows the buildings to be raised up from the busy street. The front building will have territorial views across the street over the 1 story business across the street and over the community center park to the North West.

Site conditions and limitations:

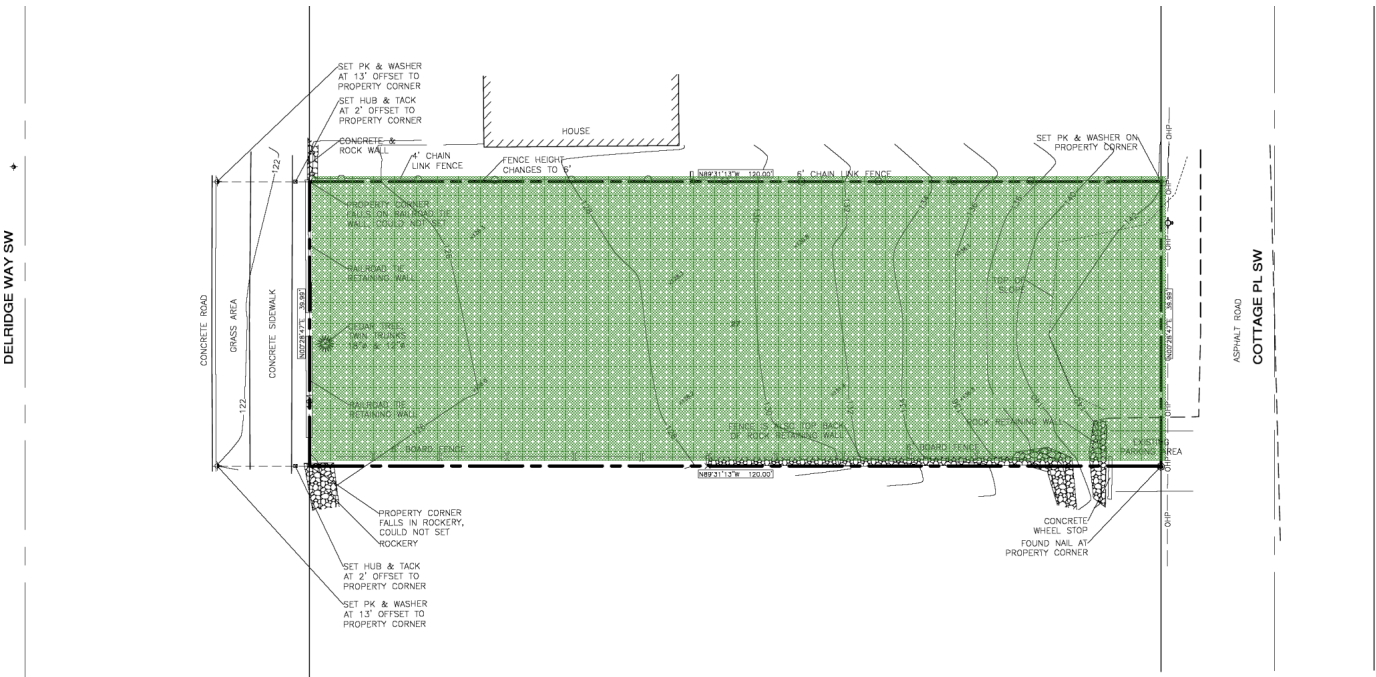
There currently is no structure on the site. The site is not very large so there is not very many arrangements to get in 4 units and meet the zoning code. The project will be Built Green in order to get more then the allowed 3 units on the site.

Site trees:

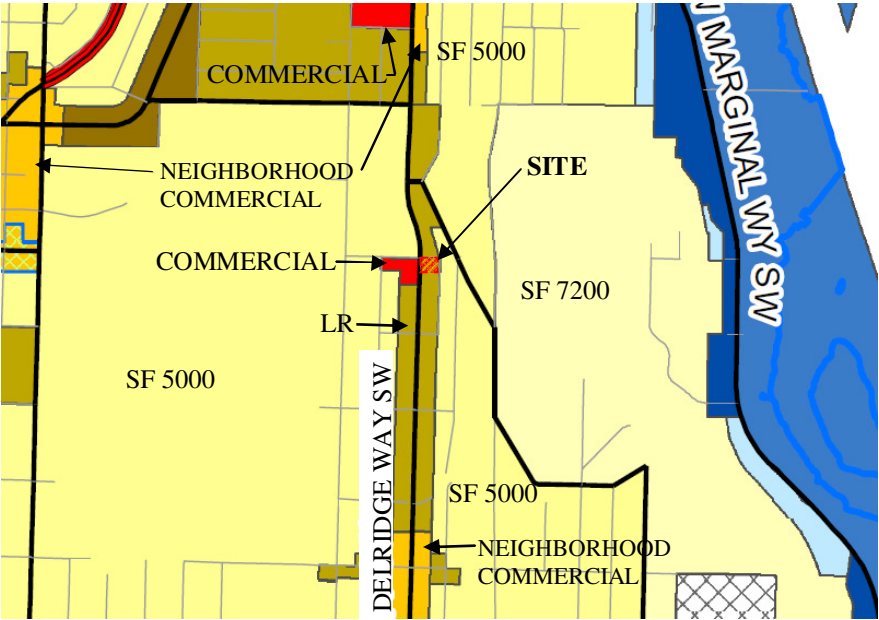
There is only one non significant tree on the site.



NEIGHBORHOOD NORTH



EXISTING SITE NORTH



ZONING







A. PANORAMA OF DELRIDGE WAY

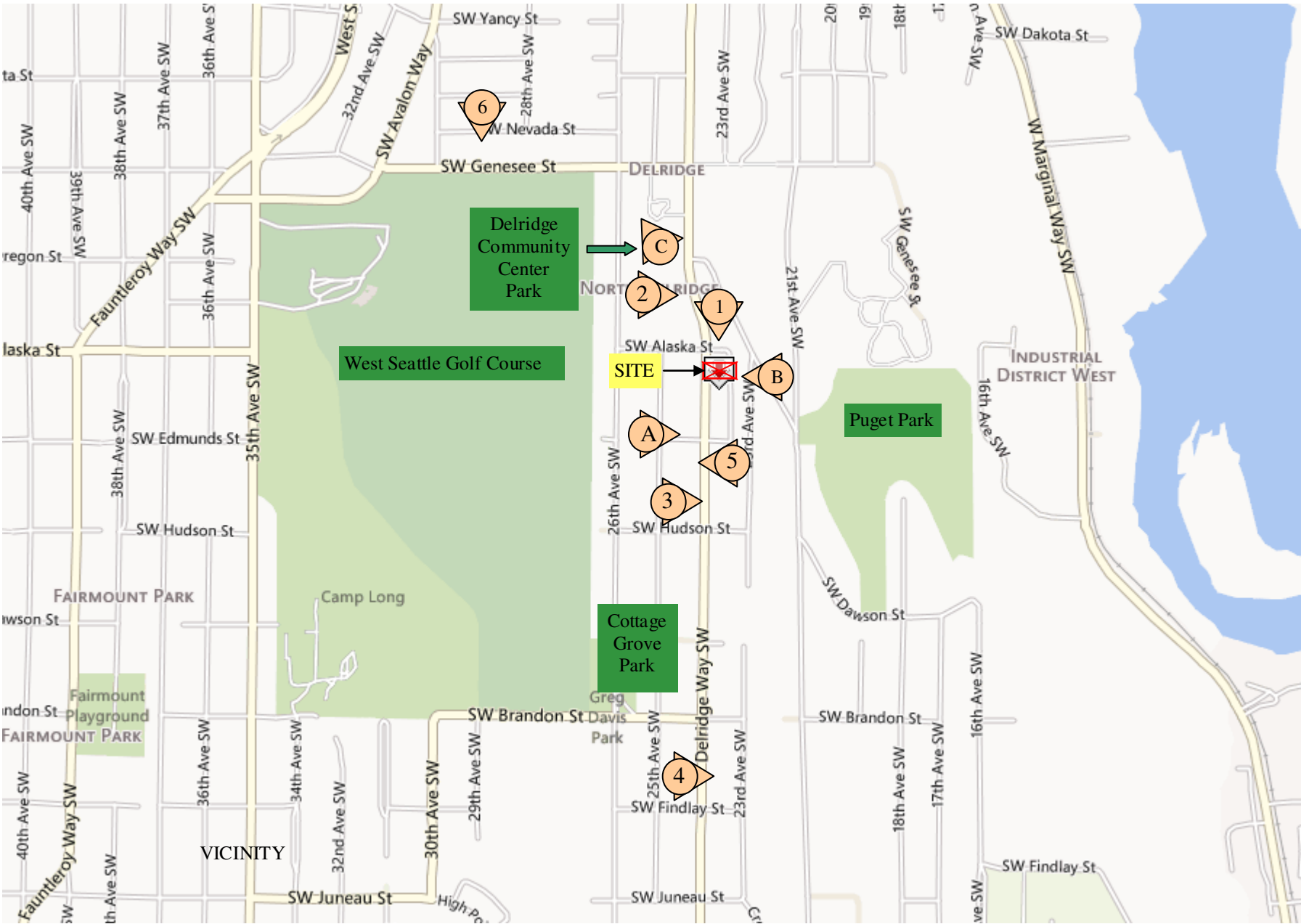


B. PHOTO ACROSS SITE AND STREET



C. PARK TO NORTH WEST OF SITE

SUBJECT PROPERTY







1. 4 UNIT TOWNHOME



2. APARTMENTS



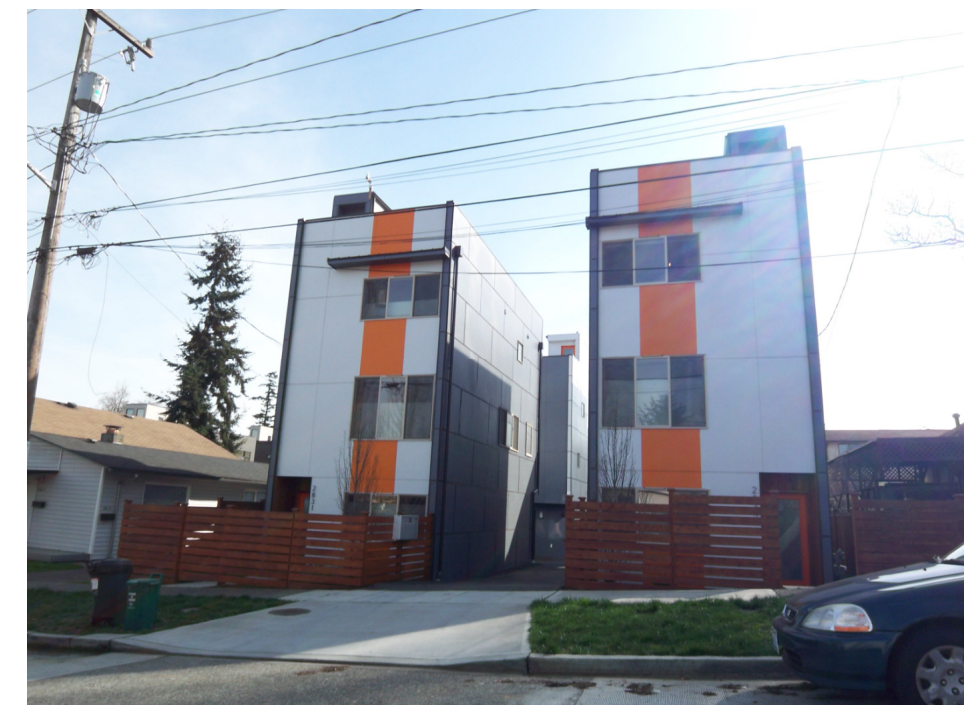
3. 4 - UNIT TOWNHOME



4. COMMERCIAL BUILDING



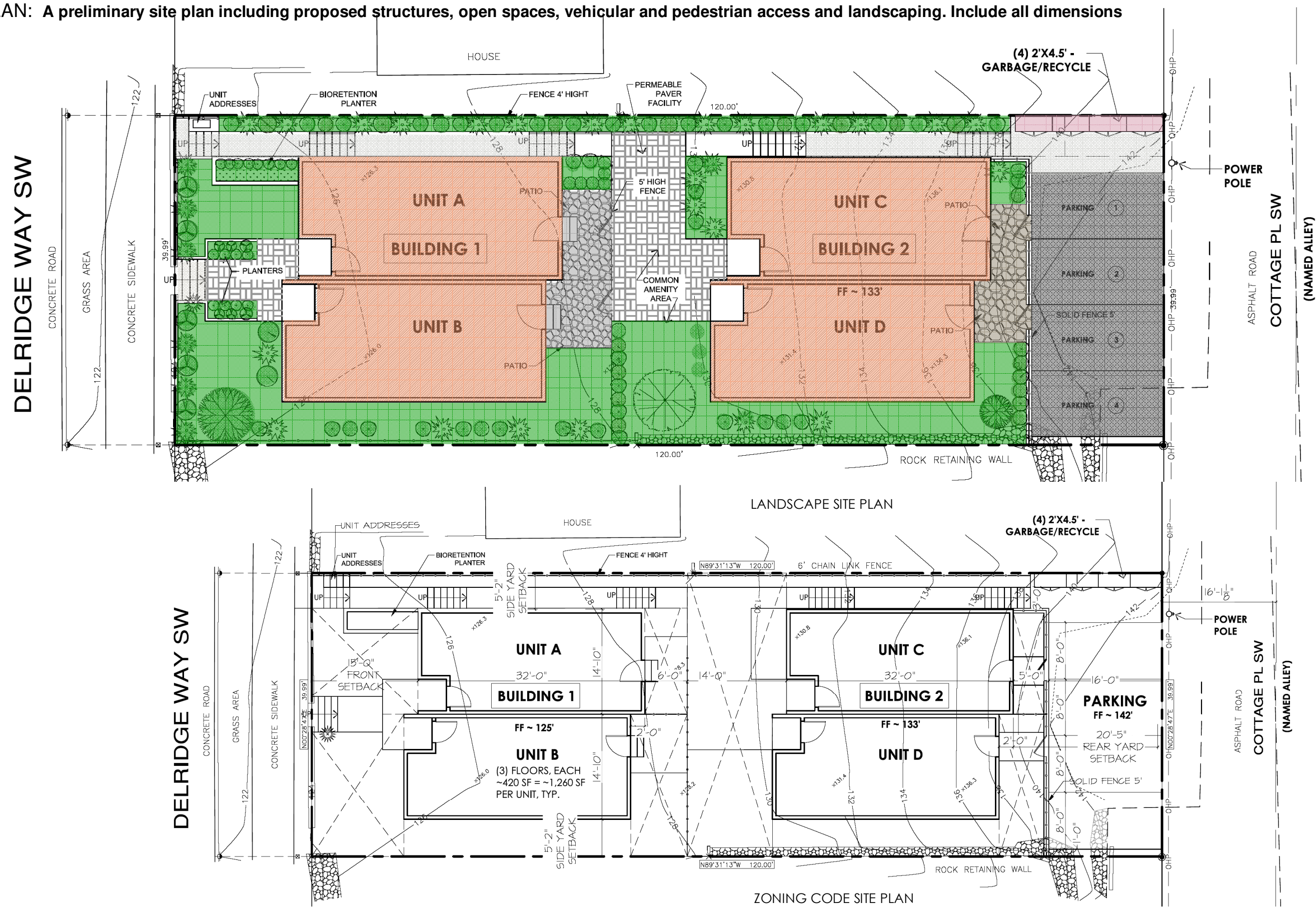
5. 2 SINLE FAMILY HOUSES



6. 4 - UNIT TOWNHOME



4. SITE PLAN: A preliminary site plan including proposed structures, open spaces, vehicular and pedestrian access and landscaping. Include all dimensions





	Required/ allowed	Proposed	Pag e #	Comments/ calculations/ adjustment/ departure
SECTIONS:				
23.45.529 Design standards				
C1 Facade openings	At least 20 percent of the area of each street-facing facade shall consist of windows and/or doors	26 percent of the area of each street-facing facade consists of windows and doors		
C2 Façade articulation	If the street-facing facade of a structure exceeds 700 square feet in area, division of the facade into separate planes is required	Facade is divided in separate planes		
D cottage housing	NA	NA		
E rowhouse	NA	NA		
F townhouse 1. Building orientation. 2. A clear pedestrian pathway. 3. Pedestrian entry on street. 4. Architectural expression.	1.Townhouse developments shall maximize the orientation of individual units to the street  2. A clear pedestrian pathway from the street to the entrance of each townhouse unit shall be provided  3. Each townhouse unit, with a street-facing facade shall have a pedestrian entry on the street-facing facade that is designed to be visually prominent  4.Architectural detail or composition shall be provided to visually identify each individual townhouse unit, as seen from the public street	1. 50 percent of the townhouse units are located so that there is no intervening principal structure between the unit and the street  2.All townhouse units have direct access to street or to a common amenity area that is visible and accessible from the street by a clear pedestrian pathway  3. Provided a covered stoop  4. Massing, color and material variation are used to achieve visual identification of individual units, as seen from the public street		
G apartment entry	NA	NA		
23.45.531 Devclopment standards for cottage housing developments and carriage house structures.	NA	NA		
23.45.534 Light and glare standards	1. Exterior lighting shall be shielded and directed away from adjacent properties 2. Driveways and parking areas for more than two vehicles shall be screened from abutting properties	5' height fence provided where required		
23.45.536 Parking location, access, and screening	Parking shall be located on the same lot as the use requiring parking Parking access from alley is required Screening by a fence or wall is required	As required		
23.54.015 Required parking	4 parking spaces	4 parking spaces		
23.54.030 Parking space standards				
A dimensions	8'X16'	8'X16'		
B requirements	1 parking space per dwelling unit	4 parking spaces		
C backing distances	22'	30' alley R.O.W.		
D driveways	NA	NA		
E parking aisles	NA	NA		
F curb cuts	NA	NA		
G. Site Triangle	NA	NA		
23.54.040 Solid Waste and recyclables	one storage area per dwelling unit that has minimum dimensions of 2 feet by 6 feet	4 storage areas 2 feet by 4.5 feet		Letter from SPU allowed 2' x 4.5 per unit

	Required/ allowed	Proposed	Pag e #	Comments/ calculations/ adjustment/ departure
SECTIONS:				
23.45.502 Scope of provisions	Lowrise 2			
23.45.504 Permitted and prohibited uscs	Permitted: - Residential use - Institutions - Child care centers, preschools, public or private schools, educational and vocational training for the disabled, adult evening education classes, nonprofit libraries, community centers, community programs for the elderly and similar uses in existing or former public schools. - Parks and playgrounds including customary uses - Ground floor commercial uses - Community Gardens - Institutions - Institutions	Residential use		
23.45.508 General provisions				
23.45.510 Floor area ratio (FAR) limits	4, 800 x 1.2 = 5,760	5,760 SF		23.45.510 Table B: Maximum FAR allowed for townhomes in LR-2 ia 1.0 or 1.2 (4-star Built Green)
23.45.510 C provide clear documentation for C1-C4, put all documentation on plan sets C1 – see 23.45.526 commitment C2 – alley access and improve. C3 – Parking location C4 – Access to parking See end for template	C1 – Applicants shall make a commitment that the structure will meet green building performance standards by earning a LEED Silver rating or a Built Green 4-star rating of the Master Builders Association of King and Snohomish Counties C2 – alley should be improved, except that the alley shall be paved rather than improved with crushed rock C3 – Parking shall be located in a structure, portion of a structure or parking area at the rear of the lot C4 – If the lot abuts an alley, access to parking shall be from the alley	C1 – Applicants will meet a Built Green 4-star rating of the Master Builders Association of King and Snohomish Counties C2 – alley improved C3 – Parking located at the rear of the lot C4 – Access to parking from alley		
23.45.512 Density limits -- Lowrise zones	3 units, for 4 units 4-star Built Green is required	4 units		23.45.512 A. Townhomes 1/1,600 or No limit (4-star Built Green) 4,800 SF / 1,600 = 3 units, for 4 units 4-star Built Green is required
23.45.514 Structure height	30 FT	30 FT		23.45.514 A. Max. Base height from average grade in LR-2 zones is 30' + 3' on upper side of shed roof + 1' for roof overhang.
23.45.518 Setbacks and Separations	23.45.518 A. required setbacks for townhomes: - Front setbacks from street lot lines: 7' average setback, 5' minimum setback - Rear setback: 7' average setback, 5' minimum setback - Side Setback for facades 40' or or less: min. 5'	- Front setbacks from street lot lines: 13' - Rear setback: 20' 6" - Side Setback : North 5' 2" South 5' 2"		
23.45.522 Amenity area	1,200 SF	1,242 SF		23.45.522 A. Required amcnity area 25% of lot area: ~4,800 SF x 25% = 1,200 SF, 50% required at ground level
23.45.524 Landscaping standards A. green factor B. Street trees	Green factor score of 0.6	Asking for an adjusment of 25% 0.6x25= .45		23.45.524 Green factor and street trees required.
23.45.526 LEED, Built Green, and Evergreen Sustainable Development Standards	LEED Silver ... as Built Green 4 Star	Built Green 4-star		
23.45.527 Structure width and facade length limits in LR zones	Maximum structure width - 90 ft Maximum facade length - shall not exceed 65 percent of the length of lot line: 120' x 65% = 78'	Structure width = 29'-8" Structure length = 64'		





5. DESIGN GUIDELINES: A brief description of how the proposal meets the intent of the applicable citywide and neighborhood design review guidelines. Identify design guidelines most relevant to the proposal.

CS1Natural Systems and Site Features

CS1 - C. Topography 2. Elevation Change

Because of the significant change in grade from the street the buildings will step up the site. This allows the front buildings entry to be raised slightly above street level to have a small separation, but still visual connection to the street. The center court between the buildings becomes a little more private as it steps up again from the street. Finally the parking is at the top of the site off the alley.

CS1 - E. Water 2. Adding Interest with Project Drainage

This site is full of hardscape with paths and parking. Some of these areas will have pervious pavers which add interest and differentiate different uses of areas. Also to accommodate run-off there will be a bioretention planter along the front path stairs which can be an interesting site feature as well as forming a physical, but not visual separation between the public path and the private front yard of the front building.

CS3 – Architectural Context and Character

CS3 – A. Emphasizing Positive Neighborhood Attributes

4. Evolving Neighborhood

This neighborhood has many types of buildings. There is a noticeable trend towards more contemporary look to the new single family, multifamily and commercial buildings. This structure will have a contemporary appearance, but still feel residential in nature with each unit having recessed front doors towards the street and distinct change in modulation between each unit. This helps to fit in with the single family and other townhomes in the area.

PL3 Street Level Interaction

PL3 – A. Entries 1d. Individual entries to ground related housing.

Each unit has its own entry that is recessed for protection. The front units are still visible from the street. Because of the rise in elevation the front units have some protection from the street, but they are not too far away so that the entries can still be seen from the street. This allows for eyes on the street in both directions adding to a sense of safety. The back units have visibility in the court yard from all the units, because they all have doors to the courtyard.

DC2 Architectural Concept

DC2 – C. Secondary Architectural Features 1. Visual depth

The building is small with 2 units, but they have a variety of features that add interest to the building. The front door is recessed; the main floor has a Juliette balcony which adds depth. The 2 units are off set with a variation in color at the protruding section, but still mainly the same colors to make the project cohesive.

DC3 Open Space Concept

DC3 – B. Open Space Uses And Activities

4. Multifamily Open Space

These townhomes will have a variety of different types of open space. The front units will have private open space towards the street but with a public view on the community. By planting and walls they will be separated. The courtyard between the buildings will have some private back door space for barbeques and a little planting. The main area of the space will be public gathering space as well as access to the front doors of the back units. This will make those units feel less secluded and will allow for some community interaction.



PLANTER CONCEPT



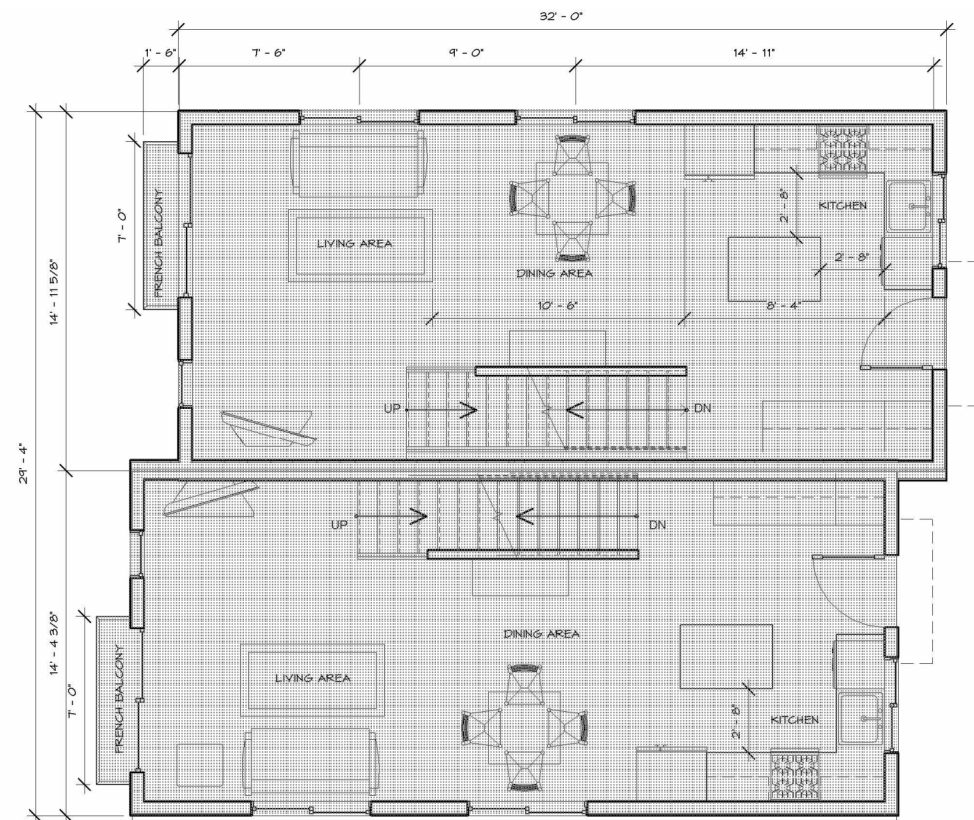
FENCE CONCEPT







BUILDING 1&2 1ST FLOOR PLAN



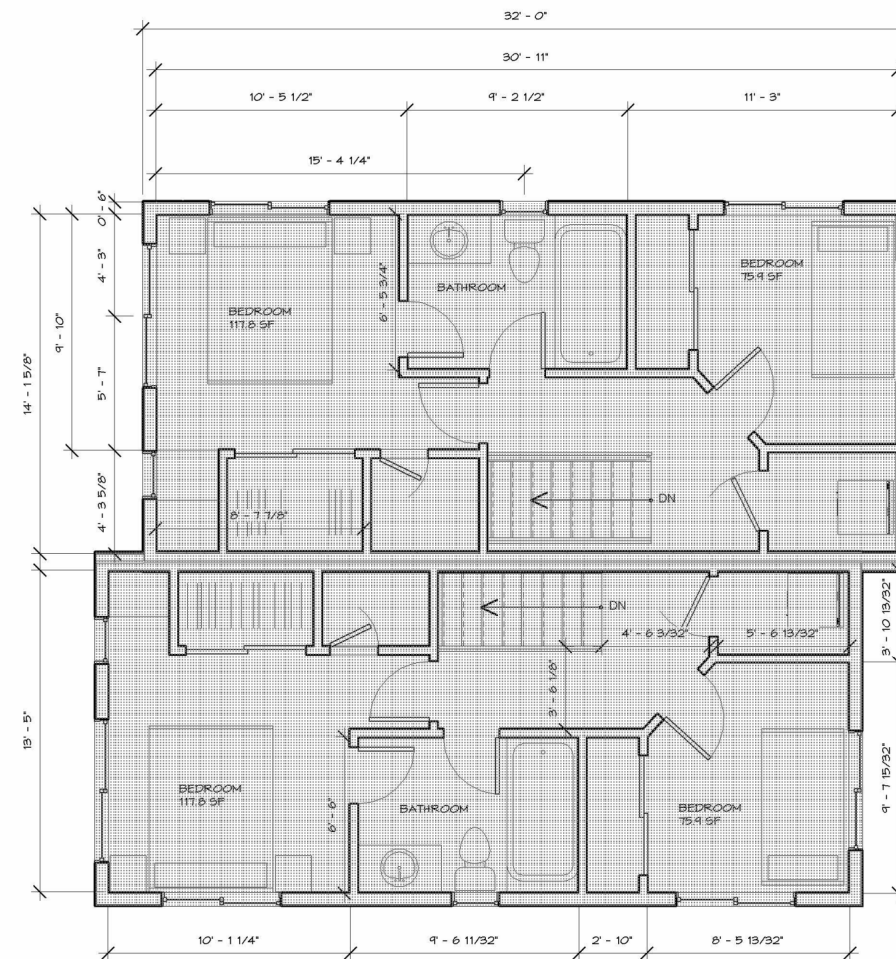
BUILDING 1&2 2ND FLOOR PLAN

**6. ARCHITECTURAL CONCEPT:** One or more color renderings adequate to depict the overall massing of structures and the design concept. Graphics should show proposed siting, massing, open space, and façade treatments. Three dimensional studies and sketches, including those at the street level are optional, may assist the planner to evaluate the design proposal. May also include images from the neighborhood or beyond that will inform the design development of the proposed development.

### Architectural Concept

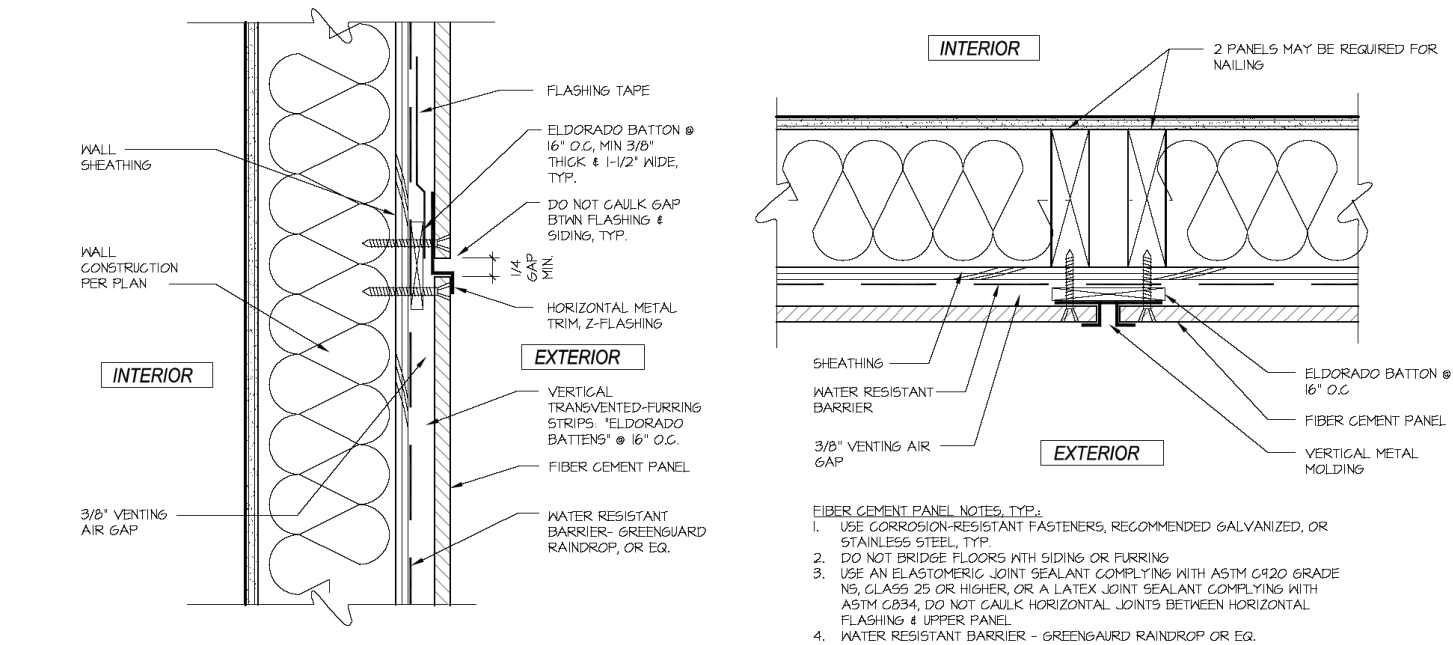
The main design concept for this site is to differentiate each unit to feel like separate units, with obvious entries and modulation of each unit. Another concept is to make the whole site feel like one community with the common colors in the buildings. The public open space allows there to be some gathering space to bring the owners together.

The style of the new structures is to fit in with the old by not being too different, but seeing the cues of the surrounding neighborhood which is leaning towards a contemporary style.



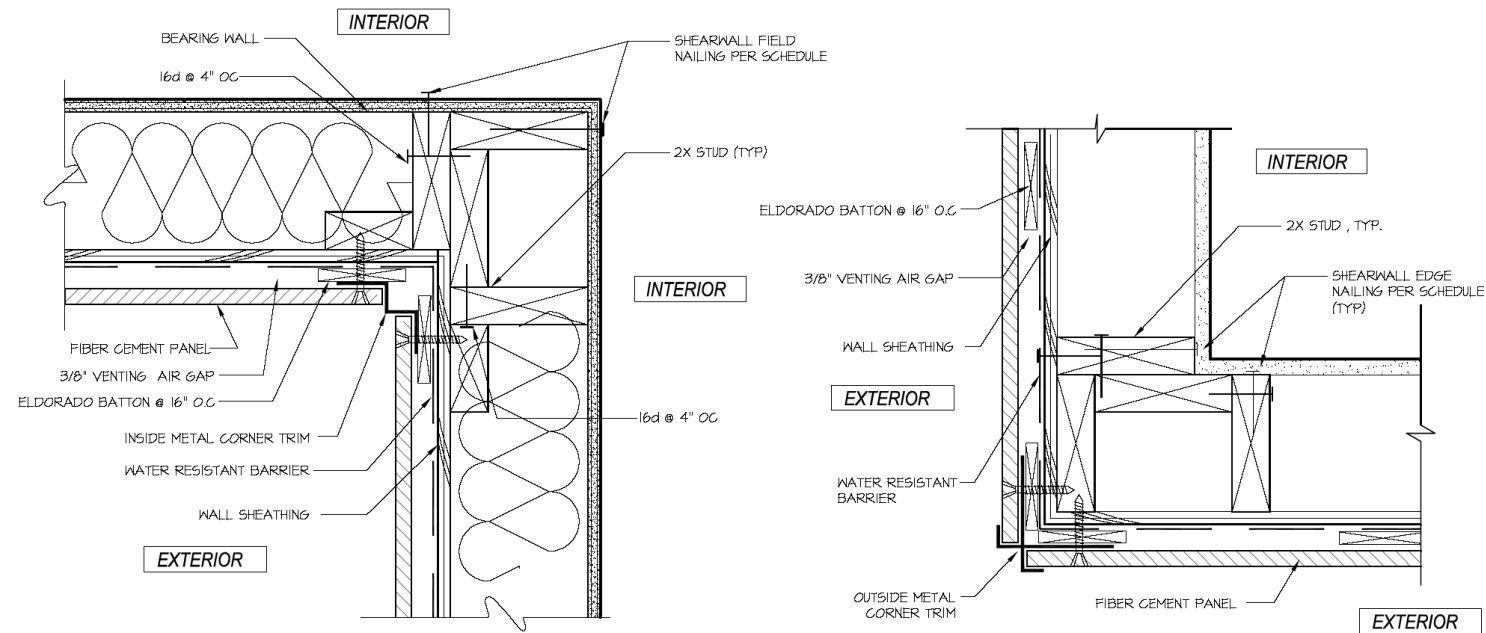
BUILDING 1&2 3RD FLOOR PLAN





① PANEL SIDING - HORIZ. JOINT  
SCALE: 3"=1'-0"

② PANEL SIDING - VERT. MOLDING TRIM  
SCALE: 3"=1'-0"



③ INSIDE CORNER TRIM  
SCALE: 3"=1'-0"

④ OUTSIDE CORNER TRIM  
SCALE: 3"=1'-0"



ENTRY ELEVATION



WALL SCONCE AT ENTRY  
& BACK PORCH DOORS



PATH WALL SCONCE AT  
SIDE STAIRS & PARKING



7. ADJUSTMENTS: A summary of potential development standard adjustments.  
A table comparing code requirements with the proposed design should be included.

Adjustment

The code requires all lots with more than 1 unit to have a certain amount of planting. The Streamline Design Review may allow max of 25% reduction in landscaping. We are asking for a 25% reduction in landscaping because the arrangement of the site with open parking at the alley and the large amount of paths required to get through the site. We will use the planting strip and some green walls to add as much vegetation as possible.

Having a smaller amount of green factor for this project is also not as critical because of the large park across the street to the North West, where the people living in these buildings can have the benefit of being able to use the park easily.

The code requirement is: SMC 23.45.524.A.  
2. Green Factor requirement.  
a. Landscaping that achieves a Green Factor score of 0.6 or great, determined as set forth in Section 23.86.019, is required for any lot with development containing more than one dwelling unit in Lowrise zones. Vegetated wall may not count towards more than 25 percent of a lot's Green Factor score.

Requested Green Factor Requirement:  
The Green Factor score requested is figured out by taking 25% of 0.6 = .06  
0.6 - .15 = .45

