

1506 NW 61ST

DESIGN REVIEW RECOMMENDATION
NORTHWEST BOARD
AUGUST 17TH, 2015

DPD PROJECT #: 3017177
ADDRESS: 1506 NW 61ST ST
SEATTLE WA

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skidmore
janette

architecture
planning
design

5309 22nd ave nw suite b | seattle wa 98107



DESIGN OBJECTIVES

Create a timeless contribution to the built environment through design, craft and sensibility to the surrounding context

Continue our commitment to strategic, sustainable, and affordable urban development

PROPOSAL

This proposal is addressing a need for affordable housing within the city's urban neighborhoods. The objective is to provide an opportunity for safe, simple, efficient living within an urban village. This achieves several objectives such as reduced commuting and keeping people and their contributions in the city rather than outlying suburbs; all the while utilizing the cities pre-established systems. Our commitment to the neighborhood, great design, and the health and well-being of our residents has resulted in several exciting up and coming communities throughout Seattle.

The Proposal:

1506 NW 61ST STREET, SEATTLE WA

- NC3-40
- Site area - 4,753 +/-
- 4 story residential apartment building w/ basement.
- 33 units
- Demolition of existing 2 story structure
- No parking provided

Design objectives and challenges drawn from analysis

- The neighborhood is an eclectic mix of architecture from different styles and time periods without any one predominant archetype or character.
- The scale of the neighborhood is single family home and low-rise residential in the form of apartment buildings and townhouses. 15th Ave NW is a main arterial street lined primarily with small and medium scale commercial.
- The commercially zoned site is adjacent to both the commercial space alongside 15th Ave NW and a single family dwelling. Responding to the character and use of both conditions is crucial.
- The small size of the site, the topography, and the residential character of the neighborhood make access to the site challenging. Addressing the access to the site and connection to the sidewalk is important.

CITYWIDE DESIGN GUIDELINES

CONTEXT & SITE

CS1.B1 | SUN AND WIND: Take advantage of solar exposure and natural ventilation. Use local wind patterns and solar gain to reduce the need for mechanical ventilation and heating where possible.

The majority of windows are oriented to the west and south for optimal solar gain and to take advantage of prevailing S/SW breezes for natural ventilation.

CS1.B2 | DAYLIGHT AND SHADING: Maximize daylight for interior and exterior spaces and minimize shading on adjacent sites through the placement and/or design of structures on site.

The proposed design pushes the mass of the building to the East, helping to achieve two of these guidelines : opening up an amenity space court at the basement level and allowing natural light to basement units, as well as reducing the shadow impact on the LR1 zoning to the West.

CS1.C | TOPOGRAPHY: Use the natural topography and/or other desirable land forms or features to inform the project's design.

The topography of the site slopes up from South to North, as well as from East to West. By providing a basement with open court to the West, it allows primary access to level 1 by ramps and stairs from the South as well as secondary alley access.

CS1.D2 | OFF-SITE FEATURES: Provide opportunities through design to connect to off-site habitats such as riparian corridors or existing urban forest corridors. Promote continuous habitat, where possible, and increase interconnected corridors of urban forest and habitat where possible.

The existence of two large fir trees in close proximity to the western property line create what could be considered a small urban forest corridor. The proposed design preserves these trees and this corridor by avoiding development within the critical root zone along the property line rather than having a zero setback, as allowed by code. The proposed design will connect residents with the natural environment by emphasizing views of the trees and will also communicate a step down in scale from the ~70-foot trees to the 40-foot building.

CS2.A1 | SENSE OF PLACE: Emphasize attributes that give a distinctive sense of place. Design the building and open spaces to enhance areas where a strong identity already exists, and create a sense of place where the physical context is less established.

The proposed design reinforces the sense of place on the west side of the property by connecting amenity space with the natural environment created by neighboring trees while minimizing the impact on the neighboring property with the creation of a natural visual and acoustical barrier that wouldn't be possible with a ground-level amenity space at existing grade. The physical context along the sidewalk is enhanced by the proposed narrow planting strip, retaining wall, and setback from the sidewalk that exists elsewhere along the street. The street-facing property line is activated by stairs, accessible ramps, and an elevated entrance patio, enhancing the identity of the space with a sense of arrival and safety.

CS2.A2 | ARCHITECTURAL PRESENCE: Evaluate the degree of visibility or architectural presence that is appropriate or desired given the context, and design accordingly.

The massing of the proposed design is divided into two elements; one with a commercial feel to reflect the commercial zoning to the North and East, and a second portion with a shed roof sloping to the West to provide a transition to the LR1 less intensive zoning and emulating some of the townhome archetype along the street.

CS2.B2 | CONNECTION TO STREET: Identify opportunities for the project to make a strong connection to the street and carefully consider how the building will interact with the public realm. Consider the qualities and character of the streetscape - it's physical features (sidewalk, parking, landscape strip, street trees, travel lanes, and other amenities) and it's function (major retail street or quieter residential street) - in siting and designing the building.

NW 61st provides multiple design cues that the proposed design incorporates to connect with the street. A narrow planting strip and retaining wall condition with access to the site via stairs or driveway is a common element of the existing streetscape. The preferred scheme echoes that, as well as reflecting the setback from the sidewalk and structure separation that exists elsewhere on the street.

CS2.D1 | EXISTING DEVELOPMENT AND ZONING: Review the height, bulk, and scale of neighboring buildings as well as the scale of development anticipated by zoning for the area to determine an appropriate complement and/or transition. Note that existing buildings may or may not reflect the density allowed by zoning or anticipated by applicable policies.

The NC3-40 site has a 44' height limit (with provisions) and is adjacent to a LR1 zone with a 30' maximum height. The massing of the proposed design is divided into two elements; one with a commercial feel to reflect the commercial zoning to the North and East, and a second portion with a shed roof sloping to the West to provide a transition to the LR1 less intensive zoning and emulating some of the townhome archetype along the street. The proposed design also responds to the adjacent zoning in plan, with the street facing facade stepping back from the sidewalk as it approaches the LR1 zone.

CS2.D3 | ZONE TRANSITIONS: For projects located at the edge of different zones, provide an appropriate transition or complement to adjacent zones). Projects should create a step in perceived height, bulk, and scale between the anticipated development potential of the adjacent zone and the proposed development. Consider: Distance to the edge of a less (or more) intensive zone; Differences in developmental standards between abutting zones; The type of separation form adjacent properties (e.g. separation by property line only, by an alley or street or open space, or by physical features such as grade change); Adjacencies to different neighborhoods or districts; and shading to or from neighboring properties.

See response above. Also, the proposed design forfeits over 20,000ft³ of volume on the first two floors to maintain a greater-than-required 15-foot setback from 70% of the west property line. At the rear of the property, where the proposed structure is closer to the property line, it is adjacent to a much taller 70-foot fir tree, which will result in a considerable step down in perceived height, bulk, and scale from the residential property to the subject commercial property.

CS2.D4 | MASSING CHOICES: Strive for a successful transition between zones where a project abuts a less intense zone. In some areas, the best approach may be to lower the building height, break up the mass of the building, and/or match the scale of adjacent properties in building detailing. It may be appropriate in other areas to differ from the scale of adjacent buildings but preserve natural systems or existing features, enable better solar exposure or site orientation, and/or make for interesting urban form.

The proposed design's massing responds to the adjacent LR1 zoning to the West, but also reflects the commercial zoning of the site and adjacent lot to the East. The massing is broken up by recessing the mass and height of the building adjacent to the residential zoning. The project also preserves two large 70+-foot fir trees which provide a natural buffer between the two zones.

CS2.D5 | RESPECT FOR ADJACENT SITES: Respect adjacent properties with design and site planning to minimize disrupting the privacy and outdoor activities of residents in adjacent buildings.

The proposed design respects the privacy of the adjacent property to the West by locating amenity space either at ground level, or in the SE portion of the roof, minimizing amenity space above the residential zoning. The balconies that do occur on the west facade of level 4 further serve to protect the privacy of the adjacent property's outdoor space by establishing a downward line-of-sight barrier from the windows of the proposed structure. The design also seeks to maximize the number of units that face either North or South, away from the residential zoning.

CS3.A4 | EVOLVING NEIGHBORHOODS: In neighborhoods where architectural character is evolving or otherwise in transition, explore way for new development to establish a positive and desirable context for others to build upon in the future.

The project establishes a successful context for commercial sites adjacent to low rise zoning by creating a form that steps down to the low rise zone in perceived height and bulk, uses non-required setbacks to transition to the existing context, and incorporates building forms and vocabulary that bridge the commercial and residential context

CITYWIDE DESIGN GUIDELINES

PUBLIC LIFE

PL1.B2 | PEDESTRIAN INFRASTRUCTURE: Connect on-site pedestrian walkways with existing public and private pedestrian infrastructure, thereby supporting pedestrian connections within and outside the project.

The proposed design provides an elevated entrance patio that connects to the public sidewalk by accessible ramps and stairs, activating as much of the street facing property line as possible.

PL2.A1 | ACCESS FOR ALL: Provide access for people of all abilities in a manner that is fully integrated into the project design. Design entries and other primary access points such that all visitors can be greeted and welcomed though the front door. Refrain from creating separate “back door” entrances for persons with mobility limitations.

The primary entrance is located on NW 61st and is accessible via a ramp that connects at the highest grade to the West, and a stair connecting as close as possible to the commercial core and transit systems to the East. The patio opens into a lobby, providing a welcoming sense of arrival for residents and guests.

PL2.B1 | EYES ON THE STREET: Create a safe environment by providing lines of sight and encouraging natural surveillance.

The proposed design incorporates numerous features to provide lines of sight to the street. The entrance patio serves as a natural vantage point to observe the street below upon arrival or departure, increasing surveillance and safety. The transparency of the street-facing façade of the proposed structure allows eyes on the street from both the lobby and the bicycle storage room. All apartment units on the street-facing south side of the proposed building have floor to ceiling windows and/or balconies that encourage natural surveillance of the street below. Finally, the rooftop deck will not only look down on NW 61st St, but will also provide views to the busy commercial corridor along 15th Ave NW to enhance the safety of the neighborhood.

PL2.C | WEATHER PROTECTION: Overhead weather protection is encouraged and should be located at or near uses that generate pedestrian activity such as entries, retail uses, and transit stops.

In the proposed design a canopy is provided to protect the residential entry from the elements and help designate the residential entrance of the building.

PL3.A | ENTRIES: Common entries to multi-story residential buildings need to provide privacy and security for residents but also be welcoming and identifiable to visitors. Design features emphasizing the entry as a semi-private space are recommended and may be accomplished through signage, low walls, and/or landscaping, a recessed entry area, and other detailing that signals a break from the public sidewalk.

PL3.A4 | ENSEMBLE OF ELEMENTS: Design the entry as a collection of coordinated elements including the door(s), overhead features, ground surface, landscaping, lighting, and other features.

The entry patio is recessed, protected from the elements by an overhead canopy, and flanked by landscaping to provide a sense of entry for residents and guests. The entry patio is visually connected to the public sidewalk, but raised above to reflect the neighboring conditions and provide a sense of security and separation for residents.

PL3.B | RESIDENTIAL EDGES: Provide security and privacy for residential buildings through the use of a buffer or semi-private space between the development and the street or neighboring buildings. Consider design approaches such as elevating the main floor, providing a setback from the sidewalk, and/or landscaping to indicate the transition from one type of space to another.

See above response.

PL4.B | BICYCLISTS & BIKE FACILITIES: Consider existing and future bicycle traffic to and through the site early in the process so that access and connections are integrated into the project along with other modes of travel. Facilities such as bike racks and storage, bike share stations, shower facilities, and lockers for bicyclists should be located to maximize convenience, security, and safety.

A high-visibility bicycle storage room with twice the required capacity will be located adjacent to the main entrance and lobby of the proposed building for optimal convenience. The transparency of the front façade and elevation of the bicycle storage room will contribute to the safety of residents upon arrival and departure.

DESIGN CONCEPT

DC1.C | PARKING AND SERVICE USES: Locate and design service entries, loading docks, and trash receptacles away from pedestrian area or to a less visible portion of the site to reduce possible impacts of these facilities on building aesthetics and pedestrian circulation.

The solid waste storage and recycling area is located at the rear of the site, adjacent to the neighboring commercial site's trash storage and accessible from the alley, mitigating it's impact on residents and nearby residential uses. The proposed solid waste storage, recycling area, and alley collection have been approved by Seattle Public Utilities / Solid Waste Management.

DC2.A | MASSING: Arrange the mass of the building taking into consideration the characteristics of the site and the proposed uses of the building and its open space. In addition, special situations such as very large sites, unusually shaped sites, or sites with varied topography may require particular attention to where and how building massing is arranged as the can accentuate mass and height. Use secondary architectural elements to reduce the perceived mass of larger projects. Consider creating recesses or indentations in the building envelope; adding balconies; bay windows; porches, canopies or other elements; and/ or highlighting building entries.

The overall massing of the proposed design is largely informed by the adjacent zoning, required setbacks, and access to the site. The structure is divided into two masses whose siting, materiality, and roof lines respond to the adjacent zoning and uses resulting in a unique, site-specific response.

DC2.B | FACADE COMPOSITION & BLANK WALLS: Design all building facades - including alleys and visible roofs - considering the composition and architectural expression of the building as a whole. Ensure that all facades are attractive and well proportioned through the placement and detailing of all elements, including bays, fenestration, and materials, and any patterns created by their arrangement. On sites that about an alley, design the alley facade and its connection to the street carefully. At a minimum, consider wrapping the treatment of the street-facing facade around the alley corner of the building. Avoid large blank walls along visible facades wherever possible. Where expanses of blank walls, retaining walls, or garage facades are unavoidable, include uses or design treatments at the street level that have human scale and are designed for pedestrians.

The proposed structure is designed with each facade reflecting the adjacent use and zoning; commercial to the East and North, and residential to the West. Residential design elements such as a sloped roof with dormers and horizontal siding designate the residential nature of the building on the West facade while panel siding and a parapeted roof line correspond to the adjacent commercial zoning at the alley and to the East. Balconies on the street facing facade provide texture and scale. The zero lot line is broken up by materiality and patterning to mitigate it's size, as well as provide a coherent, unified connection between the street facing and alley facades.

DC2.C3 | FIT WITH NEIGHBORING BUILDINGS: Use design elements to achieve a successful fit between a building and it's neighbors.

See response above.

DC2.D | SCALE & TEXTURE: Incorporate architectural features, elements, and details that are of human scale into the building facades, entries, retaining walls, courtyards, and exterior spaces in a manner that is consistent with the overall architectural concept. Pay special attention to the first three floors of the building in order to maximize opportunities to engage the pedestrian and enable an active and vibrant street front. Design the character of the building, as expressed in the form, scale, and materials, to strive for a fine-grained scale, or “texture” particularly at the street level and other areas where pedestrians predominate.

The proposed design incorporates human scale materials and features such as horizontal lap siding, balconies, and canopies that relate the building to the streetscape and adjacent uses. The material palette is cohesive, visually interesting, and fits in with the neighboring buildings and pedestrian scale.

DC3.C3 | SUPPORT NATURAL AREAS: Create an open space design that retains and enhances on site natural areas and connects to natural areas that may exist off-site and may provide habitat for wildlife. If the site contains no natural areas, consider an open space design that offers opportunities to create larger contiguous open spaces and corridors in the future with development of other public or private projects.

The proposed design preserves and retains open space to the west of the proposed structure, enhancing the natural habitat created by a number of large neighboring fir trees. Along with the trees, this large contiguous open space on the site will be protected should future development take place in the neighborhood.



OPTION A | EDG 1 PREFERRED SCHEME

- 31 Units
- Code Compliant
- Amenity space provided at West facing decks on Level 2, 3, & 4



OPTION B |

- 33 Units
- Requested Departure: 4' encroachment into West setback at levels 2 & 3
- Amenity space provided at basement level sunken court and South facing deck at levels 2, 3, & 4.



OPTION C | PREFERRED

- 33 Units
- Requested Departure: 10' encroachment into West setback for 25'-0"
- Private amenity space provided at basement level sunken court and South facing decks. Common amenity space provided at roof deck.

WHAT WE HEARD:

- A) Option C was generally thought to show the greatest promise and the "respect" for the adjacent LR1 zone
- B) The basement units remained troubling for members of the Board, and the Board would like to see studies that would better convey some of the experience of inhabiting the units and the below-grade amenity space adjacent the units.
- C) The board would like to see a more comprehensive study of the shadows from the proposed structure, at a broader scope of times, as these impact the structures and yards of the neighbors to the North across the alley.
- D) The board would like to see more analysis and details of how the entry sequence works and how the interface of building entry, landscaping, and sidewalk will be laid out and layered.
- E) The board would expect to hear a better rationale for the requested departure required for option C, namely one that would indicate how the departure, if granted, would better meet the intentions of the design guidelines.

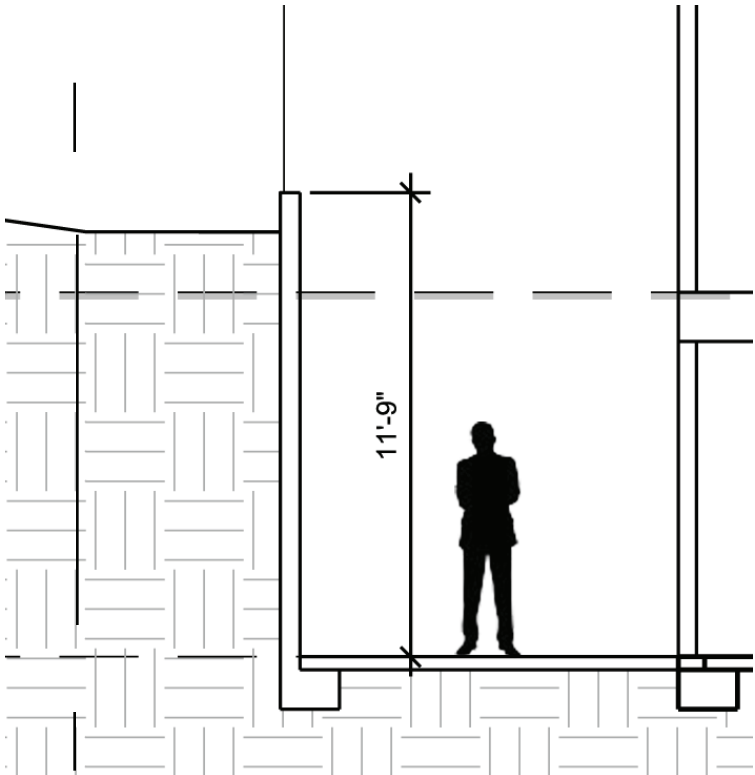
HOW WE RESPONDED

- A) The proposed design represents an evolution of Option C presented at the Early Design Guidance Meeting.
- B) All four basement units daylight out to a private patio amenity area 10 feet in width. From the property line to the edge of the retaining wall the grade has been sloped, to minimize the height of the wall and maximize light for the patio areas and adjacent units. Planters and green screen separate the amenity areas into individual patios for the units, as well as softening the retaining wall.
- C) A more comprehensive shadow study is provided as part of this packet. The conclusion of the shadow analysis is that the impact of shadows on the properties to the North is mitigated by several factors, such as the location of the stair and elevator towers on the proposed design, the existing large evergreen trees that currently shade the properties, and the lack of open space and fenestration on the South facing facades of the adjacent properties to the North.
- D) The entry sequence has been carefully designed to accommodate accessibility off of 61st St. The retaining condition, landscape, and access locations are a reflection of the patterns and character present elsewhere along 61st St.
- E) The requested departure is a direct response to guidance from the board about privacy, respecting the adjacent less intensive zone, and protecting the large trees on the West property. A thorough explanation of the departure and how it meets these goals, and those of the design guidelines, is included as part of this packet.

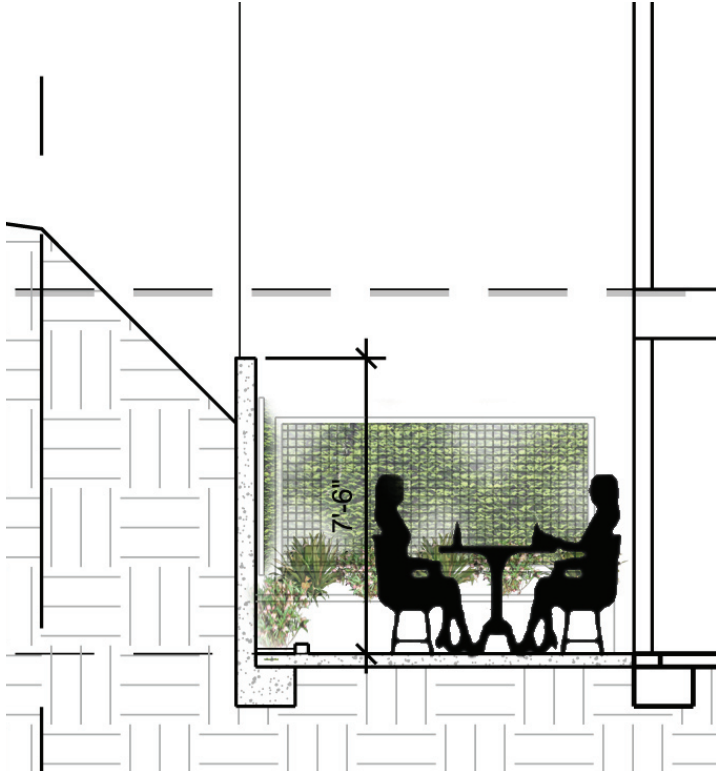
EARLY DESIGN GUIDANCE RESPONSES

BASEMENT UNITS:

Guidance: The basement units remained troubling for members of the board , and the board would like to see studies that would better convey some of the experience inhabiting the units and the below-grade amenity space adjacent to the units.



EDG PROPOSAL



CURRENT DESIGN PROPOSAL



Response: Modifications have been made and included in the proposed design to improve the amenity space and basement units' access to light and air. A sloping 5' landscape buffer has been provided from the West property line to the retaining wall of the below-grade amenity space, allowing for the maximum amount of light and air to reach the units and amenity space, as well as minimizing the height of the retaining wall. Greenery has been provided in planters and screens to allow for vines will soften the impact of the wall, as well as separate each unit's individual amenity space. Further model images are provided as part of this packet. See page 22.

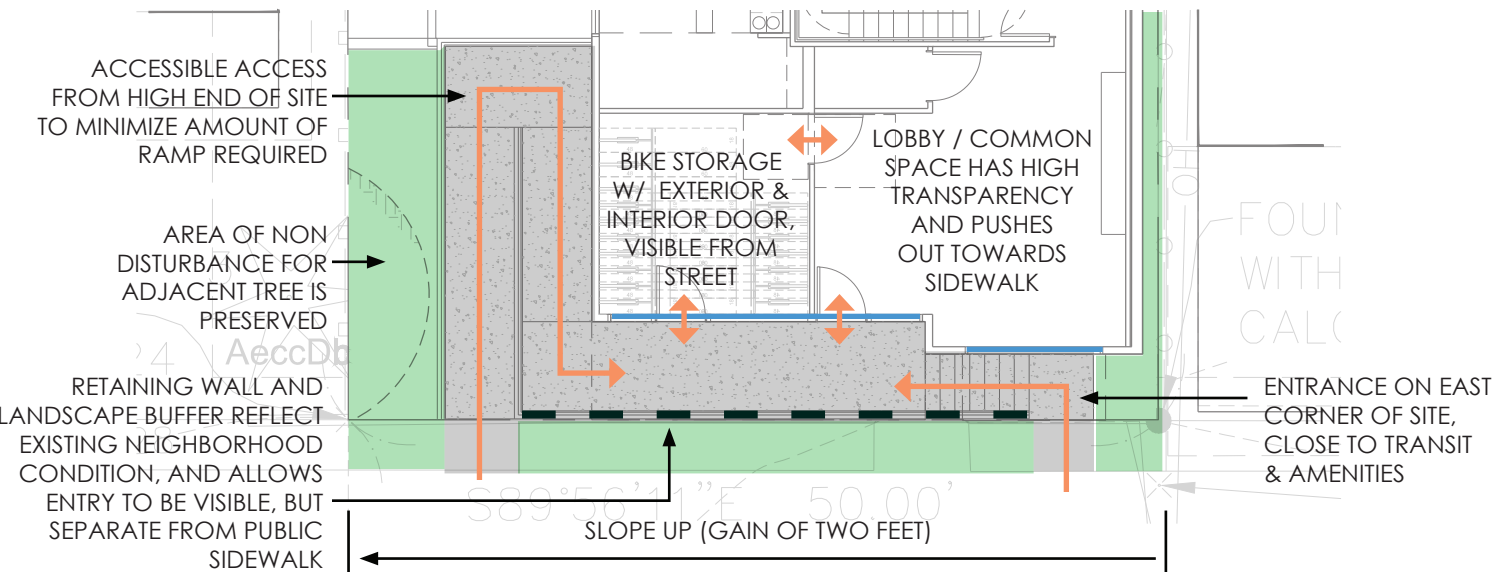
SHADOW STUDY: SEE PGS 24 & 25

DEPARTURES: SEE PG 28

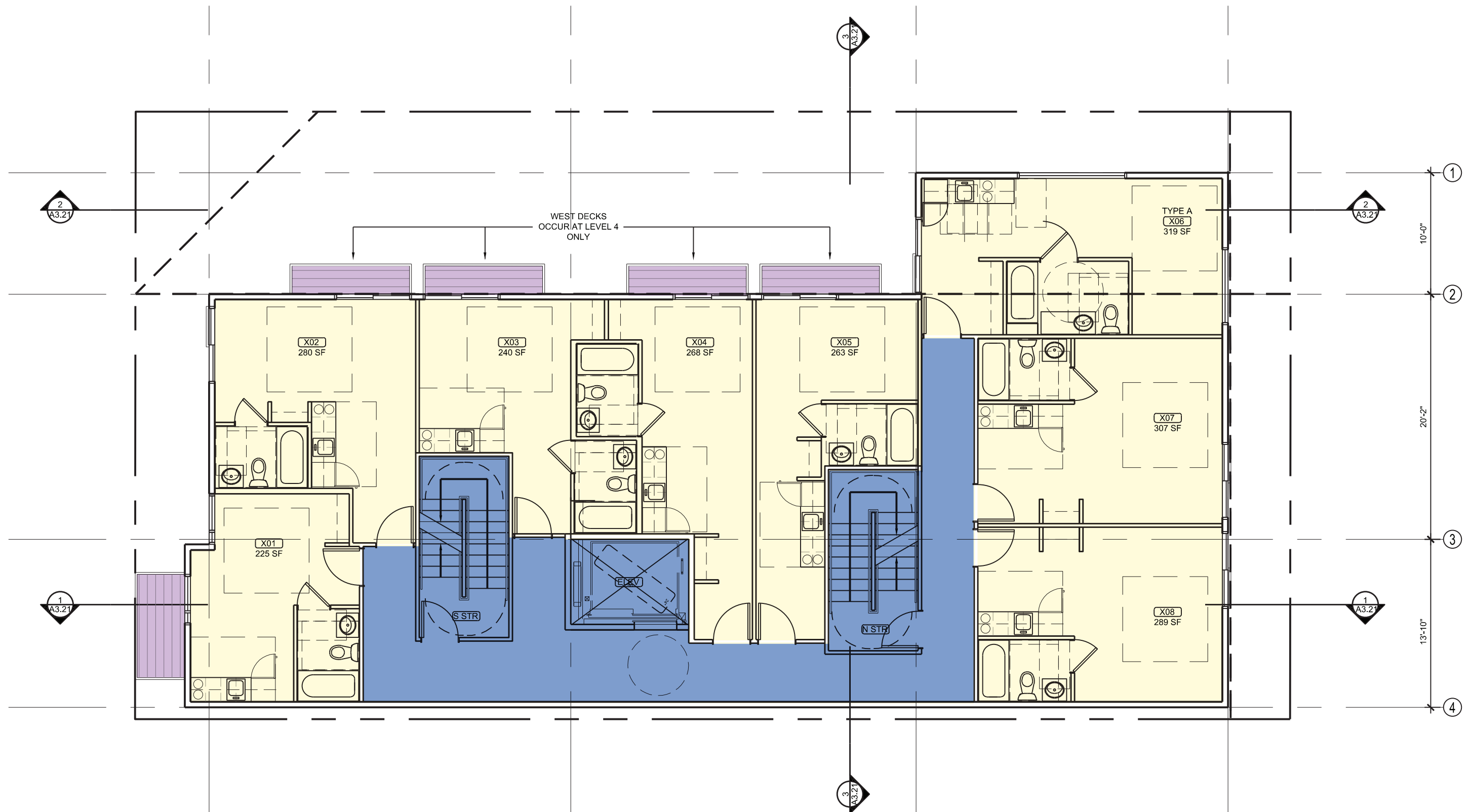
ENTRY:

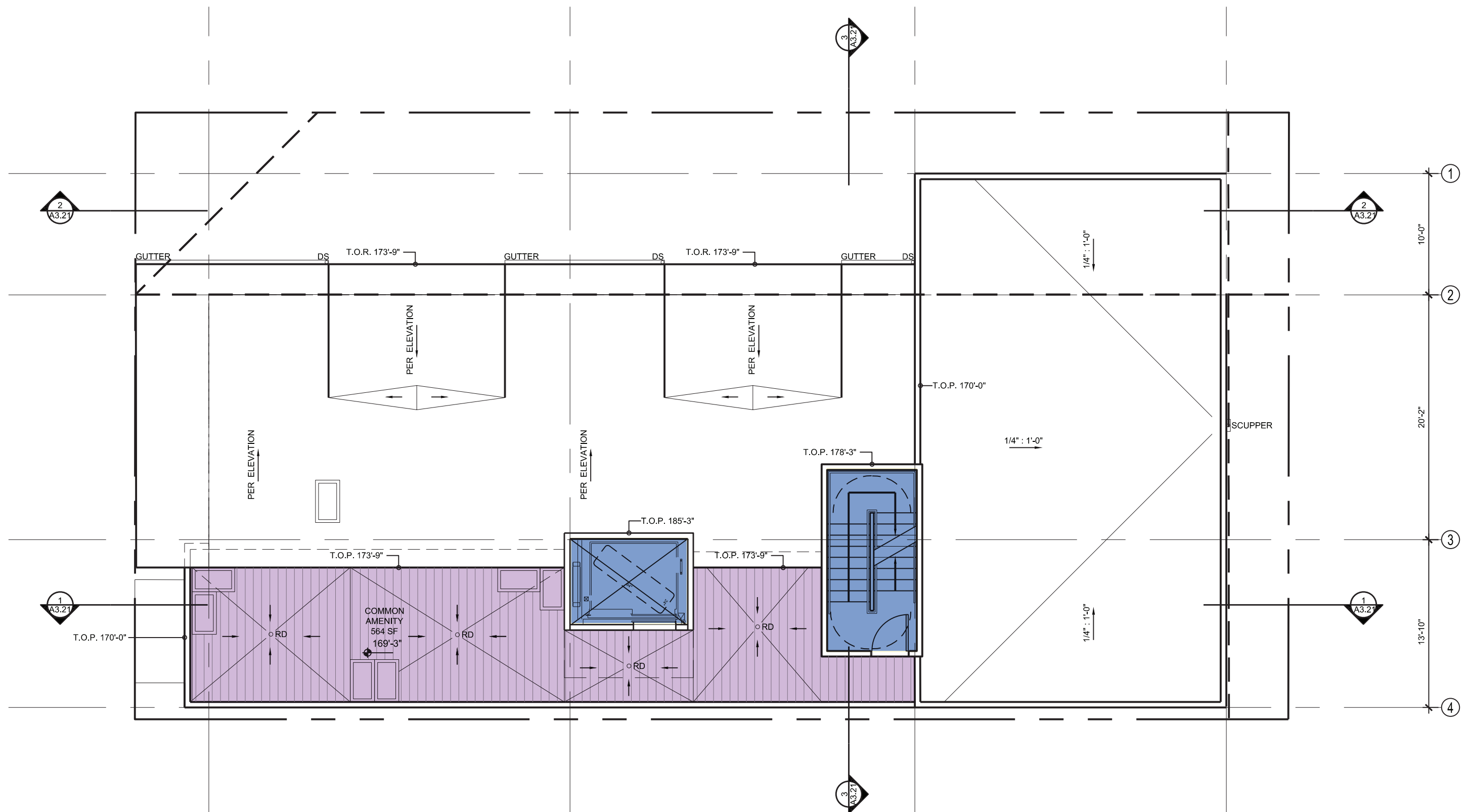
Guidance: The board would like to see more analysis and details of how the entry sequence works and how the interface of building entry and landscaping and sidewalk will be laid out and layered.

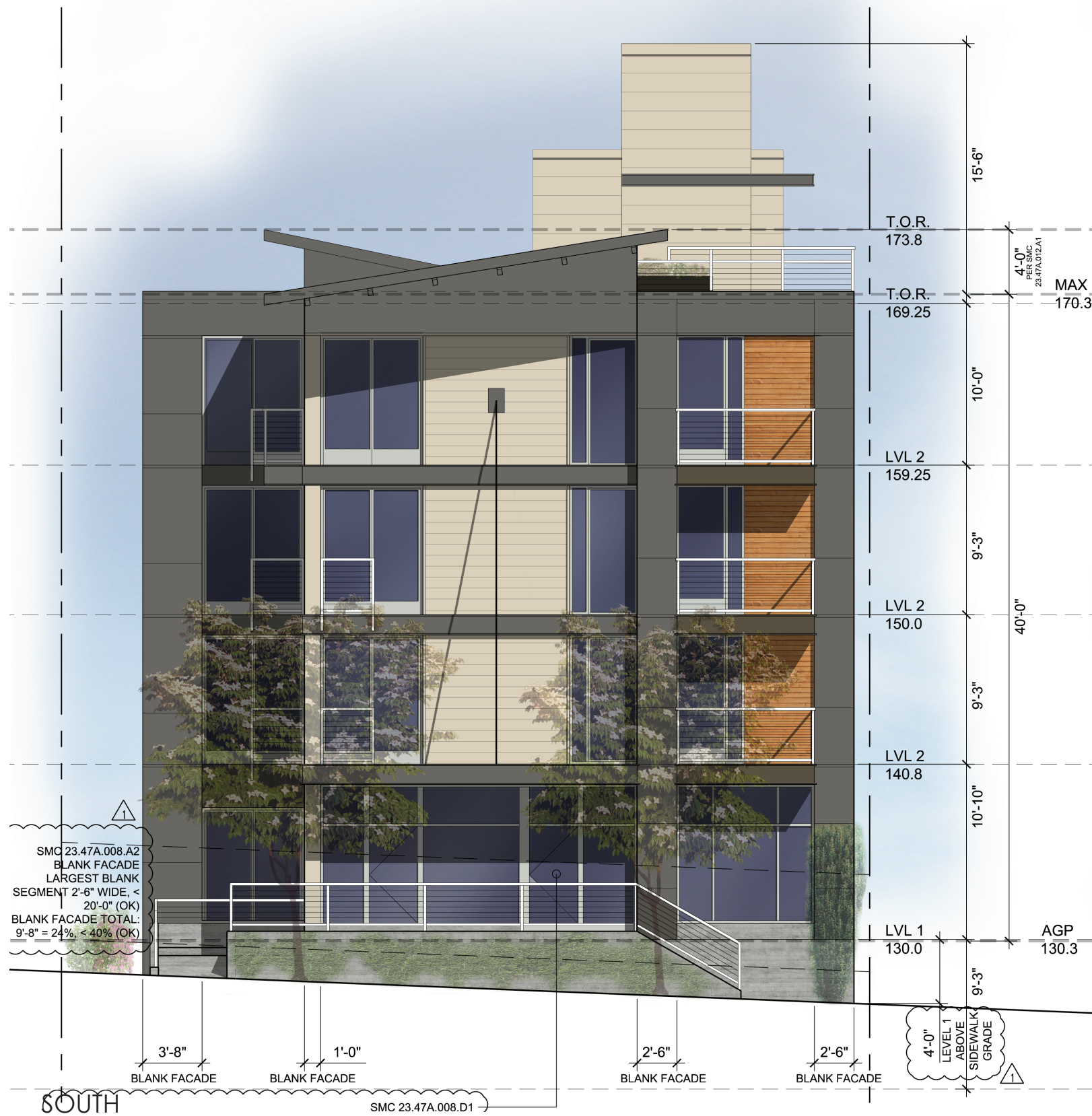
Response: The entry sequence is a direct response to the challenge of reconciling the topography and accessibility of the site. A switchback ramp is located at the high (West) end of the site to limit the amount of ramp required and to maximize the amount of landscaping / pervious area possible. On the East side of the site a stair is located to provide access in close proximity to 15th Ave NW, the primary arterial in the area. The retaining wall supported patio along the back of the sidewalk is a reflection of the retaining or site wall condition that is common along the North side of NW 61st Street. The elevated entry also provides a sense of security for the entry while still allowing for a direct connection with the public right of way.



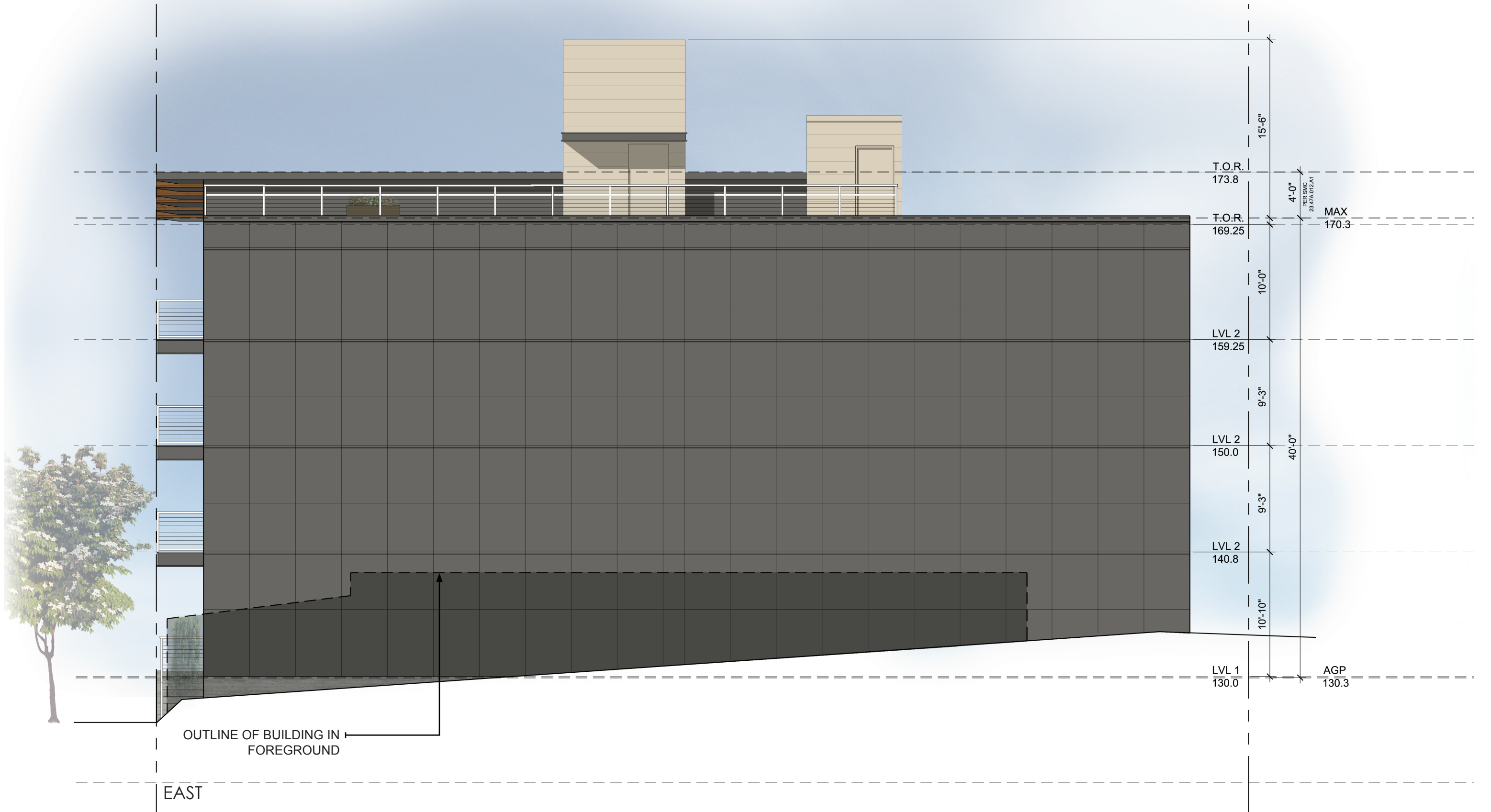


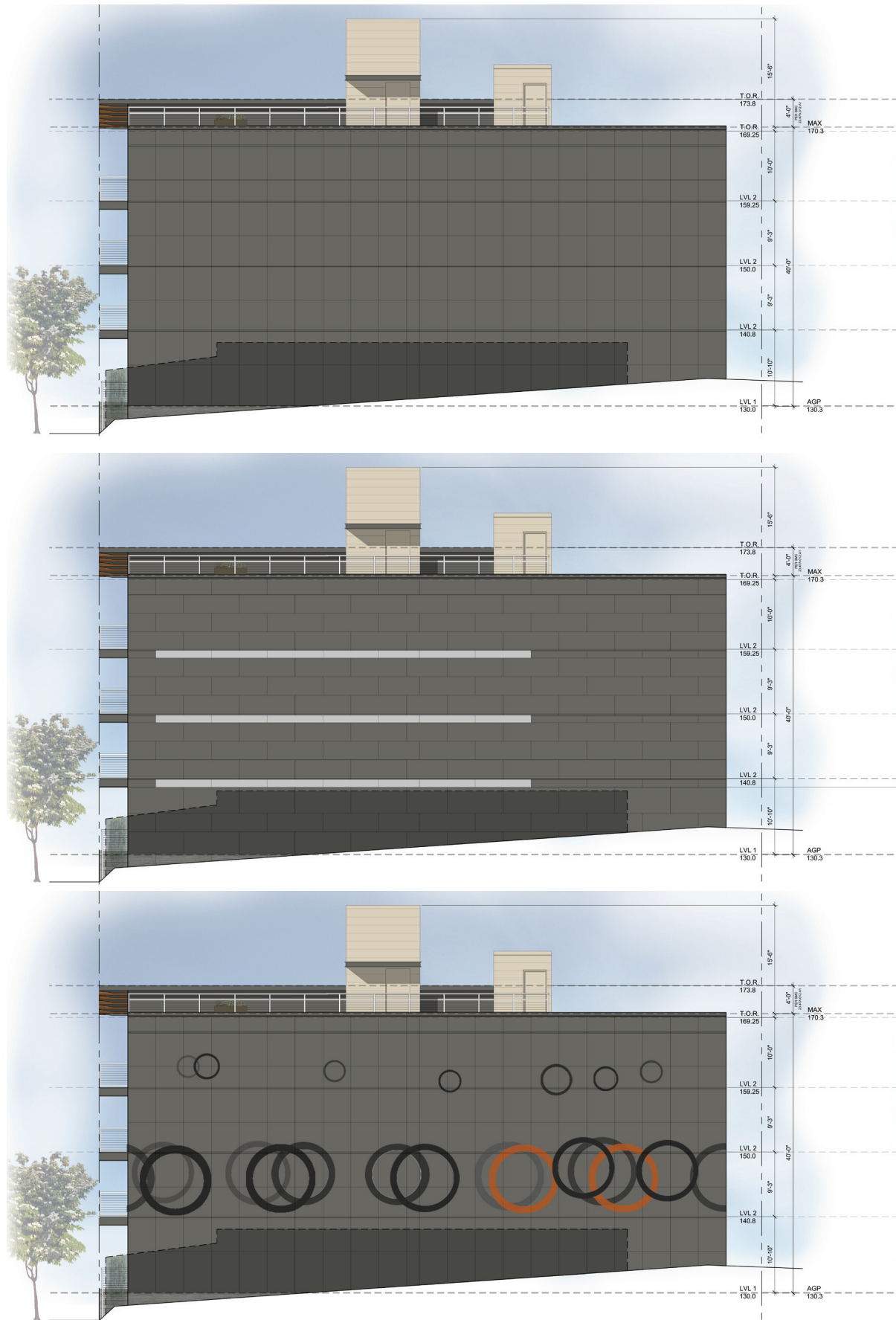










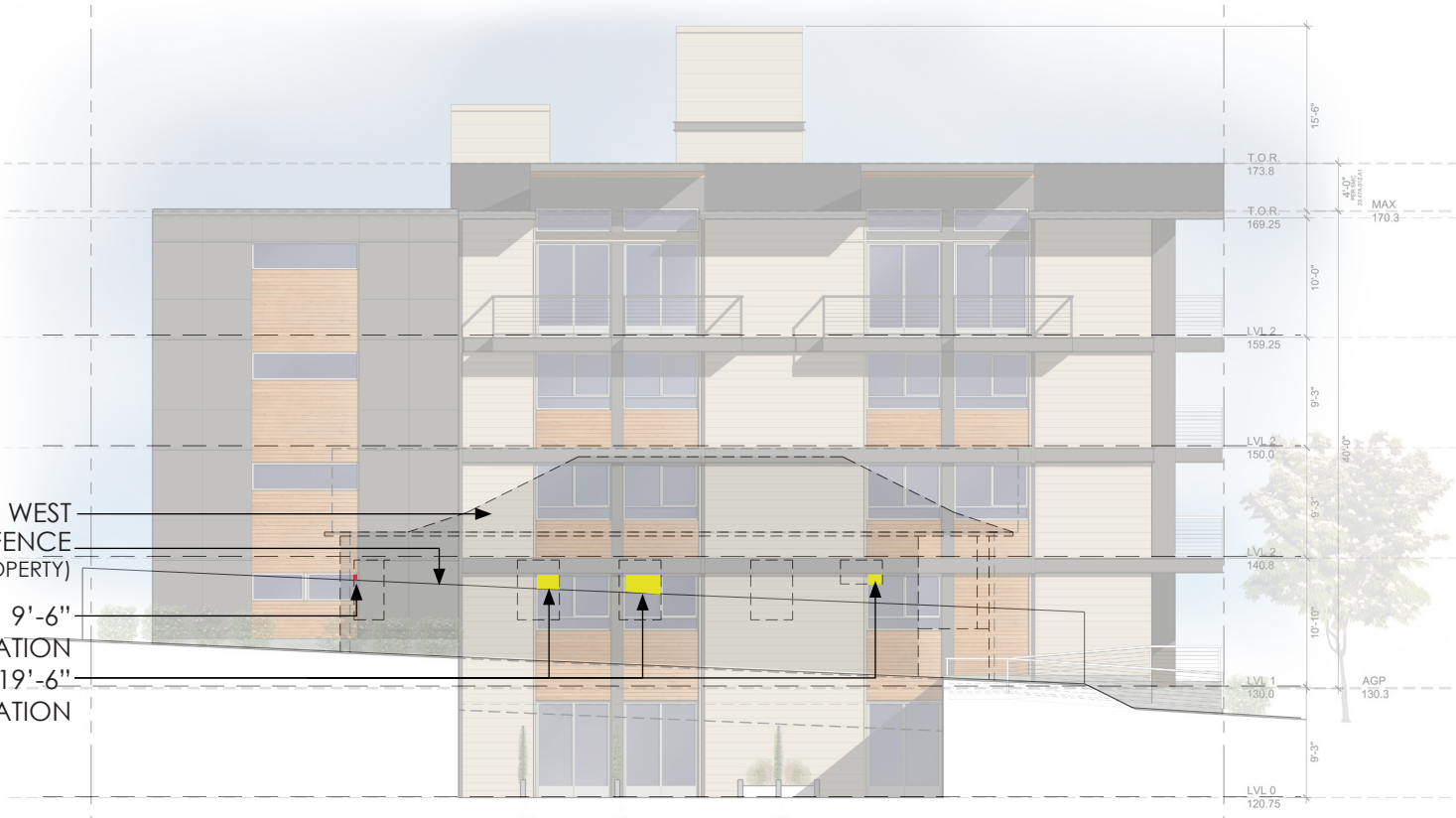


Explorations of ways to mitigate the “blank facade” of commercial zero lot line condition to the East.

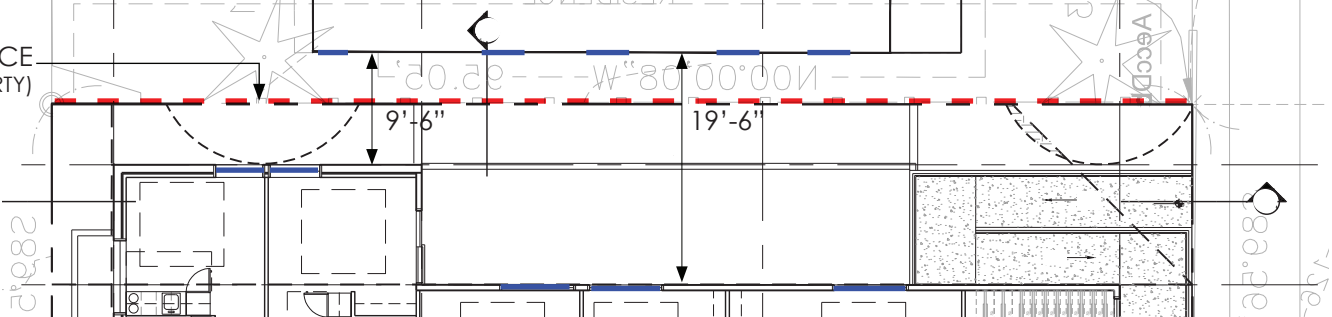
ADJACENT HOUSE TO WEST
6' TALL WOOD PRIVACY FENCE
(EXISTING, ON ADJACENT PROPERTY)

SMALL OVERLAP AT 9'-6"
OF SEPARATION

SMALL OVERLAP AT 19'-6"
OF SEPARATION



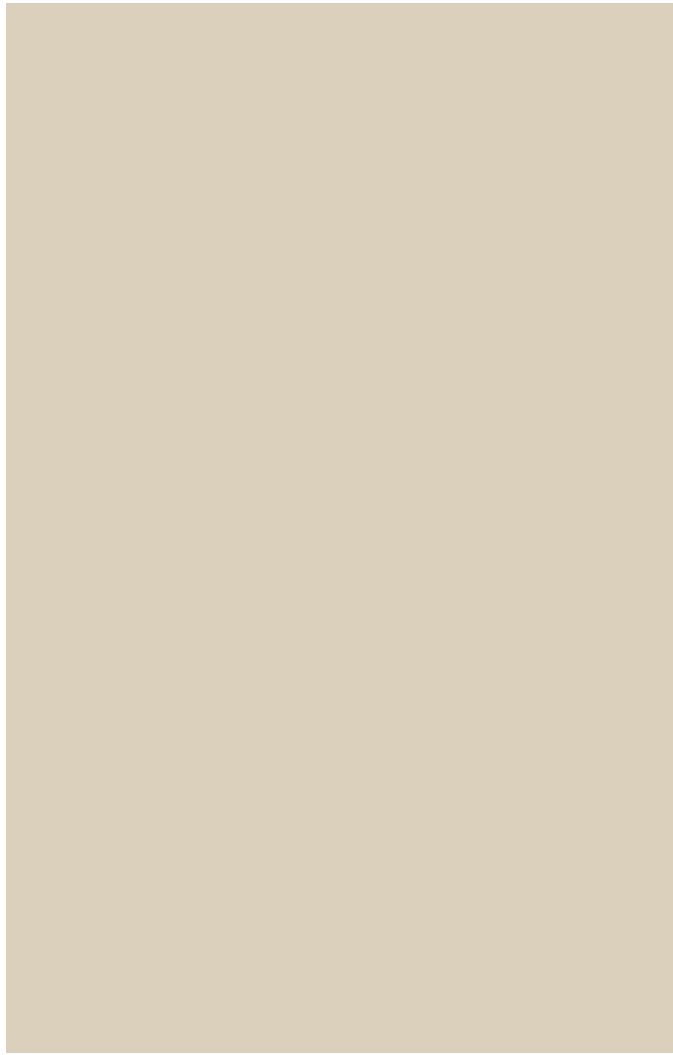
6' TALL WOOD PRIVACY FENCE
(EXISTING, ON ADJACENT PROPERTY)



The West facing facade has been designed to mitigate the impact on the privacy of the West neighbor. Windows are largely staggered, and set back nearly 20 feet from the adjacent structure. An existing 6' tall wood fence further screens visual connections between the two structures, as well as providing privacy for the sunken patio amenity areas below.



MAIN FIELD | GRAY
FIBER CEMENT - LAP & PANEL SIDING



MAIN FIELD | CREAM
FIBER CEMENT - PANEL & LAP SIDING



SECONDARY FIELD | NATURAL, SEALED
SHIP LAP CEDAR SIDING



SITE WALLS | NATURAL
CAST IN PLACE CONCRETE

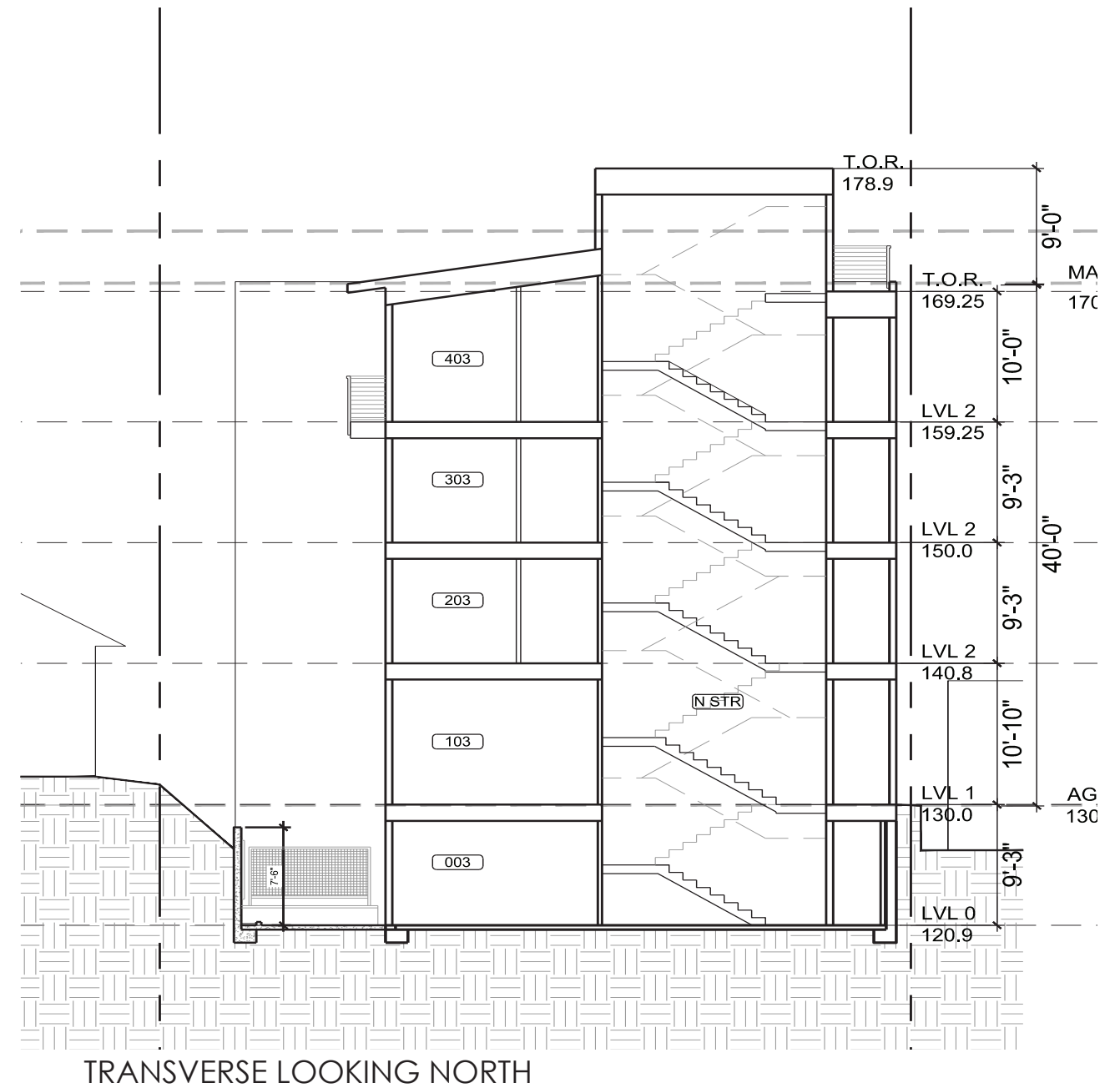
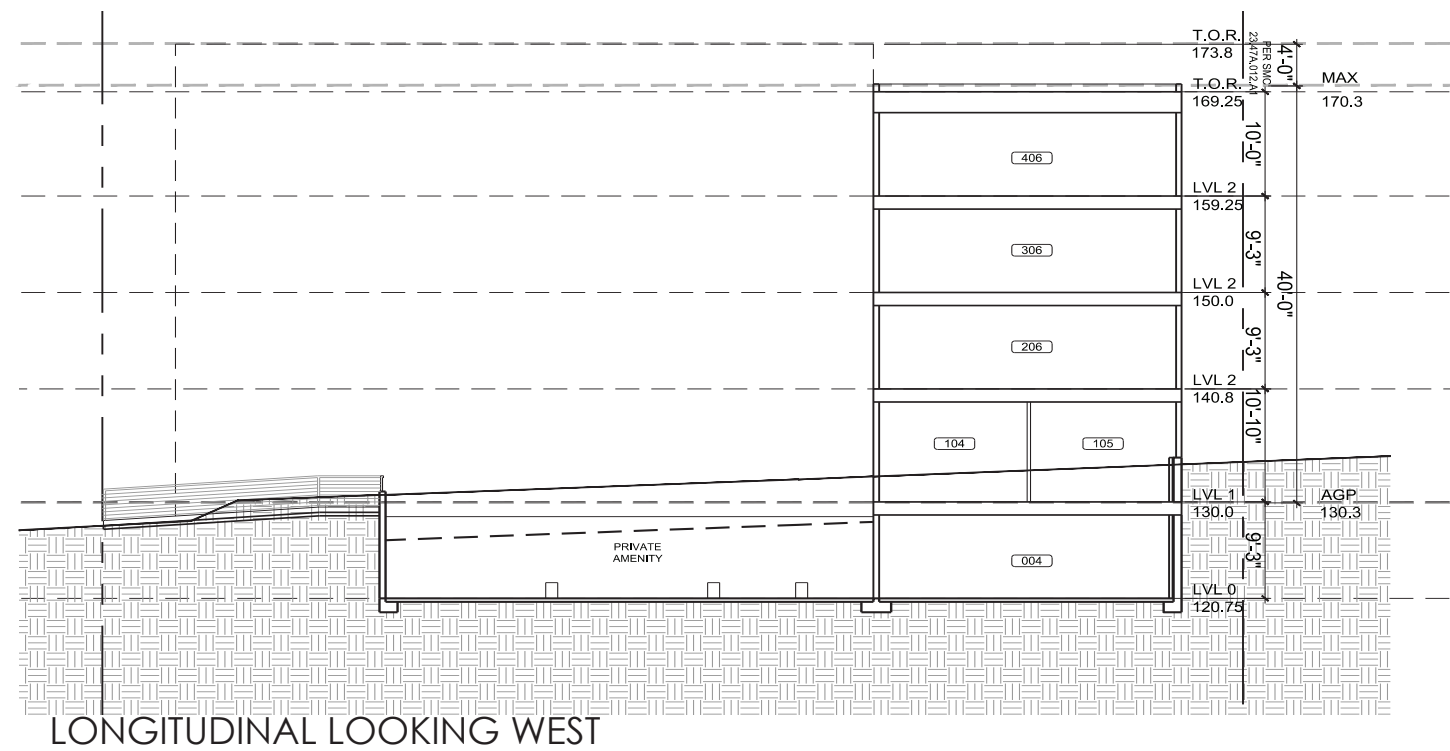


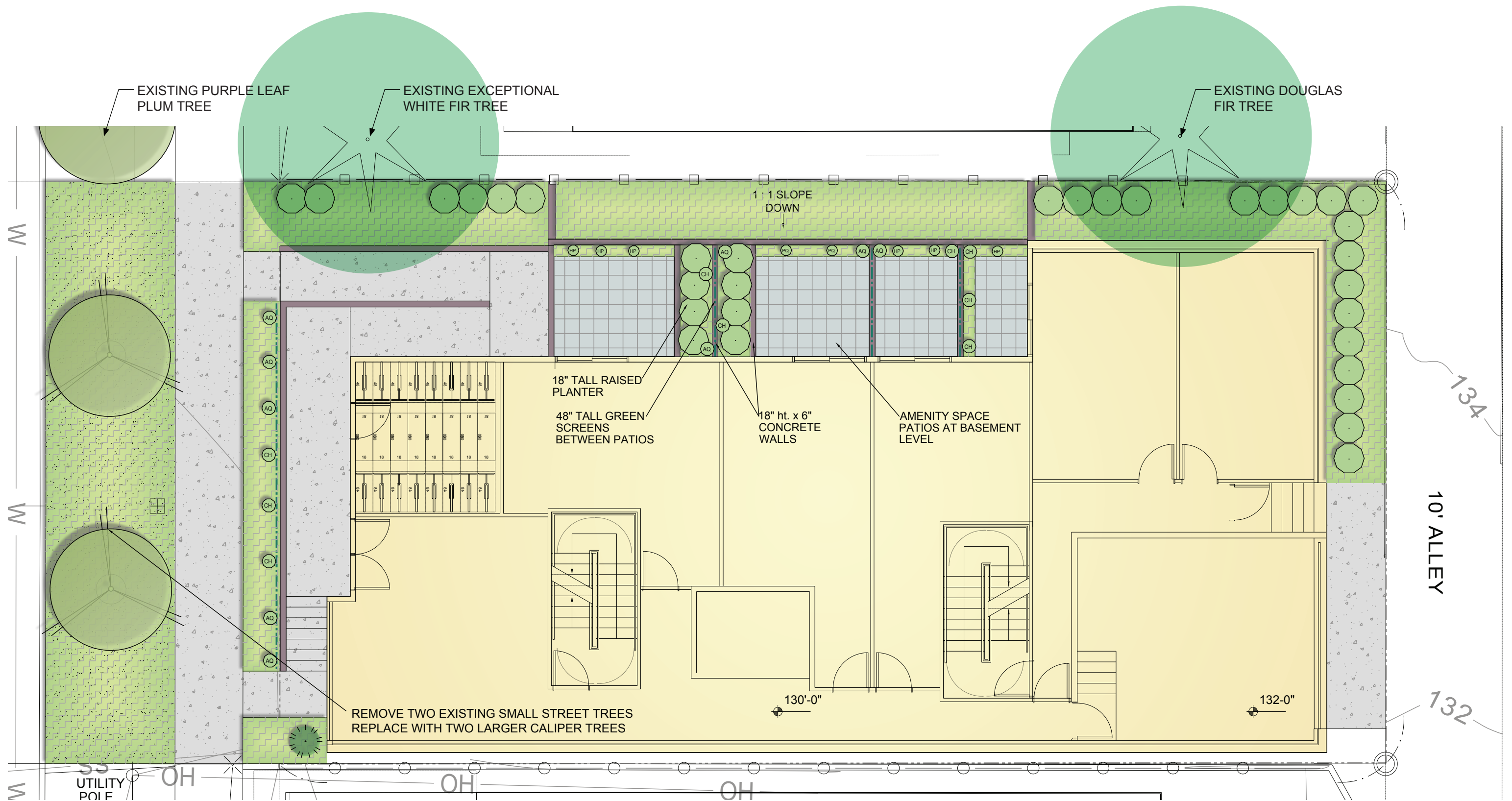
TRIM AND CANOPIES | GRAY
METAL



WINDOWS | WHITE
VINYL

STOREFRONT | WHITE
ALUMINUM





GROUND PLANE LANDSCAPE PLAN

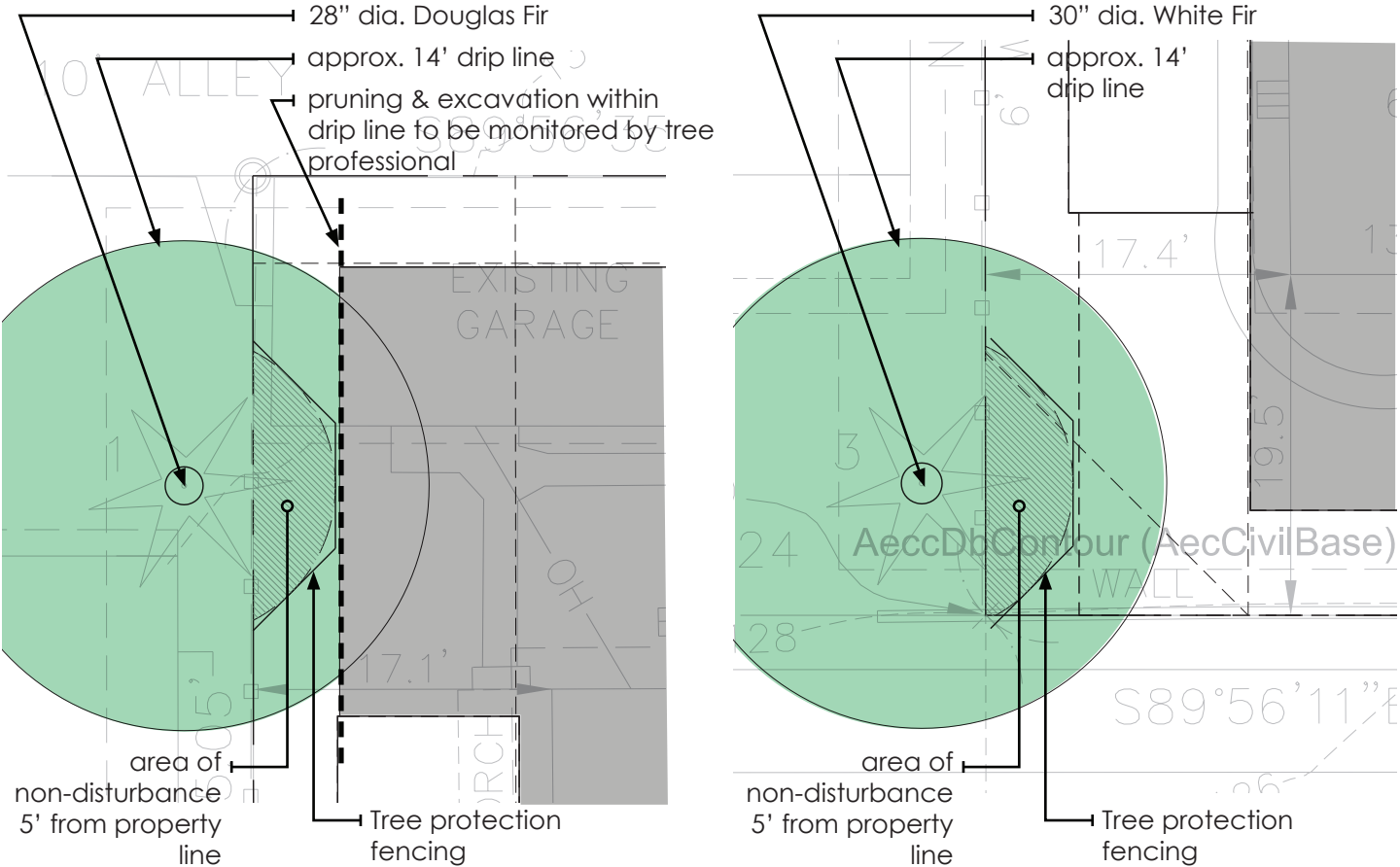




EXISTING DOUGLAS FIR & WHITE FIR,
Located on Adjacent Property

Two Trees, an est. 26" diameter Douglas Fir (*Pseudotsuga meniesii*) and an est. 30" diameter White Fir (*Abies concolor*) are located on the adjacent property to the West, approx 3-4' West of the property line. The trees are approximately 70' in height and in good health.

While an arborist has indicated that encroachments into the drip line can be made and encroaching limbs can be pruned without adversely affecting the trees, the arborist has indicated a 5' area of non-disturbance should be accommodated for each tree. The proposed building footprint and landscape plan respects these areas, as indicated on the proposed site plan.



COMPACT STRAWBERRY BUSH
Arbutus Unedo Compacta



HENRI CLEMATIS
Clematis Henri



WIRELESS ZELKOVA
Zelkova Serrata 'Schmidtlow' (Street Tree Form)



'HAPPY RETURNS' DAYLILY
Hemerocallis 'Happy Returns'



GREEN SPIRE EUONYMUS
Euonymus Japonicus 'Green Spire'



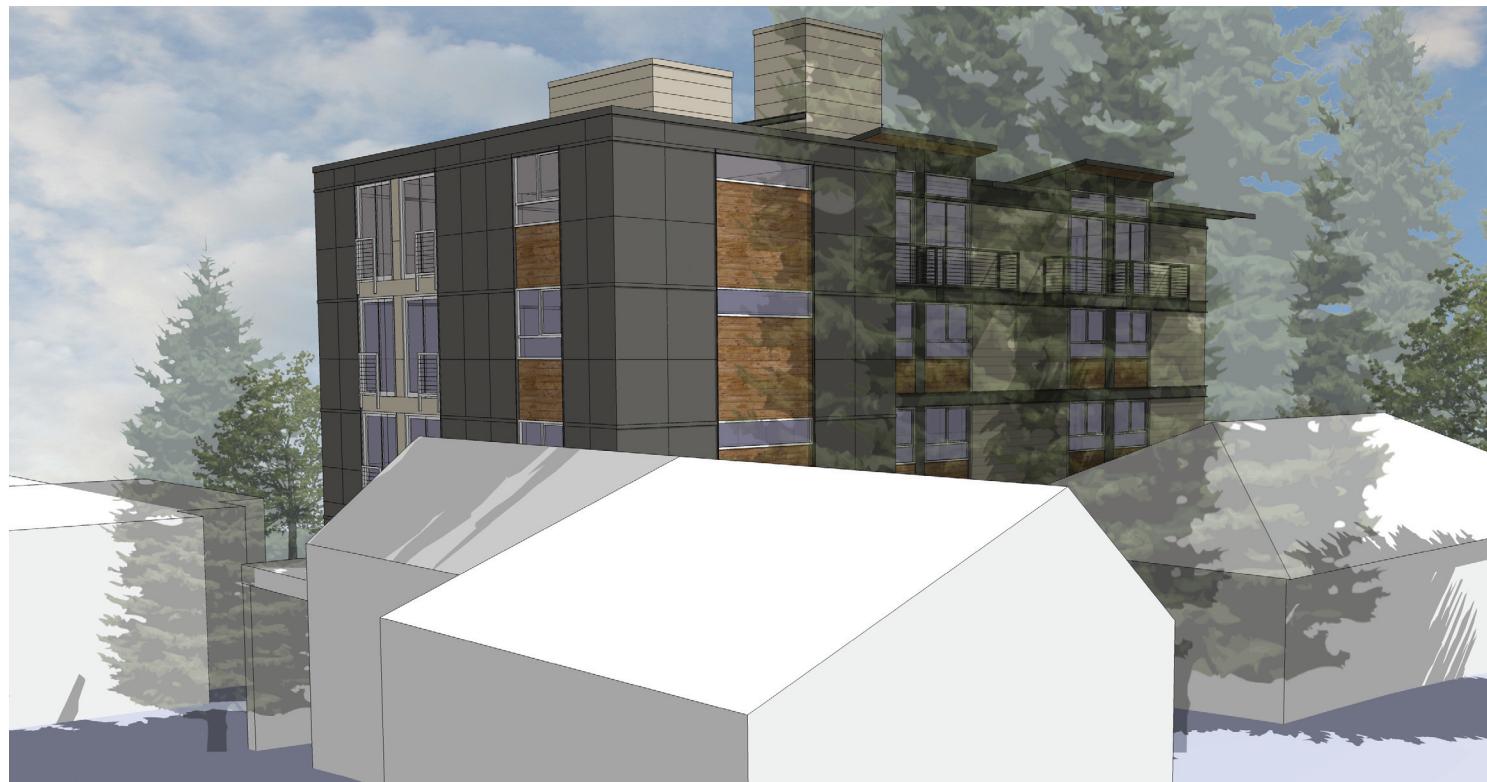
OAKLEAF HYDRANGEA PEE WEE
Hydrangea Quercifolia Pee Wee



LOOKING NE FROM ACROSS 61ST



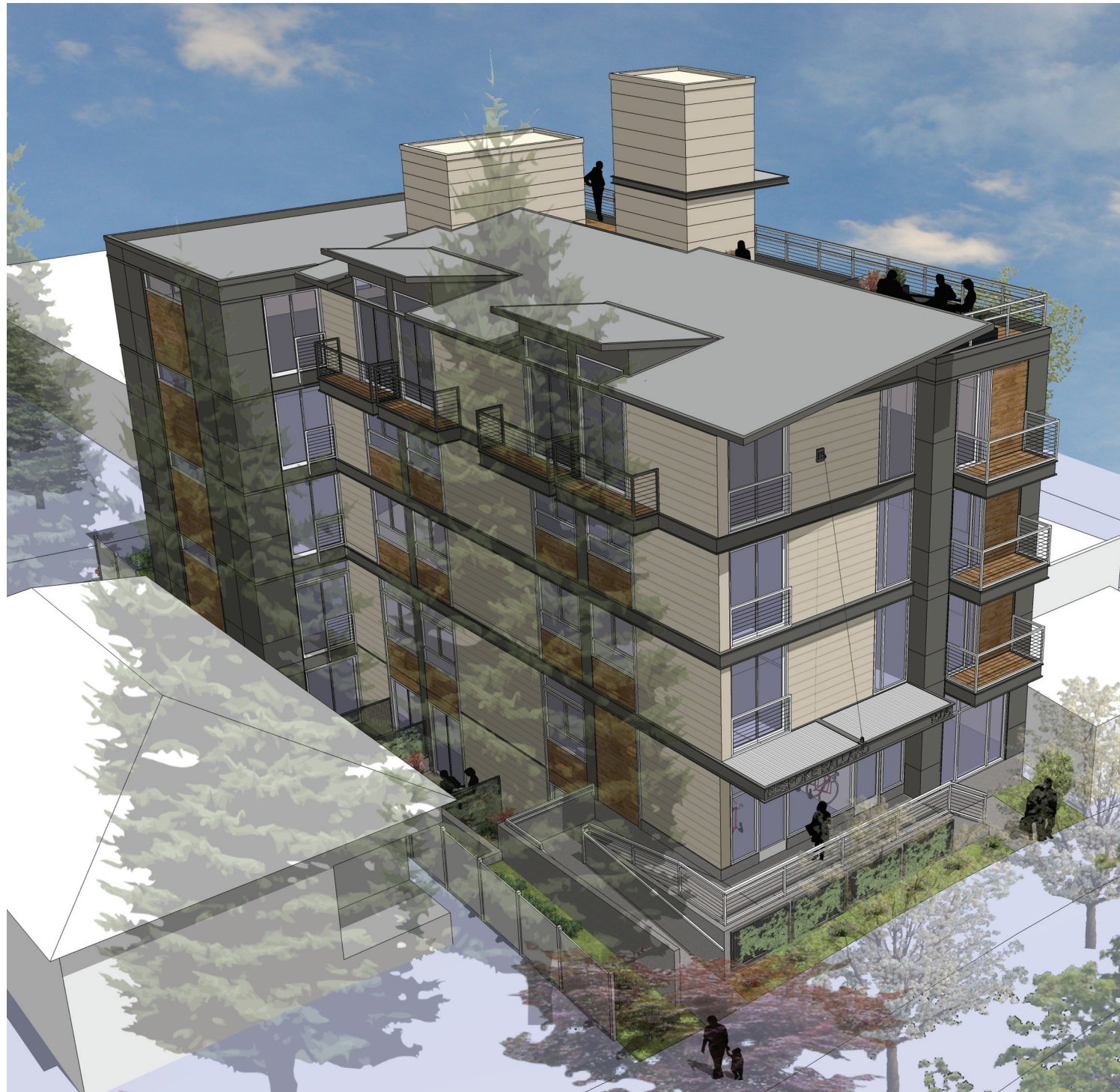
LOOKING NW FROM INTERSECTION OF 15TH AND 61ST



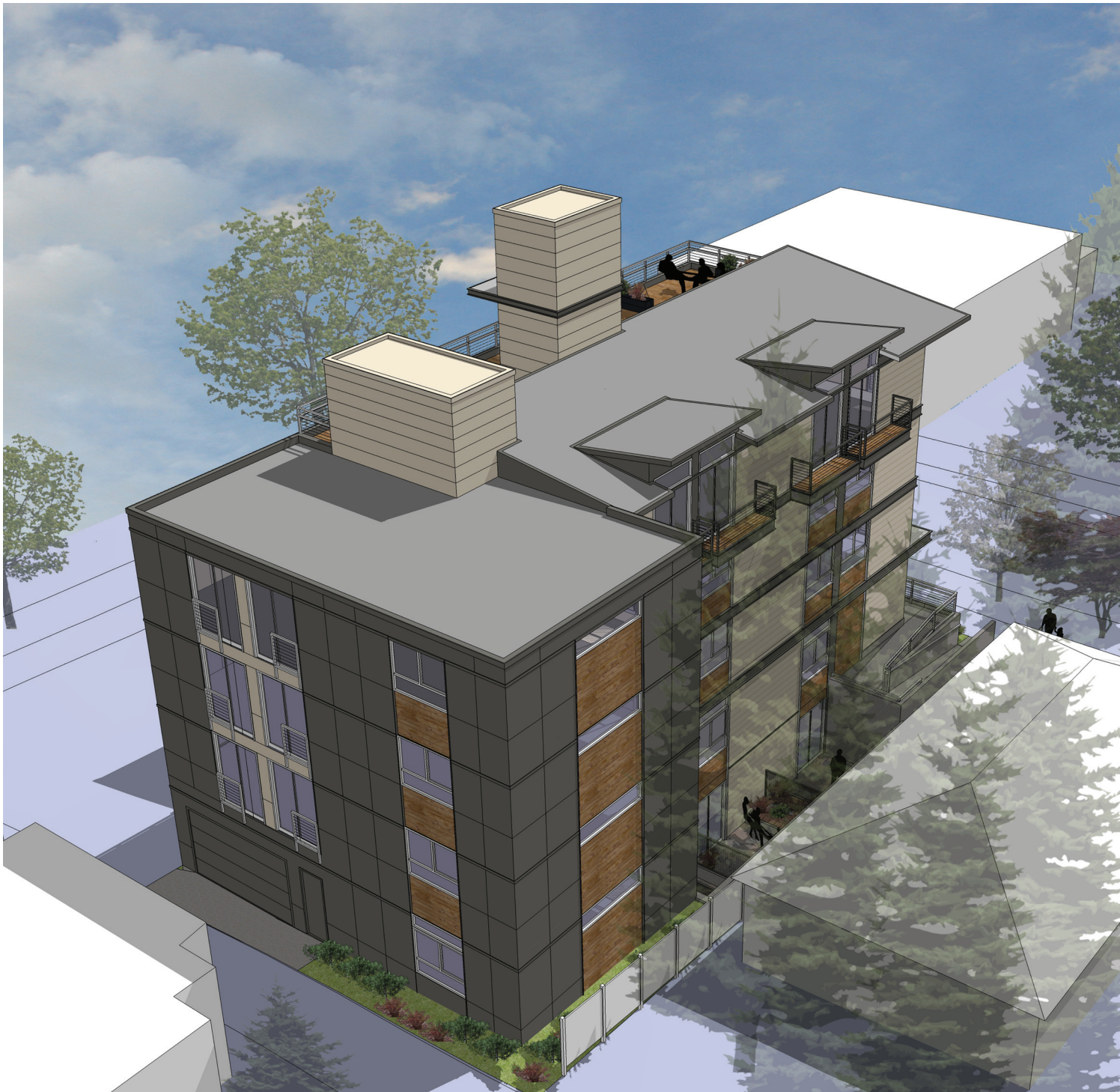
LOOKING SE



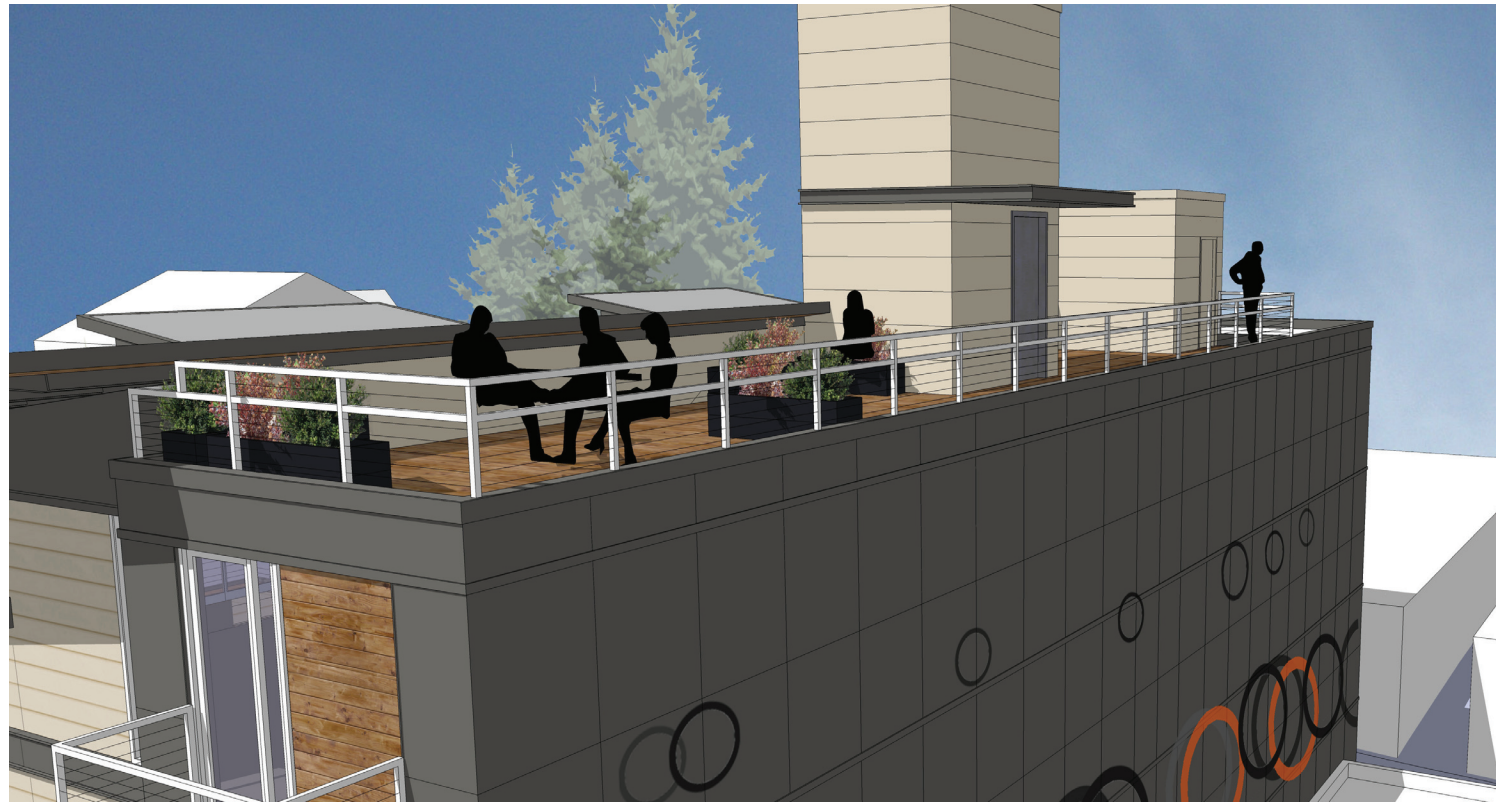
LOOKING SW FROM 15TH



AERIAL VIEW LOOKING NE



AERIAL VIEW LOOKING SE



ROOFTOP COMMON AMENITY DECK



PATIO AND LANDSCAPE AT ENTRY



SECTION VIEWS OF GROUND LEVEL AMENITY SPACE ALONG WEST EDGE OF BUILDING.

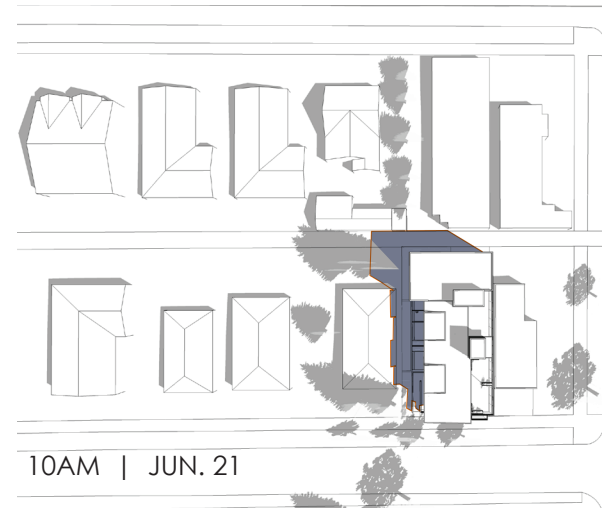
Green screens soften the concrete wall and divide the larger space into separate private amenity spaces for the residents.







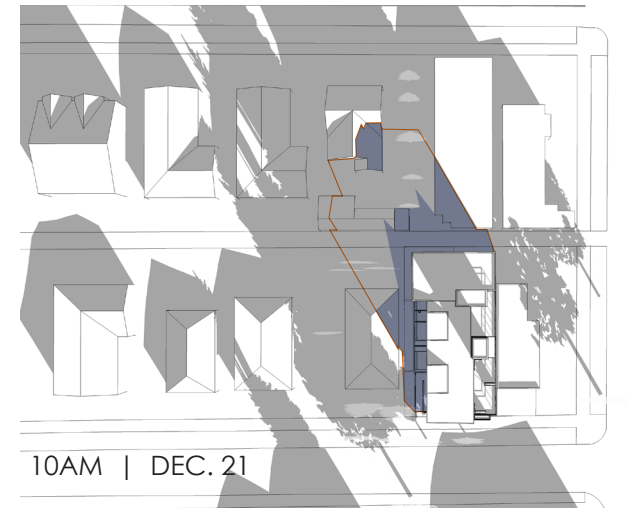
10AM | MAR. 21



10AM | JUN. 21



10AM | SEPT. 21



10AM | DEC. 21



12 PM | MAR. 21



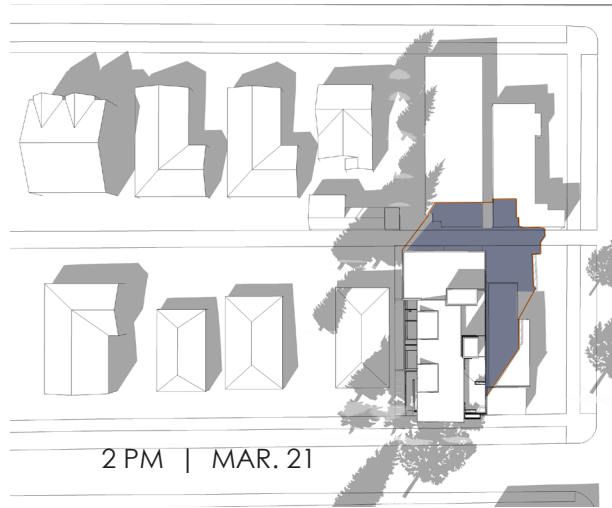
12 PM | JUN. 21



12 PM | SEPT. 21



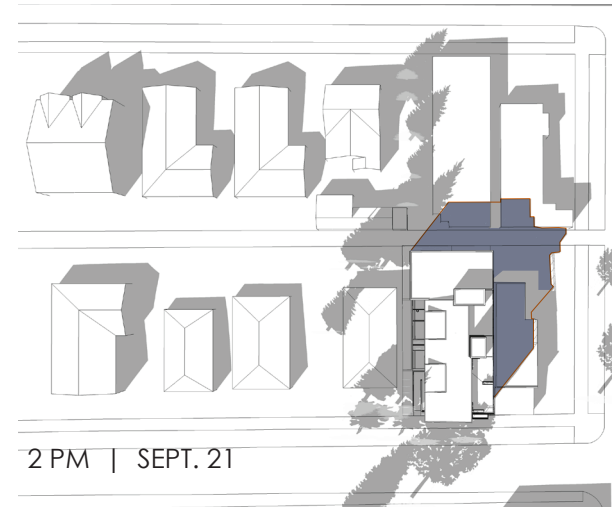
12 PM | DEC. 21



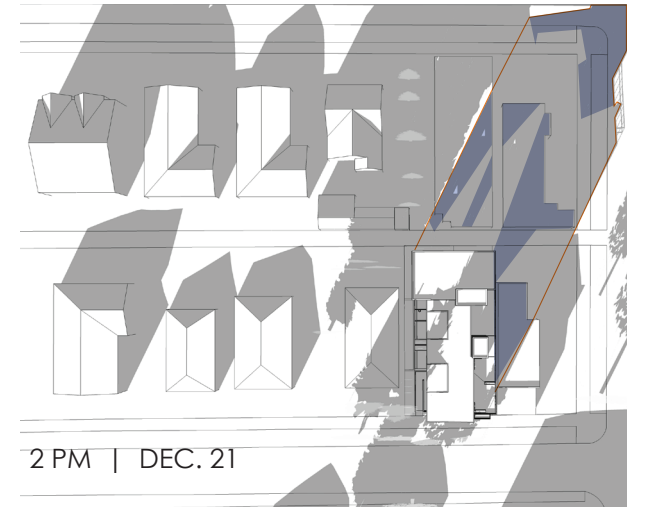
2 PM | MAR. 21



2 PM | JUN. 21



2 PM | SEPT. 21



2 PM | DEC. 21

SPRING EQUINOX

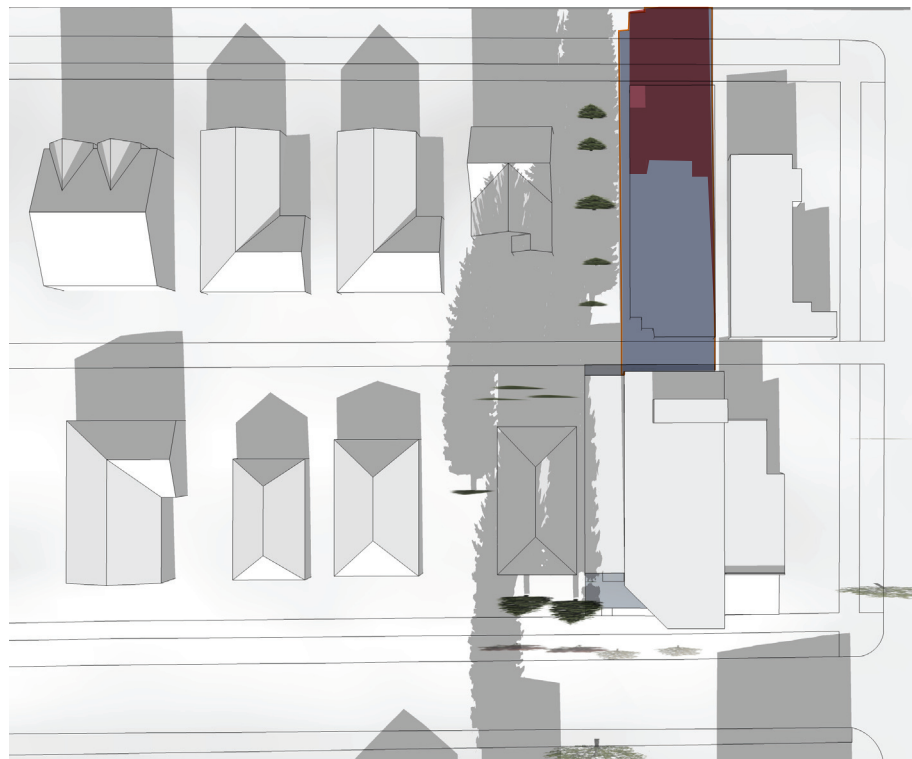
SUMMER SOLSTICE

FALL EQUINOX

WINTER SOLSTICE



12 PM | DEC. 21
PROPOSED DESIGN



12 PM | DEC. 21
MAXIMUM ZONING ENVELOPE
RED INDICATES ADDITIONAL SHADOW VS PROPOSED DESIGN

ANALYSIS |

The shadow impact of the proposed project is mitigated by several factors.

- 1) The project's rooftop features (elevator penthouse, stair penthouse, rooftop deck) have been located away from the North property line.
- 2) Large trees located on the adjacent property (01 below) already shade the adjacent properties to the North in most conditions. Blue areas in the shadows studies indicate portions of shadow created only by the new building.
- 3) The property to the Northwest (02 below) has a garage / utility building along their South property line. This building and the large trees on the adjacent property already shade much of their open space in many conditions.
- 4) The properties to the North and Northeast have no open space to shade, and little or no fenestration on their South facades (03 & 04 below) and the impact of shading on their South facades and residents will be minimal.



01 - LARGE TREES ON PROPERTY TO WEST



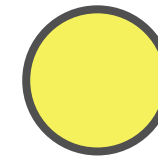
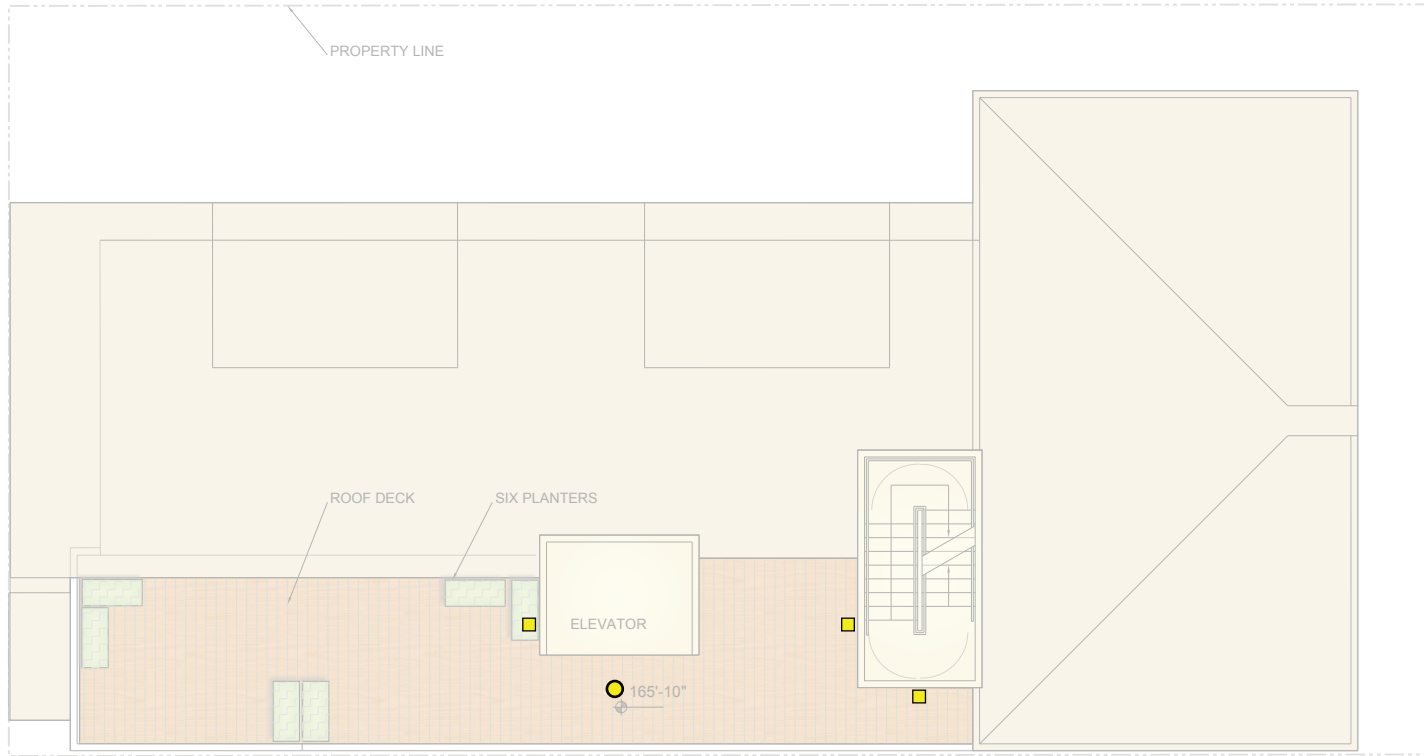
02 - PROPERTY TO NW



03 - PROPERTY TO NORTH



04 - PROPERTY TO NE



Under Canopy Lighting | Black

Manufacturer:
Progress Lighting

Dimensions: 5" D X 6.5" H

Dark Sky Compliant

Location: Residential Entry
canopy, Rooftop elevator canopy



Wall Sconce | Bronze

Manufacturer:
Philips Consumer Luminaires

Dimensions: 4.5" D X 4.5" H

Dark Sky Compliant

Location: Residential Entry, Alley
Entry, Ground Level amenity areas,
& rooftop deck

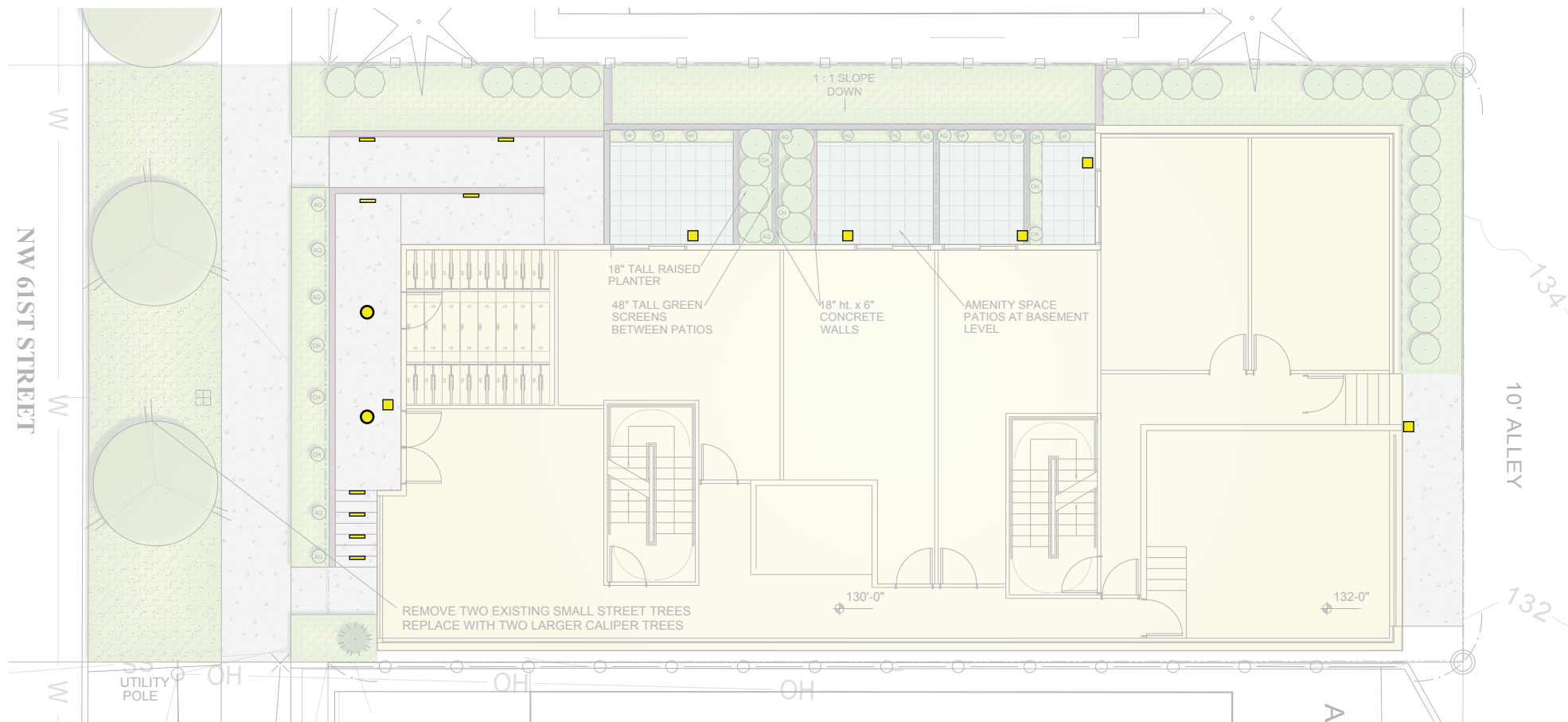


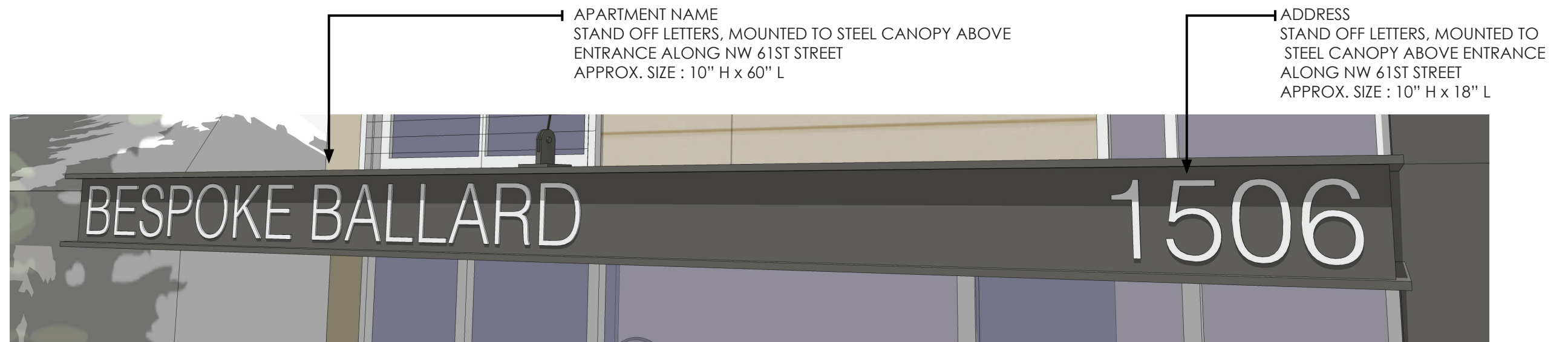
Step Light | Bronze

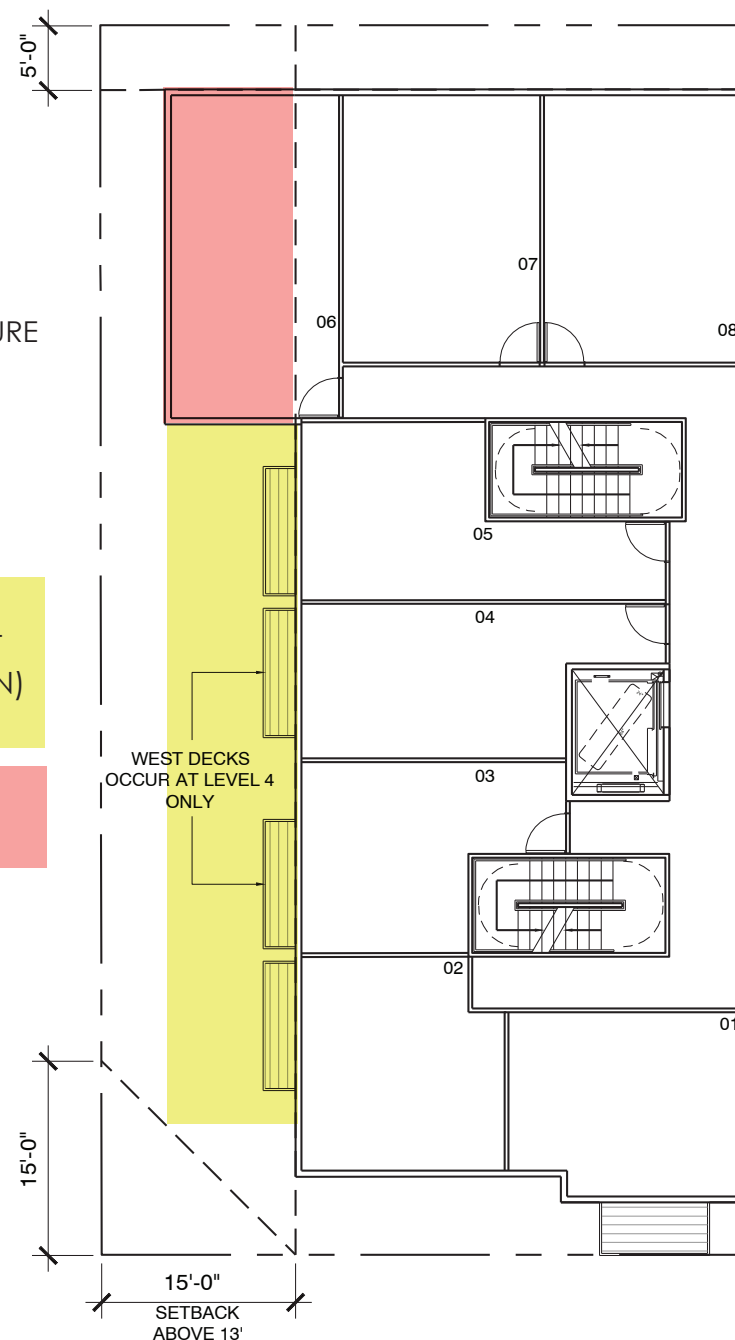
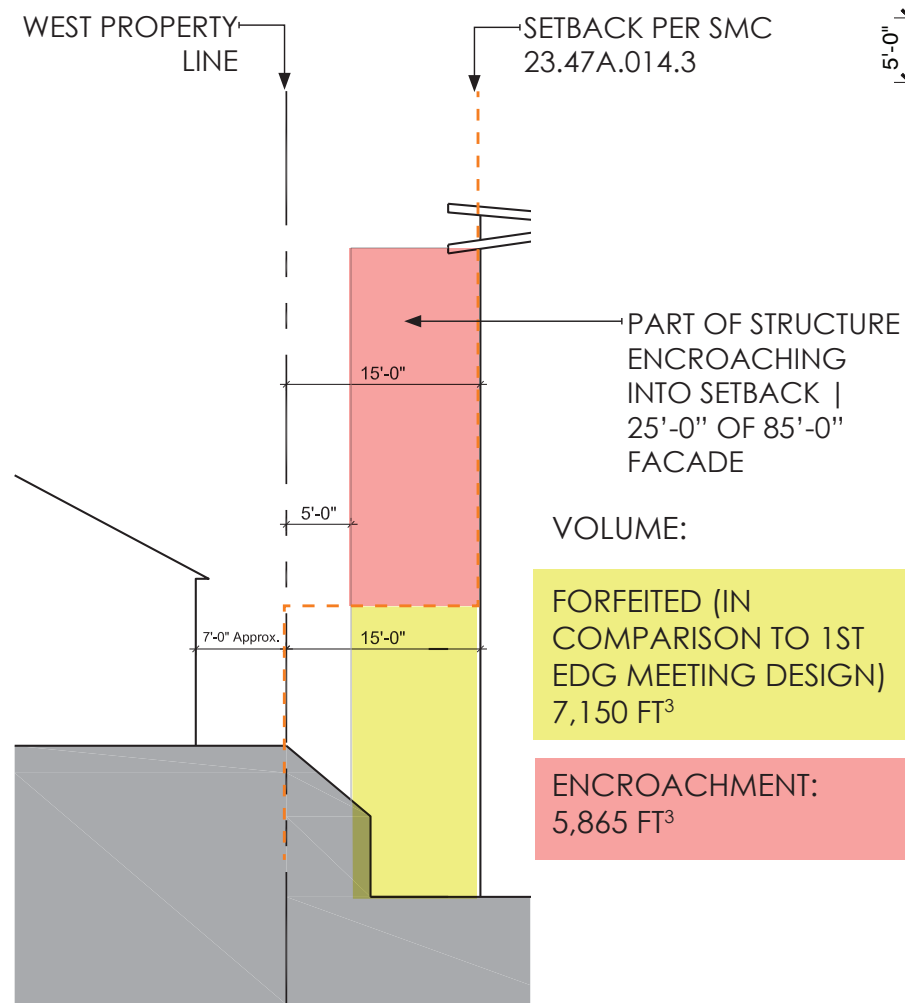
Manufacturer:
Bruck Lighting

Dimensions: 8.6" W X 3.25" H

Location: Residential Entry stairs
and ADA ramp







By providing a 15' setback where no setback is required at levels 1 & 2, the project is forfeiting 7,150 SF of development potential, in comparison to the preferred design presented at the first Early Design Guidance meeting, which only provided a 5' setback for light and air at levels 1 & 2. The proposed departure honors the 15' setback for the majority of the building at all levels, instead of just the upper levels as specified by code.

Requested Departure

Setback & Separations | SMC 23.45.518.B

For a structure containing a residential use, a setback is required along any side or rear lot line that abuts a lot in a residential zone or that is across an alley from a lot in a residential zone, as follows:

- Fifteen feet for portions above 13' in height to a maximum of forty feet.
- and
- For each portion of a structure above forth feet in height, additional setback at the rate of two feet of setback for every 10 feet by which the height of such portion exceeds 40 feet.

Request |

10'-0" Encroachment into side setback for 25'-10" (27%) of West property line.

Justification |

During the early design guidance meeting on August 25th, 2014, the design review board expressed concern about the impact of West facing decks and units on the privacy of the adjacent residential site to the West. In response to the board's guidance, the design at the ground plane provides a greater than required setback at ground level (15'-0" provided, no setback required). Providing a 15'-0" setback for the majority of the building instead of two floors of zero lot line development allows for additional landscaping and buffer between properties, (**CS1.D1: On-Site Features**) as well as better reflecting the massing, spacing, and character of structures on the rest of the block (**CS2.B3: Character of Open Space, CS2.C2: Mid-Block Sites, CS2.D3: Zone Transitions, DC3.C1: Reinforce Existing Open Space**). Widening the northern portion of the building and allowing the projection of the Northwest corner of the building into the setback allows for additional units to have North or South facing windows towards the right-of-ways and away from the adjacent residence, minimizing the west facing units. The net volumetric massing of the proposed building is substantially less than what is allowed outright by code. (**CS2.D4: Respect for adjacent sites, PL3.B1: Security & Privacy**)

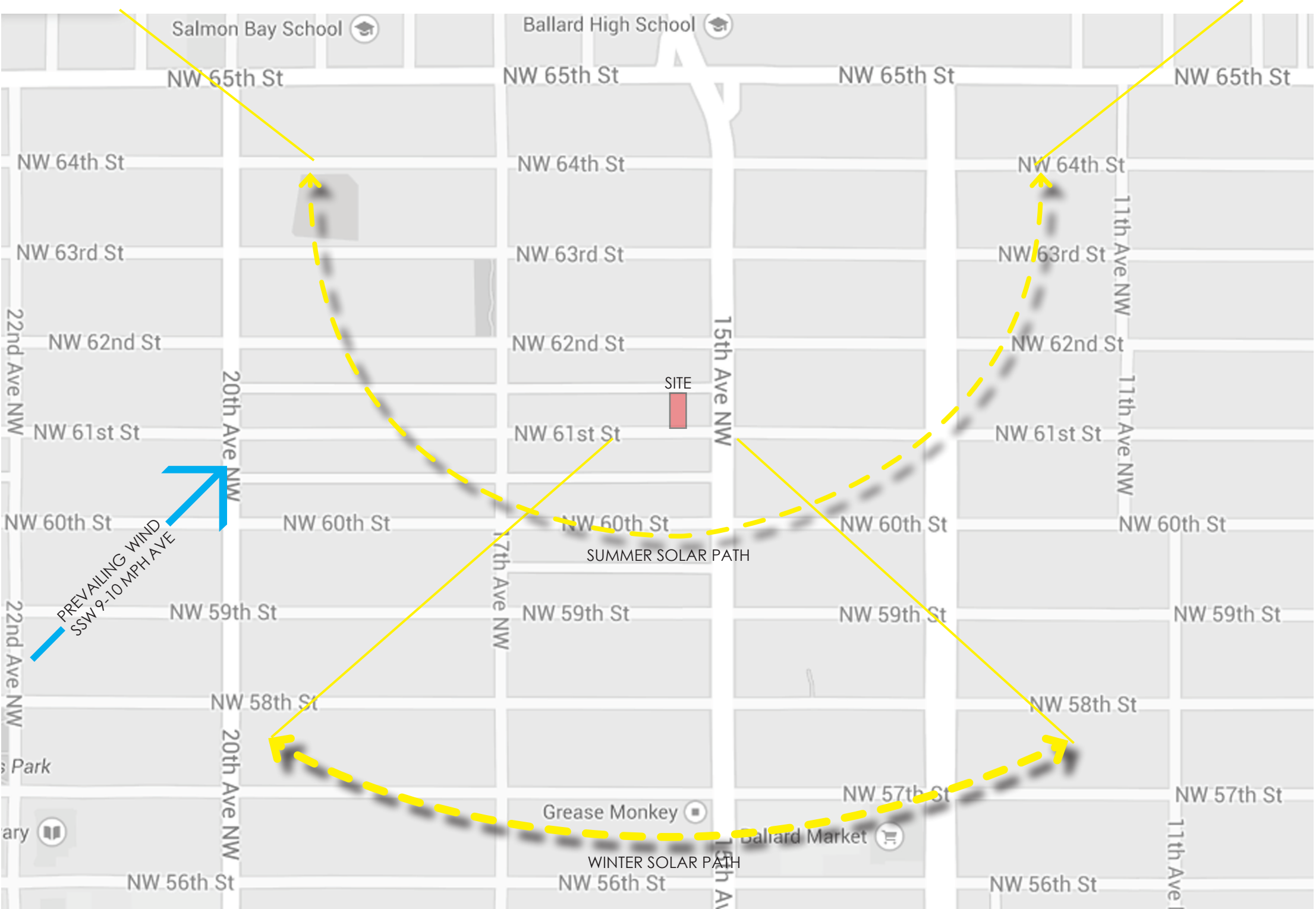
Tree Preservation |

In addition to the reasons noted above, the project is also preserving the existing large trees on the adjacent property to the West, particularly the Exceptional White Fir. Per SMC 25.11.080.A.2 "The Director may permit an exceptional tree to be removed only if the applicant demonstrates that protecting the tree by avoiding development in the tree protection are could not be achieved through the development standard adjustments permitted in Section 23.41.018 or the departures permitted in Section 23.41.012." Additionally, SMC 25.11.080.B.2 states "In order to protect trees over 2 feet in diameter an applicant may request and the Director may permit modification of development standards in the same manner and to the same extent as provided for exceptional trees in subsection 25.11.080.A, above."

Despite the requested departure, the proposed structure will have a FAR of just 2.6 versus an allowed FAR of 3.0. The shortage of development potential of the NC3-4 property is due to protection of the 26" diameter Douglas Fir and exceptional 30" White Fir's canopy and a critical root zone.

APPENDIX

ENVIRONMENTAL ANALYSIS



ZONING

KEY

- NC3-40
- LR1
- LR2
- LR3



CIRCULATION, TRANSIT, & NEIGHBORHOOD AMENITIES

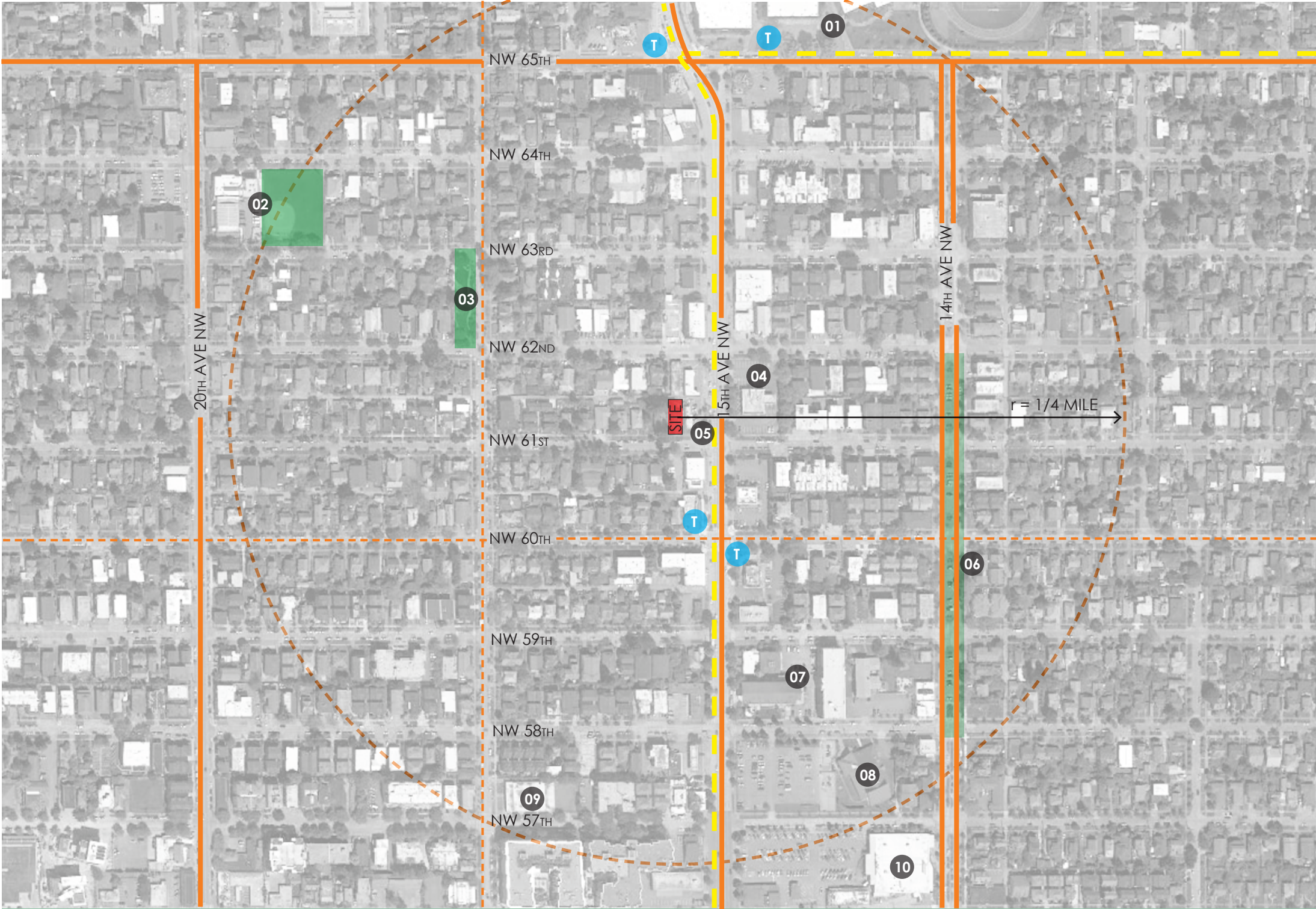
KEY

- MAIN
- ARTERIAL
- BIKE ROUTE / LANES
- TRANSIT STOP
- TRANSIT ROUTE

- 01 BALLARD HIGH SCHOOL
- 02 BOYS AND GIRLS CLUB
- 03 BALLARD CORNERS PARK
- 04 US BANK
- 05 TACO zzx MAR
- 06 14TH AVE PARK BOULEVARD (PROPOSED)
- 07 SAINT ALPHONSUS CHURCH
- 08 SAINT ALPHONSUS PARISH SCHOOL
- 09 BALLARD POST OFFICE
- 10 BALLARD MARKET

PUBLIC TRANSPORTATION

The project is located in an area with access to several transit public routes. It is less than half a block from a stop on the Rapid Ride transit line that connects Downtown, Ballard, & North Beach. A transfer stop for frequent service running East-West is a third of a mile South of the site. It is also within walking distance of the main commercial areas of Ballard





NEIGHBORHOOD VICINITY MAP



03. Vegetation along NW 61st St



04. Condos



01. Commercial Alongside 15th St NW



02. Multi-Family development along NW 61st



05. New Multi-family development on NW 62nd St



06. Commercial alongside 15th Ave NW



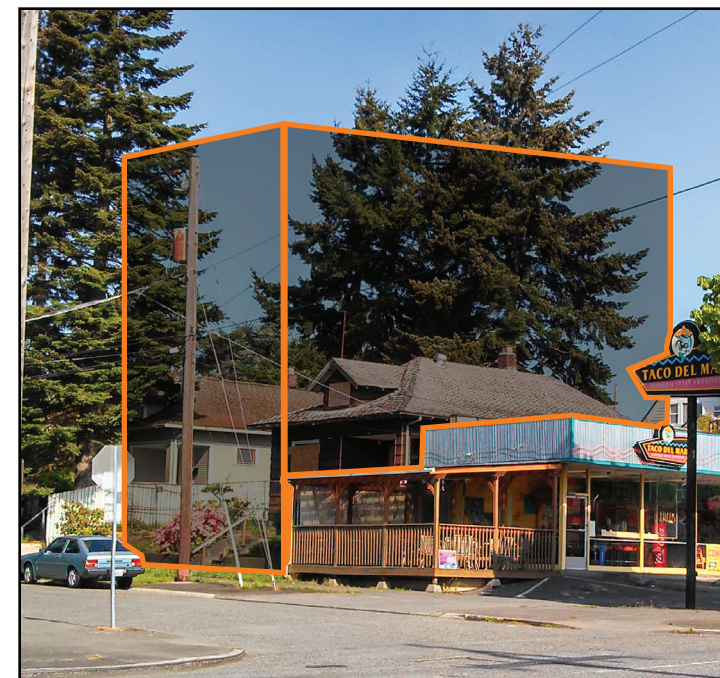
07. Townhomes

NEIGHBORHOOD CONTEXT | SUMMARY

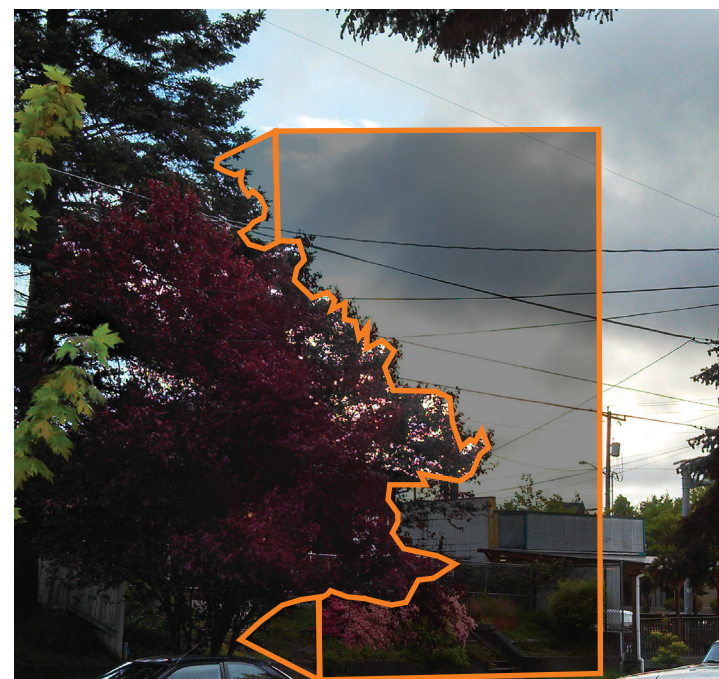
The neighborhood is a mix of single family and low rise multi-family residential with small scale commercial along 15th Ave NW, the major street in the area. In addition to the commercial adjacent to 15th Ave NW, the area is served by amenities to the South along Market St and the historic Ballard area to the Southwest. While not immediate, many of these urban features are still walkable and easily accessed.

There does not seem to be one prominent or dominant architectural category, so the aesthetics will be informed by the function of the building, commercial zoning of the property, as well as the characteristics of the site. Cues will be taken from the residential neighborhood, striving towards a refined, elegant aesthetic.





01. SITE | Looking NW from across intersection of 15th Ave NW and NW 61st St



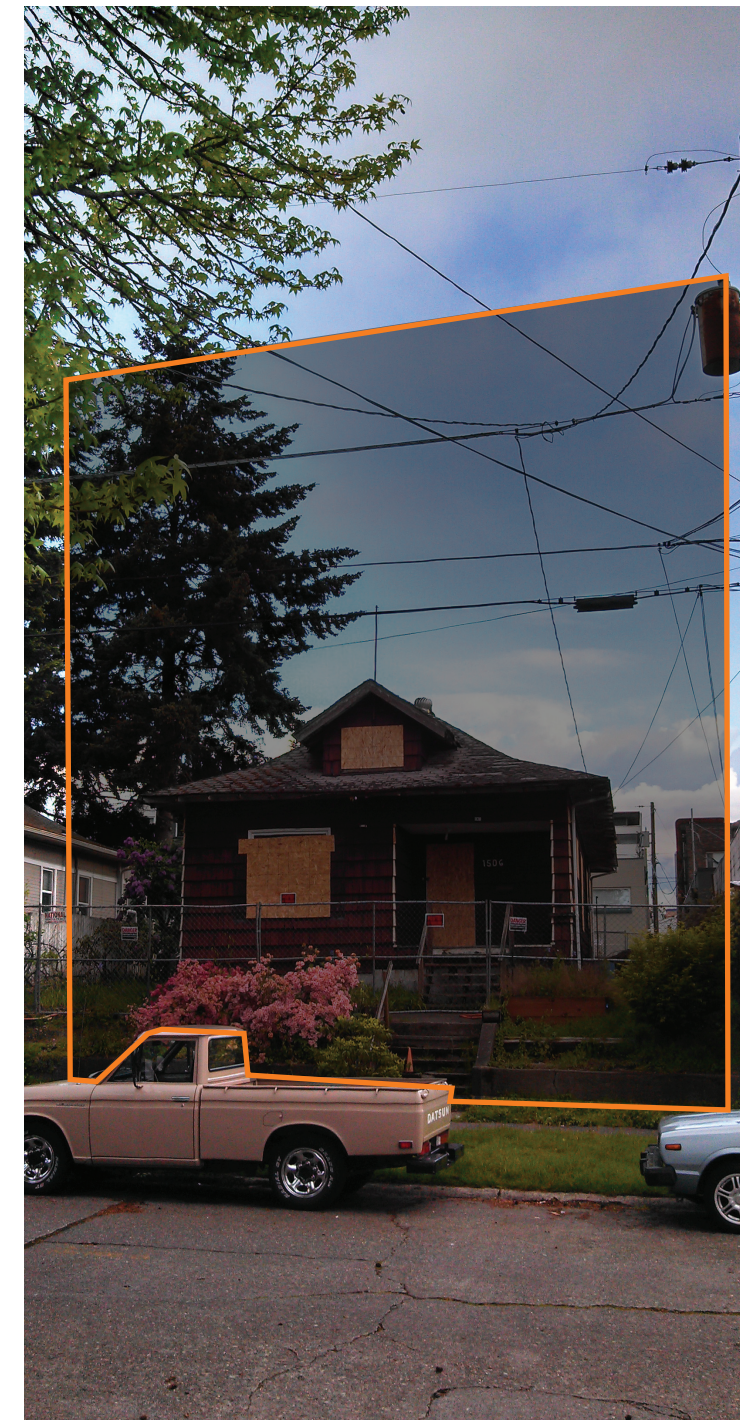
03. SITE | Looking NE across NW 61st St



04 View from site looking South across NW 61st St



05. SITE | N approach to site from Alley



06. Commercial Alongside 15th St NW

SEATTLE MUNICIPAL CODE TITLE 23

REQUIREMENTS FOR NEIGHBORHOOD COMMERCIAL (NC3-40) ZONES:

SMC 23.47A.004 (TABLE A) | PERMITTED USES
RESIDENTIAL USES ARE PERMITTED OUTRIGHT

SMC 23.47A.012 | STRUCTURE HEIGHT:
MAXIMUM HEIGHT: 40' + 4' (SECTION A.1 or C.2) = 44'

SMC 23.47A.013 | FLOOR AREA RATIO:
MAXIMUM F.A.R. RESIDENTIAL USE: 3.00
MINIMUM F.A.R. RESIDENTIAL USE: 1.50
PROPOSED 3.00

SMC 23.47A.013 | SETBACK REQUIREMENTS:
FRONT: 0'
REAR: 5' MIN.
EAST SIDE @>40' FACADE: 0'
SIDE @<40' FACADE: 15' MIN.

SMC 23.47A.024 | AMENITY AREA
AMENITY AREA REQUIRED: EQUAL TO 5% OF TOTAL GROSS RESIDENTIAL FLOOR AREA, MEETING THE FOLLOWING STANDARDS:
- ALL RESIDENT SHALL HAVE ACCESS TO AT LEAST ONE COMMON OR PRIVATE AMENITY AREA
- AMENITY AREAS SHALL NOT BE ENCLOSED
- COMMON AMENITY AREAS SHALL HAVE A MIN. HORIZ. DIMENSION OF 10' AND BE NO LESS THAN 250 SF IN SIZE
- PRIVATE BALCONIES & DECKS SHALL HAVE A MIN. AREA OF 60 SF AND NO HORIZ. DIMENSION LESS THAN 6'

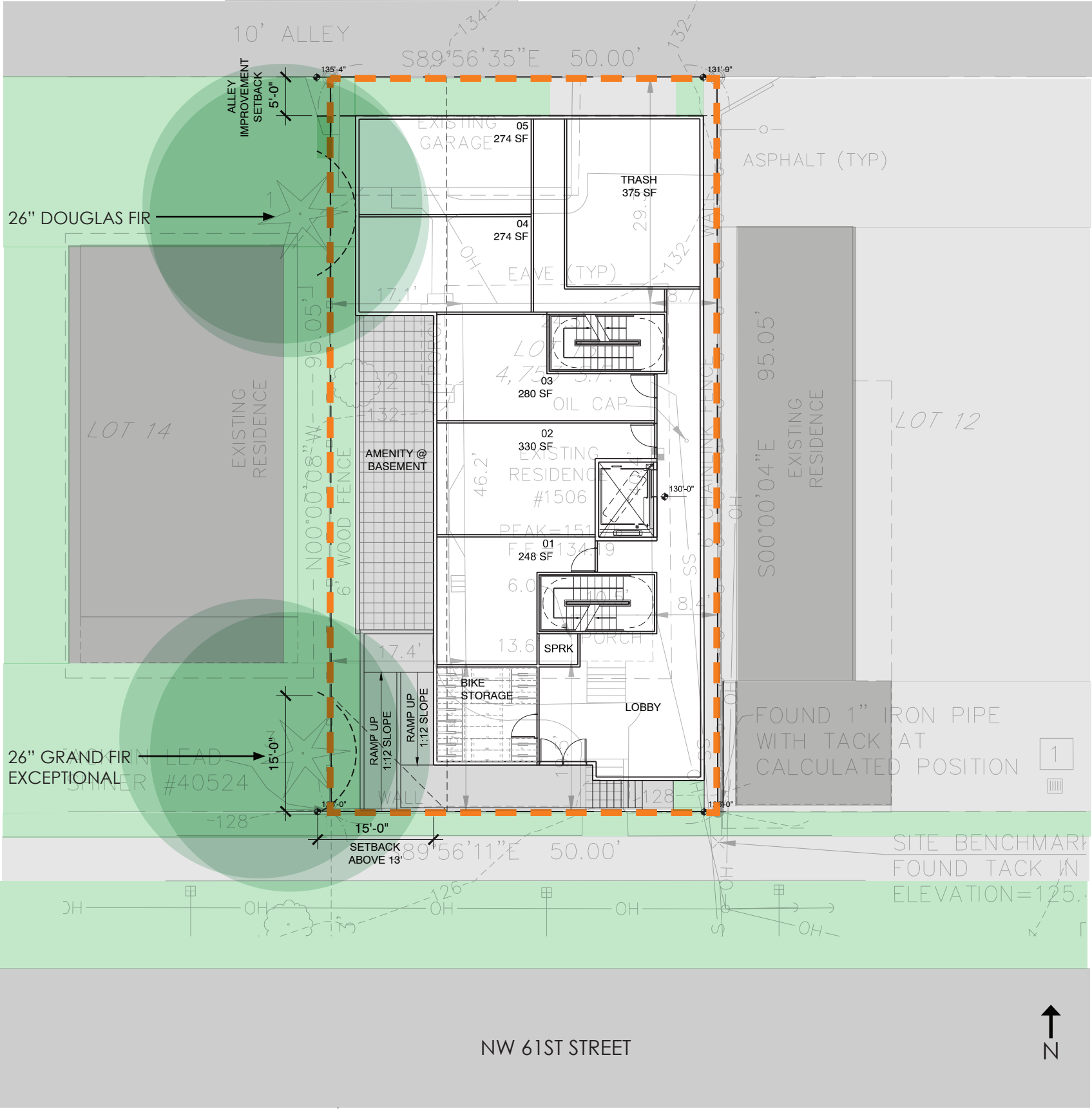
SMC 23.54.015 | REQUIRED PARKING
REQUIRED PARKING IN NC3 ZONES WITHIN AN URBAN VILLAGE:
NOT REQUIRED, PER TABLE B FOR SMC 23.54.015: SECTION II ITEM "M".

SMC 23.47A.016 | LANDSCAPE STANDARDS:
GREEN FACTOR SCORE OF .3 OR GREATER IS REQUIRED

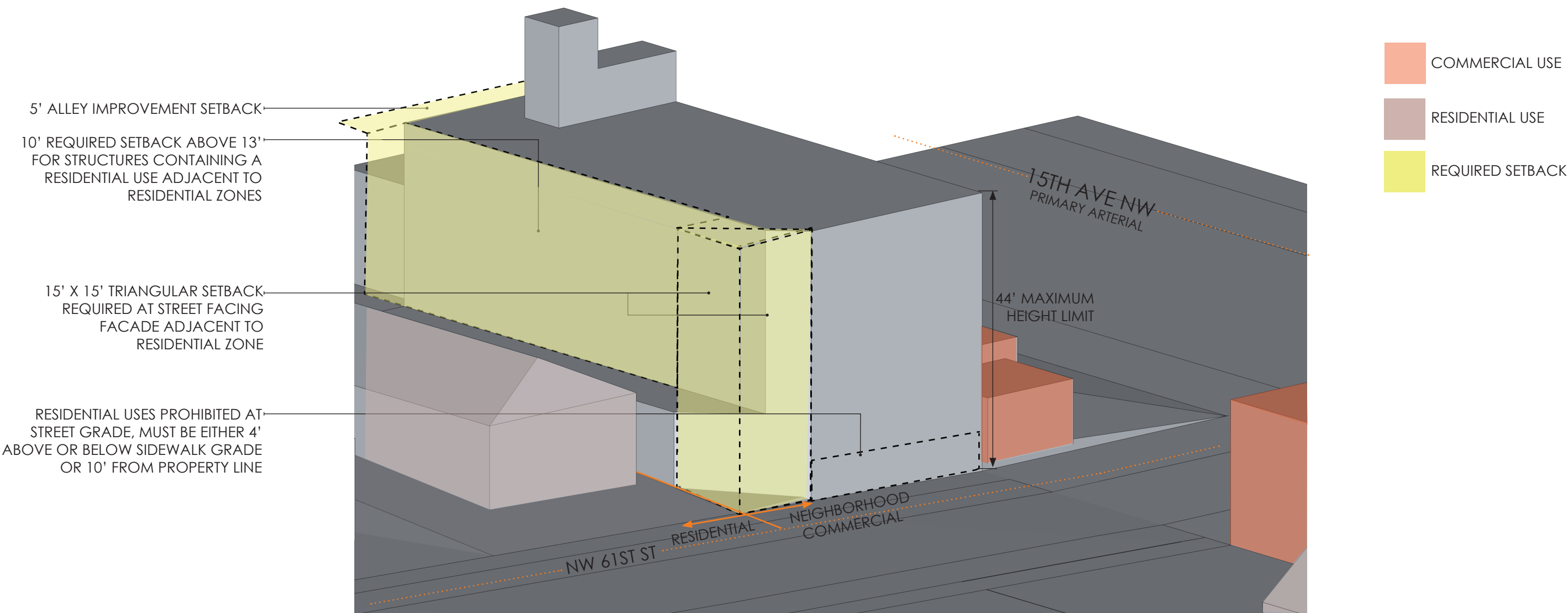
SMC 23.47A.008 | STREET-LEVEL DEVELOPMENT STANDARDS
STREET-LEVEL STREET-FACING FACADES CONTAINING A RESIDENTIAL USE SHALL HAVE A PROMINENT PEDESTRIAN ENTRY; AND THE FLOOR OF A DWELLING UNIT LOCATED ALONG THE STREET-LEVEL STREET-FACING FACADE SHALL BE AT LEAST 4' ABOVE OR BELOW SIDEWALK GRADE OR BE SET BACK AT LEAST 10' FROM THE SIDEWALK

LEGAL DESCRIPTION OF SITE

LOT 13, BLOCK 19, GILMAN PARK, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 3 OF PLATS, PAGE 40, RECORDS OF KING COUNTY, WASHINGTON.
EXCEPT THE NORTH 5 FEET THEREOF CONVEYED TO THE CITY OF SEATTLE FOR ALLEY BY DEED RECORDED UNDER RECORDING NO. 1289135
SITUATE IN THE COUNTY OF KING, STATE OF WASHINGTON
(PER OLD REPUBLIC TITLE, ORDER NUMBER: 5207118149)



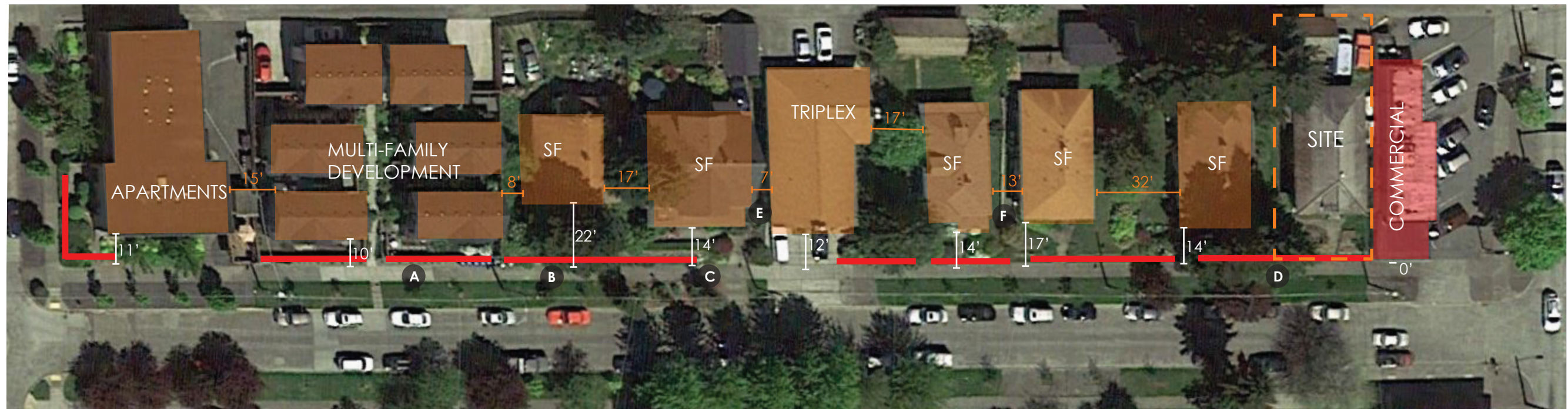
REQUIRED SETBACKS & RESTRICTIONS



Existing retaining wall or rockery condition holding back property grade alongside sidewalk

Approximate building separation

Approximate setback from sidewalk



Various retaining walls or rockery conditions along the North side of NW 61st



A



B



C



D



E



F

Typical Building separation along the North side of NW 61st

WORK EXAMPLES

SKIDMORE JANETTE APD



Ballard Sixty One, LLC.

skidmore janette architecture planning design

1506 NW 61ST ST

DESIGN REVIEW RECOMMENDATION
8/17/2015 #3017177

APPLICANT WORK SAMPLES