

Early Design Guidance Analytic Design Proposal Packet

1516 NW 51st St, Seattle, WA 98107

A Proposed Apartment Development

May 2, 2014

PROJECT #: 3017093



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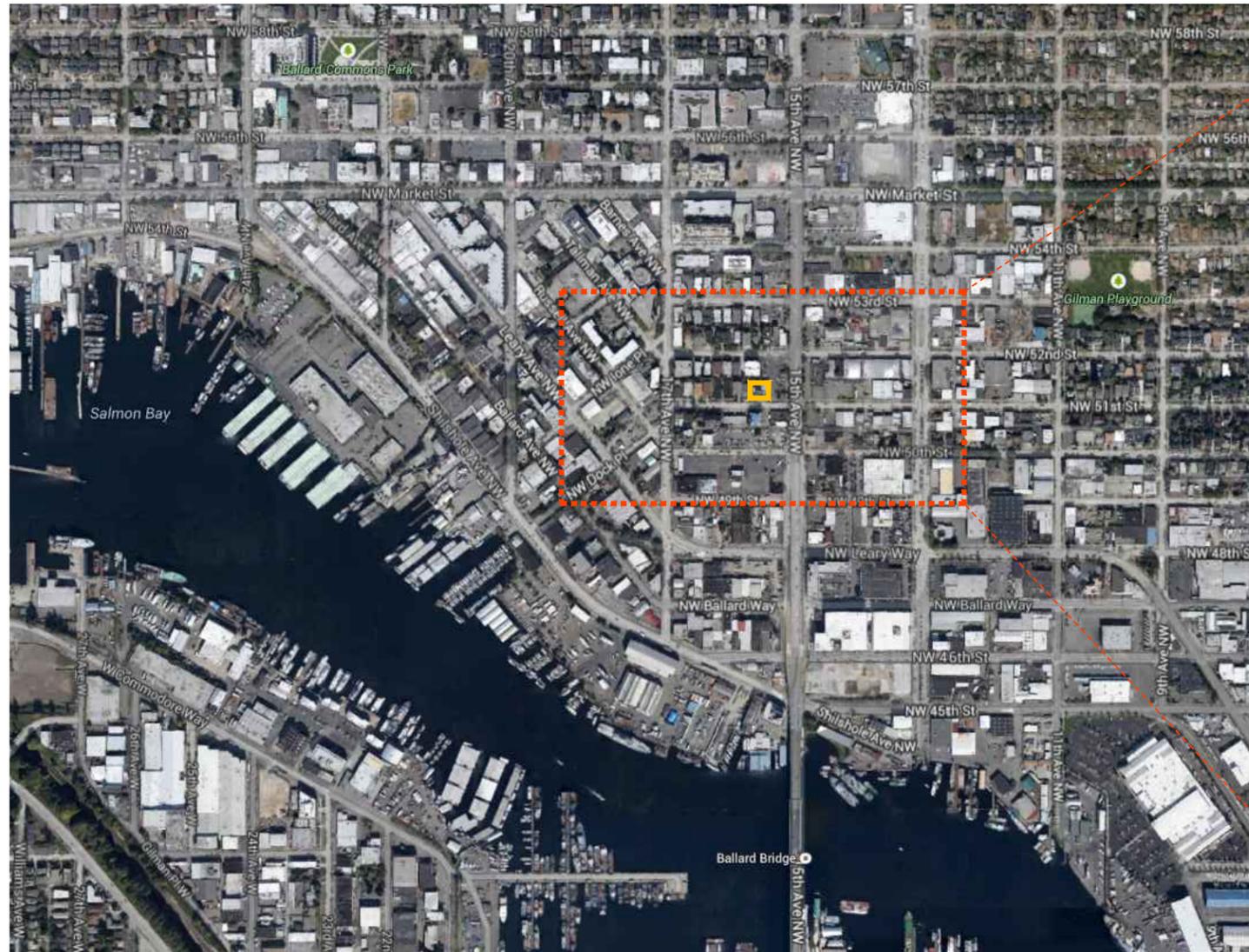
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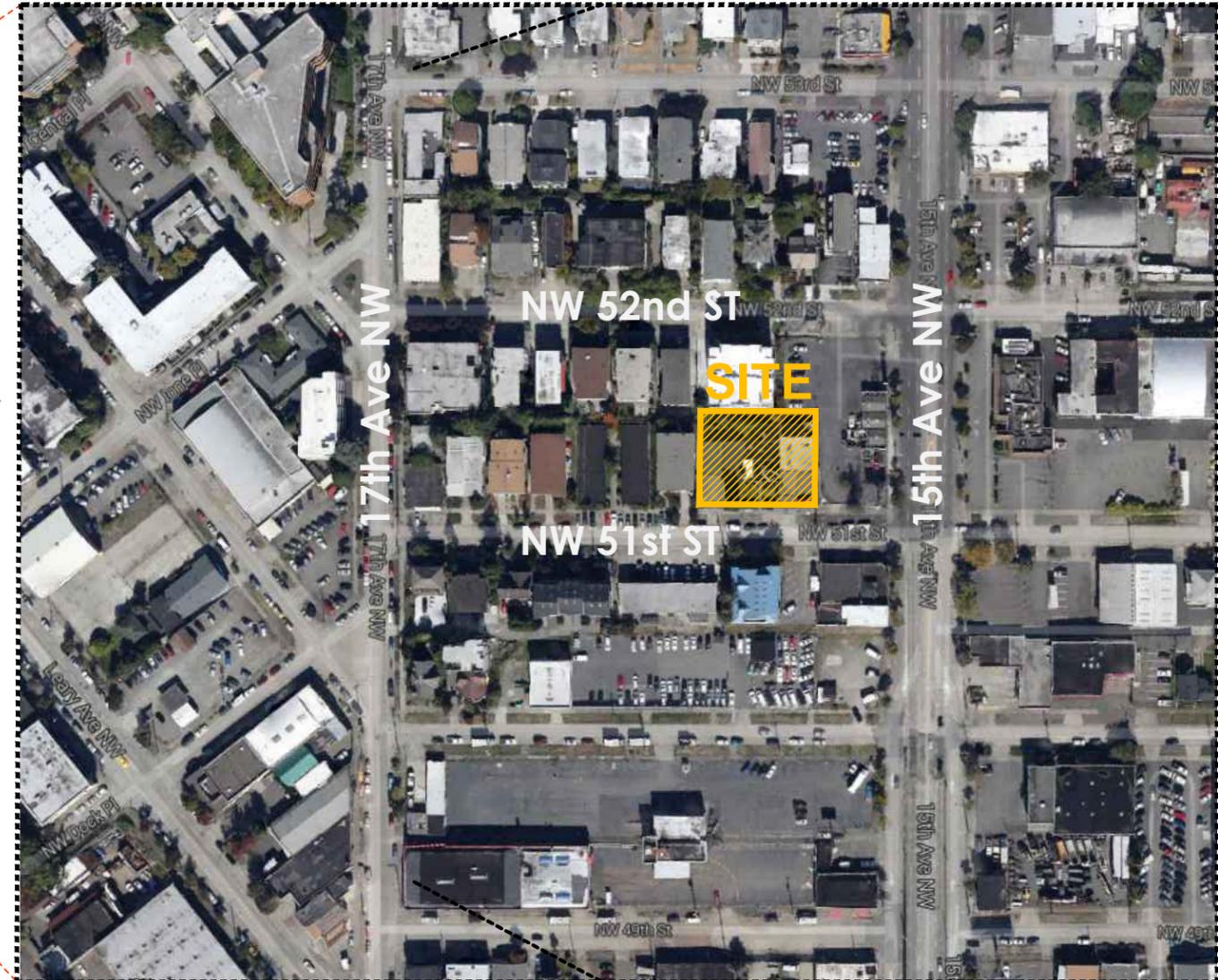
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VICINITY MAP



SITE MAP



T1 DPD #3017093 1516 NW 51st ST: EARLY DESIGN GUIDANCE
 TITLE SHEET

PROJECT DATA

LOCATION: 1516 NW 51st St
 SITE AREA: 14,270 SQ FT
 ZONE: C1-65
 OVERLAYS: BALLARD OVERLAY DISTRICT (HUB URBAN VILLAGE)
 BUILDING CODE: SEATTLE AMENDMENTS TO THE 2012 IBC
 PROPOSED USE: RESIDENTIAL MIXED USE
 OCCUPANCY CLASSIFICATION / SEPARATIONS:

SETBACK REQUIREMENTS: (23.47A.014)
 NO REQUIRED SETBACKS
 REQUIRED LANDSCAPING: (23.47A.016)
 SEATTLE GREEN FACTOR SCORE OF .30 OR GREATER

LIGHT AND GLARE STANDARDS: (23.47A.022)
 INTERIOR LIGHTING IN PARKING GARAGES MUST BE SHIELDED TO MINIMIZE NIGHTTIME GLARE AFFECTING NEARBY USES.
 DRIVEWAYS AND PARKING AREAS SHALL BE SCREENED FROM ADJACENT PROPERTIES BY A FENCE OR WALL BETWEEN FIVE AND SIX FEET IN HEIGHT, OR SOLID EVERGREEN HEDGE OR LANDSCAPED BERM AT LEAST FIVE FEET IN HEIGHT.

REQUIRED PARKING: (23.47A.030)
 0 STALLS REQUIRED

PARKING LOCATION AND ACCESS: (23.47A.032)
 IF ALLEY ACCESS IS NOT AVAILABLE, ACCESS IS PERMITTED FROM THE SIDE STREET WHEN LOT ABUTS TWO OR MORE STREETS. A LOADING ZONE MAY BE REQUIRED.

PROPOSED FAR:

FLOOR LEVEL	USE	SUBJECT TO FAR
LEVEL P1/L1	PARKING	6,673 SF
LEVEL P1/L1	LIVE/WORK	700 SF
LEVEL P1/L1	RESIDENTIAL	3,640 SF
LEVEL L2-L6	RESIDENTIAL	11,013 SF/ FLOOR
TOTAL	69,335 SF	66,078 SF (< 67,782 SF)

RESIDENTIAL AMENITY AREA: (23.47A.024)
 5% OF GROSS BUILDING AREA IN RESIDENTIAL USE
 58,705 SF x 5% = 2,935 SF

ADA PARKING REQUIREMENTS: (SBC 1106)
 AT LEAST 2 PERCENT OF EACH TYPE OF PARKING SPACE PROVIDED FOR OCCUPANCIES IN GROUPS R-2 AND R-3 SHALL BE ACCESSIBLE.
 PARKING SPACES PROVIDED:
 ACCESSIBLE PARKING SPACE REQUIRED: 1 ADA VAN STALL

AVERAGE GRADE CALCULATION
 AVERAGE GRADE HEIGHT- CALCULATED USING THE MIDPOINT OF PROPERTY LINE, ASSUMING BUILDING HAS 0 LOT LINE: =285.76

SOLID WASTE CALCULATION: (23.54.040)
 RESIDENTIAL: 495 SF
 NON RESIDENTIAL: 82 SF
 TOTAL= 577 SF

BICYCLE PARKING REQUIREMENT: (23.54.015.K)
 TOTAL BICYCLE PARKING REQUIRED: 21 STALLS

DESIGN STATEMENT

The owner's aim is to create a market rate rental community that appeals to a wide range of Ballard neighborhood dwellers. The development will be designed in context with the distinguished character of the surrounding neighborhood in architectural elements, building scale, and massing. The building proposed is a 81-unit, five-level wood frame over concrete. The design will include a surface level of parking for 40 stalls accessed via NW 51st St.

- Proposed Building Summary:
- * Building Area: 69,335 SF (include parking garage)
 - * Unit: 81 Units
 - * Parking: 40 Parking Stalls

POTENTIAL USE: (23.47A.004) SOME PERMITTED EXAMPLES
 RESIDENTIAL, LIVE-WORK UNITS

STREET-LEVEL DEVELOPMENT STANDARDS: (23.47A.008)

BLANK FACADES PERMITTED: NO SEGMENT LONGER THAN 20'
 TOTAL BLANK FACADE < 40%

STREET-LEVEL STREET-FACING FACADES SHALL BE LOCATED WITHIN 10' OF THE STREET LOT LINE. UNLESS WIDER SIDEWALKS, PLAZAS, OR OTHER APPROVED LANDSCAPED OR OPEN SPACES ARE PROVIDED.

TRANSPARENCY REQUIRED: 60% FOR NON-RESIDENTIAL USES

DEPTH OF NON-RESIDENTIAL: AVERAGE 30 FT. MINIMUM 15 FT.
 HEIGHT OF NON-RESIDENTIAL: 13 FT FLOOR-TO-FLOOR

AT LEAST ONE OF THE STREET-LEVEL STREET-FACING FACADES CONTAINING A RESIDENTIAL USE SHALL HAVE A VISUALLY PROMINENT ENTRY

THE FLOOR OF A DWELLING UNIT LOCATED ALONG THE STREET-LEVEL STREET-FACING FACADE SHALL BE AT LEAST 4' ABOVE OR BELOW SIDEWALK GRADE OR BE SET BACK AT LEAST 10' FROM THE SIDEWALK.

LIVE-WORK UNITS LOCATED ON STREET-LEVEL STREET-FACING FACADES MUST COMPLY WITH BLANK FACADE AND TRANSPARENCY REQUIREMENTS

STRUCTURE HEIGHT: (23.47A.012)

MAX. ALLOWED: 65 FEET
 PROJECTIONS ALLOWED ABOVE HEIGHT LIMIT: PARAPETS, GUARDRAILS, ELEVATOR OVERRUNS, ETC.

FLOOR AREA RATIO: (23.47A.013)

LOT AREA: 14,270 SF
 MAX. FAR FOR SINGLE USE (RESIDENTIAL): 4.25 (60,647 SF)
 MAX. FAR FOR TOTAL OF MIXED-USE STRUCTURE: 4.75 (67,782 SF)

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KEY

URBAN VILLAGE C1-65 LR-3 IG2-U/65



2 ZONING MAP
 SCALE: NTS



KEY

-  SUN
-  VIEW
-  NOISE TRAFFIC
-  PREVALING WIND
S (Jan-June)
NW (July-Sept)
SSE (Oct-Dec)



1 SITE ANALYSIS MAP
SCALE: NTS



KEY

-  RETAIL
-  SINGLE FAMILY
-  CAR WASH
-  MULTIFAMILY
-  BUS ROUTE
-  BUS STOP

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2 CONTEXT ANALYSIS
SCALE: NTS





1-NW 51st St- Looking West



2-NW 51st St- Looking West



3-NW 51st St- Looking West



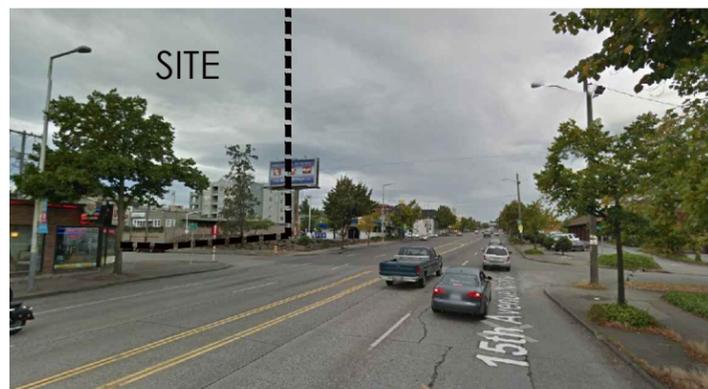
4-NW 51st St- Looking East



5-NW 51st St- Looking East



6-15th Ave NW- Looking North



7-15th Ave NW- Looking North



8-15th Ave NW- Looking South



9-15th Ave NW- Looking South

PHOTO KEY



PHOTO KEY



1 North Streetscape 51st ST



2 South Streetscape 51st ST



DESIGN GUIDELINES

CS1 Natural Systems and Site Features

B. Sunlight and Natural Ventilation

B.2 Daylight and Shading - Large transparent sliding door and window openings along the perimeter walls provide ample daylight for interior spaces.

C. Topography

C.1 Land Form - Natural slope of site allows for parking to slope with minimal grading while keeping pedestrian and live/work entrance at sidewalk grade.

D. Plants and Habitat

D.1 On-site Features - Tall planting and planter area at second level pt-deck creates pleasant visual barrier between adjacent residential structures to the north and west.

CS2 Urban Pattern and Form

B. Adjacent Sites, Streets, and Open Spaces

B.2 Connection to the Street - Along NW 51st St building frontage presses towards the street providing a connection with NW 51st St that links to the 15th Ave NW arterial. Building facade facing west is sympathetic to the views while traveling along 15th Ave NW.

C. Relationship to the Block

C.2 Mid-Block Sites - Building street level facade provides strong connection to the commercial uses along 15th Ave NW while 12' planting bed with street trees provides strong connection to the residential zone to the east.

D. Height, Bulk, and Scale

D.3 Zone Transitions - Project massing provides setback between C1-65 and LR-3 zones while creating optimal full-glazed facades facing all directions.

D.5 Respect for Adjacent Sites - Project setback along west, east, and north provide ample space between adjacent existing and potential uses while eliminating zero-lot line blank walls.

CS3 Architectural Context and Character

A. Emphasizing Positive Neighborhood Attributes

A.4 Evolving Neighborhoods - The neighborhood of 1516 NW 51st St is continually evolving with a variety of surrounding uses that contribute to its unique, eclectic style. Some of the surrounding uses include multi-family, single-family, restaurant, apparel retail, tire shop, car dealer, upholstery store, brewery, wood-shop, pipe organ builders, paint company. The modern box design with large glazing openings provides a positive context to the surrounding buildings and neighborhood.

PL1 Open Space Connectivity

A. Network of Open Spaces

A.1 Enhancing Open Space - Open space at second level balcony space is provided with landscape buffers to create a pleasant visual barrier between properties and unique spaces within the balconies themselves.

A.2 Adding to Public Life - Large street improvement section will create a great pedestrian feel along NW 51st St. Recessed entry provides significance and highlights point of access to the building.

B. Walkways and Connections

B.2 Pedestrian Volumes - Pedestrian traffic is not excessive along NW 51st St. However, added 6' sidewalk will provide ample space for pedestrian usage.

PL2 Walkability

A. Accessibility

A.1 Access for All - Building entry provides accessible use as it is located at grade.

B. Safety and Security

B.1 Eyes of the Street - Building creates a safe environment by providing maximum eyes on the street at all facades, especially NW 51st where the glazing continues to the ground level.

B.2 Lighting for Safety - Adequate lighting will be provided at the main entrance, live/work entrance, and parking entrance for safety and security.

B.3 Street-Level Transparency - Desired transparency is provided along the entire street frontage with the exception of the west end parking entrance.

C. Weather Protection

C.1 Locations and Coverage - Canopy coverage will be provided at the main entrance

PL3 Street-Level Interaction

A. Entries

A.1 Design Objectives: Common entries to multi-story residential buildings - Recessed entry with canopy signals main entrance to pedestrians while continued planting provides some separation and privacy.

B. Residential Edges

B.1 Buildings with Live/Work Uses - Active and transparent facade provided at live/work unit at the southeast corner of the ground level.

PL4 Active Transportation

A. Entry Locations and Relationships

A.1 Serving all Modes of Travel - Drive entry provided is setback from the residential use to the west. Automatic closing garage door, safety mirrors, and horns/strobe will be considered for safety when accessing to and from the parking garage.

A.2 Connections to All Modes - Central main entrance relates to primary residential use of building and massing above the ground level.

B. Planning Ahead for Bicyclists

B.2 Bike Facilities - Covered bike storage located at parking garage.

DC1 Project Uses and Activities

A. Arrangement of Interior Uses

A.1 Visibility - Public use of live/work unit is located prominently at the southeast corner closest to 15th Ave NW.

A.4 Views and Connections - Primary tenant amenity area located at the rooftop to take advantage of views to the City of Seattle, Mt Rainier, and Puget Sound.

C. Parking and Service Uses

C.2 Visual Impacts - Covered parking lot visual is reduced as much of the parking lot is beneath grade due to the slope of the site.

DC2 Architectural Concept

B. Architectural and Facade Composition

B.1 Facade Composition - Fenestration openings allows for facade composition to be broken up into unifying vertical columns. Small building modulation at all facades allow for clean material transitions.

B.2 The design concept presented avoids blank walls on all facades and provides the best solution when considering potential future development and adjacent zoning limits.

DC3 Open Space Concept

A. Building-Open Space Relationship

A.1 Interior/Exterior Fit - Open space for private units creates landscape buffer along east, west, and north facades. Tenant amenity area roof deck takes advantage of enticing views for building occupants.

DC4 Exterior Elements and Finishes

D. Trees, Landscape and Hardscape Materials

D.1 Choice of Plant Materials - Plant choices reinforce visual separation at the second floor exterior patio areas while creating privacy for both building occupants and adjacent properties.

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DESIGN OPTIONS

OPTION 1 - SHIFTED BOX (CODE-COMPLIANT)



Details:

Gross Square Footage:

Level 1	14,270 sf
Level 2-6	11,043 sf
Total	69,485 sf

Description:

- This scheme provides covered parking, live/work, leasing office, and amenity area at the ground level with residential core living spaces above.
- The building is pushed to the east of the site due to the required residential setback along the west property line
- Zero-lot line blank wall is created along the East facade facing 15th Ave NW
- The building footprint with double loaded corridor allows all units to face outside to the north and south.
- The parking entrance is on the east end of the property along NW 51st St.

OPTION 2 - SETBACK URBAN INFILL



Details:

Gross Square Footage:

Level 1	14,270 sf
Level 2-6	10,630 sf
Total	67,420 sf

Description:

- This scheme provides covered parking, live/work, leasing office, and amenity area at the ground level with residential core living spaces above.
- This scheme provides adequate setbacks for the residential adjacency along the west property line.
- Vehicular entrance to surface parking is located on west end of NW 51st St.
- The building footprint with double loaded corridor allows all units to face outside.
- The building configuration creates equal amount of living unit with access to light and air. No exterior facade will have a blank wall larger than 6' at the residential levels above.

OPTION 3 - URBAN INFILL (PREFERRED SCHEME)



Details:

Gross Square Footage:

Level 1	14,270 sf
Level 2-6	10,593 sf
Total	67,235 sf

Description:

- This scheme provides covered parking, live/work, leasing office, and amenity area at the ground level with residential core living spaces above.
- Vehicular entrance to surface parking is located on west end of NW 51st St.
- The building footprint with double loaded corridor allows all units to face outside.
- The building configuration creates equal amount of living unit with access to light and air. No exterior facade will have a blank wall larger than 6' at the residential levels above.

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OPTION 1 - SHIFTED BOX (CODE-COMPLIANT)

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1 CONCEPTUAL SOUTHEAST ELEVATION
SCALE: NOT TO SCALE



2 CONCEPTUAL SOUTHWEST ELEVATION
SCALE: NOT TO SCALE

Advantages:

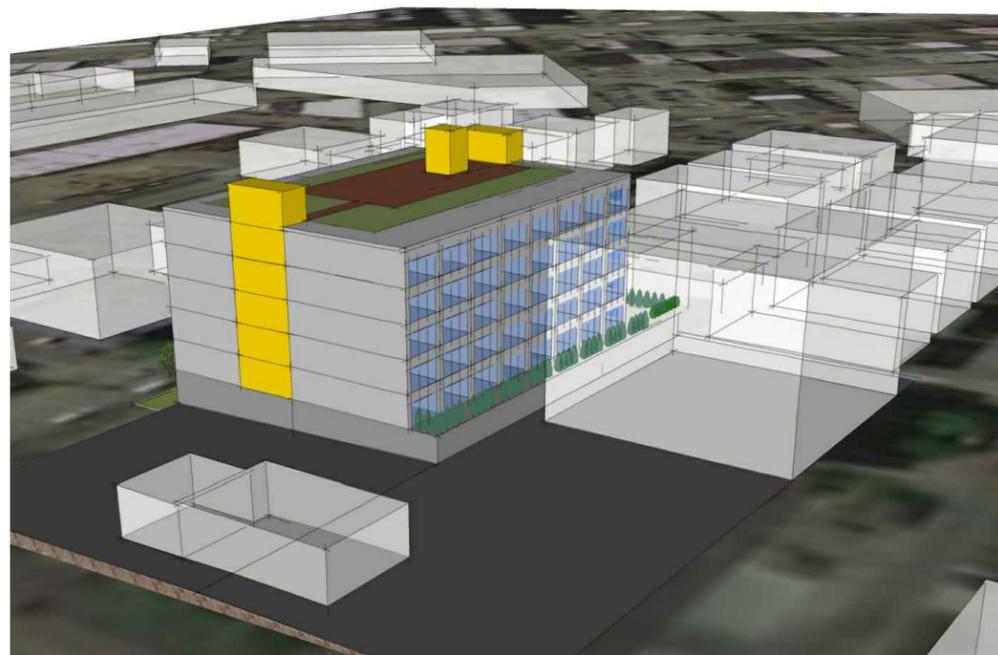
- Efficient layout
- Code compliant, no departure needed.

Challenges:

- Zero-lot line blank wall faces 15th Ave NW
- Units located only on N/S axis
- Integrate large massing with context of the surrounding neighborhood



3 CONCEPTUAL NORTHWEST ELEVATION
SCALE: NOT TO SCALE



4 CONCEPTUAL NORTHEAST ELEVATION
SCALE: NOT TO SCALE

PL3-B1
20' SETBACK AT THE EAST ADJACENCY TO RESIDENTIAL USE AND 10' SETBACK AT THE NORTH PROVIDES SECURITY AND PRIVACY TO UNITS

DC2-A2
BUILDING MASS IS LARGEST OF THE THREE OPTIONS ESPECIALLY WHEN VIEWED FROM THE 15TH AVE NW ARTERIAL

CS1-B3
HALF OF THE UNIT FACE SOUTH WHICH CREATES SOLAR GAIN ISSUES FOR THOSE UNITS.

DC2-B2
AVOID BLANK WALLS. MASSING CREATES LARGE BLANK WALL ALONG 15TH AVE NW.

A8

DPD #3017093 1516 NW 51st ST: EARLY DESIGN GUIDANCE
OPTION 1 SHIFTED BOX(CODE COMPLIANT) - CONCEPTUAL VIEWS

2001 WESTERN AVE, SUITE 200 SEATTLE, WA 98121 tel 206.587.3797 fax 206.587.0588

OPTION 2 - SETBACK URBAN INFILL

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1 CONCEPTUAL SOUTHEAST ELEVATION
SCALE: NOT TO SCALE



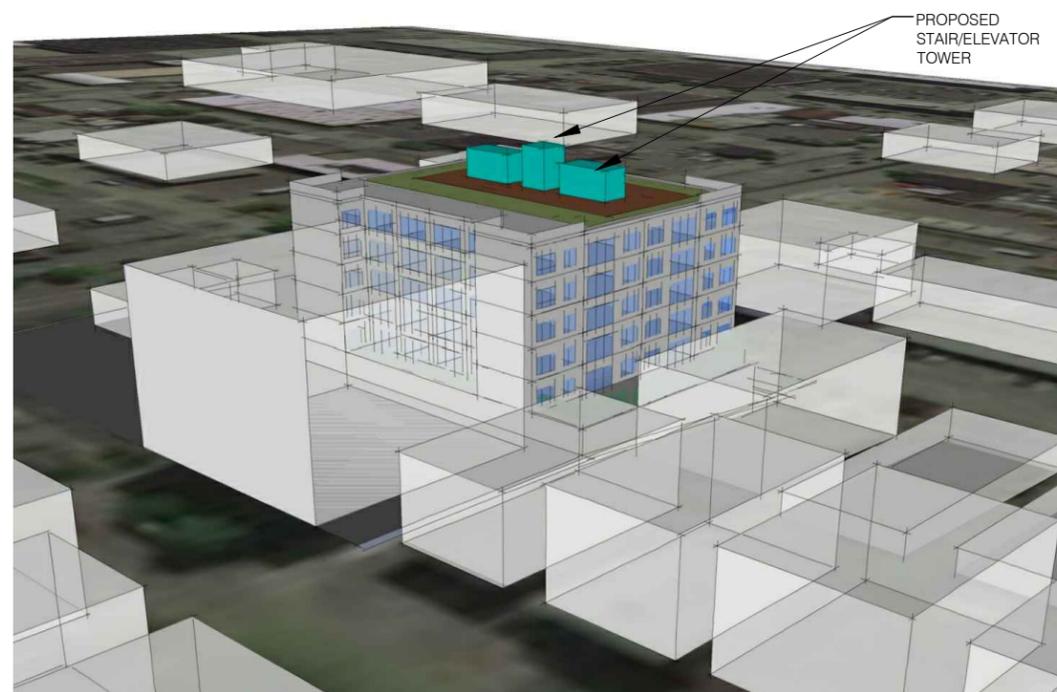
2 CONCEPTUAL SOUTHWEST ELEVATION
SCALE: NOT TO SCALE

Advantages:

- Efficient layout which engages all facades
- Code compliant, no departure needed.
- Large portion of NW 51st St activated with glazing from live/work and leasing office.
- Units face all directions

Challenges:

- Visually integrate massing into fabric of the neighborhood
- Setback at west property line creates zero-lot line condition along north elevation



3 CONCEPTUAL NORTHWEST ELEVATION
SCALE: NOT TO SCALE



4 CONCEPTUAL NORTHEAST ELEVATION
SCALE: NOT TO SCALE

PL3-B1
20' SETBACK AT THE EAST ADJACENCY TO RESIDENTIAL USE AND 10' SETBACK AT THE NORTH AND WEST PROVIDES SECURITY AND PRIVACY TO UNITS

DC4-D1
PLANT MATERIALS REINFORCE VISUAL SEPARATION AT THE PROPERTY LINES

CS3-A4
MODERN WAREHOUSE BOX DESIGN ADDS TO ECLECTIC NEIGHBORHOOD

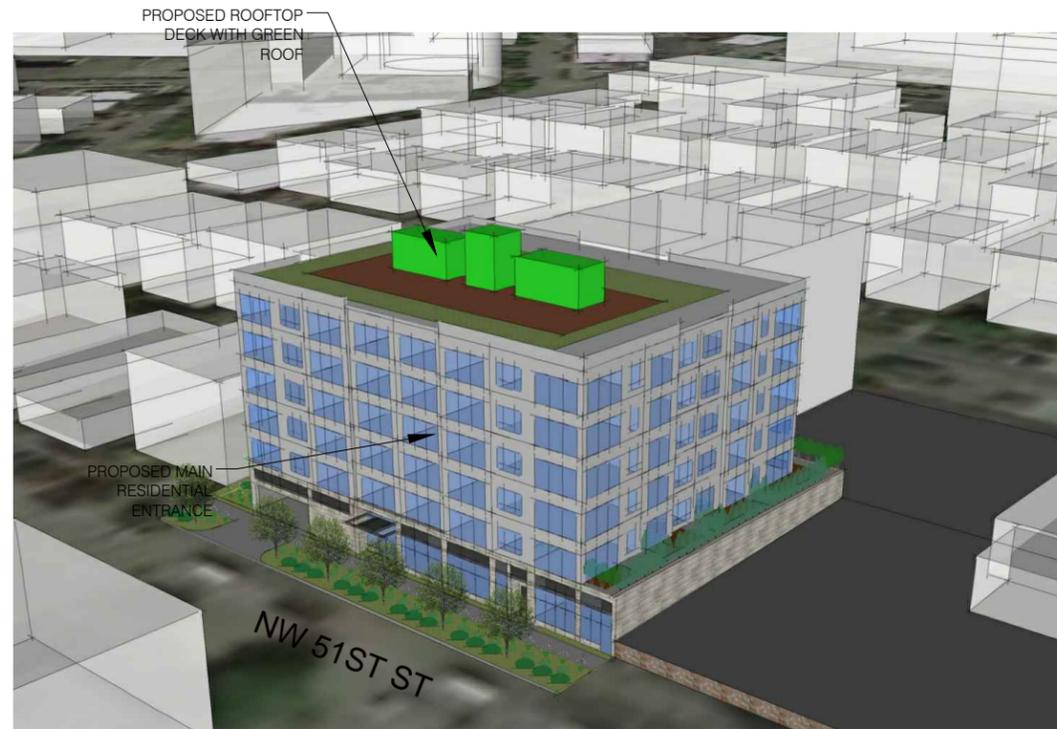
DC2-B2
AVOID BLANK WALLS. MASSING AVOIDS BLANK WALL FACING EAST BUT CREATES TWO 25' BLANK WALLS FACING NORTH

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OPTION 3 - URBAN INFILL (PREFERRED SCHEME)

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1 CONCEPTUAL SOUTHEAST ELEVATION
SCALE: NOT TO SCALE



2 CONCEPTUAL SOUTHWEST ELEVATION
SCALE: NOT TO SCALE

Advantages:

- Efficient layout
- Setbacks along all side and rear lot lines allow large amounts of glazing
- View from 15th Ave NW is activated with glazing and lights from living units
- Large portion of NW 51st St activated with glazing from live/work and leasing office.

Challenges:

- Visually integrate massing into fabric of the neighborhood
- Departure required for setback above 40' along west elevation



3 CONCEPTUAL NORTHWEST ELEVATION
SCALE: NOT TO SCALE



4 CONCEPTUAL NORTHEAST ELEVATION
SCALE: NOT TO SCALE

PL3-B1
15' SETBACK AT THE EAST ADJACENCY TO RESIDENTIAL USE AND 10' SETBACK AT THE NORTH AND WEST PROVIDES SECURITY AND PRIVACY TO UNITS

DC4-D1
PLANT MATERIALS REINFORCE VISUAL SEPARATION AT THE PROPERTY LINES

CS3-A4
MODERN WAREHOUSE BOX DESIGN ADDS TO ECLECTIC NEIGHBORHOOD

DC2-B2
AVOID BLANK WALLS. MASSING AVOIDS BLANK WALL FACING ALL DIRECTIONS

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A12

DPD #3017093 1516 NW 51st ST: EARLY DESIGN GUIDANCE
OPTION 3 UBRAN INFILL(PREFERRED SCHEME) - CONCEPTUAL VIEWS

DESIGN OPTIONS - COMPARISON IMAGES

MAIN ENTRANCE

PEDESTRIAN VIEW ALONG NW 51ST ST

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OPTION 1



OPTION 2



OPTION 3



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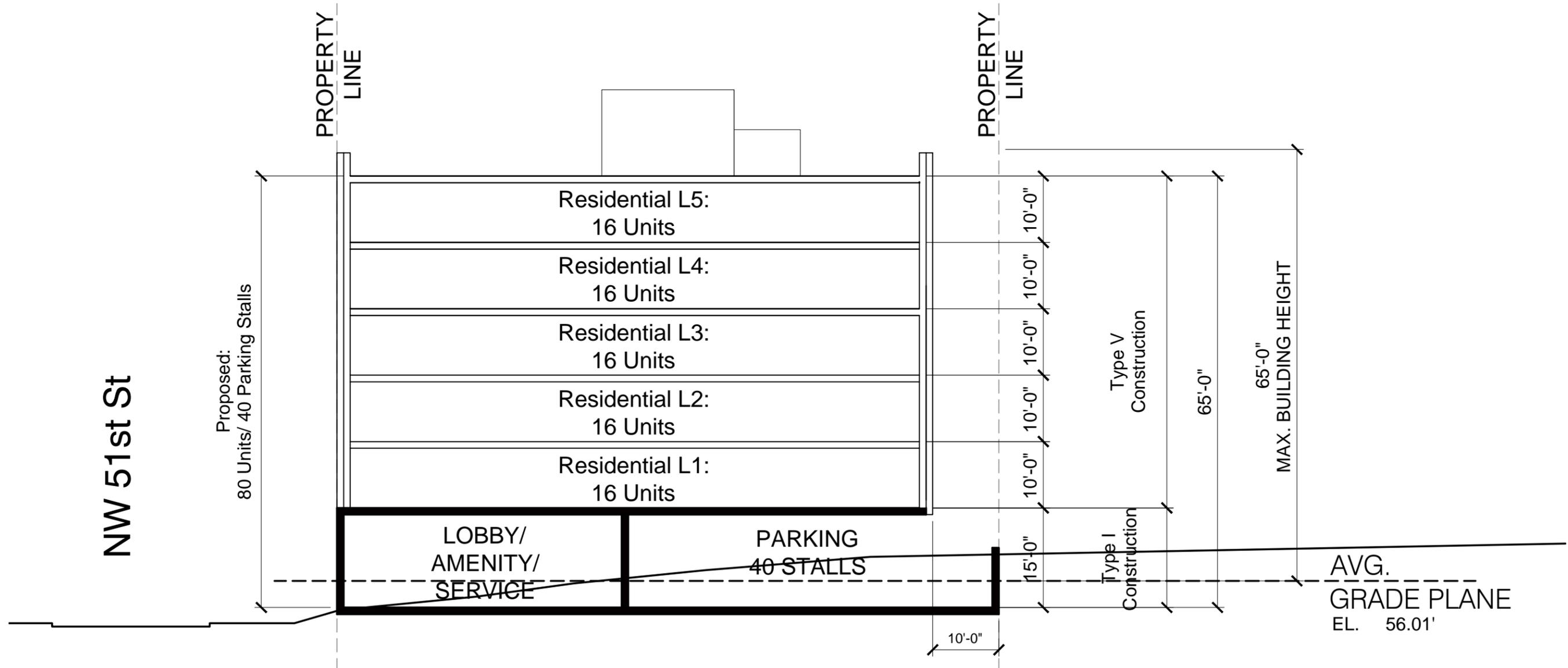
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DPD #3017093 1516 NW 51st ST: EARLY DESIGN GUIDANCE
DESIGN OPTIONS COMPARISON IMAGES

CONCEPTUAL SECTION

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A15

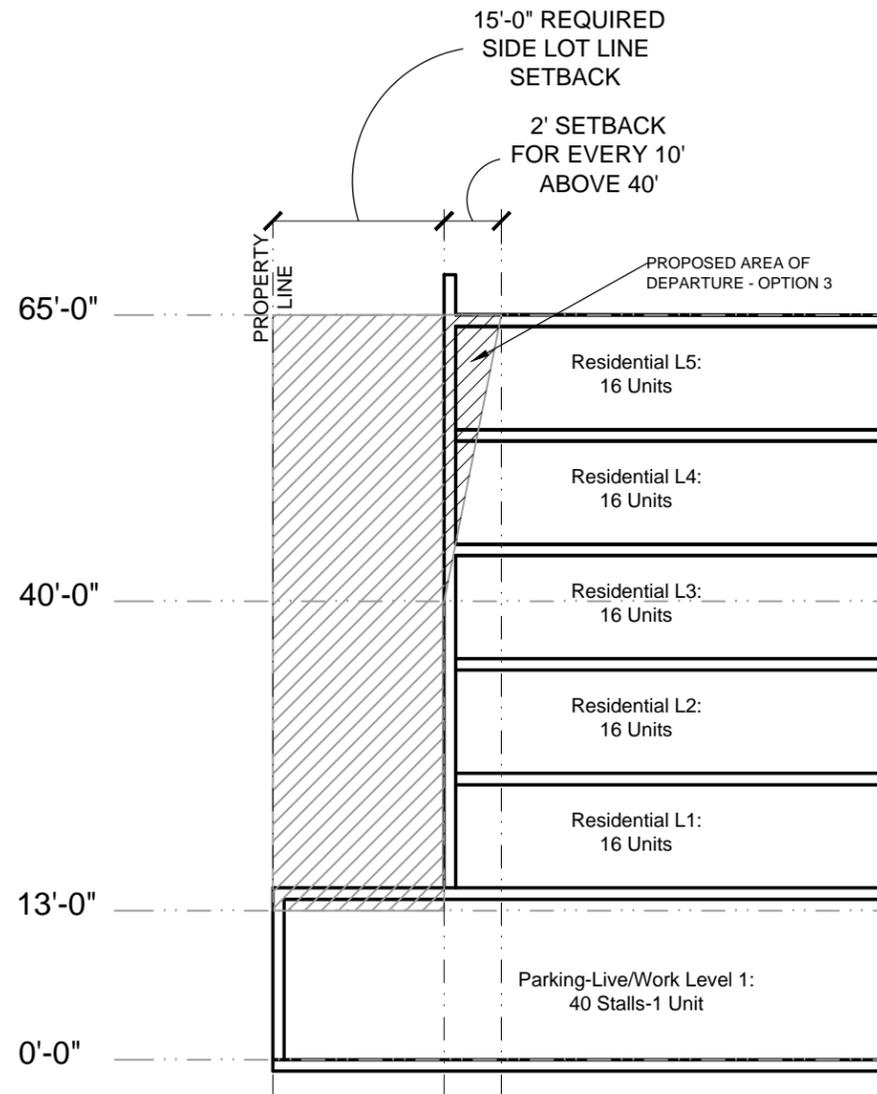
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CONCEPTUAL SECTION

CODE DEPARTURES

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#	Code Requirement	Departure Requested	Explanation for Departure
1	SMC 23.47A.014.B.3 Building setback for structure containing a residential use is proposed on a property adjacent to a residential zone	Reduce setback requirements above 40' height limit to 15' where adjacent to residential use	Guideline DC2-B: The requested departure allows for a facade layout which avoids blank walls along all facades. In the second option, 2 25' blank walls are created adjacent to the multi-family project to the north. This departure provides a full 20' between the buildings with landscaped buffer at the second level that provides privacy and security for occupants of both buildings. The small 65 sq ft requested for departure at the east property line will allow for an equivalent of 250 sq ft of are at the two zero lot line blank walls and better serve all adjacent properties.



Section - West Property Line

LANDSCAPE SITE PLAN

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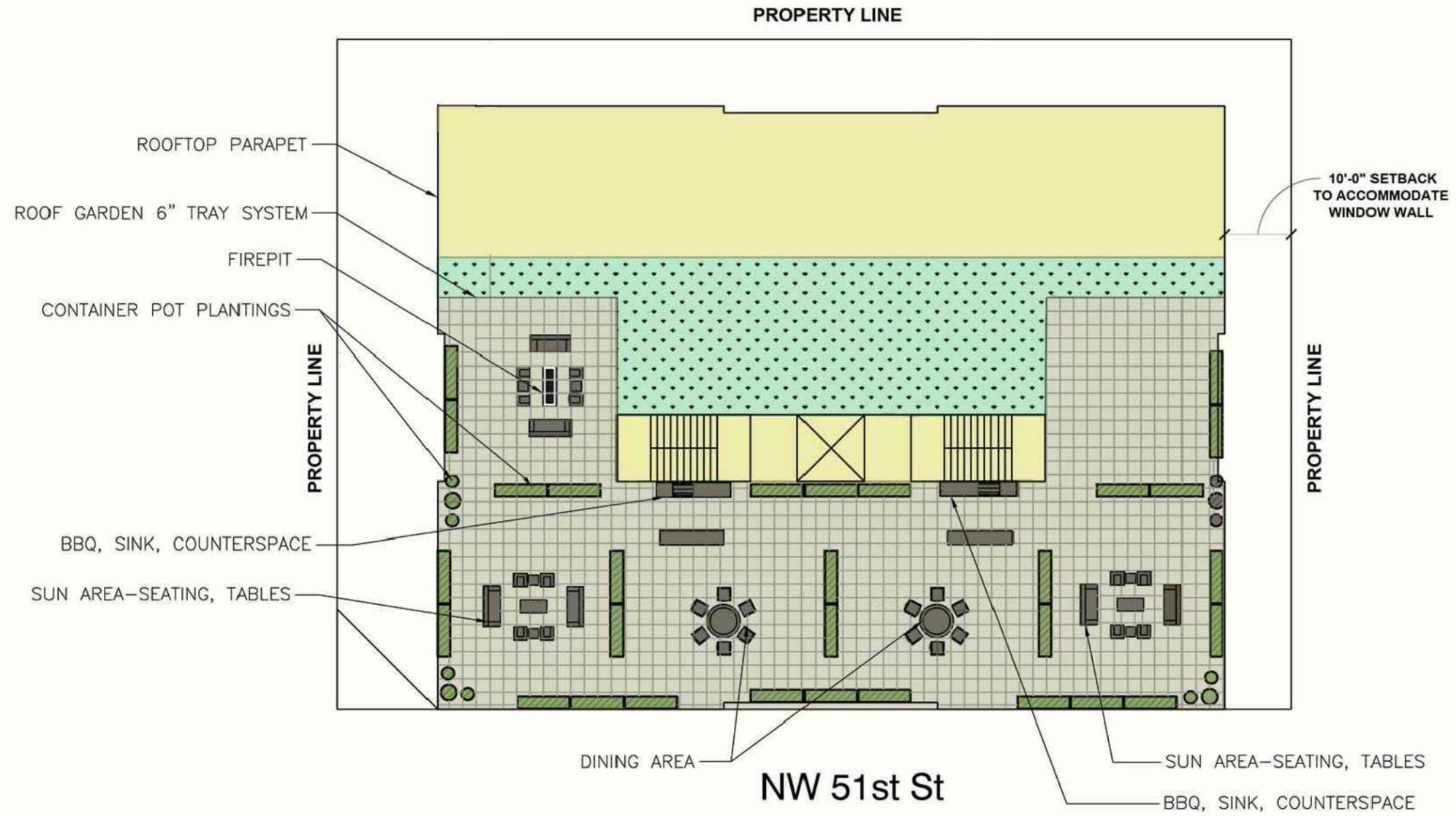
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DPD #3017093 1516 NW 51st ST: EARLY DESIGN GUIDANCE
LANDSCAPE SITE PLAN

LANDSCAPE ROOF PLAN

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LANDSCAPE CONCEPT IMAGES

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ROOF TOP



ROOF TOP



FIRE PIT



ROOF TOP - PAVERS



FIRE PIT



ROOF TOP

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A19

DPD #3017093 1516 NW 51st ST: EARLY DESIGN GUIDANCE
LANDSCAPE CONCEPT IMAGES

PLANT PALETTE

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ENGLISH LAVENDER



SEDUM



GRAPES



HOPS



BAMBOO



SEDUM - GREEN ROOF



JAPANESE HONEYSUCKLE



RUGOSA ROSE



MAGIC CARPET SPIRAEA



RAISED PLANTERS AT ROOF



VIBURNUM DAVIDII



MEADOW GRASS - GREEN ROOF

DPD #3017093 1516 NW 51st ST: EARLY DESIGN GUIDANCE
PLANT PALETTE

A20

PLANT PALETTE

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AUTUMN FERN



EVERGREEN HUCKLEBERRY



SARCOCOCCA



ORANGE SEDGE



SALAL



HINO CRIMSON AZALEA



HEAVENLY BAMBOO



MONDO GRASS



EVEREST AZALEA



VINE MAPLE



JAPANESE FOREST GRASS

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A21

DPD #3017093 1516 NW 51st ST: EARLY DESIGN GUIDANCE
PLANT PALETTE

PORTFOLIO EXAMPLES



1620 Broadway



Harvard & Highland



401 East Pike

MIXED-USE
PROJECTS



Dwell Roosevelt Condominiums

HISTORIC NEIGHBORHOOD
PROJECTS



The Harvard Estate

HISTORIC PRESERVATION
PROJECTS



1517 12th Ave

CURRENT PROJECTS



Vox Apartments



3rd & Republican



4th & Central

DPD #3017093 1516 NW 51st ST: EARLY DESIGN GUIDANCE
PORTFOLIO EXAMPLES

A22