

#3017075

1404 BOYLSTON AVE **RECOMMENDATION MEETING**

JOHNSON & CARR, LLC **S+HWorks**
ARCHITECTURE + DESIGN

DESIGN REVIEW 10.28.2015

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PROJECT DETAILS

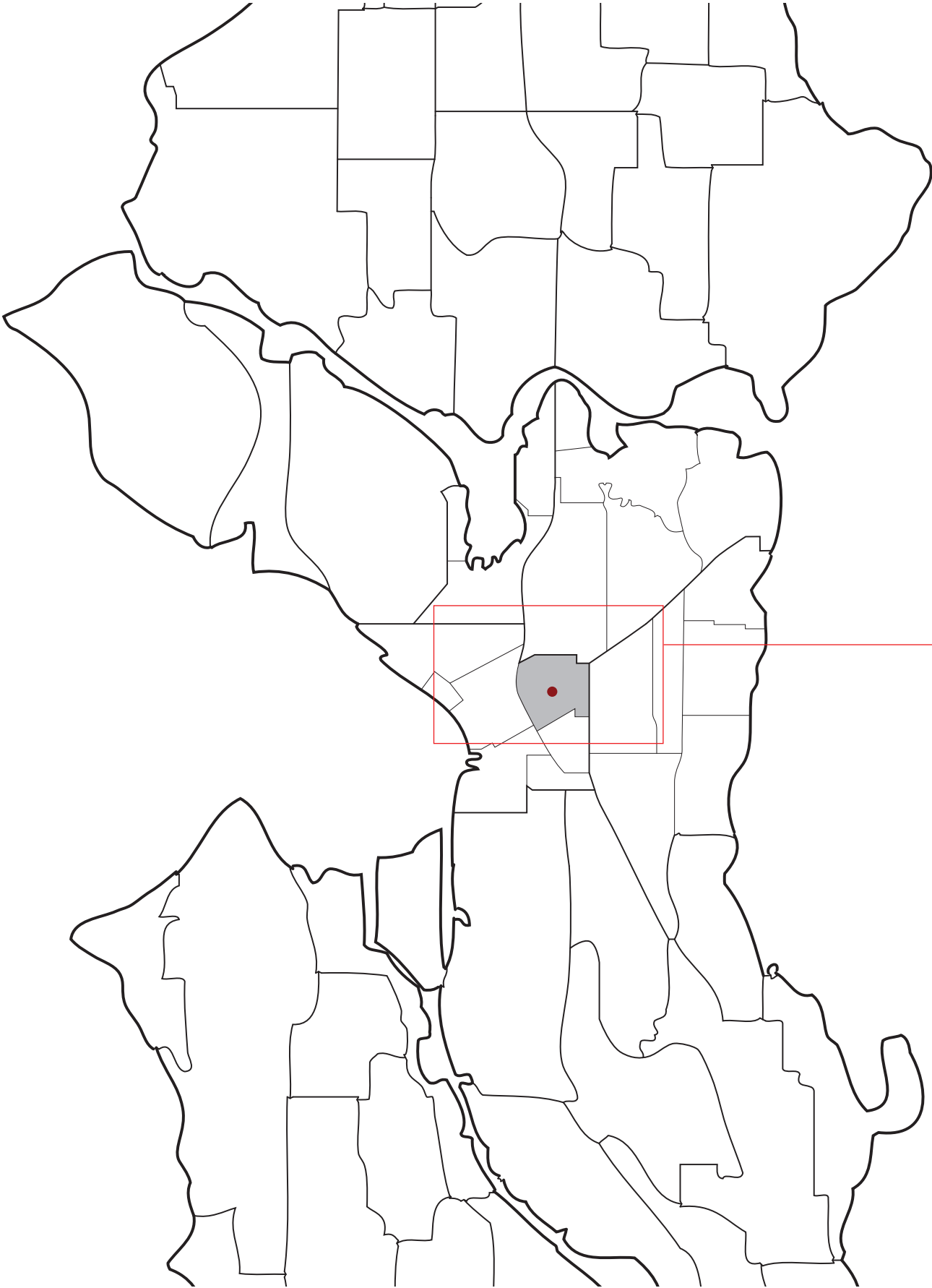
ADDRESS	1404 BOYLSTON AVE
APN	7502500035, 7502500042
DPD#	3017075
LOT SIZE	11,124 SF
APPLICANT	HUGH SCHAEFFER S+H WORKS LLC 1101 E PIKE ST STE 200 SEATTLE, WA 98122 P 206 329 1802 E HUGH@S-HW.COM
OWNER	JOHNSON & CARR, LLC
ARCHITECT	S+H WORKS, LLC
SURVEYOR	CHADWICK & WINTERS
LANDSCAPE	ROOT OF DESIGN
STRUCTURAL	SWENSON SAY FAGET
CIVIL	BLUELINE GROUP

PROJECT PROPOSAL

THE CONSTRUCTION OF A 7 STORY + BASEMENT STRUCTURE WITH 106 UNITS. THIS PROJECT WILL MEET AFFORDABLE HOUSING AND BUILT GREEN STANDARDS. ALL EXISTING STRUCTURES AND LANDSCAPING TO BE REMOVED.

ZONING

MID-RISE, PIKE/PINE UCV, FREQUENT TRANSIT



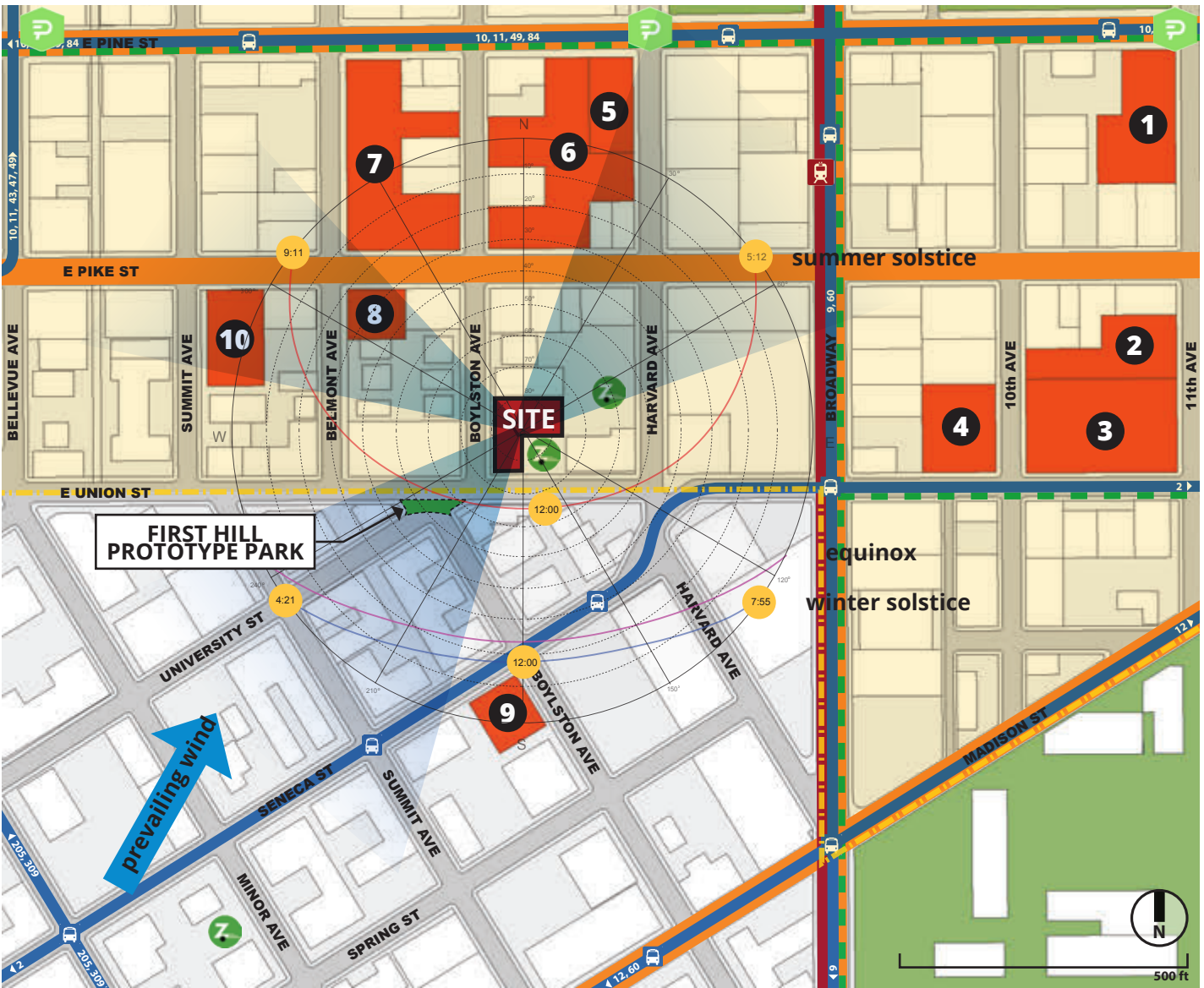
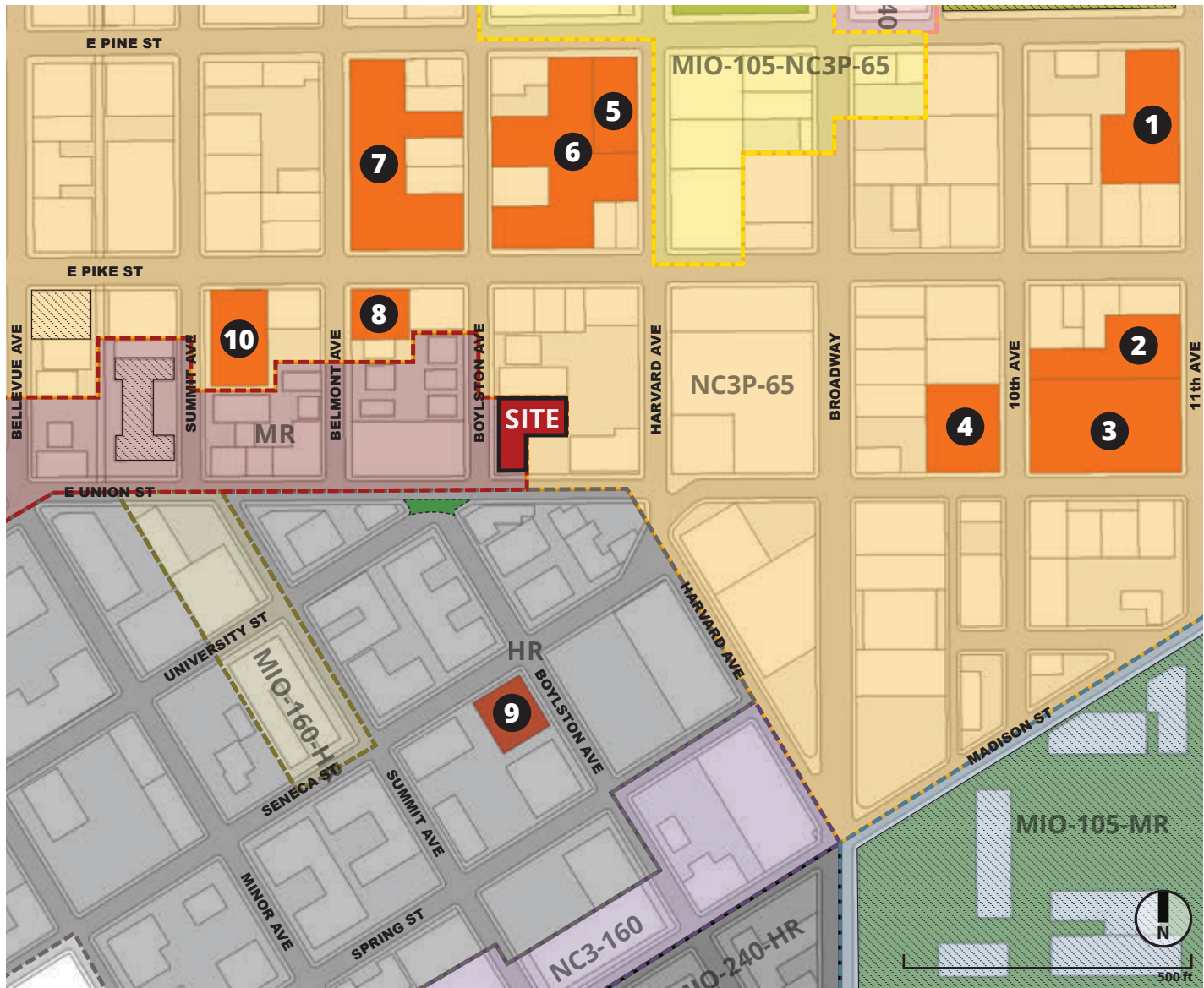


PIKE / PINE

The proposed development is located within the Pike/Pine Urban Center Village, and on the north edge of the First Hill neighborhood. There is an abundance of mixed-use development with a wide variety of restaurants, retail and nightlife located within blocks of the site. The greater Pike/Pine area has been going through a period of steady growth as well as major public transit infrastructure improvements.

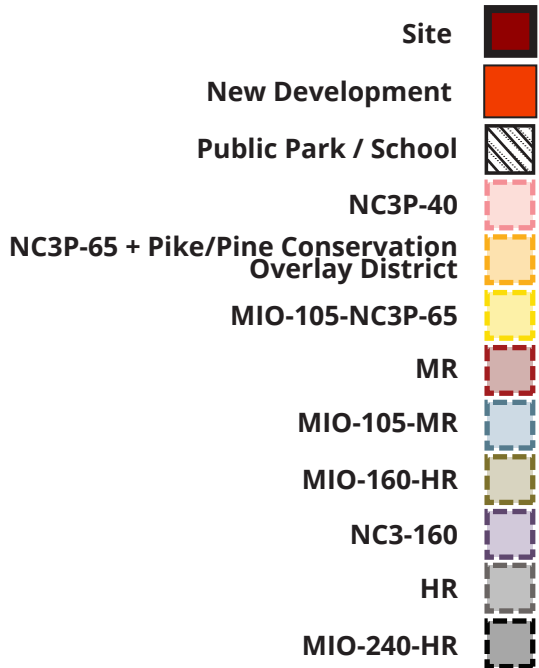
DEVELOPMENT GOALS

The goals of this project are to create infill housing that positively transitions between the Pike/Pine and First Hill neighborhoods, both very dense neighborhoods in Seattle. The transition will embrace the architectural character of both neighborhoods, while responding to site specific topography, and the greater transit and bicycle networks. The relationship of the project to the street will complement both resident and pedestrian experiences, while allowing for future changes in the public realm.



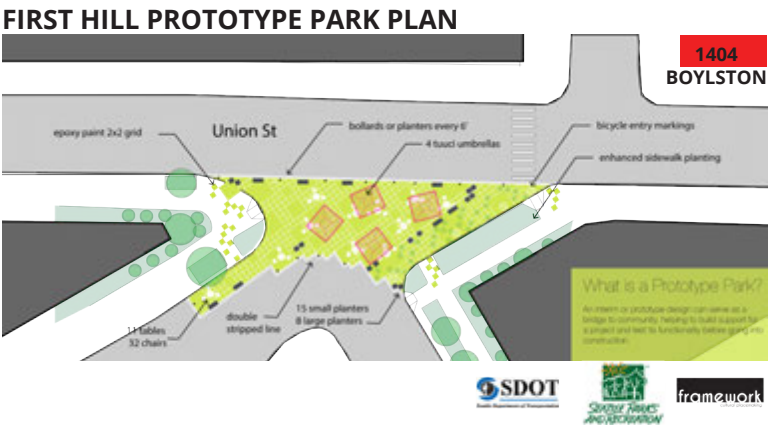
ZONING

The site is zoned Mid-Rise (MR), Urban Center Village (Pike/Pine) and has Frequent Transit. The site is not within the Pike/Pine Conservation Overlay district. To the north, east and partially to the south the abutting zoning is NC3P-65. To the west the zoning continues as Mid-rise. To the south where the site meets E. Union, the zoning is High Rise.



ENVIRONMENT & CIRCULATION

The site will have views west to downtown, as well as territorial views to the north, east and south. The area is well served by mass transit, including buses, light rail and streetcar. The site is immediately adjacent to the First Hill Public Realm Action Plan, including a potential Green Street & Prototype Park.



INTENTIONALLY BLANK

Two existing wood framed apartment buildings will be removed from the site, as well as any associated retaining walls and fences. The City of Seattle Department of Neighborhoods staff determined on October 28th, 2014 that it is unlikely that either of the subject buildings would meet the standards for landmark designation. The site is steeply sloped, dropping about 13' from East Union down to the northwest corner. The slope is relatively uniform across the site. The project will be designed to meet sidewalk grade at entry points, both at level 1 and level 2. A planting strip along Boylston features 5 existing street trees that will be maintained. The curb cut along East Union will be closed, and a planting strip provided. Overhead power lines run along East Union Street, the building setbacks are adjusted for the required clearances.

TAX PARCEL NO. 7502500035
LOT 4, BLOCK 4, SACKMAN HOME ADDITION TO THE CITY OF SEATTLE, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 8 OF PLATS, PAGE 80, RECORDS OF KING COUNTY, WA.

LOT 5, BLOCK 4, SACKMAN HOME ADDITION TO THE CITY OF SEATTLE, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 8 OF PLATS, PAGE 80, RECORDS OF KING COUNTY, WA.

EXCEPT THE EAST 80 FT. THEREOF.

Surveyor: Chadwick & Winters Date: 04/23/2014





SITE CONDITIONS

The immediate area is predominantly multi-family residential. To the north, the building is mixed-use with a small commercial space currently occupied by a salon. To the east are surface parking lots. Beyond the parking lot directly to the east is the Knights of Columbus Hall, which contains offices and hosts events in its meeting hall. Within the greater Pike/Pine area, as well as First Hill neighborhood there is an abundance of mid & high-rise multifamily structures. The site abuts the First Hill Public Realm Action Plan area, which has identified a Prototype Park adjacent to the site, and a Green Street along Union and University.

BOARD GUIDANCE

SEPTEMBER 9, 2015 MEETING
THE FOLLOWING FEEDBACK WAS PROVIDED:

- 1 PRIORITIES:**
 - PRIORITIZE DESIGN IDEAS
 - TOO MANY COMPETING GOOD IDEAS
- 2 COLORS:**
 - EXPLORE MATERIAL COLORS + CONTRAST
 - AVOID BOLD CONTRAST
- 3 WINDOWS:**
 - SIMPLIFY WINDOW TREATMENT TYPES
 - WINDOW PALETTE IS TOO COMPLEX
- 4 ORDER:**
 - REINFORCE CLADDING DATUMS & BUILDING ORDER
 - SIMPLIFY THE COMPLEXITY OF THE BUILDING COMPOSITION AND DATUMS
- 5 ENTRIES:**
 - CONSIDER 'FUNCTIONAL' (BOYLSTON/NORTH) ENTRY VS. 'SOCIAL' (UNION/SOUTH) ENTRY
 - DON'T TREAT EACH ENTRY AS AN EQUAL AMENITY



WEST ELEVATION: PREVIOUS SCHEME



WEST ELEVATION: SIMPLE SCHEME

GUIDANCE RESPONSE

- 1 PRIORITIES:**
- PRIORITIZE DESIGN IDEAS
 - TOO MANY COMPETING GOOD IDEAS

PRIORITIES RESPONSE:

- A - RECESSED STAIR BREAKS DOWN OVERALL BUILDING BULK
- B - ACCENT MASSING BALANCES A RIGOROUS FIELD COMPOSITION
- C - TRANSPARENCY AT GROUND-LEVEL CORNERS ENGAGES THE STREET AND MARKS ENTRY POINTS
- D - ERODING CORNER ELEMENT ELIMINATED THROUGHOUT

- 2 COLORS:**
- EXPLORE MATERIAL COLORS + CONTRAST
 - AVOID BOLD CONTRAST

COLORS RESPONSE:

- A - ELIMINATE BRIGHT WHITE ELEMENTS AT MASSING, TRIM AND SPANDRELS
- B - RECESSED STAIR ELEMENT CHANGED TO BLACK METAL TO RECEDE ELEMENT

- 3 WINDOWS:**
- SIMPLIFY WINDOW TREATMENT TYPES
 - WINDOW PALETTE IS TOO COMPLEX

WINDOWS RESPONSE:

- OVERALL PALETTE EDITED TO MORE CONSISTENT WINDOW COMPOSITION
- NO RELATIONSHIP BETWEEN WINDOW PALETTE AND FIELD MATERIAL

- 4 ORDER:**
- REINFORCE CLADDING DATUMS & BUILDING ORDER
 - SIMPLIFY THE COMPLEXITY OF THE BUILDING COMPOSITION AND DATUMS

ORDER RESPONSE:

- A - RIGOROUS ARRANGEMENT OF WINDOWS APPLIED AROUND BUILDING
- B - CONSISTENT CLADDING DATUMS PROVIDED
- C - JULIET BALCONIES REMOVED
- D - MODULATION OF INTERIOR CORNER SIMPLIFIED (SEE OTHER VIEWS)
- E - BUILDING STEPPING AT NORTH-EAST ALIGNED (SEE OTHER VIEWS)

- 5 ENTRIES:**
- CONSIDER 'FUNCTIONAL' (BOYLSTON/NORTH) ENTRY VS. 'SOCIAL' (UNION/SOUTH) ENTRY
 - DON'T TREAT EACH ENTRY AS AN EQUAL AMENITY

ENTRIES RESPONSE:

- A - BIKE PARKING CONSOLIDATED TO BOYLSTON ENTRY
- B - UNION ENTRY FURTHER ENHANCED AS SOCIAL SPACE, WHILE DISTINGUISHING ITS ACCESS POINT

BOARD GUIDANCE

SEPTEMBER 9, 2015 MEETING
THE FOLLOWING FEEDBACK WAS PROVIDED:

- 1

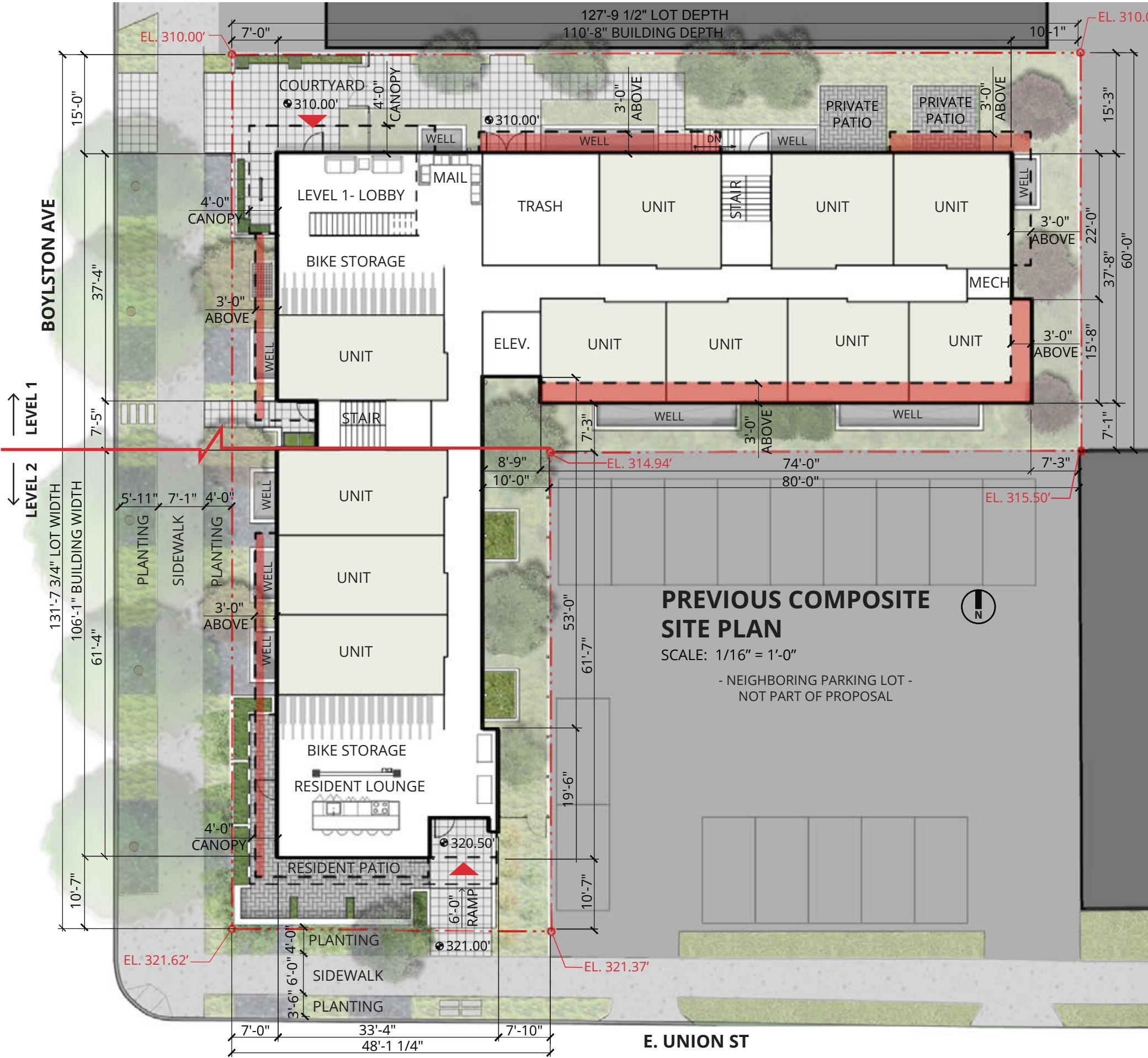
PRIORITIES:

 - PRIORITIZE DESIGN IDEAS
 - TOO MANY COMPETING GOOD IDEAS
- 5

ENTRIES:

 - CONSIDER 'FUNCTIONAL' (BOYLSTON/NORTH) ENTRY VS. 'SOCIAL' (UNION/SOUTH) ENTRY
 - DON'T TREAT EACH ENTRY AS AN EQUAL AMENITY

- BUILDING ENTRANCE
- DEPARTURE REQUEST AREA AT UPPER LEVELS



NORTHWEST PERSPECTIVE: SIMPLE SCHEME



PREVIOUS SCHEME

DESIGN RESPONSE

- 1 PRIORITIES:**
A - EMPHASIS ON ACCENT MASSING MAINTAINED
B - TRANSPARENT, DOUBLE-HEIGHT BOYLSTON LOBBY MAINTAINED
C - RECESSED STAIR MAINTAINED
- 2 COLORS:**
A - LIGHT GRAY SELECTED FOR ACCENT MASSING, TRIM AND SPANDRELS
B - RECESSED STAIR DARKENED TO DE-EMPHASIZE
- 3 WINDOWS:**
A - WINDOW PALETTE EDITED
B - 'ERODING' WINDOW CORNER TREATMENT ELIMINATED
C - NO DIFFERENTIATION BETWEEN WINDOWS BASED ON THE FIELD MATERIAL
- 4 ORDER:**
A - WINDOW ARRANGEMENT SIMPLIFIED
B - CLADDING DATUMS CONSISTENTLY APPLIED
- 5 ENTRIES:**
A - BIKE PARKING CONSOLIDATED TO BOYLSTON ENTRY



SIMPLE SCHEME

NORTHWEST PERSPECTIVE: PREFERRED SCHEME



PREFERRED SCHEME



PREVIOUS SCHEME

DESIGN RESPONSE

- PRIORITIES:**
 - A - EMPHASIS ON ACCENT MASSING MAINTAINED WITH STRONG CONTRAST
 - B - TRANSPARENT, DOUBLE-HEIGHT BOYLSTON LOBBY MAINTAINED
 - C - RECESSED STAIR MAINTAINED
- COLORS:**
 - A - BRIGHT WHITE SELECTED FOR ACCENT MASSING, TRIM AND SPANDRELS
 - BETTER LEGIBILITY OF MASSING
 - MINIMIZES WHITE VINYL WINDOWS
 - B - RECESSED STAIR DARKENED TO DE-EMPHASIZE
- WINDOWS:**
 - A - WINDOW PALETTE EDITED
 - B - 'ERODING' WINDOW CORNER TREATMENT ELIMINATED
 - C - NO DIFFERENTIATION BETWEEN WINDOWS BASED ON THE FIELD MATERIAL
- ORDER:**
 - A - IRREGULAR WINDOW PLACEMENT USED AT ACCENT MASSING
 - DYNAMIC ARRANGEMENT ADDS INTEREST
 - WINDOW CONFIGURATION STILL SIMPLIFIED
 - B - WINDOW ARRANGEMENT SIMPLIFIED ON FIELD
 - C - CLADDING DATUMS CONSISTENTLY APPLIED
- ENTRIES:**
 - A - BIKE PARKING MOVED TO BOYLSTON ENTRY

SOUTHWEST PERSPECTIVE: SIMPLE SCHEME



PREVIOUS SCHEME

DESIGN RESPONSE

- 1 PRIORITIES:**
A - EMPHASIS ON ACCENT MASSING MAINTAINED
B - TRANSPARENT AMENITY SPACE ON CORNER
- 2 COLORS:**
A - LIGHT GRAY SELECTED FOR ACCENT MASSING, TRIM AND SPANDRELS
B - LIGHT GRAY CANOPY INSTEAD OF CONTRASTING BLACK
- 3 WINDOWS:**
A - WINDOW PALETTE EDITED
B - NO DIFFERENTIATION BETWEEN WINDOWS BASED ON THE FIELD MATERIAL
- 4 ORDER:**
A - WINDOW ARRANGEMENT SIMPLIFIED
B - CLADDING DATUMS CONSISTENTLY APPLIED
- 5 ENTRIES:**
A - UNION ENTRY POINT EMPHASIZED WITH CANOPY & PLANTERS
B - LOUNGE ENHANCED AS SOCIAL SPACE
C - PATIO MADE SMALLER & MORE DEFENSIBLE



SIMPLE SCHEME

SOUTHWEST PERSPECTIVE: PREFERRED SCHEME



PREFERRED SCHEME



PREVIOUS SCHEME

DESIGN RESPONSE

- 1 PRIORITIES:**
 - A - EMPHASIS ON ACCENT MASSING MAINTAINED WITH STRONG CONTRAST
 - B - TRANSPARENT AMENITY SPACE ON UNION CORNER
- 2 COLORS:**
 - A - BRIGHT WHITE SELECTED FOR ACCENT MASSING, TRIM AND SPANDRELS
 - BETTER LEGIBILITY OF MASSING
 - MINIMIZES WHITE VINYL WINDOWS
 - B - LIGHT GRAY CANOPY INSTEAD OF CONTRASTING BLACK
- 3 WINDOWS:**
 - A - WINDOW PALETTE EDITED
 - B - NO DIFFERENTIATION BETWEEN WINDOWS BASED ON THE FIELD MATERIAL
- 4 ORDER:**
 - A - IRREGULAR WINDOW PLACEMENT USED AT ACCENT MASSING
 - DYNAMIC ARRANGEMENT ADDS INTEREST
 - WINDOW CONFIGURATION STILL SIMPLIFIED
 - B - WINDOW ARRANGEMENT SIMPLIFIED ON FIELD
 - C - CLADDING DATUMS CONSISTENTLY APPLIED
- 5 ENTRIES:**
 - A- UNION ENTRY EMPHASIZED WITH CANOPY & PLANTERS
 - B - LOUNGE ENHANCED AS SOCIAL SPACE
 - C- PATIO MADE SMALLER & MORE DEFENSIBLE

SOUTHEAST PERSPECTIVE: SIMPLE SCHEME



PREVIOUS SCHEME

DESIGN RESPONSE

- 1

PRIORITIES:

A - ACCENT MASSING MAINTAINED

B - TRANSPARENT AMENITY PROVIDED AT UNION CORNER
- 2

COLORS:

A - LIGHT GRAY SELECTED FOR ACCENT MASSING, TRIM AND SPANDRELS

B - BLACK TOWER AT INSIDE CORNER REMOVED

C - LIGHT GRAY CANOPY INSTEAD OF CONTRASTING BLACK
- 3

WINDOWS:

A - WINDOW PALETTE EDITED

B - HORIZONTAL WINDOWS USED AT INSIDE CORNER ELEMENTS
- 4

ORDER:

A - MODULATION AT INSIDE CORNER REMOVED

B - WINDOW ARRANGEMENT SIMPLIFIED

C - CLADDING DATUMS CONSISTENTLY APPLIED
- 5

ENTRIES:

A - UNION ENTRY POINT EMPHASIZED WITH CANOPY & PLANTERS

B - LOUNGE ENHANCED AS SOCIAL SPACE

C - PATIO MADE SMALLER & MORE DEFENSIBLE



SIMPLE SCHEME

SOUTHEAST PERSPECTIVE: PREFERRED SCHEME



PREVIOUS SCHEME

DESIGN RESPONSE

- 1 PRIORITIES:**
 - A - EMPHASIS ON ACCENT MASSING MAINTAINED WITH STRONG CONTRAST
 - B - TRANSPARENT AMENITY SPACE ON UNION CORNER
- 2 COLORS:**
 - A - BRIGHT WHITE SELECTED FOR ACCENT MASSING, TRIM AND SPANDRELS
 - BETTER LEGIBILITY OF MASSING
 - MINIMIZES WHITE VINYL WINDOWS
 - B - BLACK TOWER AT INSIDE CORNER REMOVED
 - C - LIGHT GRAY CANOPY INSTEAD OF CONTRASTING BLACK
 - D - LIGHT GRAY SELECTED AT INSIDE CORNER TO SOFTEN CONTRAST
- 3 WINDOWS:**
 - A - WINDOW PALETTE EDITED
 - B - VERTICAL WINDOW ORIENTATION AT INSIDE CORNER
- 4 ORDER:**
 - A - IRREGULAR WINDOW PLACEMENT USED AT INSIDE CORNER AND ACCENT MASSING
 - DYNAMIC ARRANGEMENT ADDS INTEREST
 - WINDOW CONFIGURATION STILL SIMPLIFIED
 - CARRIES LANGUAGE OF ACCENT MASSING AROUND BUILDING
 - B - WINDOW ARRANGEMENT SIMPLIFIED ON FIELD
 - C - CLADDING DATUMS CONSISTENTLY APPLIED
- 5 ENTRIES:**
 - A- UNION ENTRY EMPHASIZED WITH CANOPY & PLANTERS
 - B - LOUNGE ENHANCED AS SOCIAL SPACE
 - C- PATIO MADE SMALLER & MORE DEFENSIBLE

NORTHEAST PERSPECTIVE: SIMPLE SCHEME



PREVIOUS SCHEME

DESIGN RESPONSE

- 1 PRIORITIES:**
A - ACCENT MASSING MAINTAINED
- 2 COLORS:**
A - LIGHT GRAY SELECTED FOR ACCENT MASSING, TRIM AND SPANDRELS
- 3 WINDOWS:**
A - WINDOW PALETTE EDITED
B - 'ERODING' CORNER WINDOW ELEMENT REMOVED
- 4 ORDER:**
A - NORTHEAST CORNER MASSING EXTENDED TO ALIGN WITH INSIDE CORNER MASSING (ADDITIONAL DEPARTURE AREA REQUESTED)
B - WINDOW ARRANGEMENT SIMPLIFIED
C - CLADDING DATUMS CONSISTENTLY APPLIED
- 5 ENTRIES:**
- NOT APPLICABLE TO THIS VIEW



SIMPLE SCHEME

NORTHEAST PERSPECTIVE: PREFERRED SCHEME



PREFERRED SCHEME



PREVIOUS SCHEME

DESIGN RESPONSE

- 1 PRIORITIES:**
 - A - EMPHASIS ON ACCENT MASSING MAINTAINED WITH STRONG CONTRAST
- 2 COLORS:**
 - A - BRIGHT WHITE SELECTED FOR ACCENT MASSING, TRIM AND SPANDRELS
 - BETTER LEGIBILITY OF MASSING
 - MINIMIZES WHITE VINYL WINDOWS
- 3 WINDOWS:**
 - A - WINDOW PALETTE EDITED
 - B - 'ERODING' CORNER WINDOW ELEMENT REMOVED
- 4 ORDER:**
 - A - IRREGULAR WINDOW PLACEMENT USED AT ACCENT MASSING
 - DYNAMIC ARRANGEMENT ADDS INTEREST
 - WINDOW CONFIGURATION STILL SIMPLIFIED
 - B - WINDOW ARRANGEMENT SIMPLIFIED ON FIELD
 - C - CLADDING DATUMS CONSISTENTLY APPLIED, BOTH HORIZONTAL & VERTICAL
 - D - NORTHEAST CORNER MASSING LOWER THAN INSIDE CORNER ELEMENT
 - OFFSET EMPHASIZES CHANGE IN TOPOGRAPHY
- 5 ENTRIES:**
 - NOT APPLICABLE TO THIS VIEW

WEST ELEVATION: SIMPLE SCHEME



DESIGN RESPONSE

- 1 PRIORITIES:**

 - A - RECESSED STAIR BREAKS DOWN OVERALL BUILDING BULK
 - B - EMPHASIS ON ACCENT MASSING MAINTAINED
 - C - TRANSPARENCY AT GROUND-LEVEL CORNERS ENGAGES THE STREET AND MARKS THE ENTRY POINTS
- 2 COLORS:**

 - A - LIGHT GRAY SELECTED FOR ACCENT MASSING, TRIM AND SPANDRELS
 - B - RECESSED STAIR DARKENED TO DE-EMPHASIZE
- 3 WINDOWS:**

 - A - WINDOW PALETTE EDITED
 - B - 'ERODING' CORNER WINDOW ELEMENT ELIMINATED
 - C - NO DIFFERENTIATION BETWEEN WINDOWS BASED ON THE FIELD MATERIAL
- 4 ORDER:**

 - A - WINDOW ARRANGEMENT SIMPLIFIED
 - B - CLADDING DATUMS CONSISTENTLY APPLIED
 - C - JULIET BALCONIES REMOVED
- 5 ENTRIES:**

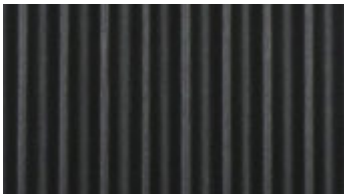
 - A - TRANSPARENT, DOUBLE HEIGHT ENTRY MAINTAINED AT BOYLSTON
 - B - BIKE PARKING CONSOLIDATED TO BOYLSTON ENTRY
 - C - UNION LOUNGE ENHANCED TO BE MORE SOCIAL ENTRY AND GATHERING SPACE



PAINTED FIBER CEMENT PANELS, KENDALL CHARCOAL



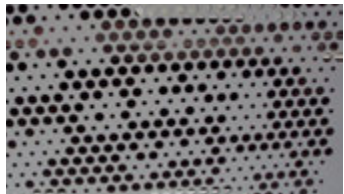
PAINTED FIBER CEMENT PANELS, COVENTRY GRAY



CORRUGATED METAL BLACK



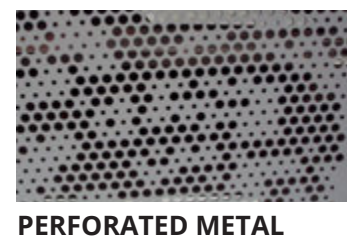
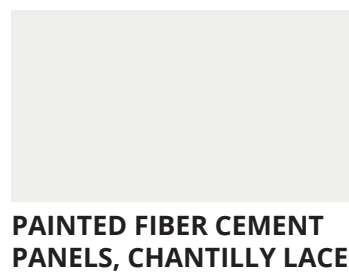
CHARCOAL BRICK



PERFORATED METAL



ELEVATION ALONG BOYLSTON AVE: PREFERRED SCHEME



WEST ELEVATION: PREFERRED SCHEME



DESIGN RESPONSE

- 1 PRIORITIES:**
 - A - RECESSED STAIR BREAKS DOWN OVERALL BUILDING BULK
 - B - ACCENT MASSING MAINTAINED WITH STRONG CONTRAST
 - C - TRANSPARENCY AT GROUND-LEVEL CORNERS ENGAGES THE STREET AND MARKS THE ENTRY POINTS
- 2 COLORS:**
 - A - BRIGHT WHITE SELECTED FOR ACCENT MASSING, TRIM & SPANDRELS
 - BETTER LEGIBILITY OF MASSING
 - MINIMIZES WHITE VINYL WINDOWS
 - B - RECESSED STAIR DARKENED TO DE-EMPHASIZE
- 3 WINDOWS:**
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- 4 ORDER:**
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 - B - IRREGULAR WINDOW PLACEMENT USED AT ACCENT MASSING
 - DYNAMIC ARRANGEMENT ADDS INTEREST
 - WINDOW CONFIGURATION STILL SIMPLIFIED
 - C - JULIET BALCONIES REMOVED
 - D - CLADDING DATUMS CONSISTENTLY APPLIED
- 5 ENTRIES:**
 - A - TRANSPARENT, DOUBLE HEIGHT ENTRY MAINTAINED AT BOYLSTON
 - B - BIKE PARKING CONSOLIDATED TO BOYLSTON ENTRY
 - C - UNION LOUNGE ENHANCED TO BE MORE SOCIAL ENTRY AND GATHERING SPACE

SOUTH ELEVATION: SIMPLE SCHEME



PREVIOUS SCHEME

DESIGN RESPONSE

- 1 PRIORITIES:**

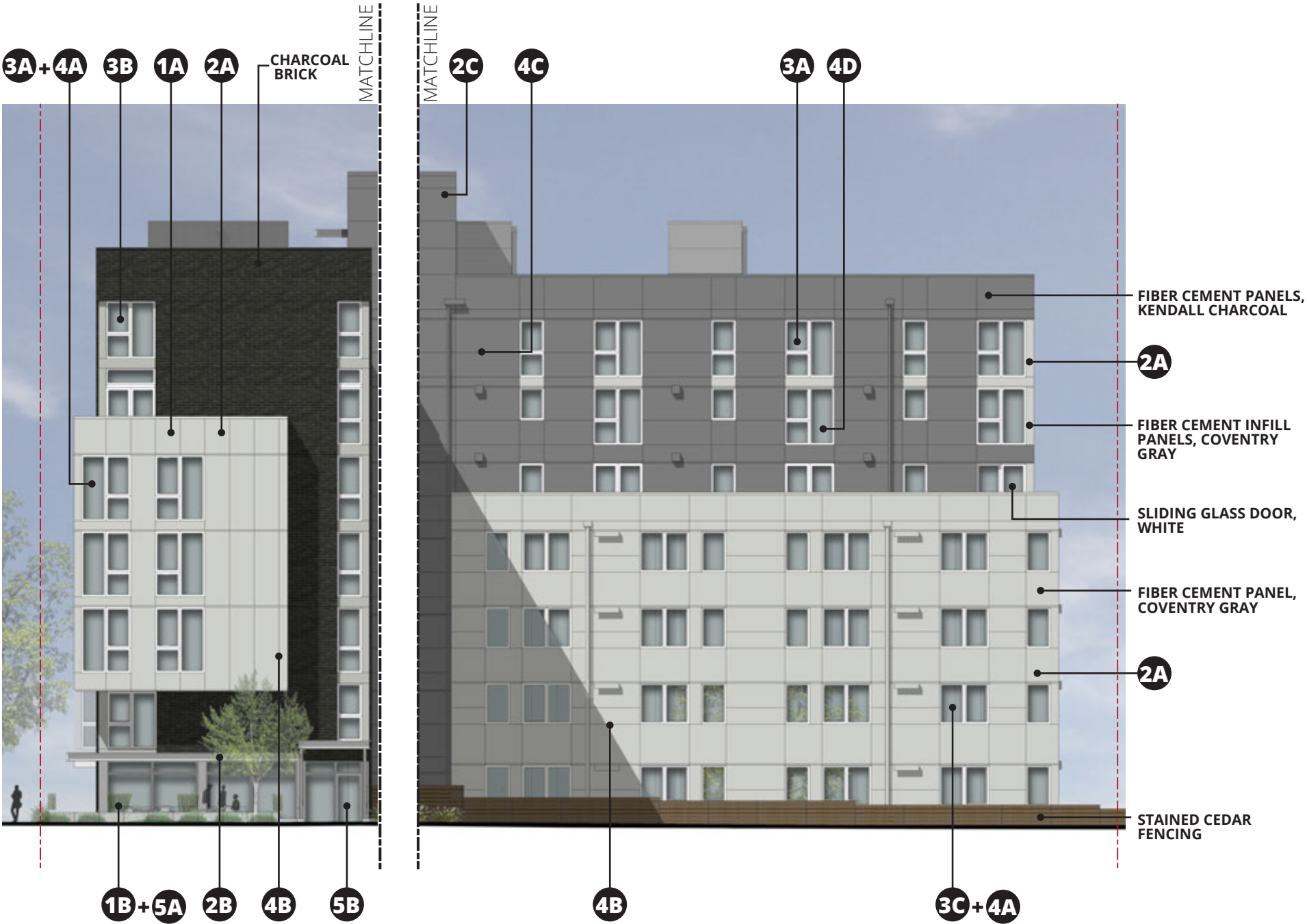
 - A - EMPHASIS ON ACCENT MASSING MAINTAINED
 - B - TRANSPARENCY AT GROUND-LEVEL CORNERS ENGAGES THE STREET AND MARKS THE ENTRY POINT
- 2 COLORS:**

 - A - LIGHT GRAY SELECTED FOR ACCENT MASSING, TRIM AND SPANDRELS
 - B - LIGHT GRAY CANOPY INSTEAD OF CONTRASTING BLACK
 - C - BLACK TOWER AT INSIDE CORNER REMOVED
- 3 WINDOWS:**

 - A - WINDOW PALETTE EDITED
 - B - NO DIFFERENTIATION BETWEEN WINDOWS BASED ON THE FIELD MATERIAL
 - C - HORIZONTAL WINDOWS USED AT INSIDE CORNER
- 4 ORDER:**

 - A - WINDOW ARRANGEMENT SIMPLIFIED
 - B - CLADDING DATUMS CONSISTENTLY APPLIED
 - C - MODULATION AT INSIDE CORNER REMOVED
 - D - JULIET BALCONIES REMOVED
- 5 ENTRIES:**

 - A - UNION LOUNGE ENHANCED TO BE MORE SOCIAL ENTRY AND GATHERING SPACE
 - B - UNION ENTRY POINT EMPHASIZED WITH CANOPY & PLANTERS



ELEVATION ALONG E UNION ST: PREFERRED SCHEME

INSIDE ELEVATION



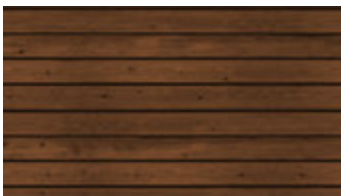
CHARCOAL BRICK



PAINTED FIBER CEMENT PANELS, KENDALL CHARCOAL



PAINTED FIBER CEMENT PANELS, COVENTRY GRAY



STAINED CEDAR FENCING



SOUTH ELEVATION: PREFERRED SCHEME

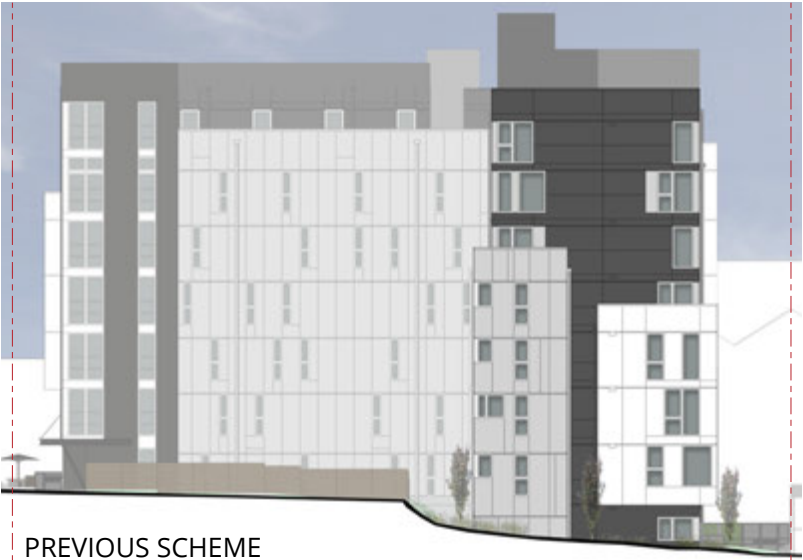


PREVIOUS SCHEME

DESIGN RESPONSE

- 1 PRIORITIES:**
 - A - EMPHASIS ON ACCENT MASSING MAINTAINED WITH STRONG CONTRAST
 - B - TRANSPARENCY AT GROUND-LEVEL CORNERS ENGAGES THE STREET AND MARKS THE ENTRY POINT
- 2 COLORS:**
 - A - BRIGHT WHITE SELECTED FOR ACCENT MASSING, TRIM AND SPANDRELS
 - BETTER LEGIBILITY OF MASSING
 - MINIMIZES WHITE VINYL WINDOWS
 - B - LIGHT GRAY CANOPY INSTEAD OF CONTRASTING BLACK
 - C - BLACK TOWER AT INSIDE CORNER REMOVED
 - D - LIGHT GRAY SELECTED AT INSIDE CORNER TO SOFTEN CONTRAST
- 3 WINDOWS:**
 - A - WINDOW PALETTE EDITED
 - B - NO DIFFERENTIATION BETWEEN WINDOWS BASED ON THE FIELD MATERIAL
 - C - VERTICAL WINDOW ORIENTATION AT INSIDE CORNER
- 4 ORDER:**
 - A - WINDOW ARRANGEMENT SIMPLIFIED
 - B - IRREGULAR WINDOW PLACEMENT USED AT INSIDE CORNER AND ACCENT MASSING
 - DYNAMIC ARRANGEMENT ADDS INTEREST
 - WINDOW CONFIGURATION STILL SIMPLIFIED
 - CARRIES LANGUAGE OF ACCENT MASSING AROUND BUILDING
 - C - CLADDING DATUMS CONSISTENTLY APPLIED
 - D - MODULATION AT INSIDE CORNER REMOVED
 - E - JULIET BALCONIES REMOVED
- 5 ENTRIES:**
 - A - UNION LOUNGE ENHANCED TO BE MORE SOCIAL ENTRY AND GATHERING SPACE
 - B - UNION ENTRY POINT EMPHASIZED WITH CANOPY & PLANTERS

EAST ELEVATION: SIMPLE SCHEME



DESIGN RESPONSE

- 1

PRIORITIES:

A - EMPHASIS ON ACCENT MASSING MAINTAINED

B - TRANSPARENT AMENITY PROVIDED AT UNION CORNER
- 2

COLORS:

A - LIGHT GRAY SELECTED FOR ACCENT MASSING, TRIM AND SPANDRELS
- 3

WINDOWS:

A - WINDOW PALETTE EDITED

B - 'ERODING' CORNER WINDOW ELEMENT ELIMINATED

C - NO DIFFERENTIATION BETWEEN WINDOWS BASED ON THE FIELD MATERIAL

D - HORIZONTAL WINDOWS USED AT INSIDE CORNER
- 4

ORDER:

A - WINDOW ARRANGEMENT SIMPLIFIED

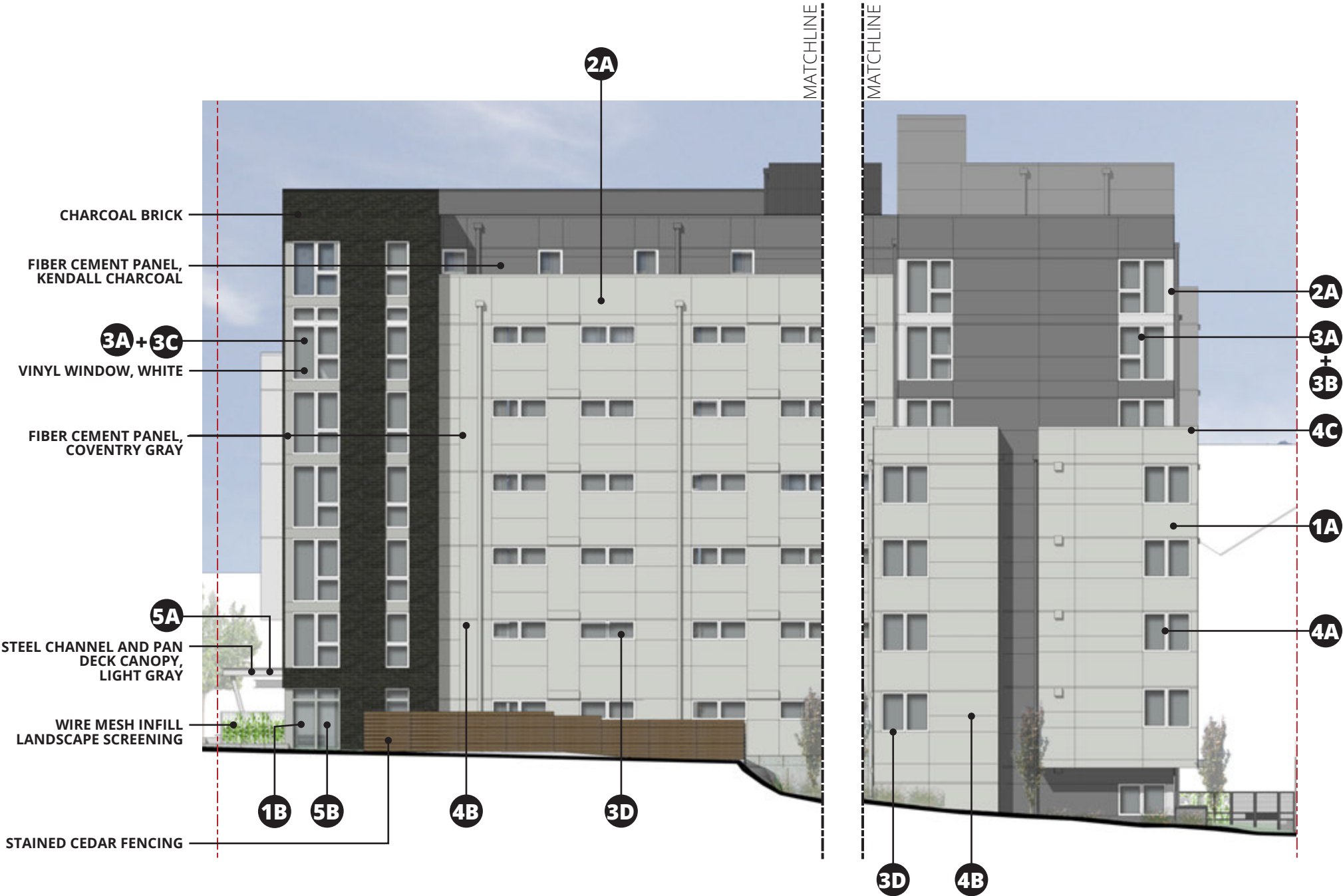
B - CLADDING DATUMS CONSISTENTLY APPLIED

C - NORTHEAST CORNER MASSING EXTENDED TO ALIGN WITH INSIDE CORNER MASSING (ADDITIONAL DEPARTURE AREA REQUESTED)
- 5

ENTRIES:

A - UNION ENTRY POINT EMPHASIZED WITH CANOPY AND PLANTERS

B - UNION LOUNGE ENHANCED TO BE MORE SOCIAL ENTRY AND GATHERING SPACE



INSIDE ELEVATION

ELEVATION ALONG EAST PROPERTY LINE: SIMPLE SCHEME



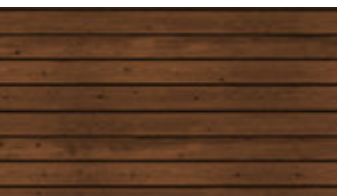
CHARCOAL BRICK



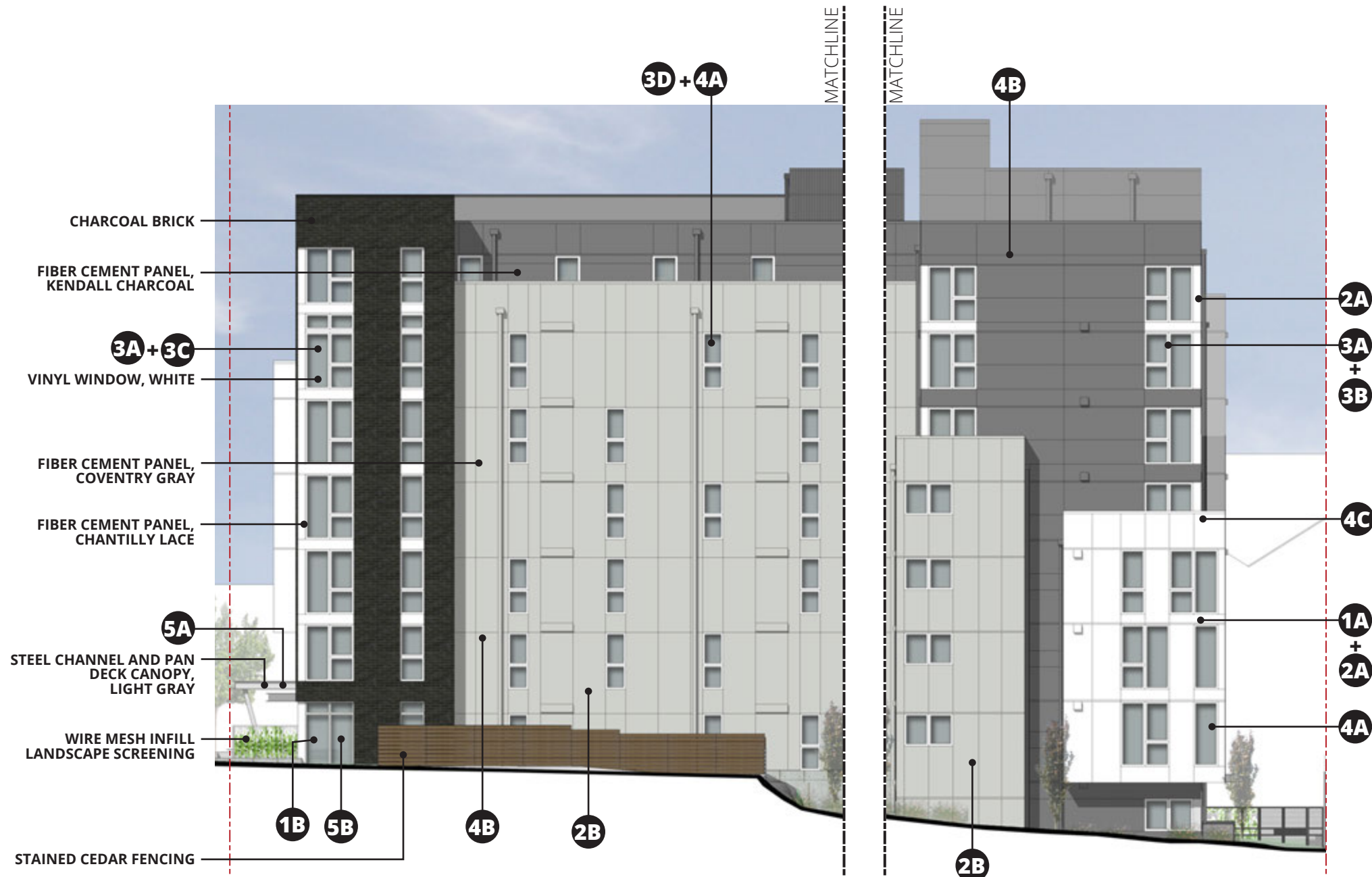
PAINTED FIBER CEMENT PANELS, COVENTRY GRAY



PAINTED FIBER CEMENT PANELS, KENDALL CHARCOAL

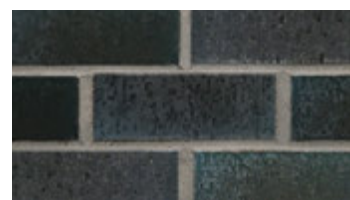


STAINED CEDAR FENCING

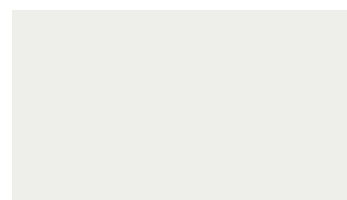


INSIDE ELEVATION

ELEVATION ALONG EAST PROPERTY LINE: PREFERRED SCHEME



CHARCOAL BRICK



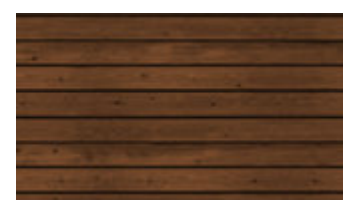
PAINTED FIBER CEMENT
PANELS, CHANTILLY LACE



PAINTED FIBER CEMENT
PANELS, COVENTRY
GRAY



PAINTED FIBER CEMENT
PANELS, KENDALL
CHARCOAL



STAINED CEDAR
FENCING

EAST ELEVATION: PREFERRED SCHEME



PREVIOUS SCHEME

DESIGN RESPONSE

- 1 PRIORITIES:**
 - A - EMPHASIS ON ACCENT MASSING MAINTAINED WITH STRONG CONTRAST
 - B - TRANSPARENT AMENITY PROVIDED AT UNION CORNER
- 2 COLORS:**
 - A - BRIGHT WHITE SELECTED FOR ACCENT MASSING, TRIM AND SPANDRELS
 - BETTER LEGIBILITY OF MASSING
 - MINIMIZES WHITE VINYL WINDOWS
 - B - LIGHT GRAY SELECTED AT INSIDE CORNER TO SOFTEN CONTRAST
- 3 WINDOWS:**
 - A - WINDOW PALETTE EDITED
 - B - 'ERODING' CORNER WINDOW ELEMENT ELIMINATED
 - C - NO DIFFERENTIATION BETWEEN WINDOWS BASED ON THE FIELD MATERIAL
 - D - VERTICAL WINDOW ORIENTATION AT INSIDE CORNER
- 4 ORDER:**
 - A - IRREGULAR WINDOW PLACEMENT USED AT INSIDE CORNER AND ACCENT MASSING
 - DYNAMIC ARRANGEMENT ADDS INTEREST
 - WINDOW CONFIGURATION STILL SIMPLIFIED
 - CARRIES LANGUAGE OF ACCENT MASSING AROUND BUILDING
 - B - CLADDING DATUMS CONSISTENTLY APPLIED
 - C - NORTHEAST CORNER MASSING LOWER THAN INSIDE CORNER ELEMENT
 - DYNAMIC COMPOSITION EMPHASIZES CHANGE IN TOPOGRAPHY
- 5 ENTRIES:**
 - A - UNION ENTRY POINT EMPHASIZED WITH CANOPY AND PLANTERS
 - B - UNION LOUNGE ENHANCED TO BE MORE SOCIAL ENTRY AND GATHERING SPACE

NORTH ELEVATION: SIMPLE SCHEME



PREVIOUS SCHEME

DESIGN RESPONSE

- 1

PRIORITIES:
A - EMPHASIS ON ACCENT MASSING MAINTAINED
B - TRANSPARENT, DOUBLE HEIGHT BOYLSTON ENTRY MAINTAINED
- 2

COLORS:
A - LIGHT GRAY SELECTED FOR ACCENT MASSING, TRIM AND SPANDRELS
- 3

WINDOWS:
A - WINDOW PALETTE EDITED
B - 'ERODING' CORNER WINDOW ELEMENT ELIMINATED
C - NO DIFFERENTIATION BETWEEN WINDOWS BASED ON THE FIELD MATERIAL
- 4

ORDER:
A - WINDOW ARRANGEMENT SIMPLIFIED
B - CLADDING DATUMS CONSISTENTLY APPLIED
C - NORTHEAST CORNER MASSING EXTENDED TO ALIGN WITH INSIDE CORNER MASSING (ADDITIONAL DEPARTURE AREA REQUESTED)
D - JULIET BALCONIES REMOVED
- 5

ENTRIES:
A - BIKE PARKING CONSOLIDATED TO BOYLSTON ENTRY
B - VISIBLE ENTRY MARKED WITH GLAZING, CANOPY AND PLANTINGS



ELEVATION ALONG NORTH PROPERTY LINE: SIMPLE SCHEME



PAINTED FIBER CEMENT
PANELS, COVENTRY
GRAY



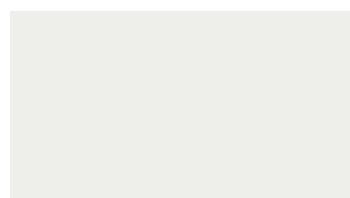
PAINTED FIBER CEMENT
PANELS, KENDALL
CHARCOAL



PERFORATED METAL



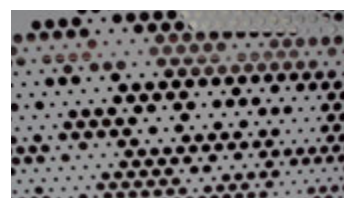
ELEVATION ALONG NORTH PROPERTY LINE: PREFERRED SCHEME



PAINTED FIBER CEMENT PANELS, CHANTILLY LACE



PAINTED FIBER CEMENT PANELS, KENDALL CHARCOAL



PERFORATED METAL

NORTH ELEVATION: PREFERRED SCHEME



PREVIOUS SCHEME

DESIGN RESPONSE

- 1 PRIORITIES:**
 - A - EMPHASIS ON ACCENT MASSING MAINTAINED WITH STRONG CONTRAST
 - B - TRANSPARENT, DOUBLE HEIGHT BOYLSTON ENTRY MAINTAINED
- 2 COLORS:**
 - A - BRIGHT WHITE SELECTED FOR ACCENT MASSING, TRIM AND SPANDRELS
 - BETTER LEGIBILITY OF MASSING
 - MINIMIZES WHITE VINYL WINDOWS
- 3 WINDOWS:**
 - A - WINDOW PALETTE EDITED
 - B - 'ERODING' CORNER WINDOW ELEMENT ELIMINATED
 - C - NO DIFFERENTIATION BETWEEN WINDOWS BASED ON THE FIELD MATERIAL
- 4 ORDER:**
 - A - WINDOW ARRANGEMENT SIMPLIFIED
 - B - IRREGULAR WINDOW PLACEMENT USED AT ACCENT MASSING
 - DYNAMIC ARRANGEMENT ADDS INTEREST
 - WINDOW CONFIGURATION STILL SIMPLIFIED
 - CARRIES LANGUAGE OF ACCENT MASSING AROUND BUILDING
 - C - NORTHEAST CORNER MASSING LOWER THAN INSIDE CORNER ELEMENT
 - DYNAMIC COMPOSITION EMPHASIZES CHANGE IN TOPOGRAPHY
 - D - JULIET BALCONIES REMOVED
- 5 ENTRIES:**
 - A - BIKE PARKING CONSOLIDATED TO BOYLSTON ENTRY
 - B - VISIBLE ENTRY MARKED WITH GLAZING, CANOPY AND PLANTINGS

DEPARTURE MATRIX

HIGHLIGHTED AREAS INDICATE INCREASE IN DEPARTURE FROM PREVIOUS/PREFERRED SCHEME

SIMPLE SCHEME

1 SMC 23.45.518.B

WEST: SIDE SETBACK FROM STREET LOT LINE

REQUIRED: 7' AVERAGE, 5' MINIMUM

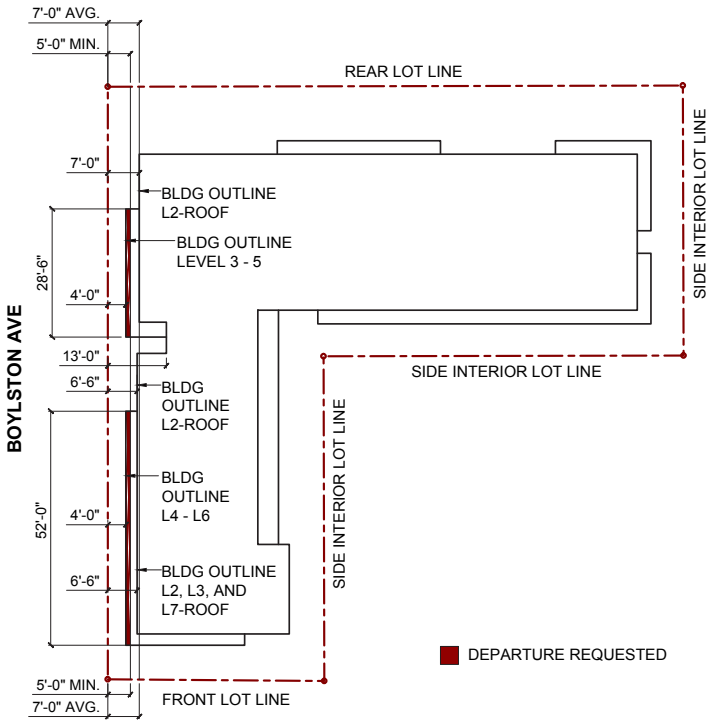
PROPOSED: 6.17' AVERAGE, 4' MINIMUM

33% OF FACADE REQUIRES SETBACK REDUCTION

GUIDELINES & JUSTIFICATION:

- CS2-D/ZONE TRANSITIONS: MATCHES SETBACK OF ADJACENT PROPERTY.
- PIKE/PINE CS3-IV/SCALE & MODULATION & DC2-A/ REDUCING PERCEIVED MASS: MODULATION BREAKS DOWN SCALE OF BUILDING.
- DC2-B/FACADE COMPOSITION: CREATES A BALANCED FACADE COMPOSITION.

DEPARTURE DIAGRAMS: SITE PLAN



WEST ELEVATION



2 SMC 23.45.518.B

NORTH: REAR SETBACK

REQUIRED: 15' MINIMUM

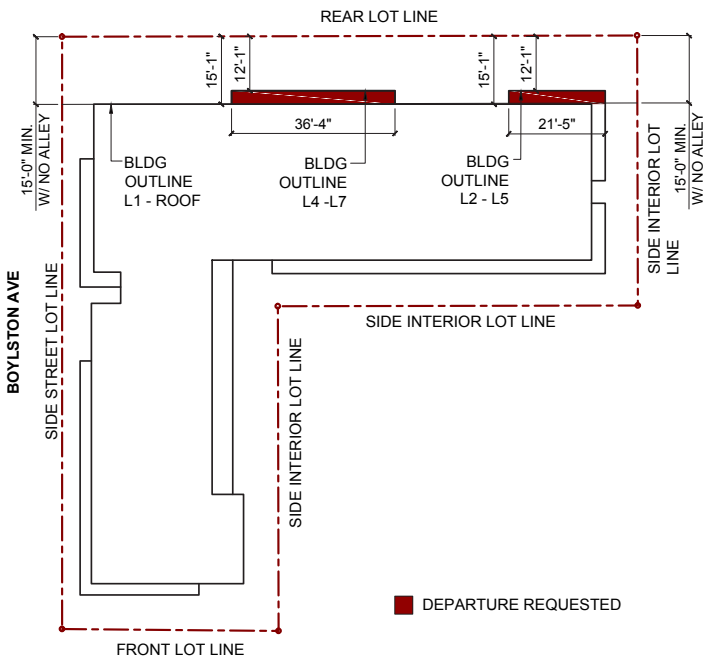
PROPOSED: 12' MINIMUM, 14.17' AVERAGE

27.6% OF FACADE REQUIRES SETBACK REDUCTION

GUIDELINES & JUSTIFICATION:

- CS2-D/ZONE TRANSITIONS & RESPECT FOR ADJACENT SITES: DEPARTURE ALLOWS FOR MODULATION IN OVERLY WIDE NORTH YARD, TRANSITIONING TO ADJACENT RESIDENTIAL BUILDING.
- DC2-A/REDUCING PERCEIVED MASS: BREAKS DOWN LONG FACADE THAT IS VERY VISIBLE.
- DC2-B/FACADE COMPOSITION: ENABLES AN INTENTIONAL FACADE COMPOSITION TO BE CREATED.

DEPARTURE DIAGRAMS: SITE PLAN



NORTH ELEVATION



3 SMC 23.45.518.B

SOUTH + EAST: SIDE SETBACK FROM INTERIOR LOT LINE

REQUIRED: 7' AVERAGE, 5' MINIMUM, <42' ABOVE GRADE

10' AVERAGE, 7' MINIMUM, >42' ABOVE GRADE

PROPOSED SOUTH: 7' AVERAGE, 5' MINIMUM, <42' ABOVE GRADE

9.45' AVERAGE, 7' MINIMUM, >42' ABOVE GRADE

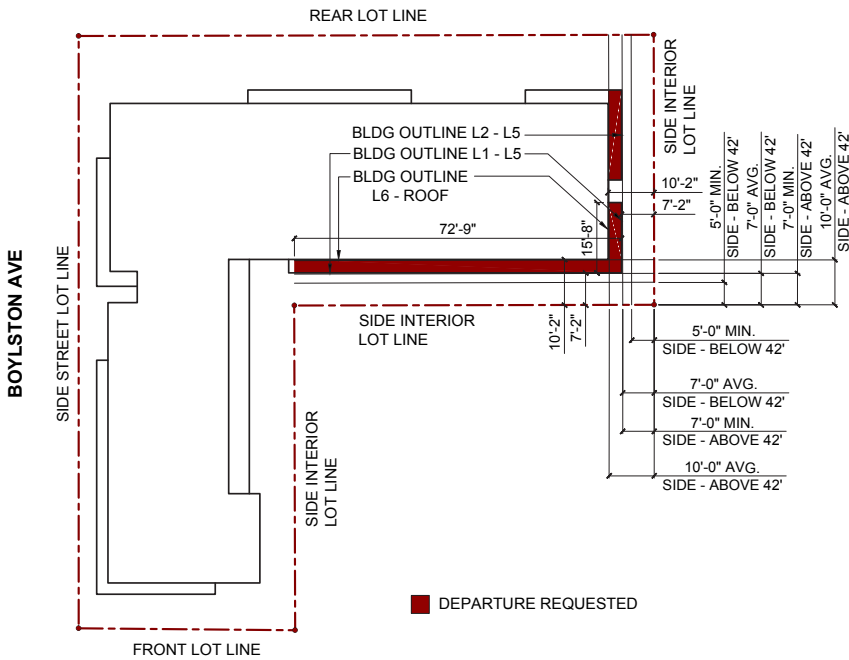
PROPOSED EAST: 7' AVERAGE, 5' MINIMUM, <42' ABOVE GRADE

9.33' AVERAGE, 7' MINIMUM, >42' ABOVE GRADE

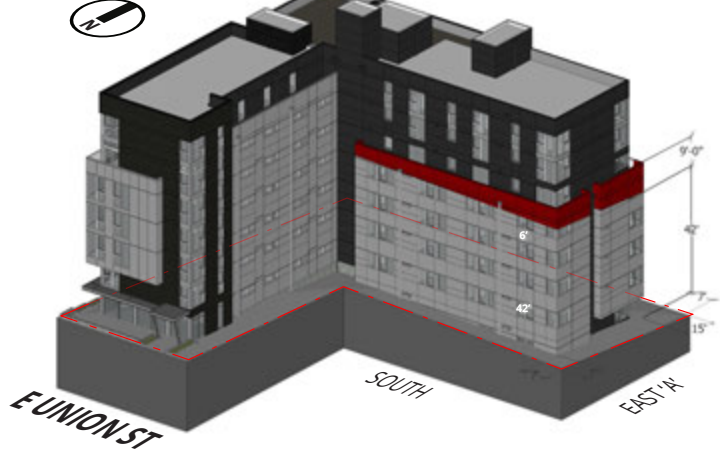
GUIDELINES & JUSTIFICATION:

- CS2-D/ ZONE TRANSITIONS & RESPECT FOR ADJACENT SITES: ESTABLISHES PERCEIVED 42' TRANSITION FROM UNION STREET.
- DC2-B/ FACADE COMPOSITION: BRINGS UPPER & LOWER MASSES IN MORE BALANCED PROPORTION. CREATES STRONGER DATUM RELATIONSHIP WITHIN BUILDING

DEPARTURE DIAGRAMS: SITE PLAN



SE CORNER



DEPARTURE DIAGRAM: SIDE INTERIOR SETBACK REDUCTION

AREA OUTSIDE OF ALLOWABLE BUILDING ENVELOPE

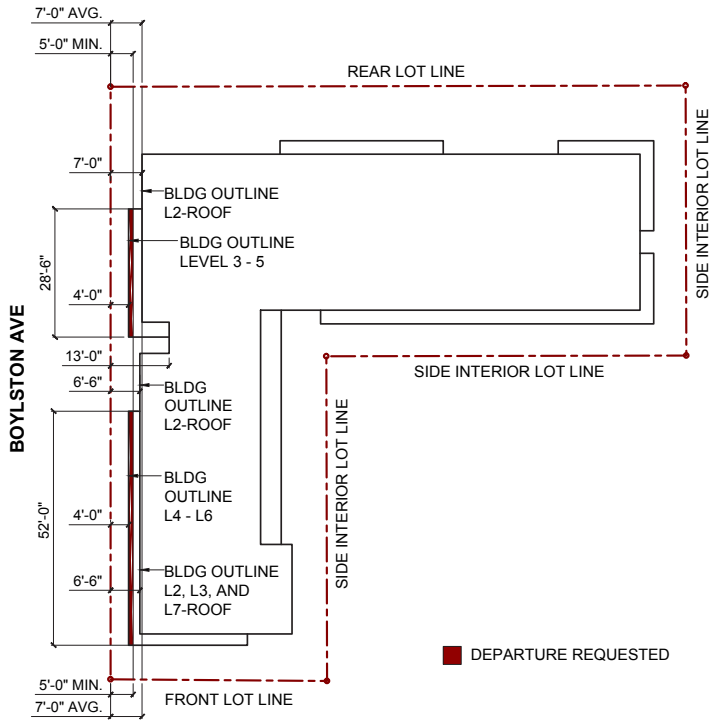
DEPARTURE MATRIX HIGHLIGHTED AREAS INDICATE REDUCTION IN DEPARTURE FROM SIMPLE SCHEME

1 SMC 23.45.518.B WEST: SIDE SETBACK FROM STREET LOT LINE

REQUIRED: 7' AVERAGE, 5' MINIMUM
PROPOSED: 6.17' AVERAGE, 4' MINIMUM
33% OF FACADE REQUIRES SETBACK REDUCTION
GUIDELINES & JUSTIFICATION:

- CS2-D/ZONE TRANSITIONS: MATCHES SETBACK OF ADJACENT PROPERTY.
- PIKE/PINE CS3-IV/SCALE & MODULATION & DC2-A/ REDUCING PERCEIVED MASS: MODULATION BREAKS DOWN SCALE OF BUILDING.
- DC2-B/FACADE COMPOSITION: CREATES A BALANCED FACADE COMPOSITION.

DEPARTURE DIAGRAMS: SITE PLAN



WEST ELEVATION

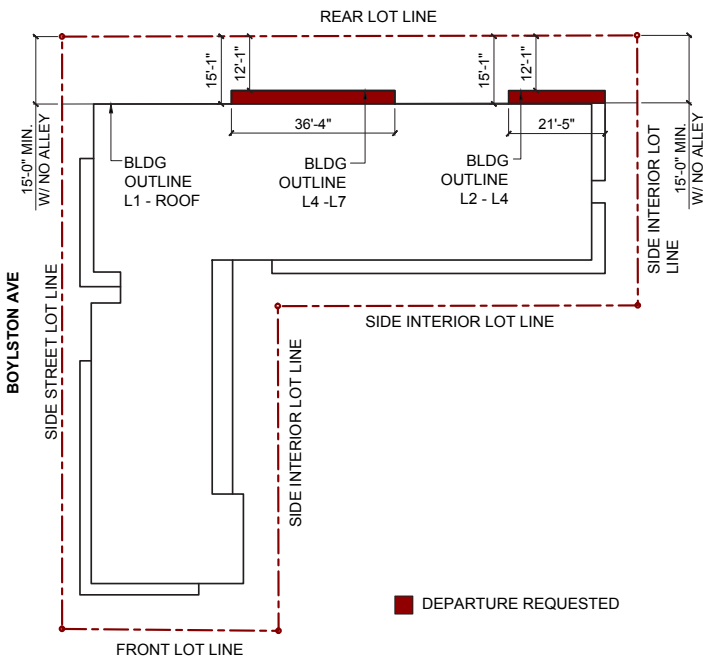


2 SMC 23.45.518.B NORTH: REAR SETBACK

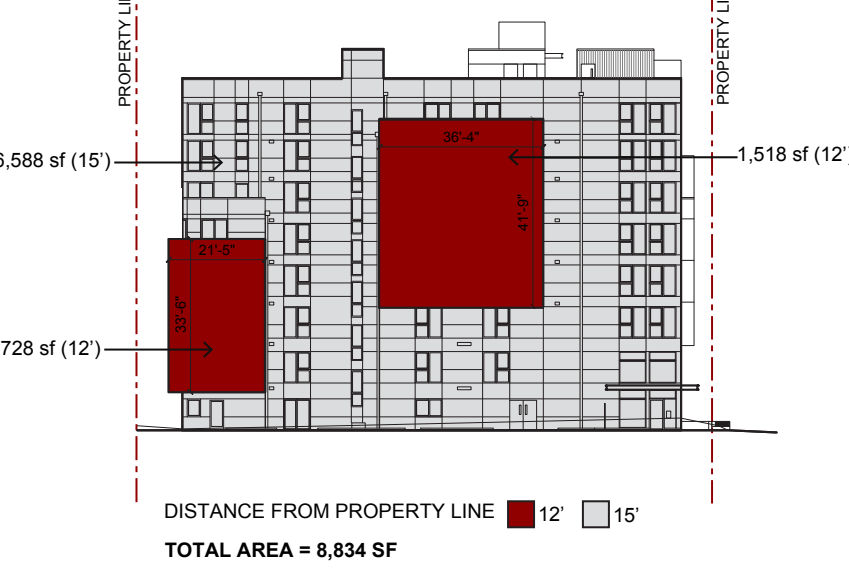
REQUIRED: 15' MINIMUM
PROPOSED: 12' MINIMUM, 14.23' AVERAGE
25.4% OF FACADE REQUIRES SETBACK REDUCTION
GUIDELINES & JUSTIFICATION:

- CS2-D/ZONE TRANSITIONS & RESPECT FOR ADJACENT SITES: DEPARTURE ALLOWS FOR MODULATION IN OVERLY WIDE NORTH YARD, TRANSITIONING TO ADJACENT RESIDENTIAL BUILDING.
- DC2-A/REDUCING PERCEIVED MASS: BREAKS DOWN LONG FACADE THAT IS VERY VISIBLE.
- DC2-B/FACADE COMPOSITION: ENABLES AN INTENTIONAL FACADE COMPOSITION TO BE CREATED.

DEPARTURE DIAGRAMS: SITE PLAN



NORTH ELEVATION



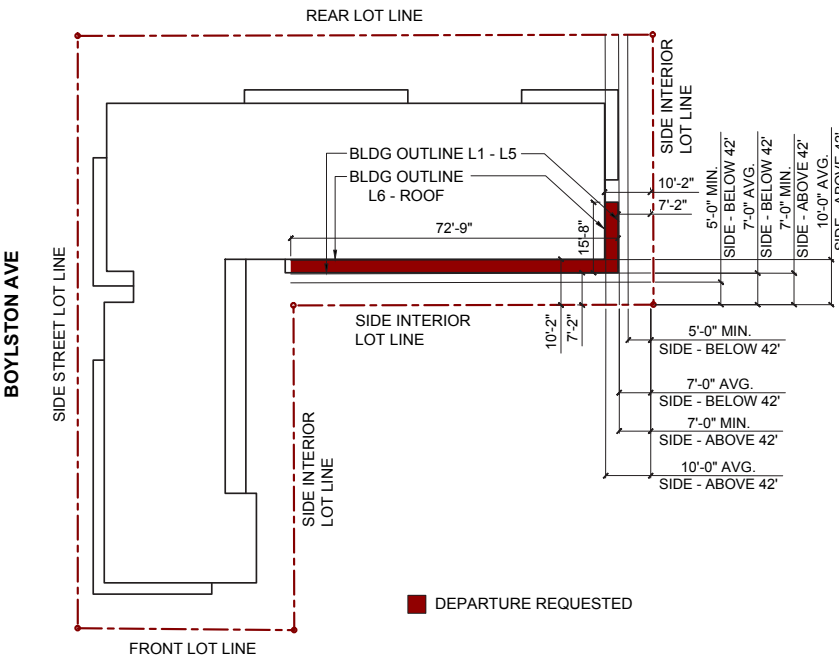
PREFERRED SCHEME

3 SMC 23.45.518.B SOUTH + EAST: SIDE SETBACK FROM INTERIOR LOT LINE

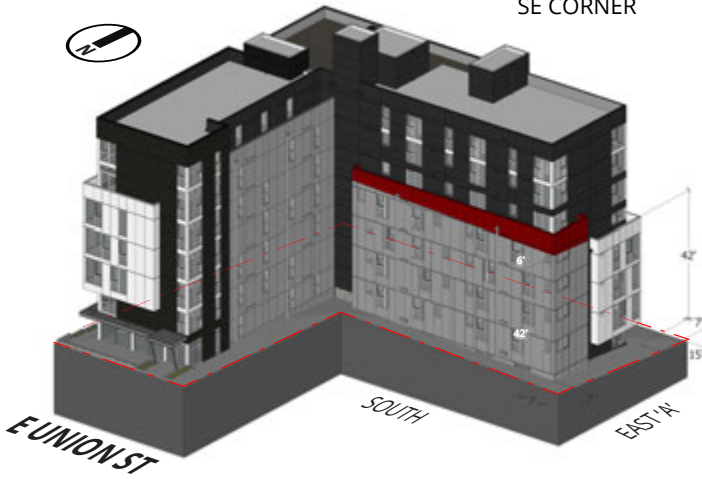
REQUIRED: 7' AVERAGE, 5' MINIMUM, <42' ABOVE GRADE
10' AVERAGE, 7' MINIMUM, >42' ABOVE GRADE
PROPOSED SOUTH: 7' AVERAGE, 5' MINIMUM, <42' ABOVE GRADE
9.45' AVERAGE, 7' MINIMUM, >42' ABOVE GRADE
PROPOSED EAST: 7' AVERAGE, 5' MINIMUM, <42' ABOVE GRADE
9.73' AVERAGE, 7' MINIMUM, >42' ABOVE GRADE
GUIDELINES & JUSTIFICATION:

- CS2-D/ ZONE TRANSITIONS & RESPECT FOR ADJACENT SITES: ESTABLISHES PERCEIVED 42' TRANSITION FROM UNION STREET.
- DC2-B/ FACADE COMPOSITION: BRINGS UPPER & LOWER MASSES IN MORE BALANCED PROPORTION. COMPOSITION FOLLOWS TOPOGRAPHY

DEPARTURE DIAGRAMS: SITE PLAN



SE CORNER



DEPARTURE DIAGRAM: SIDE INTERIOR SETBACK REDUCTION
AREA OUTSIDE OF ALLOWABLE BUILDING ENVELOPE

SCHEME SUMMARY

NORTHWEST



PREVIOUS SCHEME



SIMPLE SCHEME



PREFERRED SCHEME

DESIGN INTENT

- PRIORITIES:** BOLD MASSING / TRANSPARENT CORNERS / STRONG BREAK AT STAIRS / ERODED CORNER WINDOWS
- COLORS:** BRIGHT WHITE & LIGHT GRAY ACCENT FOR BOLD CONTRAST
- WINDOWS:** WINDOW PALETTE RESPONDED TO FIELD MATERIAL
- ORDER:** CLADDING & WINDOW PLACEMENT VARIED BY ACCENT & FIELD MATERIAL FOR MORE DETAIL
- ENTRIES:** PROVIDE AMENITY & BIKES AT EACH ENTRY FOR MORE EQUAL DISTRIBUTION

DESIGN INTENT

- PRIORITIES:** MUTED MASSING / TRANSPARENT CORNERS
- COLORS:** LIGHT GRAY ACCENT, TYPICAL
- WINDOWS:** SIMPLIFIED WINDOW PALETTE
- ORDER:** RIGOROUS WINDOW ARRANGEMENT / CONSISTENT CLADDING DATUMS
- ENTRIES:** FUNCTIONAL AT BOYLSTON, SOCIAL AT UNION

DESIGN INTENT

- PRIORITIES:** BOLD MASSING / TRANSPARENT CORNERS
- COLORS:** BRIGHT WHITE ACCENT, TYPICAL
- WINDOWS:** SIMPLIFIED WINDOW PALETTE
- ORDER:** RIGOROUS WINDOW ARRANGEMENT & CLADDING DATUMS AT FIELD, DYNAMIC ARRANGEMENT AT ACCENT MASSING
- ENTRIES:** FUNCTIONAL AT BOYLSTON, SOCIAL AT UNION

SOUTHWEST



PREVIOUS SCHEME



SIMPLE SCHEME



PREFERRED SCHEME

DESIGN INTENT

- PRIORITIES:** BOLD MASSING / TRANSPARENT CORNERS / STRONG BREAK AT STAIRS
- COLORS:** BRIGHT WHITE & LIGHT GRAY ACCENT FOR BOLD CONTRAST
- WINDOWS:** WINDOW PALETTE RESPONDED TO FIELD MATERIAL
- ORDER:** CLADDING & WINDOW PLACEMENT VARIED BY ACCENT & FIELD MATERIAL FOR MORE DETAIL
- ENTRIES:** PROVIDE AMENITY & BIKES AT EACH ENTRY FOR MORE EQUAL DISTRIBUTION

DESIGN INTENT

- PRIORITIES:** MUTED MASSING / TRANSPARENT CORNERS
- COLORS:** LIGHT GRAY ACCENT, TYPICAL
- WINDOWS:** SIMPLIFIED WINDOW PALETTE
- ORDER:** RIGOROUS WINDOW ARRANGEMENT / CONSISTENT CLADDING DATUMS
- ENTRIES:** FUNCTIONAL AT BOYLSTON, SOCIAL AT UNION / CLEARLY IDENTIFY UNION ENTRANCE

DESIGN INTENT

- PRIORITIES:** BOLD MASSING / TRANSPARENT CORNERS
- COLORS:** BRIGHT WHITE ACCENT, TYPICAL
- WINDOWS:** SIMPLIFIED WINDOW PALETTE
- ORDER:** RIGOROUS WINDOW ARRANGEMENT & CLADDING DATUMS AT FIELD, DYNAMIC ARRANGEMENT AT ACCENT MASSING
- ENTRIES:** FUNCTIONAL AT BOYLSTON, SOCIAL AT UNION / CLEARLY IDENTIFY UNION ENTRANCE

SOUTHEAST



PREVIOUS SCHEME



SIMPLE SCHEME



PREFERRED SCHEME

DESIGN INTENT

PRIORITIES: BOLD MASSING / TRANSPARENT CORNERS

COLORS: BRIGHT WHITE & LIGHT GRAY ACCENT FOR BOLD CONTRAST

WINDOWS: WINDOW PALETTE RESPONDED TO FIELD MATERIAL

ORDER: CLADDING & WINDOW PLACEMENT VARIED BY ACCENT & FIELD MATERIAL FOR MORE DETAIL

ENTRIES: PROVIDE AMENITY & BIKES AT EACH ENTRY FOR MORE EQUAL DISTRIBUTION

DESIGN INTENT

PRIORITIES: MUTED MASSING / TRANSPARENT CORNERS

COLORS: LIGHT GRAY ACCENT, TYPICAL

WINDOWS: SIMPLIFIED WINDOW PALETTE

ORDER: RIGOROUS WINDOW ARRANGEMENT / CONSISTENT CLADDING DATUMS / STRONG HORIZONTAL AT INSIDE CORNERS

ENTRIES: FUNCTIONAL AT BOYLSTON, SOCIAL AT UNION / CLEARLY IDENTIFY UNION ENTRANCE

DESIGN INTENT

PRIORITIES: BOLD MASSING / TRANSPARENT CORNERS

COLORS: BRIGHT WHITE ACCENT, TYPICAL / SOFT CONTRAST AT INSIDE CORNER

WINDOWS: SIMPLIFIED WINDOW PALETTE

ORDER: RIGOROUS WINDOW ARRANGEMENT & CLADDING DATUMS AT FIELD, DYNAMIC ARRANGEMENT AT ACCENT MASSING, DYNAMIC WINDOWS AT INSIDE CORNER TO CARRY LANGUAGE AROUND BUILDING

ENTRIES: SOCIAL AT UNION / CLEARLY IDENTIFY UNION ENTRANCE

NORTHEAST



PREVIOUS SCHEME



SIMPLE SCHEME



PREFERRED SCHEME

DESIGN INTENT

PRIORITIES: BOLD MASSING / TRANSPARENT CORNERS / ERODED CORNER WINDOWS

COLORS: BRIGHT WHITE & LIGHT GRAY ACCENT FOR BOLD CONTRAST

WINDOWS: WINDOW PALETTE RESPONDED TO FIELD MATERIAL

ORDER: CLADDING & WINDOW PLACEMENT VARIED BY ACCENT & FIELD MATERIAL FOR MORE DETAIL

ENTRIES: NOT APPLICABLE TO THIS VIEW

DESIGN INTENT

PRIORITIES: MUTED MASSING / TRANSPARENT CORNERS

COLORS: LIGHT GRAY ACCENT, TYPICAL

WINDOWS: SIMPLIFIED WINDOW PALETTE

ORDER: RIGOROUS WINDOW ARRANGEMENT / STRONG HORIZONTAL AT INSIDE CORNERS / CONSISTENT CLADDING DATUMS / TOP OF MASSING ALIGNED

ENTRIES: NOT APPLICABLE TO THIS VIEW

DESIGN INTENT

PRIORITIES: BOLD MASSING / TRANSPARENT CORNERS

COLORS: BRIGHT WHITE ACCENT, TYPICAL / SOFT CONTRAST AT INSIDE CORNER

WINDOWS: SIMPLIFIED WINDOW PALETTE

ORDER: RIGOROUS WINDOW ARRANGEMENT & CLADDING DATUMS AT FIELD, ARRANGEMENT AT ACCENT MASSING, STEPPED MASSING AT CORNER FOLLOWS TOPOGRAPHY

ENTRIES: NOT APPLICABLE TO THIS VIEW

BOYLSTON ENTRY



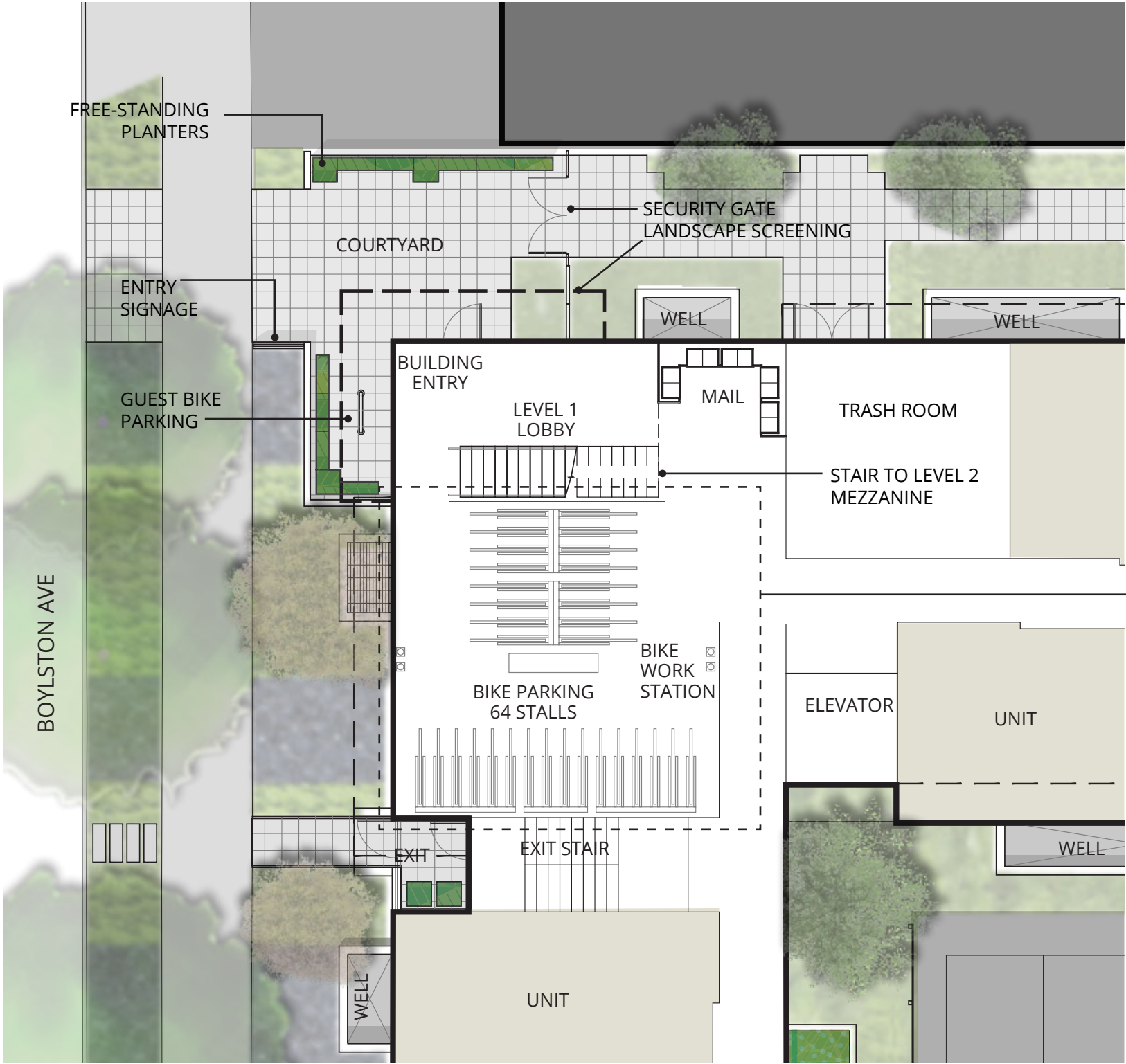
PREVIOUS SCHEME

DESIGN RESPONSE

- 1 PRIORITIES:**
A - EMPHASIS ON ACCENT MASSING MAINTAINED
B - TRANSPARENT, DOUBLE-HEIGHT BOYLSTON ENTRY MAINTAINED
- 2 COLORS:**
A - LIGHT GRAY SELECTED FOR ACCENT MASSING, TRIM AND SPANDRELS (WHITE ACCENT AT PREFERRED)
- 3 WINDOWS:**
A - WINDOW PALETTE EDITED
B - 'ERODING' CORNER WINDOW ELEMENT ELIMINATED
- 4 ORDER:**
A - WINDOW ARRANGEMENT SIMPLIFIED
B - CLADDING DATUMS CONSISTENTLY APPLIED
C - JULIET BALCONIES REMOVED
- 5 ENTRIES:**
A - VISIBLE ENTRY MARKED WITH GLAZING, CANOPY AND PLANTINGS
B - BIKE PARKING CONSOLIDATED TO BOYLSTON FOR MORE 'FUNCTIONAL' ENTRY



SIMPLE SCHEME
(PREFERRED SCHEME SIMILAR)



PREFERRED / SIMPLE SCHEME

PARTIAL SITE / STREET LEVEL PLAN
*NOT TO SCALE



PREVIOUS SCHEME
*NOT TO SCALE

DESIGN RESPONSE

- 1 PRIORITIES:**
A - TRANSPARENT, DOUBLE-HEIGHT BOYLSTON ENTRY MAINTAINED
- 2 COLORS:**
- NOT APPLICABLE TO THIS VIEW
- 3 WINDOWS:**
- NOT APPLICABLE TO THIS VIEW
- 4 ORDER:**
- NOT APPLICABLE TO THIS VIEW
- 5 ENTRIES:**
A - VISIBLE ENTRY MARKED WITH GLAZING, CANOPY AND PLANTINGS
B - BIKE PARKING CONSOLIDATED TO BOYLSTON FOR MORE 'FUNCTIONAL' ENTRY

UNION ENTRY + LOUNGE



PREVIOUS SCHEME

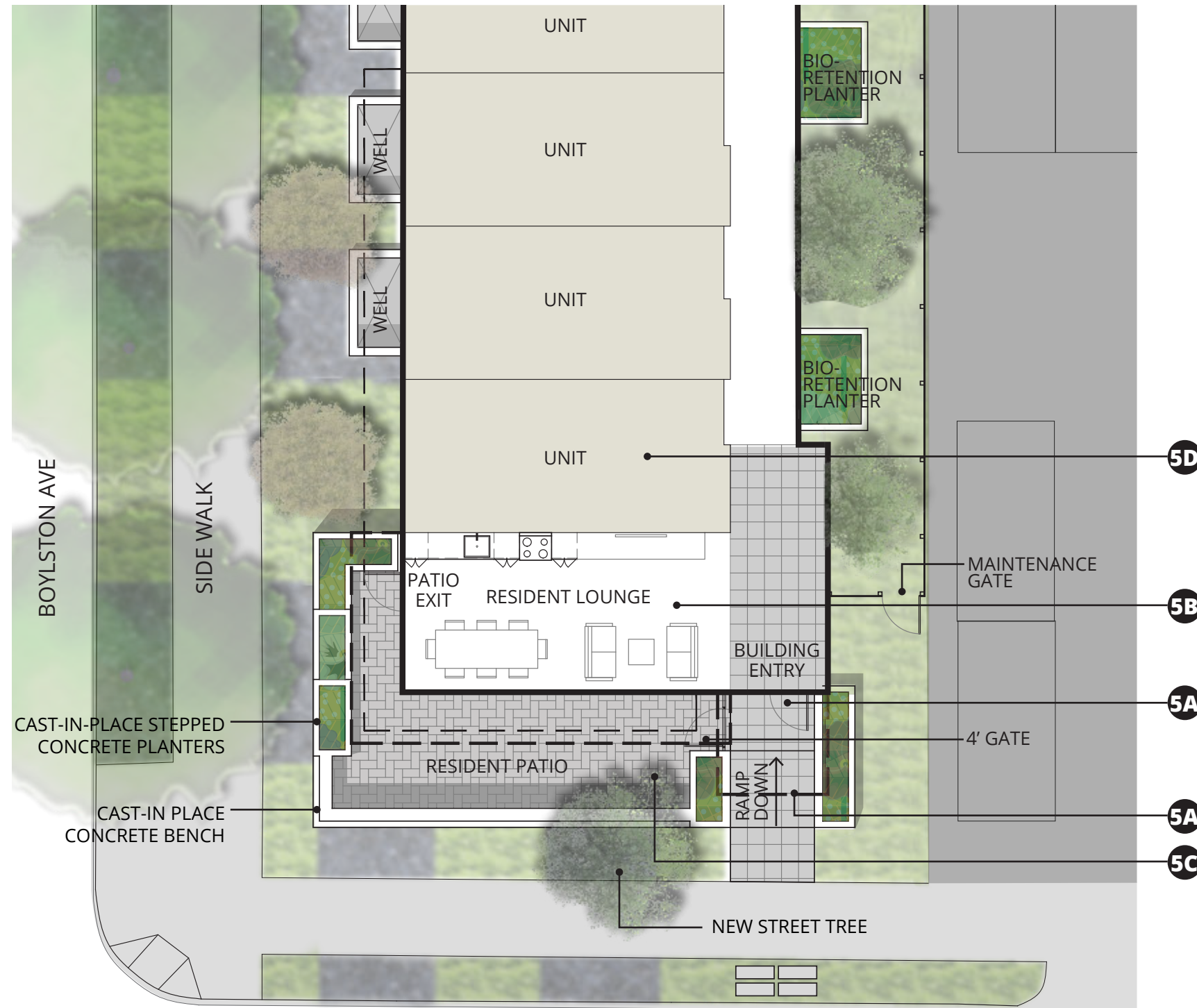
DESIGN RESPONSE

- 1 PRIORITIES:**
A - EMPHASIS ON ACCENT MASSING MAINTAINED
B - TRANSPARENT AMENITY ON UNION CORNER
- 2 COLORS:**
A - LIGHT GRAY SELECTED FOR ACCENT MASSING, TRIM AND SPANDRELS (WHITE ACCENT AT PREFERRED)
B - LIGHT GRAY CANOPY INSTEAD OF CONTRASTING BLACK
- 3 WINDOWS:**
A - WINDOW PALETTE EDITED
- 4 ORDER:**
A - WINDOW ARRANGEMENT SIMPLIFIED
B - CLADDING DATUMS CONSISTENTLY APPLIED
- 5 ENTRIES:**
A - UNION ENTRY MARKED WITH STRONG CANOPY AND PLANTINGS
B - LOUNGE ENHANCED AS SOCIAL SPACE
C - PATIO MADE SMALLER & MORE DEFENSIBLE



SIMPLE SCHEME
(PREFERRED
SCHEME SIMILAR)

UNION ENTRY & LOUNGE

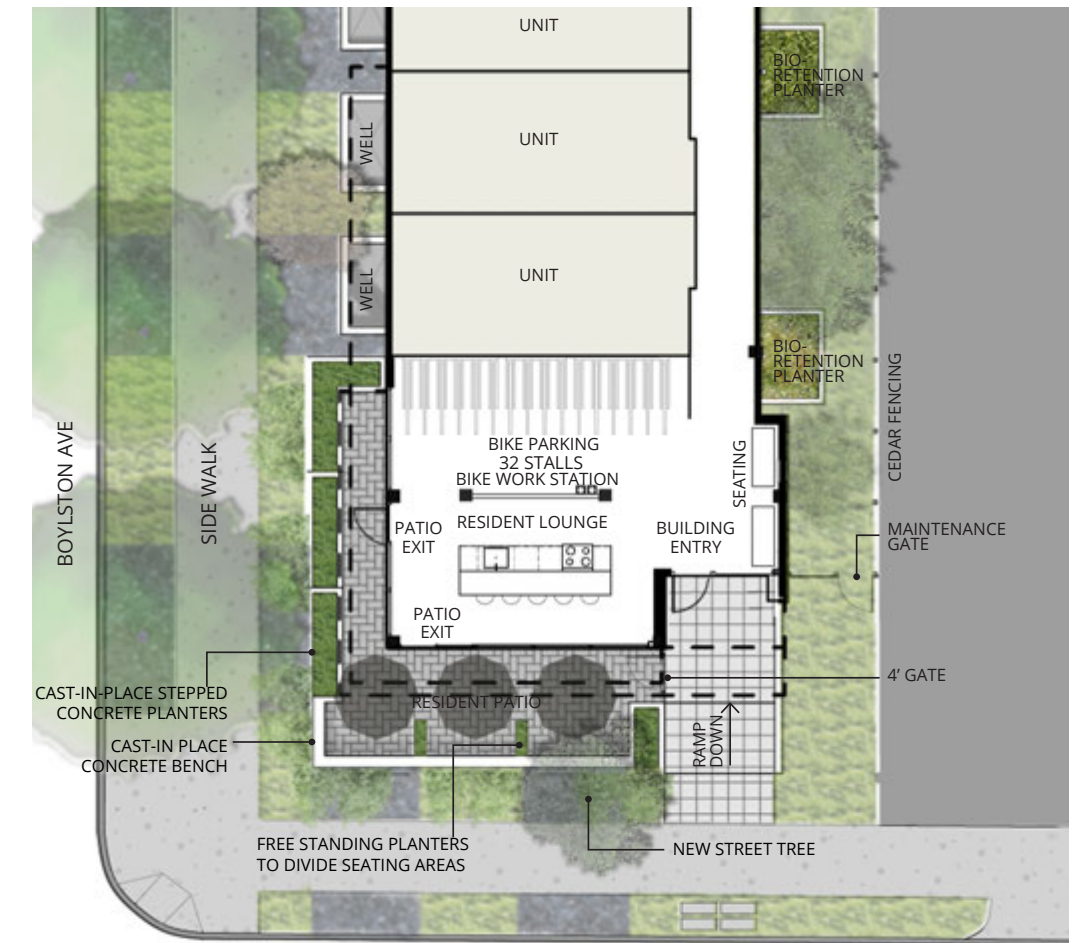


PREFERRED / SIMPLE SCHEME

E. UNION ST.

PARTIAL SITE / STREET LEVEL PLAN

*NOT TO SCALE



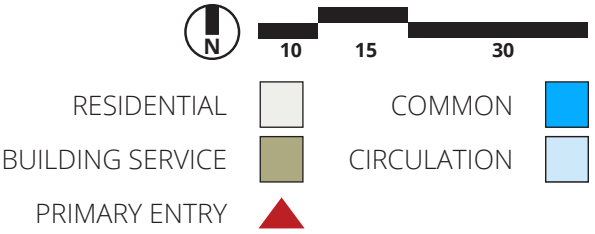
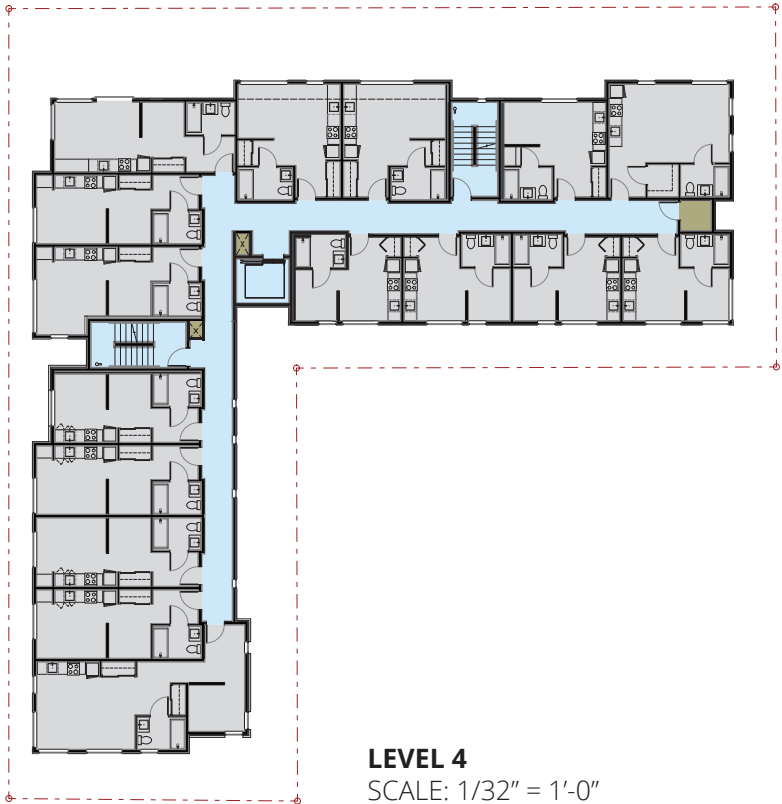
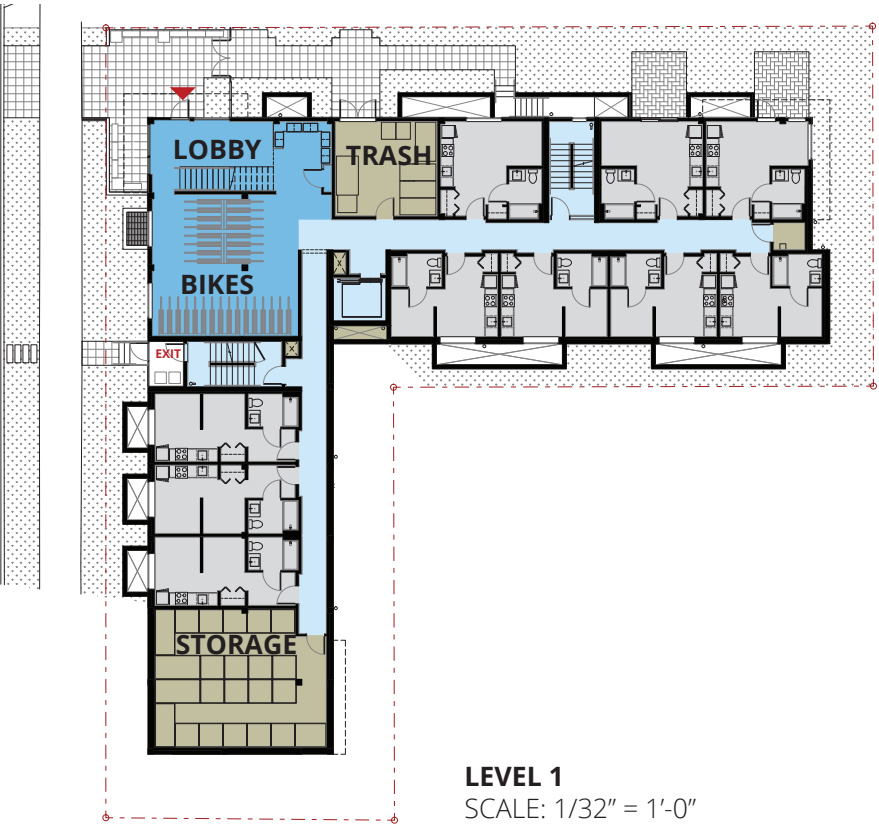
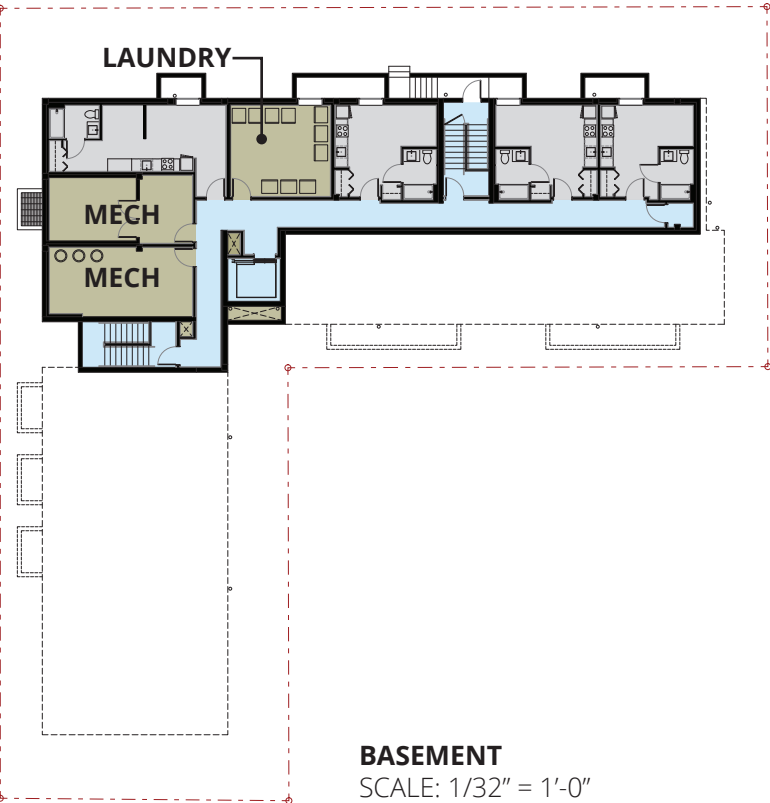
E. UNION ST.

PREVIOUS SCHEME
*NOT TO SCALE

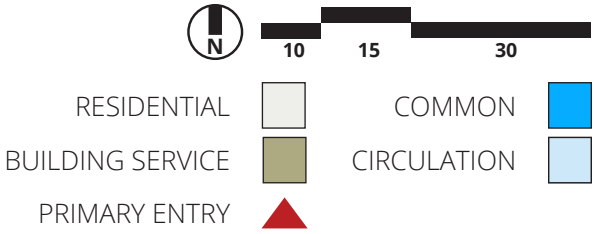
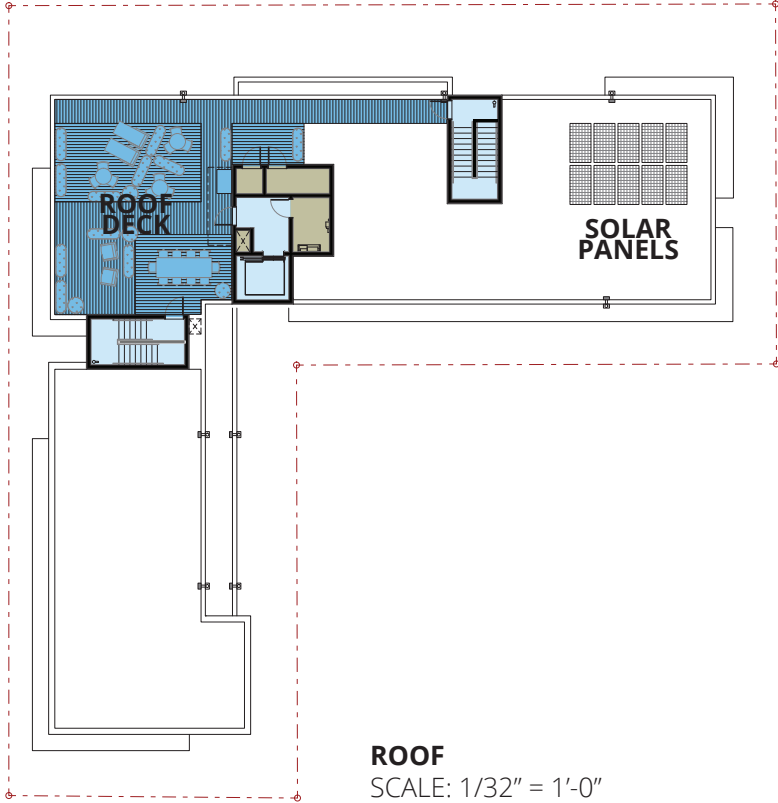
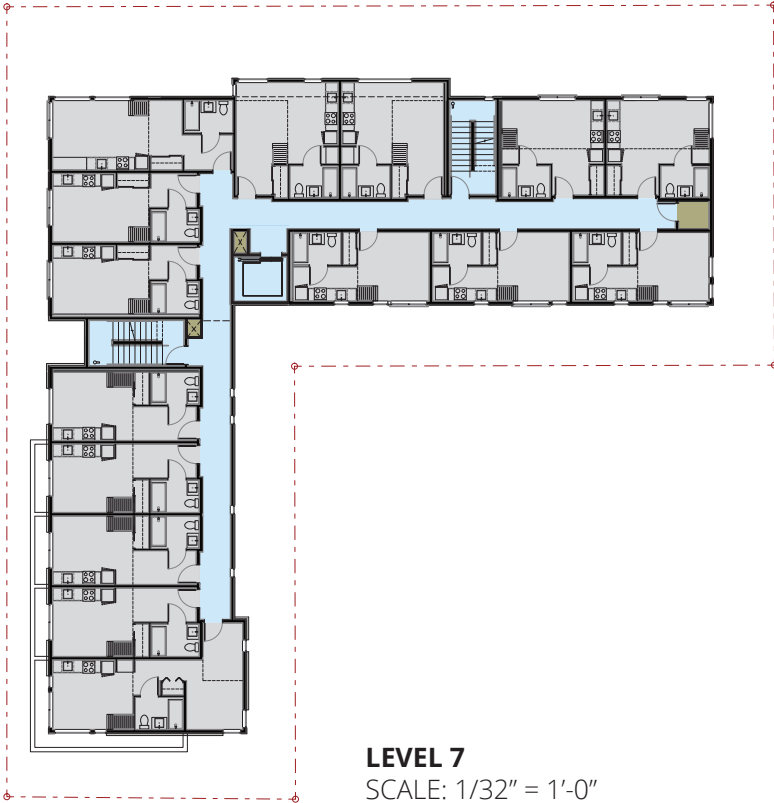
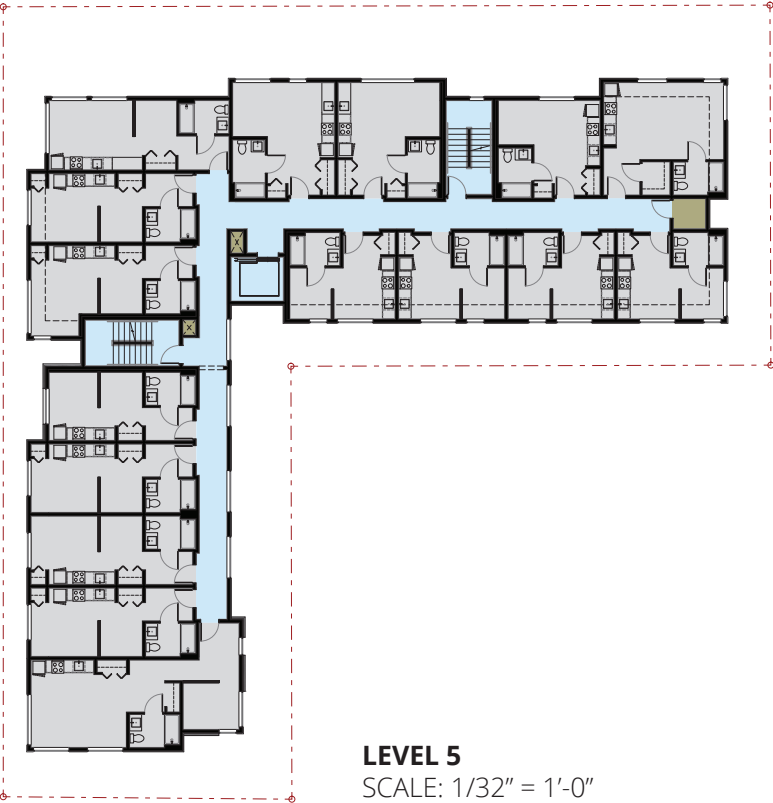
DESIGN RESPONSE

- 1 PRIORITIES:**
 - A - TRANSPARENT AMENITY ON UNION CORNER
- 2 COLORS:**
 - NOT APPLICABLE TO THIS VIEW
- 3 WINDOWS:**
 - NOT APPLICABLE TO THIS VIEW
- 4 ORDER:**
 - NOT APPLICABLE TO THIS VIEW
- 5 ENTRIES:**
 - A - UNION ENTRY MARKED WITH STRONG CANOPY AND PLANTINGS
 - B - LOUNGE ENHANCED AS SOCIAL SPACE
 - C - PATIO MADE SMALLER & MORE DEFENSIBLE
 - D - BIKE PARKING MOVED DOWN TO BOYLSTON ENTRY

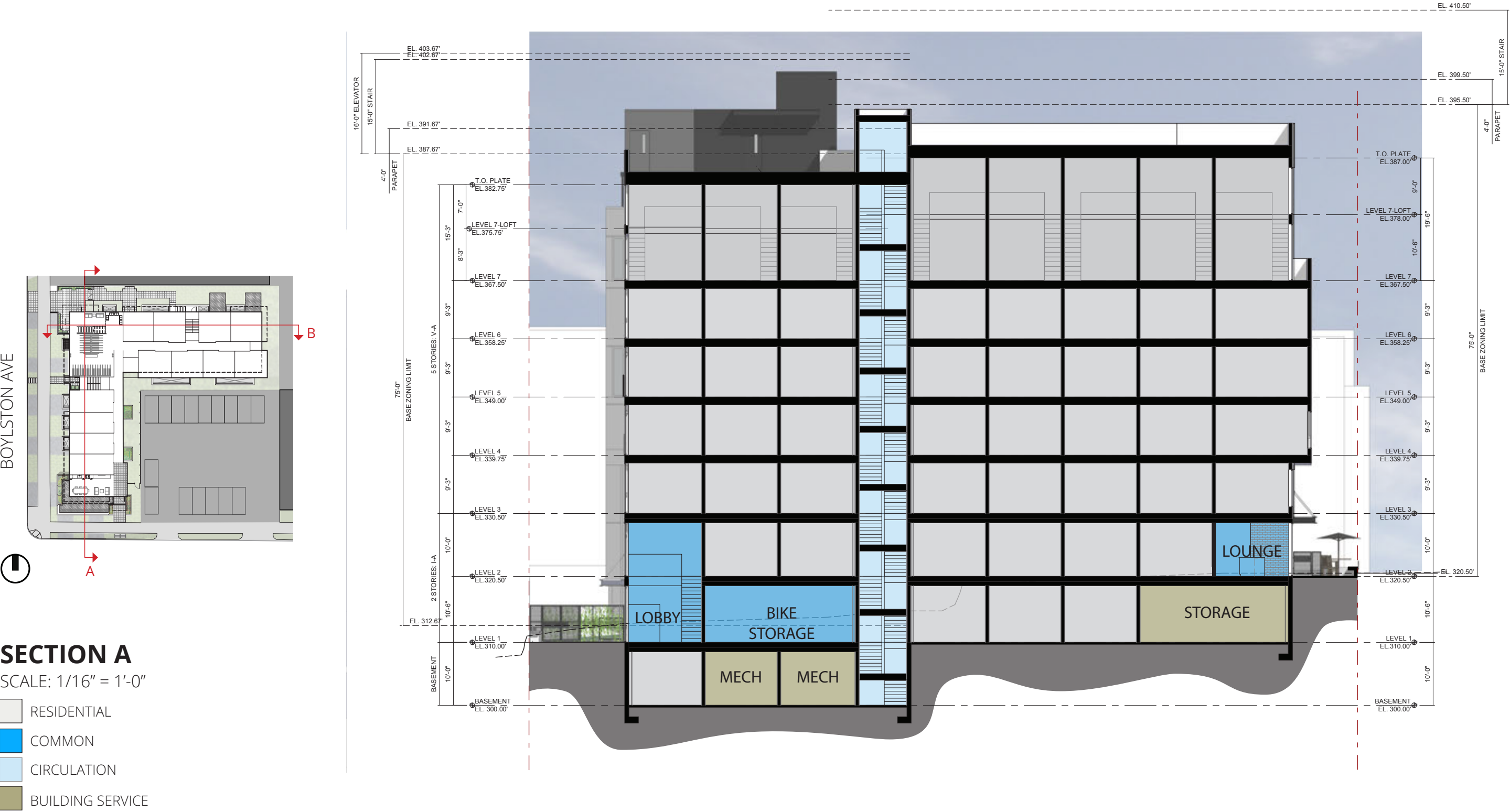
PLANS: PREFERRED SCHEME (SIMPLE SIMILAR)



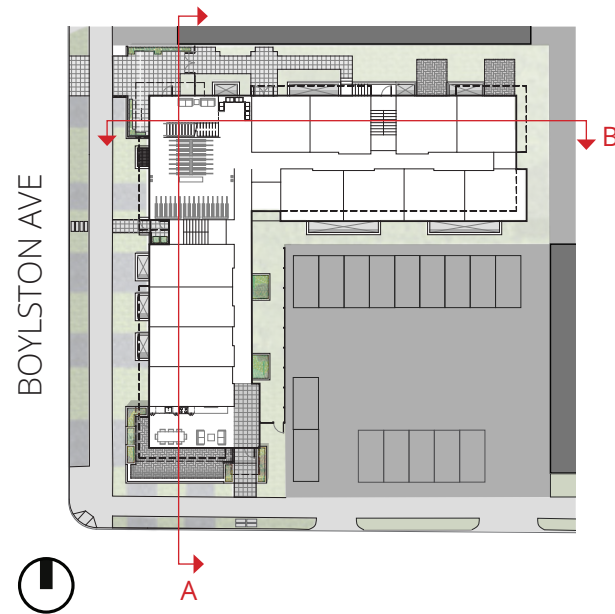
PLANS: PREFERRED SCHEME (SIMPLE SIMILAR)



SECTION: PREFERRED SCHEME (SIMPLE SIMILAR)



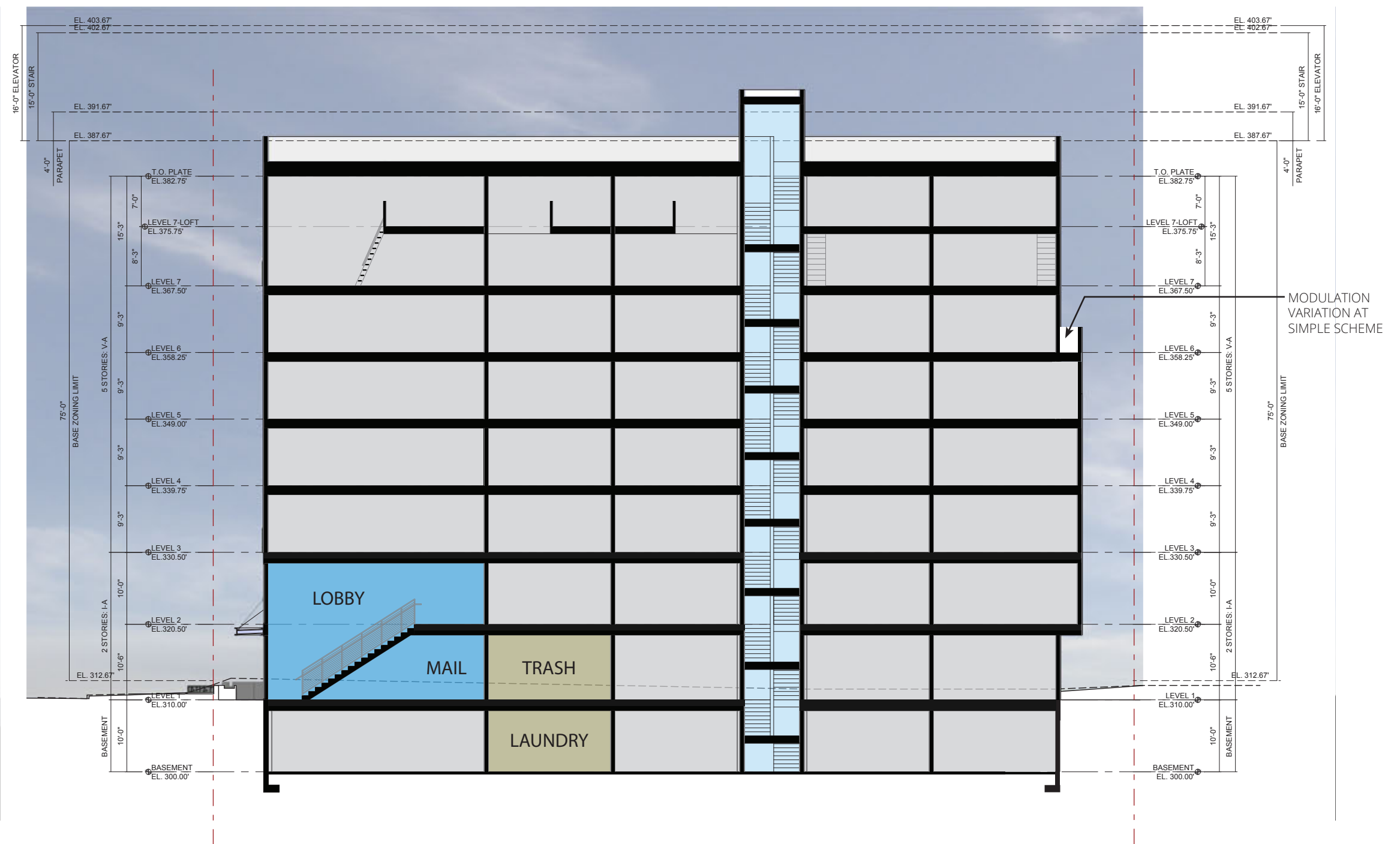
SECTION: PREFERRED SCHEME (SIMPLE SIMILAR)



SECTION B

SCALE: 1/16" = 1'-0"

- RESIDENTIAL
 - COMMON
 - CIRCULATION
 - BUILDING SERVICE



PLANTING PALETTE

SIDE YARD PLANTINGS



K
JAPANESE FOREST GRASS



L
CHINESE ASTILBE



M
BRANDYWINE HELLEBORE



N
DAWYCK BEECH



P
PYRAMIDAL HORNBEAM



Q
OSTRICH FERN



R
DEER FERN



S
HM EDDIE YEW



T
JAPANESE FATSIA



U
FOUNTAIN BAMBOO

ROOF DECK PLANTINGS



1
ORANGE SEDGE



2
ORANGE ROCKET BARBERRY



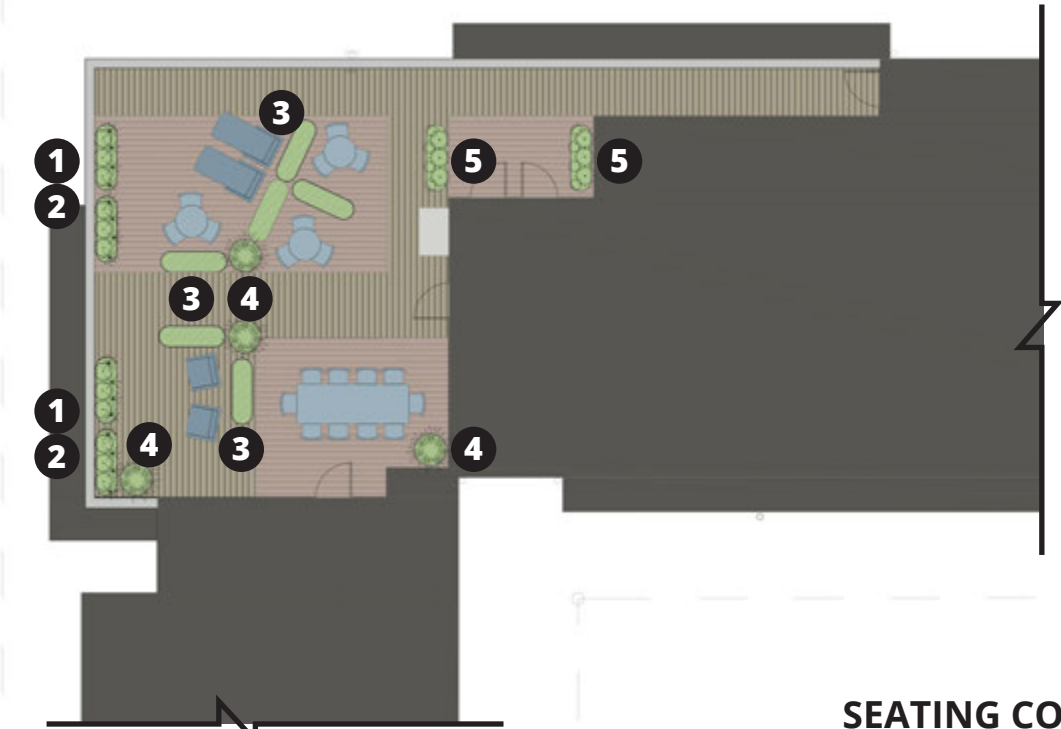
3
HORSETAIL IN PLANTER



4
UMBRELLA BAMBOO



5
IRISH YEW



PREFERRED + SIMPLE SCHEMES

ROOF DECK PLAN

SCALE: 1/16" = 1'-0"

DECKING



BAMBOO COMPOSITE DECKING
IN CONTRASTING COLORS

PLANTERS

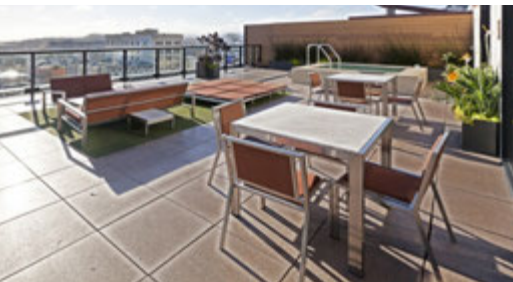


78 Gallon

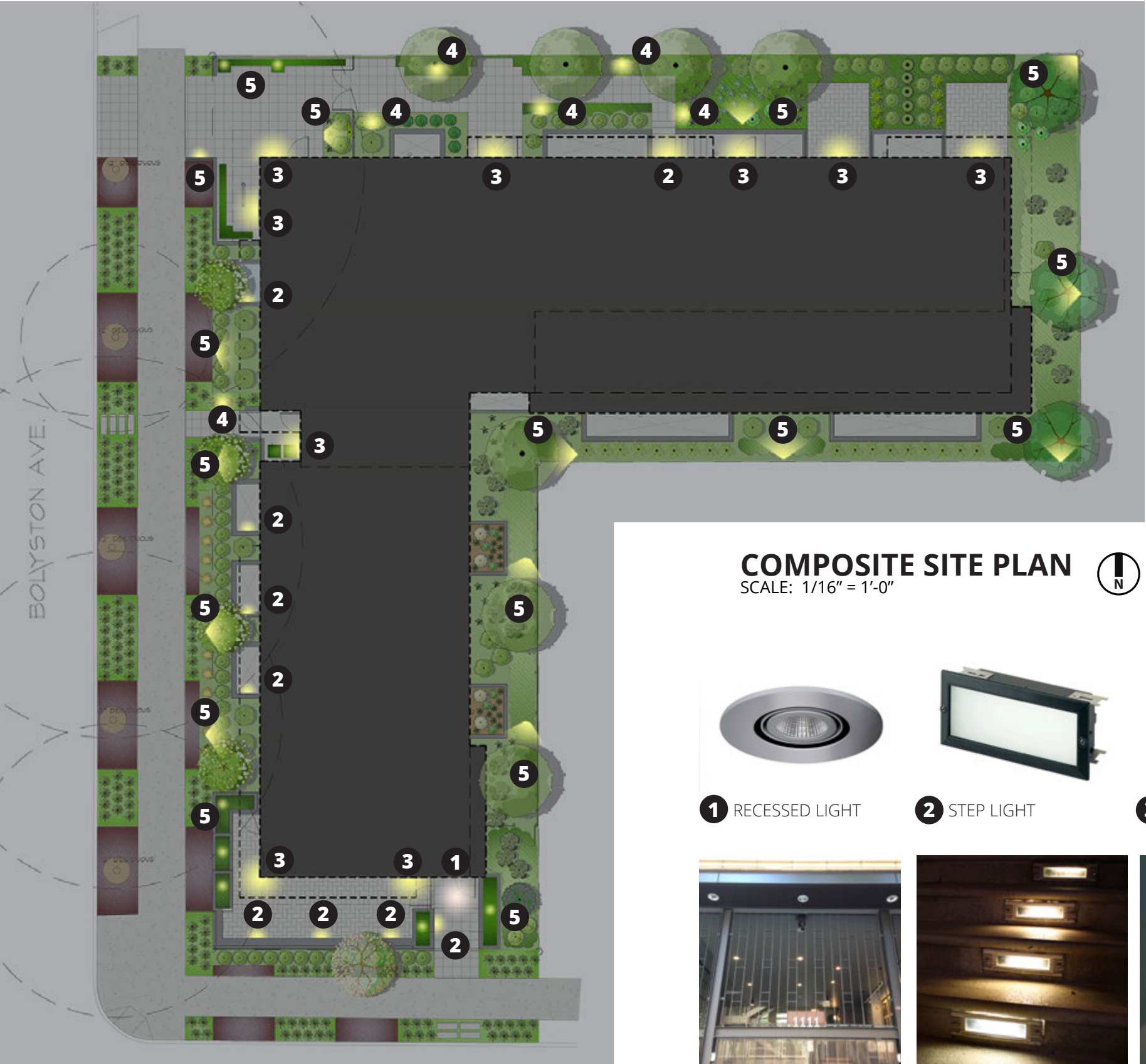


123 Gallon
Horse-trough Planters

SEATING CONCEPTS



SITE LIGHTING: PREFERRED + SIMPLE SCHEMES



COMPOSITE SITE PLAN
SCALE: 1/16" = 1'-0"



ROOF DECK PLAN
SCALE: 1/16" = 1'-0"



1 RECESSED LIGHT



2 STEP LIGHT



3 WALL LIGHT



4 PATHWAY & PLANTER LIGHTING



5 LANDSCAPE LIGHT



APPENDIX
(UNREVISED PAGES FROM 09/09/15 MEETING)

BOARD GUIDANCE

BOARD COMMENTS	RESPONSE
<p>MASSING, HEIGHT & MODULATION</p> <p>Preferred the scheme with stepped height at the southern portion of the building.</p> <p>Use a simple, clean treatment (without recess) at the top of the structure. Consider the materiality of the design and the perception of massing.</p> <p>Locate the building projections along Boylston Ave to step up with the roof line.</p>	<p><i>The southern portion of the building steps up 4’ with the natural slope of the site to provide additional building height at the southwest Union corner.</i></p> <p><i>The upper story of the building is one continuous plane. The window and material palette define the top of the building.</i></p> <p><i>Additive white masses step up with the natural slope of site. Building modulation at the corner of Boylston and Union was lifted to provide greater relief to corner amenity area at grade and provide balance to the building composition.</i></p> <p><i>The break in massing has remained consistent throughout the development of the design, reflecting the underlying development pattern of the neighborhood.</i></p>
<p>ENTRIES & CORNER TREATMENT</p> <p>Design a substantial building entry that will not visually impact the driveway to the north.</p> <p>Consider locating building projections so they do not hover over the building corners.</p> <p>Provide design consistency to the three visible corners and simplify the massing and design at the Southwest corner.</p> <p>Locate solid waste storage area away from the entry corner.</p>	<p><i>The entry is designed to be substantial, with large storefront windows and a well defined overhead canopy. Planters and building addressing will further emphasize the entry and sidewalk connection. The neighbor to the north has a recessed driveway and dedicated sight triangles providing adequate visibility. The landscaping at the northwest corner is limited in height to mitigate this transition for both vehicles and pedestrians.</i></p> <p><i>The location of the additive masses have been adjusted to be higher above the street. Canopies are provided at both corners to define the entries, break the building scale down at the street and provide a protected transition from the sidewalk.</i></p> <p><i>The overall material palette has been simplified, allowing the primary cladding to wrap each corner - creating a clear expression of the massing. Corner window elements wrap each corner - these elements feature matching infill panels and trim to unify the building corners. The primary southern mass has been simplified to unify the massing and create a presence consistent with the neighboring structures. The solid waste area has been located along the north facade at grade. Access to the trash room from the exterior is through an accent gate and landscape screening, which eliminates visibility from the primary site entry.</i></p>
<p>MATERIALS</p> <p>The Board encourages the use of brick and high quality materials to compliment the neighboring structures.</p> <p>Use high quality materials at lower levels.</p> <p>Consider the use of a different material at the corner then the ‘gray’ corrugated metal as presented.</p> <p>Use a palette of materials to help mitigate the building scale.</p>	<p><i>Charcoal brick has been incorporated at the higher primary southern mass to compliment the neighboring buildings of First Hill. The brick covers a significant portion of the massing along Boylston Ave, providing fine-grained texture that balances the scale of the overall building.</i></p> <p><i>The materials chosen are of high quality and are durable. The materials express the massing which extends beyond the lower levels, therefore high quality material are provided at all levels.</i></p> <p><i>Brick was chosen to replace the ‘gray’ corrugated metal as presented in the second EDG. It was chosen for this area to better respond to the neighboring structures to the southwest and southeast.</i></p> <p><i>The use of brick, and horizontal fiber cement panel banding reduces the perceived scale of the building.</i></p>
<p>SECURITY</p> <p>Design the outside corner lounge/ patio with a focus on security for the users and pedestrians passing by.</p> <p>Provide security around the building light wells.</p>	<p><i>The north entry courtyard has a reduced footprint, yet allows for a transition from the sidewalk to the building. The courtyard is well defined with a low retaining wall and planters, and a fence/gate will restrict access to the north yard. The south patio has been slightly lowered to establish a step at the perimeter. The grade change, along with a 4’ R.O.W. planting buffer helps define the boundary between public and private space. The lounge offers large storefront windows with interior spaces that allow for use at anytime of day or night, therefore interior lighting will accompany low level exterior lighting to provide security at the patio.</i></p> <p><i>The west window wells are separated from the sidewalk by a wide planting area. Dense plantings will provide security, but still allow for natural light and visibility. A small light will further enhance security at the wells and enhance the pedestrian experience. Other window wells on site are within secured fences.</i></p>
<p>NEIGHBORHOOD OUTREACH</p> <p>Investigate and work with the neighborhood community groups.</p>	<p><i>PPUNC presentation given on 7/23/2015</i></p> <p><i>First Hill improvement Association informal meeting on XXXXXX. Discussed the timeline for the Prototype Park at University, Union and Boylston and the projects potential impact on the corner.</i></p>

PRIORITY GUIDELINES

GUIDELINES + RESPONSE

CS1 NATURAL SYSTEMS & SITE FEATURES

CS1-B / Sunlight & Natural Ventilation: Daylight & Shading
CS1-C / Topography: Elevation Changes
CS1-D / Plants & Habitat: Off-Site Features

- Topography on site allows for multiple entry points that meet the building directly at grade.
- Building massing follows natural slope of site along Boylston Ave.
- Proposal relates directly to the prototype park at University, Union and Boylston.

CS2 URBAN PATTERN & FORM

CS2-A / Location in the City: Sense of Place
Architectural Presence
CS2-B / Adjacent Sites, Streets & Open Spaces: Site Characteristics
CS2-C / Relationship to the Block: Corner Sites
CS2-D / Height, Bulk & Scale:
Existing Dev. & Zoning Existing Site Features
Zone Transitions Respect for Adjacent Sites

Pike/Pine CS2-III/Height, Bulk & Scale Compatibility: Upper Story Bulk

- Responds to both neighborhoods w/ strong, active corners, responding to Capitol Hill & First Hill existing & pending development.
- Reflects the underlying fabric of development pattern transitioning between neighborhoods, zones & adjacent sites.
- The ‘cafe’ feel provided at the SW building corner addresses the transition to NC zones at the block though no commercial uses are allowed.

CS3 ARCHITECTURAL CONTEXT & CHARACTER

CS3-A / Emphasizing Positive Neighborhood Attributes:
Fitting Old & New Together Contemporary Design
Evolving Neighborhoods

CS3-B / Local History & Culture: Placemaking
Pike/Pine CS3-IV / Architectural Context: Scale & Modulation

- The use of brick at the southernly mass respectfully connects with the materiality of neighboring First Hill.
- The window & material palette at the northwest mass relates to commercial and mixed use nature of Pike Street, while reflecting the residential nature of the building.

PL1 CONNECTIVITY

PL1-A / Network of Open Spaces:
Enhancing Open Space Adding to Public Life

- Integrated and well assembled courtyard or patio at both building corners, providing a ‘borrowed view’ for pedestrians.
- Lobby or lounge at both building corners, activating the street instead of providing residential units.
- The patio at the SW corner has a direct visual connection to the Prototype Park & street corner.

PL2 WALKABILITY

PL2-B / Safety and Security:
Eyes on the Street Lighting for Safety
Street-Level Transparency

Pike/Pine PL2-I / Personal Safety and Security: Lighting

- Residential lobbies, amenity and units are all directed towards the street.
- Lighting is integrated throughout for safety and aesthetics. Special attention is paid to security at building entries and outdoor amenity areas. In areas with large storefront windows, interior lighting will play a role in outdoor security.

PL3 STREET LEVEL INTERACTION

PL3-A / Entries:
Design Objectives Common Entries
Ensemble of Elements

PL3-B / Residential Edges:
Security & Privacy Ground-level Residential

Pike/Pine PL3-I /Transition between Residence & Street: Res. Entryways
Pike/Pine PL3-III / Human Scale: Ground-floor Design

- Double height lobby and corner lounge are very transparent, using glazing and a canopy to establish their entry point. Both corners use massing and materials to emphasize its visibility.
- The courtyard for the north lobby creates a semi-private transition from the sidewalk to building. Similarly, the patio for the south lounge creates a semi-private relationship between the street & building amenity.
- The units along the street will be buffered with dense landscaping.

DC1 PROJECT USES AND ACTIVITIES

DC1-A / Arrangement of Interior Uses: Visibility
Gathering Spaces

DC1-C / Parking and Service Uses: Service Uses

- Lobby and lounge on the building corners, providing proximity to Pike Street and First Hill.
- Ample bike storage is integrated into the design and highly visible at the low and high ends of site.
- Trash is located away from the street to be convenient, but less visible.

DC3 OPEN SPACE CONCEPT

DC3-A / Building-Open Space Relationship: Interior/Exterior Fit
DC3-B / Open Space Uses and Activities:
Meeting User Needs Connections to other Open Spaces
DC3-C / Design: Reinforce Existing Open Space-Amenities/Features
Pike/Pine DC3-I / Residential Open Space: Open Space Location
Pike/Pine DC3-II / Landscaping to Enhance the Building and/or Site:
Public Space Enhancement

- Indoor uses complement outdoor spaces at each corner. The north lobby courtyard will be treated as a waiting area, while the south patio will be a social gathering space.
- SW patio will enhance the street experience, and relate to the Prototype Park across the street.

DC2 ARCHITECTURAL CONCEPT

DC2-A / Massing:
Site Characteristics & Uses Reducing Perceived Mass

DC2-B / Architectural and Facade Composition:
Facade Composition Blank Walls

DC2-C / Secondary Architectural Features: Visual Depth and Interest

- Upper stories use the texture or color of the materials along with the window pattern to provide a simple, well-balanced composition.
- Window & material palette further reduce bulk, create rhythm and interest for the facade.
- Mitigate blank walls with a variety of window and material concepts along the street and visible facades.

DC4 EXTERIOR ELEMENTS AND FINISHES

DC4-A / Exterior Elements and Finishes:
Exterior Finish Materials Climate Appropriateness

DC4-C / Lighting: Avoiding Glare
Pike/Pine DC4-I / Exterior Finish Materials: Preferred Materials

- Brick (preferred material by the Board) is provided at primary southern mass to compliment neighboring structures.
- Wide variety of materials and fabricated elements provide visual interest and break down the building mass.
- Materials with metallic finish are used sparingly and at masses where there will be the least amount of glare.

STREET LEVEL EXPERIENCE



SOUTHWEST RESIDENT PATIO & LOUNGE AT NIGHT



UPHILL APPROACH AT BOYLSTON AVE

SOUTH PATIO

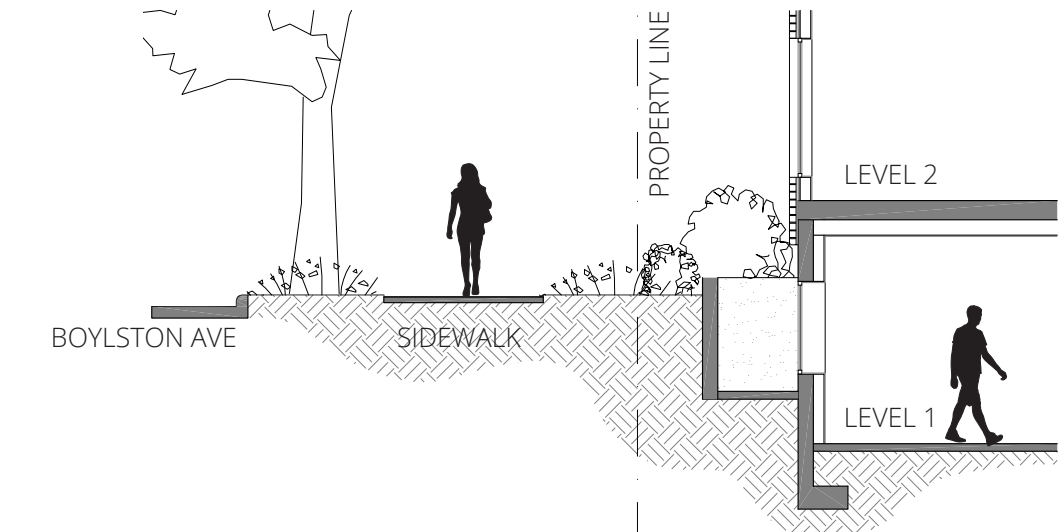
- ELEMENTS:
- PLANTERS & BENCHES CREATE IMPLIED BOUNDARY BETWEEN PUBLIC & PRIVATE
 - EYES ON THE STREET
 - WELL-LIT AMENITY PROVIDES SECURITY 24HRS
 - LOW-LEVEL PLANTING BUFFER AT R.O.W. REINFORCES EDGE WHILE MAINTAINING VISUAL CONNECTION

- PRIORITY GUIDELINES:
- PL2-B: RESIDENTIAL EDGES
 - PIKE-PINE PL3-I: RESIDENCE & STREET TRANSITION
 - PIKE-PINE DC3-II: LANDSCAPING TO ENHANCE SITE

WEST WINDOW WELLS

- ELEMENTS:
- WIDE PLANTING STRIP PROVIDES PRIVACY BUFFER
 - LANDSCAPING IS DENSE, BUT NOT VISUALLY HEAVY
 - SMALL ACCENT LIGHTING CREATES EXTRA LAYER OF SECURITY

- PRIORITY GUIDELINES:
- PL3-B-1: SECURITY AND PRIVACY



WEST WINDOW WELLS: SECTION



WEST WINDOW WELLS: LANDSCAPING

THREE-TIERED PLANTINGS CASCADE FROM WELL EDGE TO SIDEWALK EDGE



WEST WINDOW WELLS: LIGHTING

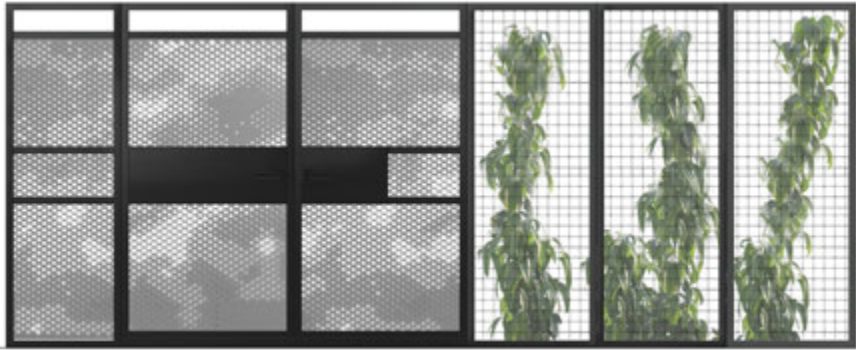
STEP LIGHT AT EACH WELL TO ILLUMINATE AT NIGHT

FABRICATIONS & SIGNAGE

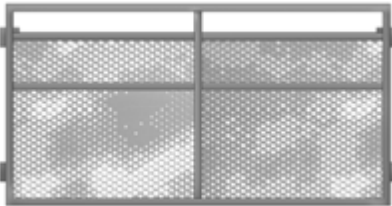
- 1 BUILDING NUMBERS**
BLACK POWDER COATED ALUMINUM
FRAME & NUMBERS WITH PERFORATED
METAL INFILL PANELS



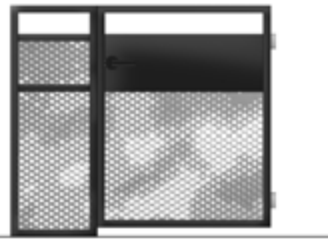
- 2 6' GATE @ NORTH YARD**
BLACK POWDER COATED ALUMINUM FRAME WITH
PATTERNED PERFORATED METAL INFILL PANELS
6' LANDSCAPE SCREENING
BLACK POWDER COATED ALUMINUM FRAME WITH
WIRE MESH INFILL



- 3 JULIET BALCONY GUARDRAIL**
LIGHT GRAY POWDER COATED
ALUMINUM FRAME WITH
PATTERNED PERFORATED METAL
INFILL PANELS.



- 4 4' GATE @ SOUTH PATIO**
BLACK POWDER COATED ALUMINUM
FRAME WITH PATTERNED PERFORATED
METAL INFILL PANELS.



- 5 CANOPY**
STEEL CHANNEL FRAME
- LOBBY: LIGHT GRAY POWDER COAT
- LOUNGE: BLACK POWDER COAT
GALVANIZED CORRUGATED METAL PAN DECK.

- 6 ANGLED STEEL COLUMN**
PAINTED BLACK



COURTYARD PERSPECTIVE



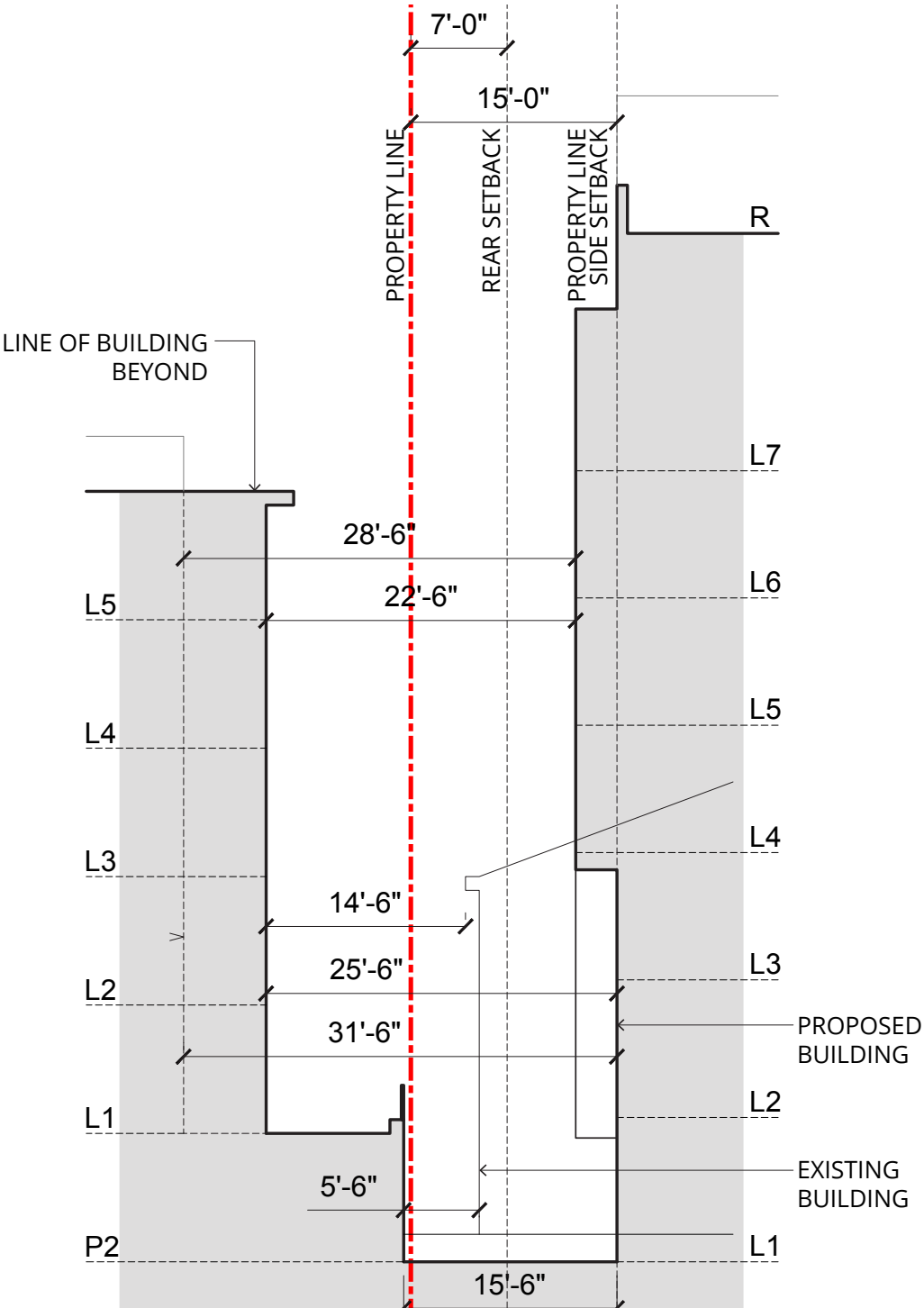
RESIDENT PATIO PERSPECTIVE



*NOT TO SCALE

PRIVACY DIAGRAM

THE PROPOSED REAR SETBACK ACTS AS A SIDE YARD BETWEEN BUILDINGS. THE STANDARD MID-RISE SIDE YARD SETBACK IS 7' AVERAGE (10' AT UPPER LEVELS) - THIS WOULD BE THE TYPICAL DEVELOPMENT PATTERN FOR THIS CONDITION. BECAUSE OF THE LOT ORIENTATION, A LARGER YARD IS ESTABLISHED BETWEEN THE BUILDINGS, PROVIDING GREATER PRIVACY SEPARATION. THE EFFECTIVE SPACE BETWEEN THE BUILDINGS IS 22' AVERAGED WITH LARGE PORTIONS EXCEEDING 28'. EXPERIENTIALLY, THIS IS EQUIVALENT TO AN ALLEY BETWEEN THE BUILDINGS TO OFFSET ANY WINDOW OVERLAP THAT MAY OCCUR.



BUILDING SEPARATION DIAGRAM

SHADOWS DIAGRAM

