

Project Address: 6800 + 6814 Roosevelt Way NE
Seattle, WA 98115
Project Number: DPD# 3017047
Zone: NC2-40

Development Plans

Objectives

Our objective is to construct a well-designed building that creates excellent urban housing and contributes to the character of its surroundings by:

- Adding to the retail activity and character of Roosevelt Way NE
- Creating residential units with convenient access to nearby transit systems and amenities
- Making light-filled units that create great spaces for urban living
- Defining and activating the street edge
- Provide parking to not add to a potential future neighborhood shortage.

Approximate Structure Size

The zoning allows a 40-foot height, and the design intent is to use the full height for four residential stories over a single-story mixed-use base along with 2 levels of below grade parking. The building mass that abuts the residential zone will step back along the east lot line to provide more separation from the adjacent homes.

Retail

This site along a prominent arterial is well suited to street-level retail use. We anticipate approx. 2,000 SF of Retail.

Residential

Four floors of residential units are proposed above the first floor residential and retail. The following factors inform the configuration of the residential units:

- 'L' shaped site
- One property line facing an arterial street edge and two property lines facing non-arterial street edges
- East property line adjoining neighboring parcels with both commercial and residential zoning
- Sloped site from North to south and east to west

The overall massing is essentially predetermined by the zoning envelope. The design intent is to have 83 units with an advantageous solar orientation, and a building massing that reinforces the urban street edge, while being sensitive to the adjoining residential homes.

Access and Parking

Pedestrian access to retail and the residential lobby is proposed to be off Roosevelt Way NE. Access to parking is proposed off NE 68th St. Market trends indicate that some parking is required for the residential units, but not all of the units require parking due to the proximity of current and future transit systems. No parking is required by zoning due the Urban Center Village overlay. We anticipate 64 stalls of below grade parking.

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Neighborhood Context: Land Uses

The Roosevelt area is an eclectic mix of uses, predominantly commercial along Roosevelt Way surrounded by a mixture of single and multi-family homes. The commercial uses near the site are made up of small retailers, a church, an auto repair shop and a large storage facility. There are several nearby apartment complexes ranging in age and size (3-6 stories).

Neighborhood Context: Architecture

If you continue south on Roosevelt for about a block you will reach Roosevelt's Commercial Core area which contains several restaurants, small to medium retailers and a Whole Foods Market. Roosevelt high school is to the east about a 2 blocks away.

Neighborhood Context: Architecture

The architecture, like the land use, varies widely. The majority of the buildings surrounding the site are older houses generally in nice condition. The apartment buildings closest to the site are fairly simple and have box-like shape with the only style showing up in the change in material or colors of the facade.

Community Landmarks

The newer apartment buildings further south along 65th Street and 66th Street have brick podiums and are more adventurous with bay modulation, which is complemented with a variety of siding materials in a modern style.

Community Landmarks

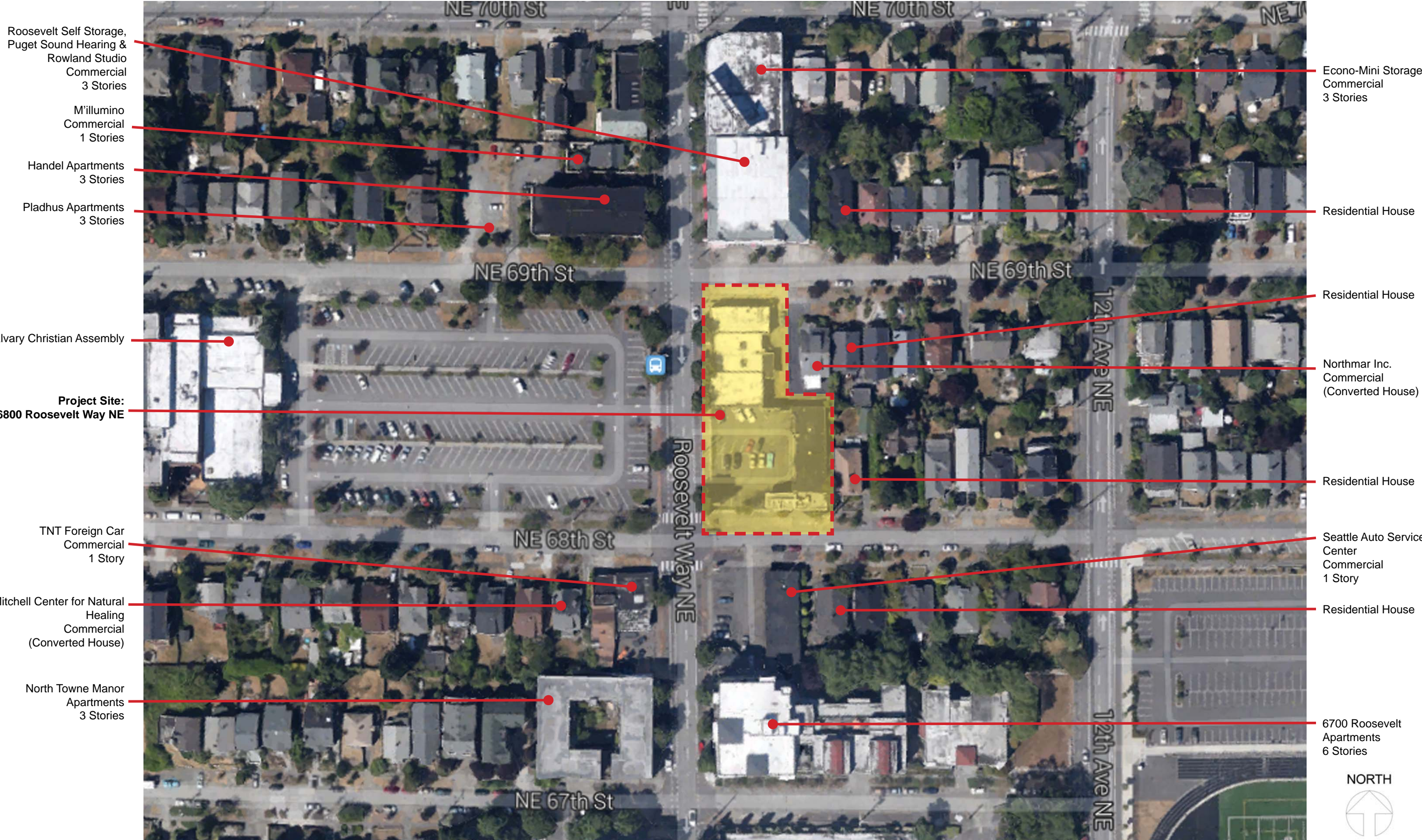
One nearby landmark is Roosevelt High school. The 1920's brick high school is rich in detailing with a more modern addition in similar brick. Though they are not considered historical landmarks some other nearby notable buildings and community spaces are the Calvary Christian Assembly, a large brick church to the west of the site, and north of the site is Froula Park, Green Lake Reservoir and The Roosevelt P-Patch.

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6800 Roosevelt
 Seattle, Washington

DPD# 3017047

Neighborhood
 Early Design Guidance, August 4, 2014



Roosevelt Self Storage,
Puget Sound Hearing &
Rowland Studio
Commercial
3 Stories

M'illumino
Commercial
1 Stories

Handel Apartments
3 Stories

Pladhus Apartments
3 Stories

Calvary Christian Assembly

Project Site:
6800 Roosevelt Way NE

TNT Foreign Car
Commercial
1 Story

Mitchell Center for Natural
Healing
Commercial
(Converted House)

North Towne Manor
Apartments
3 Stories

Econo-Mini Storage
Commercial
3 Stories

Residential House

Residential House

Northmar Inc.
Commercial
(Converted House)

Residential House

Seattle Auto Service
Center
Commercial
1 Story

Residential House

6700 Roosevelt
Apartments
6 Stories



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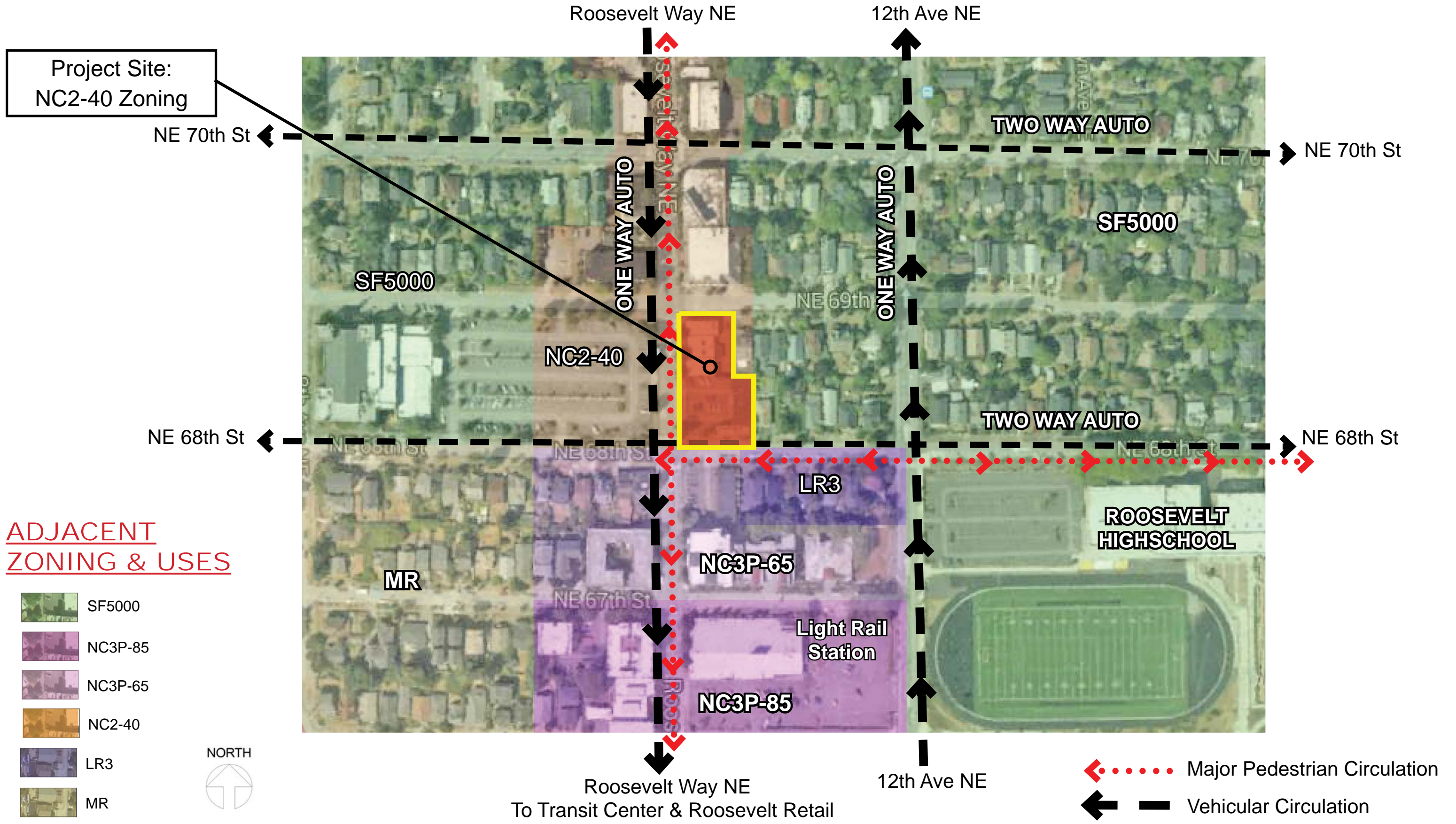
Early Design Guidance, August 4, 2014

Context









Immediate Context:



To the north of the site along Roosevelt is the Mini Storage facility building at the corner of 69th Street and to the south at the corner of 68th Street is an auto repair business. To the west of Roosevelt directly across the street from the site is the Calvary Christian Assembly Church and parking lot. The lots adjacent to the east are two residential houses, one of which has been converted to commercial use.



ADJACENT ZONING & USES

-  SF5000
-  NC3P-85
-  NC3P-65
-  NC2-40
-  LR3
-  MR

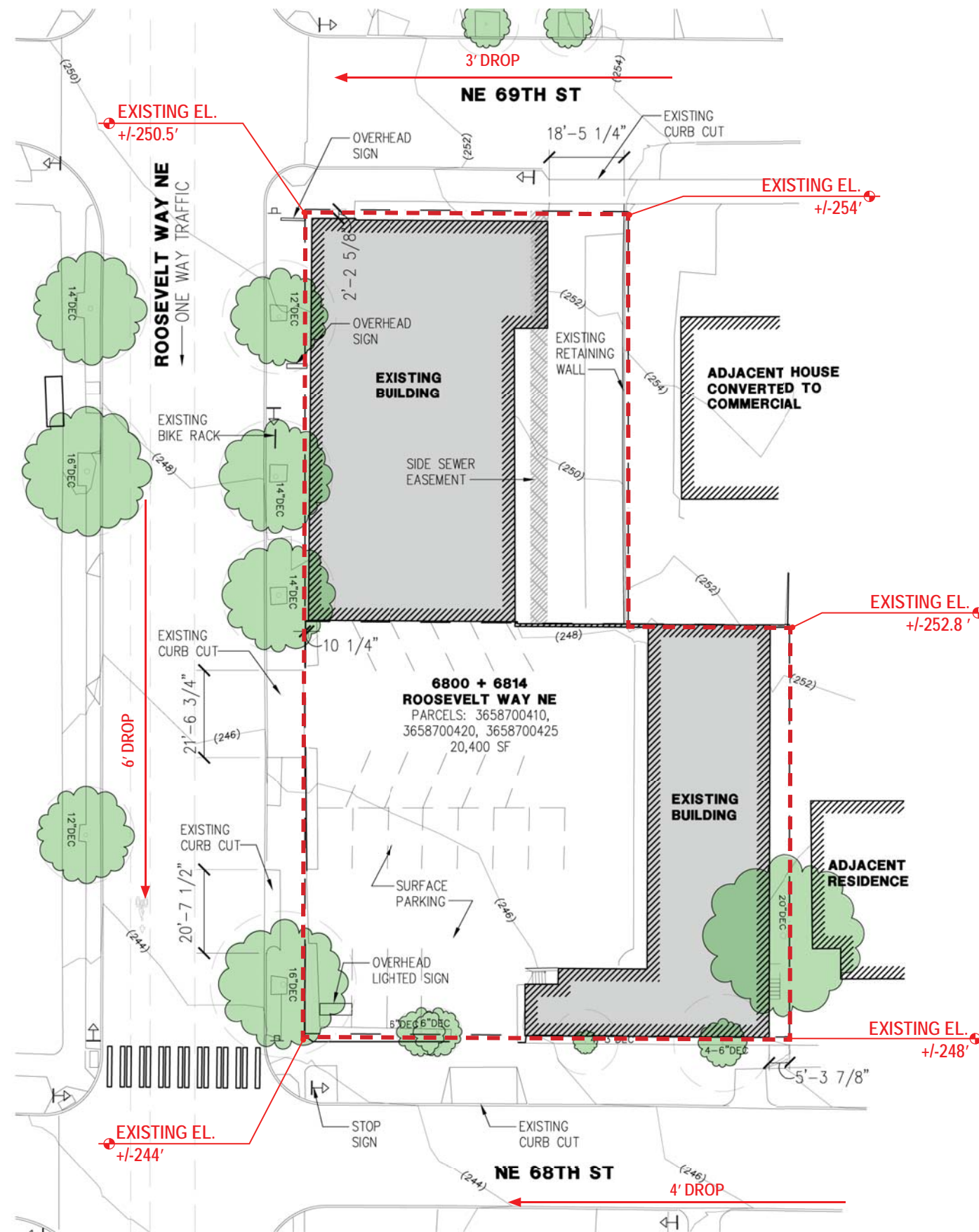


-  Major Pedestrian Circulation
-  Vehicular Circulation

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Adjacent Zoning & Surrounding Circulation
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Site Conditions

Uses

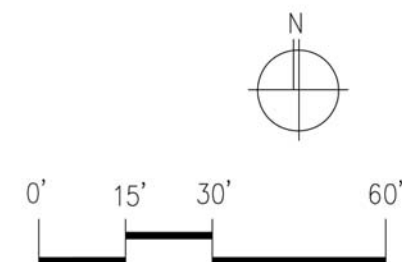
The site is located along the east side of Roosevelt Way NE between NE 68th Street and NE 69th Street. The northern portion of the site contains a single story retail building with three storefronts (Discovery Shop, Allstate, and Found it). The southern portion of the site contains Hermann's International Auto Service with a parking lot in front.

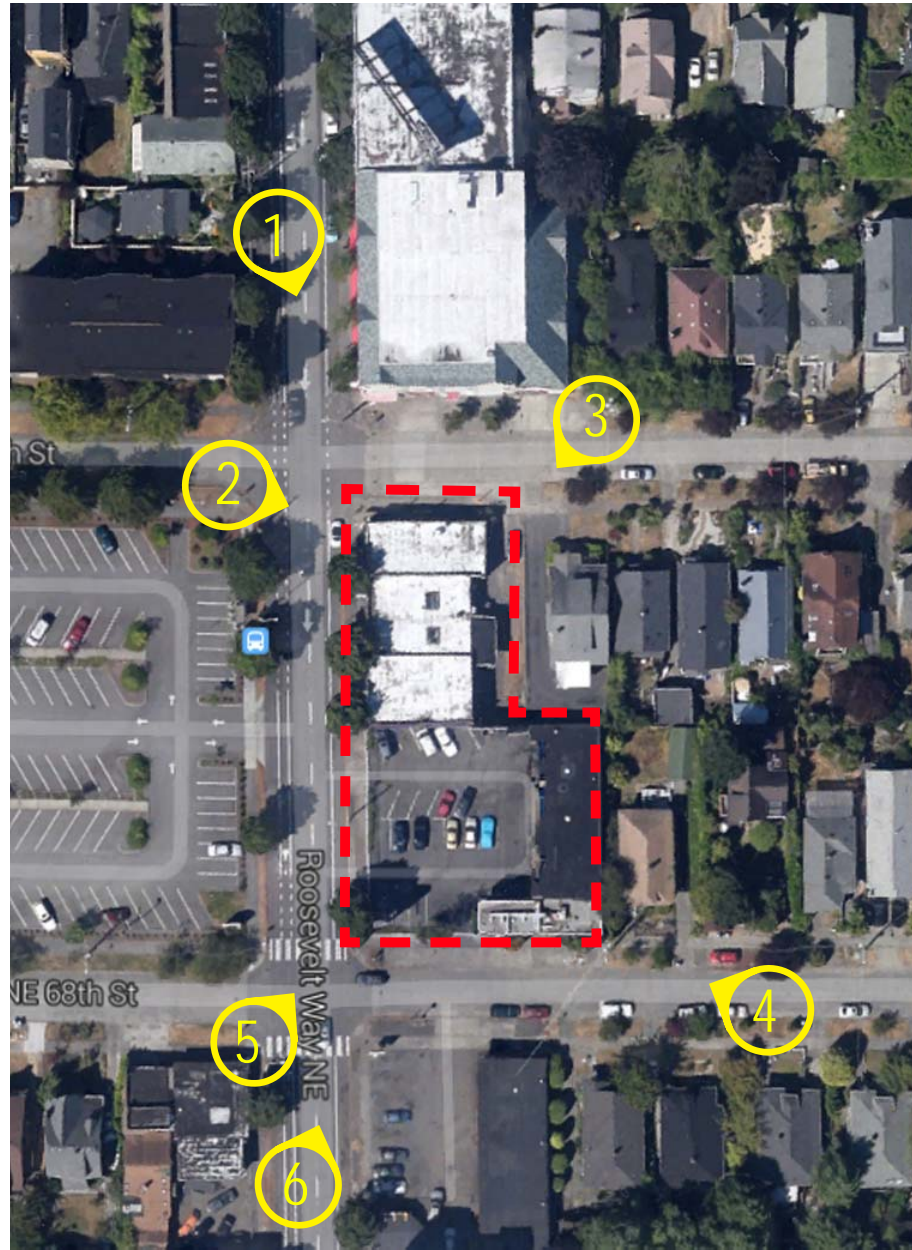
Topography

The site is on slope and varies up to 6' from North to South. The site also slopes from East to West and varies up to 4'. The property abuts both a residential property and a commercial property. There are no alleys adjacent to the site.

Access

The site abuts Roosevelt Way, NE 68th St and NE 69th St., which all provide pedestrian and vehicular access opportunities.





1 VIEW OF SITE FROM THE NORTHWEST



2 VIEW OF SITE FROM THE NORTHWEST



3 VIEW OF SITE FROM THE NORTHEAST



4 VIEW OF SITE FROM THE SOUTHEAST



5 VIEW OF SITE FROM THE SOUTHWEST



6 VIEW OF SITE FROM THE SOUTHWEST

NE 69TH ST

NE 68TH ST

Project Site:
6800 + 6814 Roosevelt Way NE



① Roosevelt Way NE - East Side

Seattle Auto Service

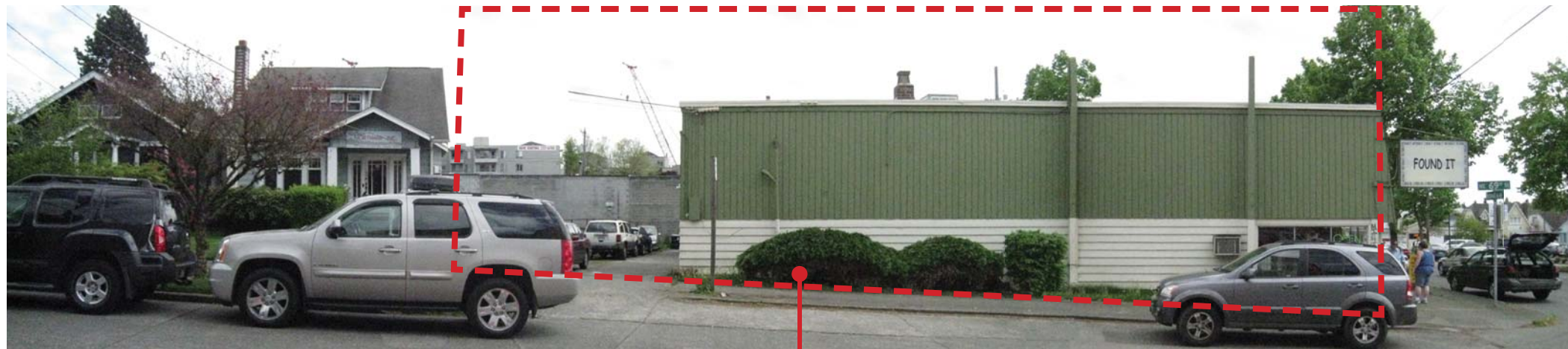


② NE 68th Street - North Side

Project Site



Key Plan



③ NE 69th Street - South Side

Project Site

NE 68TH ST

NE 69TH ST



① Roosevelt Way NE - West Side

Calvary Christian Assembly

Project Site Opposite



② NE 68th Street - South Side

Project Site Opposite

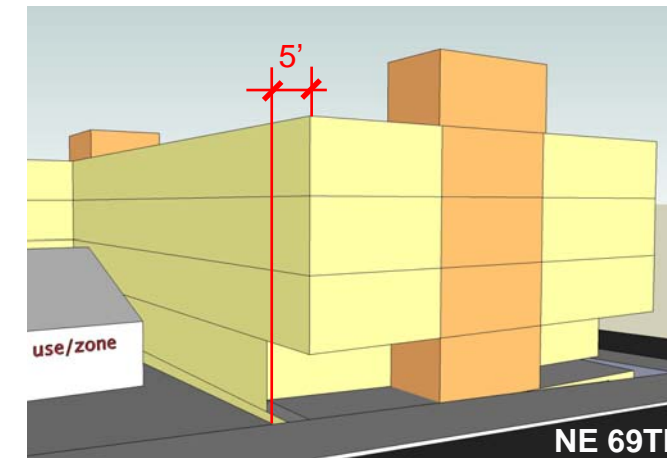


Key Plan



③ NE 69th Street - North Side

Project Site Opposite



NE Corner

- Residential
- Common Area

Street Level

Residential entrance and lobby along Roosevelt Way in southwest corner of the site. Residential units are also provided along Roosevelt Way, 68th and 69th St. and recessed to accommodate street level requirements.

Upper Levels

Double-loaded corridors with residential units facing east and west. Units look out over Roosevelt Way and 2 neighboring properties (one single family parcel and one commercial). The southern portion of the east facade is set back 15 feet from the property line after the first floor and continues up to the top floor.

Amenity Space

Provided on roof of the first floor and the roof of the 5th floor.

Upper Level Modulation

The upper level west facade is modulated to provide bay windows at residential units along Roosevelt Way. The east facade is unmodulated with balconies. The upper level north facade and south facade are unmodulated.

Green Factor:

Landscaping will be provided in planters around the site and through the use of green roof.

Floor Area

Total: 81,519 gsf (1,452 gsf below grade)

FAR: $81,519 / 20,400 = 4.00$ (4.0 Max Allowable)

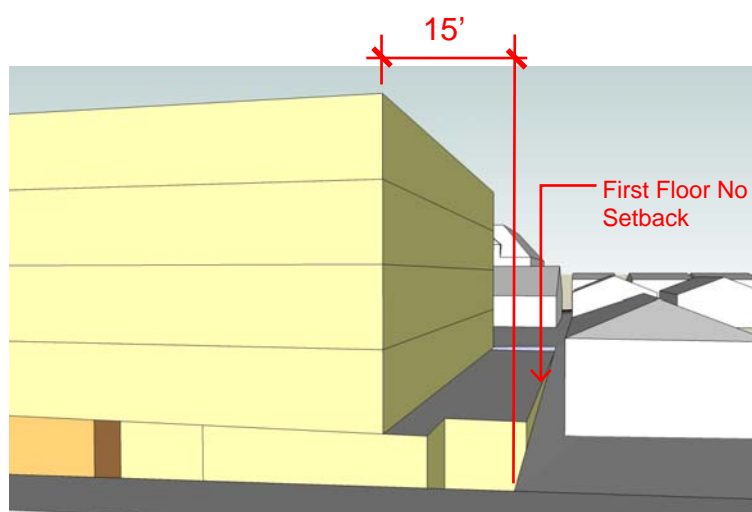
Residential Units

118 Units

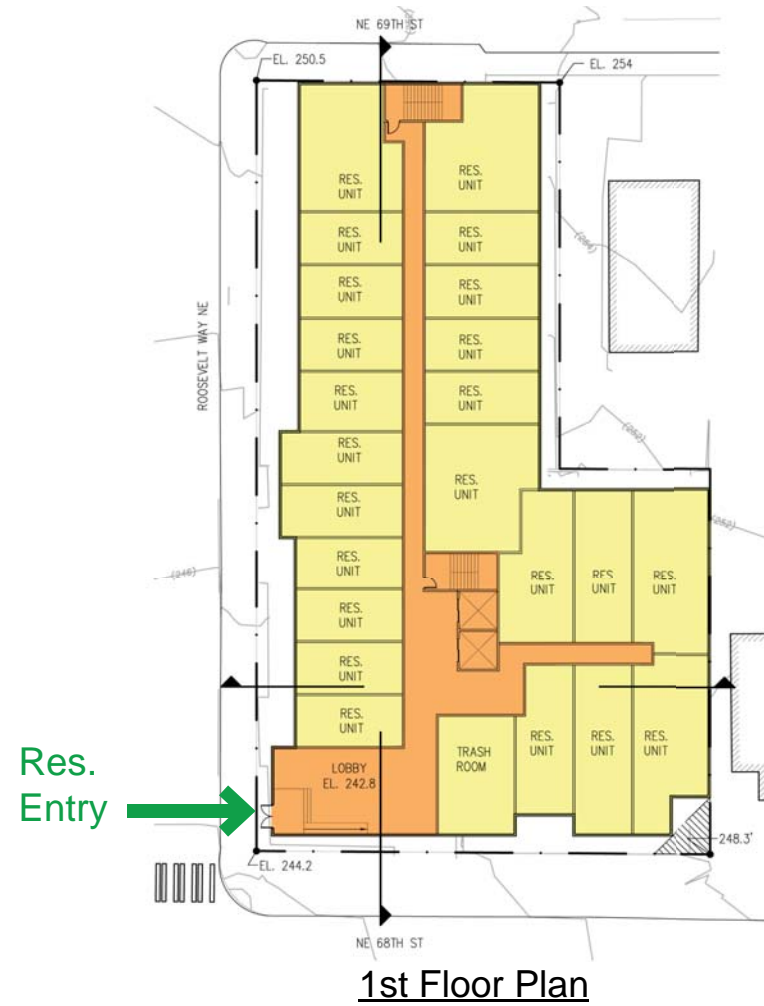
NW Aerial



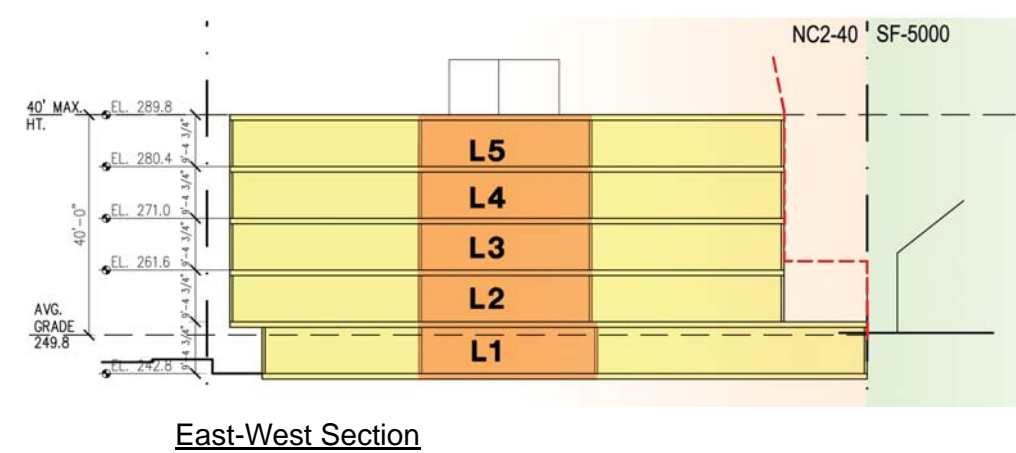
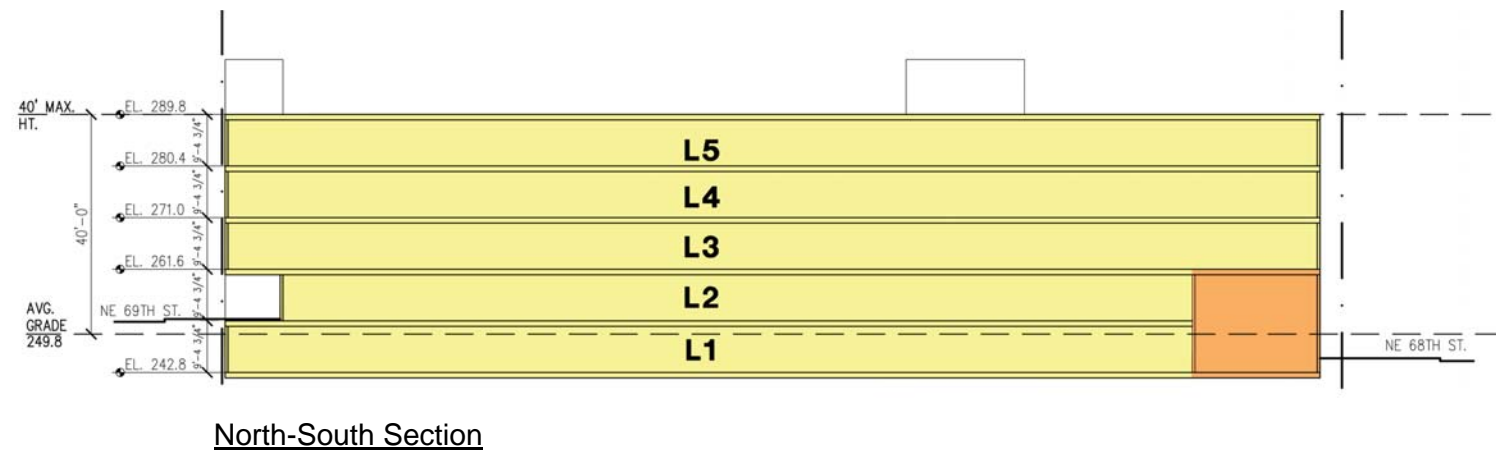
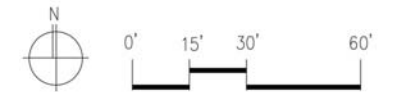
SW Aerial



SE Corner

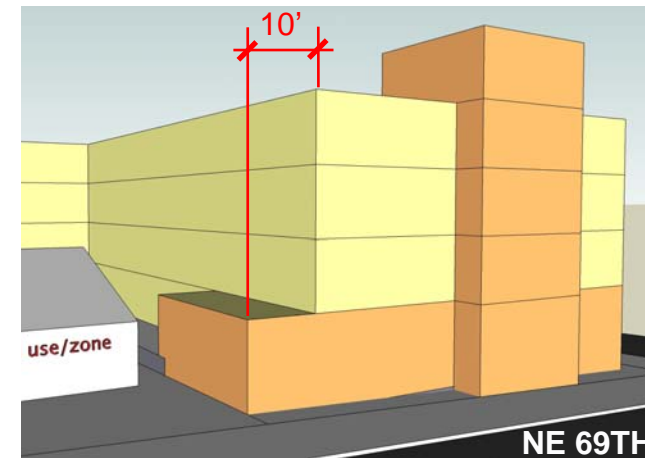


Residential
Common Area





NW Aerial



NE Corner

- Residential
- Common Area
- Retail
- Parking

Street Level

Retail shop space along Roosevelt Way with a residential entrance and lobby in the northwest corner of the site and parking access on the southeast corner. The parking garage is partially below grade and part of it fronts on Roosevelt Way

Upper Levels

Double-loaded corridors with residential units facing east and west. Units look out over Roosevelt Way and 2 neighboring properties (one single family parcel and one commercial). The southern portion of the east facade is set back 15 feet from the property line after the first floor and continues up to the top floor.

Height Bonus

The height of the structure is allowed to exceed the applicable height limit by 4ft due to a floor-to-floor height of 13' for nonresidential street level uses. (23.47A.012.A.1.a)

Amenity Space

Provided on the roof of the first floor and the roof of the 5th floor.

Upper Level Modulation

The upper level west facade is modulated to provide bay windows at residential units along Roosevelt Way. The east facade is unmodulated with balconies. The upper level north facade provides modulation at the stair tower and the south facade has a step to accommodate the 15' triangle setback adjacent to a residential zone.

Green Factor:

Landscaping will be provided in planters around the site and through the use of green roof.

Floor Area

Total: 79,874 gsf (1,534 gsf below grade)

FAR: 79,874 / 20,400 = 3.92 (4.0 Max Allowable)

Residential Units

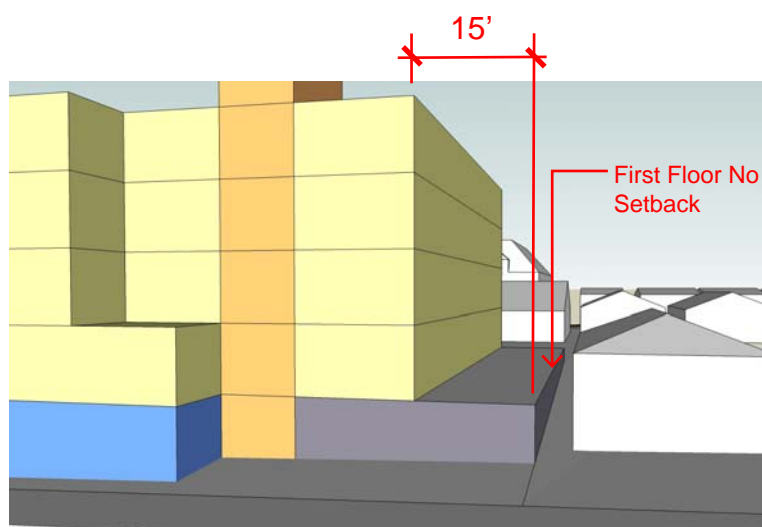
71 Units

Parking Stalls Provided

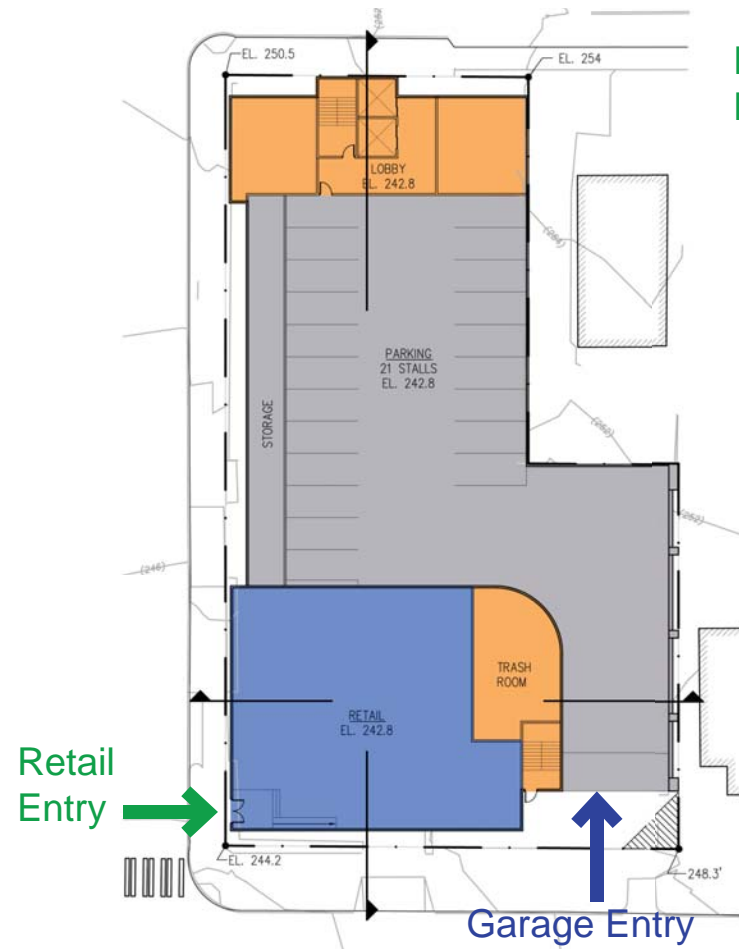
21 Stalls



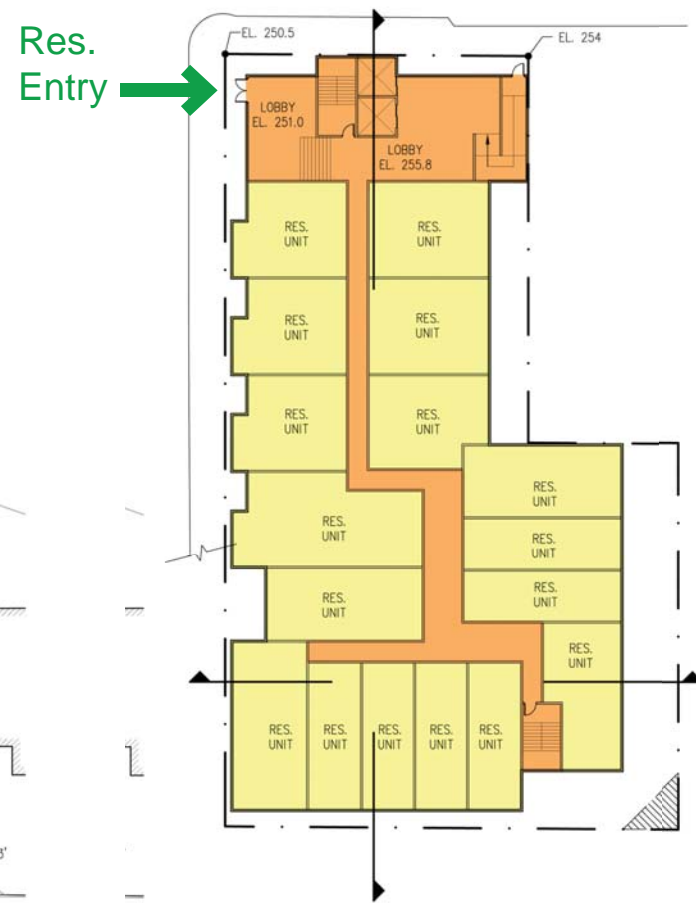
SW Aerial



SE Corner



1st Floor Plan

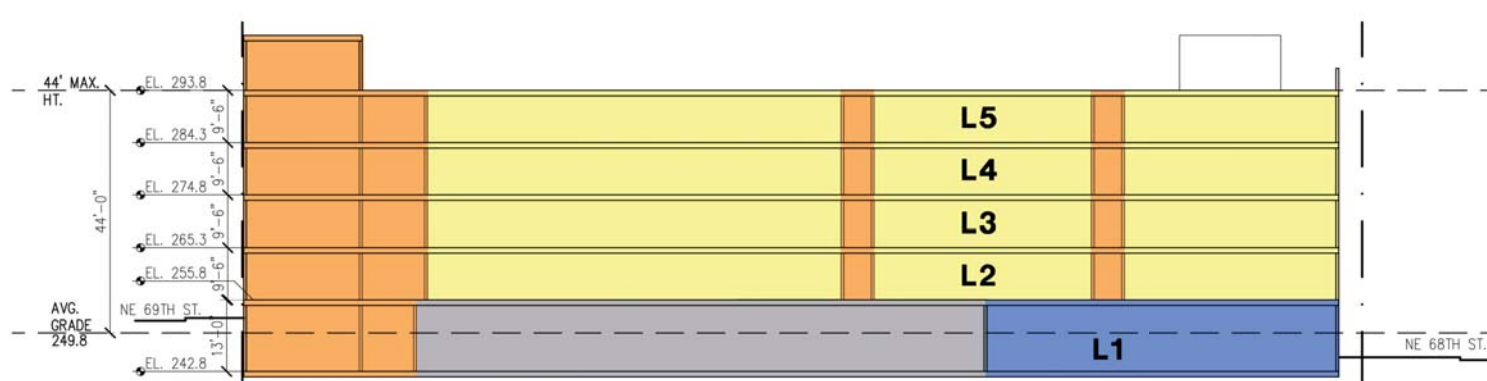
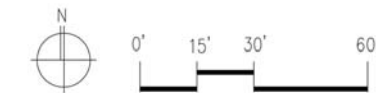


2nd Floor Plan

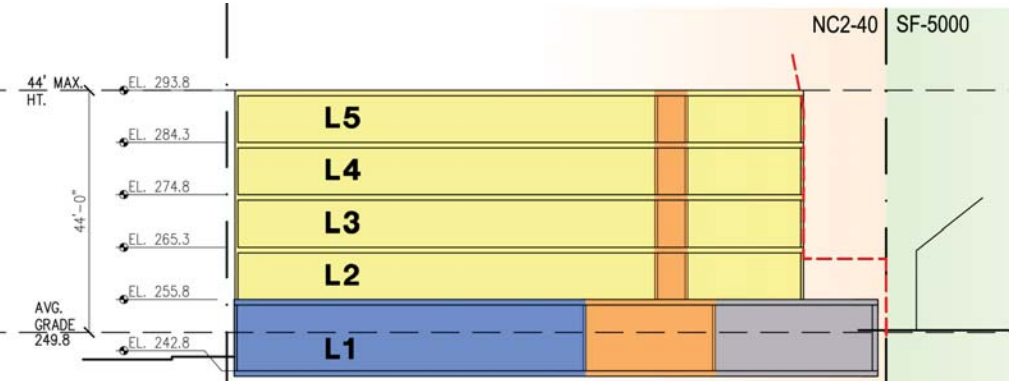


3rd-5th Floor Plan

- Residential
- Common Area
- Retail
- Parking



North-South Section

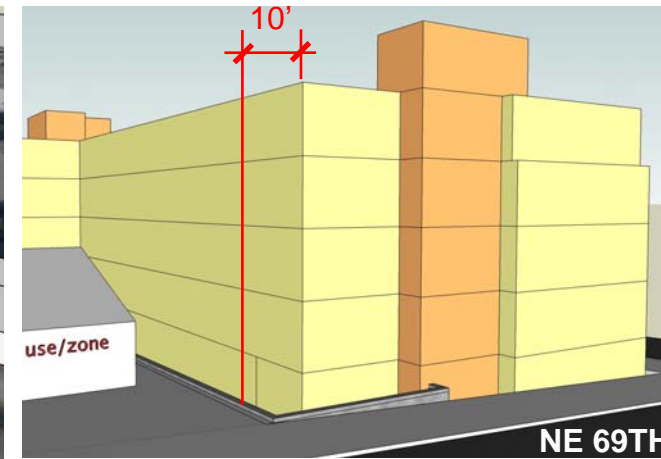


East-West Section





NW Aerial



NE Corner

- Residential
- Common Area
- Retail
- Parking

Street Level

Retail shop space along Roosevelt Way on the southwest corner of the site with the residential entrance and lobby next to the retail along Roosevelt Way and parking access on the southeast corner. The base façade is recessed to provide garden terraces for the first floor residential units.

Upper Levels

Double-loaded corridors with residential units facing east and west. Units look out over Roosevelt Way and 2 neighboring properties (one single family parcel and one commercial). The building is stepped- the northern portion is 5 stories and the southern portion is 4. The southern portion of the east facade is set back 15 feet from the property line after the first floor and continues up to the 4th floor.

Height Bonus

The height of the structure is allowed to exceed the applicable height limit by 4ft due to a floor-to-floor height of 13' for nonresidential street level uses. (23.47A.012.A.1.a)

Amenity Space

Provided on the roof of the first floor, the roof of the 4th floor and the roof of the 5th floor.

Upper Level Modulation

The upper level west facade is modulated to provide bay windows at residential units along Roosevelt Way. The east facade is unmodulated with balconies. The north facade steps back as it moves to the east. The south facade steps back to accommodate the 15' triangle setback adjacent to a residential zone.

Green Factor:

Landscaping will be provided in planters around the site, within the landscape buffer/Residential setbacks and through the use of green roof.

Floor Area Ratio

Total: 73,155 gsf

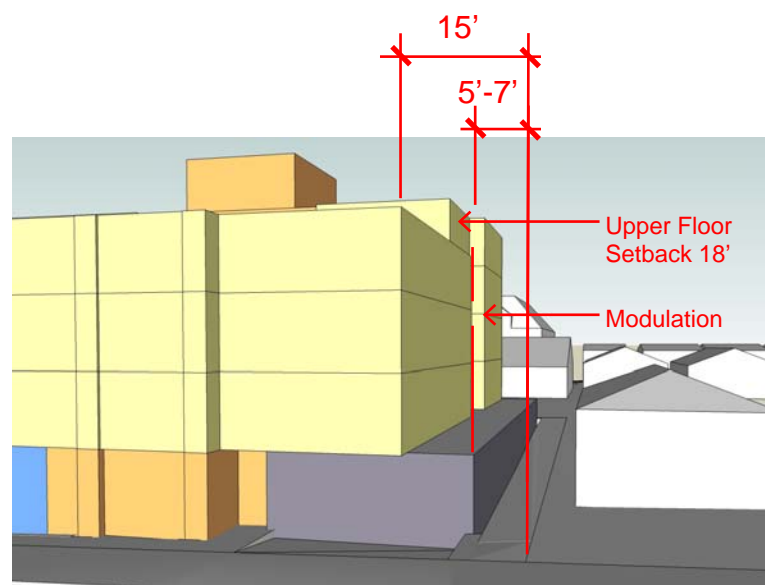
FAR: $73,155 / 20,400 = 3.59$ (4.0 Max Allowable)

Residential Units

83 Units

Parking Stalls Provided

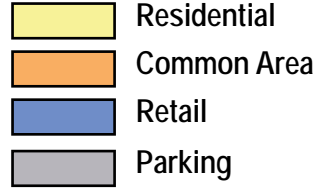
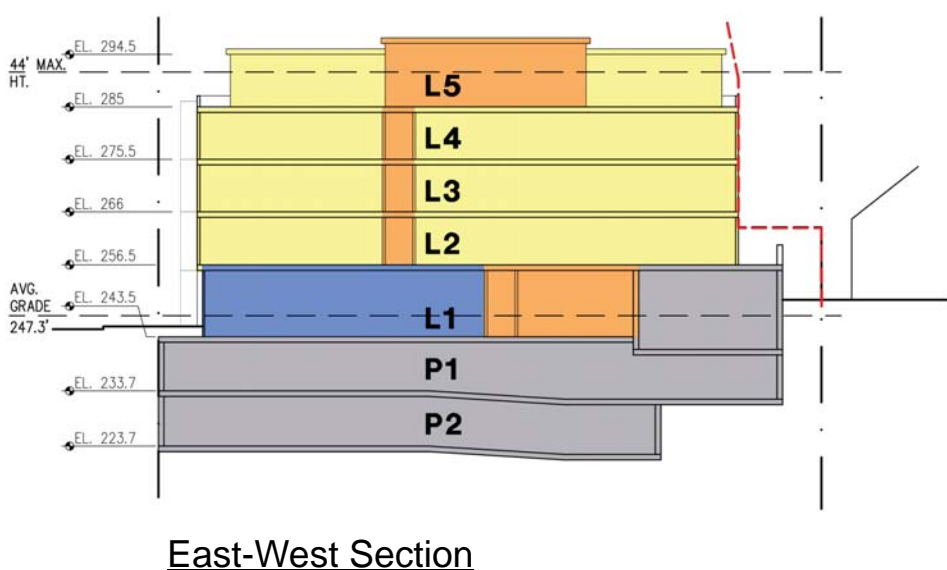
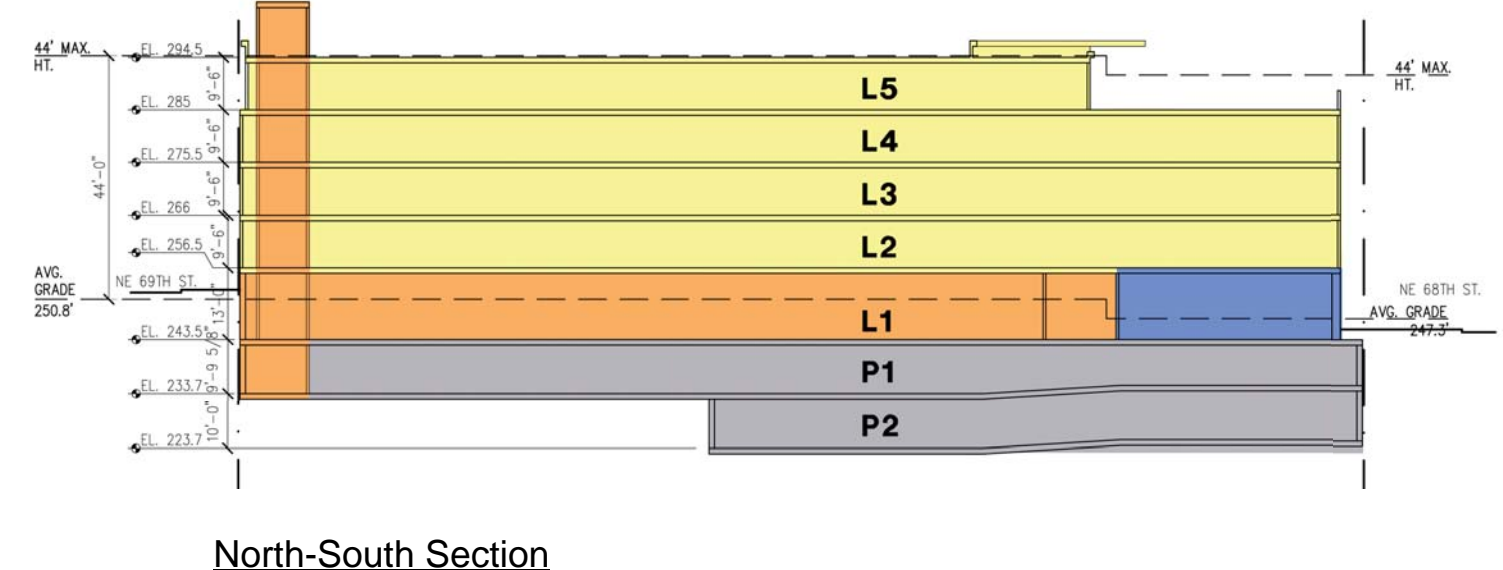
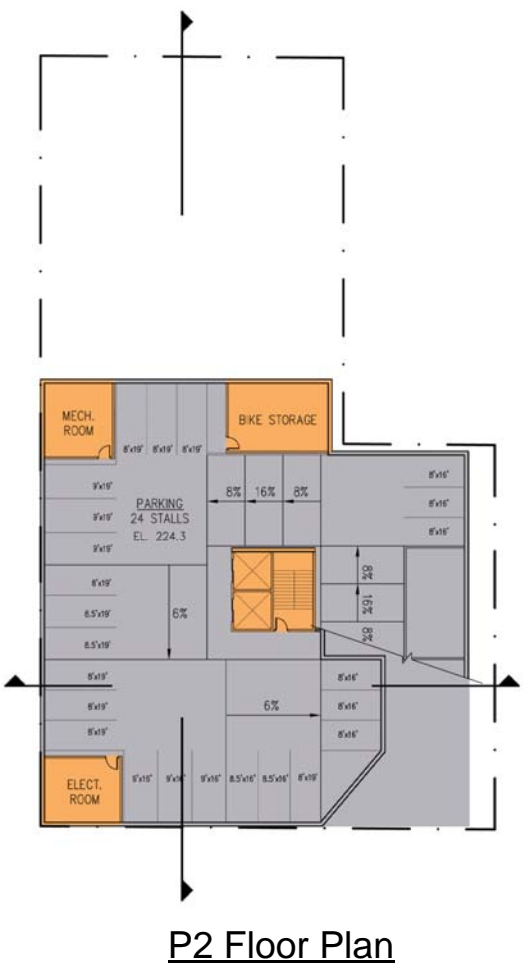
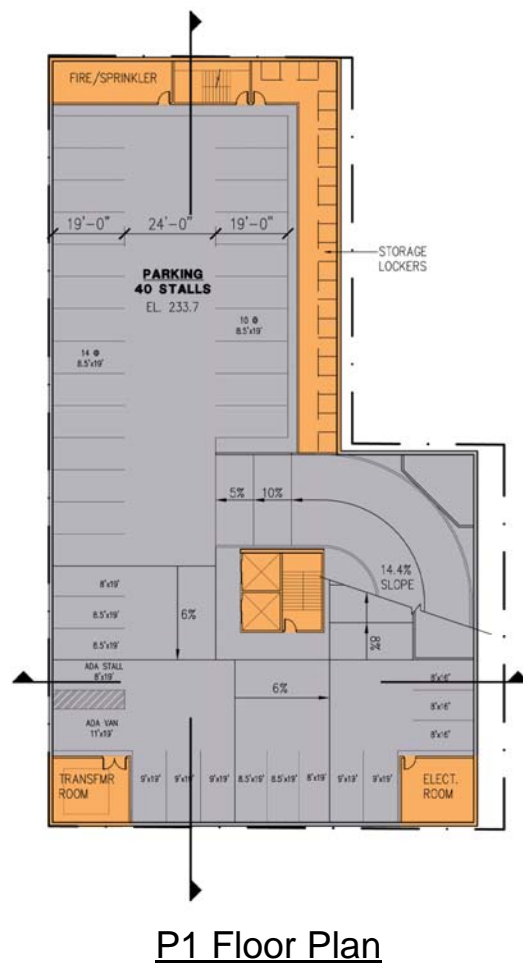
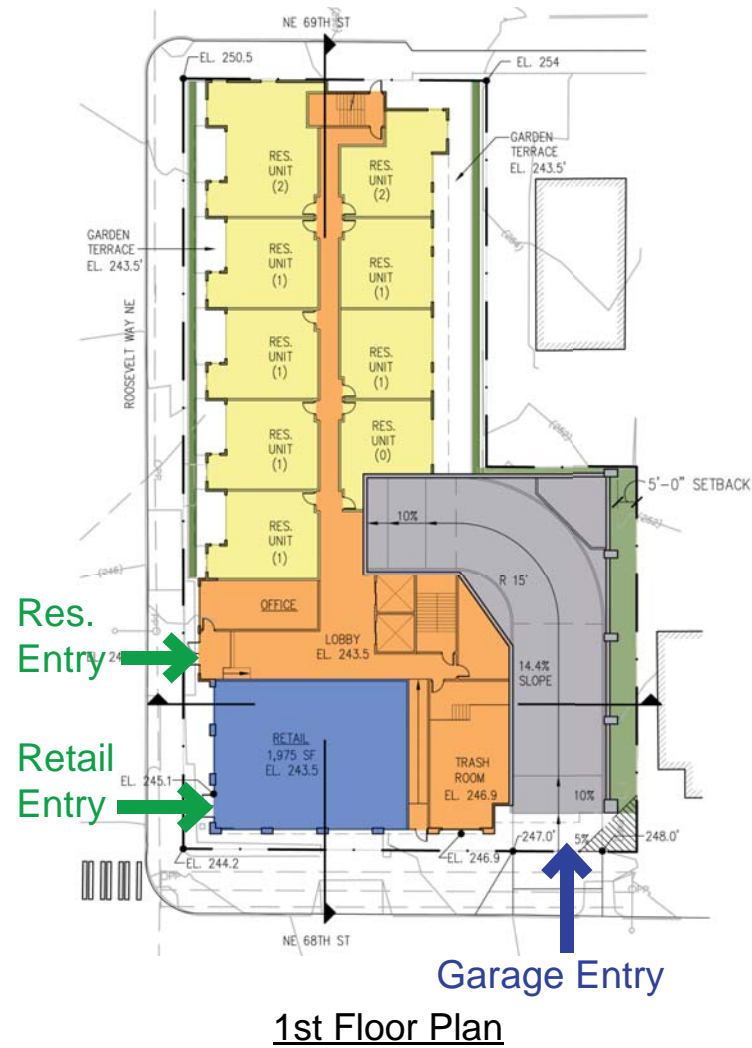
64 Stalls



SE Corner



SW Aerial



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DPD# 3017047

Massing Option Three (Preferred)
Early Design Guidance, August 4, 2014



Massing Option One - Code Compliant

Maximum build out, no retail and no height bonus, residential lobby at Southwest corner, no parking, 5 stories

Residential area – 81,519 GSF (+1,452 gsf below grade), no retail, no parking, FAR: 4.0

Advantages

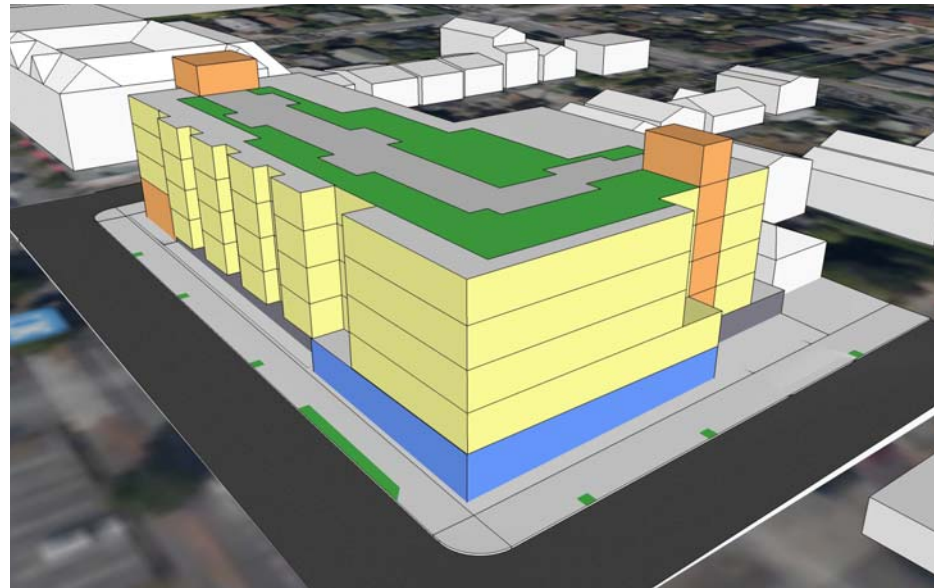
- High residential area & unit count,
- Less complicated project
- Lower overall height
- Convenient entrance lobby location to exterior circulation
- No curb cuts and auto traffic
- No departures.

Challenges

- No parking
- Short height first floor units are depressed below sidewalk level providing little natural light
- First floor units below grade have shallower terraces
- No step in mass along Roosevelt Avenue
- Residential entry location requires longer distance between entrance lobby and core
- Northern portion of east facade allows only 25% glazing (building code requirement) and only Juliet balconies due to distance from property line
- First floor southern portion of east façade adjacent to residential is on property line
- No stepping or modulation of east facade
- No retail and minimal ground-level landscaping

Required Departures

- None



Massing Option Two - Code Compliant

Large retail at Southwest corner with height bonus, lobby at Northwest corner, 5 stories

Residential area – 65,788 GSF (+797 gsf below grade), Retail- 4,351 GSF, Parking- 9,735 GSF (+ 737 below grade) - 21 parking stalls, FAR: 3.92

Advantages

- Retail space at SW corner
- Some parking
- Less excavation and shoring
- No residential units below grade
- Northern portion of east façade allows more glazing (45%) and full balconies due to distance from property line

Challenges

- Lowest residential area/unit count
- Intermediate floor lobby/entry level requires unusual and inefficient lobby configuration
- Taller mass with no modulation adjacent to residential zone
- No step in mass along Roosevelt Avenue
- Residential entry location requires core location which results in less efficient floor plate
- Residential entry and lobby location is less convenient to exterior circulation
- Lack of street interaction between Roosevelt sidewalk and Level 1 storage/parking.

Required Departures

- None



Massing Option Three - Preferred

Smaller retail with height bonus and stepped average grade and stepped building, entrance at SW corner, 4-5 stories

Residential area – 67,765 GSF, Retail- 1,994 GSF, Parking- 3,396 GSF (+ 29,765 GSF Below Grade) - 64 Stalls, FAR: 3.59

Advantages

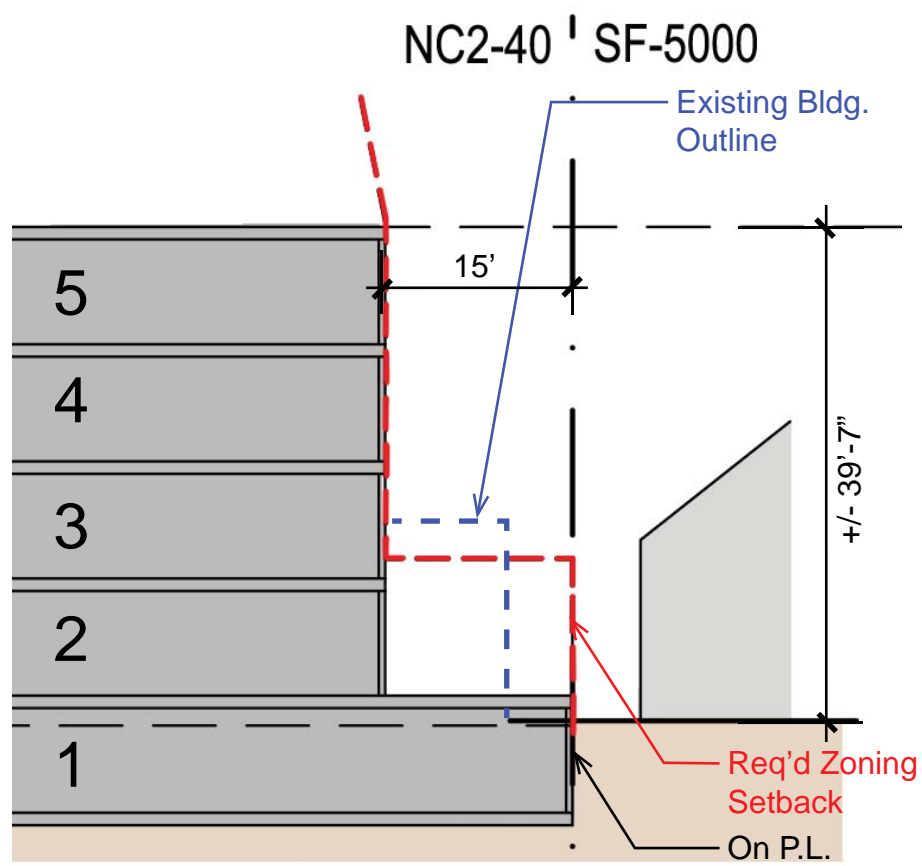
- More residential area with appropriately sized retail at SW corner
- Building steps down along Roosevelt Avenue
- Lower building mass with modulation adjacent to residential zone
- First floor southern portion of east side is set back more than 5 feet with landscape buffer
- Taller first floor units below grade provide more natural light and generous terraces
- Roof terrace at south end top floor
- More parking
- Northern portion of east facade allows more glazing (45%) and full balconies due to distance from property line
- More massing modulation and increased setbacks with ground-level landscaping and a vibrant street presence.

Challenges

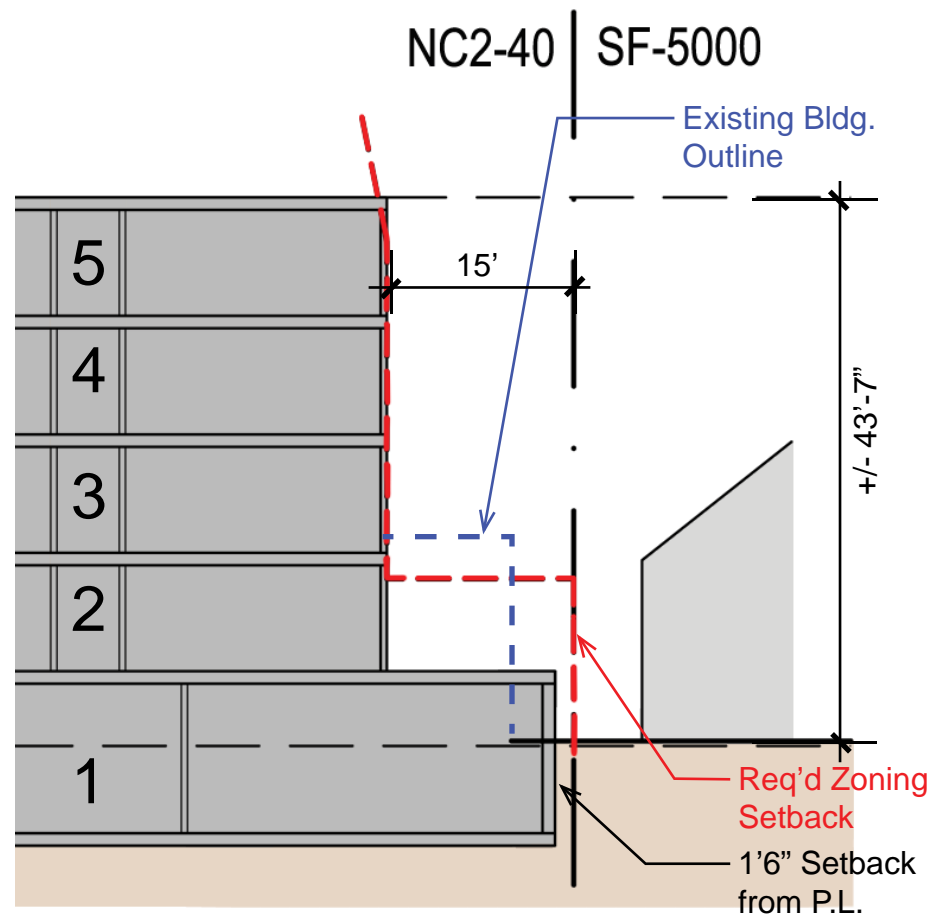
- More complex construction and more excavation and shoring required
- Smaller building with less residential area/units

Required Departures

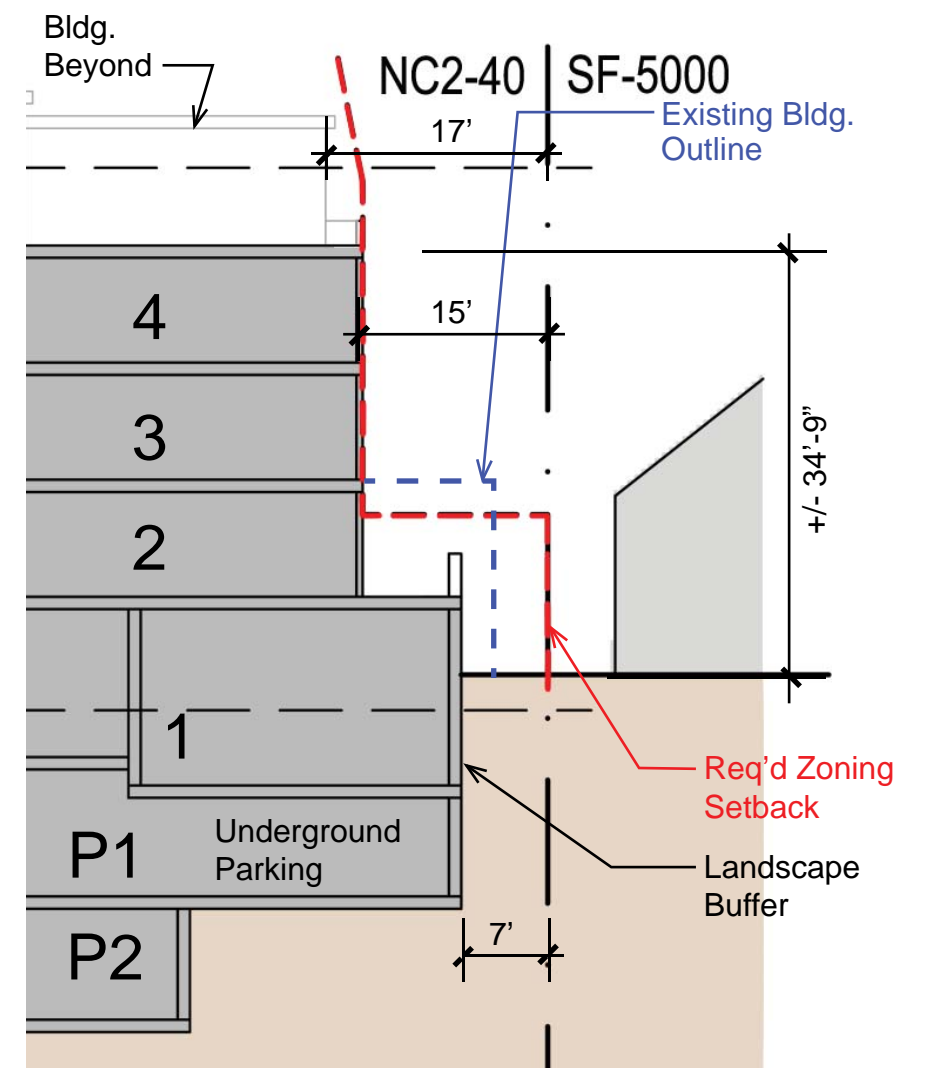
- To allow 3 small residential bays to be less than 10 feet from the street property lines while having a floor line within 4 feet of sidewalk grade.
- See Preferred Scheme: Requested Departure page 24.



Option 1



Option 2



Preferred Option 3



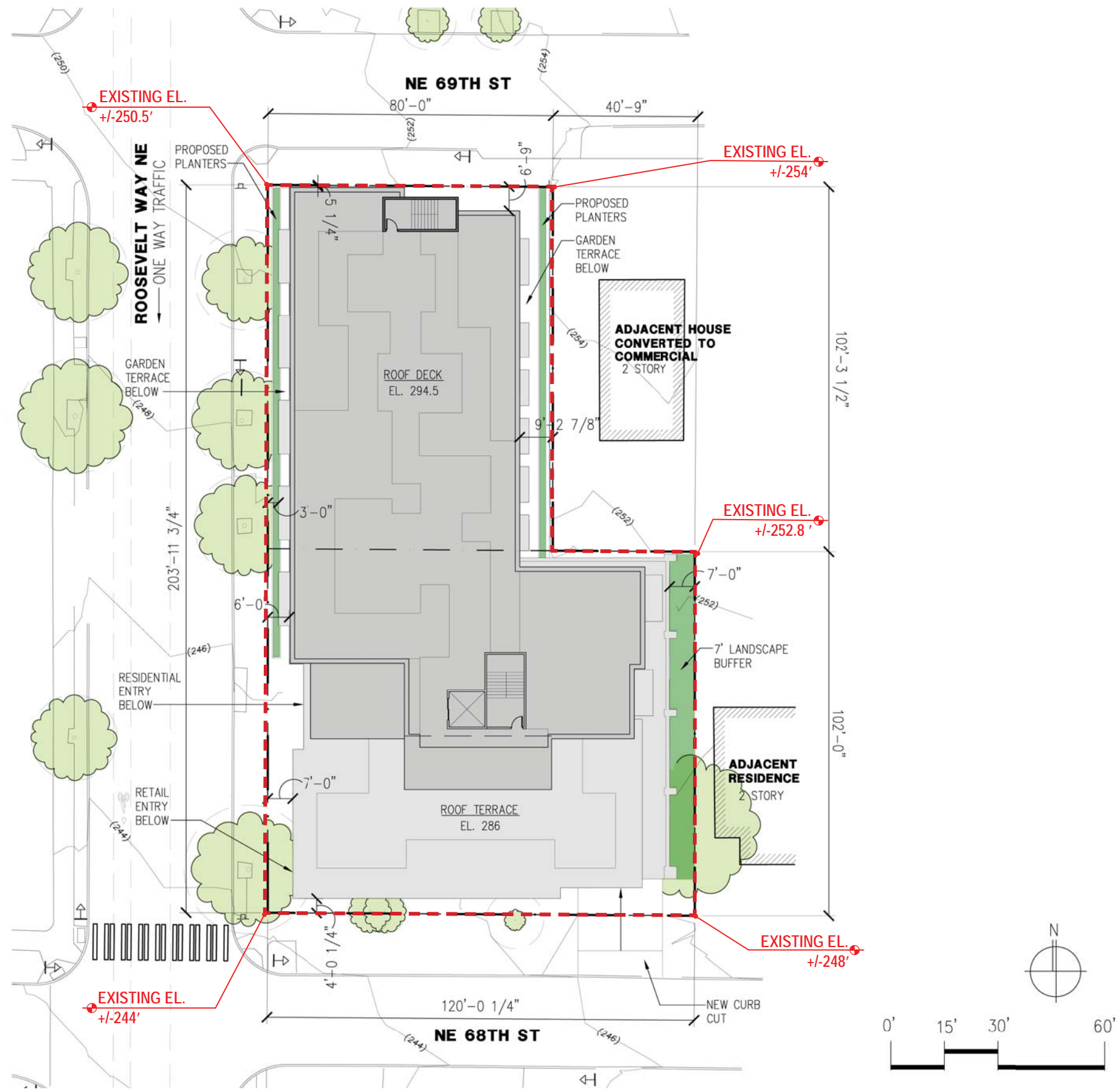
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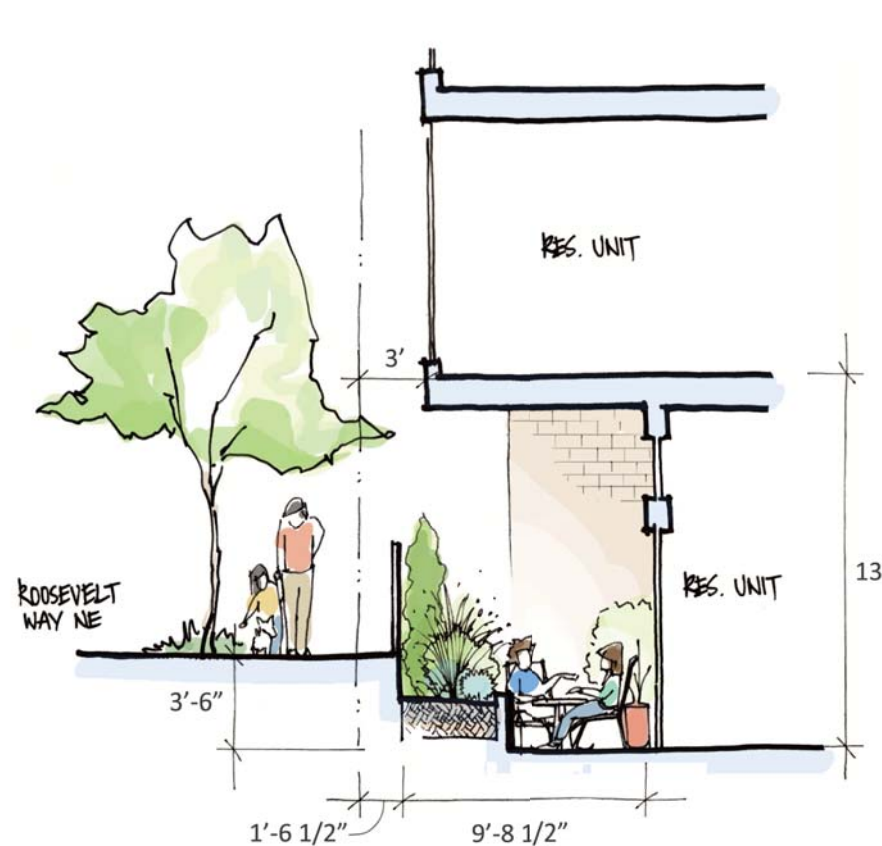
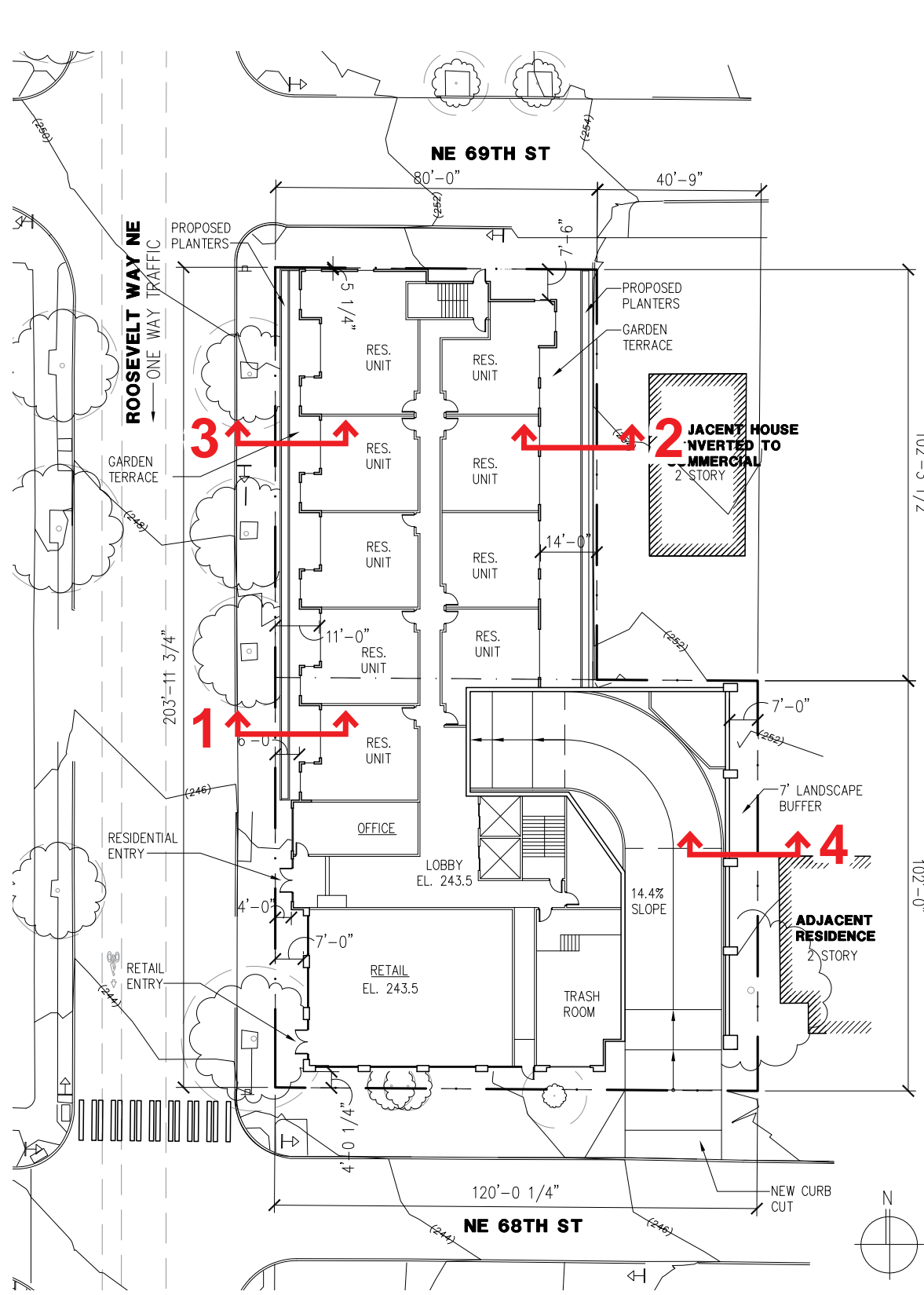
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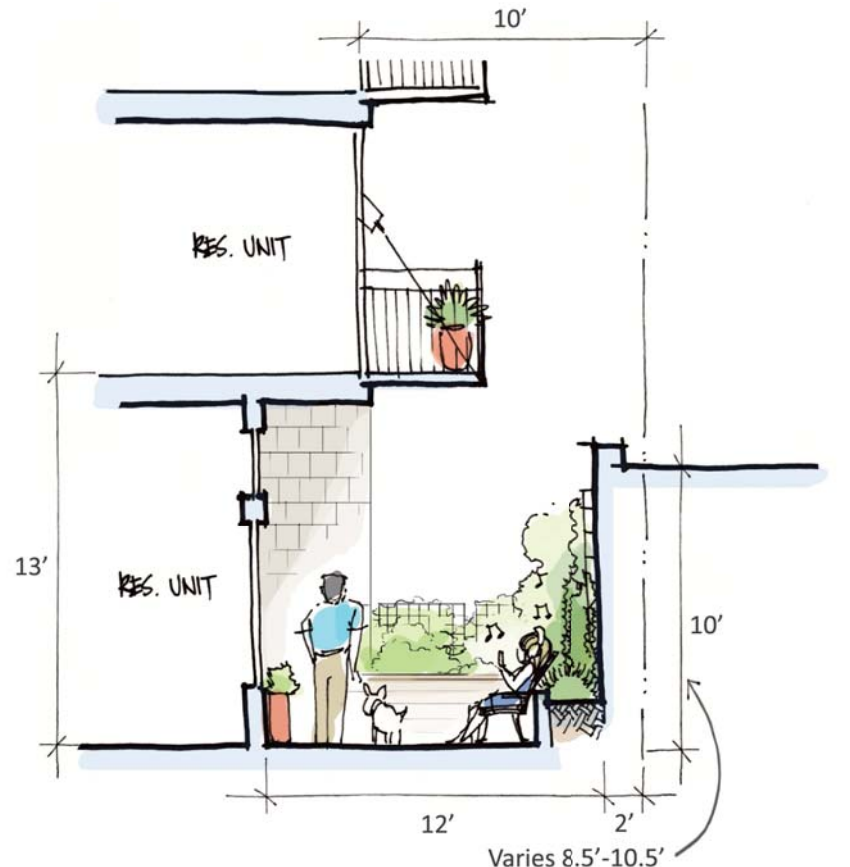


Residential Transition Condition
 Early Design Guidance, August 4, 2014

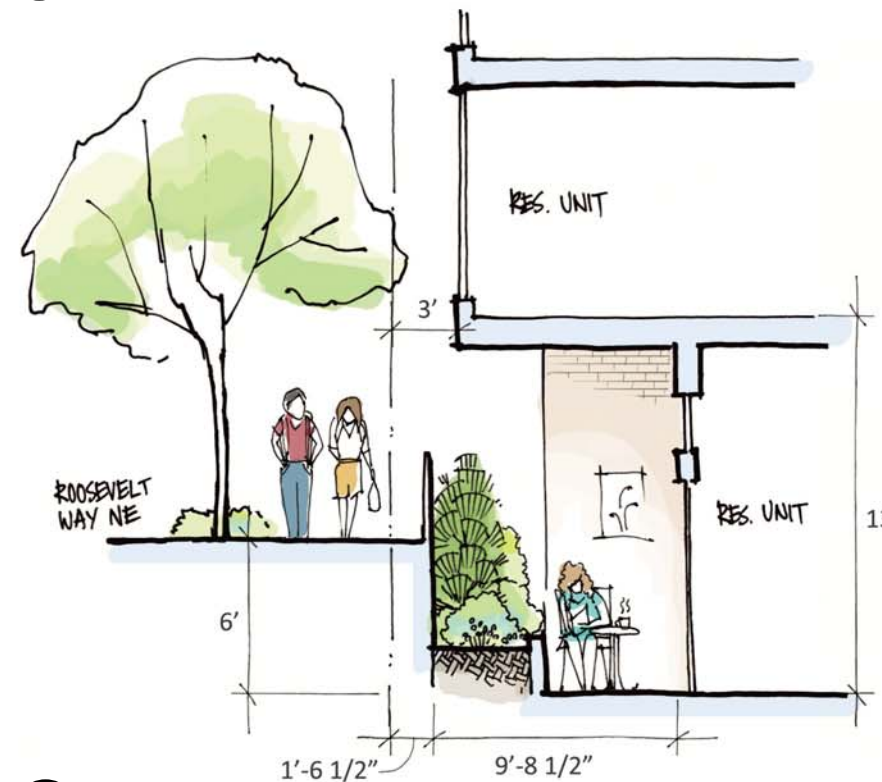




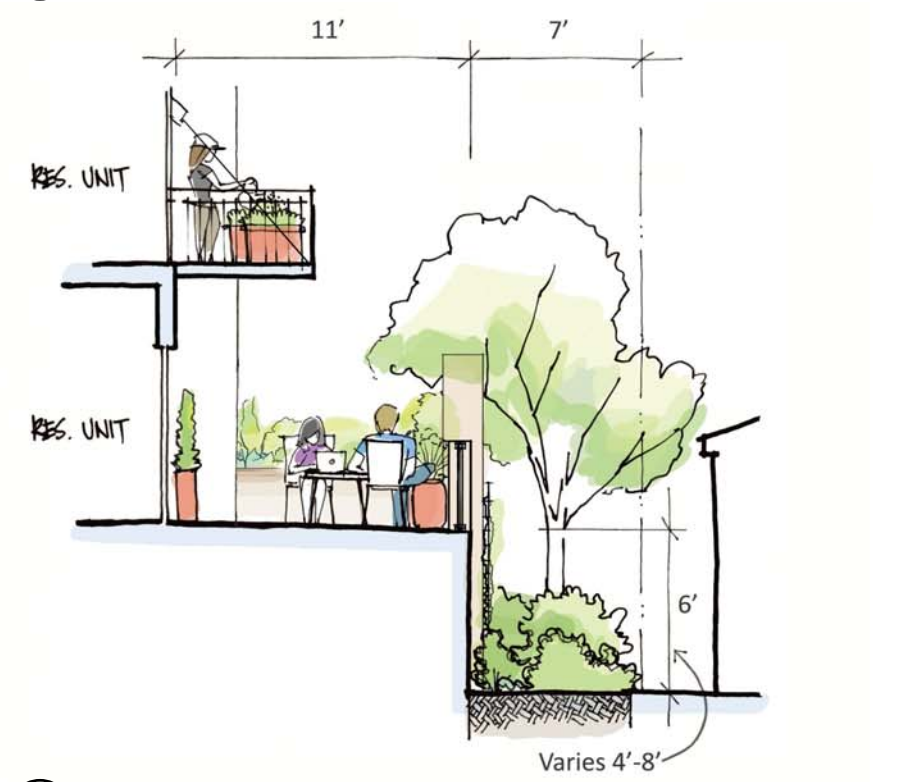
1 GARDEN UNIT ALONG ROOSEVELT WAY



2 GARDEN UNIT ADJACENT TO COMMERCIAL HOUSE



3 GARDEN UNIT ALONG ROOSEVELT WAY



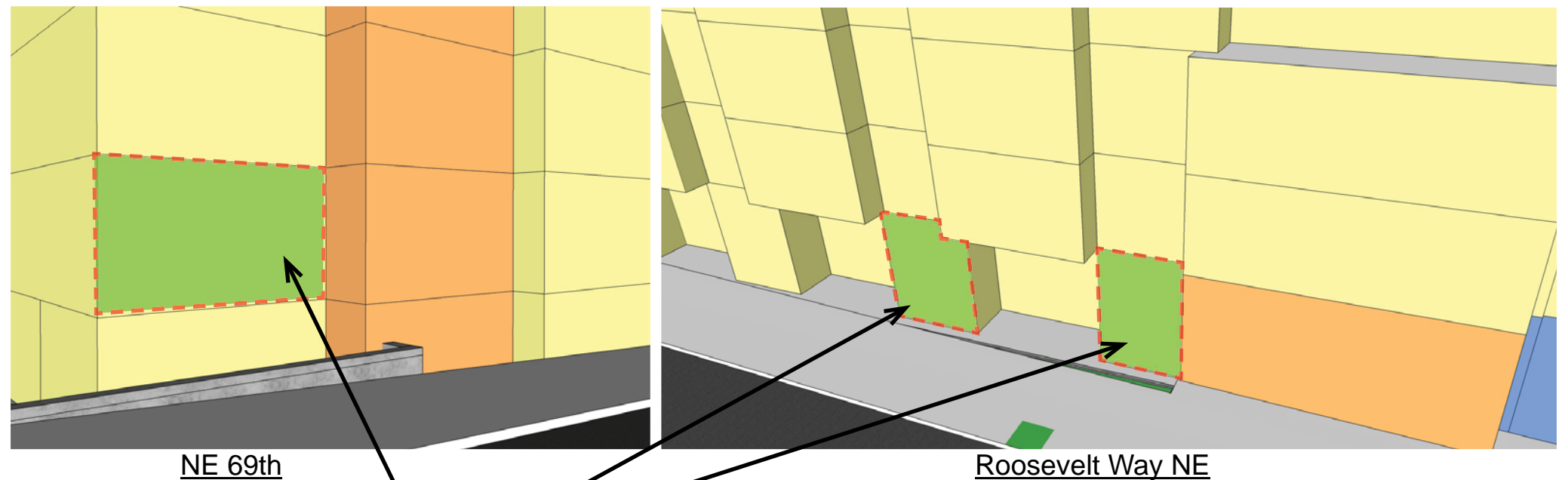
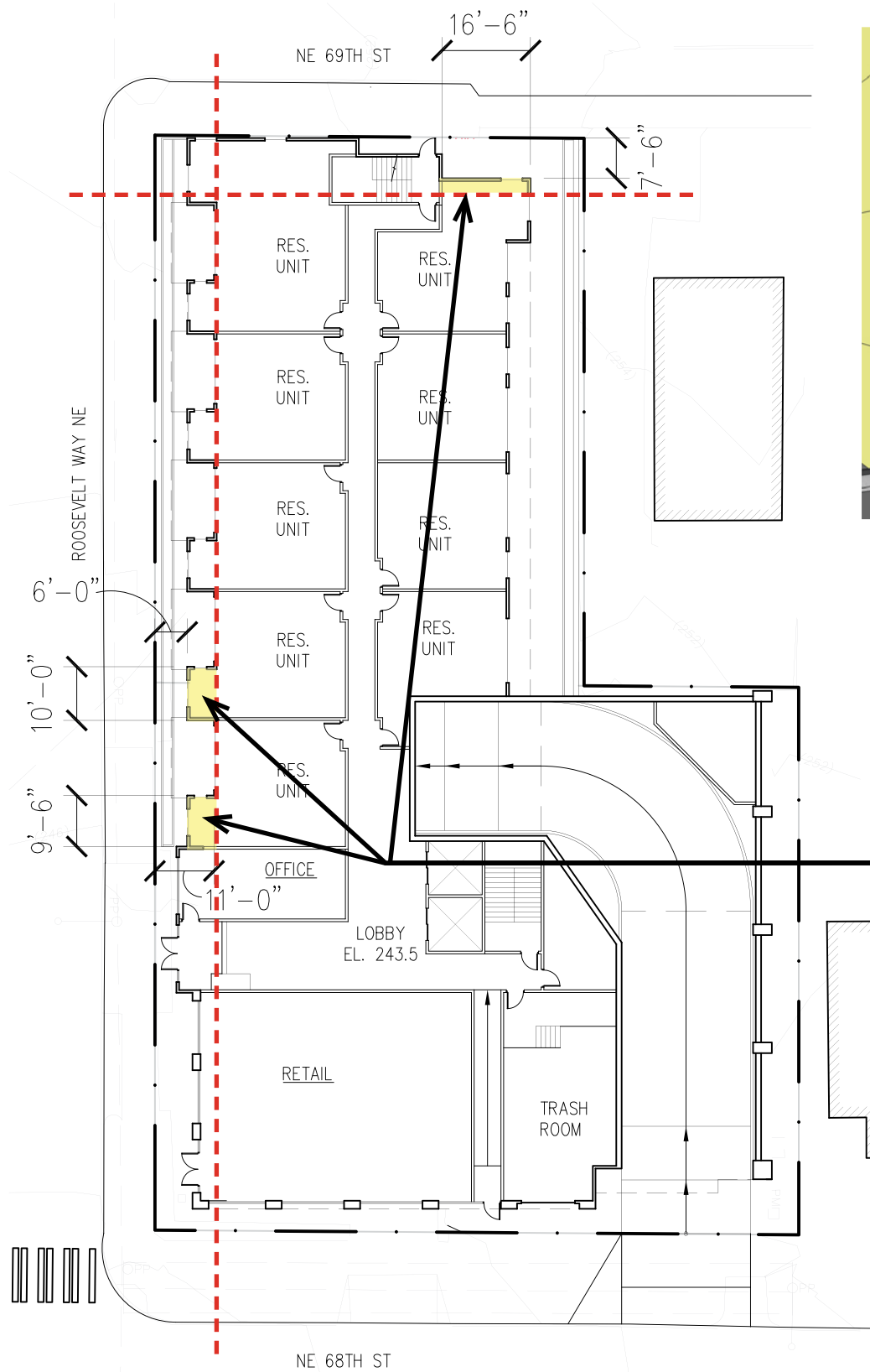
4 DECK ADJACENT TO RESIDENTIAL HOUSE

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Preferred Design Vignettes
 Early Design Guidance, August 4, 2014



NE 69th

Roosevelt Way NE

Requested Departure Area on Facade

Requested Departure Area in Plan: 138.5 SF

Departure: Residential Units on Street-Level Street facing Facades

Code Requirement:

23.47A.008.D.2- Where residential uses are located along a street-level street-facing facade the following requirements apply unless exempted by subsection 23.47A.008.G.

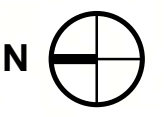
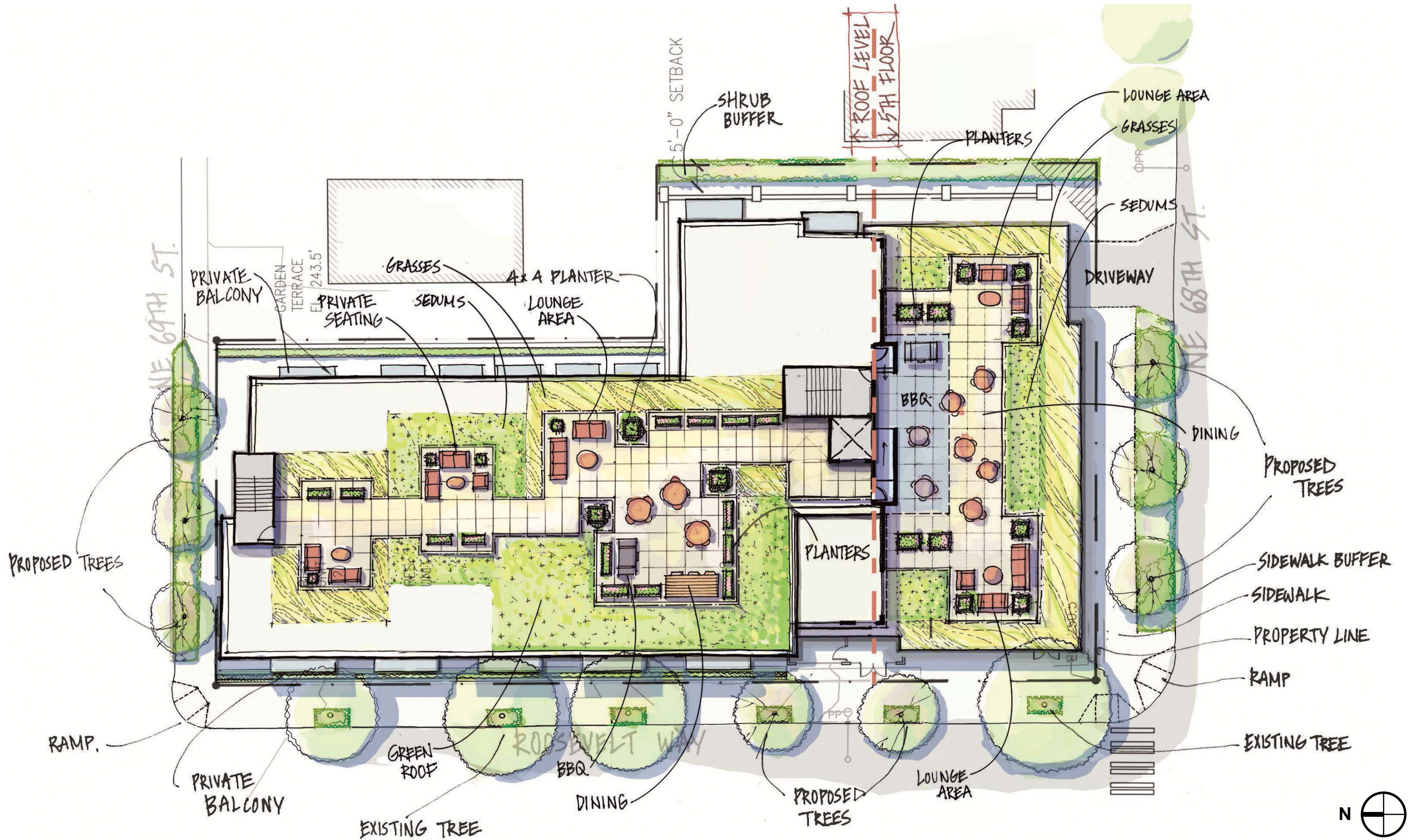
1. At least one of the street-level street-facing facades containing a residential use shall have a visually prominent pedestrian entry; and
2. The floor of a dwelling unit located along the street-level street-facing facade shall be at least 4 feet above or 4 feet below sidewalk grade or be set back atleast 10 feet from the sidewalk.

Proposed Design Departure:

- 253.5 SF of the street-level street-facing facade containing dwelling units located on Roosevelt Way NE is less than 4' below the sidewalk grade and is less than 10' from the property line.
- 156.75 SF of the street-level street-facing facade containing dwelling units located on NE 69th is less than 4' below the sidewalk grade and is less than 10' from the property line.

Proposed Design Rationale:

- On Roosevelt Way NE the bump-outs provide a consistent bay pattern and help to create privacy between the garden terraces. These bays contain bedrooms which have their primary windows facing to the north, away from the ROW.
- On 69th St the corner unit does step back while its primary orientation is to the east, away from the ROW.





Dwell Roosevelt Condominiums
 1026 NE 65th Street
 Example of tripartite composition with vertical modulated bays. Although brick base is put in to much shadow due to contiguous canopy.



Pladhus Apartments
 838 NE 69th St.
 A refreshing modern style, yet in trendy color palette removed from the major pedestrian corridor with no commercial frontage. Reflects the residential character of NE 69th St. vs Roosevelt Way.



Kavela Apartments
 845 NE 66th Street
 Within the Roosevelt commercial core area this project makes it clear distinction between brick base and upper facade. Although the design is a modernist play of colored boxes, the massing does break down into distinct building areas with a playful composition which steps down with the topography.



Square One Apartments
 1020 NE 63rd St
 Also within the Roosevelt commercial core, this design is a very simple modernist box with recessed commercial base which is little relationship to the traditional older retail buildings.



East West Bookshop
 6500 Roosevelt Way NE
 Common 1.5 story traditional retail shops buildings along Roosevelt Way



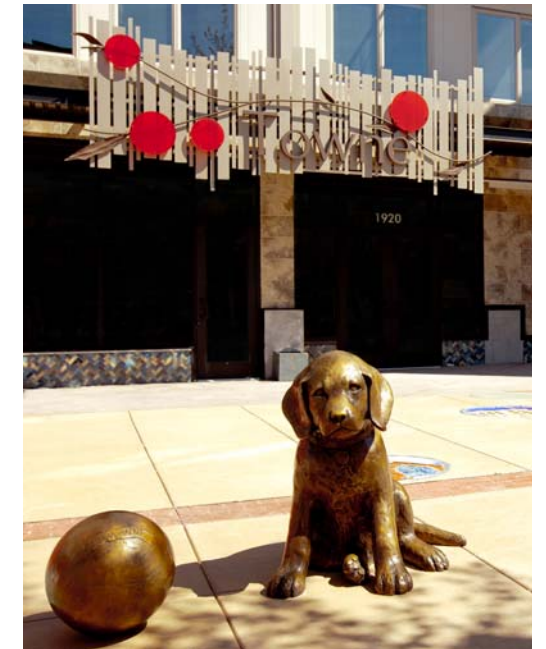
Sunlight Cafe
 6403 Roosevelt Way NE
 Common 1.5 story traditional retail shops buildings along Roosevelt Way



Atlantic Crossing Pub
 6508 Roosevelt Way NE
 Common 1.5 story traditional retail shops buildings along Roosevelt Way



Roosevelt Highschool Addition
 Interesting use of building masonry which relates to the original high school without trying to copy the original detailing. The horizontal banding and oversized suggested window frames provides a traditional character in a newer material.



FULLER-SEARS
ARCHITECTS

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6800 Roosevelt
Seattle, Washington

DPD# 3017047

Emerald Bay Equity Project Examples
Early Design Guidance, August 4, 2014



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ARCHITECTS

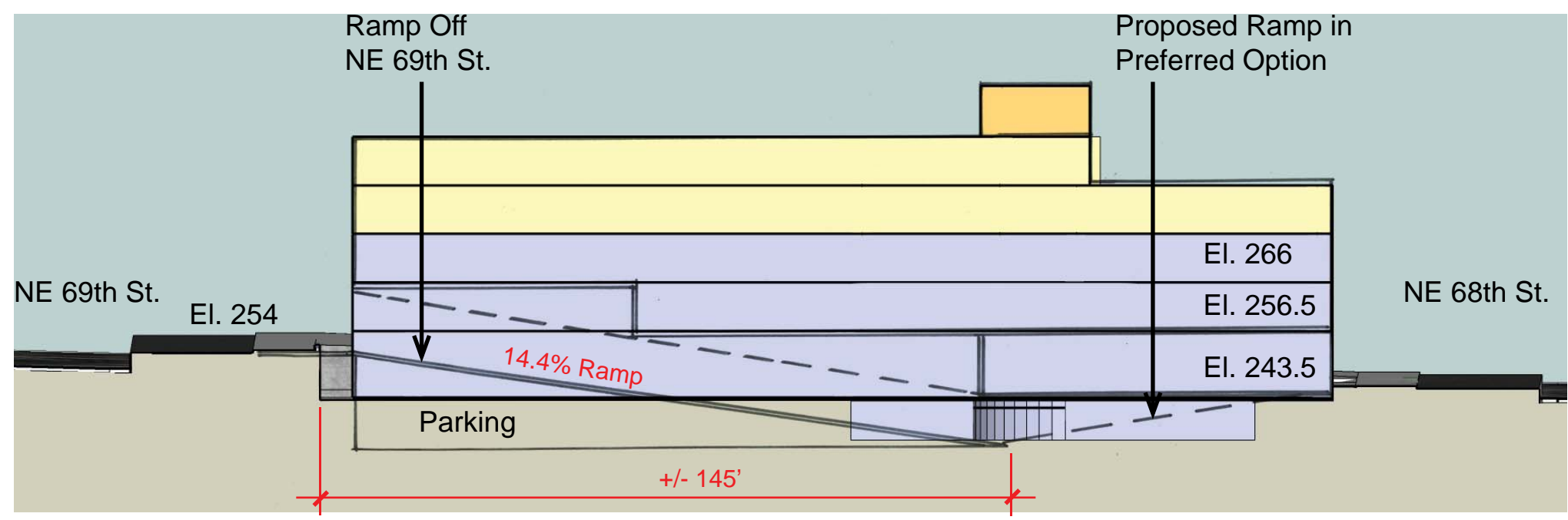
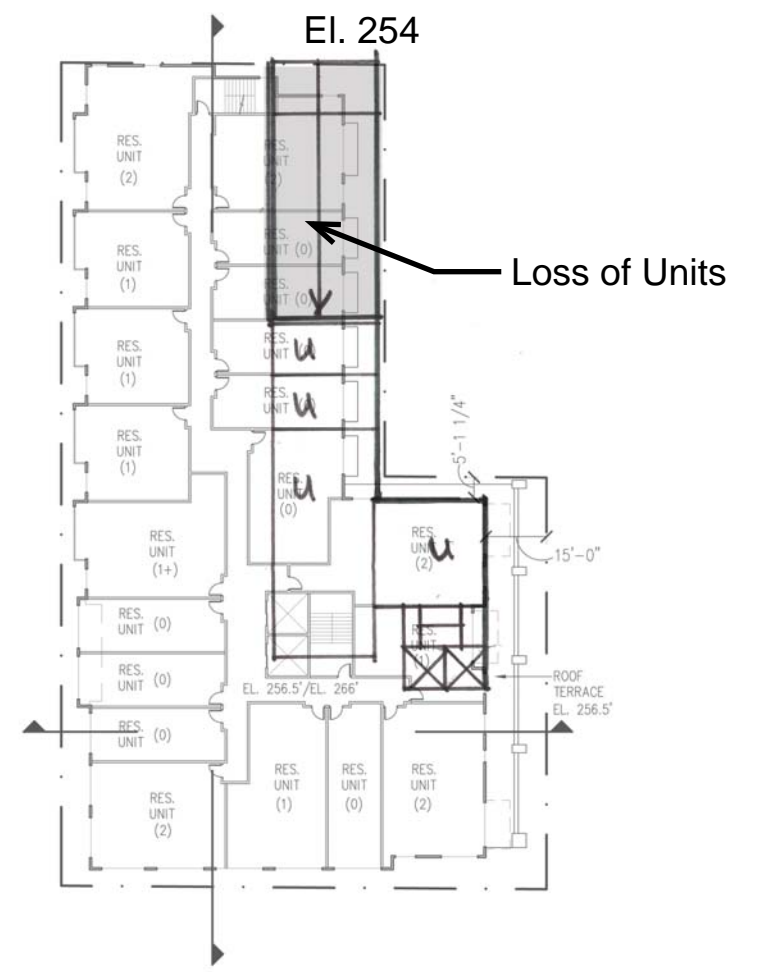
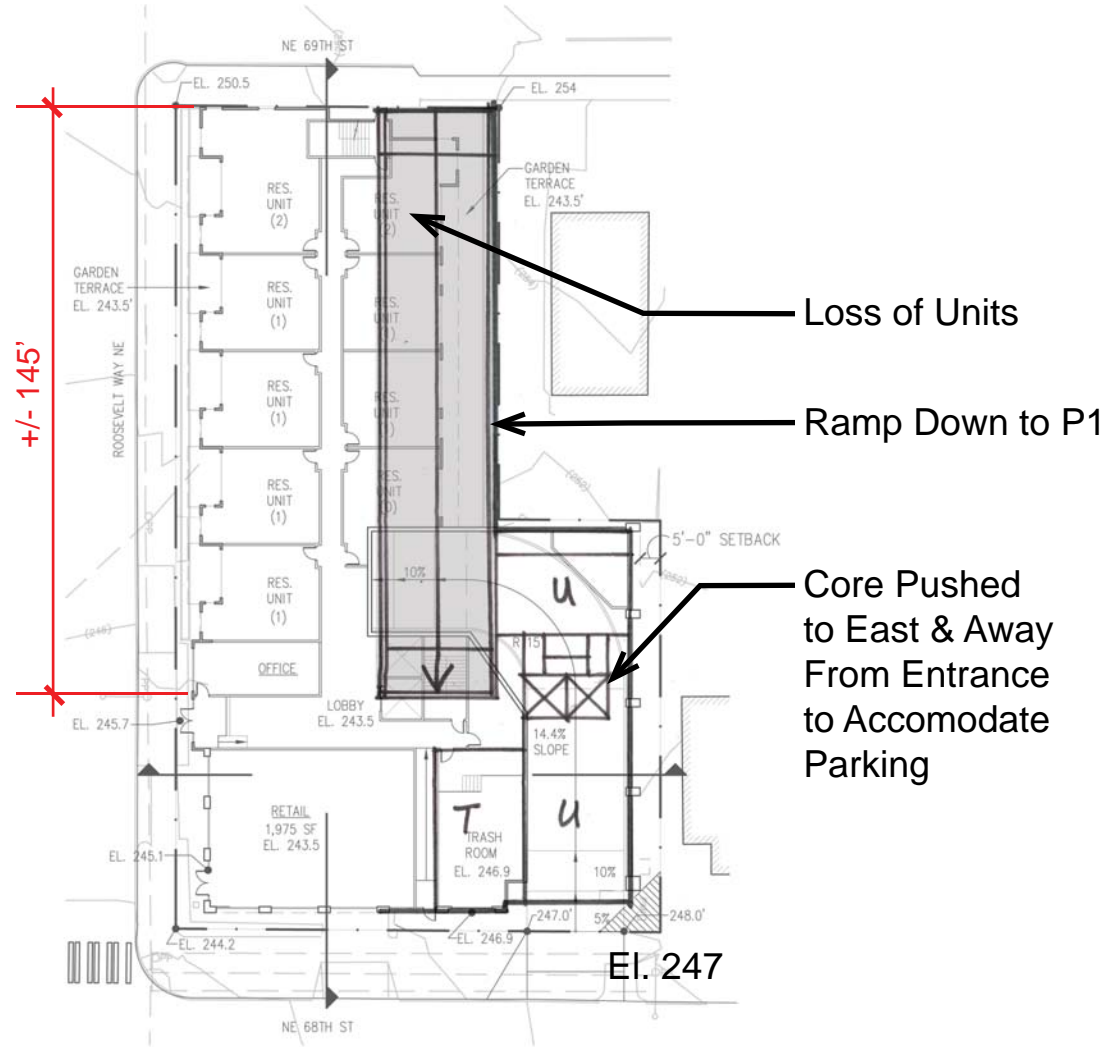
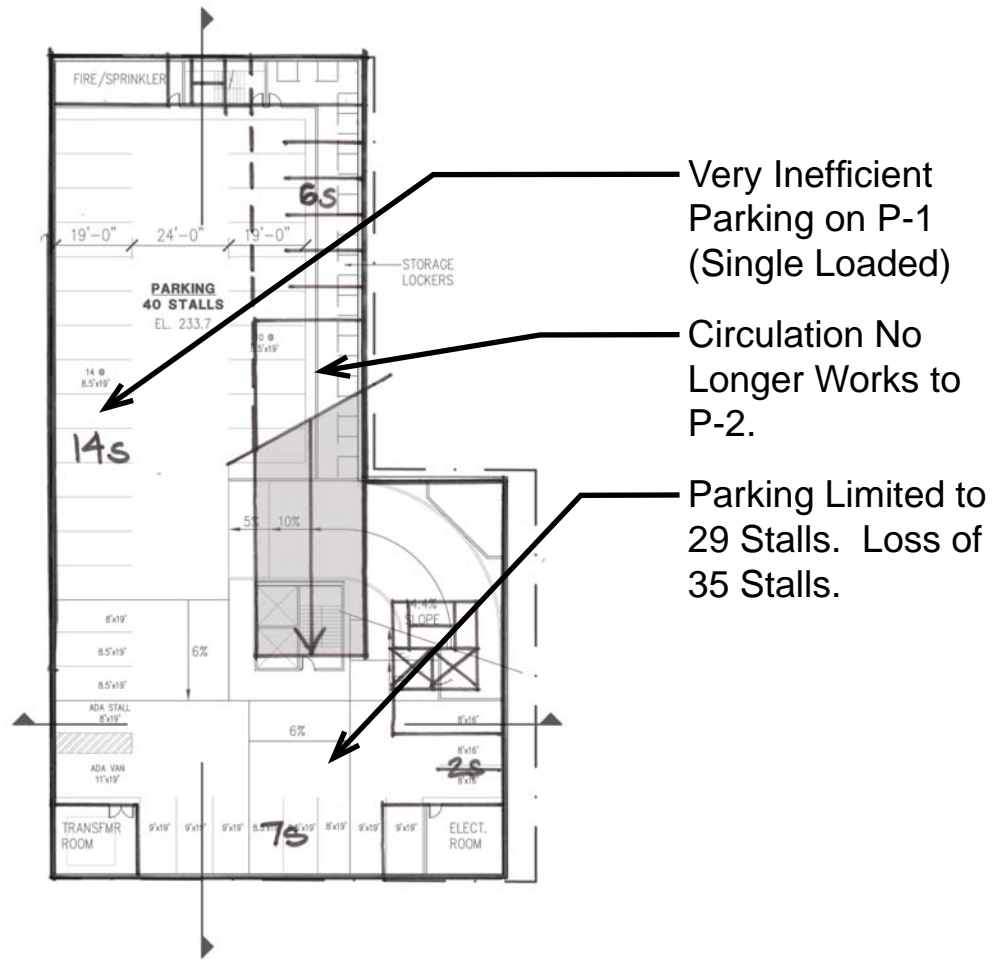
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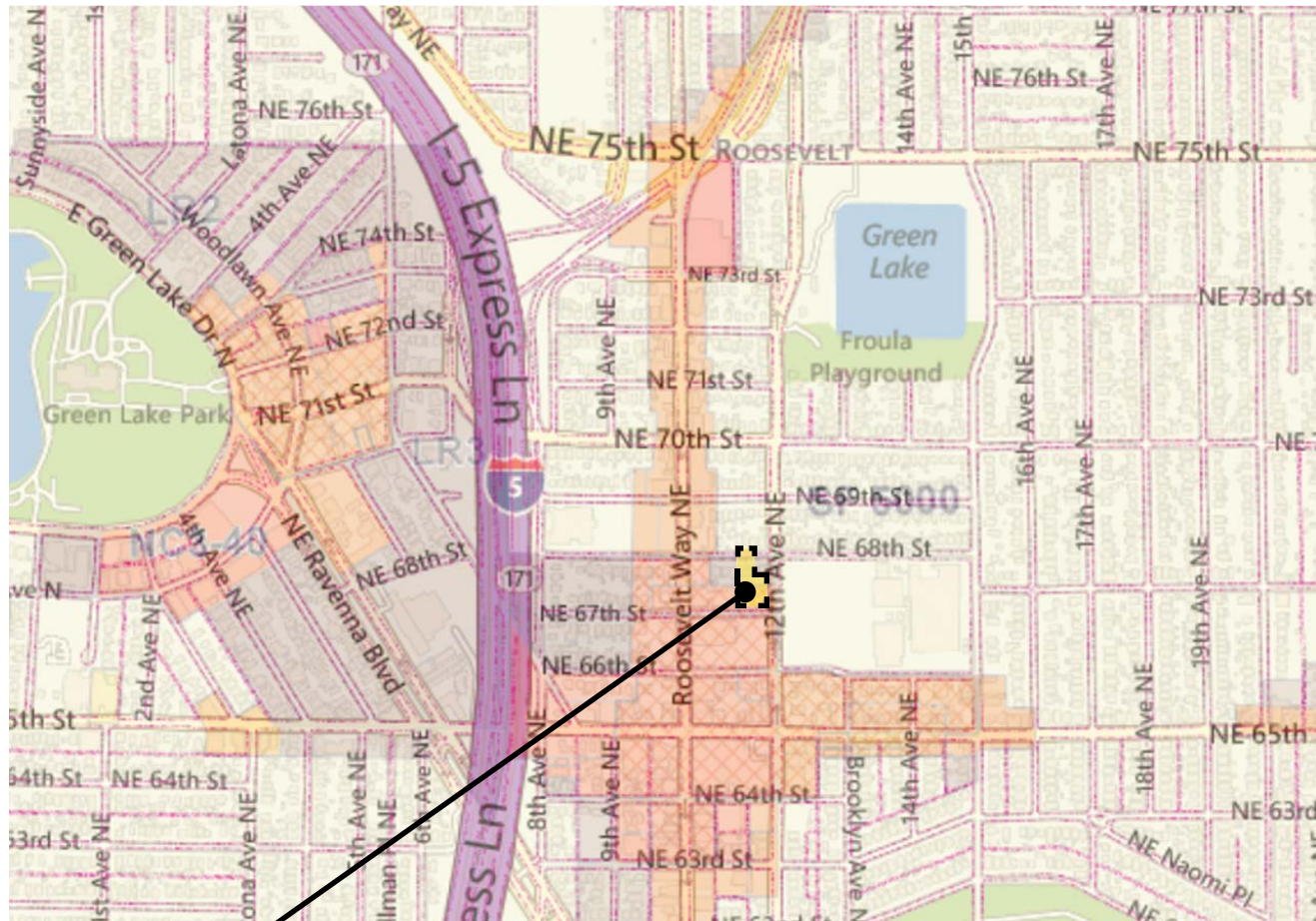
DPD# 3017047

Fuller / Sears Project Examples
Early Design Guidance, August 4, 2014

Study of Optional Vehicular Access



Result of Ramp location:
 Net Loss of 5 Units &
 227 SF of Bldg. Area &
 35 Parking Stalls with a
 very inefficient parking
 layout.



Site Location
6800 + 6814 Roosevelt Way NE
Seattle, WA 98115

Site Area
20,400 sf

Site Zoning
NC2-40
FAR: 4.0
Roosevelt Station Overlay
Roosevelt Residential Urban Village

Adjacent Zoning
North: NC2-40; East: SF 5000; South: NC3P-65; West: NC2-40

Permitted Uses (23.47A.004)
Proposed uses are residential and retail sales and services; those are permitted outright in NC2.

Street-Level Uses (23.47A.005)
Residential uses are permitted anywhere in the building. Utility uses may not abut the street façade.

Street-Level Development Standards (23.47A.008)
Blank façade segments (measured 2-8 feet above the sidewalk) limited to less than 20 feet in length and may not exceed 40%

of street-level façade in total. Maximum setback for street-level façade is 10 feet.

Due to the project bordering on three street frontages, there will be some blank facade along NE. 69th St. due to residential unit orientation, no blank façade along Roosevelt Way and a short blank facade along 68th St. due to the trash room.

Nonresidential uses must be 60% transparent along street-level façade (measured 2-8 feet above the sidewalk), must average 30 feet in depth, and must have a floor-to-floor height of 13 feet minimum.

Residential uses must be set back 10 feet from the sidewalk or be 4 feet above or 4 feet below the sidewalk.

The two areas which do not meet this requirement will have a requested departure.

Outdoor Activities (23.47A.011)
Outdoor activities that are part of permitted commercial uses are allowed, subject to some size limits and restrictions.

Structure Height (23.47A.012)
Height limit is 40 feet. The height of the structure may exceed the limit by up to 4 feet provided a floor-to-floor height of 13 feet is provided for non-residential uses at street level and the additional height does not result in additional story beyond the number that could be built otherwise. Elements such as open

railings, clerestories, greenhouses, parapets, and firewalls are allowed up to 4 feet above the applicable height limit. Elements such as stair and elevator penthouses and mechanical equipment, are allowed up to 15 feet above the height limit as long as they don't exceed 20% - 25% of the roof area.

Some elements, such as planters and parapets, must be located 10 feet min. from the north edge of the roof to avoid shadowing adjacent properties, but this does not apply to firewall parapets or stair and elevator penthouses.

A 44 foot structure height is being proposed based on a 13 foot first floor retail height.

Floor Area Ratio (23.47A.013)
FAR for mixed-use buildings in the Station Area Overlay and the 40 foot height zone = 4.0. Above-grade parking is included in FAR calculations. Gross floor area below existing or proposed grade level (whichever is lower) is exempt. Gross floor area is measured to inside face of exterior wall at the floor line.

Setback Requirements (23.47A.014)
Setback requirements for lots abutting a residential zone (East Lot Line):

1. A triangular setback is required at the intersection of the residentially zoned lot's front lot line and the side lot line abutting the residentially zoned lot. The triangle extends 15 feet along the street lot line and the side lot line from the intersection.

This triangle setback is being provided at the southeast corner.

2. Setback is required along any rear or side lot line abutting a residential zone (East lot line):
0 - 13 feet above grade: none
13 - 40 feet above grade: 15 feet
40+ feet above grade: additional 2 feet for every 10 feet above 40 feet

Adjacent to our east property line bordering the residential zone we are providing a 5-7 foot setback from 0 - 13 feet above grade as an additional landscape buffer.

No entrance, window, or opening is permitted closer than 5 feet to a residential zone.

Building elements allowed in required setbacks include: decks (must be 5' from property line); eaves, cornices, & gutters (no more than 18 inches); barrier-free access elements, fences & retaining walls (under 6 ft). Outdoor trash receptacles are not allowed within 10 feet of a residential zone and must be screened.

We will meet all these building element placement requirements.

Landscaping and Screening (23.47A.016)
Seattle Green Factor score of .30 or greater is required for developments with more than 4 dwelling units or 4,000 non-residential sf. Street trees will be required.

This will be provided.

Noise Standards (23.47A.018)

Refuse compacting and recycling must be within an enclosed structure.

HVAC equipment is considered a major noise generator and will require a report by an acoustical consultant describing mitigation measures.

This will be provided.

Odor Standards (23.47A.020)

Venting shall be 10 feet min. above sidewalk grade and directed away from adjacent residential uses within 50 feet of the vent.

This will be provided.

Light and Glare Standards (23.47A.022)

Exterior lighting must be shielded and directed away from adjacent uses. Interior lighting in parking garages must be shielded.

This will be provided.

Residential Amenity Areas (23.47A.024)

Residential amenity areas must be provided, min. 5% of gross floor area in residential use (excludes mechanical equipment and accessory parking).

All residents must have access to at least one area. Parking, driveways, and vehicular access easements do not count. Common recreation areas must have minimum horizontal dimensions of 10 feet and a minimum area of 250 sf. Private balconies must have minimum horizontal dimensions of 6 feet and a minimum area of 60 sf.

Private first floor terraces, balconies, and rooftop terraces at three levels will be provided to provide these amenity areas.

Solid Waste and Recyclable Materials (23.47A.029)

Residential buildings with 51-100 units requires 375 sf + 4 sf for each additional unit above 50 of space for trash and recycling. Non-residential building with 0-5,000 sf requires min. 82 sf. Mixed use developments containing both residential and non-residential shall meet the requirements for the residential development plus 50% of the requirement for the non-residential development.

The minimum horizontal dimension is 12 feet (developments with 9 or more dwelling units)
Containers less than 2 cubic yards shall be placed no more than 50 ft from curb and any gate/access route must be min. 10ft wide.
Containers larger than 2 cubic yards shall have direct access to the alley or street and any gates/ access routes must be min. 10ft wide. If accessed by a collection vehicle a 21' overhead clearance shall be provided.

This will be provided.

Parking and Loading (23.47A.030 > 23.54)

No parking is required for uses in residential and commercial zones in urban centers and Station Area Overlay districts.

Parking space standards:

- Large = 8.5' x 19'
- Medium = 8' x 16'
- Small = 7.5' x 15'

Barrier-free = 8' wide & 5' wide access aisle
Van-accessible barrier-free = 8' wide, 8' wide access aisle
one barrier-free space must be 19' long

Residential parking: min. 60% of spaces must be medium sized. The remaining spaces may be any size.

Although parking & unloading is not required, we plan to provide 64 stalls of underground parking

Parking aisles must meet standard curvature, slope, and width requirements per code.
Driveways serving more than 30 parking spaces shall be 10ft wide for one-way traffic and 20ft for two-way traffic.
Driveways with a turning radius more than 35 degrees shall conform to the min. turning path radius of 18' + (2) 12' aisles for two-way traffic.
Two curb cuts are permitted on a non-arterial street (NE 68th St).

A curb cut may be as wide as the required driveway width. Curb cut flare is max. 2.5 feet each side. A 10 foot sight triangle is required on both sides of a two way driveway, measured from the lot line.

Residential use requires bicycle parking: 1 per 4 units (long term). Commercial use requires bicycle parking: 1 per 12,000 sf (long-term) and 1 per 2,000 sf (short-term).

Parking Location and Access (23.47A.032)

As the lot does not abut an alley, and abuts two or more streets, access is permitted across one of the street lot lines and curb cuts are permitted. No parking permitted between the structure and the street lot line, or inside the structure abutting the street façade.

Parking access is proposed to be from NE 68th St. due to lower grades and distance from Roosevelt Way.

Transportation Concurrency LOS Standards (23.47A.033 > 23.52)

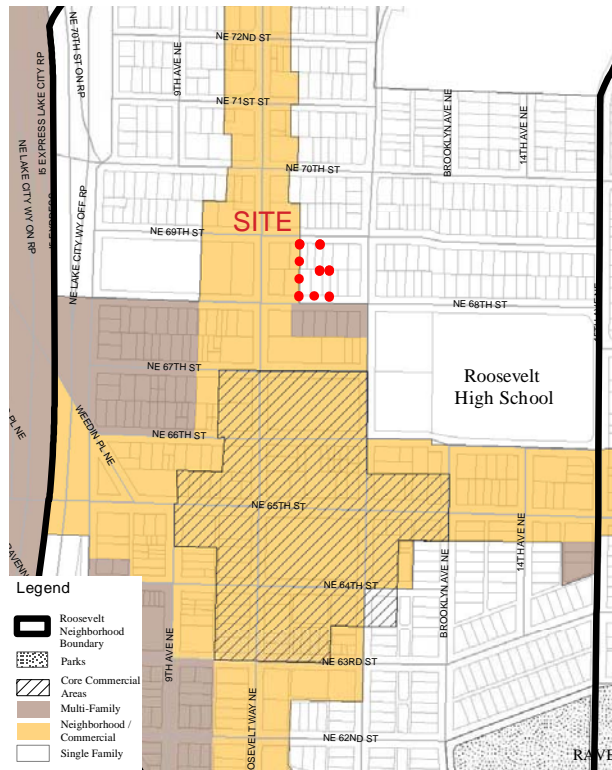
A traffic study will be required.

Improvement Requirements for Existing Streets (23.53.015)

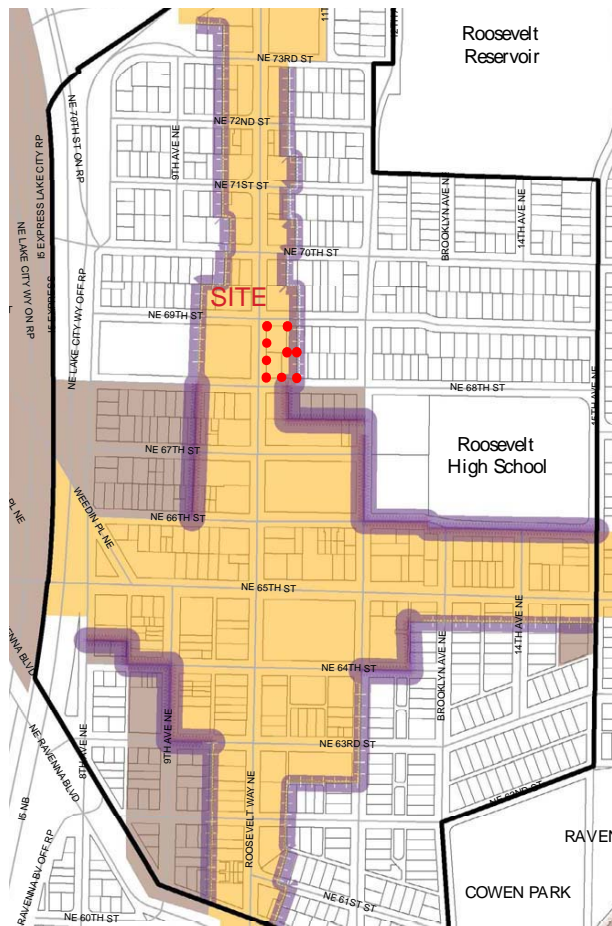
The following street improvements may be required: pavement, curb and sidewalk, drainage, no-protest agreements, street trees and landscaping.

The min. ROW width shall be as specified in the ROW Improvements Manual. h

Improvements will be made per SDOT requirements.



Commercial Core Areas



Transition Zone Locations

CS1 - Natural Systems and Site Features

- A. Energy Use**
- B. Sunlight and Natural Ventilation**
Take advantage of solar exposure and natural ventilation. Maximize daylight for interior/exterior spaces and manage direct sunlight through shading devices.
The tall first story height and façade setbacks which exceed the zoning requirements will provide excellent natural light and ventilation.
- C. Topography**
Use existing topography when locating structure and open spaces. Consider stepping up or down hillsides to accommodate changes in elevation.
The project will be stepped down along Roosevelt Way to better relate to the sloped site conditions.
- D. Plants and Habitat**
- E. Water**

Roosevelt:

- I. Guideline: Site Characteristics - Solar Orientation**
It is important to minimize shadow impacts along Roosevelt Way and NE 65th St.
Reducing the building height at the south helps to achieve this goal.

CS2 - Urban Pattern and Form

- A. Location in the city and Neighborhood**
Emphasize attributes that give the neighborhood its distinctive sense of place.
The use of a brick façade and classic design will relate well to the traditional retail buildings along Roosevelt Way.
- B. Adjacent Sites, Streets and Open Spaces**
Allow site characteristics to inform the design. Identify opportunities to make a strong connection to the street and consider how the building will react with the public realm.
The residential bay modulation, garden terraces, residential lobby and retail frontage along Roosevelt Avenue will provide a visually interesting pedestrian experience.
- C. Relationship to the Block**
Break up long facades of full-block buildings to avoid a monolithic presence, add variety and rhythm.
The long façade along Roosevelt Way has been divided into three distinctly different building masses and façade treatments.
- D. Height, Bulk, Scale**
Review height, bulk and scale of neighboring buildings and determine an appropriate transition. Use changes in topography and site shape to help the building fit with adjacent properties.

Roosevelt:

- I. Streetscape Compatibility - Commercial and Mixed-Use Developments**

Where building setbacks vary along the street introduce elements that preserve continuity of the adjacent street facing walls, especially in the Core Commercial Area.
Although this is to the north of the Core commercial area, we are providing the continuation of the street facing frontage at the southwest corner retail and residential entrance/Lobby.

- III. Height, Bulk and Scale**
Careful siting, building design and building massing at the upper levels should be used to achieve a sensitive transition between multifamily and commercial zones as well as mitigating height, bulk and scale impacts.

Zone Edge Condition – Increase setbacks along zone edges, step back the upper floors or modify the roofline to reduce the overall building height.
The proposed preferred design provides a ground-level setback, reduced building height, and modulation which is not required but to lessen the impact on the adjacent residence.

CS3 - Architectural Context and Character

- A. Emphasize Positive Neighborhood Attributes**
Create compatibility between new projects and existing architectural context.
See Below.
- B. Local History and Culture**
Explore the history of the site and neighborhood as a potential placemaking opportunity.
See Below.

Roosevelt:

- I. Architectural Context** (Note: The site is just outside the Commercial Core).
Streetwalls adjacent to sidewalks within the Commercial Core should be designed to incorporate traditional façade components. Articulate the building façade and break down the mass of long facades and incorporate design elements, details or materials from adjacent buildings.
Though the project is not within the core commercial area it will relate to the traditional brick retail frontages along Roosevelt Way, the Calvary Christian assembly Church to the west, as well as the Roosevelt High School to the east, with a traditional façade composition and detailing.

PL1 - Connectivity

- A. Network of Open Spaces**
- B. Walkways and Connections**
Consider creating pedestrian amenities to enliven the area, attract interest and interaction with the site and building. Visible access to the building's entry should be provided.
The project will have prominent retail and residential entries and will provide pedestrian amenities through entrance canopies and large storefront windows at the retail space.
- C. Outdoor Uses and Activities**

Concentrate activity areas in places with sunny exposure, views across spaces, and in direct line with pedestrian routes.
Generous garden terraces will be provided along first floor residences as well as second-floor garden terraces adjacent to the residence, and large rooftop terraces at both roof levels.

PL2 - Walkability

- A. Accessibility**
Provide access for people of all abilities that is fully integrated into the project design.
- B. Safety and Security**
Create a safe environment by providing lines of sight and encouraging natural surveillance. Provide sufficient lighting and ensure transparency at street-level uses.
The building perimeter will provide naturally separated and secured private garden terraces, and lobby and retail frontage directly adjacent to the sidewalks which will provide secure defensible spaces.

C. Weather Protection

Overhead protection is encouraged and should be near uses that generate pedestrian activity.
Canopies will be provided along the residential lobby and retail frontages.

D. Wayfinding

- Roosevelt:**
- I. Pedestrian Open Spaces and Entrances** (Note: The site is just outside the Commercial Core).
Pedestrian amenities are encouraged where appropriate along sidewalks within the Core Commercial Area. Providing sufficient pedestrian movement is necessary in order to provide pedestrian amenities.
The project will have prominent retail and residential entries and will provide pedestrian amenities through entrance canopies and large storefront windows at the retail space.

PL3 - Street-Level Interaction

- A. Entries**
Design entries to be obvious, identifiable and distinctive with clear lines of sight and lobbies visually connected to the street. Retail entries should provide adequate space for several occupants to enter and exit, and should provide protection from the weather. Residential entries need to provide security and privacy while being identifiable and welcoming to visitors.
Both the residential and the retail entrances are fronting onto Roosevelt Way. Both entrances will have canopies and signage to aid in providing prominent visible entrances.



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Roosevelt Neighborhood Design Guidelines

Early Design Guidance, August 4, 2014

B. Residential Edges

Provide security and privacy for residential buildings through the use of a buffer or semi-private space between the development and the street or neighboring buildings. Provide a greater number of transitions for ground-level unit to provide a transition from public to private.

Ground-floor units along Roosevelt Way and units to the east will have a sunken Garden Terrace which will be bordered with a planter and railings to provide separation between the public and private space.

C. Retail Edges

Engage pedestrians with opportunities to interact visually with the building interior using glazing and transparency.

The retail space will front onto both Roosevelt Way and NE 68th and will provide large storefronts windows for visual transparency.

Consider future bicycle traffic, provide convenient facilities for bicyclists and facilitate connections to bicycle infrastructure.

The project plans to provide generous bicycle storage which will be accessible via the garage entrance.

C. Planning Ahead for Transit

Identify how a transit stop near the site may influence design and provide opportunities for placemaking.

The most significant transit stop in this area will be the future light rail station to the south. Southbound Metro transit stops are located on the opposite side of Roosevelt Way.

DC1 - Project Uses and Activities

A. Arrangement of Interior Uses

Locate uses and services frequently used by the public in visible and prominent areas. Maximize the use of interior and exterior gathering spaces. Locate interior uses and activities to take advantages of views and connections to exterior spaces.

The residential entrance/lobby and the retail are located adjacent to the southwest corner, closest to the Roosevelt Core Commercial area, which will provide the most prominent pedestrian orientation.

B. Vehicular Access and Circulation

Choose locations for vehicular access, service uses, and delivery areas that minimize conflict between vehicles and non-motorists.

Parking access and service entrance is located along 68th Ave. which provides the maximum distance on site from Roosevelt Way, and therefore minimizes potential conflict with vehicles and pedestrians.

C. Parking and Service Uses.

Locate parking below grade whenever possible.

Reduce impacts of parking lots, parking structures, entrances, and related signs and equipment. Locate and design service entries, loading docks and trash receptacles away from pedestrian areas or to a less visible portion of the site.

The preferred design option provides parking below grade sufficient to minimize the potential impact on surrounding on street parking demand.

Roosevelt:

I. Parking and Vehicle Access

Minimize the number of curb cuts and width of driveways and curb cuts along Roosevelt Way NE and NE 65th Street by locating vehicle access onto alleys and/or side streets. Locate parking at rear or side of lots away from Roosevelt Way and NE 65th.

The project significantly reduces the number of existing curb cuts and by providing only one curb cut on site, which is located along 68th St.

DC2 - Architectural Concept

A. Massing

Consider the characteristics of the site when arranging the mass of the building. Use secondary architectural elements to reduce the perceived mass of larger projects.

The architectural massing is well modulated along all street frontages and common property lines. The longest elevation along Roosevelt Way is broken into three distinctive masses: the taller residential mass on the north which has distinctive vertical bays which reflect the unit layout; the shorter midsection which identifies the residential lobby and entrance; and the south mid height residential mass which is grounded by the retail.

B. Architectural and Facade Composition

Design all building elements considering the composition and architectural expression of the building as a whole. Ensure the facades are well proportioned and avoid large blank walls along visible facades.

C. Secondary Architectural Features

Add depth to facades by incorporating balconies, awnings, decks or other secondary elements into the facade design. Consider elements that provide a dual purpose. Use design elements to achieve a successful fit between the building and its neighbors.

D. Scale and Texture

Incorporate architectural features, elements, and details that are of human scale into the building facades, entries, retaining walls, courtyards, and exterior spaces.

E. Form and Function

Strive for balance between building legibility and flexibility. Design buildings so they are easy to access and understand.

Roosevelt:

I. Architectural Concept and Consistency (Note: The site is just outside the Commercial Core).

Multiple building entries, courtyards, building base, attractively designed alley-facing building facades are important for commercial and mixed-use developments in Roosevelt's commercial core.

DC3 - Open Space Concept

A. Building-Open Space Relationship

Develop an open space concept in conjunction with the architectural concept to ensure that interior and exterior spaces relate well to each other.

Ground related open spaces consist of primarily, landscape buffer areas along the common property lines and an especially generous landscape buffer along the adjacent residential property. Sunken garden terraces are also provided for the ground-level residential units along Roosevelt Way and

the eastern property line adjacent to the commercial property. The second-floor massing setback over the parking ramp adjacent to the residential zone provides generous private garden terraces for the adjacent units.

B. Open Space Uses and Activities

Design common and private open spaces in multifamily projects for use by all residents to encourage physical activity and social interaction.

Generous rooftop terraces for all residents use are provided on two levels. The lower level over the south building's lower mass provides for the largest rooftop plaza and congregating area, with south orientation and views. The upper level provides for more generous greenscape and smaller more intimate terraces.

C. Design

Create an attractive outdoor space well-suited to the uses envisioned for the project.

See above.

Roosevelt:

I. Residential Open Space

The Roosevelt Neighborhood values places for residents to gather. For mixed-use developments, provision of ground-related common open space areas in exchange for departures is encouraged. Open space can be achieved by terraces, courtyards, front and/or rear yards, or roof tops

See above.

DC4 - Exterior Elements and Finishes

A. Building Materials

Building exteriors should be constructed of durable and maintainable materials that are attractive and age well in Seattle's climate.

B. Signage

Add interest to the streetscape with exterior signs and attachments that are appropriate in scale and character to the project and its environs.

C. Lighting

Use lighting both to increase site safety in all locations used by pedestrians and to highlight architectural or landscape details and features.

D. Trees, Landscape, and Hardscape Materials

Reinforce the overall architectural and open space design concepts through the selection of landscape materials.

E. Project Assembly and Lifespan

When possible, design the project so that it may be deconstructed at the end of its useful lifetime, with connections and assembly techniques that will allow reuse of materials.

Roosevelt:

I. Exterior Finish Materials - Signs

Developments should accommodate places for signage that are in keeping with the building's architecture and overall sign program.

PL4 - Active Transportation

A. Entry Locations and Relationships

Provide safe and convenient access points for all modes of travel.

Several parking access locations were analyzed during design. Due to the lower elevation and distance from Roosevelt Way, the SE corner was chosen to have the least impact on surrounding traffic, be the most convenient for ingress and egress, and to be the safest location for automobiles and pedestrians.

B. Planning Ahead for Bicyclists

EXISTING



PREFERRED OPTION



10am

12pm

2pm

