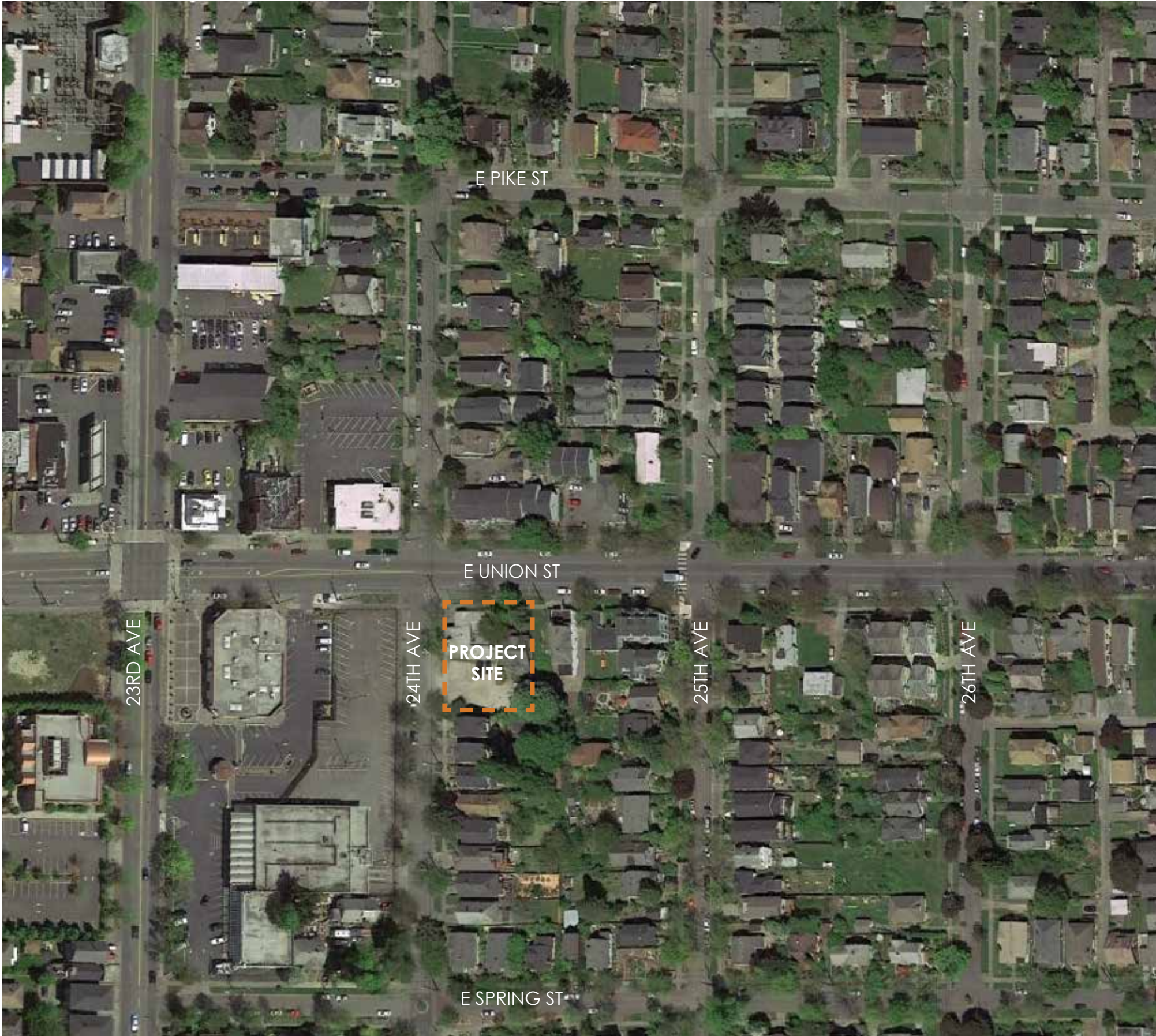


STENCIL

2407 E UNION ST



STENCIL
2407 E UNION ST
DPD Project #3017002
Design Review Recommendation
October 8, 2014



PROJECT DESCRIPTION:

Proposal for a new mixed-use project 4 stories above grade with ground floor street-facing retail, live/work units and at-grade, in-building parking. Proposal includes:

- 39 residential apartment units
- 3,000 sf retail
- 2 live/work units at ground floor
- 21 parking stalls (screened within building)

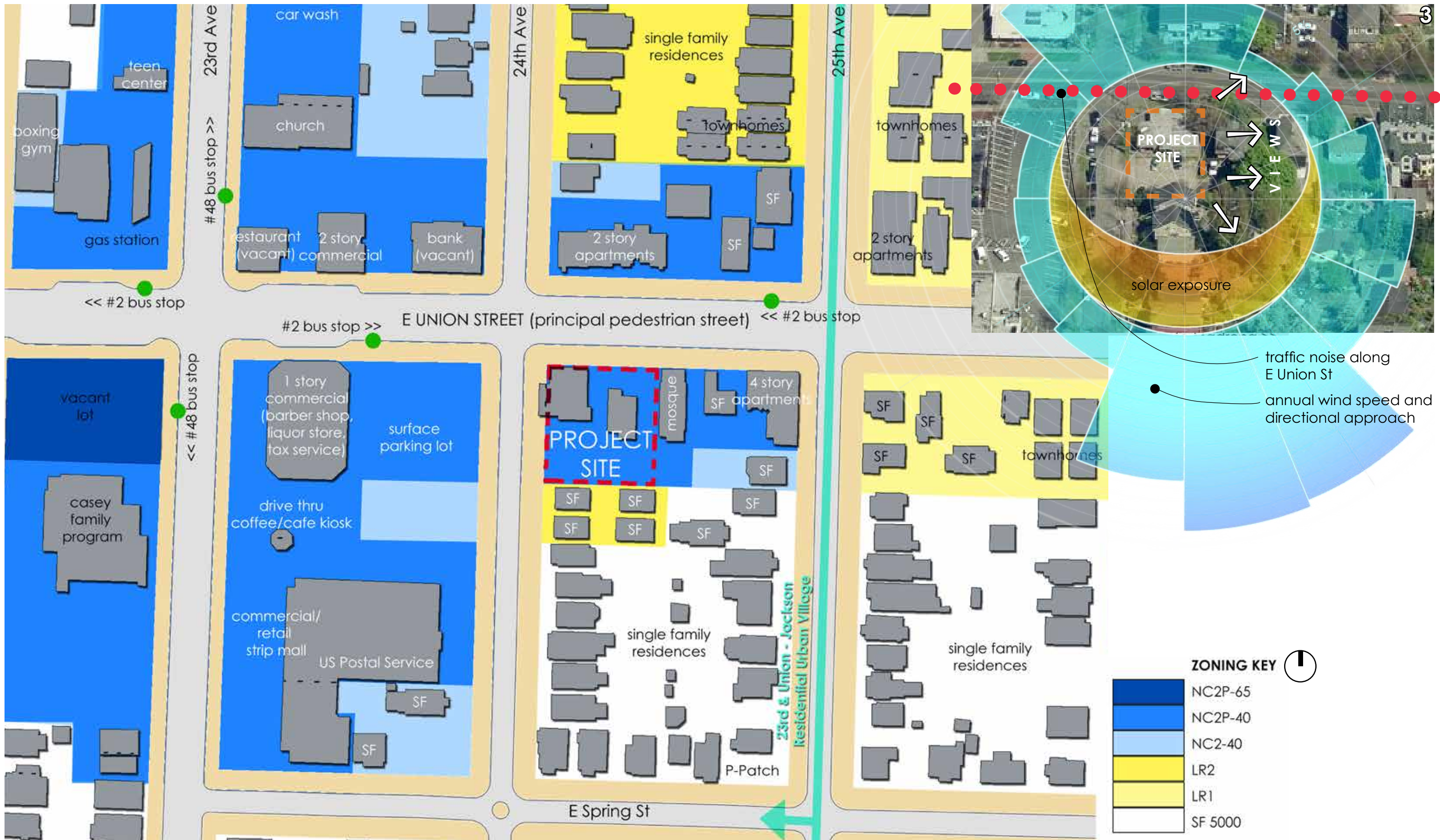
SITE:

13,560 sf site area with NC2-P40 zoning and Residential Urban Village overlay

SUMMARY OF NC2-P40 DEVELOPMENT STANDARDS:

Height limit:	REQ'D:	40' + 4' Bonus = 44' (note: 13' ground floor required) (SMC 23.47A.012)
	PROPOSED:	44'
Parking:	REQ'D:	No parking required in urban village within 1,320 ft of frequent transit (SMC 23.54.015)
	PROPOSED:	21 residential parking stalls
FAR:	REQ'D:	3.25 (mixed-use) (SMC 23.47A.013)
	PROPOSED:	13,560 sf site x 3.25 = 44,070 sf allowed development
Setbacks:	REQ'D:	15' triangular setback at SW corner abutting neighboring residential (SMC 23.47A.014)
	PROPOSED:	15' triangular setback
	REQ'D:	15' setback above 13' from south lot line abutting neighboring residential + additional 2' for every 10' above 40' (SMC 23.47A.014)
	PROPOSED:	15' setback above 13', except triangular area @ SE corner <u>DEPARTURE REQUEST</u> + 2 triangular areas at 4th floor above 40' <u>DEPARTURE REQUEST</u>
Frontage:	REQ'D:	80% of street-level street-facing facade along E Union St (a Principle Pedestrian Street) shall be occupied by allowed retail uses (SMC 23.47A.004G)
	PROPOSED:	63% of the facade facing Union is retail <u>DEPARTURE REQUEST</u>
Solid Waste:	REQ'D:	375 sf (res) + 62.5 (retail) = 437.5 sf (SMC 23.54.040)
	PROPOSED:	461 sf screened within the building



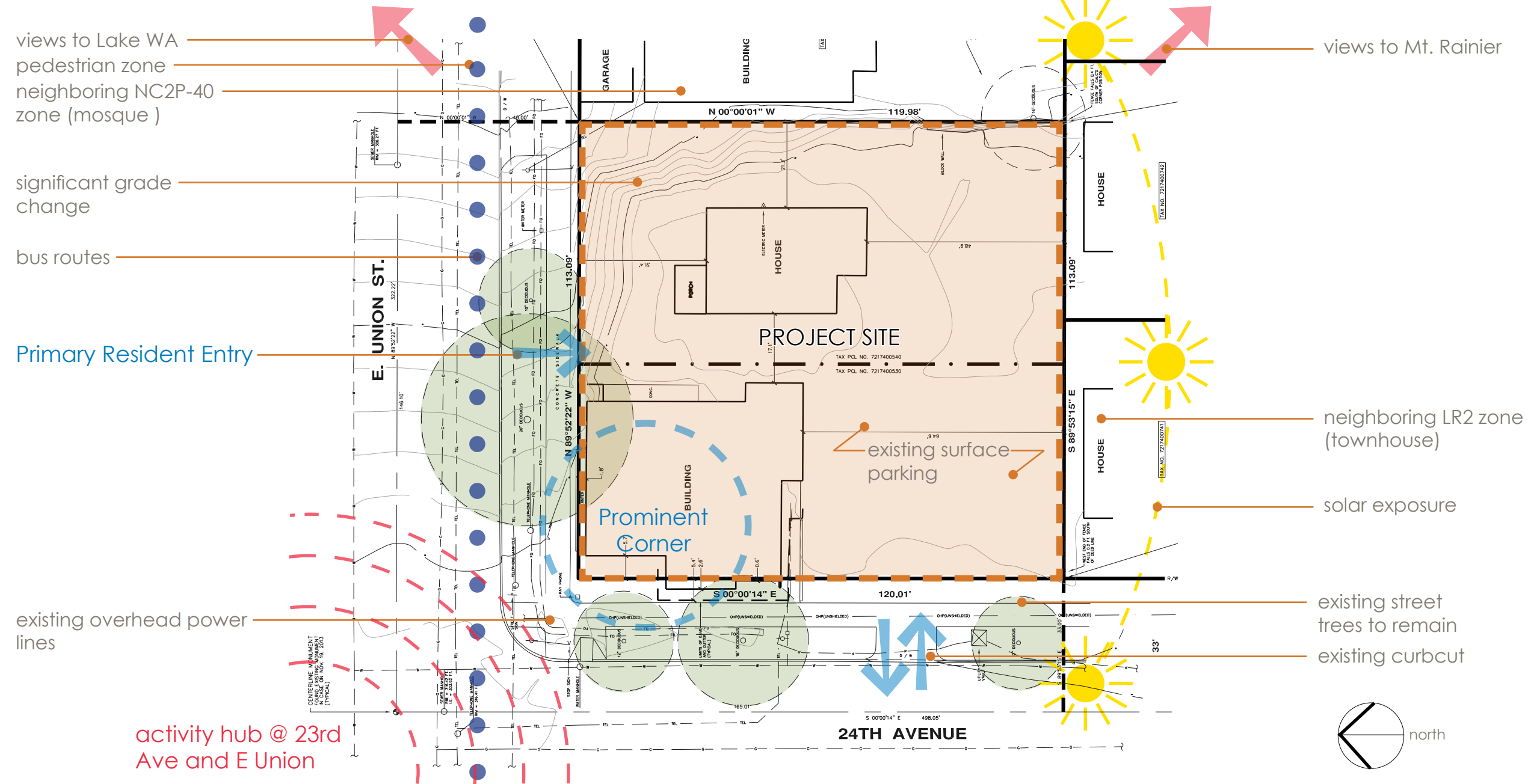




Looking SW to site from E Union & 24th



Looking E to site from E Union & 24th





CS CONTEXT & SITE

- > CS2 A 1: Sense of Place
Sites with prominent visibility and relationship to iconic transportation junctions should serve as a gateway to the community
- > CS2 A 2: Architectural Presence
Development should contribute to a strong street edge and the creation of a quality public realm
- > CS2 B 2: Connection to Street
Functions should be tied to character of a street and contribute to the quality and character of the streetscape
- > CS2 C 1: Corner Sites
Public oriented features such as extra pedestrian space and generous entries should be considered at corner sites
- > CS2 D 1: Existing Zoning and Development
Complement scale and development of both existing and anticipated site neighbors
- > CS3 A 1: Fitting Old and New Together
Emphasize positive neighborhood attributes, such as eclectic character and small-scale businesses

PL PUBLIC LIFE

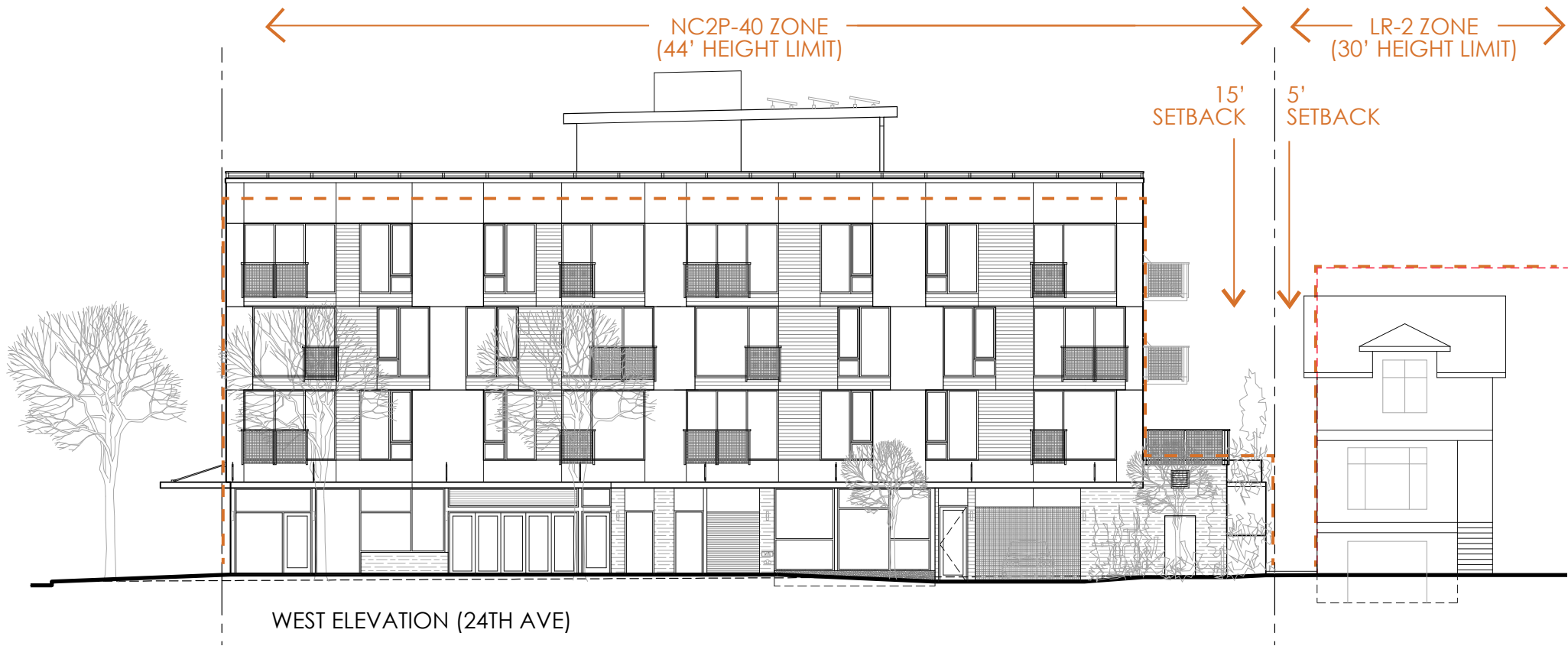
- > PL1 B 3: Pedestrian Amenities
Contribute lively, pedestrian-oriented open spaces, prominent entrances, and large storefront windows
- > PL2 A 1: Access for All
Design points of entry with accessibility in mind

DC DESIGN CONCEPT

- > DC1 B 1: Vehicular Access Location and Design
Locate service/access to minimize conflict with the public realm
- > DC2 D 1: Human Scale
Incorporate fine-grain design elements to engage the pedestrian

PRIORITIES & BOARD RECOMMENDATIONS

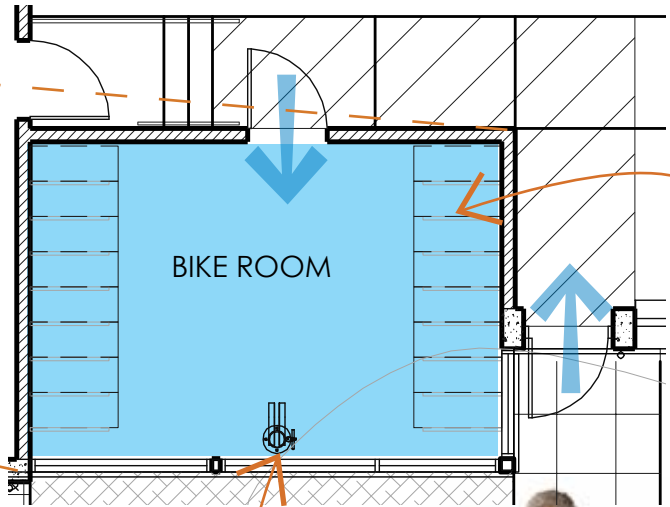
- 1 GROUND LEVEL USES AND ACCESS:
high-quality finishes (boardform concrete, aluminum storefronts, aluminum mesh garage door), cascading landscaping for visual interest, human scale, reduced bulk, and vibrant bike room for activity and visual interest are proposed at the street level
- 2 TRANSITION TO THE SOUTH:
Modulation of south elevation adds texture, reduces bulk, and enhances privacy along south elevation, informed by existing window study of neighboring property
- 3 MASSING AND SITE RESPONSE:
Reduced bulk and maintained landscaping buffer by lowering raised planter at 2nd floor deck along south facade and cascading planters down to grade at SW corner. Underground utility vault relocated into the building to provide increased at-grade landscaping
- 4 COLORS AND MATERIALS:
High quality and visually-interesting materials are proposed, including pre-weathered steel panels, boardform concrete, reclaimed fir, steel mesh railings, and cedar accent siding. Street-level landscaping helps soften the expression of service areas along 24th Ave



- Required utility vault moved from in-ground to in-building, freeing up more area for robust landscaping
- Bike room transparency and size increased
- Cascading planters added to corner to reduce bulk, add human scale, and increase landscape visibility from sidewalk



24TH AVE VIEW - Looking NE



BIKE ROOM - Repair Station



BIKE ROOM - Colorful wall-mounted racks

RESPONSE TO EDG GUIDANCE

- Window/use study of LR-2 neighbor to the south to inform zones where enhanced privacy is required



RESPONSE TO EDG GUIDANCE

- At upper floors, central portion of the facade pushed back 3' to break up elevation and reduce visual bulk
- Linear deck with mesh railing added at central portion to encourage tenants to look out and not down
- 2nd floor patio planter buffer increased in width to allow more robust plantings and trees, proportional in height and scale for screening and privacy
- 2nd floor patio planter buffer sunk down into patio to reduce visual bulk along property line
- 2nd floor planters step down to grade at southwest corner

woven wire mesh railings proposed, which have an increased opacity when viewed at an angle to enhance privacy between sites

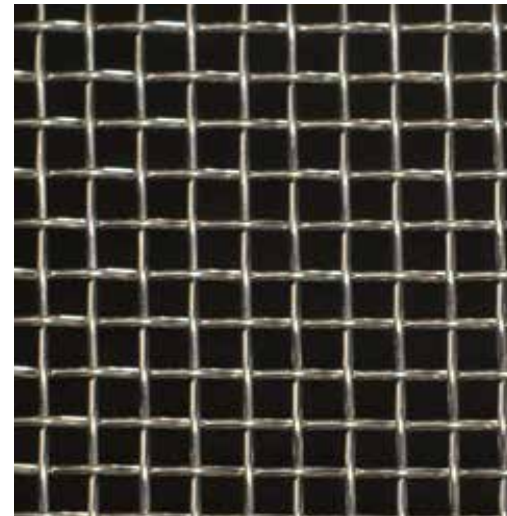
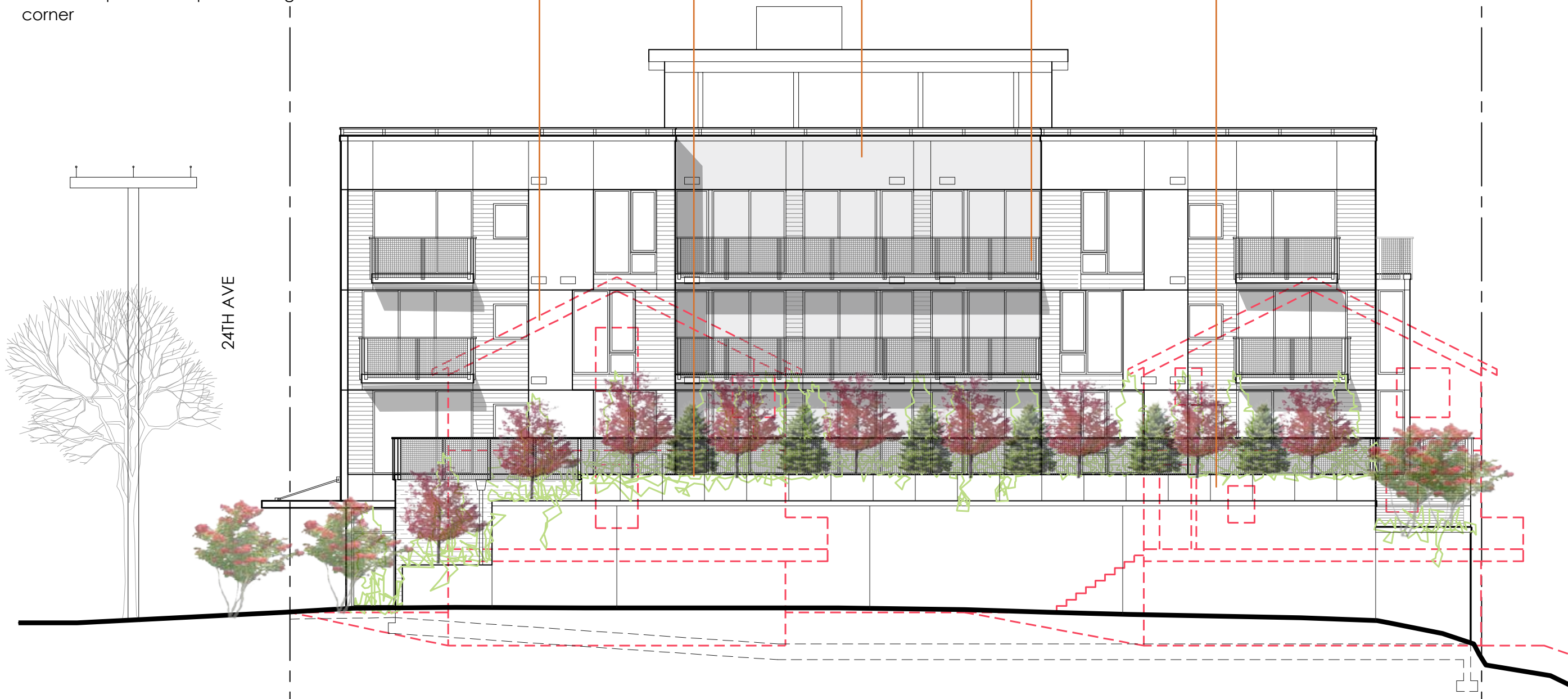
outline of neighboring development and windows

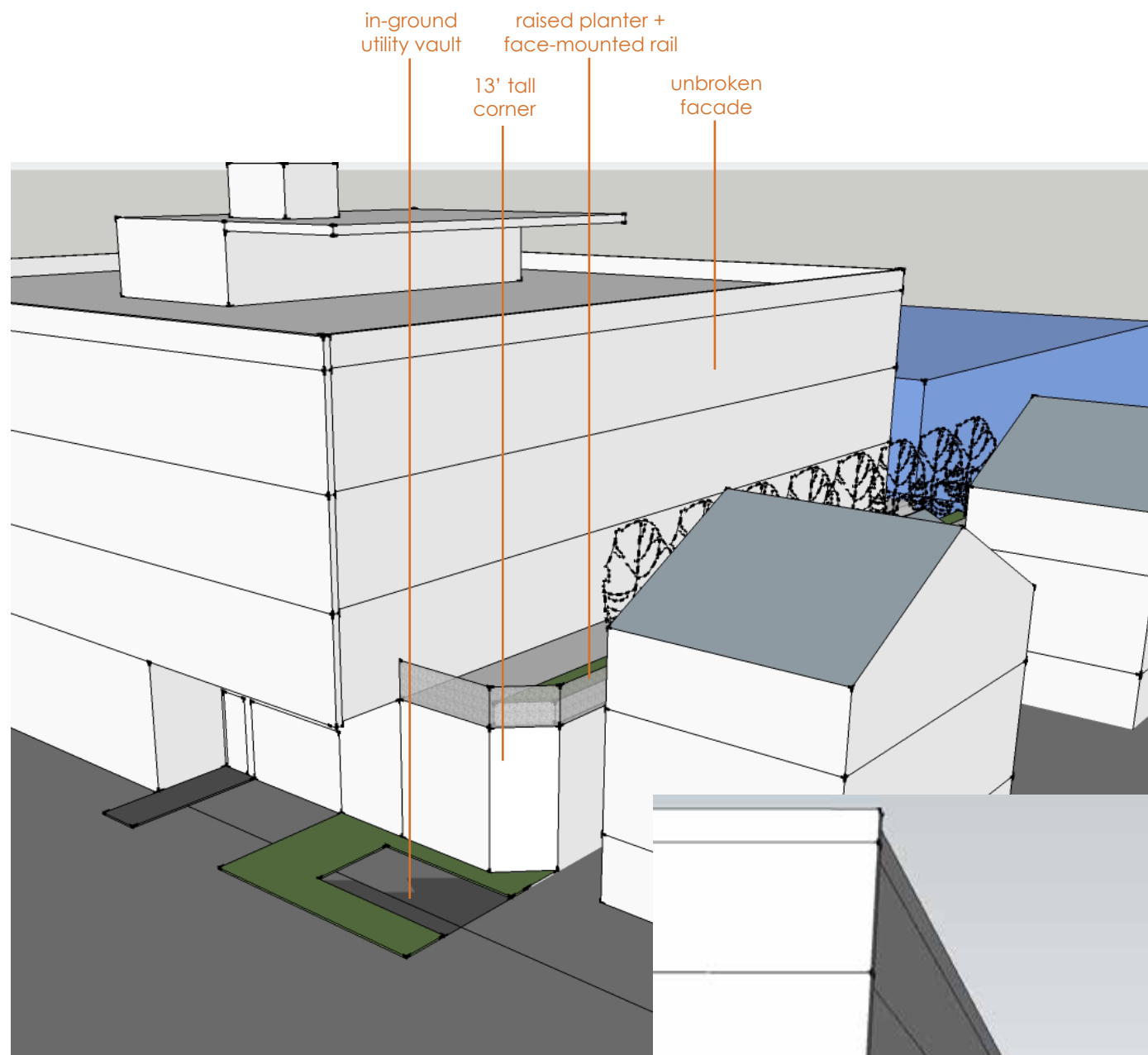
enhanced planter width increases density of landscaping

center portion pushed back 3' to break up facade and reduce visual bulk at most privacy-sensitive portion of elevation

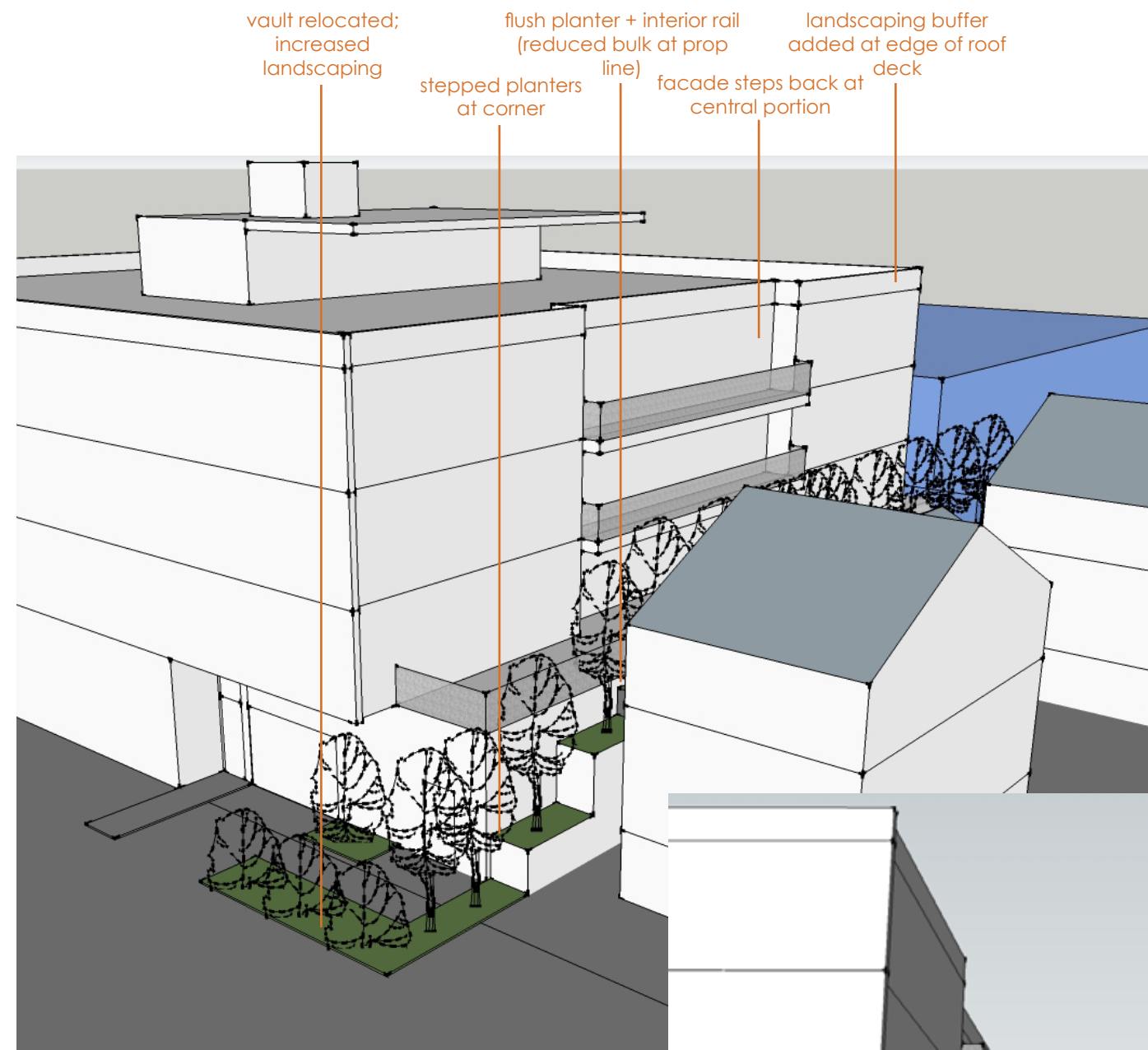
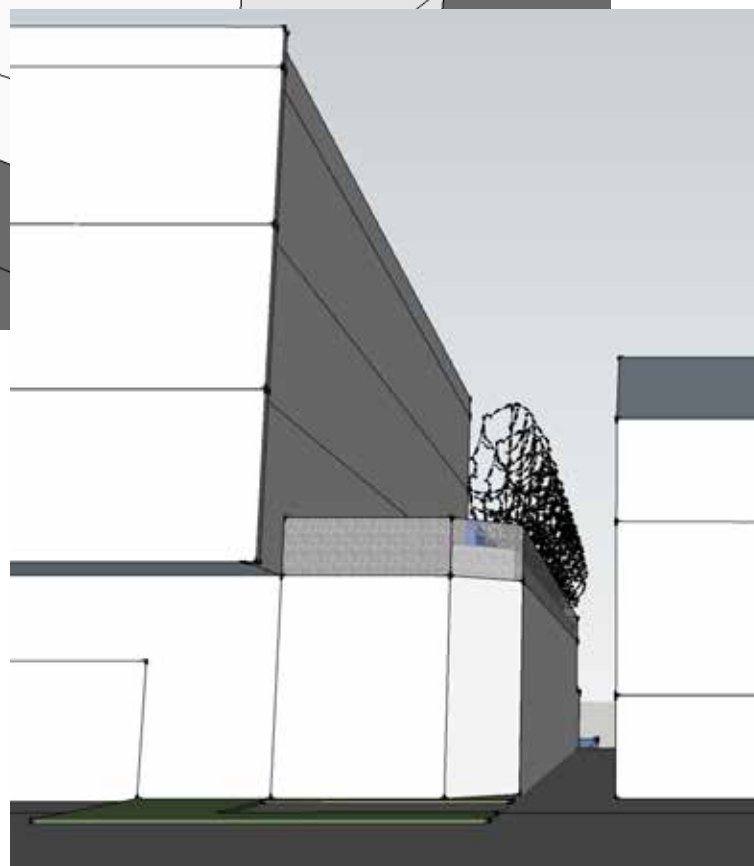
mesh railings added to encourage residents to look out, but not down

2nd floor planter buffer sunk down into deck to reduce visual bulk at property line





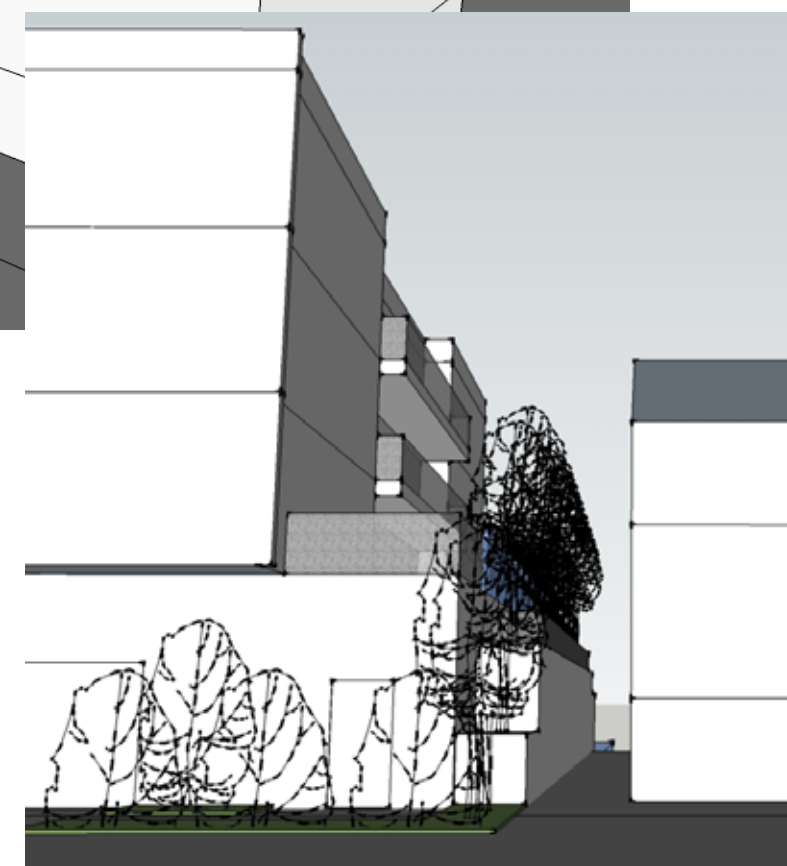
DESIGN AT EDG



CURRENT PROPOSAL

RESPONSE TO EDG GUIDANCE

- Central portion, adjacent to Master Bedroom and front/rear yard of LR-2 neighbor, pulled in 3' to break up massing and provide privacy relief
- bulk at SW corner reduced by sinking 2nd floor planter into deck and cascading planters and landscaping down to grade
- increased density of landscaping at grade by relocating utility vault

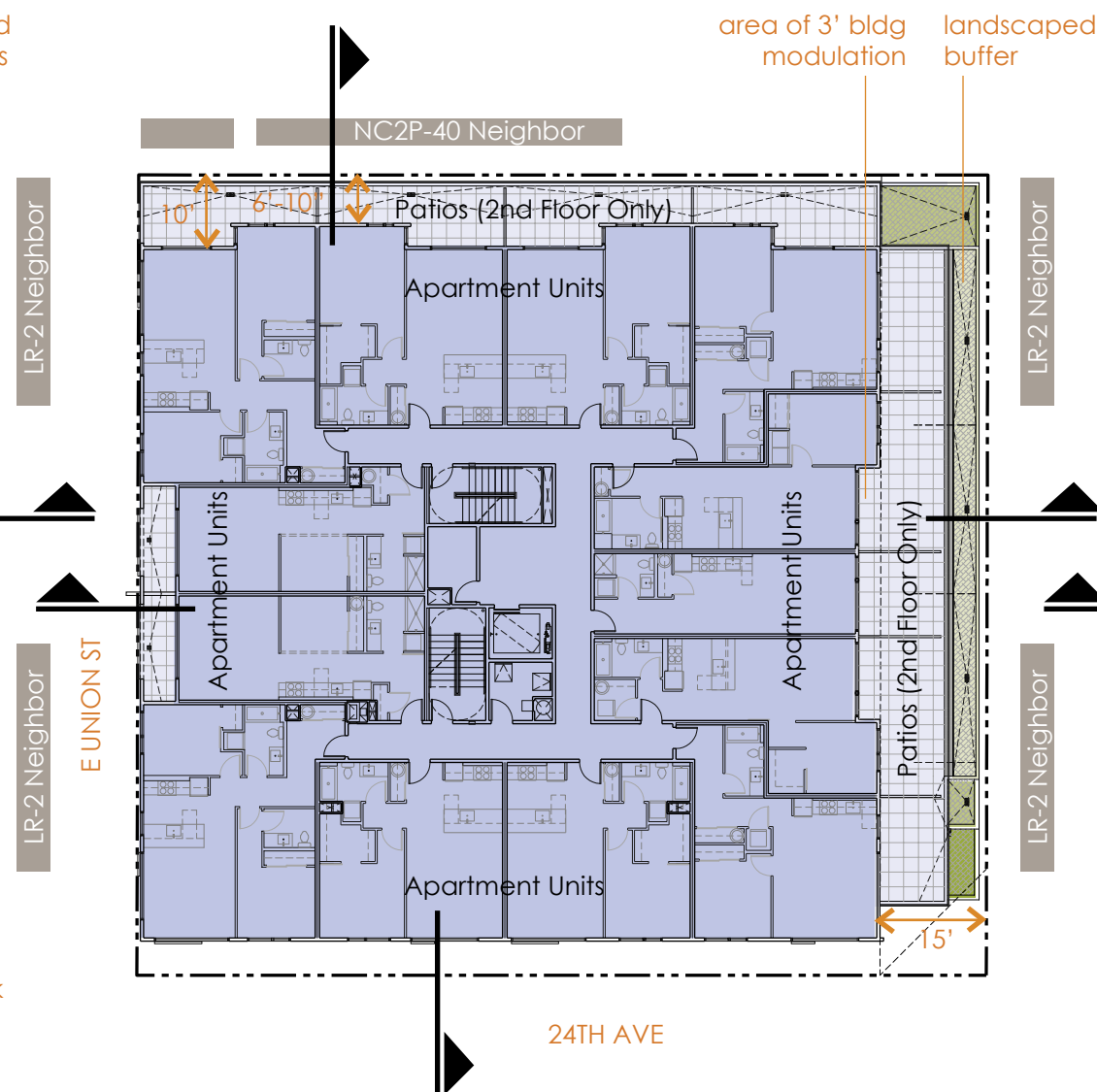




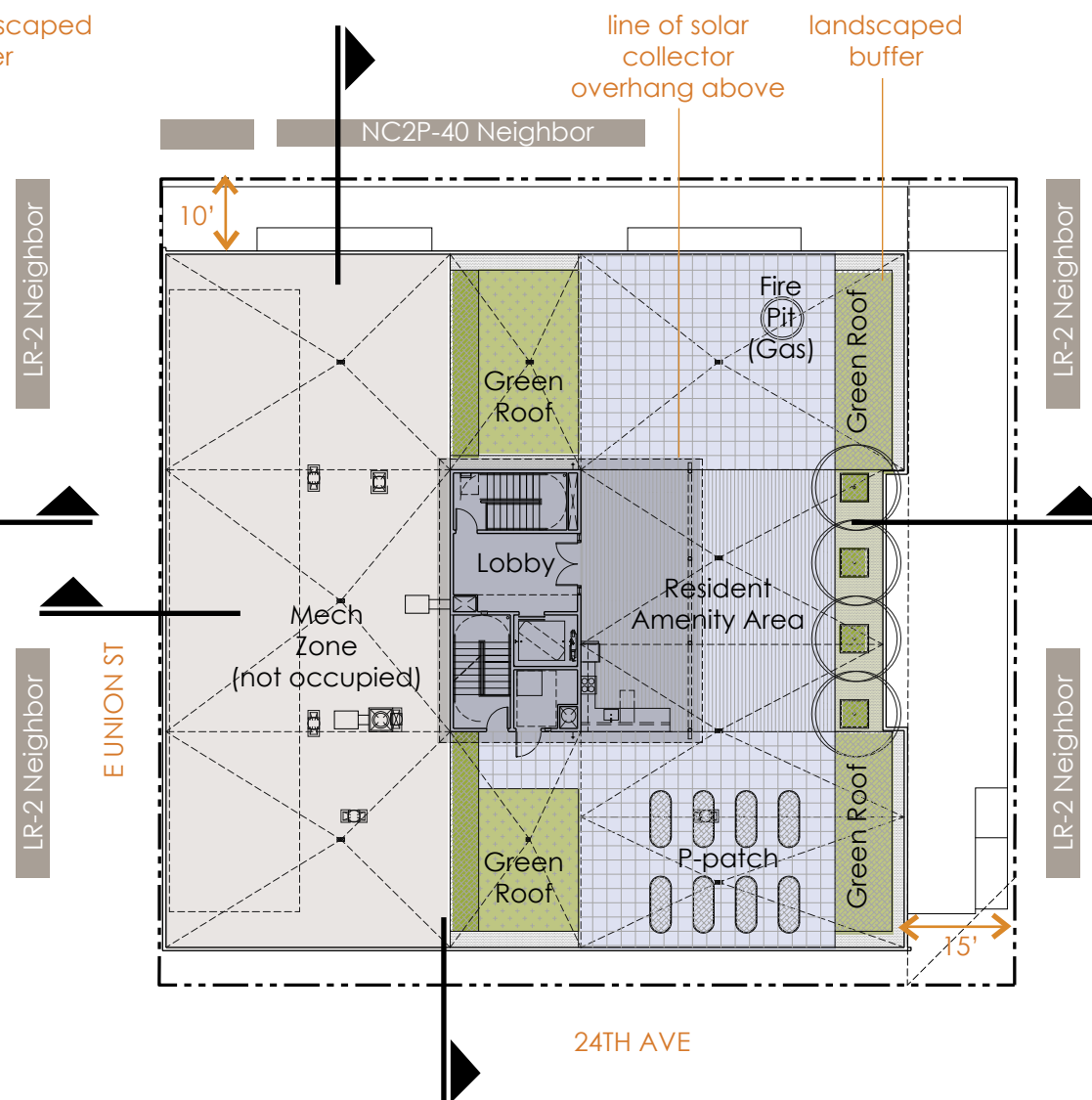
CURRENT DESIGN PROPOSAL - View from 24th Ave



1ST FLOOR PLAN (Street Level)



2ND FLOOR PLAN (Floors 3 & 4 sim)



ROOF DECK PLAN



enhance existing streetscape



perimeter trees for screening



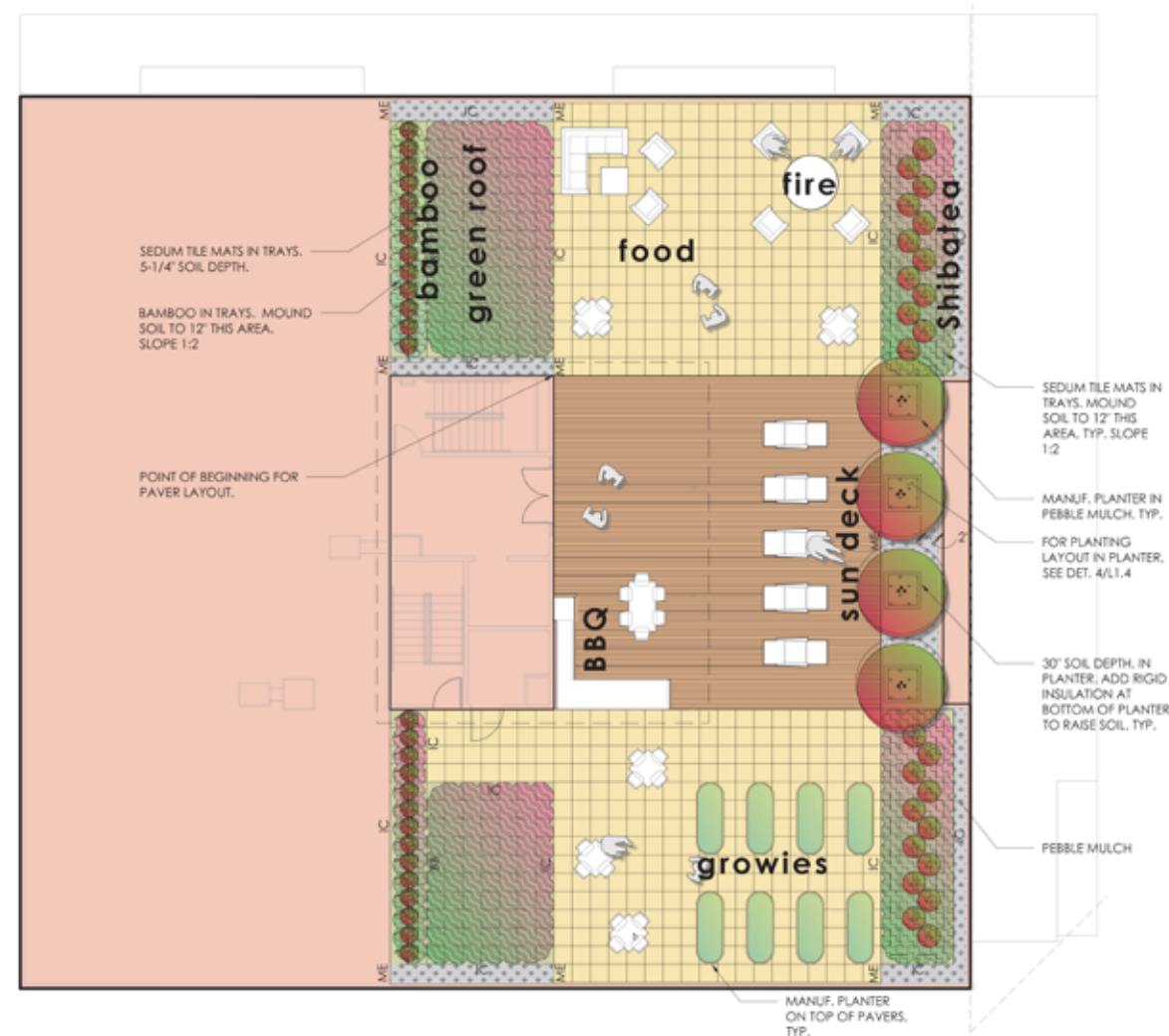
sidewalk spillover



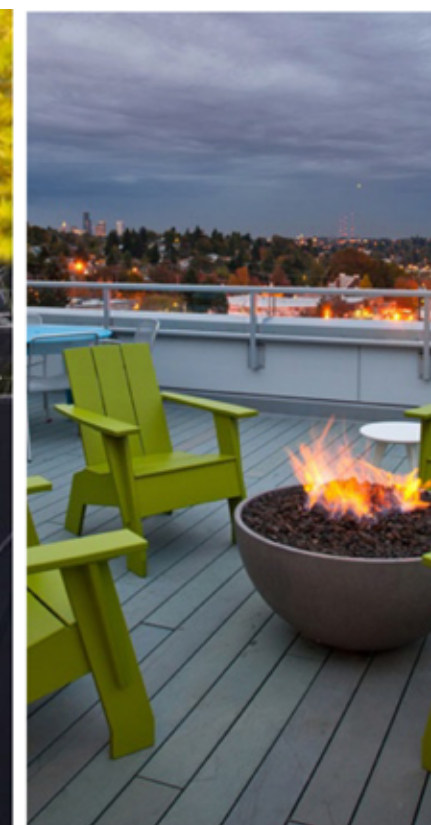
inside outside

UNION + 24TH • Karen Kiest | Landscape Architects

STREETSCAPE + PODIUM



planters



fire pit and views



BBQ etc.



green roof










growies

0' 10' 20' < N

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ROOF

<u>GROUNDCOVERS</u>		
	OPHIOPOGON P. 'NIGRESCENS' **	BLACK MONDO GRASS
	LIRIOPE SPICATA	CREEPING LILYTURT
	50% PACHYSANDRA TERMINALIS **	50% JAPANESE SPURGE
	35% DRYOPTERIS ERYTHROSORA	35% AUTUMN FERN
	15% HELLEBORUS X HYBRIDUS 'SUNSHINE' **	15% 'SUNSHINE' HELLEBORE
	50% EPIMEDIUM ALPINUM **	50% EPIMEDIUM
	25% ASTILBE X ARENDsii 'PEACH BLOSSOM'	25% 'PEACH BLOSSOM' ASTILBE
	25% POLYSTICHUM MUNITUM **	25% SWORD FERN
	MULCH AT EX. TREES, 4" DEPTH	
<u>GREENROOF PLANTING</u>		
	SEDUM TILE PREVEGETATED MATS**, 12" SOIL DEPTH	
	SEDUM TILE PREVEGETATED MATS**, 5-1/4" SOIL DEPTH	
COLOR MAX. AVAILABLE FROM ETERA, CONTACT DAVID GILMORE 360.661.2767		

A photograph of a young tree with a dense canopy of green and yellowing leaves, likely a maple, standing in a field. The ground is dry and sandy, and there are some low-lying plants in the foreground. The background is slightly blurred, showing more trees and a clear sky.

A photograph of a large, bushy pink flowering plant, likely a Lagerstroemia speciosa (Crape Myrtle), in full bloom. The plant has multiple stems and is covered in dense, bright pink flowers. It is situated in a grassy area under a clear blue sky.

A close-up photograph of a plant with numerous small, rounded, green leaves. The leaves are densely packed and have a slightly glossy texture. Some leaves show signs of aging or damage, with some edges appearing slightly brown or yellowed. The background is dark and out of focus.

PLANTS





Steel and woven mesh railings



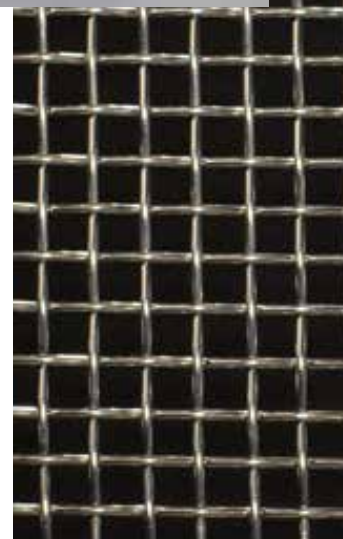
Aluminum and open weave mesh garage door



floor-to-ceiling black vinyl windows



Painted cement board panel siding



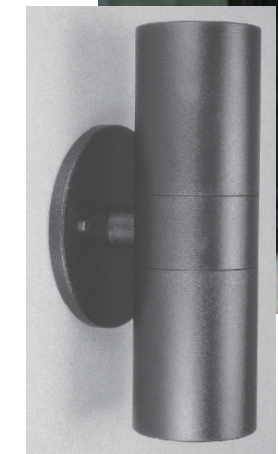
Steel awning with cedar soffit



Pre-weathered steel panel siding



Reclaimed fir (entry portals)



Up-down bldg-mounted sconce lighting

Boardform concrete



Fir entrance doors in black anodized aluminum storefronts



cast-in-place concrete garage walls @ site interior

Cedar siding w/ semi-transparent stain







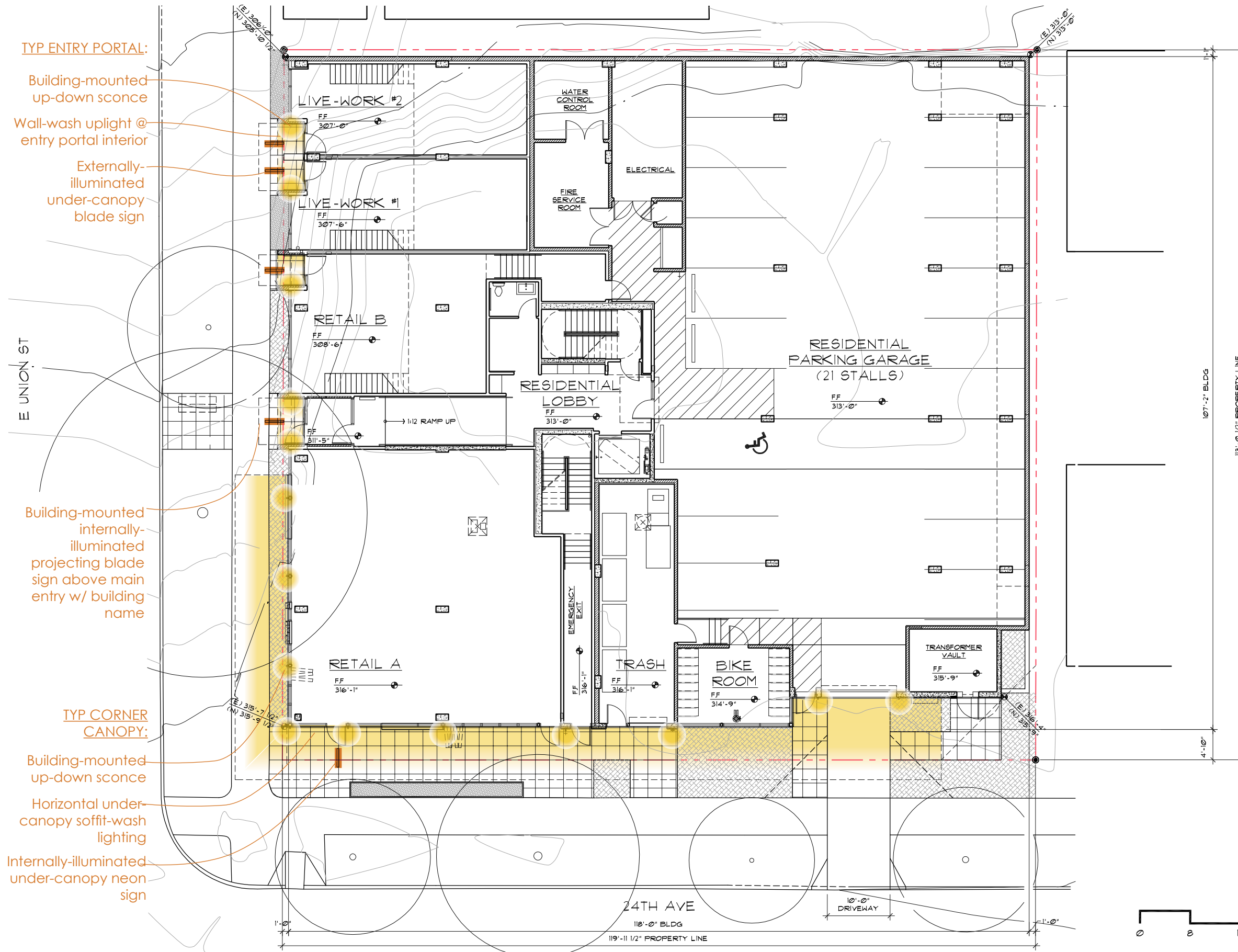
Entry 'portal' along E Union St (live-work entrances shown)



Corner (Retail A) entrance at 24th & E Union



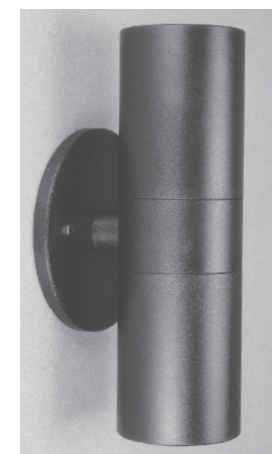
Owner may add artistic images/panels to the building exterior, such as the ones depicted



Internally-illuminated projecting blade sign



Internally-illuminated under-canopy neon sign



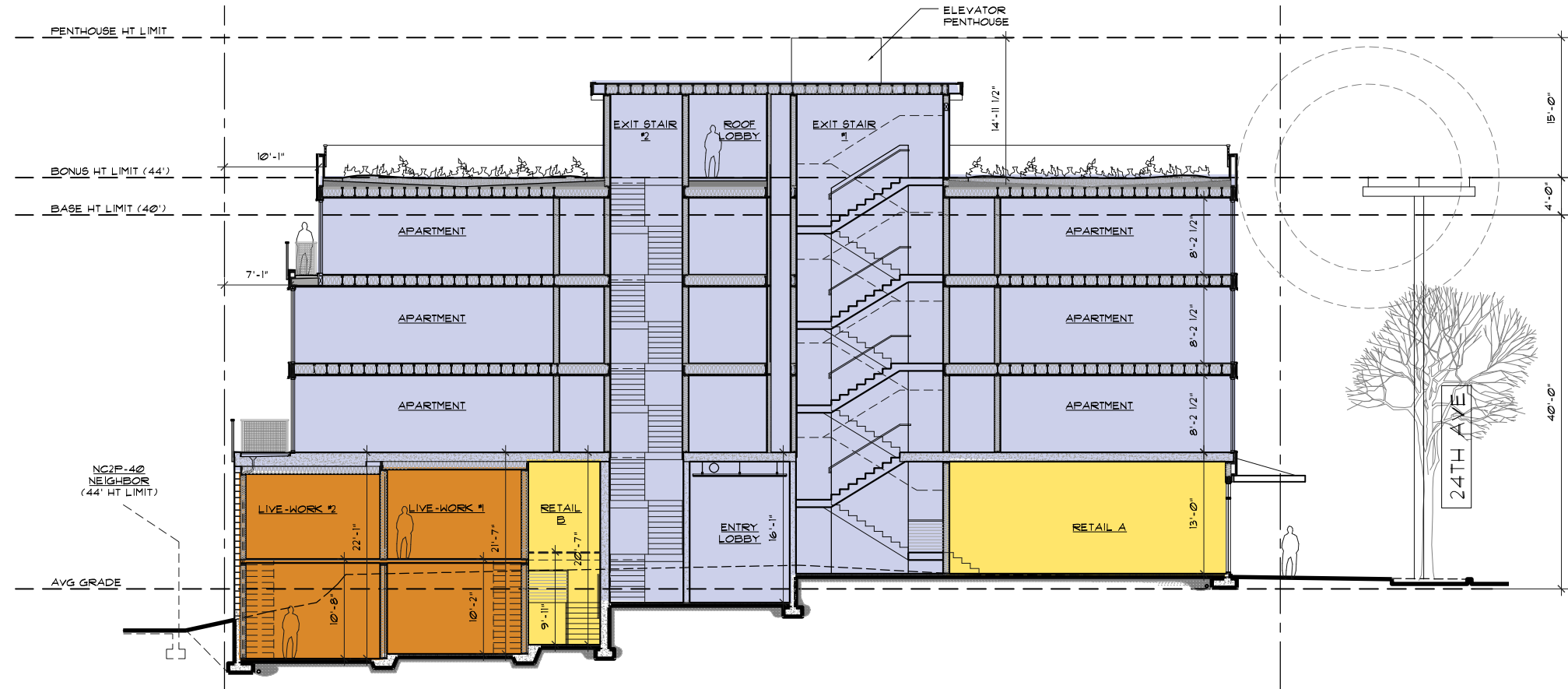
Building-mounted up-down sconce



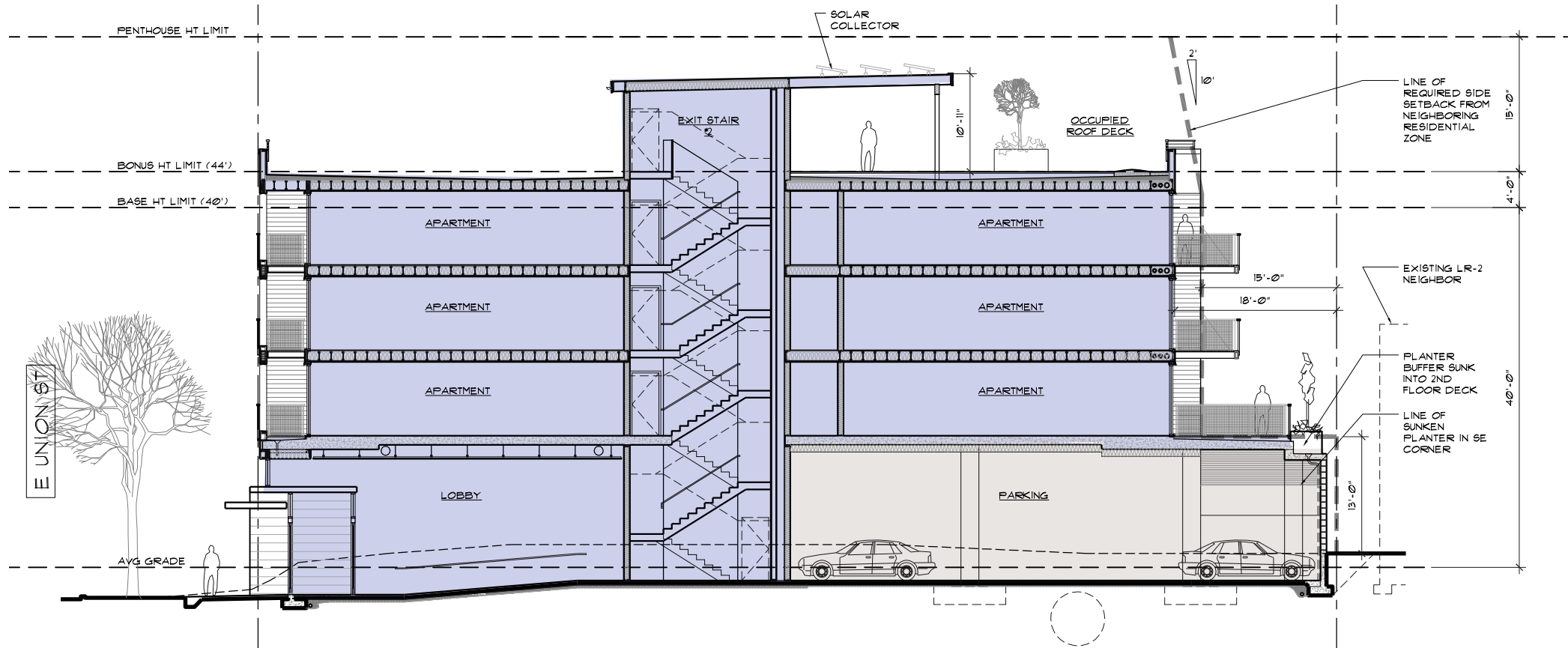
Wall-wash uplight @ entry portal interior



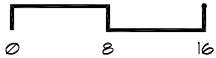
Horizontal under-canopy soffit-wash lighting



EAST-WEST SECTION (Parallel to E Union St)



NORTH-SOUTH SECTION (Parallel to 24th Ave)



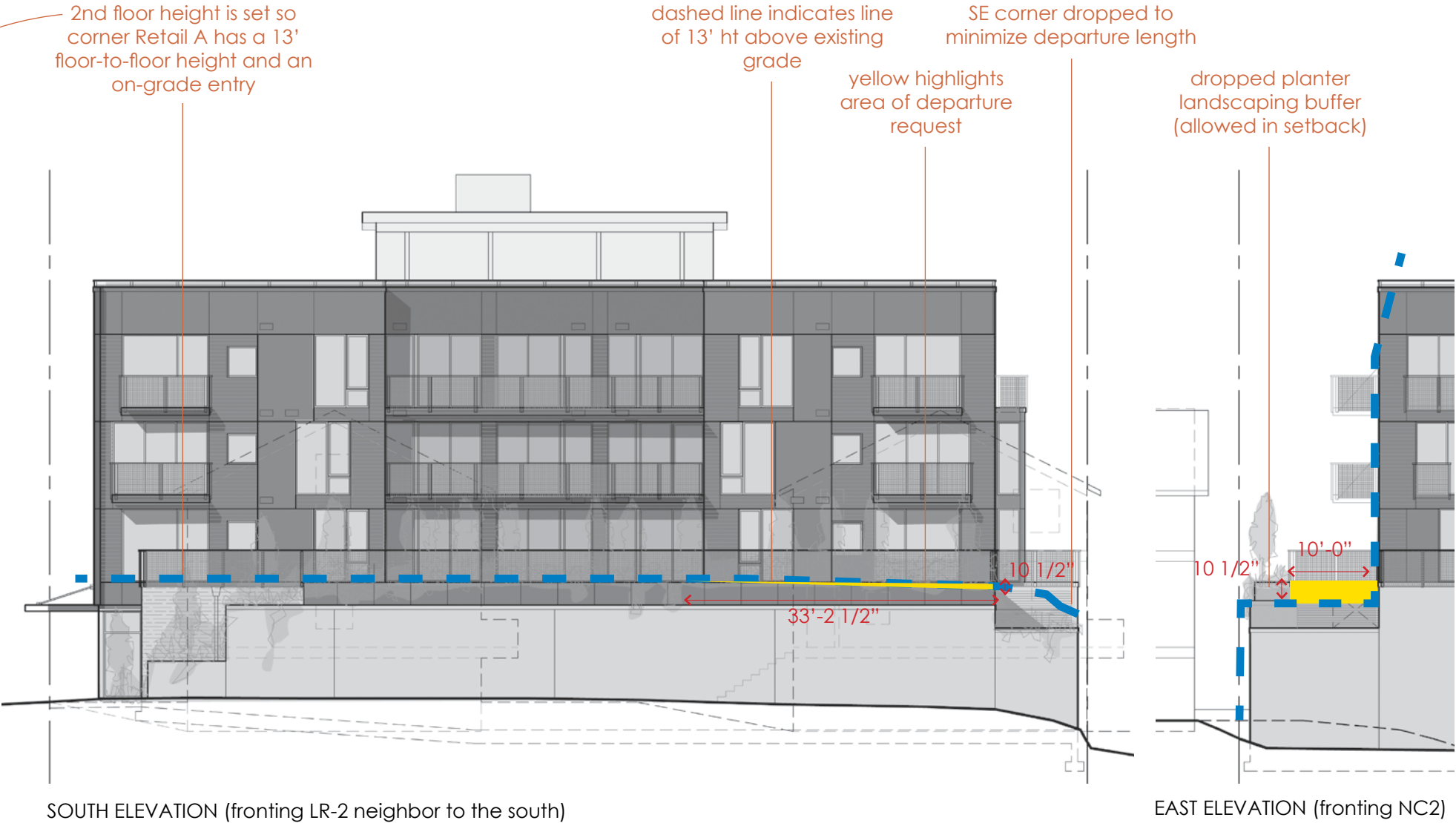
DEPARTURE	CODE REQUIREMENT	PROPOSED DESIGN	JUSTIFICATION
Use frontage facing a principle pedestrian-designated street	SMC 23.47A.008 C A minimum of 80% of the street-level facade width facing a Principle Pedestrian Street (E Union) shall be occupied by general sales/services or eating and drinking establishments	63% of the street-level facade facing E Union St is occupied by permitted pedestrian-oriented uses. The remaining frontage is occupied by live-work units and the primary residential entry to the building	<p>The proposed design allows prominent retail to anchor the corner @ 24th & Union (Guideline CS2.A.1: Sense of Place, CS2.A.2: Architectural Presence, and CS2.C.1: Corner Sites). The proposed allocation of space from larger-scale at the west to smaller-scale Live-Works at the east echoes the scale of the block (Guideline CS2.D.1: Existing Development and Zoning).</p> <p>Placement of the Live-Works at the natural low point of the topography allows double-height space (with mezzanine), which lends separation between public and private uses within the units, creating a stronger business portion of the Live-Work adjacent to the street (Guideline CS1.C.1: Land Form).</p>



DEPARTURE	CODE REQUIREMENT	PROPOSED DESIGN	JUSTIFICATION
Side setback at south lot line bordering a residential zone	<p>SMC 23.47A.014 B 3</p> <p>For a structure containing a residential use abutting a side lot line of a residential zone:</p> <ul style="list-style-type: none">- A 0' setback is required up to 13' height- A 15' setback is required from 13'-40' height	<p>A small triangular area 10 1/2" high (max) X 33'-2 1/2" long (max), occurring in plan between 5' and 15' north of the south lot, is in the setback area. This is necessary to provide a 13' floor-to-floor height at the NW corner retail space, which addresses several design guidelines for the site & neighborhood. The SE corner is lowered to minimize the departure length as is a second floor planter, which offers screening and privacy, without projecting into the setback envelope or exceeding the 4' planter allowance.</p>	<p>The elevation of the second floor is determined by a 13' floor-to-floor height at the corner Retail A at 24th & Union (which is also the high point of natural grade along E Union St). The finished floor of Retail A matches the elevation of the existing sidewalk at the street corner in order to maximize transparency and accessibility of the prominent retail corner entry (GUIDELINES CS2.A.2: Architectural Presence, GUIDELINE CS2.B.2: Connection to the Street, and PL2.A.1: Access for All).</p> <p>To minimize the scale of this departure request, the level of the 2nd floor patio at the SE corner has been lowered by 6' and landscaped, and a sunken planter buffer is provided along the full stretch of south-facing patios within 5' of the property line, which enhances privacy for site neighbors</p>



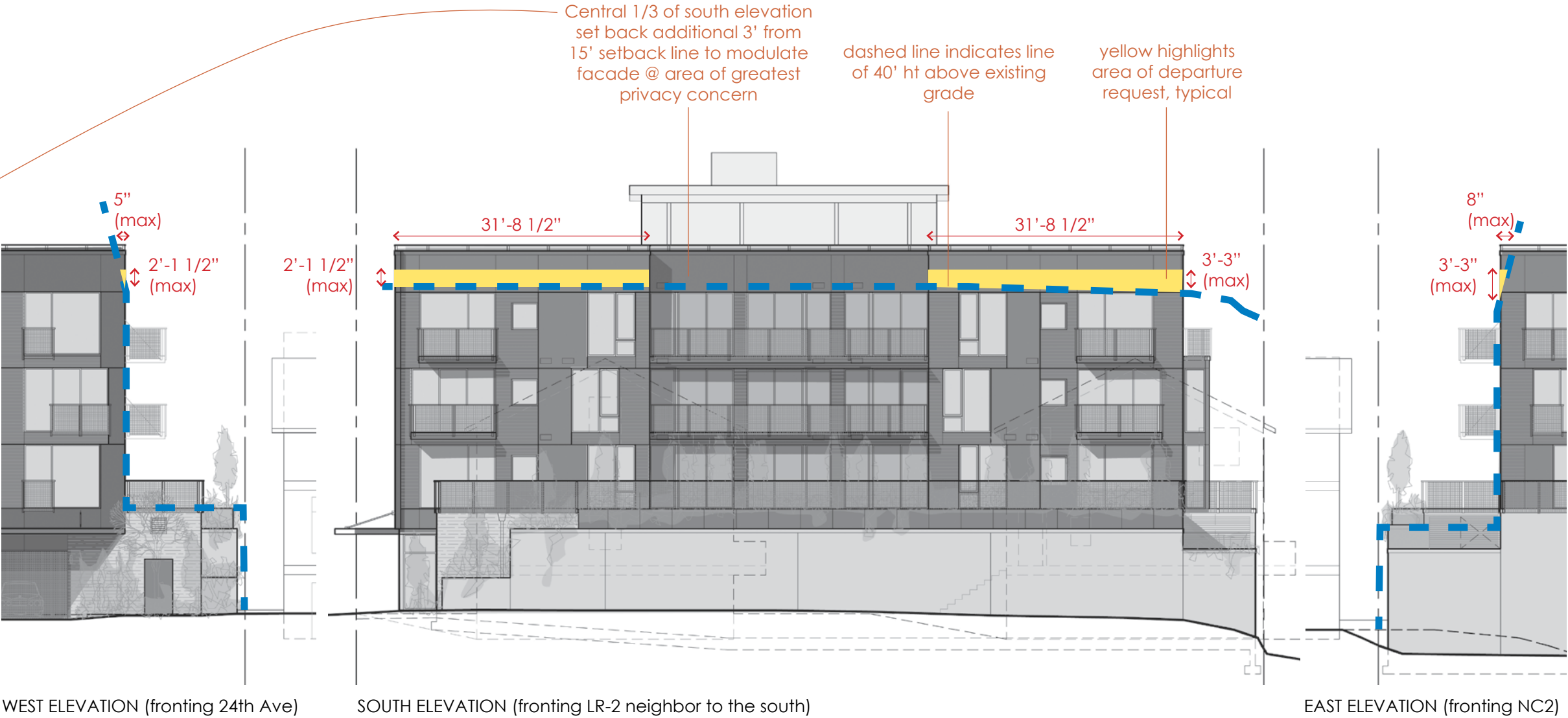
CORNER RETAIL @ 24TH & E Union St

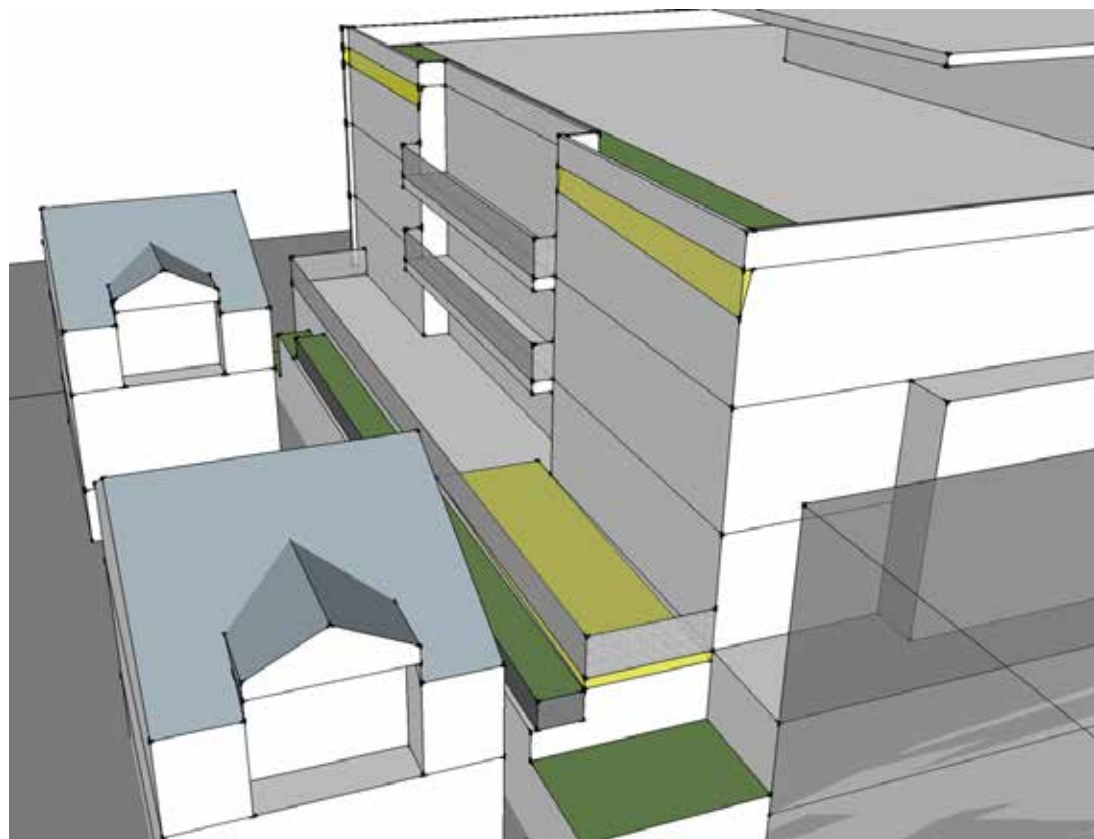


DEPARTURE	CODE REQUIREMENT	PROPOSED DESIGN	JUSTIFICATION
Side setback at south lot line bordering a residential zone	<p>SMC 23.47A.014 B 3</p> <p>For a structure containing a residential use abutting a side lot line of a residential zone:</p> <p>- A 15' + 2':10' sloped setback is required above 40'</p>	<p>Two small triangular areas 2'-1 1/2" (max) high x 31'-8 1/2" long and 3'-3" (max) high x 31'-8 1/2" long, occurring in plan between 15'-0" and 15'-8" north of the south lot, are in the setback zone. These two areas flank a center portion of the facade that is set back from the property line an additional 3' than the code minimum.</p>	<p>To better provide an appropriately-scaled transition to the neighboring LR-2 property, the south facade has been modulated by stepping in the center portion of Floors 2-4 an additional 3' in excess of the zoning-required 15' setback (Guideline CS2.D.3: Zone Transitions). This provides enhanced privacy at the area of most sensitive neighboring uses (Guideline CS2.D.5: Respect for Adjacent Sites), and visually divides the south facade into thirds, breaking down the scale of the elevation (Guideline DC2.A.2: Reducing Perceived Mass).</p> <p>In order to ensure an overall, well-proportioned and composed facade that has an appropriate amount of visual depth and interest--given the increased setback in the middle section--the two flanking ends of the building maintain a vertical continuum along the height of the facade (Guideline DC2.B.1: Facade Composition, Guideline DC2.C.1: Visual Depth and Interest). For reference, and unrelated to the departure, the center portion of the facade has been eroded significantly as a response to adjacent neighbor considerations.</p>

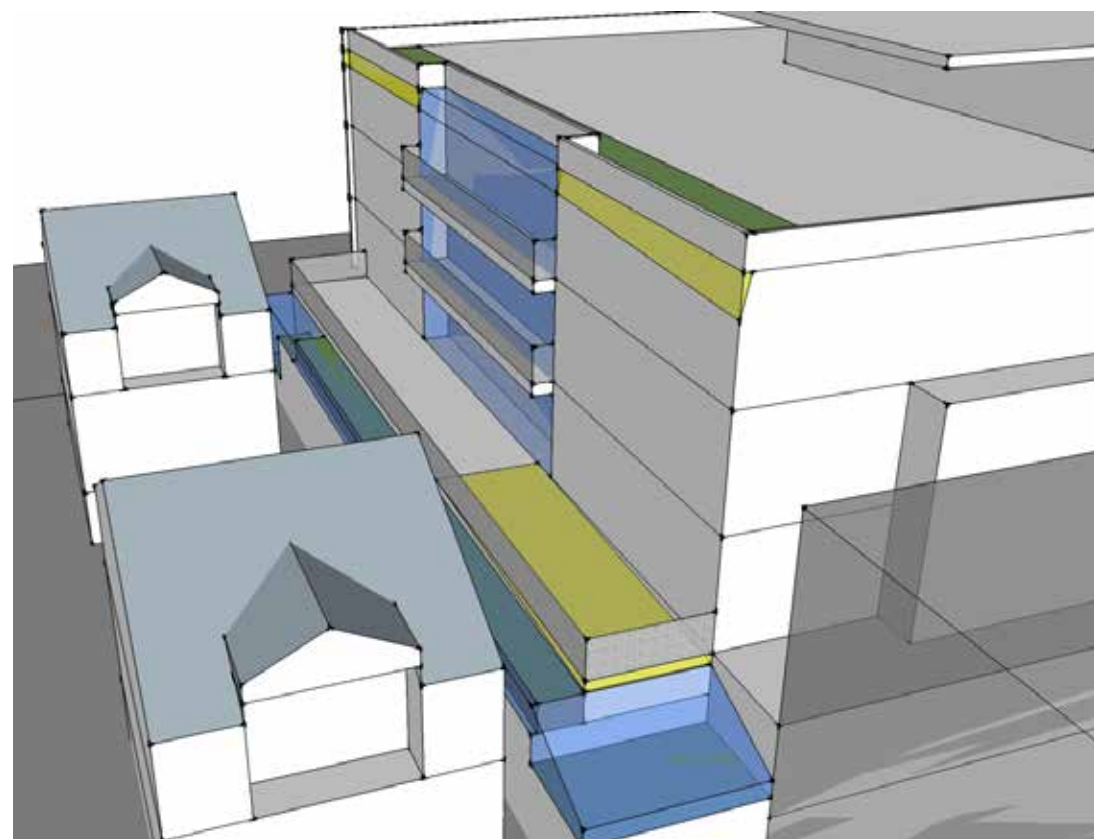


VIEW OF SOUTH ELEVATION FROM 24TH AVE

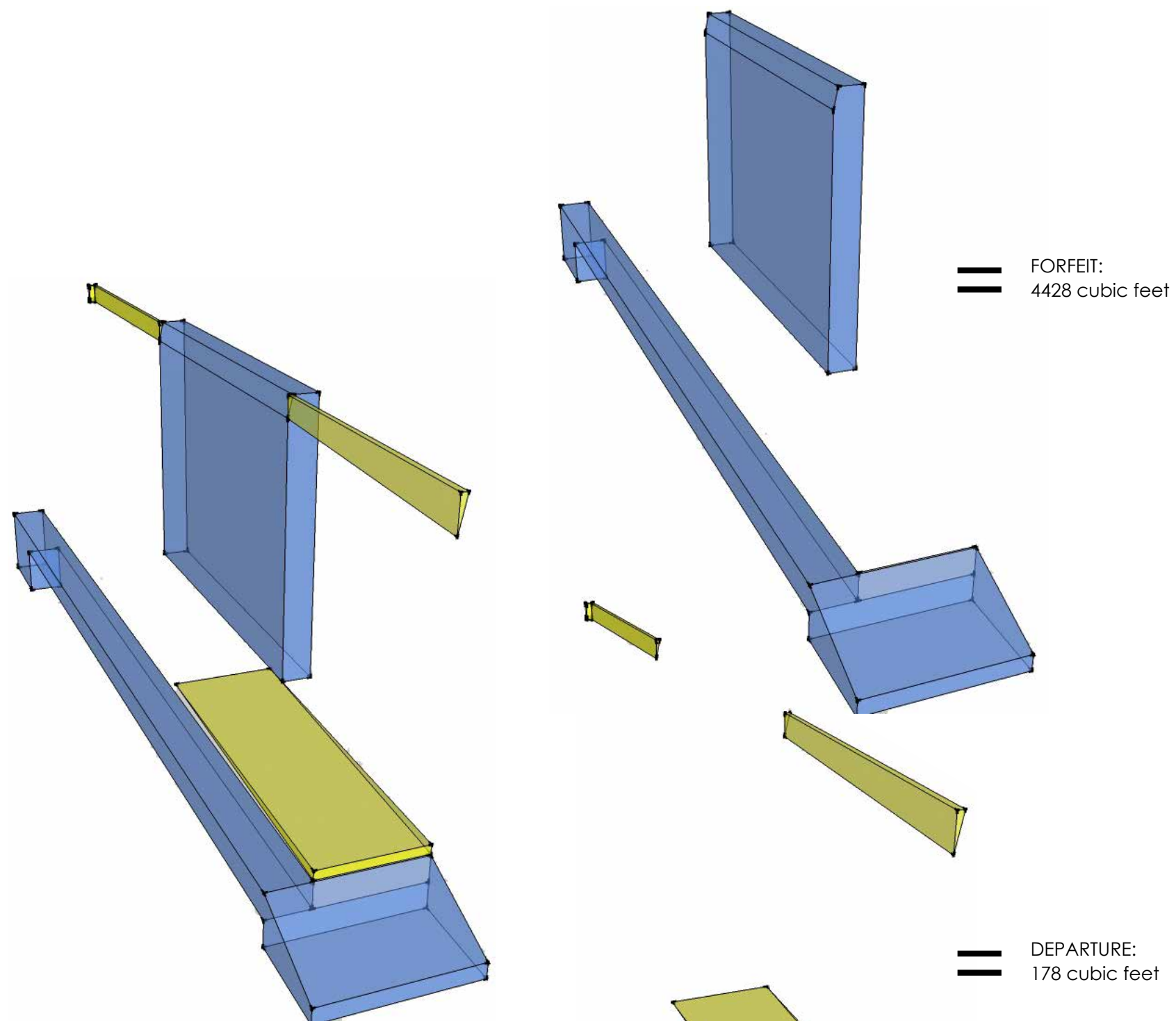




AXON VIEW - Massing from SE Corner, looking NW, showing departure areas (yellow)



AXON VIEW - Massing from SE Corner, looking NW, showing departure + forfeit areas



DEPARTURE vs FORFEIT

KEY:

Departure Request

Forfeit Area*
 *area allowed by zoning
 but left undeveloped by
 proposed design

DEPARTURE	CODE REQUIREMENT	PROPOSED DESIGN	JUSTIFICATION
No intervening use between garage and street	<p>SMC 23.47A.032 B 1 b</p> <p>Within a structure, street-level parking shall be separated from street-level, street-facing facades by another permitted use</p> <p>NOTE: Exterior parking is permitted to the side of the structure for a length of 60' per SMC 23.47A.032 B 1 c</p>	<p>Parking is provided within the structure with an intervening bike room use at the north side of the driveway, and a landscaped zone with cascading planters at the south side. Driveway width has been minimized to 10' to maximize landscape potential and slow traffic for safety.</p>	<p>Consistent with the current use of the south portion of the site, the preferred design provides parking in the same location, but is contained within and screened by the building. An attractive street-oriented bicycle room will be located between the garage and the sidewalk north of the driveway and a landscaped area with vertically-oriented planting is proposed for the south side in lieu of a zoning-preferred, but less contextually appropriate use such as retail or live-work units (GUIDELINE CS2.B.2: Connection to the Street). Intensive programming of sidewalk uses becomes less desirable as the street character along 24th becomes increasingly residential further south (GUIDELINE CS2.D.3: Zone Transitions), and the SW corner of the site provides the least-impactful location to bring utilities into the building, away from pedestrian-oriented Union St. A landscaped zone at the southeast portion of the site will also enhance the ground-level privacy of the adjacent LR zone's front yard. (GUIDELINE CS2.D.5: Respect for Adjacent Sites).</p>



