

2407 E UNION ST  
Early Design Guidance  
April 23, 2014  
DPD Project #3017002

SITE AREA: 13,560 sf (approximately 120' deep x 113' wide)

ZONING: NC2-P40 w/ Residential Urban Village

#### PROJECT DESCRIPTION:

Proposal for a new mixed-use project 4 stories above grade with ground floor street-facing retail, live/work units and at-grade parking. Current development objectives vary by scheme, but include:

- 39 residential apartment units
- 3,000 sf retail
- 2 live/work units at ground floor
- 22 onsite parking stalls in subgrade garage

#### SUMMARY OF DEVELOPMENT STANDARDS:

Height limit:  $40' + 4' \text{ Bonus} = 44'$  (note: 13' ground floor required)  
(SMC 23.47A.012)

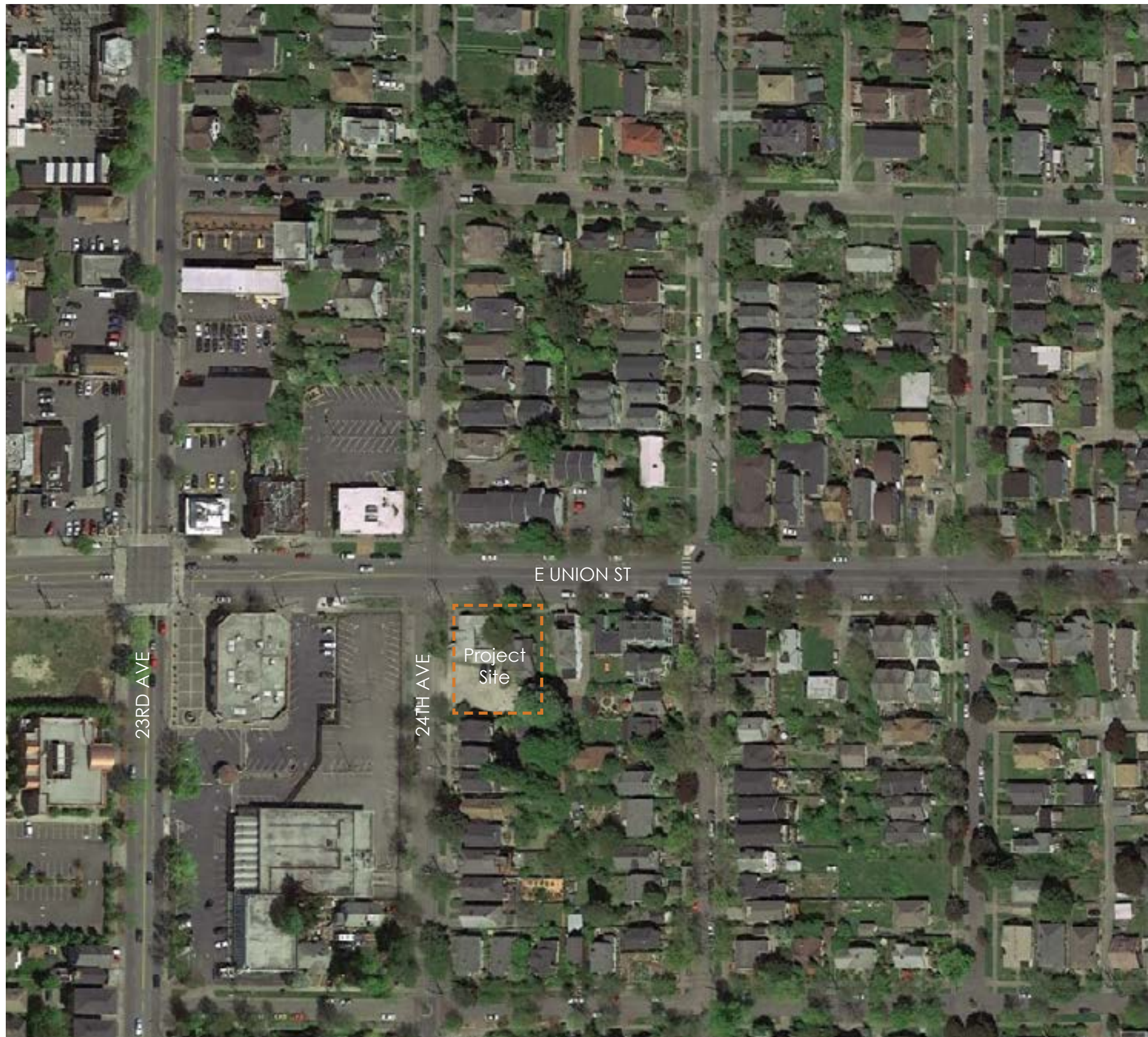
Parking: No parking required in urban village within 1,320 ft of frequent transit (SMC 23.54.015)

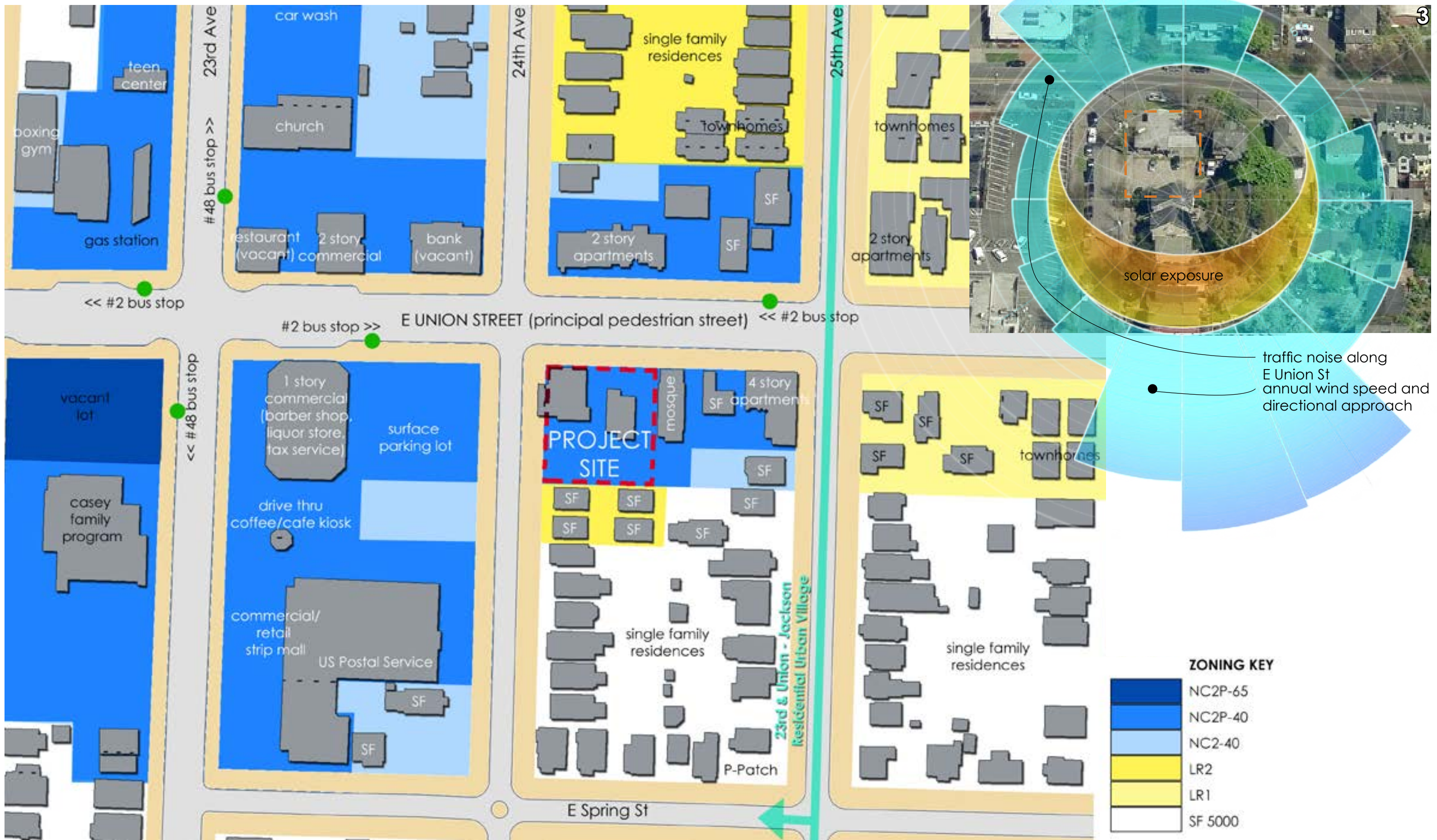
FAR: 3.25 (mixed-use)  
 $13,560 \text{ sf site} \times 3.25 = 44,070 \text{ sf allowed development}$   
(SMC 23.47A.013)

Setbacks: 15' triangular setback at SW corner abutting neighboring residential  
15' setback above 13' from south lot line abutting neighboring residential  
(SMC 23.47A.014)

Live/Works: In pedestrian-designated zones, live-work units shall not occupy more than 20 percent of the street-level street-facing facade along designated principal pedestrian streets (E Union St).  
(SMC 23.47A.004G)

Solid Waste Storage:  $375 \text{ sf (res)} + 62.5 \text{ (retail)} = 437.5 \text{ sf}$   
(SMC 23.54.040)







1 E Union St, looking N from project site



4 Neighboring mosque to east



2 24th Ave NW north of project site, looking NE at site



3 E Union St east of site, looking W



4 24th Ave, looking W from project site



5 24th Ave, looking E at site



1 single family home on site



2 mixed-use E of site on E Union St



3 bank NW of site across E Union St



4 live-work NW of site on Pike



5 single family NW of site on Pike



6 carwash NW of site on 23rd Ave



7 commercial NW of site on E Union St



8 commercial W of site on 23rd and Union



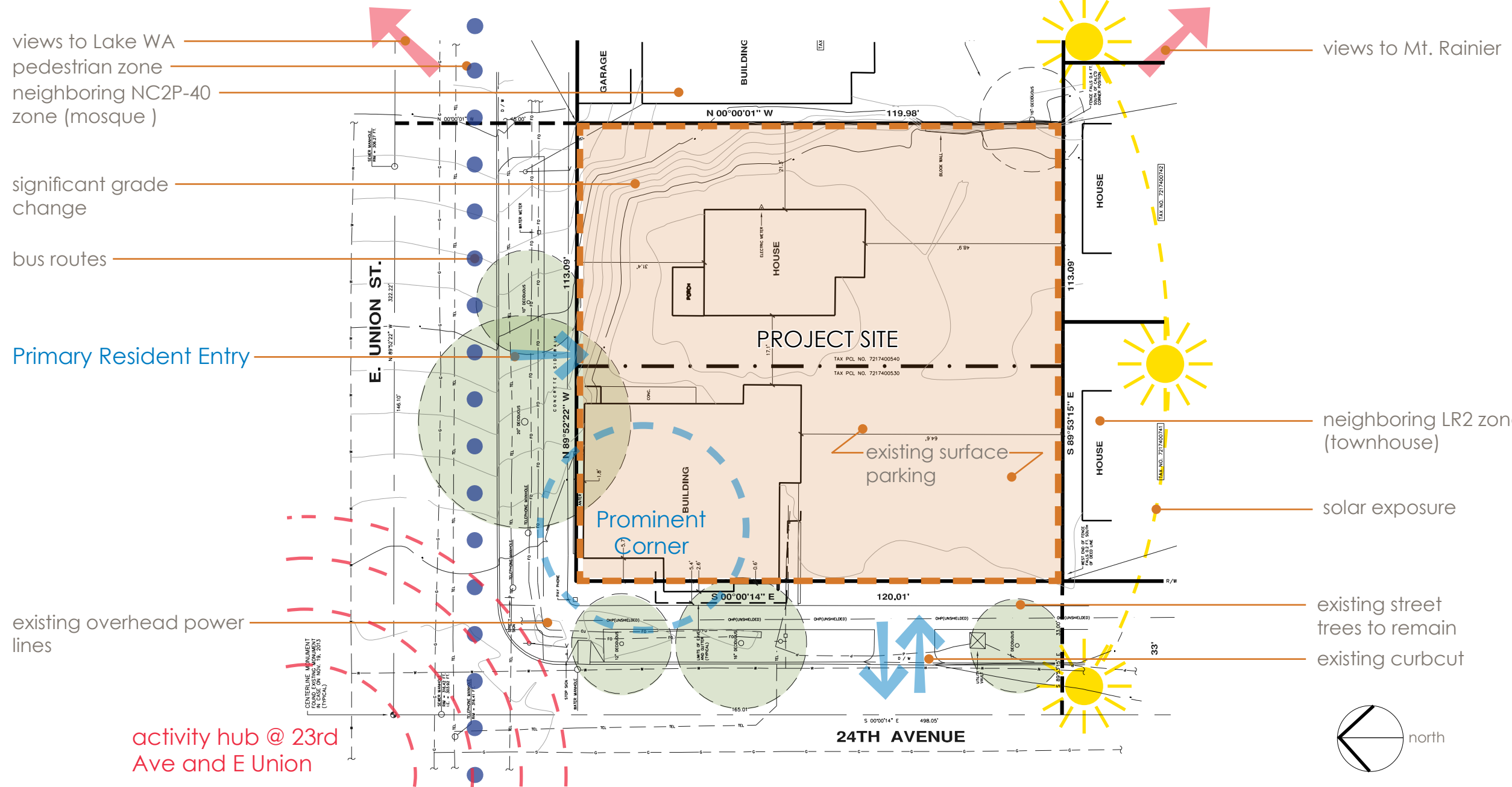
9 civil SW of site on 23rd Ave



Looking SW to site from E Union & 24th



Looking E to site from E Union & 24th





Utilization of neighborhood/residences for entrepreneurial ventures



Recent development with fine grain retail



Well-tended Craftsman homes exhibiting a variety of colors + textures



Proximity to transit and bicycle lane network



Large pedestrian-oriented storefront windows; durable building materials



Eclectic mix of cladding materials and colors



## CS CONTEXT & SITE

### > CS2 A 1: Sense of Place

Sites with prominent visibility and relationship to iconic transportation junctions (23rd & Union) should serve as a gateway to the community

### > CS2 A 2: Architectural Presence

Development should contribute to a strong street edge and the creation of a quality public realm

### > CS2 B 2: Connection to Street

Functions should be tied to character of a street and contribute to the quality and character of the streetscape

### > CS2 C 1: Corner Sites

Public oriented features such as extra pedestrian space and generous entries should be considered at corner sites

### > CS2 D 1: Existing Zoning and Development

Complement scale and development of both existing and anticipated site neighbors

### > CS3 A 1: Fitting Old and New Together

Emphasize positive neighborhood attributes, such as eclectic character and small-scale businesses

## PL PUBLIC LIFE

### > PL1 B 3: Pedestrian Amenities

Contribute lively, pedestrian-oriented open spaces, prominent entrances, and large storefront windows

### > PL2 A 1: Access for All

Design points of entry with accessibility in mind and refrain from creating "back door" entrances

## DC DESIGN CONCEPT

### > DC1 B 1: Vehicular Access Location and Design

Choose locations for service and vehicle access to minimize conflict with the public realm

### > DC2 D 1: Human Scale

Incorporate fine-grain design elements to engage the pedestrian



Prominent corner retail connects building and street life



### Overview

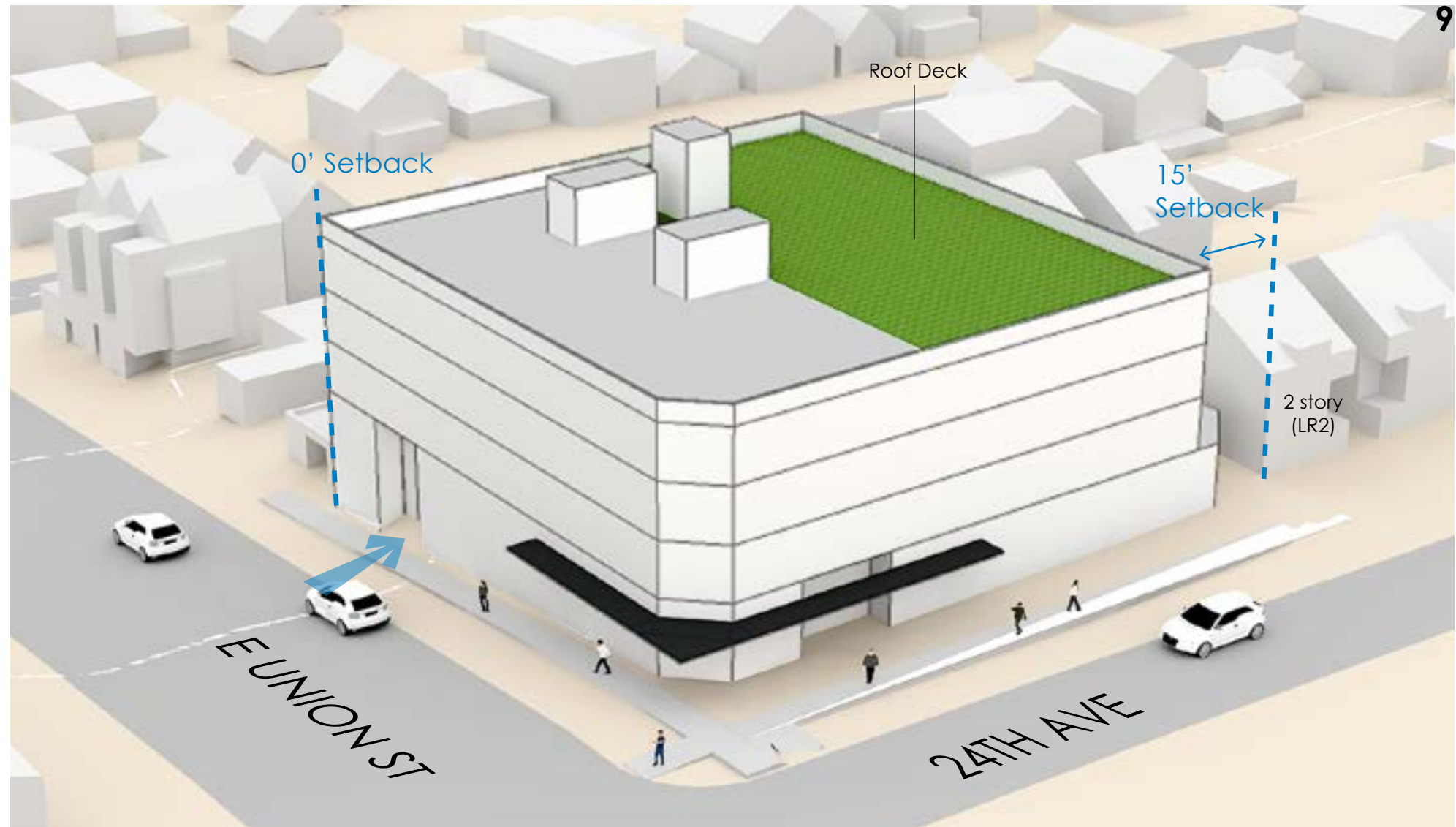
- 4-story massing; 44' height
- 42 apartment units, 6 live-work units (6,212 sf) and 2,321 sf ground floor retail
- No on-site parking
- FAR shown: 44,070 sf (limit is 44,070 sf for mixed-use)
  - 1st: 12,039 sf
  - 2-4: 10,677 sf each

### Opportunities

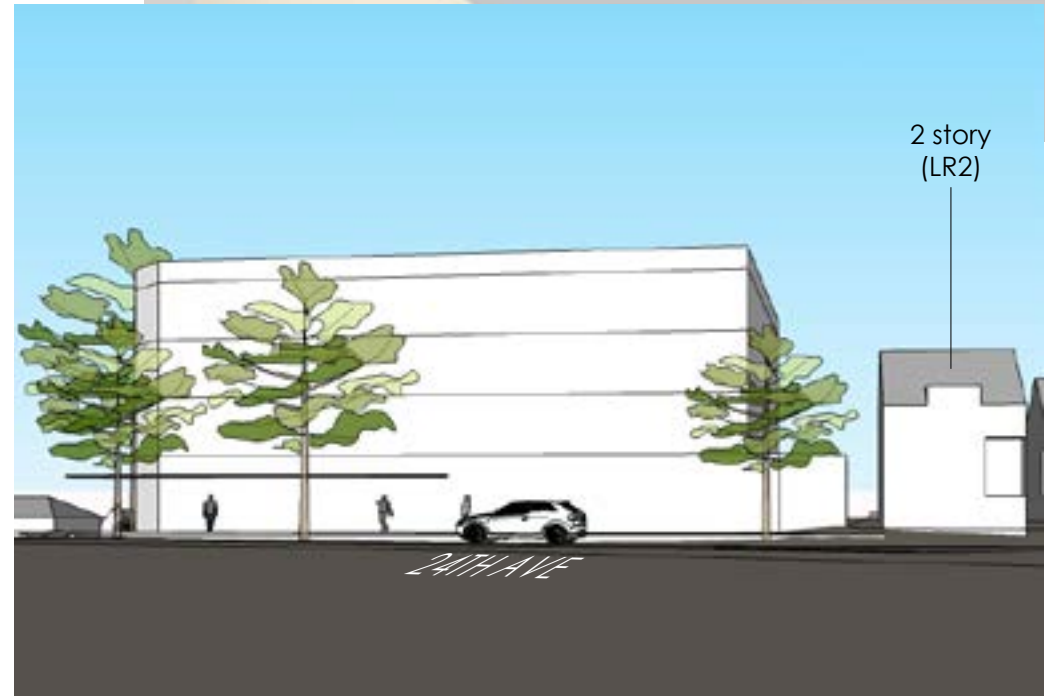
- maximizes zoning development potential
- no development departures required
- maximizes leasable area

### Challenges

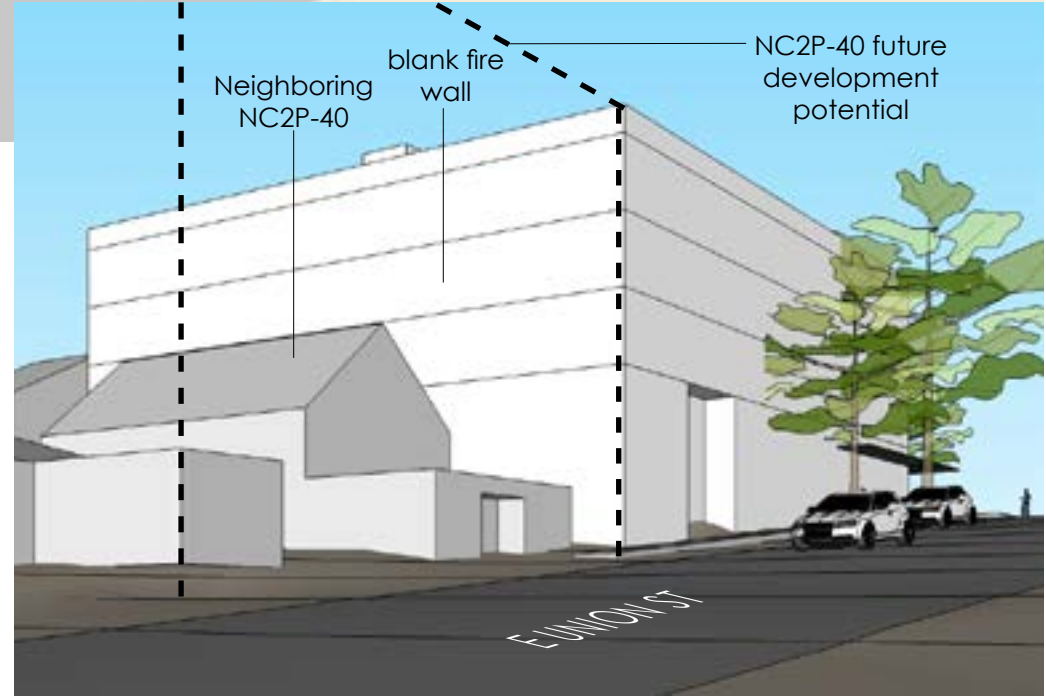
- no parking provided on-site
- deep units have limited glazing opportunity
- full-height fire wall required at east property line (large blank wall)



NW Corner at 24th Ave and E Union St



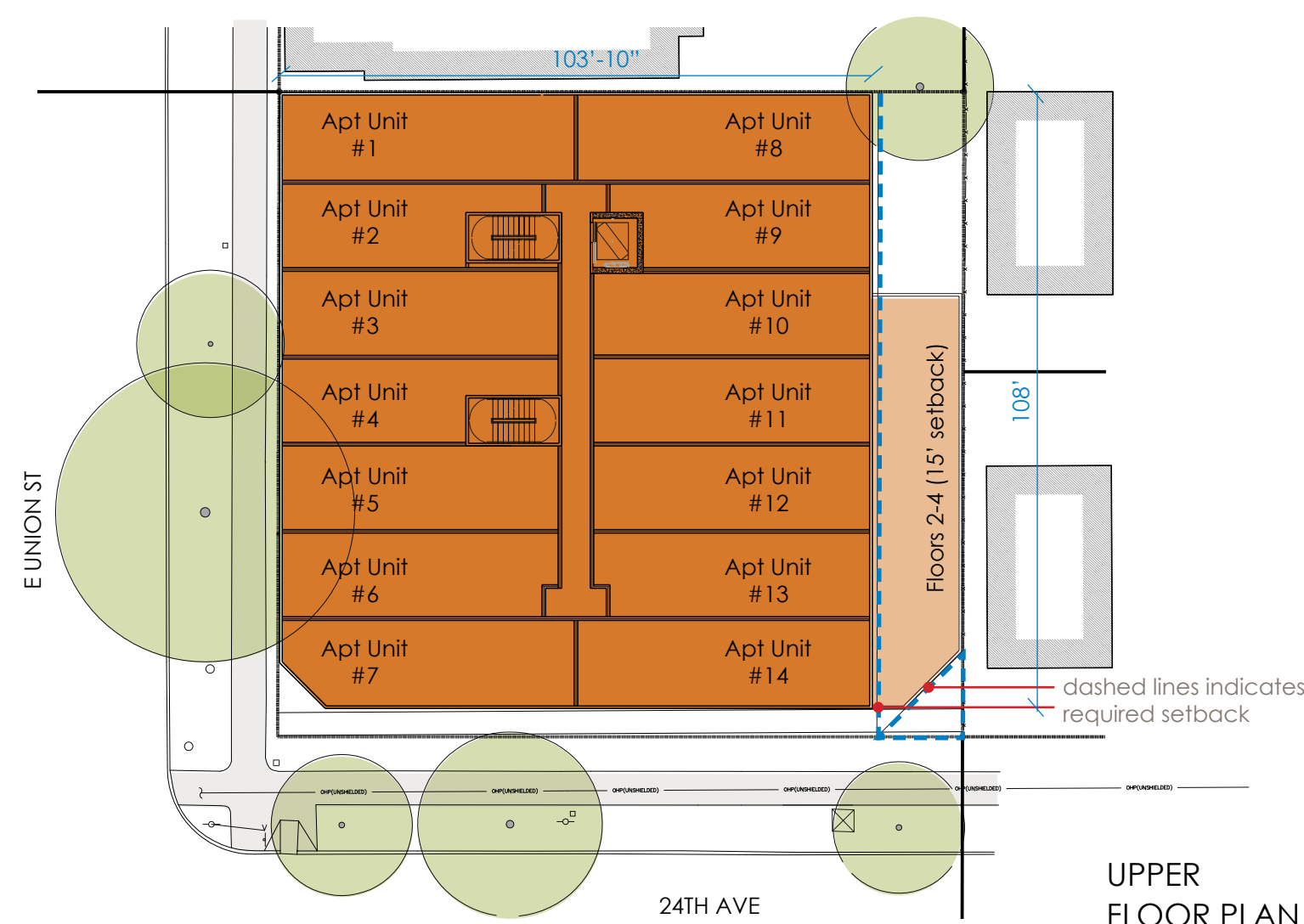
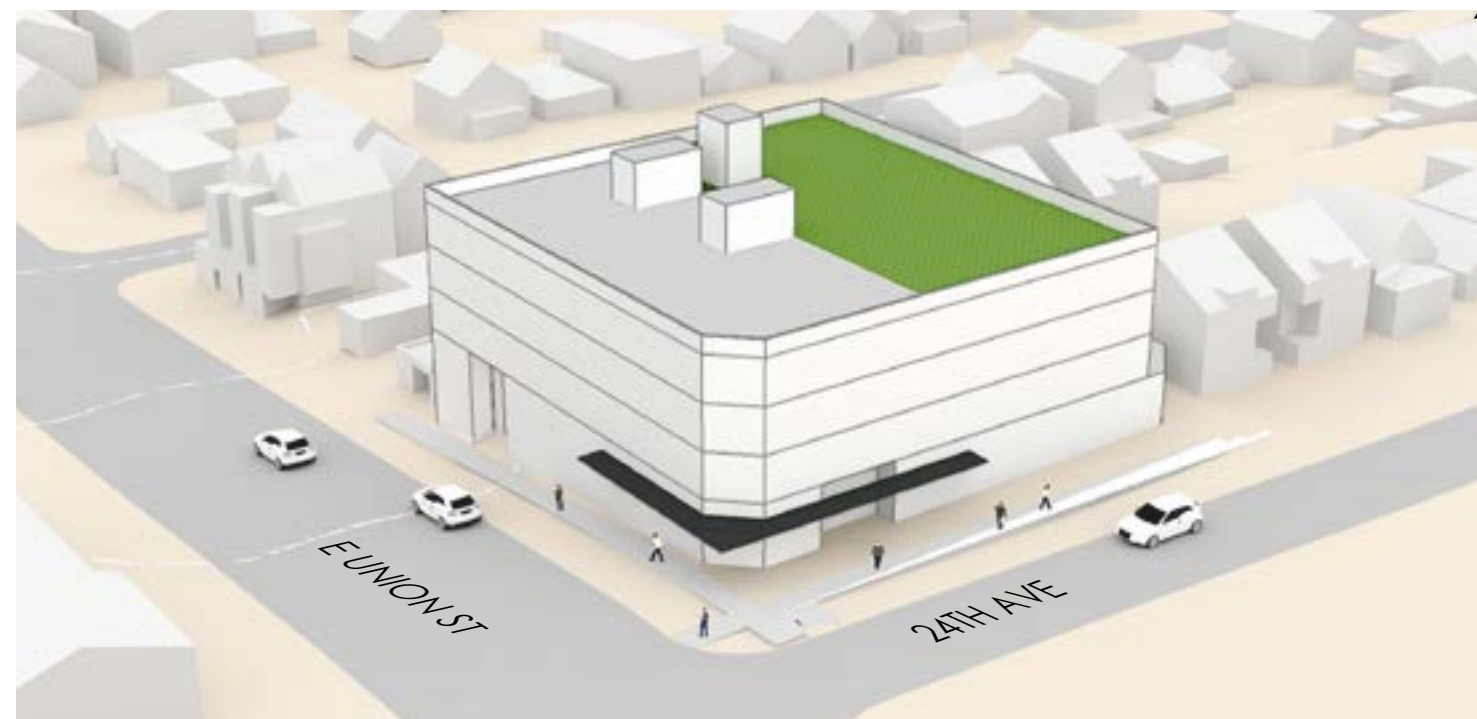
24th Ave looking towards E Union St



E Union St looking towards 24th Ave

### Overview

- 4-story massing; 44' height
- 42 apartment units, 6 live-work units (6,212 sf) and 2,321 sf ground floor retail
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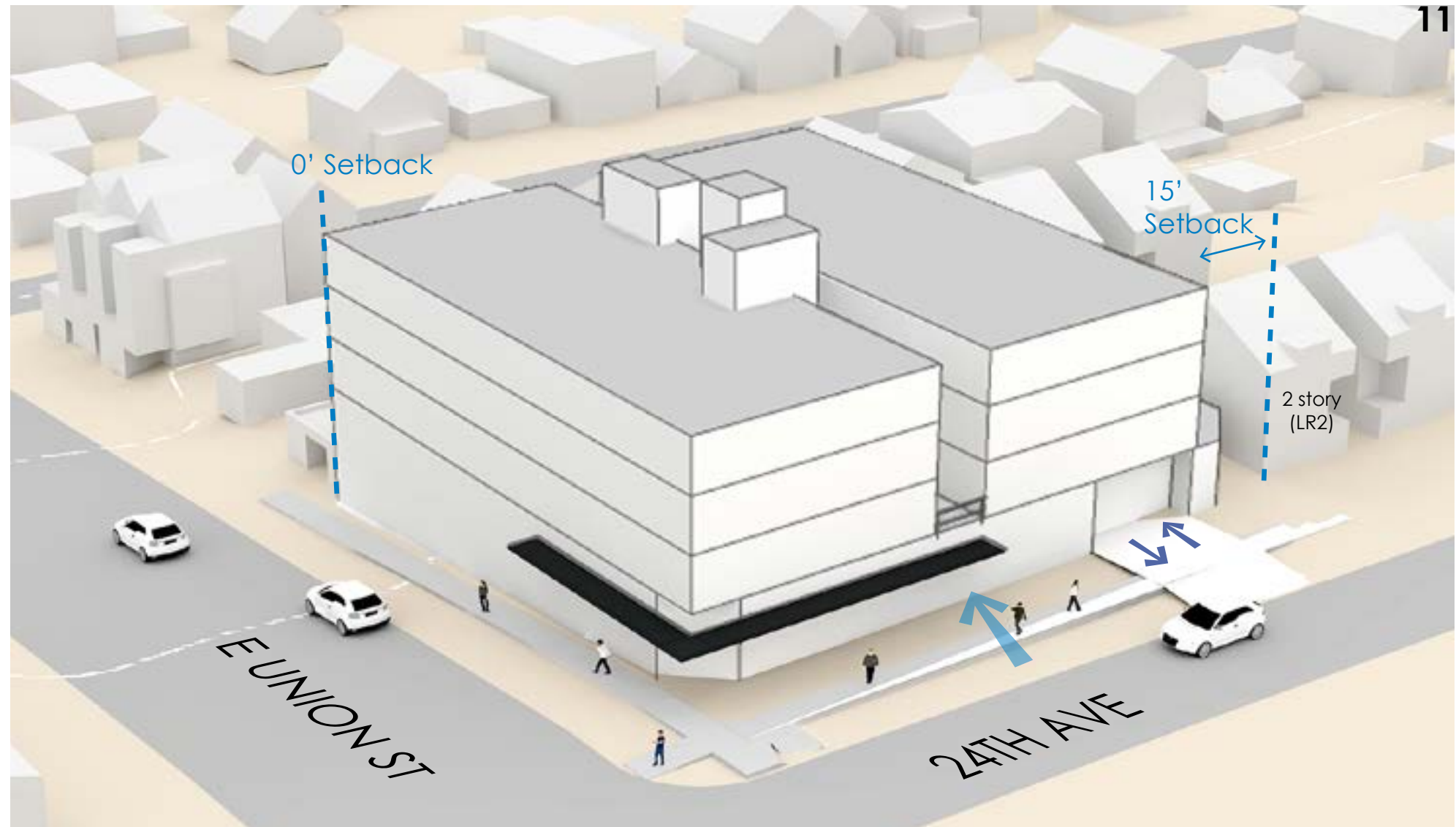
- 4-story massing; 44' height
- 42 apartment units, 5 live-work units (3,240 sf) and 2,156 sf ground floor retail
- 15 parking stalls
- FAR shown: 44,070 sf (limit is 44,070 sf for mixed-use)
  - 1st: 12,702 sf
  - 2-4: 10,456 sf each

### Opportunities

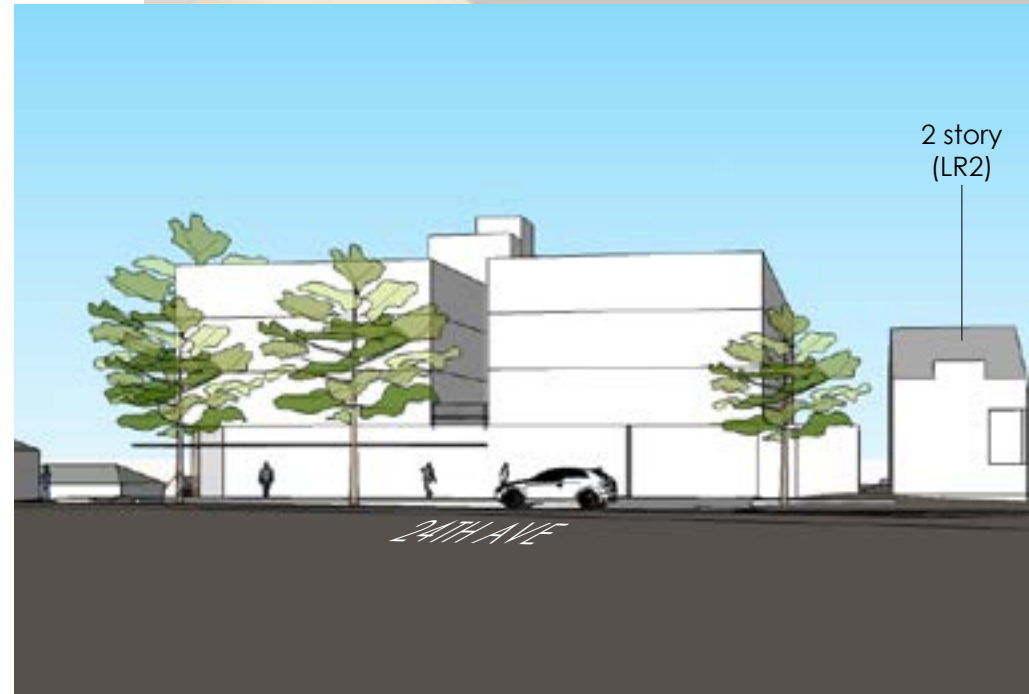
- maximizes zoning development potential and number of apartments
- increased light & air to apartment units
- provides some parking (0.35 spaces per unit)

### Challenges

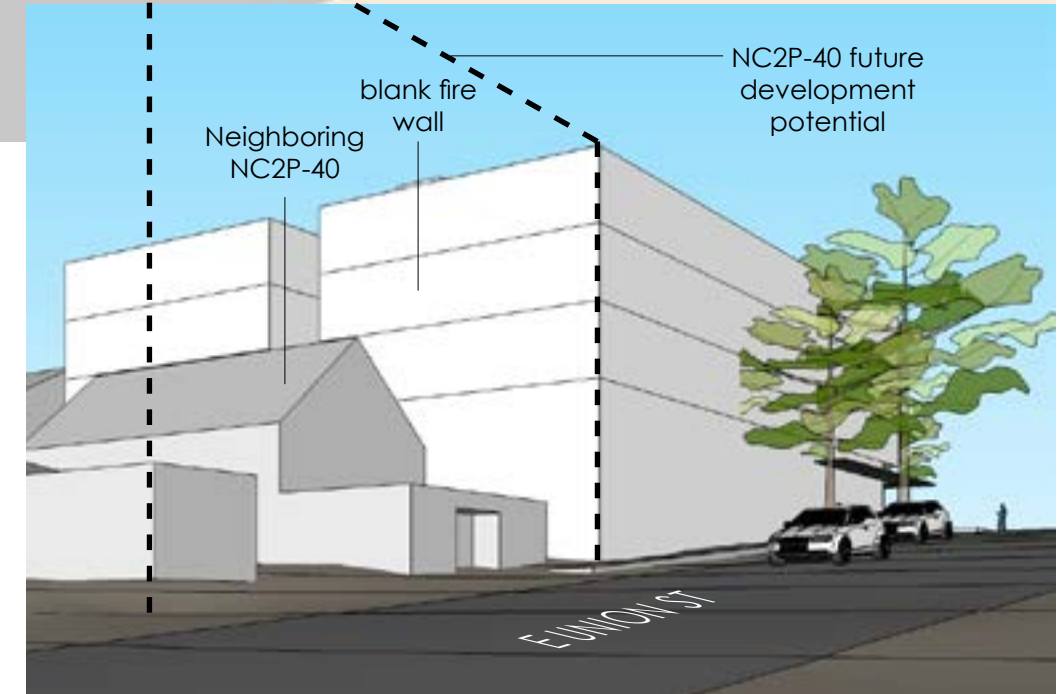
- 50% of units have views focused south toward neighboring LR properties
- primary entrance off of 24th Ave (a quieter street)
- full-height fire wall required at east property line (large blank wall)
- requires one departure:
  1. projection at SE corner slightly above height limit at ground floor



NW Corner at 24th Ave and E Union St



24th Ave looking towards E Union St

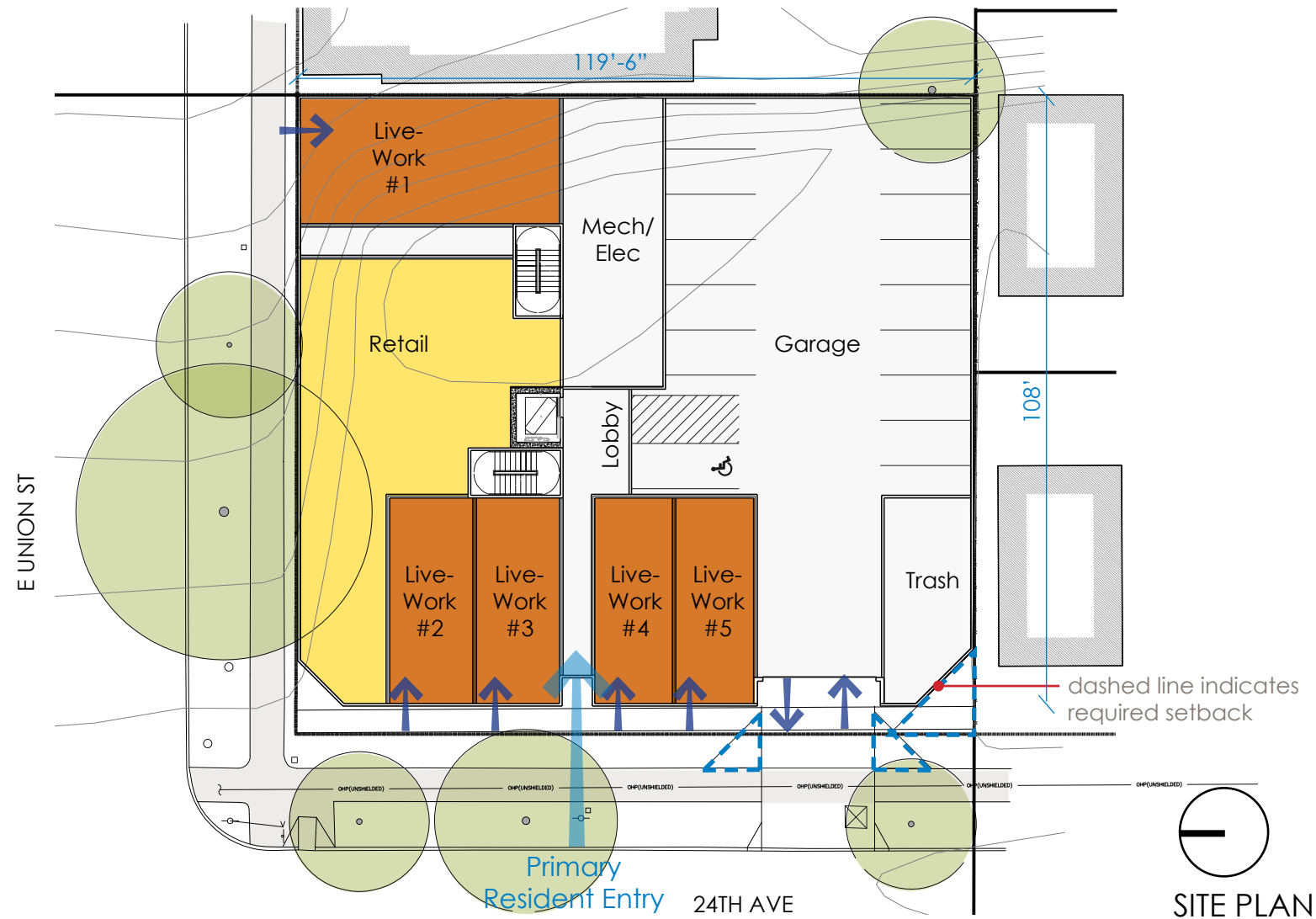
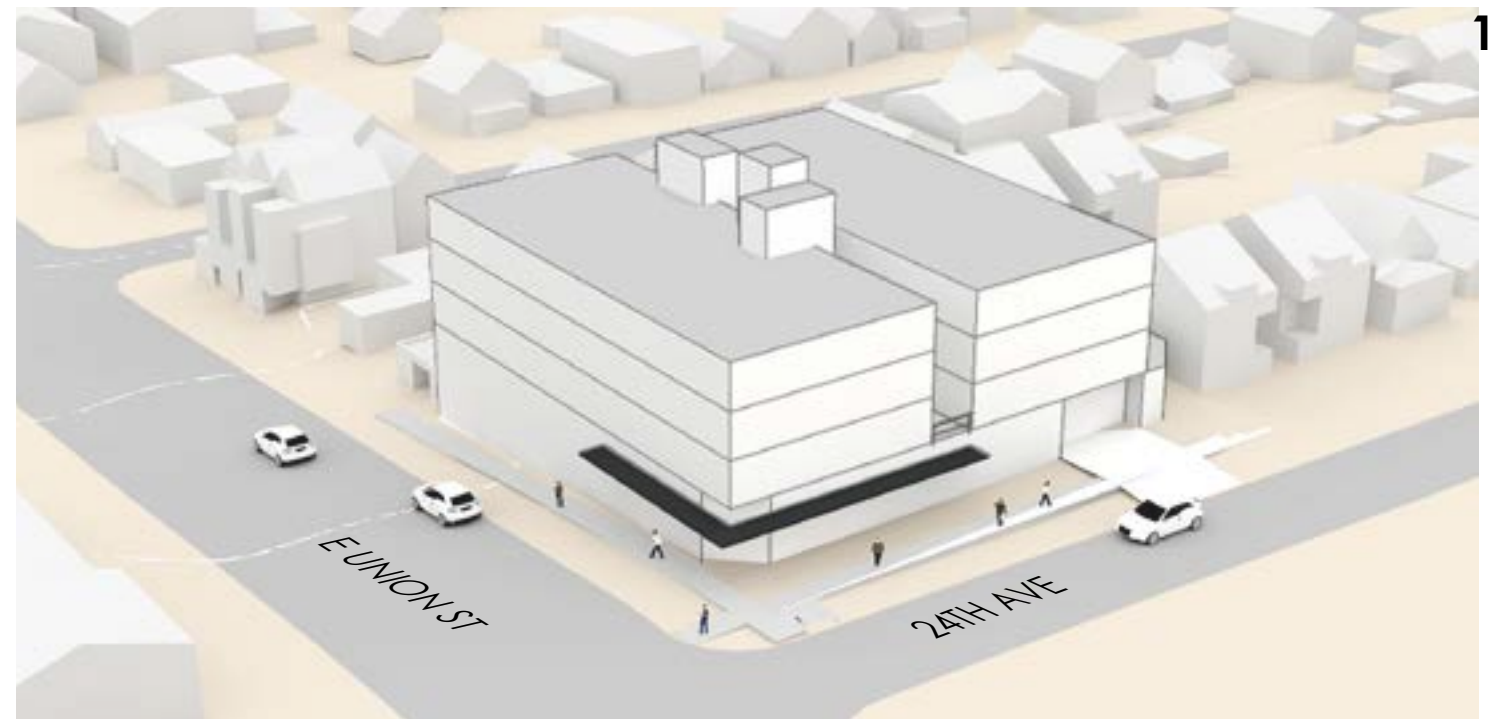


E Union St looking towards 24th Ave

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 Departure request for slight projection above height limit at ground floor below



### Overview

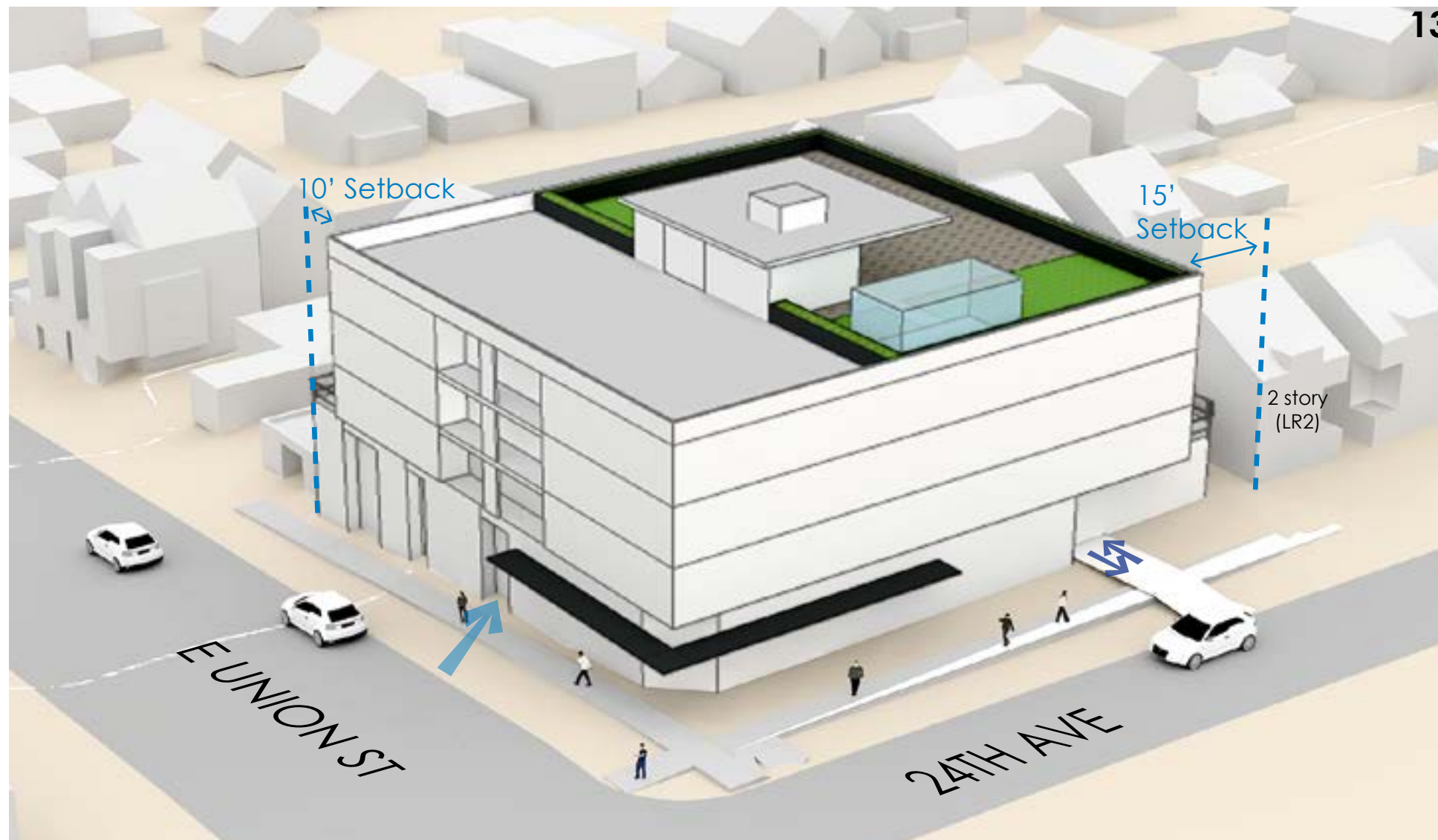
- 4-story massing; 44' height
- 39 apartment units, 2 live-work units (1,973 sf) and 3,034 sf ground floor retail
- 22 parking spaces in enclosed garage at grade
- FAR shown: 43,400 sf (limit is 44,070 sf for mixed-use)
  - 1st: 13,074 sf (includes loft mezzanine)
  - 2-4: 9,901 sf each

### Opportunities

- east setback allows for increased glazing and outdoor balconies (minimizing blank wall)
- primary entrance along E Union St (a principle pedestrian street)
- greater percentage of residential units facing streets
- parking ratio maximized (.56 spaces per unit)
- prominent corner retail at 24th Ave and E Union St

### Challenges

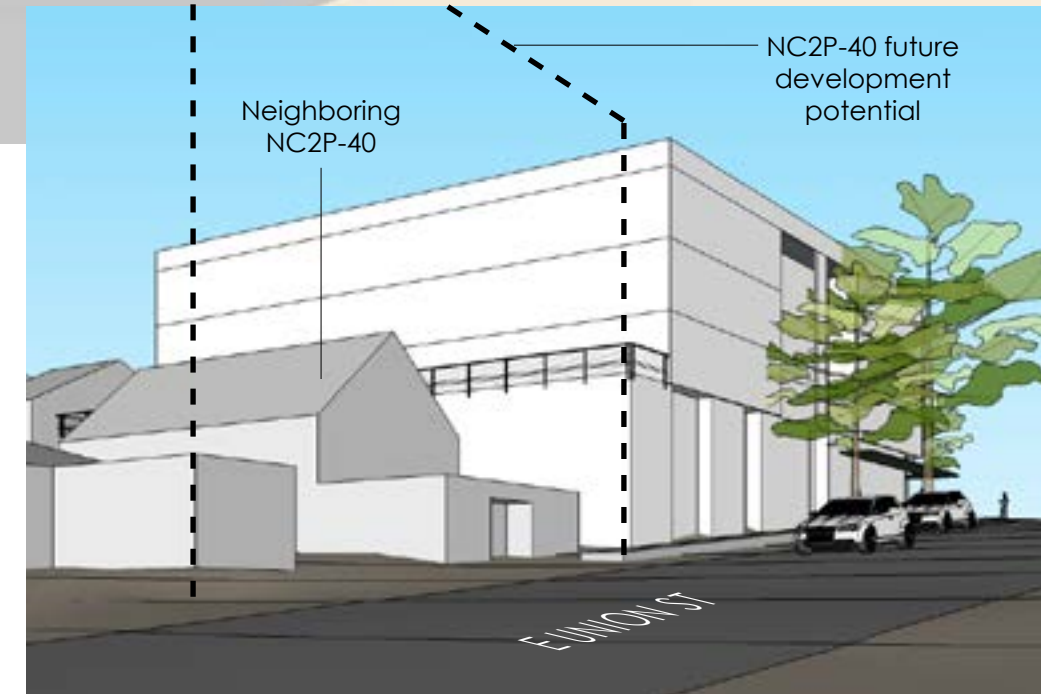
- FAR development under target potential
- requires three departures:
  1. for live-work frontage along Union > 20%
  2. projection at SE corner slightly above height limit at ground floor
  3. parking use adjacent to the street lot line



NW Corner at 24th Ave and E Union St






24th Ave looking towards E Union St

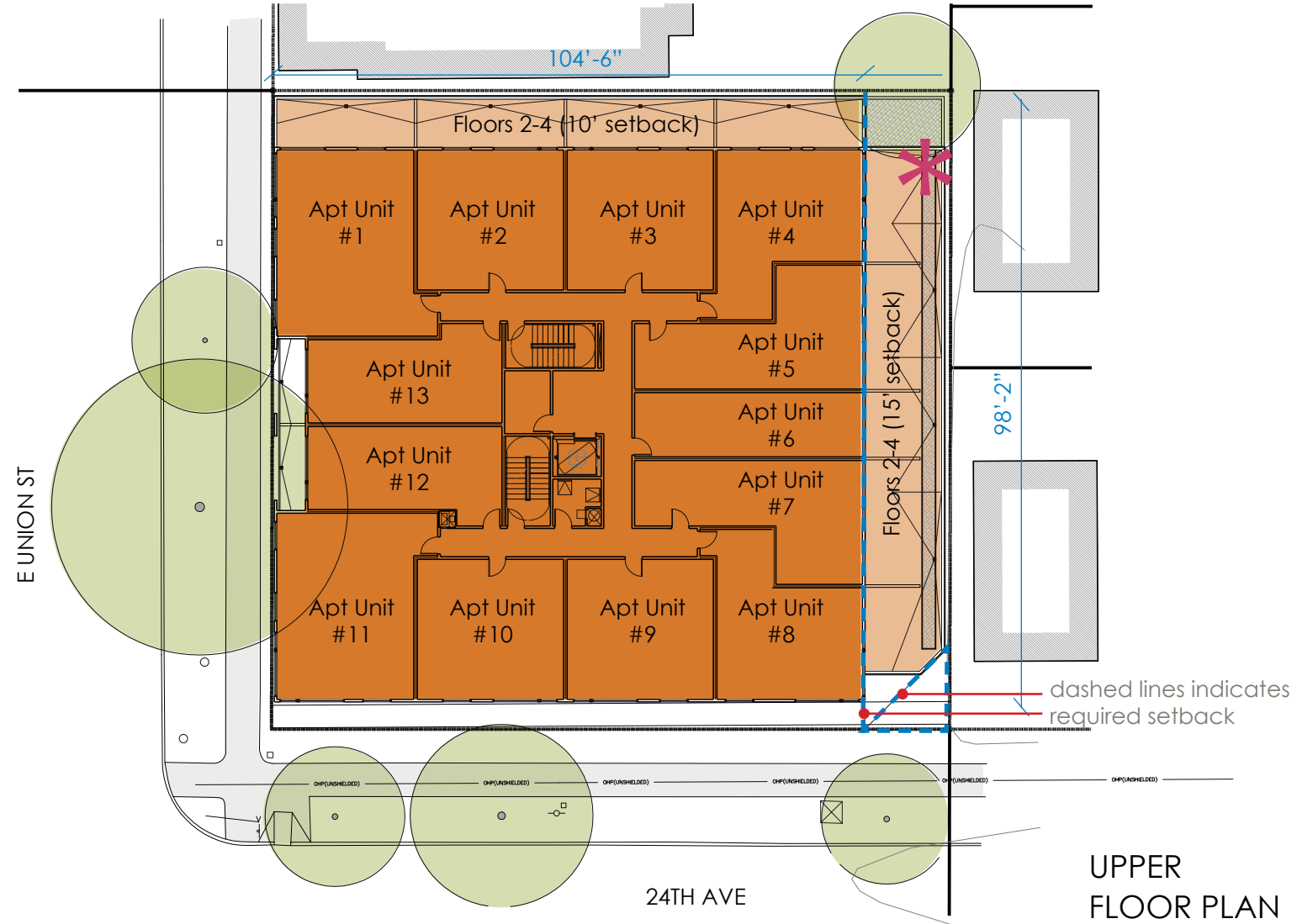
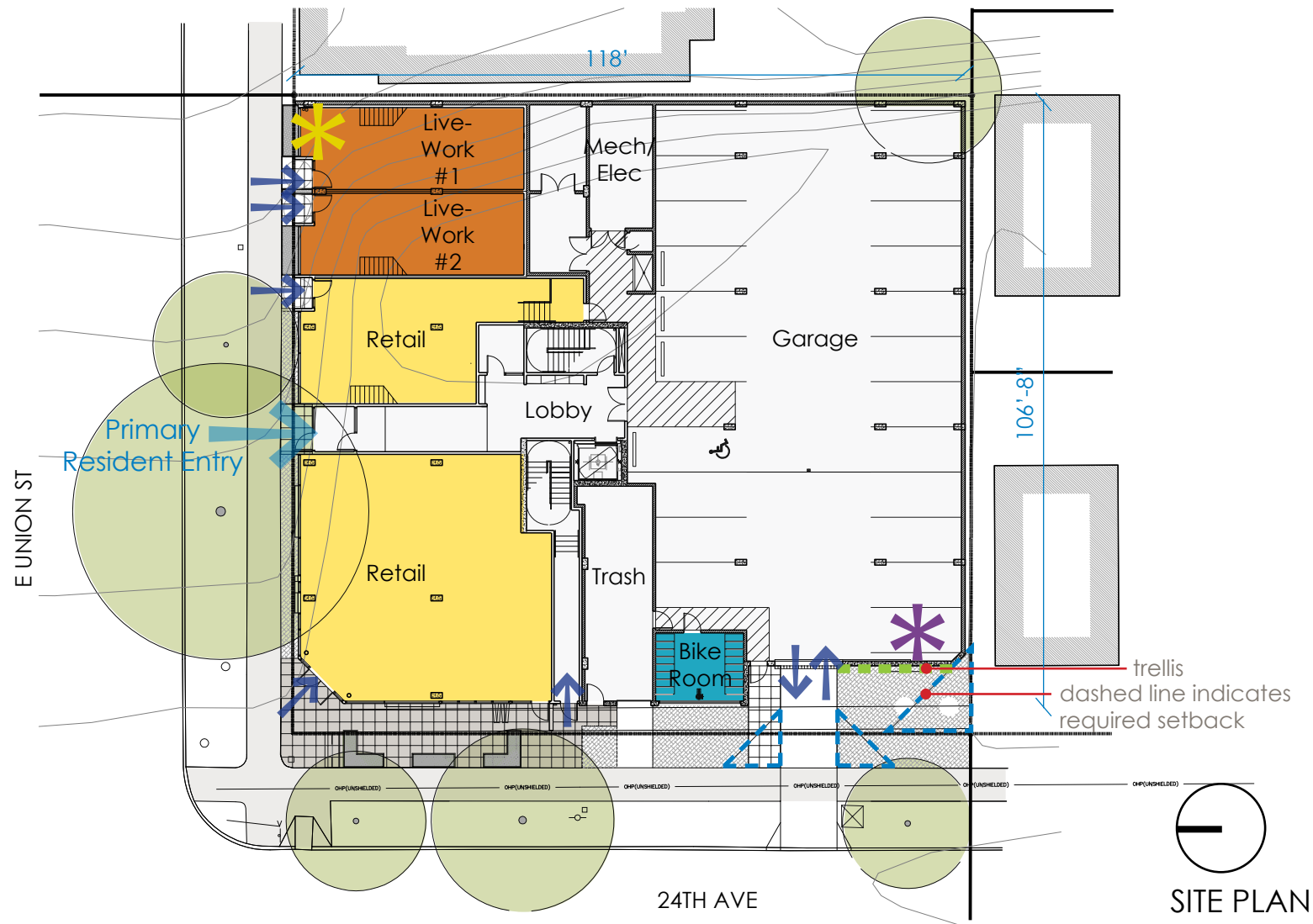
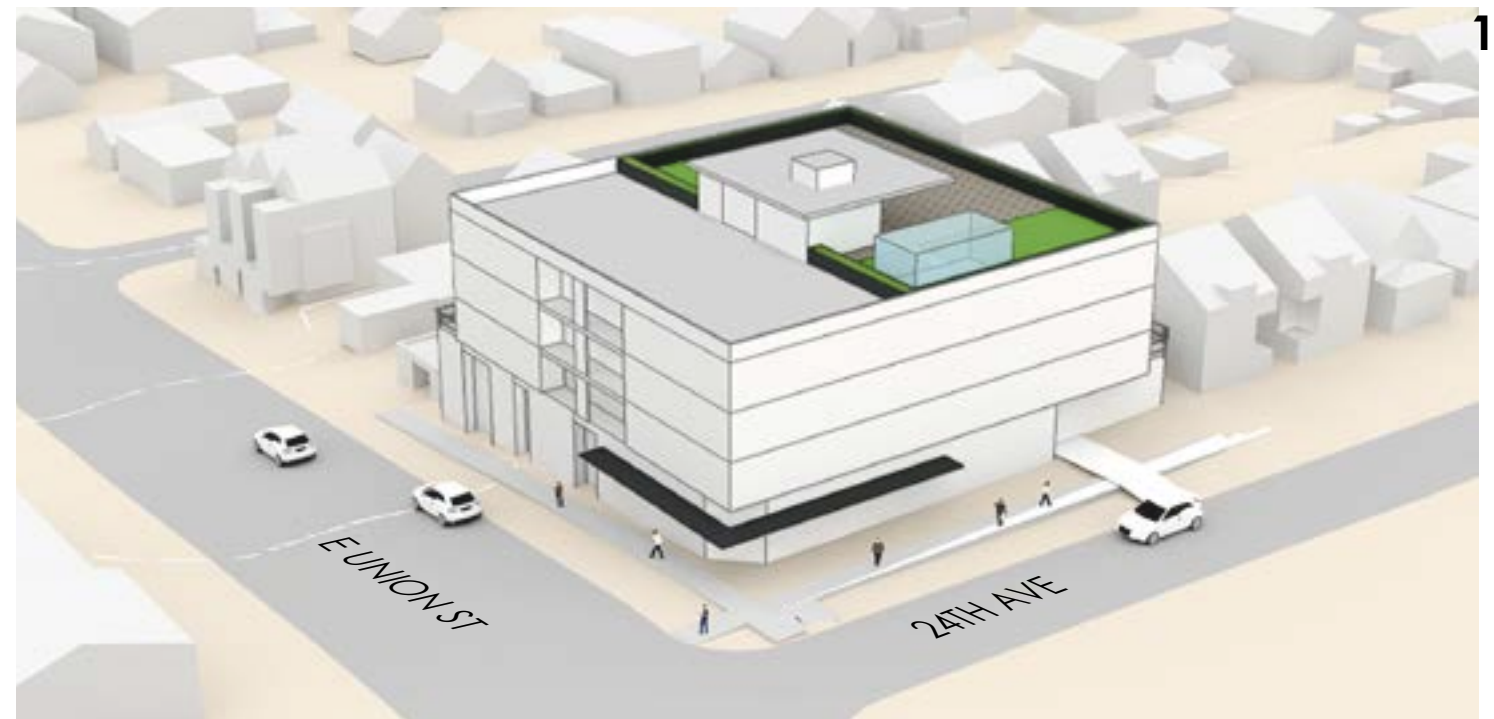


E Union St looking towards 24th Ave

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-  Departure request for live-work frontage >20%
-  Departure request for slight projection above height limit at ground floor below
-  Departure request for parking use adjacent to the street lot line

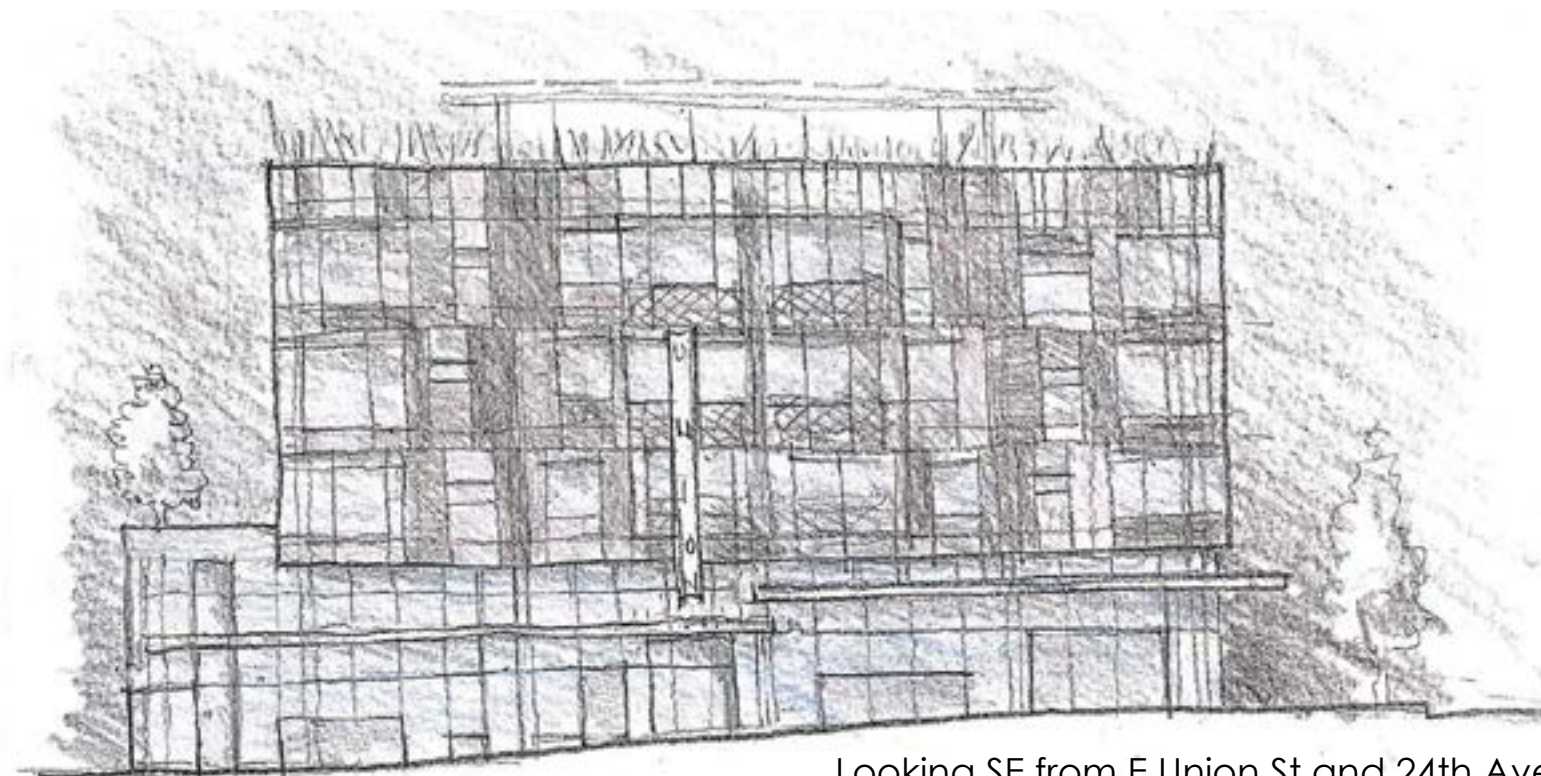




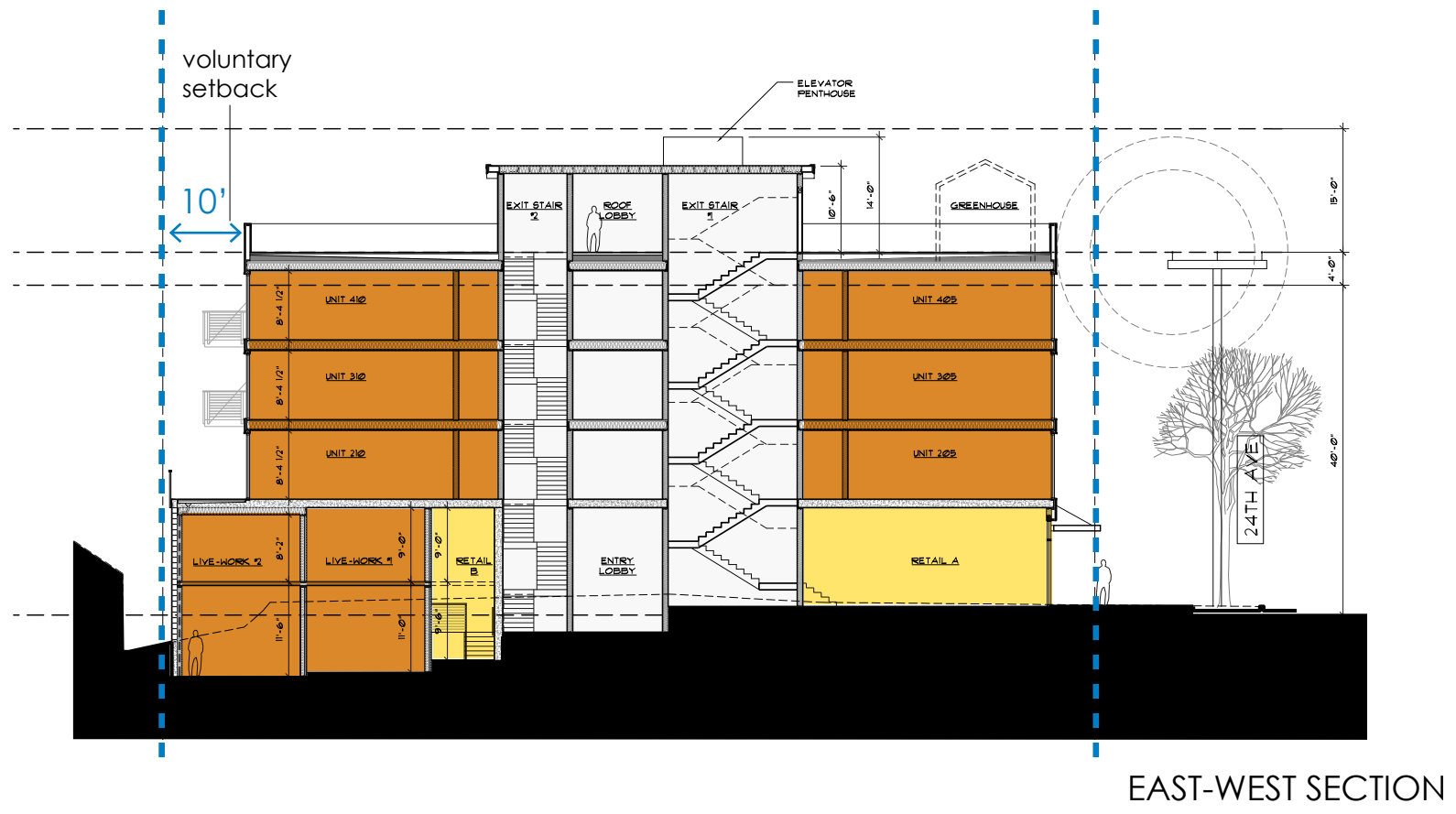
Looking SE from E Union St and 24th Ave



Corner Retail Entrance, looking east from 24th Ave & E Union St



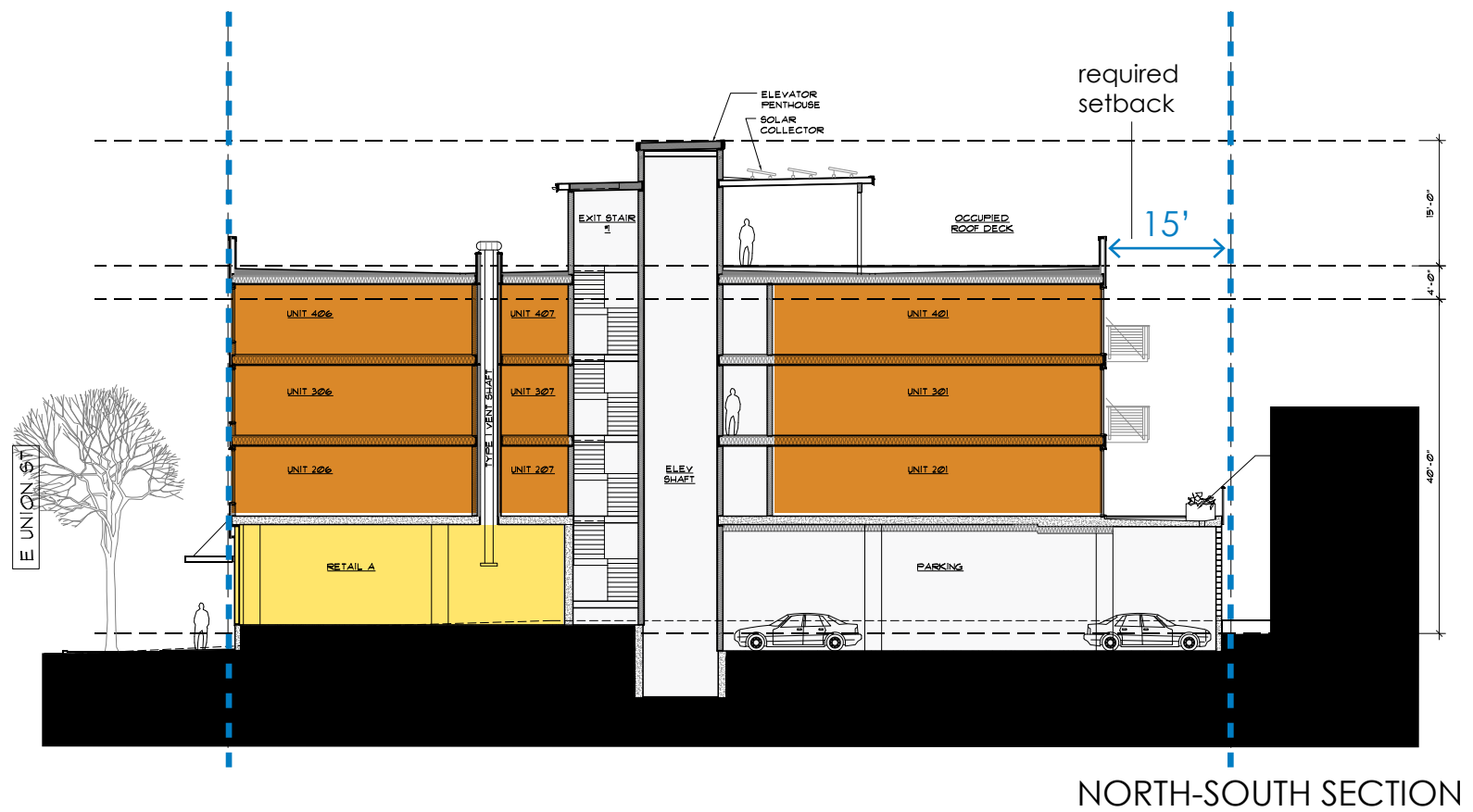
Looking SE from E Union St and 24th Ave



EAST-WEST SECTION



NORTH (E Union St) ELEVATION

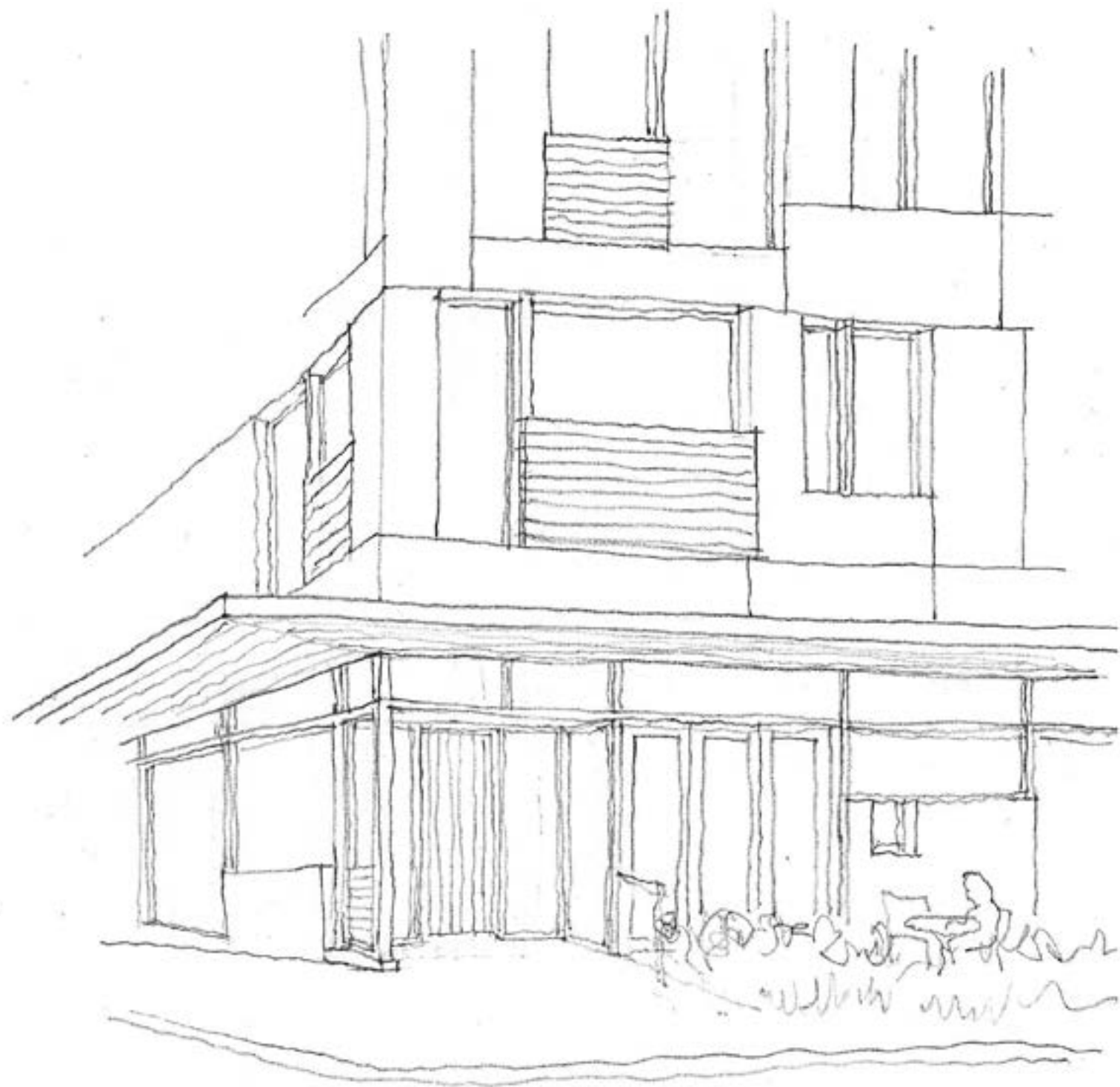
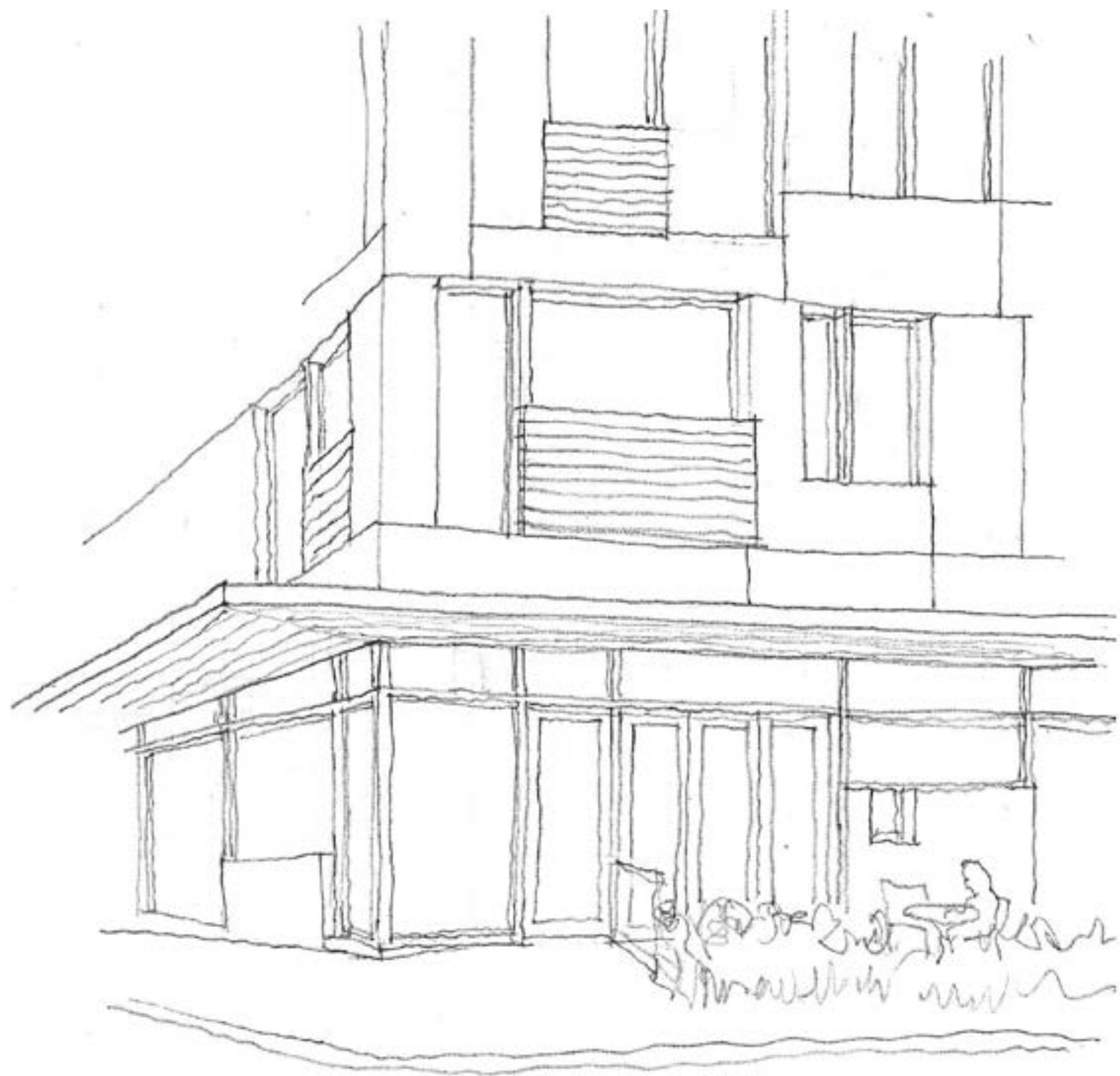


NORTH-SOUTH SECTION

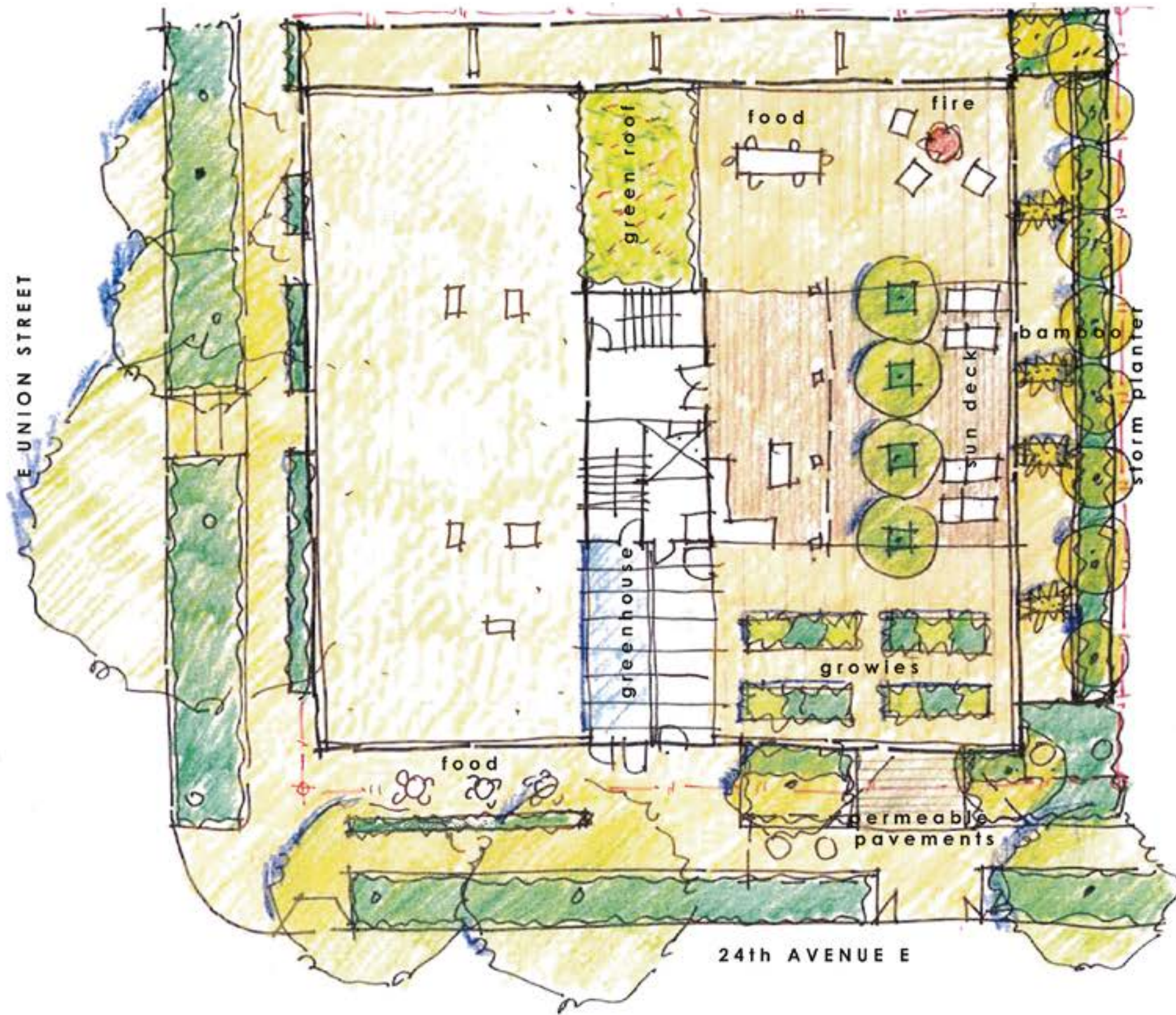


WEST (24th Ave) ELEVATION





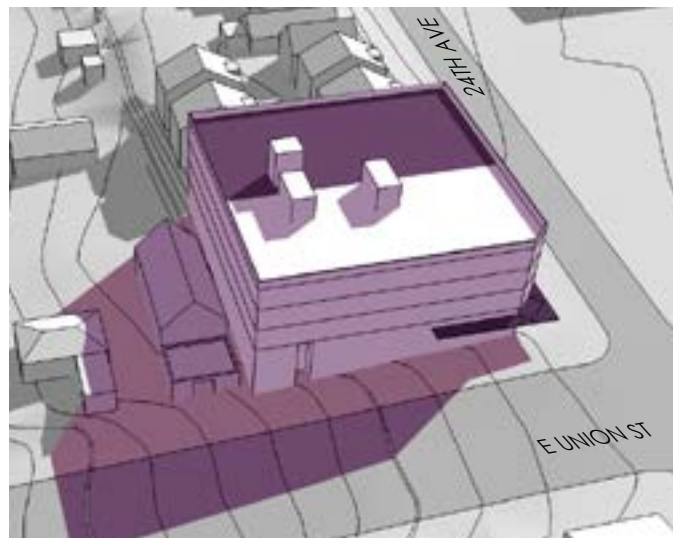
CORNER RETAIL STUDIES



0 8 16 < north



1pm



3pm



5pm

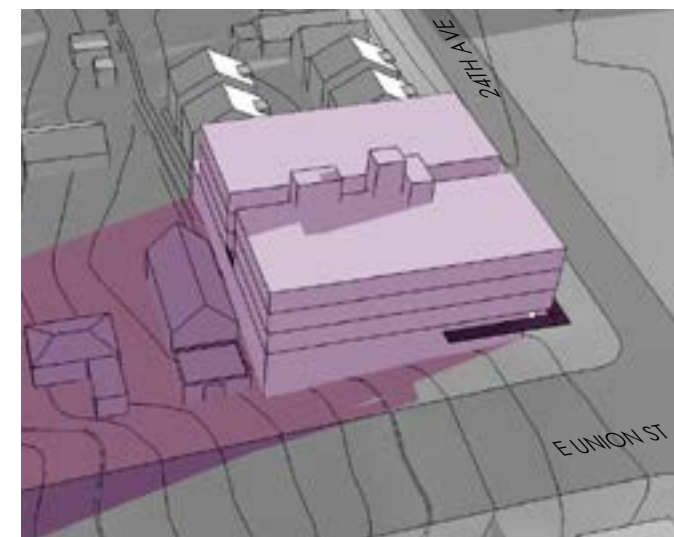
**A** SCHEME A  
zoning-driven



1pm



3pm



5pm

**B** SCHEME B  
central court



1pm



3pm



5pm

**C** SCHEME C  
east setback

DEPARTURE REQUEST FOR PREFERRED SCHEME C

DEPARTURE	CODE REQUIREMENT	PROPOSED DESIGN	JUSTIFICATION
Use frontage facing a principle pedestrian-designated street	SMC 23.47A.008 C A minimum of 80% of the street-level facade width facing a Principle Pedestrian Street (E Union) shall be occupied by general sales/ services or eating and drinking establishments	63% of the street-level facade facing E Union St is occupied by permitted pedestrian-oriented uses. The remaining frontage is occupied by live-work units and the primary residential entry to the building	<p>The project fronts an important street corner at 24th and Union. Flexibility in regard to Union-oriented uses allows a larger, more prominent retail space to anchor the corner and to draw pedestrians from bustling 23rd Ave, one block west of the site (GUIDELINES CS2.A.1: Sense of Place, CS2.A.2: Architectural Presence, and CS2.C.1: Corner Sites). This relocates one allowable live-work unit along 24th Ave to the eastern edge of the site along Union St. The proposed allocation of retail and live-work spaces, from larger scale at the west to smaller and more residential at the east, mirrors the transition of scale of E Union St and the larger neighborhood, from NC2P-65 to the west to Lowrise to the east (GUIDELINE CS2.D.1: Existing Development and Zoning). Grouping the two live-work units together creates a zone of similar activity, creating a stronger sense of community.</p> <p>The neighborhood has an existing precedent of residents running eclectic ventures directly out of their homes, mixed with other locally-oriented small-scale shops, which supports the increased presence of live-works and their associated small businesses (GUIDELINE CS3.A.1: Fitting Old and New Together). Placement of live-work units at the natural low point of the topography allows double-height space (with a loft mezzanine) which lends a desirable separation between public and private encouraging a livelier business portion of the live-work units (GUIDELINE CS1.C.1: Land Form).</p>

DEPARTURE	CODE REQUIREMENT	PROPOSED DESIGN	JUSTIFICATION
Side setback at south lot line bordering a residential zone	SMC 23.47A.014 B 3 For a structure containing a residential use abutting a side lot line of a residential zone: - A 0' setback is required up to 13' height - A 15' setback is required from 13'-40' height	At-grade wall (set back 1' from south lot line) projects a maximum of 5 1/2" above allowable 13' height at the east end of the south lot line	The elevation of the second floor is determined by a 13' floor-to-floor height at the corner Retail A at 24th & Union (which is also the high point of natural grade along E Union St), with the finished floor of Retail A matching the elevation of the existing sidewalk at the street corner in order to maximize transparency and accessibility of the prominent retail corner entry (GUIDELINES CS2.A.2: Architectural Presence, GUIDELINE CS2.B.2: Connection to the Street, and PL2.A.1: Access for All).  To minimize the scale of this departure request, the level of the second floor patio at the southeast corner has been lowered, which also enhances privacy of neighboring properties by remaining unoccupied.



CORNER RETAIL @ 24TH & E Union St



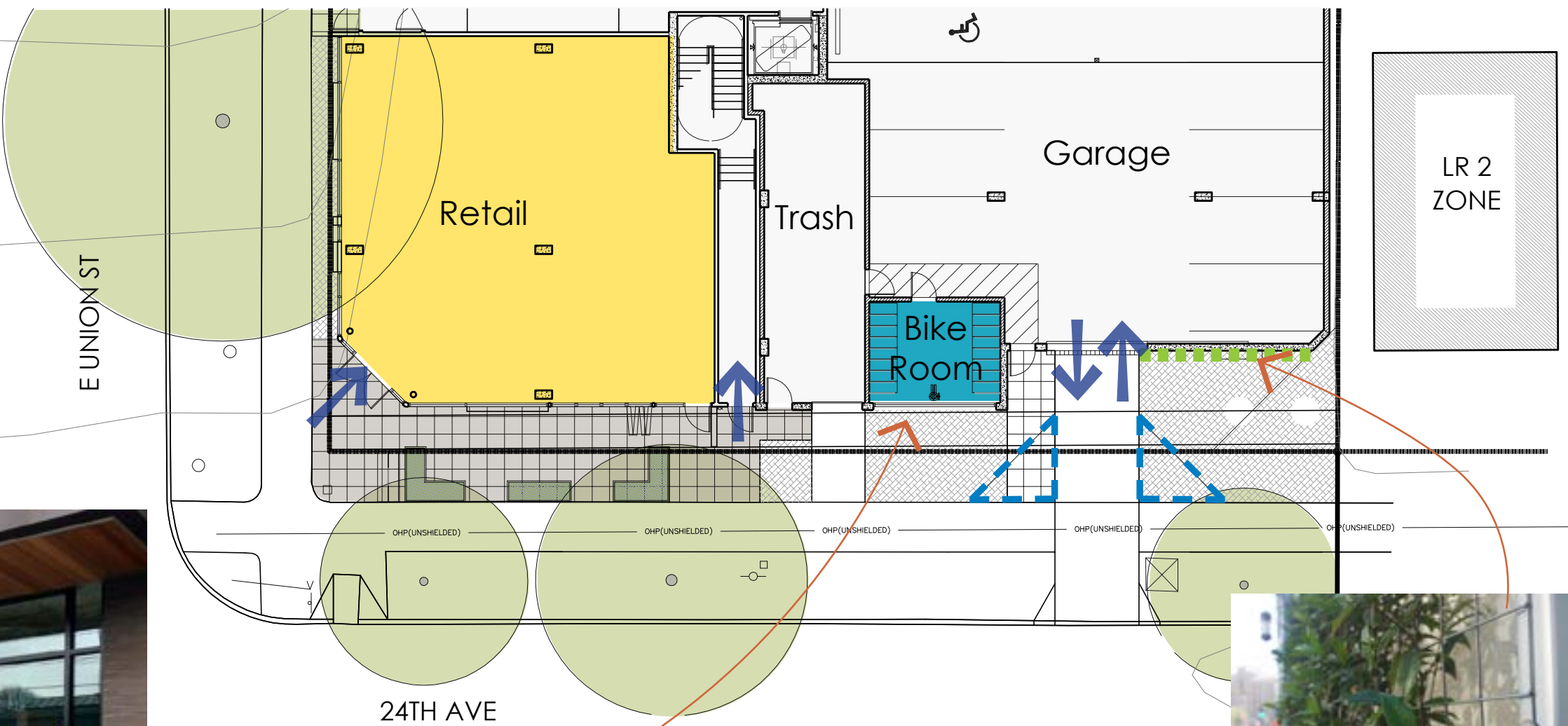
SOUTH ELEVATION (fronting LR-2 neighbor to the south)

DEPARTURE REQUEST FOR PREFERRED SCHEME C

DEPARTURE	CODE REQUIREMENT	PROPOSED DESIGN	JUSTIFICATION
No intervening use between garage and street	SMC 23.47A.032 B 1 b  Within a structure, street-level parking shall be separated from street-level, street-facing facades by another permitted use  NOTE: Exterior parking is permitted to the side of the structure for a length of 60' per SMC 23.47A.032 B 1 c	Parking is provided within the structure with an intervening bike room use at the north side of the driveway, and a planted green wall at the south side. Driveway width has been minimized to 10' to maximize landscape potential and slow traffic for safety.	The current site contains an exterior gravel parking lot at the south end of the property bordering the neighboring LR2 zone. Consistent with the current use of the site, the preferred design provides parking in the same location, but is contained within and screened by the building. An attractive street-oriented bicycle room will be located between the garage and the sidewalk north of the driveway and a landscaped area with vertical, wall-mounted landscaping is proposed for the south side in lieu of a zoning-preferred, but less contextually appropriate use such as retail or live-work units (GUIDELINE CS2.B.2: Connection to the Street). Intensive programming of sidewalk uses becomes less desirable as the street character along 24th becomes increasingly residential further south (GUIDELINE CS2.D.3: Zone Transitions), and the SW corner of the site provides the least-impactful location to bring utilities into the building, away from pedestrian-oriented Union St. A landscaped zone at the southeast portion of the site will also enhance the ground-level privacy of the adjacent LR zone's front yard. (GUIDELINE CS2.D.5: Respect for Adjacent Sites). The preferred design also maximizes the number of on-site parking spaces provided, minimizing the traffic impact to existing adjacent neighbors.



CURRENT SITE SHOWING SURFACE PARKING LOT (LEFT) AND NEIGHBORING LR2 TOWNHOUSES (RIGHT)



STREET-ORIENTED BICYCLE ROOM AT A PREVIOUS LAKE UNION PARTNERS PROJECT IN PORTLAND, OR



VERTICAL TRELLIS / GREEN WALL



19TH AND MERCER



THE WALLY



THE ADDY



