

# 1228 5th Ave N

#3016985

|

EDG Packet

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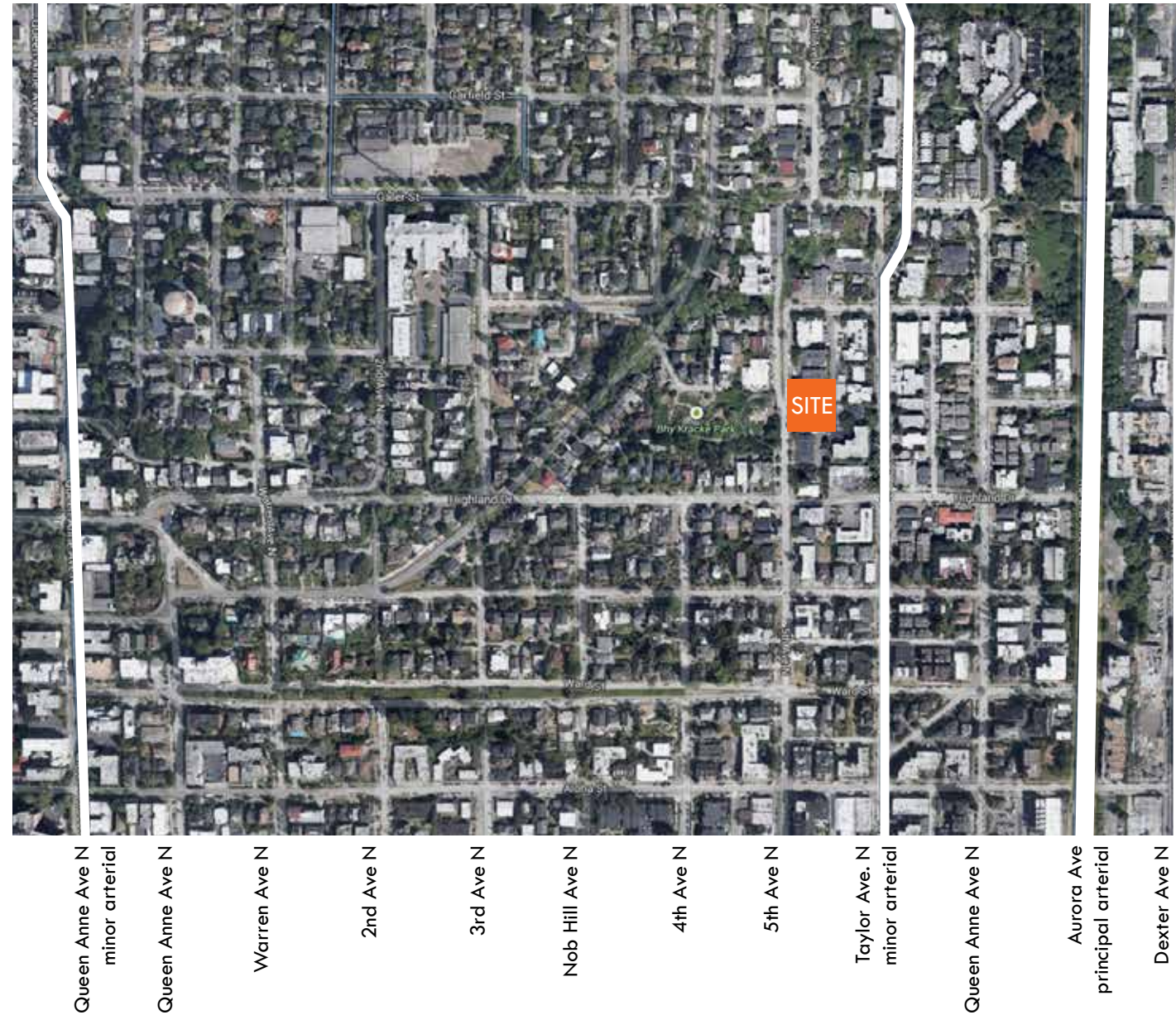
August 06, 2014

b9 architects



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- W. Garfield St.
- W. Galer St.
- W. Lee St.
- W. Highland Dr.
- W. Prospect St.
- W. Ward St.
- W. Aloha St.



Comstock PI



5th Ave N

Taylor Ave N

## OBJECTIVES

The project proposes to deconstruct the existing single family structures and construct ten new townhomes, centered around a shared courtyard. The structures will be three stories tall with 7 below-grade parking spaces and 3 parking spaces at grade, all accessed from the alley.

Number of Residential Units (Approx.)	10
Amount of Lot Square Footage (Approx.)	9,900
Number of Parking Stalls (Approx.)	10

### Sustainability

Achieve a minimum of 4-Star Built Green.  
Maximize building performance and utilize reclaimed materials.

### Community

The proposal will be designed around a central courtyard at the center of the site. A walkway from 5th Ave N will connect to the courtyard, the homes at the rear of the site and parking at the alley.

## TEAM

ARCHITECT	b9 architects
DEVELOPMENT	Views on North Queen Anne, LLC
STRUCTURAL	MalsamTsang Structural Engineering
GEOTECHNICAL	PanGEO, Inc.

### PART I: CONTACT INFORMATION

1. Property Address	1224-1228 5th Ave N
2. Project number	3016987
3. Additional related project number(s):	N/A
4. Owner/Lessee Name	Views on North Queen Anne LLC
5. Contact Person Name	Bradley Khouri
Firm	b9 architects
Mailing Address	210 S Jackson St
City State Zip	Seattle, WA 98104
Phone	206.297.1284
Email address	bgk@b9architects.com
6. Applicant's Name	Bradley Khouri
Relationship to Project	Architect
7. Design Professional's Name	Caroline Davis
Address	210 S Jackson St
Phone	206.297.1284
Email address	caroline@b9architects.com

### PART II: SITE AND DEVELOPMENT INFORMATION

1. Please describe the existing site, including location, existing uses and/or structures, topographical or other physical features, etc.

*Our site is located on two parcels along the east side of 5th Avenue N mid-block between Lee St and Highland Dr. Two existing single-family structures currently occupy the site and will be demolished. The property slopes moderately from north to south and significantly from west to east, dropping 18-24 feet down to the alley. The site dimensions are approximately 100-120 feet east-west and 90 feet north-south. The site is located at the bottom of Bhy Kracke Park and has access to views of South Lake Union and beyond. The neighborhood is predominantly residential, consisting of apartments, condominiums, duplexes, triplexes and single-family residences.*

2. Please indicate the site's zoning and any other overlay designations, including applicable Neighborhood Specific Guidelines.

*The site is predominately surrounded by Low Rise zoning to the east and across 5th Avenue to the west. The zoning transitions to single family a half block to the west, approximately a forty-foot grade change up the hill. East of Aurora Ave N the zoning changes to commercial along South Lake Union. The site is located north of the Uptown Urban Center, west of the South Lake Union Urban Center and east of the Upper Queen Anne Residential Urban Village.*

3. Please describe neighboring development and uses, including adjacent zoning, physical features, existing architectural and siting patterns, views, community landmarks, etc.

*The immediate vicinity of the site primarily consists of residential buildings, varying from four-story multifamily houses, low-rise apartments, triplexes, duplexes and single family homes. Directly west of the site is Bhy Kracke Park which has an expansive view of downtown Seattle and Lake Union. Trolley Hill Park is a 5 minute walk north from site. The neighborhood in which the site is located has significant slopes running downwards from west to east and north to south. Seattle Center, local cafes, restaurants, bars, and retail are located south of the site, from Aloha St and onwards. East of the site is Aurora Ave or state route 99, which separates the Queen Anne neighborhood from Westlake and Lake Union.*

4. Please describe the applicant's development objectives, indicating types of desired uses, structure height (approx), number of residential units (approx), amount of commercial square footage (approx), and number of parking stalls (approx). Please also include potential requests for departure from development standards.

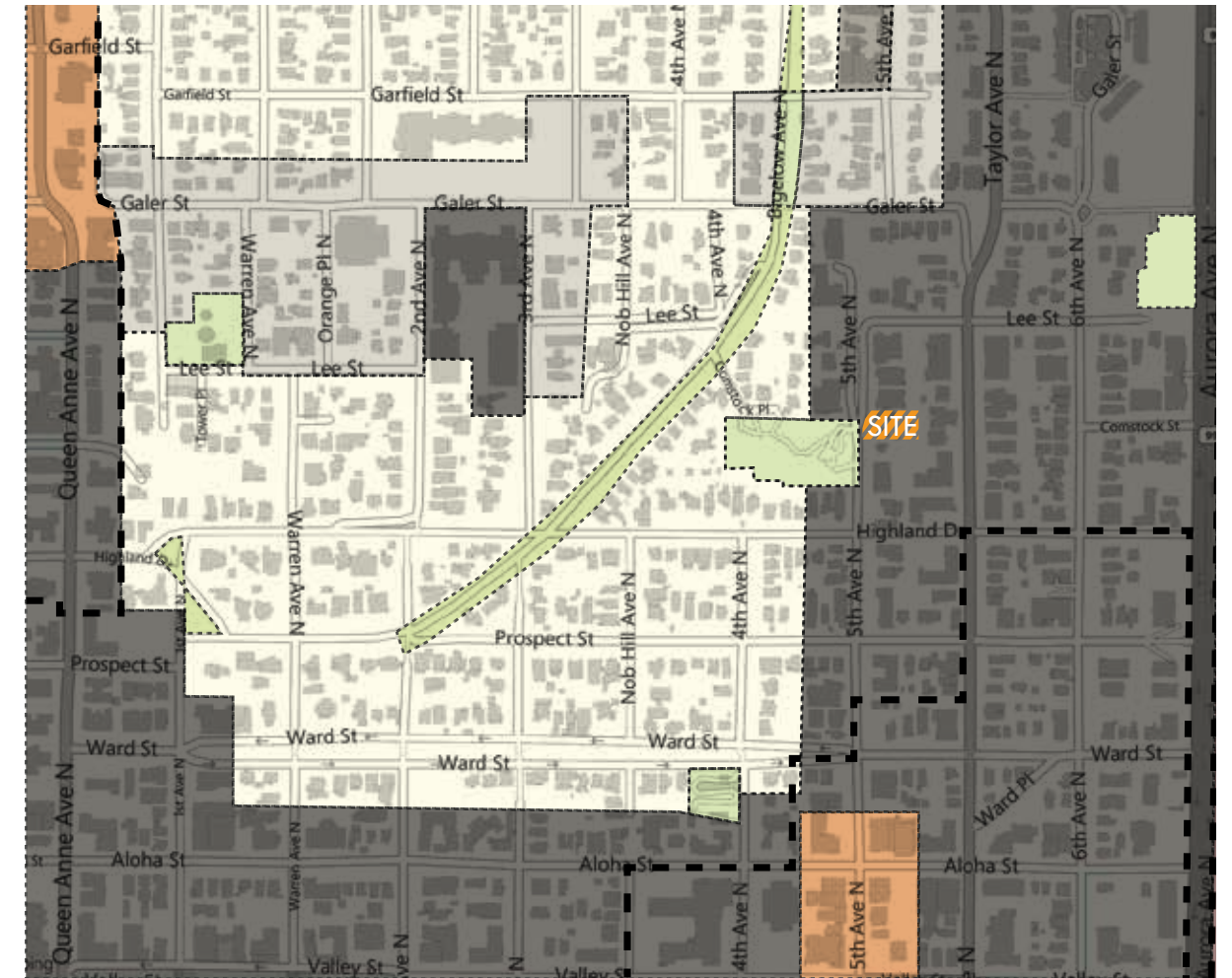
*The proposed development proposes transform 10 townhouse units on the 9,900 square foot lot which currently consists of two single-family homes. The approximate height of the new structures will be 30'-0" with the structures stepping with the topography. There will be approximately 10 parking total stalls provided in two locations, below grade in a shared garage and at grade abutting the alley. Potential requests for departure from development standards are:*

1. 23.47A.014.B1 Setback Requirements
2. 23.45.527.B Facade Length Requirements
3. 23.45.518.F Separation Requirements



Project Site

- URBAN VILLAGE
- SITE
- NC-40
- SM-85
- C2-65
- SF 5000
- LR3
- LR2
- LR1
- PARK



ADDRESS  
1224-1228 5th Ave N

LOT SIZE  
9,900 square feet.

ZONING  
Lowrise LR-3

SEPA Review

# ZONING SUMMARY

## 23.45.504 PERMITTED USES:

- Residential use permitted outright.

## 23.45.510 FLOOR AREA RATIO:

- 1.3 X 9,900 = 12,870 square feet allowable for projects that meet the standards of SMC 23.45.510.C
- Underground stories and portions of a story that extend no more than 4 feet above existing or finished grade, whichever is lower, are exempt from FAR limits.

## 23.45.512 DENSITY LIMITS:

- Density limits do not apply for townhouse developments that meet the standards of SMC 23.45.510.C

## 23.45.514 STRUCTURE HEIGHT:

- For townhouse developments located in zone LR3, the height limit is 30 feet.

## 23.45.518 SETBACKS AND SEPARATIONS

- Front Setback – 7 feet average and 5 feet minimum
- Rear Setback – 7 feet average and 5 feet minimum
- Side Setback – 7 feet average and 5 feet minimum or 5 feet for facade lengths under 40 feet in length
- Separations - 10 feet minimum separation between principal structures

## 23.45.522 AMENITY AREA

- The required amount of amenity area is equal to 25 percent of the lot area.
- A minimum of 50 percent of the required amenity area shall be provided at the ground area.
- For townhouse developments, amenity area at ground level can be provided as either private or public space

## 23.45.524 LANDSCAPING STANDARDS

- Landscaping shall achieve a green factor score of 0.6 or greater.

## 23.45.527 STRUCTURE WIDTH AND FAÇADE LENGTH

- For townhouse developments located in zone LR3 and outside of an Urban Center, the maximum structure width is 120 feet.
- The maximum combined façade length within 15 feet of a lot line that is neither a rear lot line, a street, or an alley shall not exceed 65 percent of the length of that lot line.

## 23.45.534 LIGHT AND GLARE

- Exterior lighting must be shielded and directed away from adjacent uses.
- Interior lighting in parking garages must be shielded to minimize nighttime glare on adjacent properties.

## 23.54.015 AND 23.54.030 PARKING:

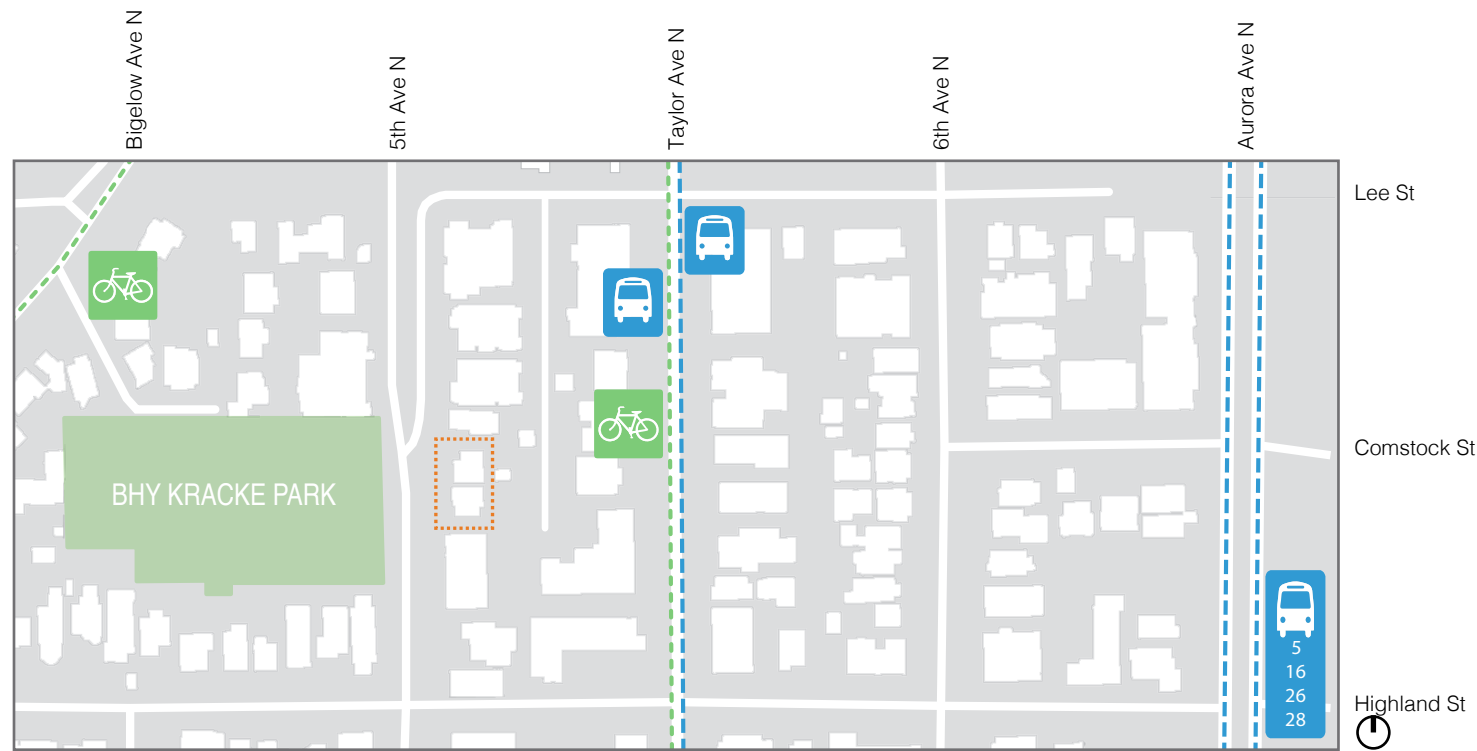
- For all residential uses in multifamily zones not within an Urban Village, 1 parking space per dwelling unit is required.
- 1 bicycle parking space will be required per every 4 residential units.

## 23.54.040 SOLID WASTE

- For developments containing 9-15 dwelling units, the minimum area for solid waste storage is 150 square feet.
- The minimum horizontal dimension of required storage space is 12 feet.

## TRANSIT AND ACCESS

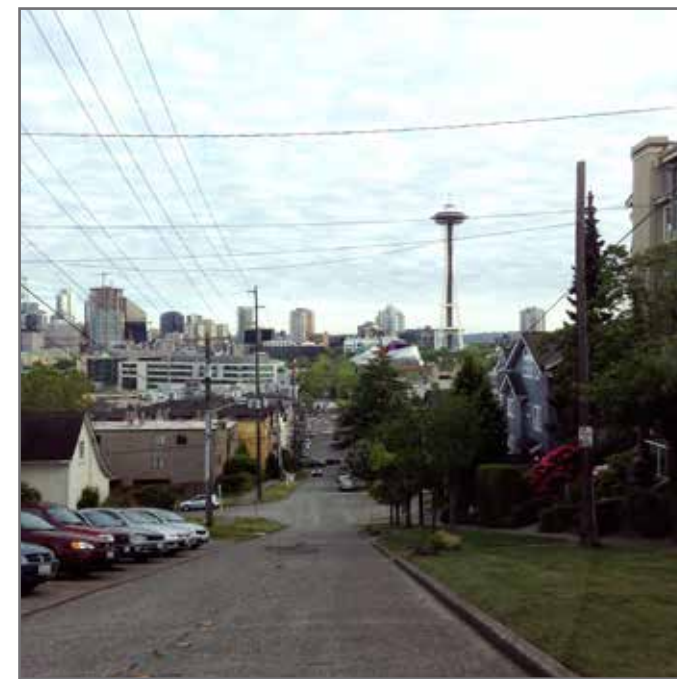
- Nearby metro bus lines that are within a 5 minute walk are numbers 3, 4, 5, 16, 26, 28, 82, serving downtown Seattle, Broadview, Fremont, Phinney Ridge, Wallingford, Greenwood, Greenlake, Upper Queen Anne, Shoreline, Northgate, Central District, and Leschi.
- For vehicular accessibility, east of the site is Aurora Ave through which state route 99 runs from Fife to Everett.



Taylor Ave N



Aurora Ave N





5th Ave N



Alley



## ADJACENT USES

- RESIDENTIAL
-  SMALL  
single family
  -  SMALL  
duplex/triplex
  -  MEDIUM  
4-10 units
  -  LARGE  
10+ units
  -  PARK
  -  SITE



- Adjacent uses around the immediate site consist primarily of apartments, condominiums, triplexes, duplexes and single family homes.
- To the immediate west of the site is a playground at the base of Bhy Kracke Park.
- While the site is located in a primarily residential area, restaurants, bars, and cafes are just south of the site at the northern edge of Seattle Center.
- At the bottom of Queen Anne lies Seattle Center, which was built for the World's Fair in 1962, and is most notably known to house the Space Needle. In addition, Seattle Center consists of Key Arena, the Monorail which connects to Westlake in downtown Seattle, the EMP, the Chihuly Garden and Glass, Pacific Northwest Ballet, McCaw Hall, Seattle Repertory Theatre, Seattle Children's Museum, Pacific Science Center, KEXP, SIFF, and the Bill and Melinda Gates Foundation.





① Duplex



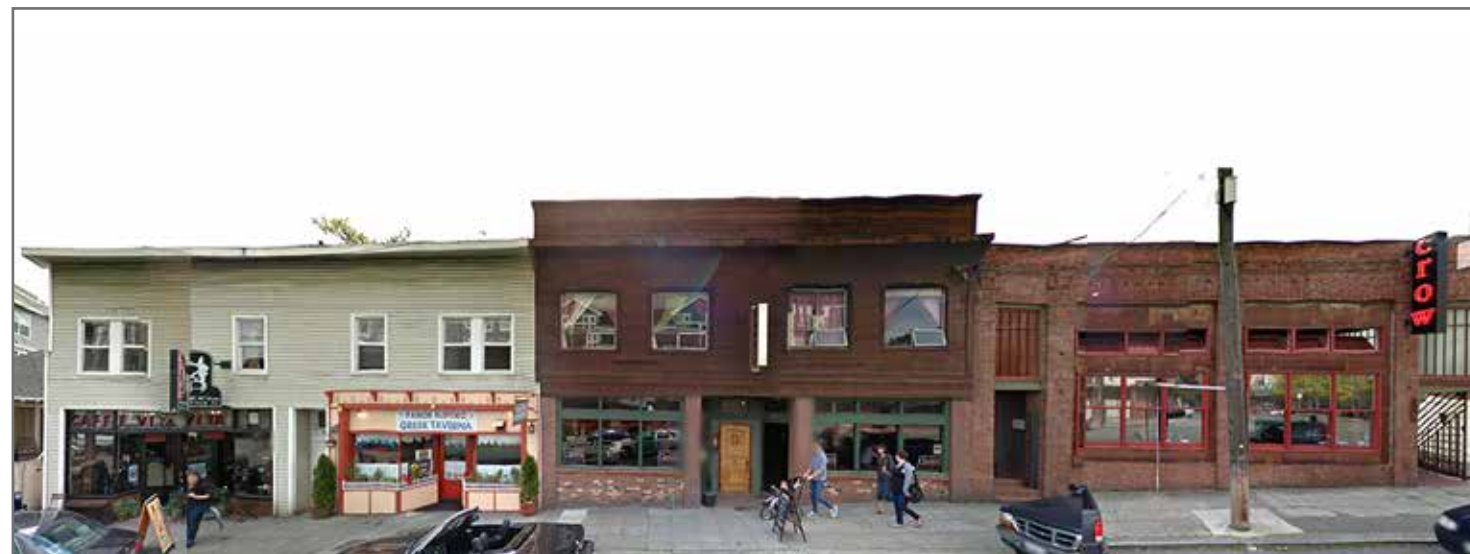
② Condominium



③ Low-rise apartments



④ Emeritus Senior Living



⑤ Retail and restaurants on 5th Ave N



⑥ Seattle Center

## ARCHITECTURAL CONTEXT

A survey of buildings in the neighborhood reveals a diversity of scale, material, and type that contributes to the livability of the neighborhood.

The character of the surrounding neighborhood consists of a variety of small and large craftsman single family homes, townhomes, and low rise apartments. These residences range in material including wood, stucco and brick. Views to downtown and Lake Union are prevalent due to the steep slopes in most directions in the area of the site.



7 View of site from playground across 5th Ave N



8 View from Bhy Kracke Park



# COURTYARD PRECEDENTS



Lower Level Courtyard, Charleston SC



Belroy Apartments, Capitol Hill



Fremont Lofts (Johnston Architects)



Habitat 825, LA CA



The Bungalows Condo, Capitol Hill



Boulders at Green Lake (Johnston Architects)



Courtyard Townhomes in Vietnam

## b9 COURTYARDS

Courtyards are a key design element in any project designed by b9 architects. We feel that these outdoor spaces encourage social interaction and connections among people.

This spread includes courtyards that are being considered as precedents for the proposed project along with several completed courtyards designed by b9 projects.

These courtyard case studies are both references and testaments of the potential character for the courtyard in 1228 5th Ave N, with the goals to encourage community interaction, open outdoor space, and increase natural light and air into the units.



Urban Walk



Urban Canyon



Wallingford Townhomes



Urban Trees

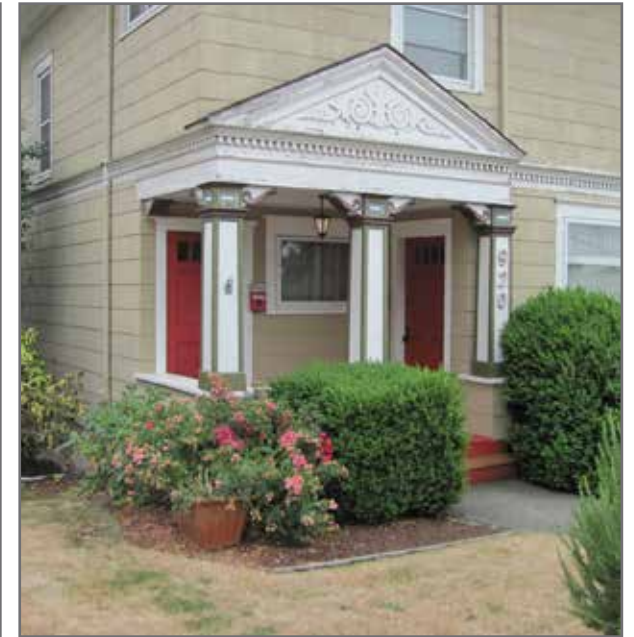
# ENTRY PRECEDENTS



① Multi- unit entry at 1112 Taylor



② Multi- unit entry Taylor and Prospect



③ Multi- unit entry 920 Ward St.



④ Multi- unit entry 420 Highland Dr.



⑤ Multi- unit entry 402 Highland Dr.



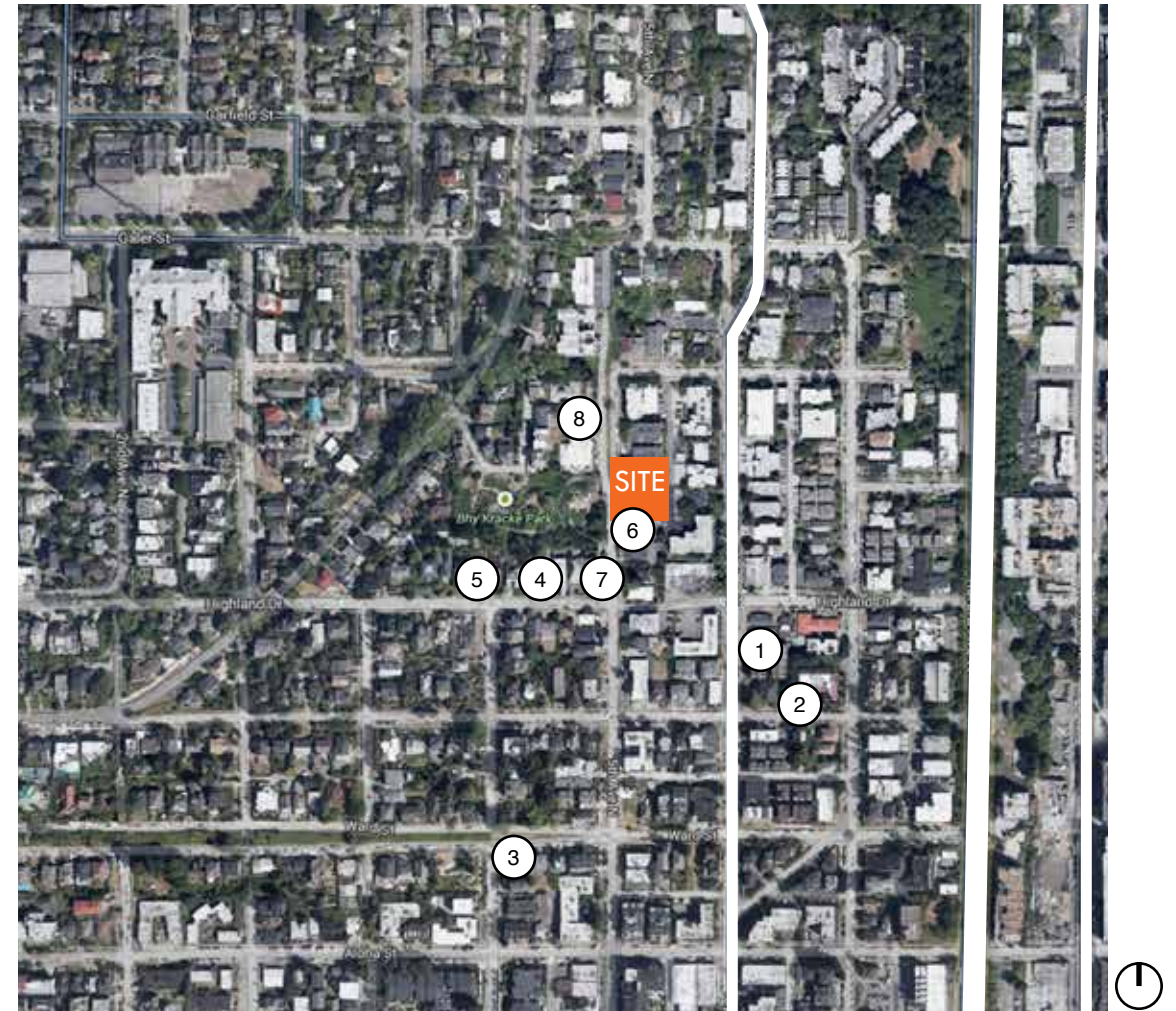
6 Entry stairs at 1218 5th Ave N.



7 Entry stairs at 5th and Highland



8 Entry stairs at 1243 5th Ave N



# CONTEXT & SITE

## CS1 NATURAL SYSTEMS AND SITE FEATURES

### B. SUNLIGHT AND VENTILATION

*Consider how the sun and wind may affect your building form, massing, and facade.*

The project is organized and modulated to allow natural light to access the courtyard at the center of the site as well as all homes. The courtyard is oriented north-south to maximize exposure and allow natural light and ventilation access to adjacent sites.

### C. TOPOGRAPHY

*Use the natural topography and existing site features to inform the project design.*

The project is sited to follow the sloping topography down the street from north to south and down the slope from west to east. By following the slope, the project provides minimizes the impacts on adjacent sites while providing views of South Lake Union and Downtown Seattle for each unit.

## CS2 URBAN PATTERN AND FORM

### D. HEIGHT, BULK, AND SCALE

*Use changes in topography, site shape, and vegetation or structures to help make a successful fit with adjacent properties.*

The project resides in a multifamily zone that consists of a variation of building types - single family homes, duplexes, apartments and condominiums. There is an alley and parking to an adjacent condo east of the site and Bhy Kracke park west of the site. The project massing responds specifically to the varied neighborhood structures.

The proposal maintains the scale of existing surrounding structures by creating a series of duplexes and triplexes that follow the sloping topography in both directions.

The project provides visual interest and is appropriated to the context through large scale modulation of shifting units and smaller scale modulation through projections and recesses of mass. Material variation will also highlight the changes in massing and create an additional layer of interest and scale.

## CS3 ARCHITECTURAL CONTEXT AND CHARACTER

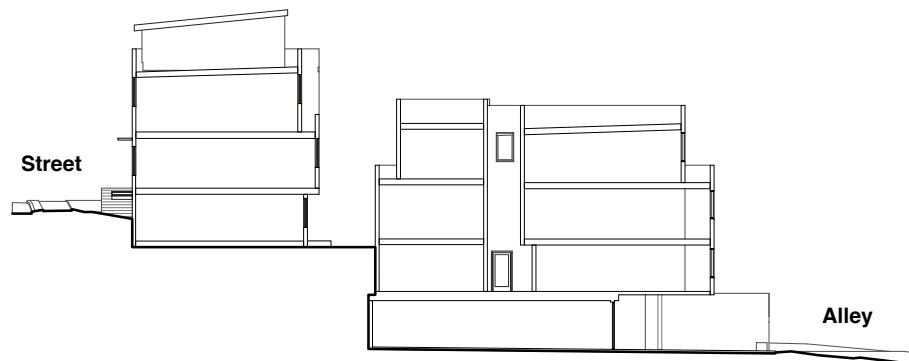
### A. EMPHASIZING POSITIVE NEIGHBORHOOD ATTRIBUTES

*Explore how contemporary designs can contribute to the development of attractive new forms and architectural styles; as expressed through use of new materials or other means.*

The project is located in the midst of a variety of multifamily structures. Across the street is the park Bhy Kracke. In response to the existing context, the design proposal is organized and modulated to be dynamic yet appropriate in scale, form, and style. Material variation and unit modulation will add a contemporary dimension to this immediate neighborhood.



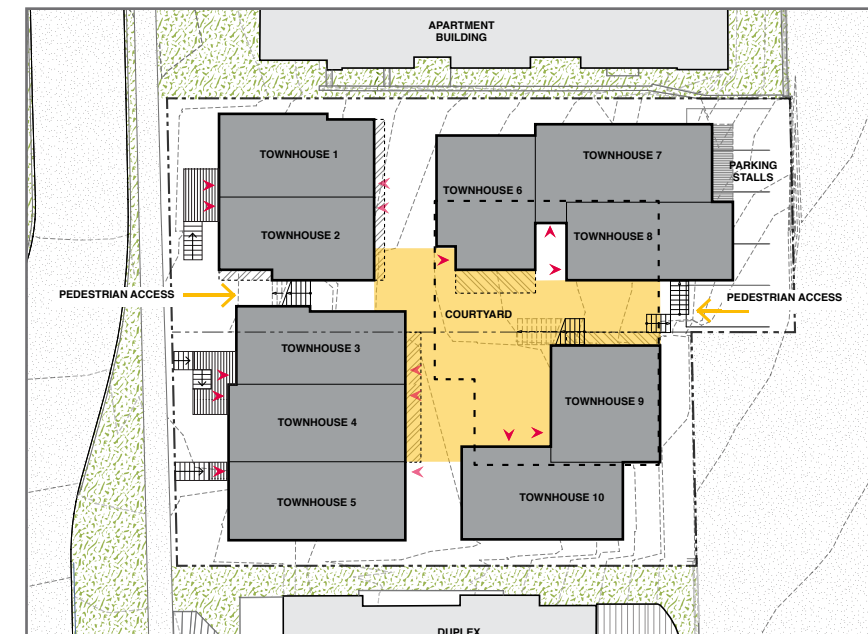
View of site from Bhy Kracke Park



Section through project displaying stepping of units to follow topography



Courtyard providing light, air, and visual interest



Entry and access plan



# PUBLIC LIFE

## PL1 CONNECTIVITY

### B. WALKWAYS AND CONNECTIONS

*Connect on-site pedestrian walkways with existing public and private pedestrian infrastructure. Provide ample space for pedestrian flow and circulation and create opportunities for lively, pedestrian oriented open spaces to attract interaction with the site and building.*

The project is organized to provide an on-site pedestrian walkway that directly connects the sidewalk on 5th Avenue N and the park across the street into the internal courtyard within the project and the alley beyond. Within the courtyard, there is a large central courtyard for interaction as well as walkways into each unit.

### C. OUTDOOR USES AND ACTIVITIES

*Concentrate activity areas in places with sunny exposure, views across spaces, and in direct line with pedestrian routes.*

The internal courtyard provides a central and internal activity area, promoting interaction among the unit tenants. The courtyard is oriented north-south to gain maximum solar exposure, and the courtyard is raised above the alley in order to gain views of South Lake Union. The internal courtyard is also directly connected to 5th Avenue N, the park across the street, and the alley to the east, where parking for the units is located.

## PL2 WALKABILITY

### B. SAFETY AND SECURITY

*Create a safe environment by providing lines of sight and encouraging natural surveillance through strategic placement of doors, windows, balconies, and street-level use.*

Pedestrian entries from the street are lifted, thus providing lines of sight and easier surveillance along the street. Access from the alley into the units is also elevated.

### D. WAYFINDING

*Use design features as a means of wayfinding wherever possible, and provide clear directional signage where needed.*

Entries from the street level are articulated by being elevated from the sidewalk and recessed into the unit masses. Several entries at the courtyard level are visible through the separation in the buildings at the street level. Entry into the parking garage will have the appropriate signage from the alley.

## PL3 STREET LEVEL INTERACTION

### A. ENTRIES

*Design primary entries to be obvious, identifiable, and distinctive with clear lines of sight.*

Primary entries are located at the streetscape and within the courtyard. Entries along the street are defined by stoops that create a buffer between the streetscape and homes. The duplex and triplex at the street are positioned to highlight the entry into the courtyard, between the structures. Entry from the alley into the courtyard is defined by a stair that leads into the courtyard. The courtyard is stepped, providing an additional buffer between the alley and proposed homes. Entries at the street are recessed for definition and visual interest.

### C. RESIDENTIAL EDGES

*Provide security and privacy for residential buildings through the use of a buffer or semi-private space between the development and the street or neighboring buildings. suggestions: elevating the main floor, providing setback from the sidewalk, and or landscaping to indicate the transition from one type of space to another.*

The project is organized to have a minimum of a 5' setback between residential buildings on the and north and south side. Entry into the units at the street level are elevated, providing a buffer space between public and private space. In addition, the entries are at an average of 10' setback from the sidewalk. From the alley, a series of stairs act as a transition from the public alley and into the internal courtyard.

## PL4 ACTIVE TRANSPORTATION

### B. PLANNING AHEAD FOR BICYCLISTS

*Plan for existing and future bicycle traffic by providing bike facilities and facilitating bike connections.*

The project provides secure bicycle parking below-grade in the shared parking garage.



View from 5th Ave N



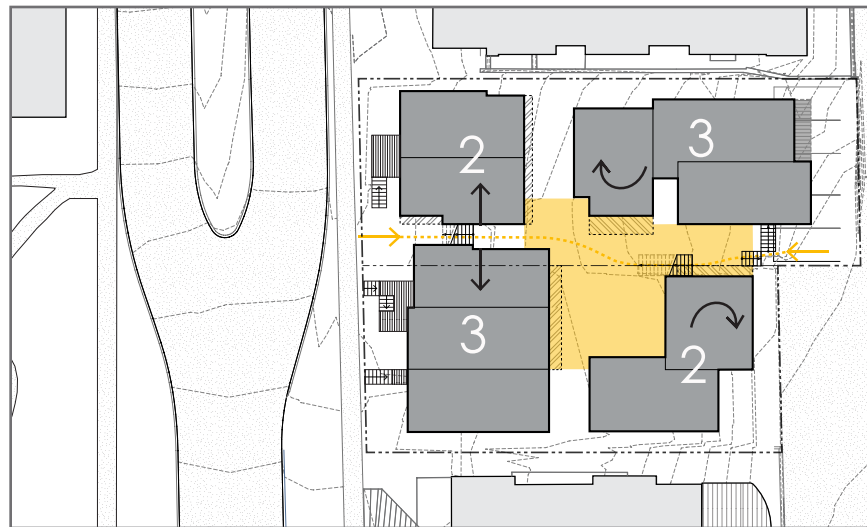
View from lower courtyard



View from alley



View of site and park pathway from Bhy Kracke Park



Massing diagram

## DESIGN CONCEPT

### DC1 PROJECT USES AND ACTIVITIES

#### B. VEHICLE ACCESS AND CIRCULATION

*Choose locations for vehicular access that minimize conflict between vehicles and non-motorists wherever possible.*

Vehicle access is provided from the alley to surface parking and a shared below grade parking garage.

#### C. PARKING AND SERVICE USES

*Locate parking below grade wherever possible.*

Most of the parking is located in a below grade shared garage. Three remaining parking spaces are located at grade and accessed from the alley.

### DC2 ARCHITECTURAL CONCEPT

#### A. MASSING

*Arrange the mass of the building, taking into consideration the characteristics of the site and the proposed uses of the building and its open space.*

The project design is broken into four masses whose height and bulk responds to the topography with modulation at all sides.. This separation allows an internal courtyard for solar exposure to the project and adjacent sites, as well as direct access between Bhy Kracke Park and the alley.

#### B. ARCHITECTURAL AND FAÇADE COMPOSITION

*Design all building facades by considering the composition and architectural expression of the building as a whole.*

Building facades will be composed to express the individual units and variation of volumes. Modulation and depth are created by the pushing and pulling of surfaces, in order to break up the scale of the mass. Fenestration and material consistency will create a holistic approach to the structures.

#### C. SECONDARY ARCHITECTURAL FEATURES

*Add depth to facades through secondary and potentially dual-purpose elements that appropriate themselves within the context of the neighborhood.*

Further depth in facades will be created by the detailing of projections, canopies, railings and decks that highlight additional volumes and provide weather protection. Planters and landscaping at the street level will provide a transition to the street consistent with adjacent sites.

#### D. SCALE AND TEXTURE

*Incorporate architectural features, elements, and details that are of human scale into the building in a manner that is consistent with the overall architectural concept.*

Material that gives texture and detailing will be used to bring the project to a humanistic scale. Railings, deck detailing, and landscaping will also give a humanistic scale to the project.

### DC3 OPEN SPACE CONCEPT

#### A. BUILDING OPEN SPACE RELATIONSHIPS

*Develop an open space concept in conjunction with the architectural concept to ensure that interior and exterior spaces relate well to each other and support the functions of the development.*

The core design of the massing of the project is to create a large central courtyard that encourages and facilitates interaction among the units. The courtyard is designed to have a central open area that is directly accessible from the street and alley and open to all unit entries. Secondary spaces complement the courtyard and provide semi-private spaces as buffers to particular homes. Plantings and seating add buffers for other homes. The courtyard responds to the sloping topography by stepping down to the alley through an intermediate courtyard before reaching the alley.

#### B. OPEN SPACES USES AND ACTIVITIES

*Site and design project-related open spaces should connect with, or enhance, the uses and activities of other nearby public open space where appropriate.*

The project connects to Bhy Kracke Park, which is located directly across from the site on 5th Ave N. Pedestrian access into the internal courtyard is aligned with the pathway access into the park, thus creating a connection between the park and the project.

#### C. DESIGN

*Create attractive outdoor spaces well-suited to the uses envisioned for the project. Initiate a strong open space concept, where appropriate, that other projects can build upon in the future.*

The project massing is designed around an central courtyard that serves as a space for interaction and outdoor activities. The open space is directly connected to the street and alley and is visually connected to the park across the street and the view of South

Lake Union to the east. Private decks and roof decks provide additional opportunities for outdoor spaces with views of the courtyard spaces below.

**DC4 MATERIALS**

**A. EXTERIOR ELEMENTS AND FINISHES**

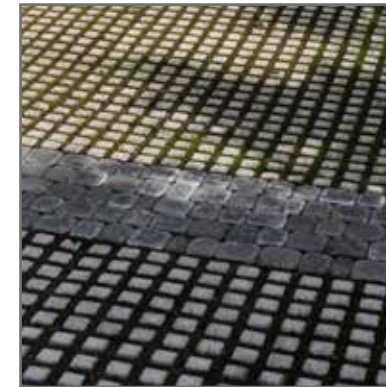
*Building exteriors should be constructed of durable and maintainable materials. Select durable and attractive materials that will age well in Seattle's climate.*

Exterior materials will be chosen based on durability, maintainability, and sustainability. Consideration will be taken for contextual relevance of the materials and appropriateness to Seattle climate. Contrasting materials of higher quality will demarcate the entries. Materials at entries will have a textural quality at a more humanistic scale.

**D. TREES, LANDSCAPE AND HARDSCAPE MATERIALS**

*Reinforce the overall architectural and open space design concepts through the selection of landscape and hardscape materials.*

Landscaping will be emphasized at the entries and within the courtyard in order to give visual interest and a humanistic scale at points of interaction. In the courtyard, both central and lower courtyards, a mix of hardscape and landscape will encourage interaction through visual interest and an increased sense of comfort and intimacy.



**Proposed ground materials**

Left to Right:

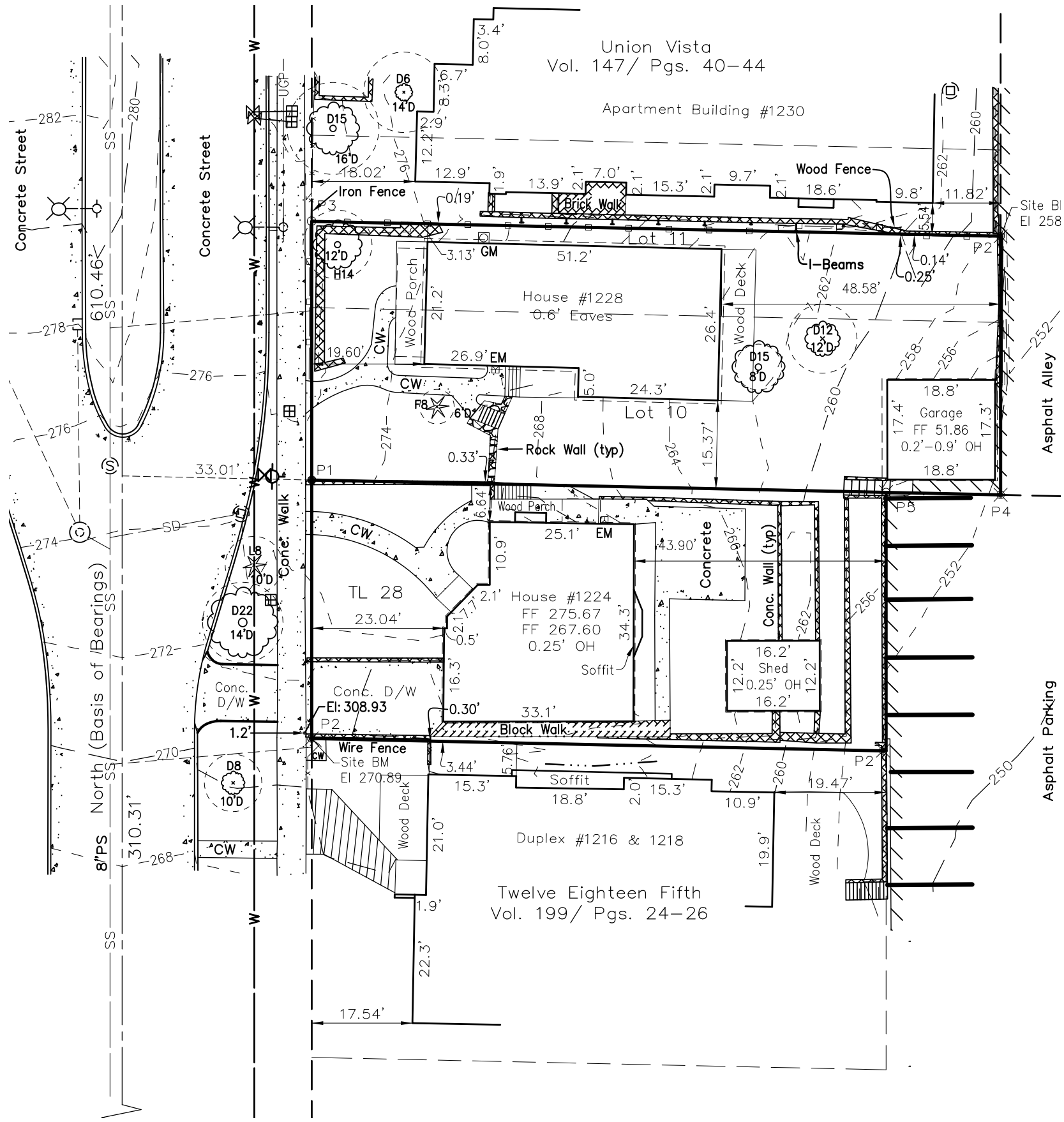
- Paver
- Driveable grass
- Wood Decking



**Proposed exterior materials:**

Left to Right:

- Fibar cement board
- Steel exterior railing
- Natural wood rainscreen



View looking at site from 5th Ave N

**LEGAL DESCRIPTIONS**

THE SOUTH 45 FEET OF THE NORTH 670 FEET OF THE WEST 133 FEET OF THE EAST 623.6 FEET OF GOVERNMENT LOT 5, SECTION 30, TOWNSHIP 25 NORTH, RANGE 4 EAST, W.M. IN THE CITY OF SEATTLE, COUNTY OF KING, STATE OF WASHINGTON;

EXCEPT THE WEST 33 FEET THEREOF, DEEDED TO THE CITY OF SEATTLE FOR STREET.

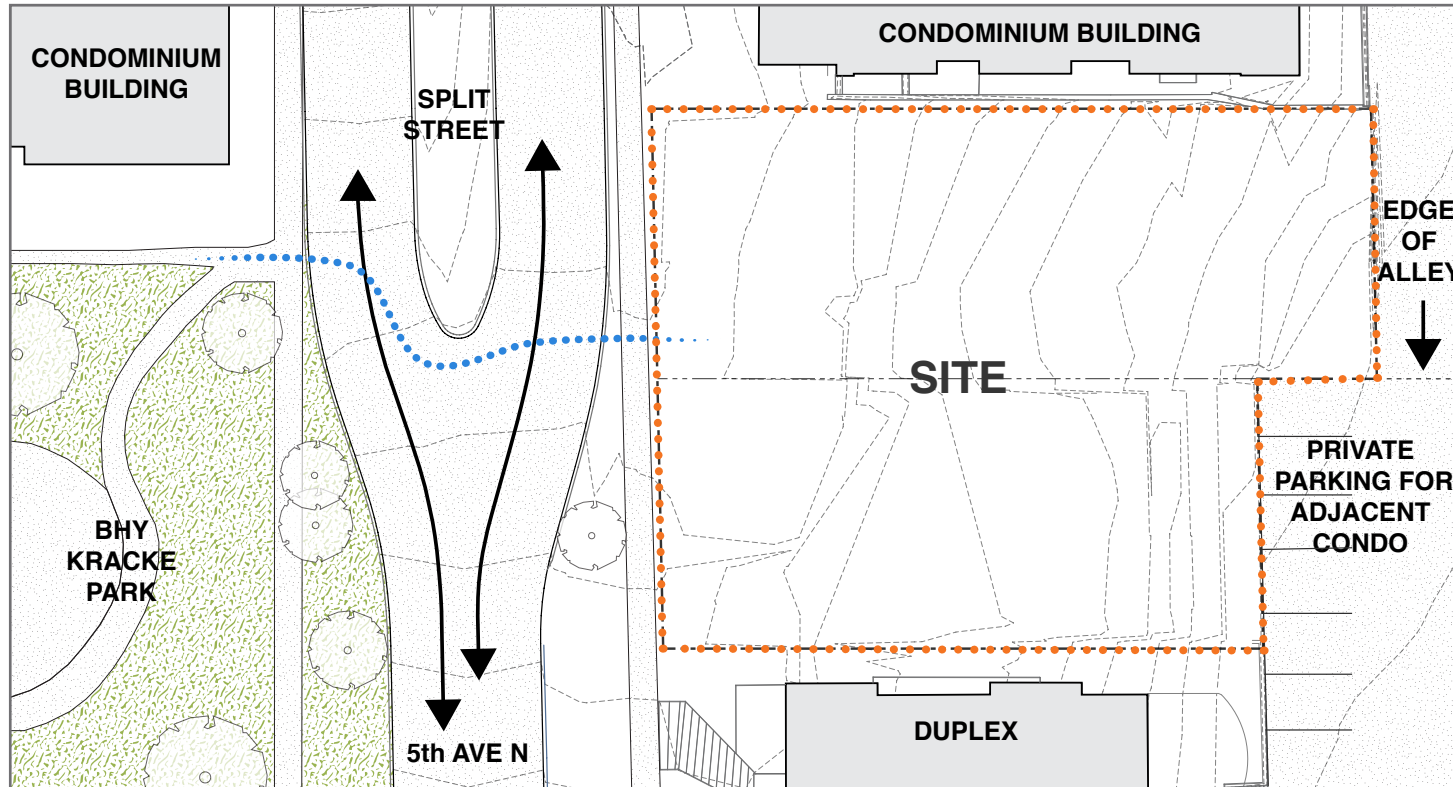
APN 302504-9028

LOT 10 AND THE SOUTH 15 FEET OF LOT 11, BLOCK 2, PRATT'S ORCHARD ADDITION TO THE CITY OF SEATTLE, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 9 OF PLATS, PAGE 31, RECORDS OF KING COUNTY, WASHINGTON.

APN 688990-0230



**SPLIT STREET**  
looking north



**PARK**



**ALLEY**



**SPLIT STREET**  
looking south



1 Lee St facing north



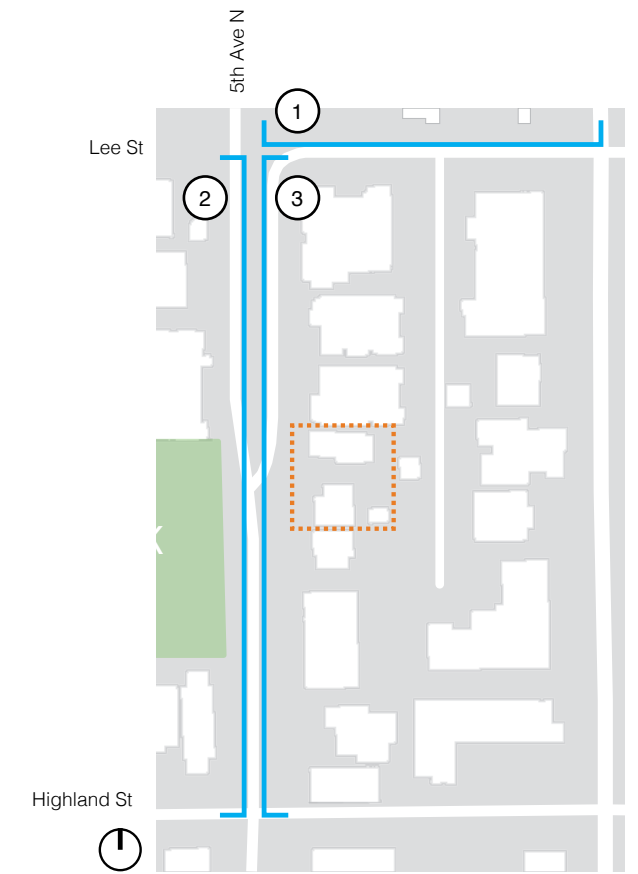
2 5th Ave N looking west

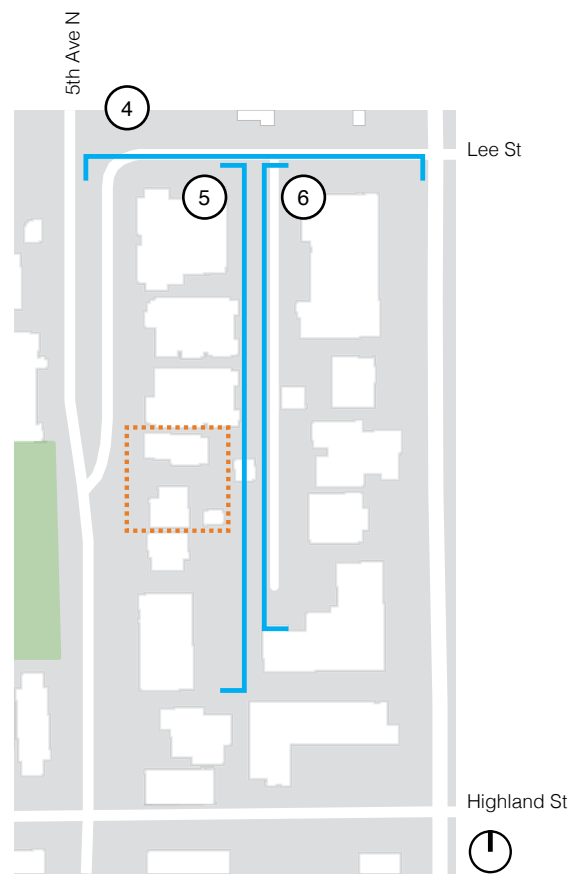


3 5th Ave N looking east



SITE





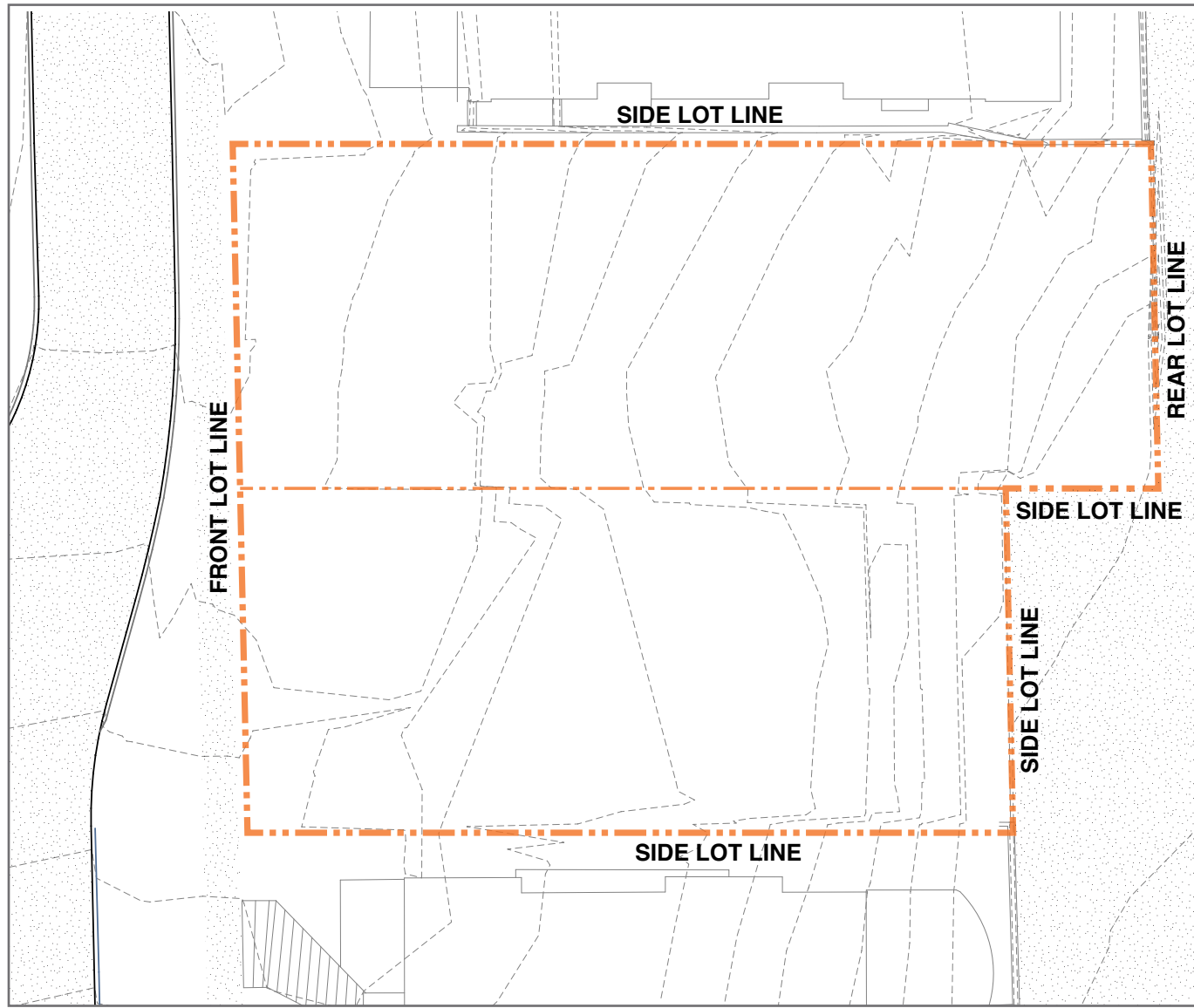
④ Lee St facing south



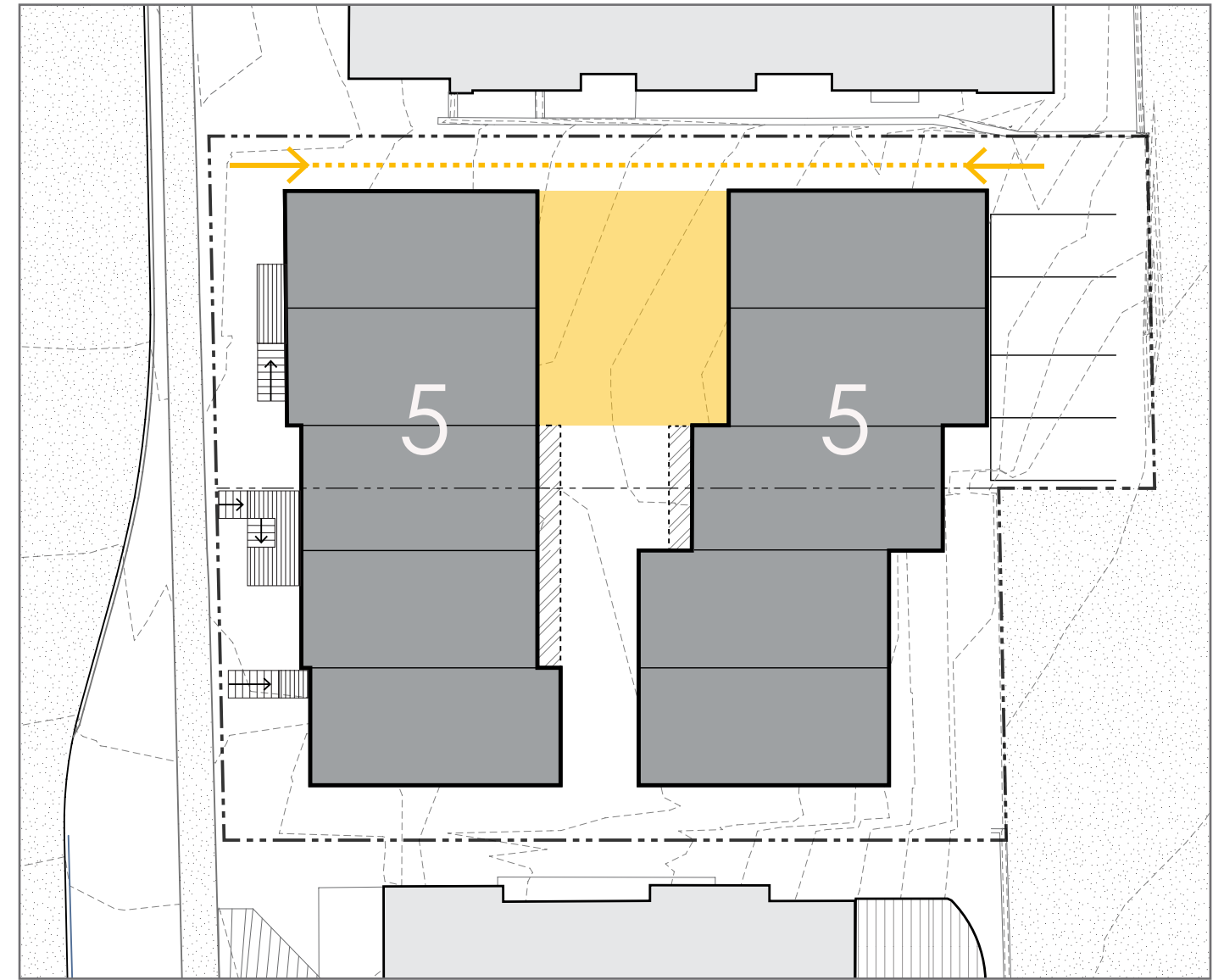
⑤ Alley facing west



⑥ Alley facing east



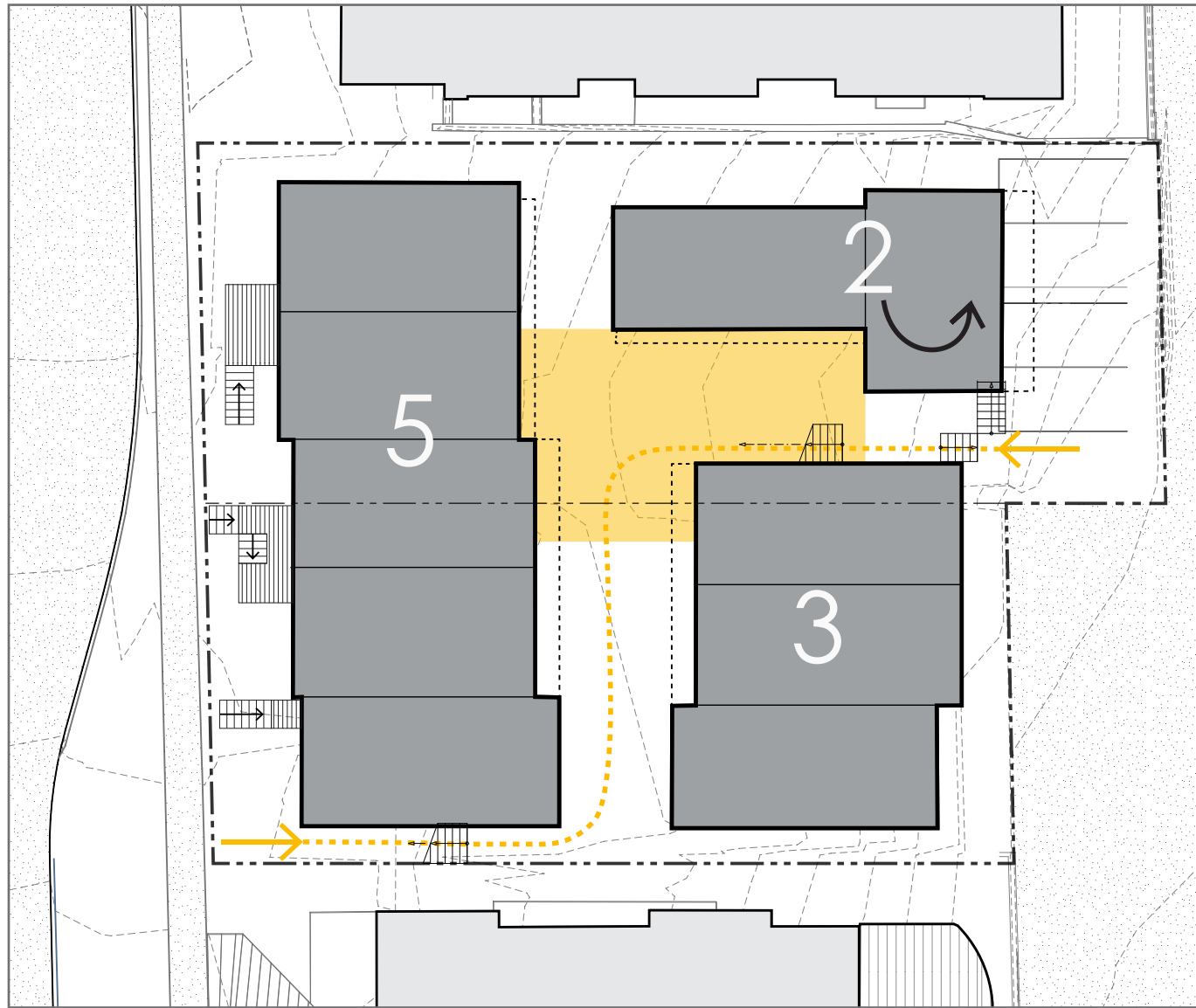
SITE: IRREGULARLY SHAPED LOT




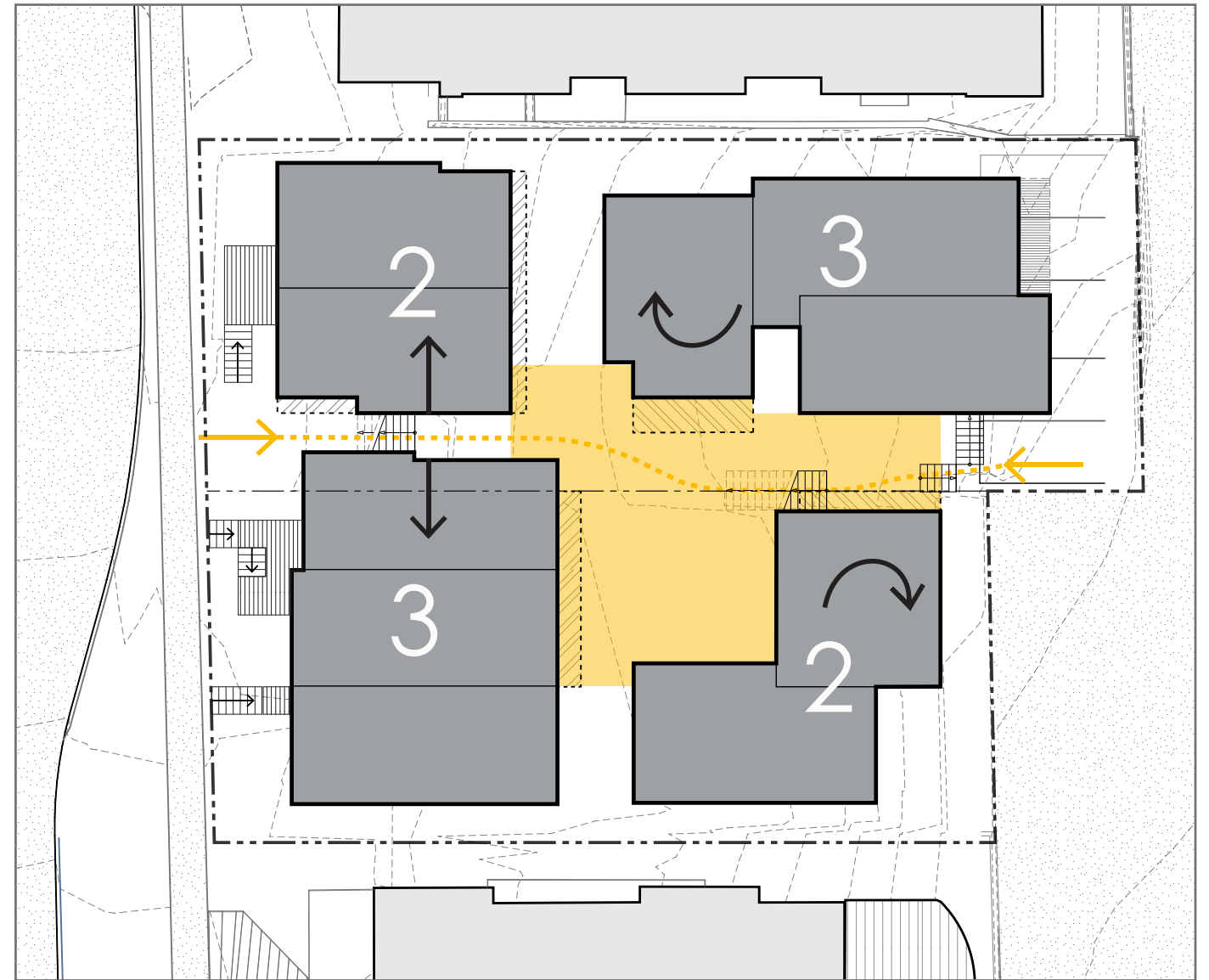
ALTERNATIVE 1 : 2 STRUCTURES







ALTERNATIVE 2 : 3 STRUCTURES 



ALTERNATIVE 3 : 4 STRUCTURES 

# ALTERNATIVE 1

## 2 STRUCTURES - CODE COMPLIANT ALTERNATIVE

Alternative 1 is a code compliant scheme that proposes 10 townhomes in 3 structures. 5 homes have entrances on 5th Avenue N and 5 homes have their entrances off the central courtyard. Parking is accessed from the alley and provided for each home, 7 parking stalls in a below grade parking structure and 3 stalls at grade. Pedestrian access from 5th Ave N to the rear of the site is through the 5'-0" side setback at the south of the site. A courtyard is provided between the 2 structures at the north end of the site. Additional private amenity areas will be provided at the roof decks.

### Advantages:

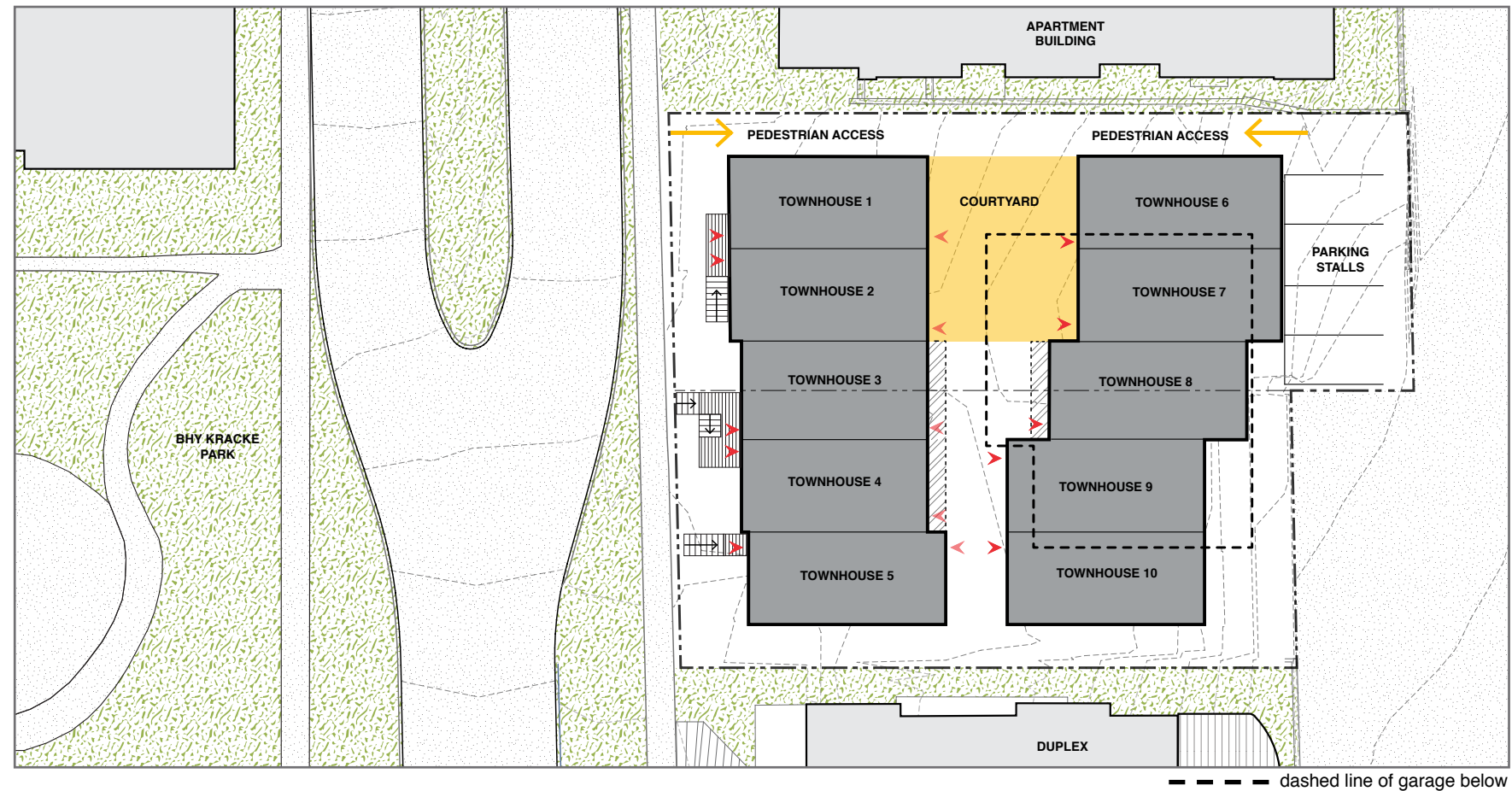
- code compliant proposal

### Issues:

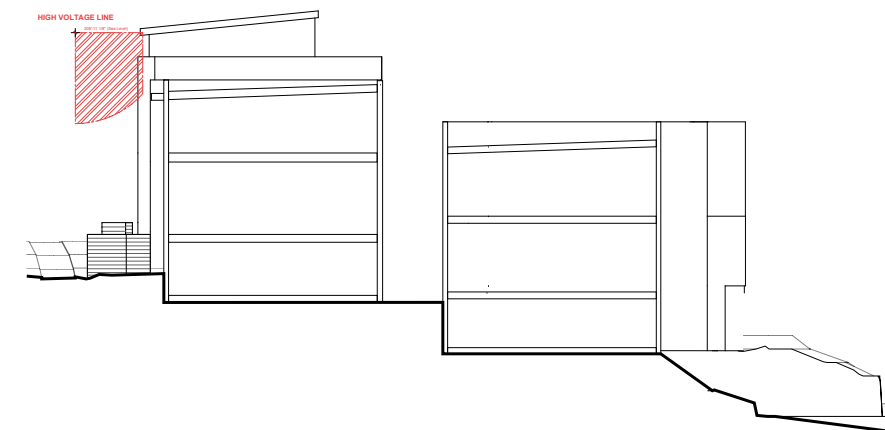
- The linear shape of the courtyard does not create a favorable open space for the surrounding homes or adjacent parcels.
- The structures provide no relief from east or west and force all exterior circulation through the side setback.

### Departures:

- none requested.



1 Site Plan



Section Through Site: note setback for high voltage lines at street



① View from 5th Ave N



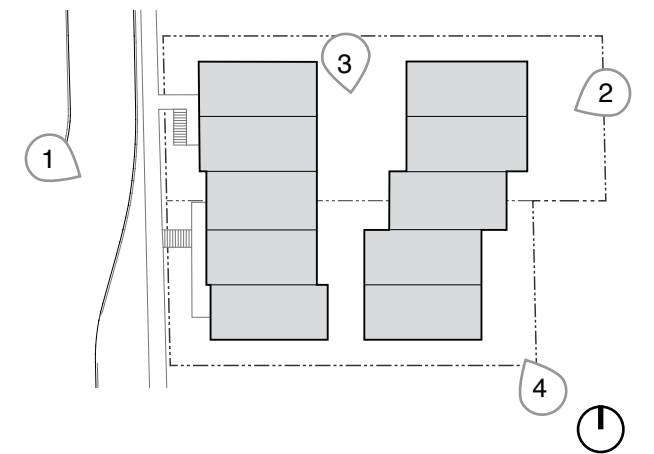
② View from Alley



③ View from Courtyard



④ Aerial View Looking Northwest



# ALTERNATIVE 2

## 3 STRUCTURES

Alternative 2 proposes 10 homes in 3 structures. 5 homes have entrances on 5th Avenue N and 5 homes have their primary entrance at the central courtyard. Parking is accessed from the alley and provided for each home, 7 parking stalls in a below grade parking structure and 3 stalls at grade. Pedestrian access from 5th Ave N to the courtyard at the center of the site is through the 5'-0" side setback at the south of the site. Pedestrian entry from the alley is between a 10'-0" separation between 2 structures at the center of the site. A courtyard is centrally located between the three structures. Additional private amenity areas will be provided at the roof decks.

**Departures:**

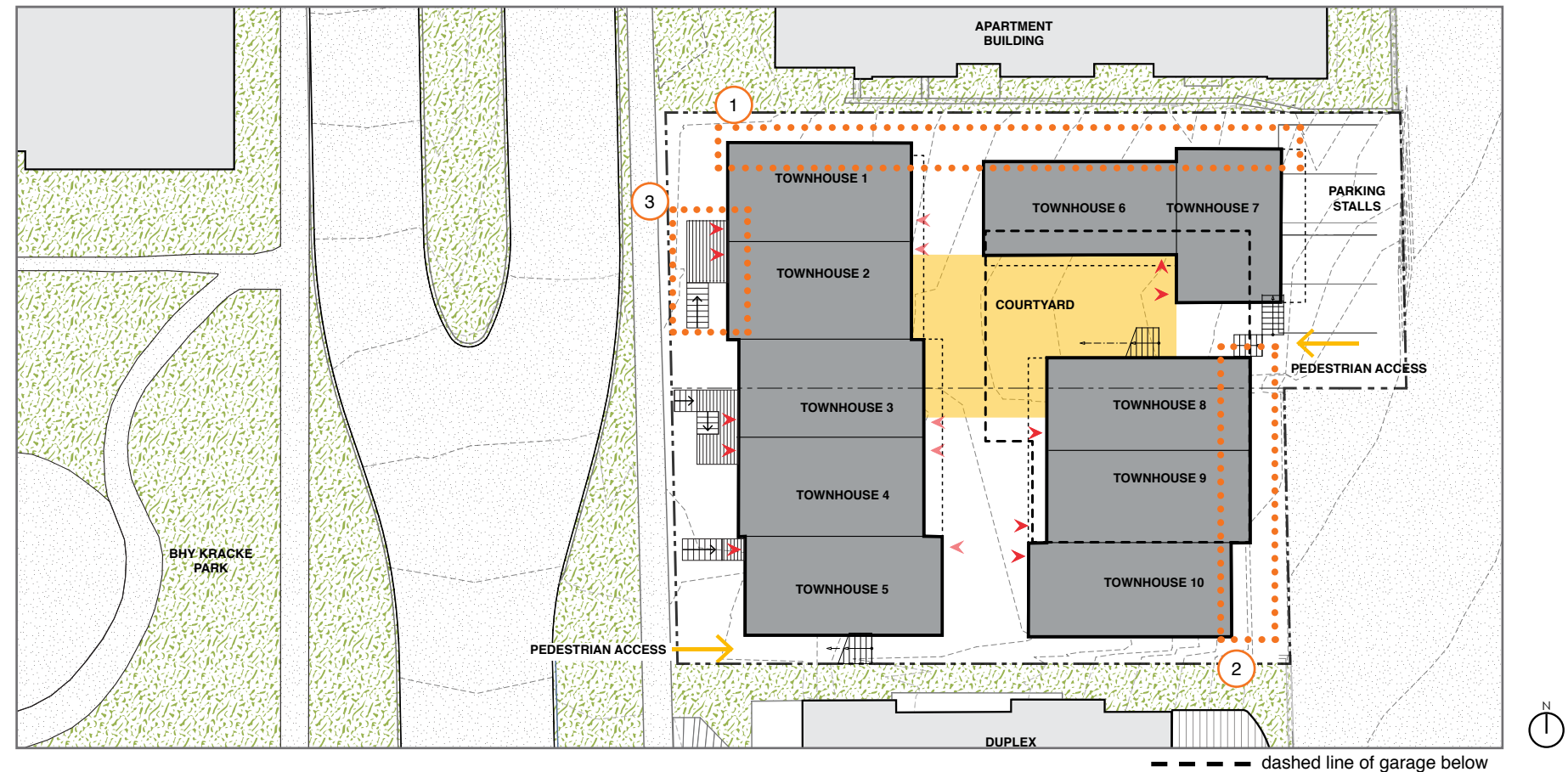
- ① North Facade Length: 83'-10 3/8" / 70%
- ② Southeast Facade Length at alley 40'-0" / 89%
- ③ Setback for unenclosed porch 3'-0" from property line

**Advantages:**

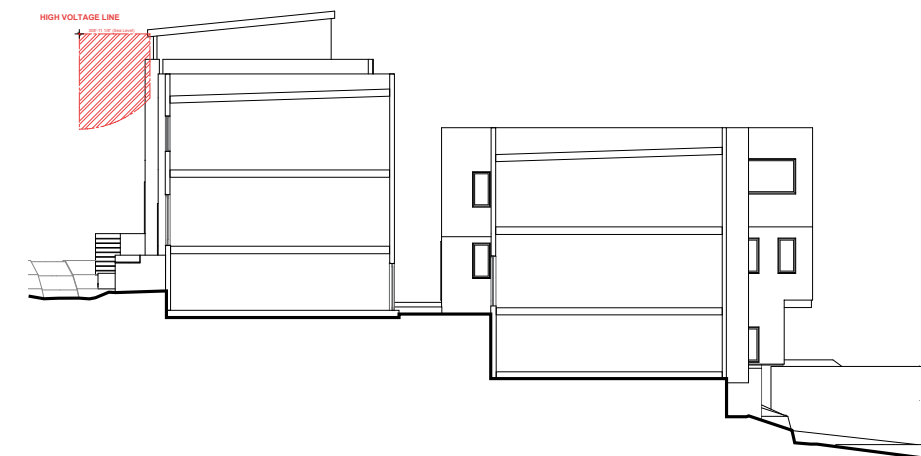
- By seperating the rear building into two buildings, the courtyard ammenity area is able to grow.
- The alley facade is scaled with the surroundings.

**Issues:**

- Departures required
- The structure provides no relief from the west and force all exterior circulation through the side setback.



① Site Plan



Section Through Site: note setback for high voltage lines at street



1 View from 5th Ave N



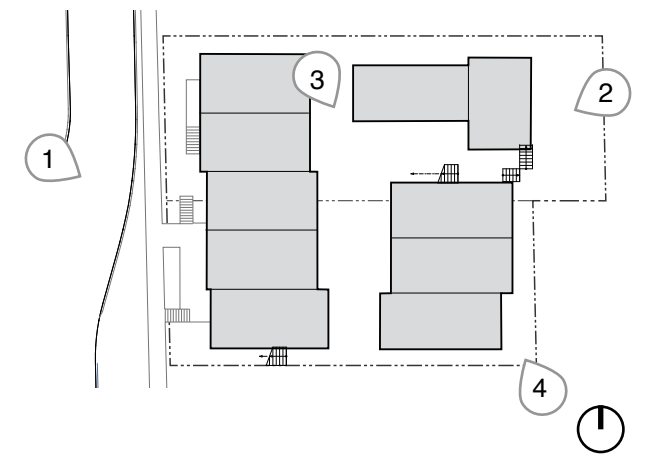
2 View from Alley



3 View from Courtyard



4 Aerial View Looking Northwest



# ALTERNATIVE 3

## 4 STRUCTURES

Alternative 3 proposes 10 homes in 4 structures. 5 homes have entrances on 5th Avenue N and 5 homes have their primary entrance at the central courtyard. Parking is accessed from the alley and provided for each home, 7 parking stalls in a below grade parking structure and 3 stalls at grade. Pedestrian access is provided from 5th Avenue N to the courtyard at the center of the site is in between the street-facing structures. Pedestrian access from the alley is between the two structures to the center of the site. A courtyard is centrally located between the 4 structures. Additional private amenity areas will be provided at the roof decks with semi-private areas provided at the courtyard edges.

### Advantages:

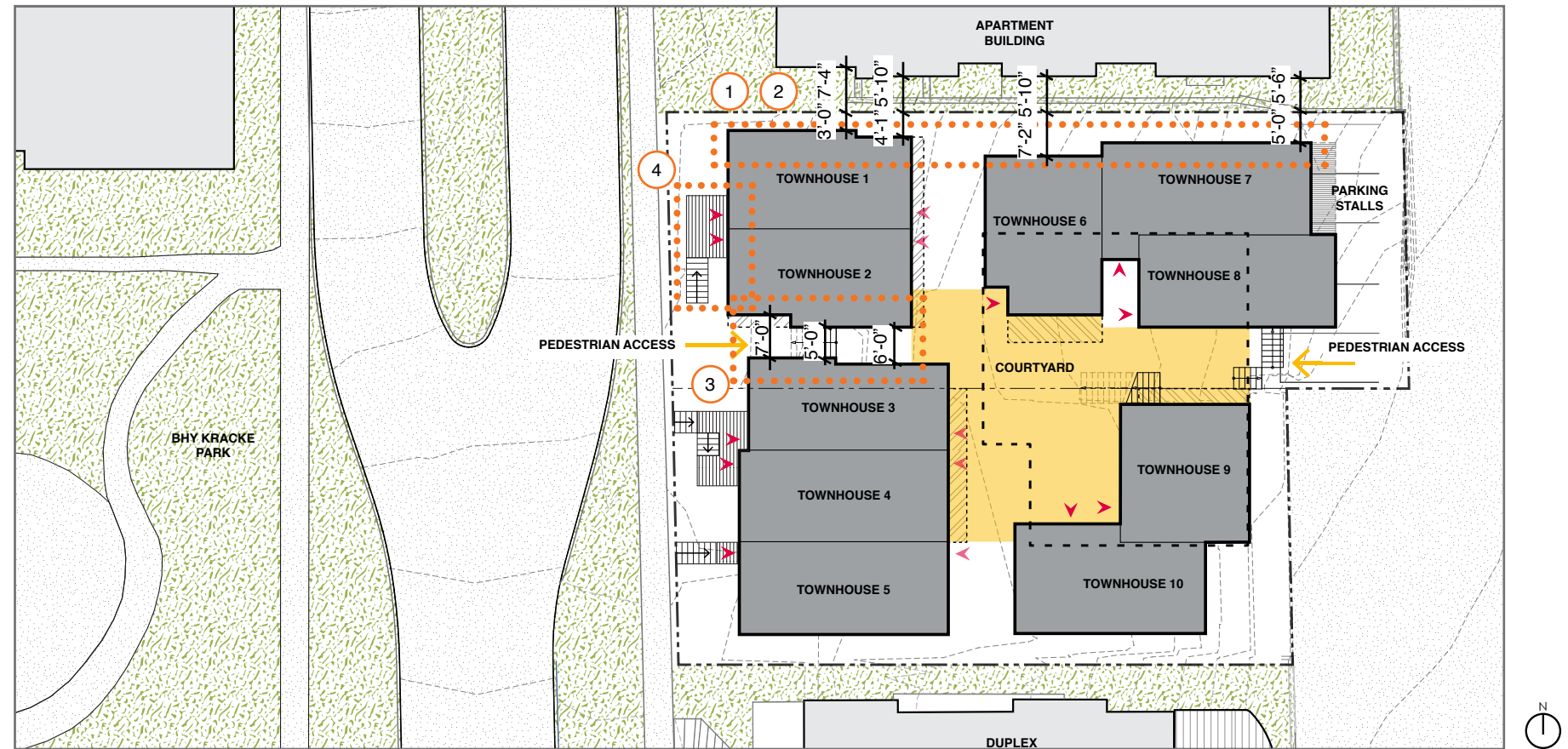
- The scheme maximizes the amount of open space at grade through the design of the courtyard at the center of the site.
- By separating the building along 5th Avenue N into two buildings, the street facade is better scaled with its surroundings and provides a rhythm at the pedestrian realm.

### Issues:

- Departures required

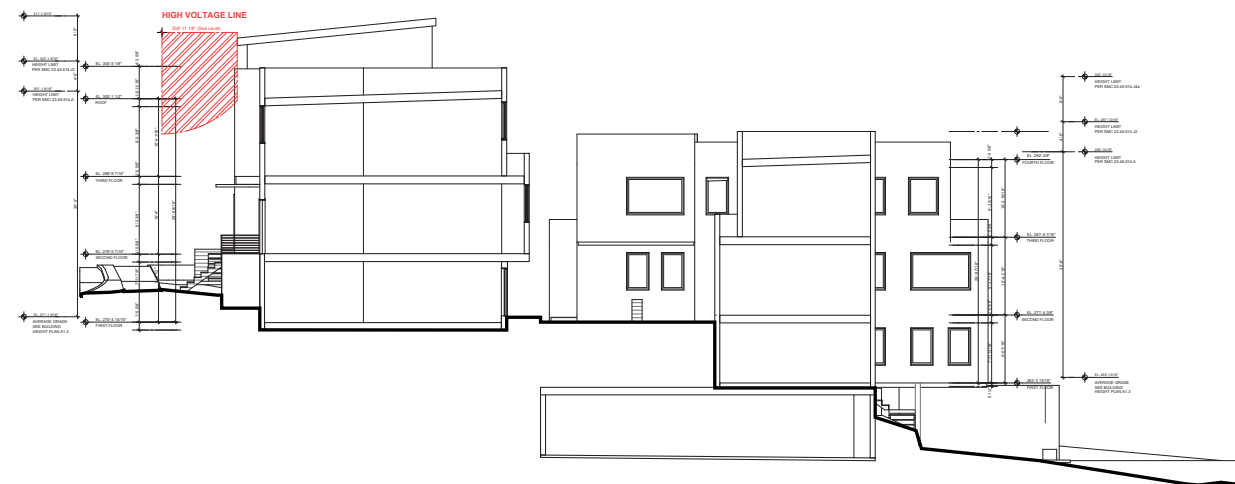
### Departures:

- 1 North Facade Length: 84'-10" / 70.7%
- 2 Northwest Side Setback minimum 3'-0" setback for 21'-0"
- 3 Separation between townhomes to be less than 10' 5'-0" min. separation between west structures
- 4 Setback for unenclosed porch 3'-0" from property line

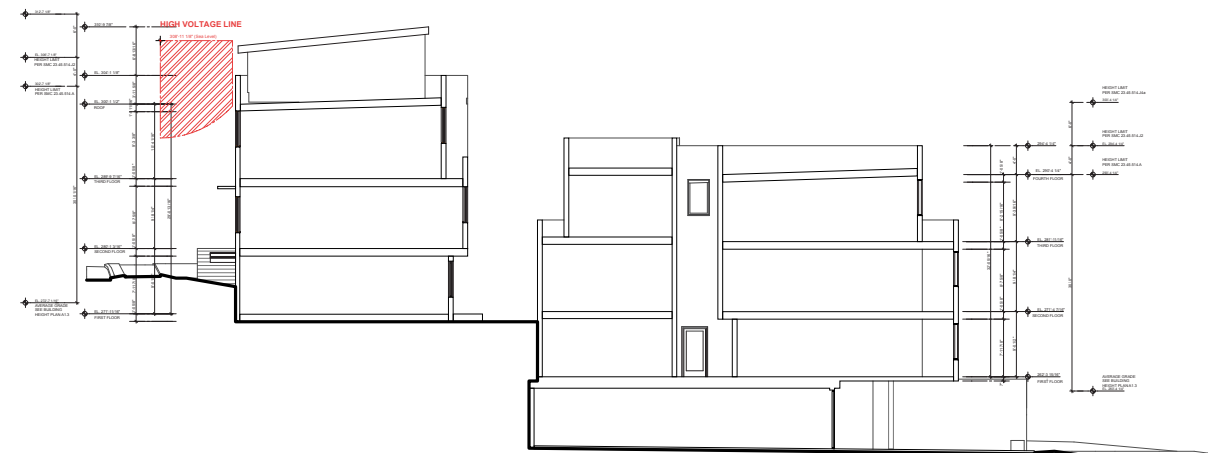


1 Site Plan

--- dashed line of garage below



Site Section - South Parcel  
note setback for high voltage lines at street



Site Section - North Parcel  
note setback for high voltage lines at street



1 View from 5th Ave N



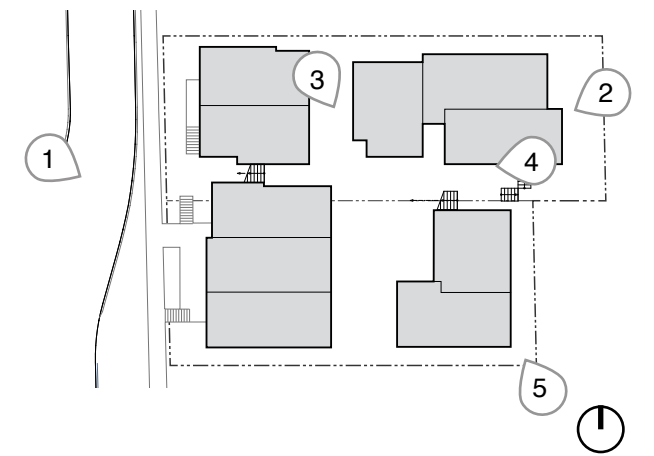
2 View from Alley



3 View from Courtyard



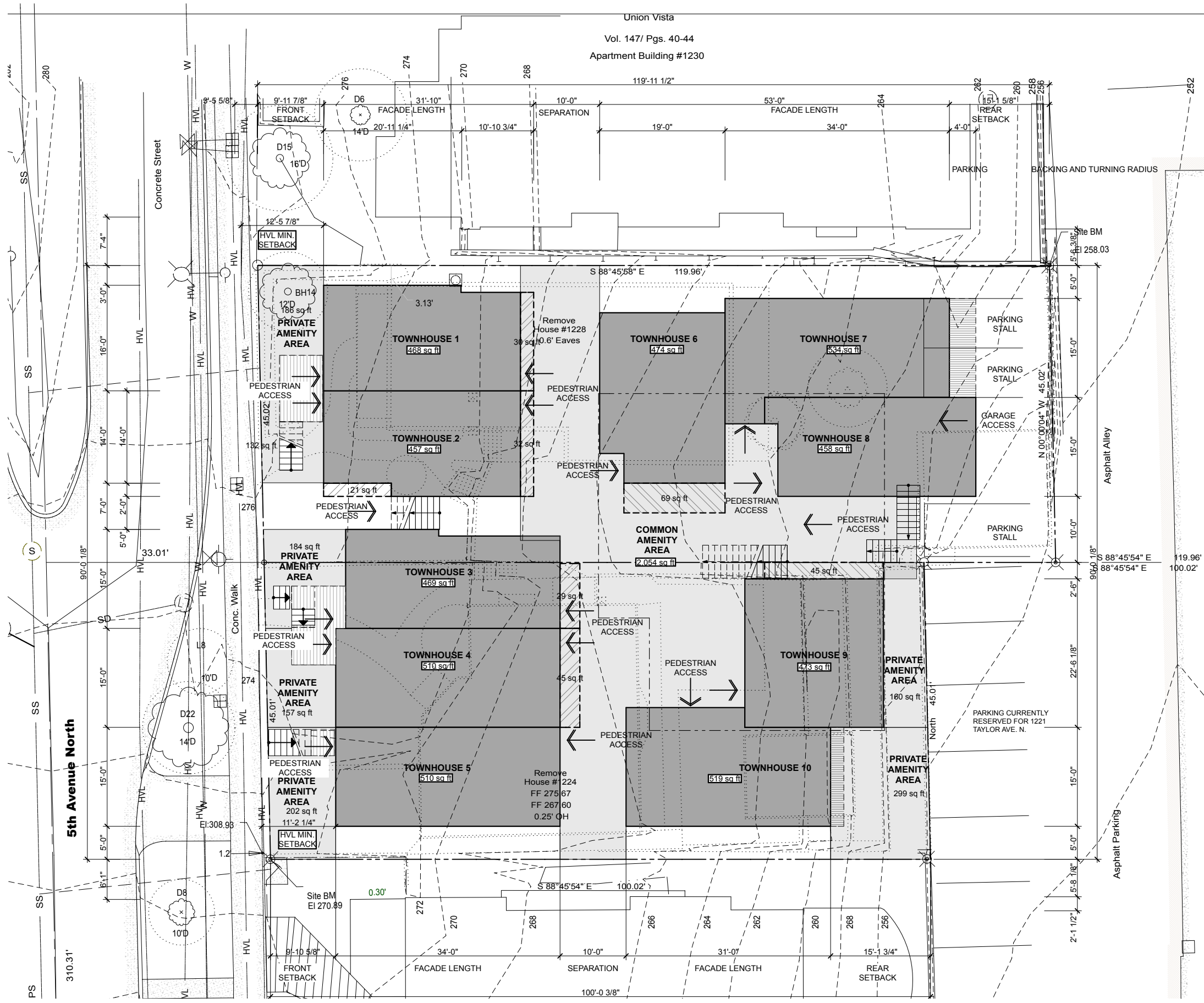
4 View from the Lower Courtyard





5 Aerial View looking Northwest





**PROJECT INFORMATION**

**ADDRESS:** 1224 AND 1228 5TH AVENUE NORTH, SEATTLE, WA  
**OWNER:** VIEWS ON SOUTH QUEEN ANNE LLC  
 4200 196TH STREET SW, SUITE 201  
 LYNWOOD, WA 98036  
**ARCHITECT:** B9 ARCHITECTS, INC.  
 210 S. JACKSON ST., SEATTLE, WA 98104  
 TEL. 206.297.1284 FAX 206. 284.7572  
**LEGAL DESCRIPTION:** PRATTS ORCHARD ADD 10 & S 15 FT OF 11  
 PLAT BLOCK: 2  
 PLAT LOT: 10-11  
 AND  
 S 45 FT OF N 670 FT OF W 133 FT OF E 623.6 FT OF GL 5 LESS  
 POR FOR ST  
**APN:** 688990-0230 AND 302504-9028

**BASIC ZONING INFORMATION**

**ZONE:** LR-3  
**LOT AREA:** 9,900 SF  
**DENSITY:** LR3: 1 TOWNHOUSE/1600 SF OR NO LIMIT  
 (FOR TOWNHOUSE DEVELOPMENTS THAT MEET THE  
 STANDARDS OF SUBSECTION 23.45.510.C NO DENSITY LIMIT)  
 PROPOSED: 10 NEW UNITS  
**FLOOR AREA RATIO (FAR):** LR3: TOWNHOUSE: BASE FAR 1.1, FAR 1.3  
 (FOR TOWNHOUSE DEVELOPMENTS THAT MEET THE  
 STANDARDS OF SUBSECTION 23.45.510.C)  
 ALLOWED: 9,900 SF x 1.3 = 12,870 SF  
 PROPOSED: 12,870 SF / 9,900 SF = 1.3  
**FACADE LENGTH - LOT DEPTH:** LOT DEPTH: 119'-11 1/2" and 100'-3/8"  
 FACADE LENGTH ALLOWABLE: 65% OF TOTAL LOT DEPTH  
 ALLOWABLE FACADE LENGTH: 77'-11 3/4" AT NORTH PROPERTY  
 LINE AND 65'-11/4" AT SOUTH PROPERTY LINE  
**SETBACKS:** FRONT: 7' AVERAGE, 5' MIN.  
 SIDE: FOR FACADES 40' OR LESS IN LENGTH: 5'-0"  
 FOR FACADES GREATER THAN 40': 7' AVERAGE, 5' MIN.  
 REAR: 7' AVERAGE, 5' MIN.  
**AMENITY AREA:** PER SMC 23.45.522 THE REQ'D AMOUNT OF AMENITY AREA IS EQUAL  
 TO 25% OF THE LOT AREA. 50% OF THAT AREA TO BE AT GROUND  
 LEVEL  
 REQUIRED AMENITY AREA: 9,900 SF x 0.25 = 2475 SF  
 PROPOSED AMENITY AREA: 3375 SF  
 ADDITIONAL AREA TO BE PROVIDED AT PRIVATE ROOF DECKS

**PARKING: REQUIREMENTS SUBJECT TO SMC.23.54.015 TABLE B**

	REQUIRED	ACTUAL
EXISTING	2	2
PROPOSED	10	10

**ACCESS:** FROM ALLEY DIRECTLY EAST OF THE SITE  
**FREQUENT TRANSIT CORRIDOR:** YES

- LEGEND:**
- NEW STRUCTURE FOOTPRINT AT GRADE
  - OPEN SPACE AT GRADE
  - CANTILEVERED FLOOR SPACE ABOVE GRADE
  - CANTILEVERED DECK ABOVE GRADE



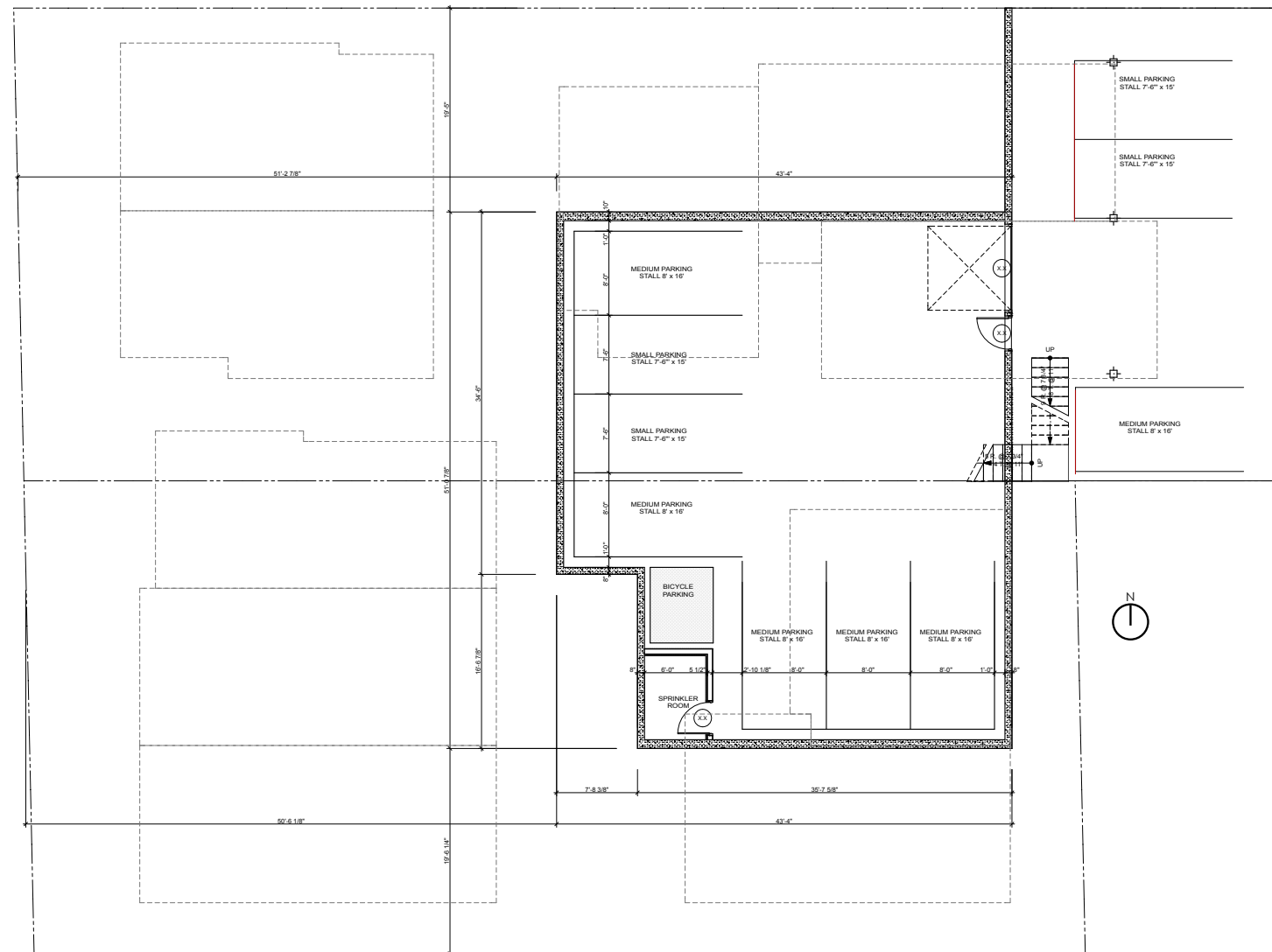
PRIVACY DIAGRAMS



Section facing south



Section facing north



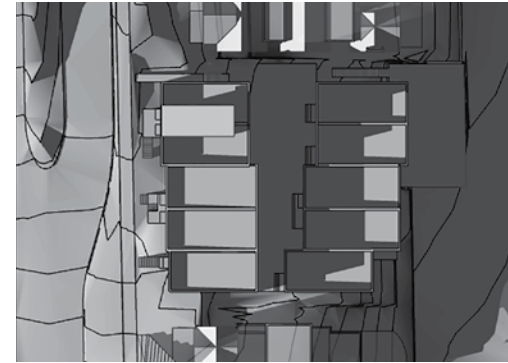
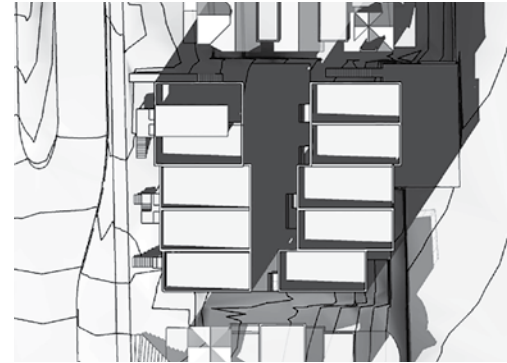
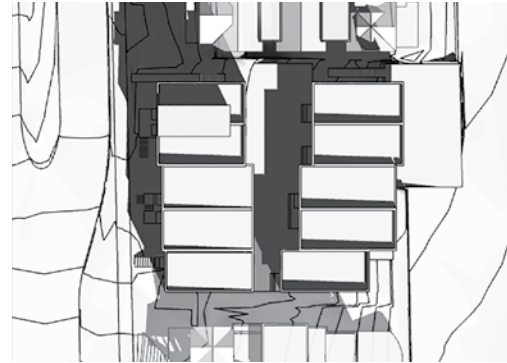
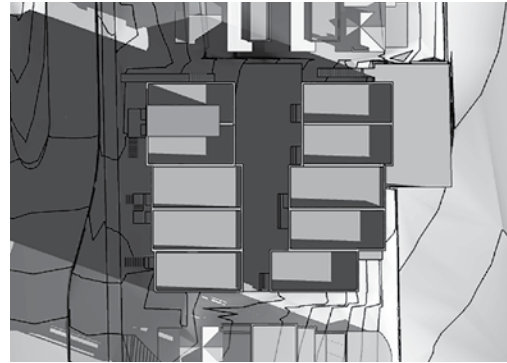
GARAGE PLAN

9 AM

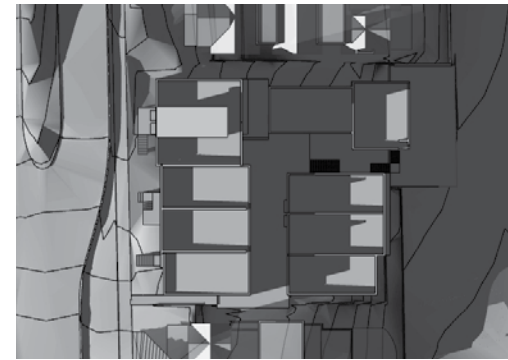
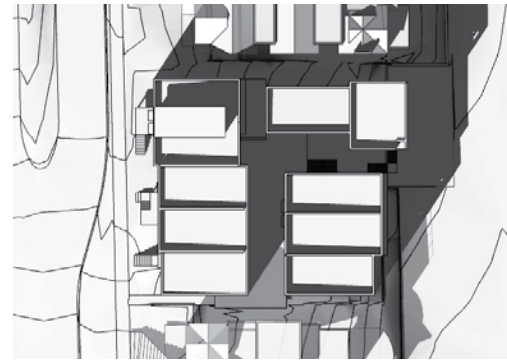
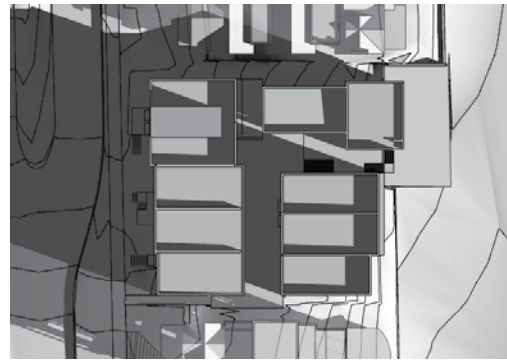
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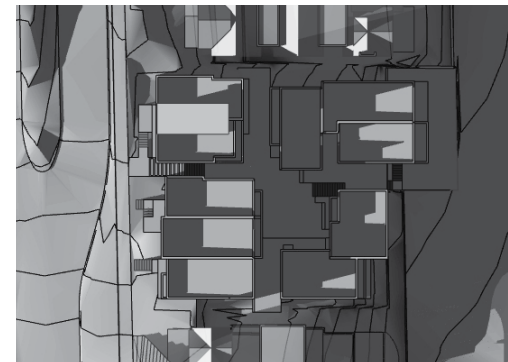
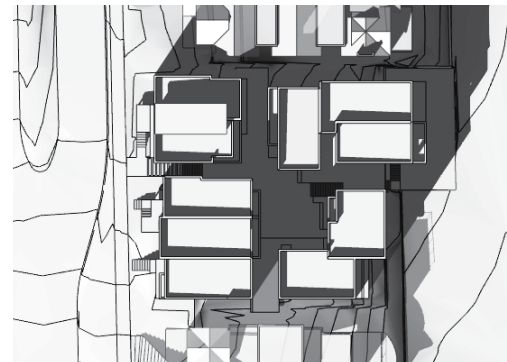
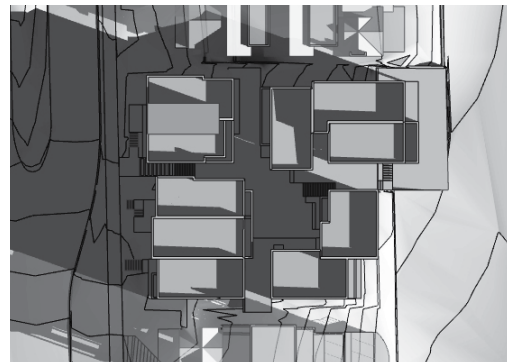
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ALTERNATIVE 1



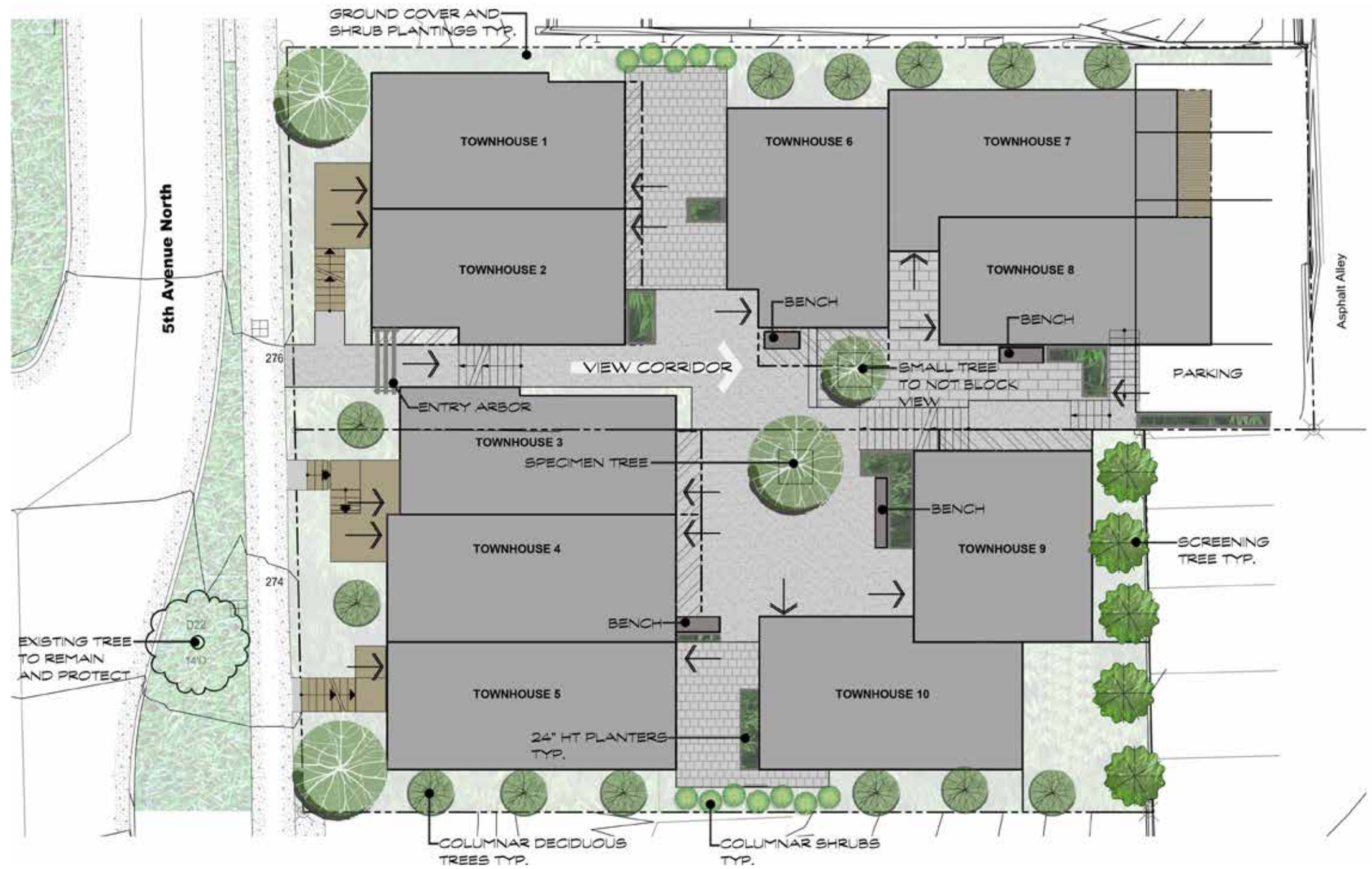
ALTERNATIVE 2



ALTERNATIVE 3

SHADOW STUDY : ALTERNATIVES 1, 2, 3 ON MARCH/SEPTEMBER 21

# LANDSCAPE DESIGN





variegated sweet flag



'ajuga' chocolate chip



orange sedge



japanese painted fern



dwarf fetterbush



deer fern



upright european horbean



amanogawa flowering cherry



helmond pillar barberry



sky sentry ilex

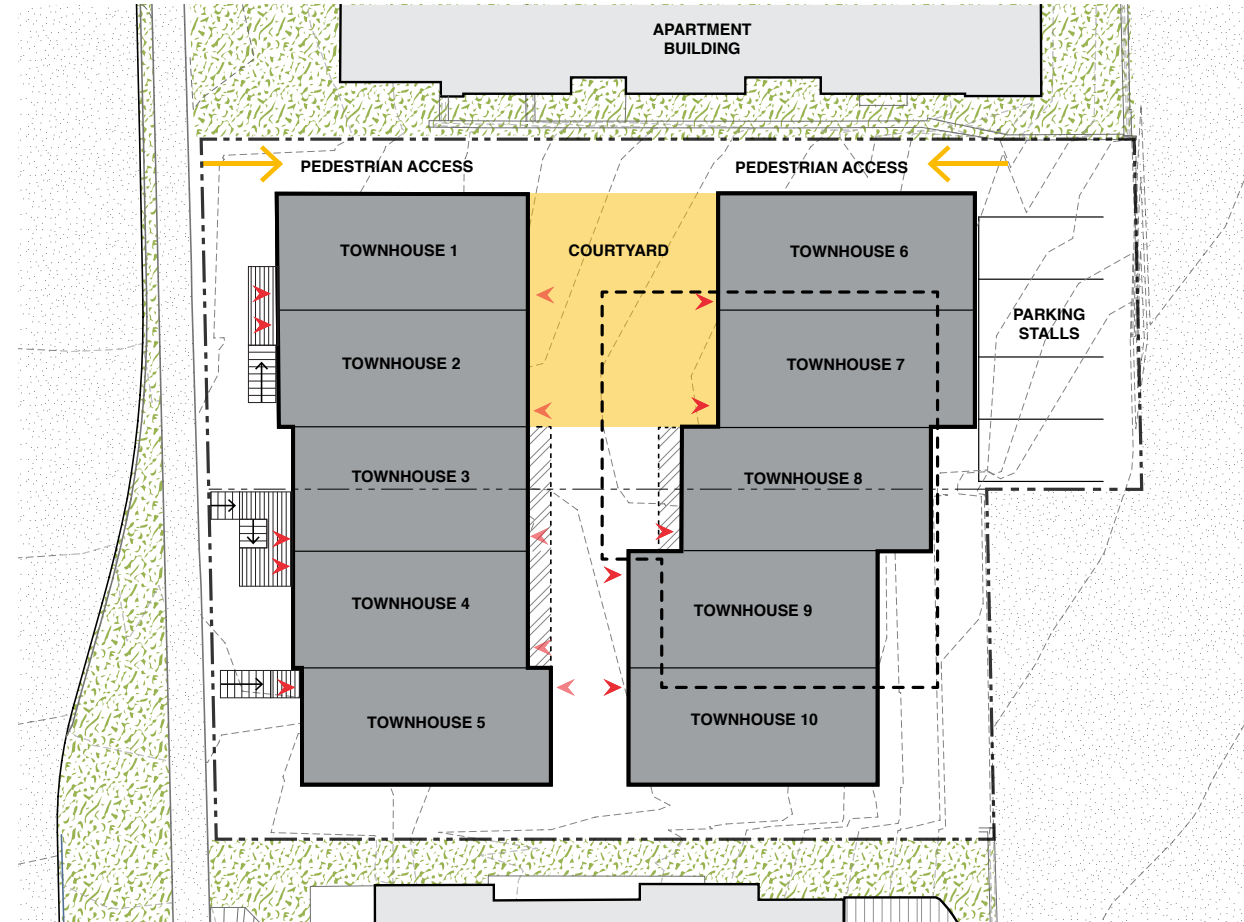


fernspray false cypress

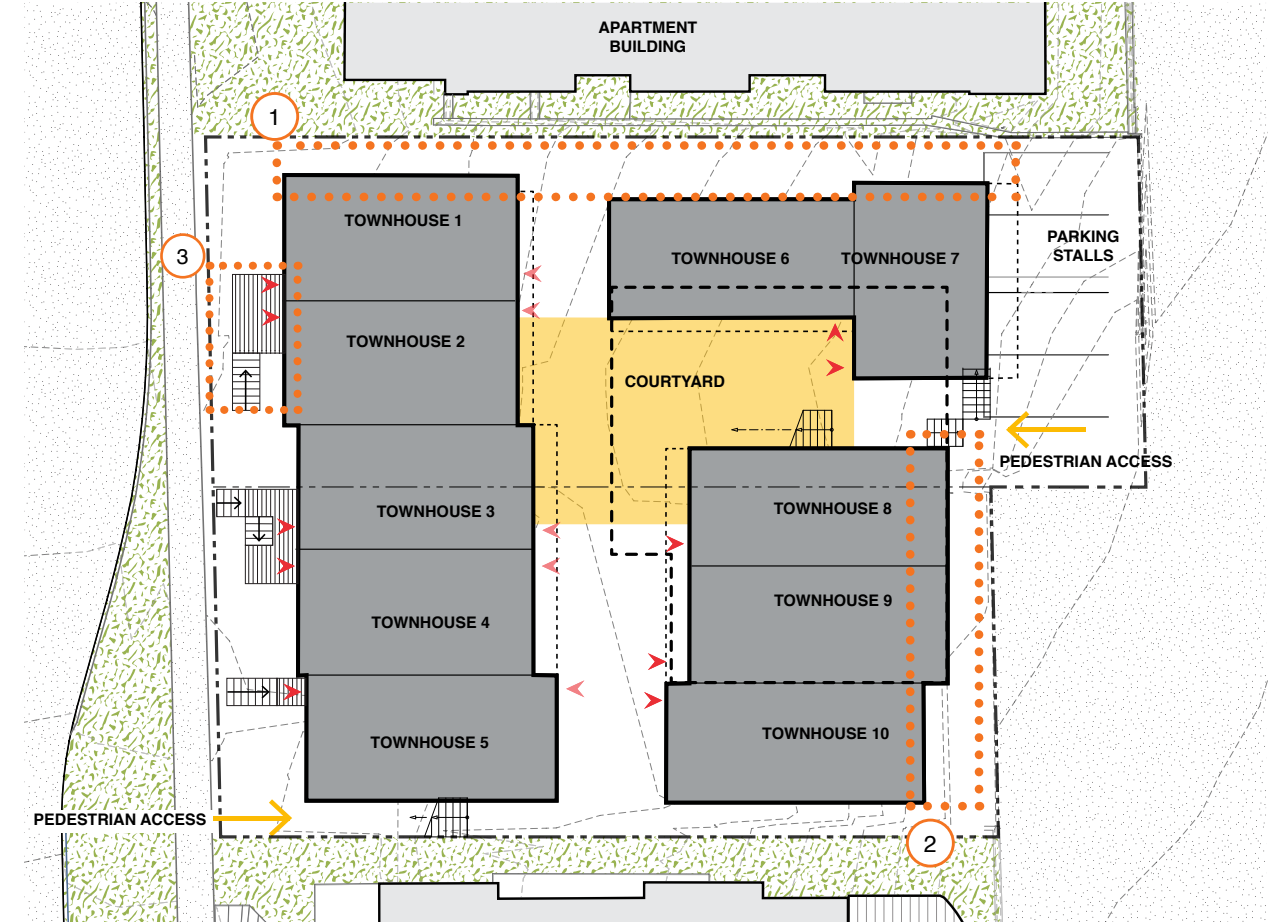


black stemmed bamboo

ALTERNATIVE 1 (CODE COMPLIANT SCHEME)



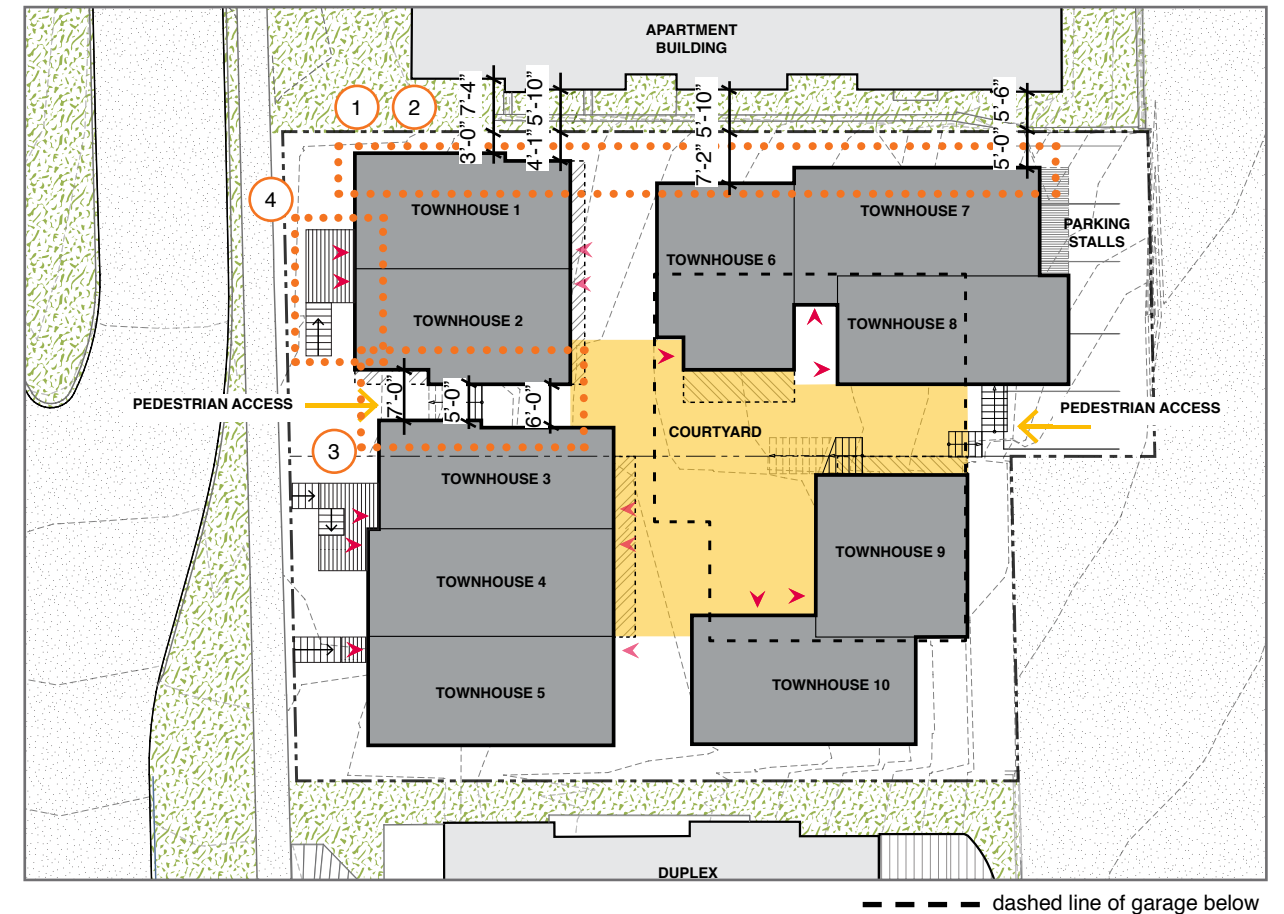
ALTERNATIVE 2



**ALTERNATIVE 3 (PREFERRED SCHEME) DEPARTURE SUMMARY**

ITEM	CODE SECTION & REQUIREMENT NAME	REQUIRED	PROVIDED	AMOUNT OF DEPARTURE	SUPPORTED DESIGN GUIDANCE
1	<b>FAÇADE LENGTH N</b> SMC 23.45.527.B	65% OF LOT DEPTH	70.7%  ACTUAL DEPTH -84'-10" ALONG PROPERTY DEPTH OF 119'-9" RESULTING FROM LOT BOUNDARY ADJUSTMENT	8.8% INCREASE	AN INCREASE IN FAÇADE LENGTH RESULTS FROM ROTATING AND REPOSITIONING HOMES. THE NORTH WALL IS MORE MODULATED AND A LARGER MORE ACCESSIBLE COURTYARD IS CREATED AT THE SITE'S CENTER.  CS.1.B. SUNLIGHT & VENTILATION, CS2.D.4.1,2,4 HEIGHT BULK & SCALE, PL.1.B. WALKWAYS AND CONNECTIONS, DC.2.A. MASSING
2	<b>SIDE SETBACK NORTH</b> SMC 23.45.518.A	5 FEET MINIMUM; 7 FEET AVERAGE	3'-0" MINIMUM FOR A LENGTH OF 21'-0", AVG 3'-4" AT NW STRUCTURE AVG 7'-1 1/8" AT NE STRUCTURE	SETBACK: 2'-0" REDUCTION TO MIN., 1'-8" REDUCTION AT NORTHWEST DUPLEX STRUCTURE.	THE SHARED ACCESS FROM 5TH AVENUE N IS PROVIDED AT THE CENTER OF THE SITE THROUGH A SEPARATION BETWEEN THE PROPOSED STRUCTURES. IN ORDER TO LOCATE ACCESS TO THE CENTRAL COURTYARD, ENTRY FOR REAR HOMES AND PARKING THERE, THE NORTH SIDE SETBACK IS REDUCED. THIS PROVIDES MORE PRIVACY TO ADJACENT SITES BY LIMITING THROUGH ACCESS AT SIDE SETBACKS AND CONNECTS DIRECTLY WITH THE PARK ACROSS THE STREET.  CS2.D.4.1,2,4 HEIGHT BULK & SCALE, DC.2.A. MASSING, DC.2.B ARCHITECTURAL AND FAÇADE COMPOSITION
3	<b>SEPARATION</b> SMC 23.45.518.F	10 FEET MINIMUM	AVERAGE 6', MIN 5' & MAX 7', FOR A LENGTH OF 26'-6"	SEPARATION: 4'-0" REDUCTION AVERAGE, 5' MIN & 3' MAX	THE SHARED ACCESS FROM 5TH AVENUE N IS PROVIDED AT THE CENTER OF THE SITE THROUGH A SEPARATION BETWEEN THE PROPOSED STRUCTURES. IN ORDER TO LOCATE ACCESS TO THE CENTRAL COURTYARD, ENTRY FOR REAR HOMES AND PARKING THERE, THE SEPARATION IS REDUCED. THIS SITE STRATEGY PROVIDES MORE PRIVACY TO ADJACENT SITES BY LIMITING THROUGH ACCESS AT SIDE SETBACKS AND CONNECTS DIRECTLY WITH THE PARK ACROSS THE STREET. BY SEPARATING THE SINGLE 5 HOME STRUCTURE IN ALTERNATIVES 1 AND 2, ALTERNATIVE 3 CONTRIBUTES TOTHE EXISTING NEIGHBORHOOD RHYTHMS AND CHARACTER.  CS2.D.4.1,2,4 HEIGHT BULK & SCALE, CS3.A EMPHASIZING POSITIVE NEIGHBORHOOD ATTRIBUTES, PL.1.B. WALKWAYS AND CONNECTIONS, PL.3.A ENTRIES, DC.3.A BUILDING OPEN SPACE RELATIONSHIPS
4	<b>FRONT SETBACK</b> SMC 23.45.518.H5	4 FEET MINIMUM FOR MAX. 4'-0" HIGH PORCH	3'-0" FOR MAX. 4'-0" HIGH PORCH	SETBACK: 1'-0" REDUCTION AT NORTH WEST ENTRIES	A REDUCTION IN FRONT SETBACK FOR THE ENTRY STAIR AND PORCH RESULTS IN A MORE OCCUPIABLE ENTRY PORCH. A LARGER ENTRY PORCH WILL PROMOTE HUMAN INTERACTION AND EYES ON THE STREET  PL1.A. 1 AND 2 NETWORK OF OPEN SPACES, PL2.B SAFETY AND SECURITY

**ALTERNATIVE 3 (PREFERRED SCHEME)**



--- dashed line of garage below



ALTERNATIVE 1 (CODE COMPLIANT SCHEME)



ALTERNATIVE 2





ALTERNATIVE 3 (PREFERRED SCHEME)





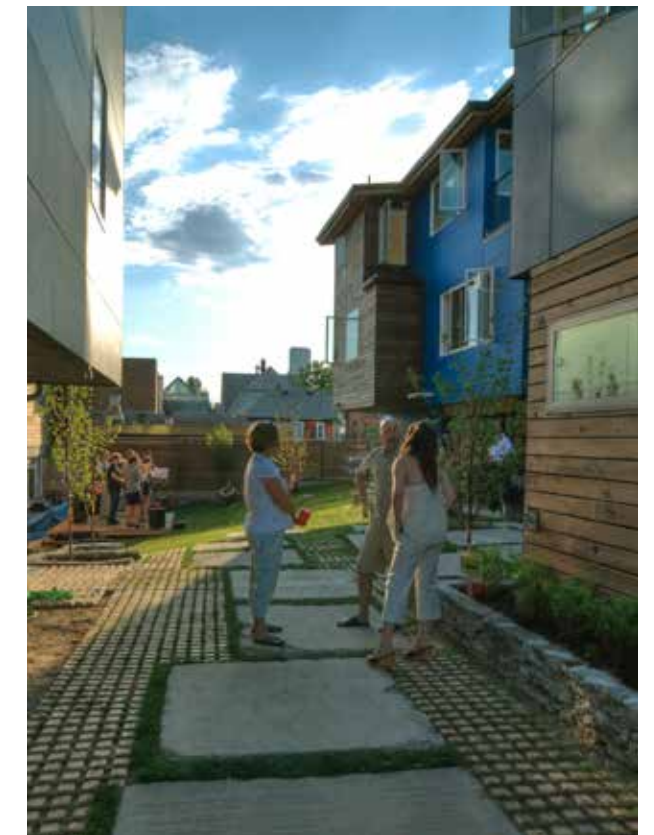
① 208 18th Ave. E. exterior view from street



② 1504 19th Avenue Duplex behind SF House



③ 1411 E. Fir St. exterior view from street



④ 1411 E. Fir St. interior boardwalk view



⑤ 1911 E Pine St. view at interior of canyon



⑥ 1818 E Yesler Way. view of a woonerf



⑦ 1911 E. Pine St. courtyard view from a deck



⑧ 1911 E. Pine St. view from street