

Lavender Suites

4519 18th Ave NE
DPD Project #3016870



EARLY DESIGN GUIDANCE MEETING

13 October 2014

PROJECT ADDRESS:
4519 & 4523 18th Ave NE

PROJECT TEAM:
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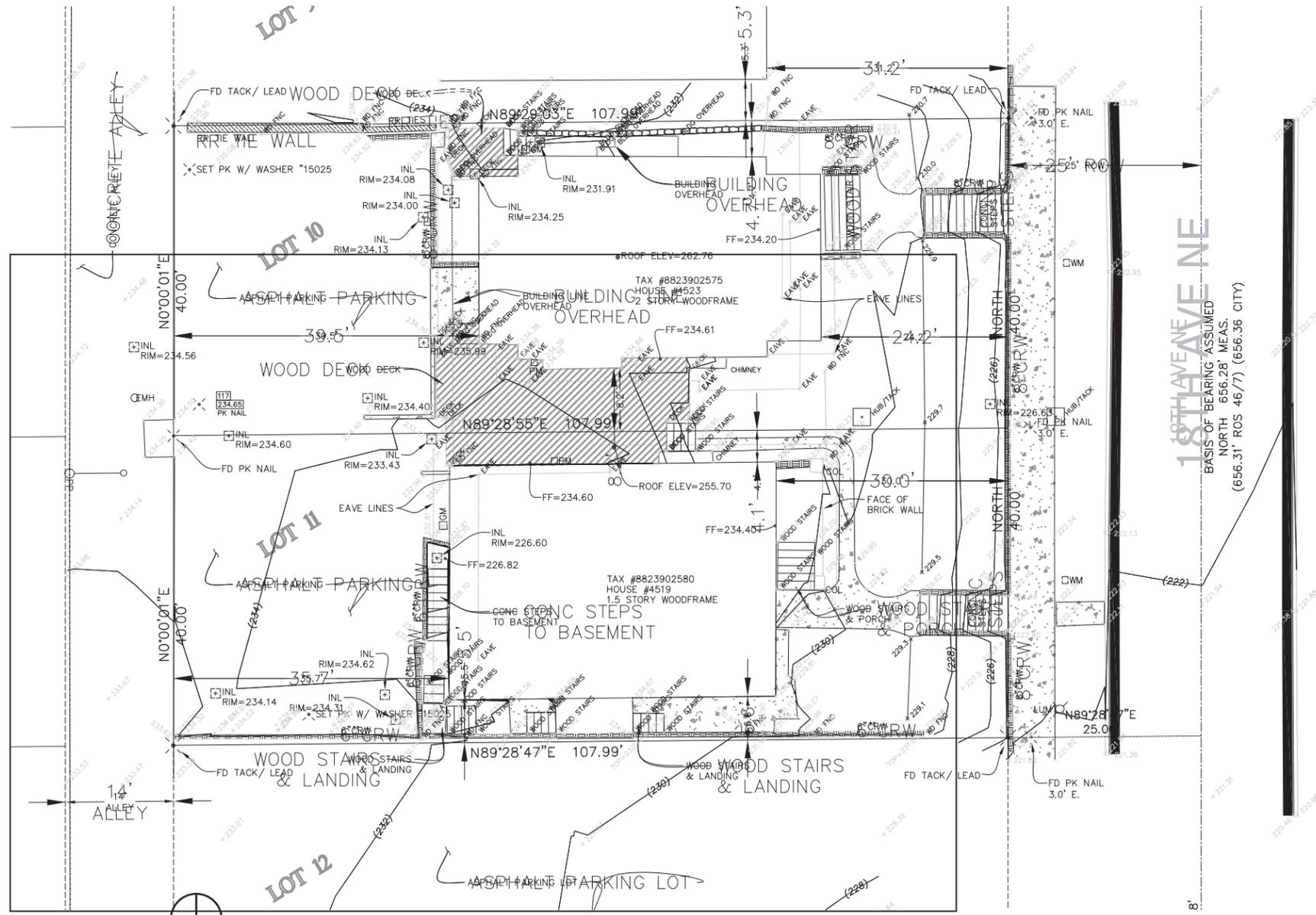
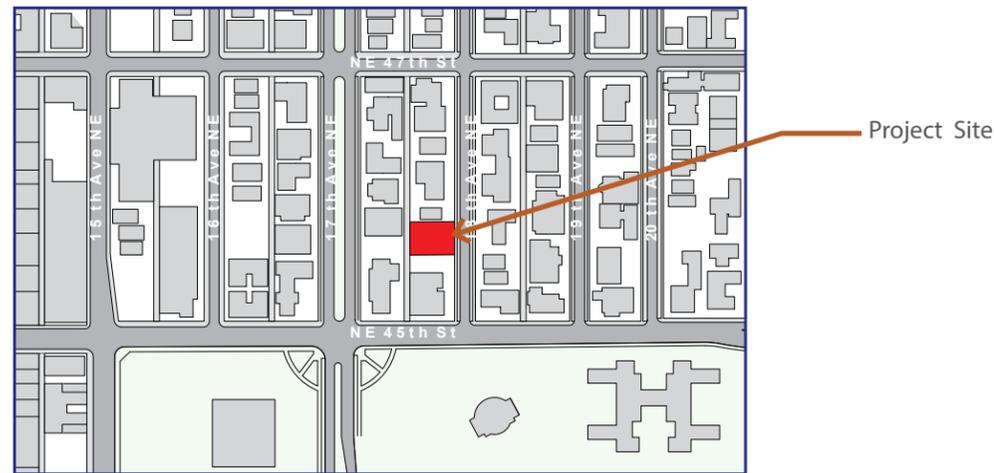
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VICINITY MAP

Project Site



Site Survey

Location

The proposed site is located within the University District Northwest Urban Center Village, which is largely comprised of single-family homes, townhouses and mid-size to large apartment/condominium buildings. This project is located along 18th Ave NE, just North of the major arterial NE 45th Street. This project site is within walking distance of the major shopping and entertainment centers; University Ave to the West, University Village to the East and the University of Washington campus to the South.

Zoning

Address: 4519 & 4523 18th Ave NE
 Site Area: 8,638 sf (80.00' x 107.99')
 Zone: LR3
 Height Limit: 40'
 Urban Village: University District Northwest Urban Center Village
 Parking Rqd.: No

The project will meet LEED Silver, or, Built Green 4-Star standards per SMC 23.45.526.

Program

- Efficient market rate apartment units
- Two to four bedroom units with private bathrooms for each bedroom and a shared kitchen/dining/living area
- provide 14-15 parking stalls in an underground garage

Existing Uses & Structures

The project site is comprised of two parcels under single ownership. Each parcel is occupied by one wood-framed single family residence, each accessed by surface parking along the improved alley between 17th and 18th Ave NE. The combined lot measures approximately 80 feet wide by 108 feet deep.

All existing structures and paved surfaces located on the project site are proposed to be demolished with the new project occupying the entirety of the site.

Physical Features

The site is drops approximately 13' from the high NW corner to the low SE corner. The bank along 18th Ave. NE accounts for about 6' of the elevation change

Adjacencies

University Ave, University Village, buses to Downtown Seattle, University of Washington, University of Washington IMA, and Greenlake to the Northwest.

Neighborhood Context

Neighboring buildings are residential in character, varying in style from stucco and brick Tudor to 60's apartment buildings. Many are large mansion-like fraternity and sorority buildings that have been added to, over the years. Setbacks vary, some are separated from the street by lawns, most tend to be above the street level with stairs and rockeries. All have a strong pedestrian connection and orientation to the street. Larger buildings are broken up into approximately 50' lot width massing. Brick is used for entire building facades, at the lowest floor level, and as fencing. The street frontage is not monolithic, but layered, with variations in landscaping, pedestrian access, modulation and façade width.

Several nearby fraternities are of historical interest, although, none are registered.



1 Hotel Deca



2 UWTO



3 The Neptune Theatre



4 Washington Square Apts



5 University Book Store



6 University Village



7 The 'W' of Memorial Way

9 Phi Gamma Delta Fraternity, 4503 17th Ave NE (Mellor & Meigs with J. Lister Holmes, 1929)

10 Sigma Alpha Epsilon Fraternity, 4506 17th Ave NE (Stuart & Wheatley, 1925)

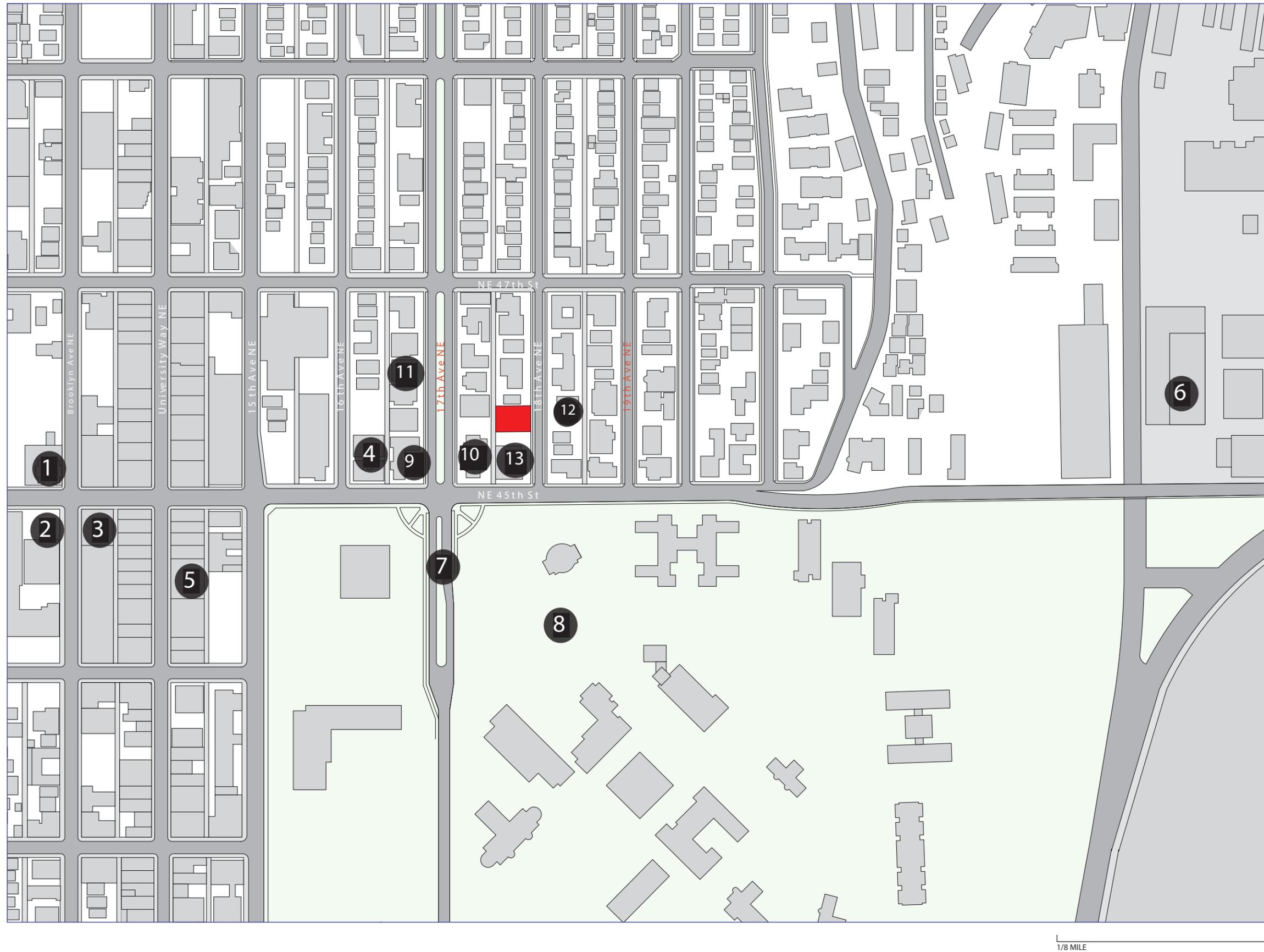
11 Theta Chi Fraternity, 4535 17th Ave NE (Walter Lund, 1931)

12 Theta Xi Fraternity, 4522 18th Ave NE (Schack, Young & Myers, 1926)

13 Sigma Chi Fraternity, 4505 18th Ave NE (J. Lister Holmes, 1928)



8 University of Washington

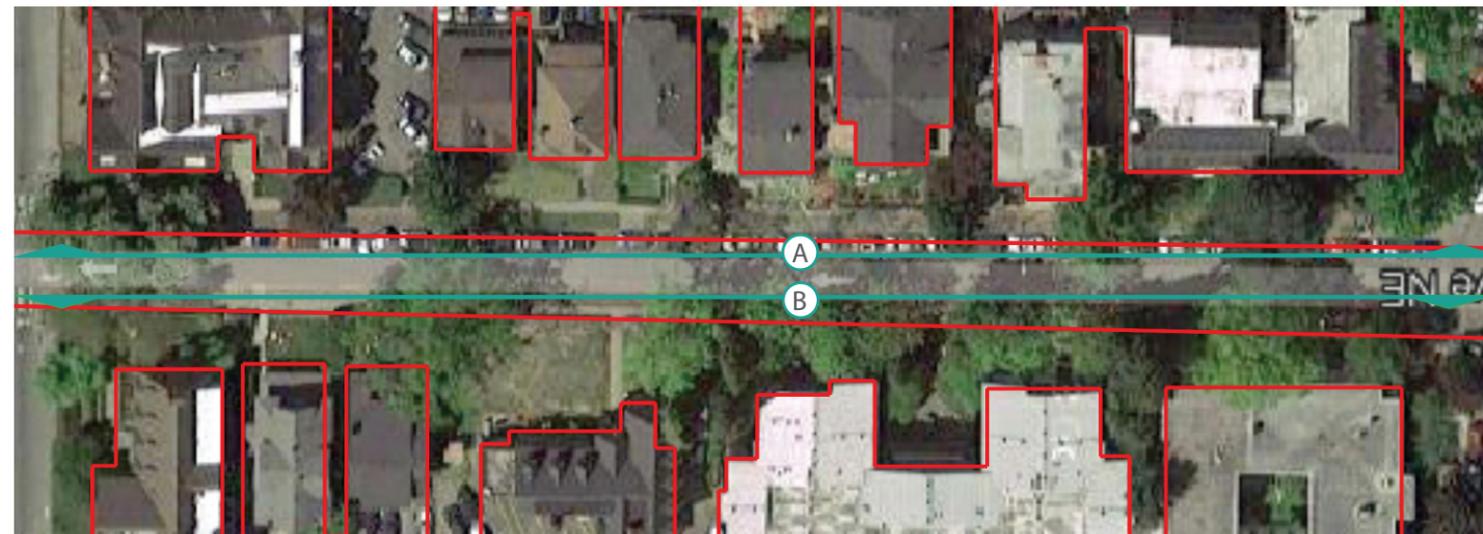




A Looking West on 18th Ave NE



B Looking East on 18th Ave NE



across from site

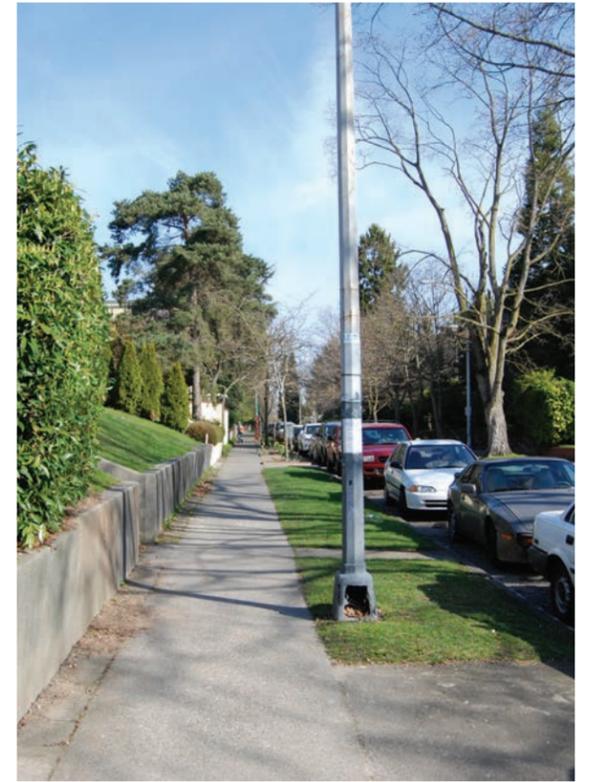




A



B



C



D



E





A Looking West on 18th Ave NE



Transit and Bike Routes

- Transit Route
- Designated On-Street Bicycle Lane



Solar Exposure



SDOT Street Classifications

- Major Arterial (One Way)
- Major Arterial

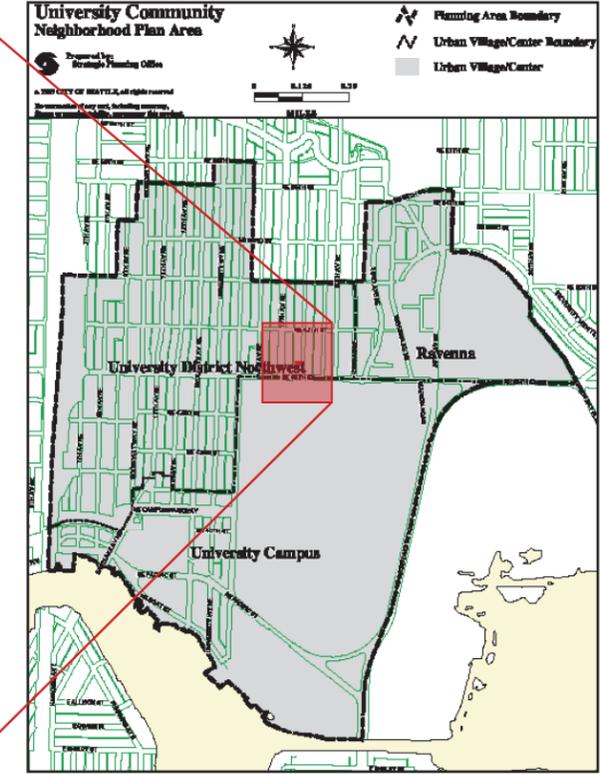


Surrounding Building Types



Zoning Map

- Residential
- Fraternal
- Commercial
- Project Site



University District Plan

This project is in the heart of the University District Northwest area of the Neighborhood Plan. It's designed to be supportive and responsive to the Neighborhood Plan goals for this site.

- Provide housing to serve a broad spectrum of life styles and affordable levels
- Provide more intensive, pedestrian-oriented, mixed use complexes
- Upgrade sidewalks and street tree
- Consolidate under-utilized sites for new residential development
- Ensure attractive, high quality housing that is compatible with neighborhood conditions

Project Response

The project is a unique opportunity to build in a neighborhood with very few other potential building sites. The fraternities and sororities occupy older buildings, a lot dating back to the 1930's.

Set backs and modulation vary considerably. Larger buildings are broken up, reducing the appearance of mass, entries are off steps and courtyards.

Brick is the most obvious facade material used in the older structures and at the base of some of the newer buildings.

All of the buildings have strong pedestrian connections to 18th Ave. NE. The site is located within walking distance of the University of Washington, as well as numerous commercial districts, parks and trails. The University District is a pedestrian friendly neighborhood.

We propose to break up our building facing 18th Ave. NE into two masses with a porous connection between. There would be an at-grade, small, courtyard entry. Brick would be used as a wall along the sidewalk and as a facade material. Wood siding would also tie into the existing neighborhood building. Our open space should take advantage of the two parking lots to the S and SW of our site to get solar exposure and a favorable orientation for the common open space.

Development Objectives

- Provide an attractive building that fits into the neighborhood and relates to the new buildings that are currently being constructed within the immediate vicinity and in the future.
- Provide small, efficient, 2-bedroom units to match the local demographic which is oriented towards students and young professionals.
- Provide affordable housing through economies of scale, efficient design and construction, and the provision of minimal common amenity
- Providing some parking, but make walking and bicycling attractive alternatives

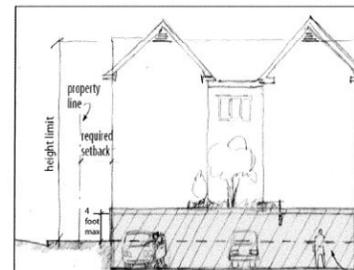


ZONING (LR3)
Seattle Zoning Map
Chapter 23.41 Early Project Implementation

- 004 Applicability**
 1. LR3 - 8 dwelling units or greater subject to Design Review
012. Development Standard Departures:
 B. Departures may be granted from any Land Use Code standard or requirement, except for the following: see extensive list.

Section 23.45. Residential Multifamily (Per LR3)
504 Permitted and Prohibited Uses *Residential permitted*
508 General

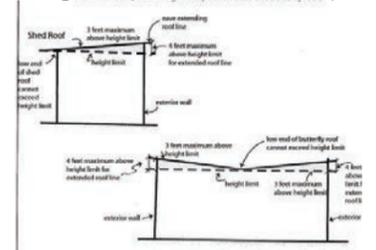
- B. Parking per 23.54.015
 G. Subject to Transportation Concurrency Requirements (23.52)
510 Floor Area Ratios:
 B. Permitted LR3 FAR: 1.5 or 2.0; 2.0 FAR Permitted per 23.45.510.C (see below)
 C. "green building performance standard" – LEED Silver or Built Green 4-Star
Project will be designed as 4-Star Built Green
 3. Parking totally enclosed within structure
 4.a. Access to BF parking may be from alley
 4.b. parking access from alley unless 23.45.536.C.2 conditions met
 4.d. parking from alley and street reverts FAR to 1.5 limit
 E. Exempt from FAR limits:
 1. All underground stories
 4. Portions of a story that extend no more than 4' above existing or finished grade, whichever is lower, excluding access. See Exhibit 23.45.510.



5. Exemption for partially below grade with no stories above

512 Density Limits:
 A. 1/800, or no limit if qualified for FAR 2.0 per 23.45.510.C.
No limit w/4 star Built Green.

- 514 Structure Height:**
 A. **40' max.**
 D.4. Additional 5' to ridge of pitched roof unless exception per F. applied
 E. 3' extra for shed and butterfly roofs if exception F. not used; roof line may extend in order to accommodate eaves and gutters (max. 4' above ht. limit)

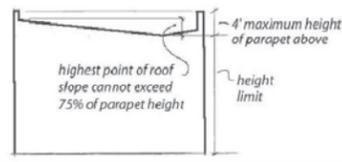


- F. Additional 4' for projects with partially below grade story with 4-stories max above lower floor with other conditions

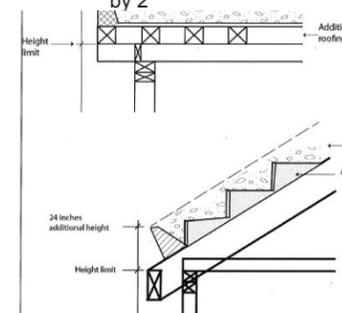
H. Roofs enclosed by parapets

Exhibit B for 23.45.514

Height Allowance for Sloped Roofs Concealed by a Parapet



I. Structures w/green roofs (50%) min. may exceed ht by 2'



- J. Rooftop features: parapets/railings/clerestories/skylights – 4' above ht.; stair penthouses -10'; elevator penthouses – 16'

518 Setbacks:

- A. - Front:- 5' min
 Rear:- 10' min. with alley
 Side:- 5' < 40' façade length; 7' avg. and 5' min. > 40' façade length

F. Separation between multiple structures – 10' minimum

- H. Projections permitted in all required setbacks
 1. Roof eaves, etc. – max. 4' with min. 3' to property line
 3. Bay windows 10' in width, 2' depth, min. 5' to property line
 5. Unenclosed porches extend to within 4' of property line
 I. Unenclosed decks and balconies may extend max. 4', max. 20' width, min. 5' to property line; separation 1/2 width of projection required

- J. Structures in required setbacks
 2. barrier free ramps may be in required setbacks
 6. signs 6' or <
 7. Fences - max 6' high; 4' in front setback; 2' additional for arbors/trellises
 8 Retaining wall – max 6' high
 9. Arbor – max. 40 sf footprint; 30' sf abutting street

522 Amenity Area:

- A. Apartments
 1. 25% of lot area required as amenity area
 2 50% of amenity area to be provided at grade unless roof amenity meeting stds, of 23.45.510.E.513 (partially below grade)
 4. Apartments - amenity area at ground floor to be common area
 D. All units shall have access to common or private amenity area
 4.a No min. dimension for pvt. amenity area; 10' away from side property line
 5. Common amenity area
 a. Common amenity area – 250 sf and 10' min. dimension
 b. 50% of ground amenity area landscaped

524 Landscaping Standards

- A.2 Green Area Factor of 0.6 or greater; vegetated walls

- up to 25%
 B.1. Street trees required

526 LEED, Built Green and Evergreen Sustainable Development Standards

- A. Required of developments gaining extra residential floor area – LEED Silver or Built Green 4-Star

527 Structure Width and Façade Length Limits

- A. 150'; max. width
 B. 65% lot depth max. length within 15' of lot line

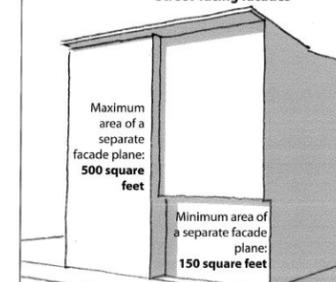
529 Design Standards

- C.1. Façade Openings



C.1. Façade Articulation

Street-facing facades



534 Light and Glare Standards

- A. Directed away from adjacent properties

536 Parking Location and Access

- A. Off-street parking per Chapter 23.54
 C. Alley access required except as permitted per 23.45.536 C. and D.

Section 23.53. Requirements for Streets

- 015. Street Improvement requirements and exceptions**
D.b.1) 1'-0" setback plus 3'-0" setback required on 18th.

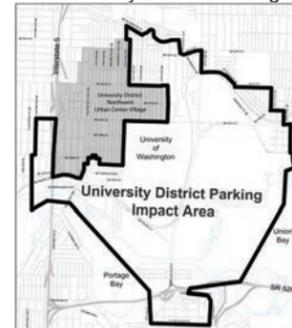
030. 10' alley width for improved alley.

035. Structural Building Overhang

Section 23.54. Quantity and Design Stds. For Access, Off-street Parking, and Solid Waste Storage

015. Required Parking

- A. Table B. No parking required for multifamily uses in Urban Village and Station Area Overlay District; not in University District Parking Impact Area



- K. Bicycle parking per Table E.
 1 per 4 units

040. Solid Waste and Recyclable Materials storage and Access

- A. Table A. 16-25 Units – 225 sf

Section 23.84. Definitions

008 Floor Area Ratio

"Floor area ratio" means a ratio expressing the relationship between the amount of gross floor area or chargeable floor area permitted in one or more structures and the area of the lot on which the structure is, or structures are, located, as depicted in Exhibit A 23.84A.012

014 Gross Floor Area

"Gross floor area" means the number of square feet of total floor area bounded by the inside surface of the exterior wall of the structure as measured at the floor line.

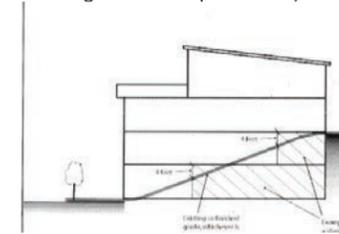
Section 23.86. Measurements

006. Structure Height Measurement

- A. Ht. above average grade level calculated – a. midpoint of each exterior wall, or b. midpoint of smallest square

007. Gross Floor Area and Floor Area Ratio

- B. Below grade exemptions for multifamily 23.45.510.E (meets higher FAR requirements)



015. Maximum Façade length Measurement

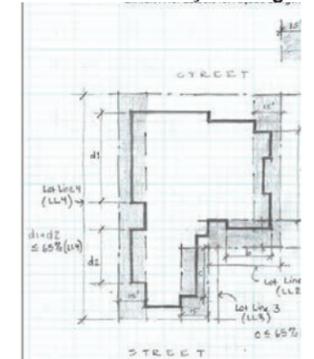
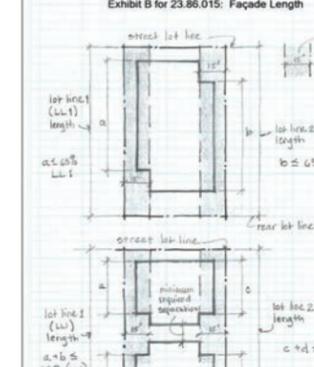
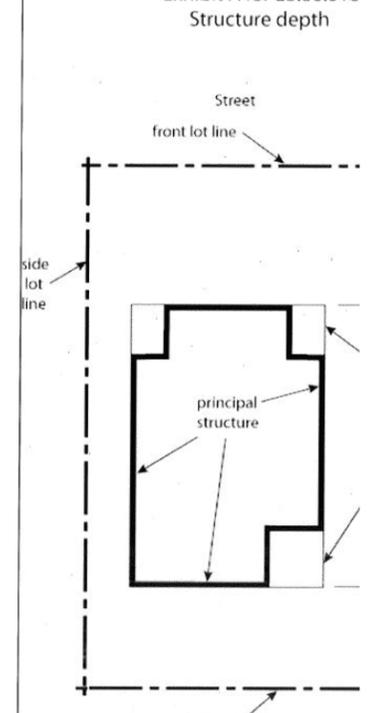


Exhibit B for 23.86.015: Façade Length



016. Structure and Lot Depth Measurement

Exhibit A for 23.86.016



030. Common Recreation Are

Director's Rules

DR 9-2012 Environmental Review (SEPA) Threshold

Not required when construction of more than 20 units, or less, 30 units in a LR3 Zone

Design Review Guidelines for Multifamily and Commercial Buildings

Effective October 1993, updated November 1998; also includes the January 2007 revised Section D: Pedestrian Environment.

University Community Design Guidelines

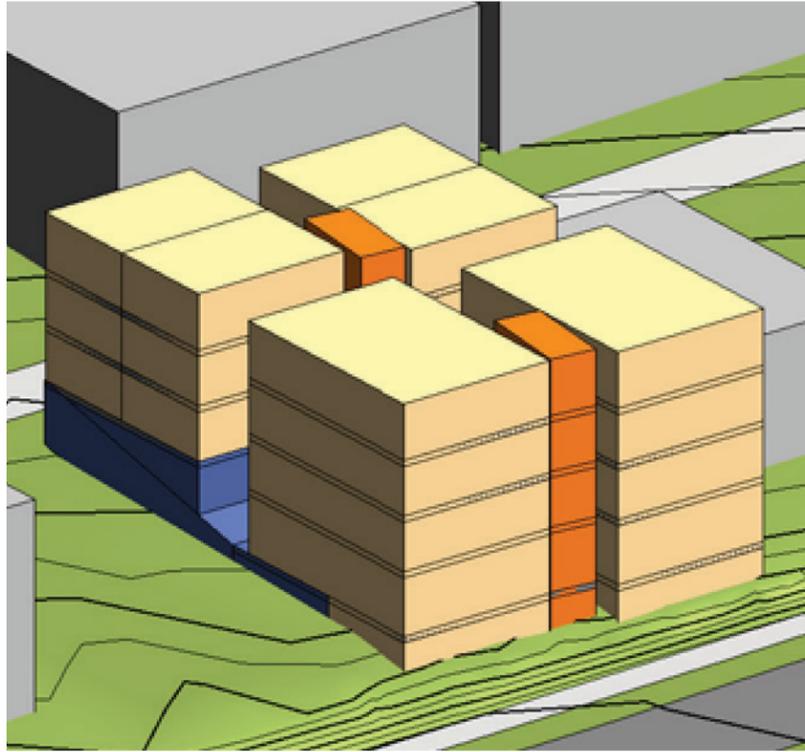
Effective October 15, 2000.

- CS1 Natural Systems and Site Features**
The site because of its longer East-West dimension offers an opportunity to maximize day lighting to the units and solar orientation to the open spaces. The open stair and corridor allow all units to get shaded South light. Site topography enables ground floor units and the residential entry court to be accessible from 11th Ave NE. The topography also enables all of the parking to be underground. Because the project needs to meet City sustainable standards, we'll look at green roofs and other ways to creatively deal with site drainage.
- CS2 Urban Pattern and Form**
The site is in the heart of the University of Washington fraternity and sorority neighborhood with easy access to the U of W, the University District, public transportation, bike and auto routes. Many of the surrounding building are large mansion-like structures dating from the 1930's. Street trees are mature, creating a green canopy. Private landscaping is generally mature, intensive, and well maintained. Building entrances are visible and well connected to the sidewalk. Masonry walls, fences, and rockeries line the side walk edges. Elevation changes from the sidewalk are typical at the buildings closer to 45th St., such as our site. At different times of the day, there is a lot of student pedestrian traffic. Height, bulk, and scale vary considerably. Most buildings are probably under the development allowed by the current Zoning. Setbacks, modulation, and articulation vary considerably. Our project will address these issues. To the North of our site, there is a 2-story single-family-like structure occupied by the Sorority immediately to its North. We will consider this in our layout and landscaping.
- CS3 Architectural Context and Character**
The larger, mostly brick, fraternal buildings and the street and private landscaping give this neighborhood its character. Dimensionally, our project will be less wide facing the street, but taller than those buildings. Stepping back at the upper floor and breaking up the width can mitigate this. Porosity between our building masses and differentiation in bulk, articulation, and materials facade will enhance this. Our intent is to fit a contemporary building into the neighborhood: one that doesn't replicate the context, but fits into and enhances it.
- PL1 Connectivity**
An open residential courtyard entry will tie the building to the sidewalk. It will allow building residents to pause, just off the sidewalk, before transitioning into the private entry. The sidewalk will be widened at this entry node. Lighting, seating, planting, and artistic fencing and gate would provide interest and activate this area.
- PL2 Walkability**
By cutting into the site slope, we're able to provide ground level accessible access to the project without a ramp. The open stairs and corridor, as well as, the oversight from the units will enhance on-site and entry safety. Entry, pathway, and security lighting will be provided. The residential entry will be covered. Vertical circulation above the residential entry will aid in way finding.

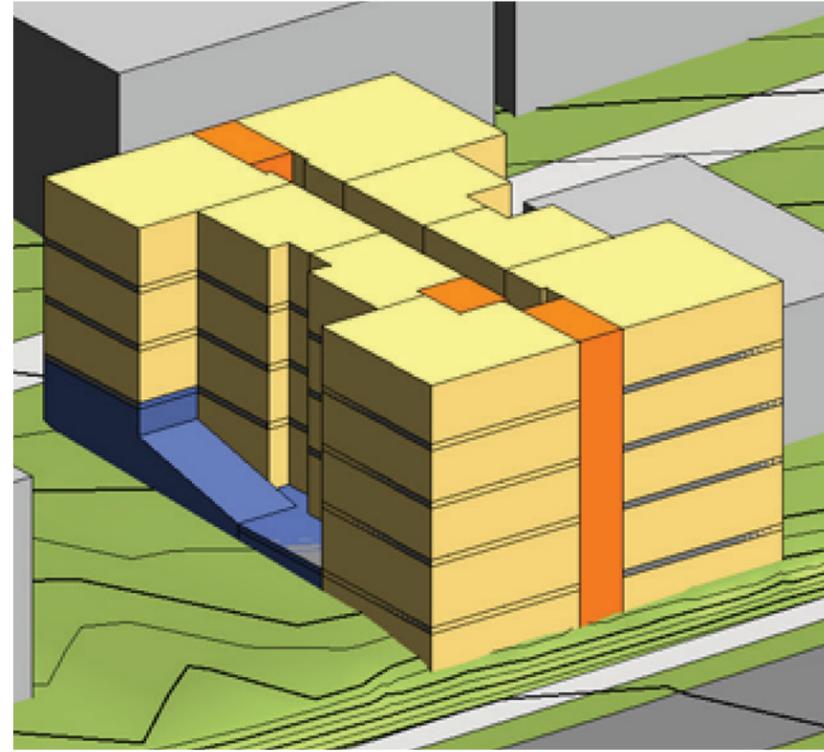
- PL3 Street-Level Interaction**
The primary residential entrance on 18th Ave. NE will be the projects only connection to the sidewalk. A slightly widened area adjacent to the sidewalk, entry gate and fencing, and the open stairs will connect the build visually and physically to the sidewalk. Design at this area will integrate with the building and, also be unique and coordinated. Landscaping, fencing, the gate, and the topography to either side of the entry create a buffer between the sidewalk and the building. T
- PL4 Active Transportation**
Pedestrian and bicycle access is provided at the alley and at 18th Ave. NE. Bike racks and storage will be convenient to the access points.
- DC1 Project Uses and Activities**
Residential units are designed with orientation to the street, alley and open spaces. The ground level open space faces South, while the L5 terrace is open to Views and the East, South, and West. The building's circulation system runs from the street to the alley and is open, and visible.. Parking is fully underground and accessed off the alley. Garbage and Recycling is also accessed off the alley.
- DC2 Architectural Concept**
The project is broken down into North and South halves with a porous open corridor and stairways in between. The South half at the front breaks away from the North, to create a large separation and to inflect the building mass away from the street. This portion of the building replaces the Southeast corner of the upper story with an open roof terrace. At the same level, the building facade at the North steps back. This design, along with articulation, and other façade elements will significantly reduce the building's perceived mass and height. The design of all facades will be carefully considered. The South Elevation adjacent to the Parking lot is very visible. We'll have no blank walls. Secondary architectural features, scale and texture, and form and function will inform the design parti.
- DC3 Open Space Concept**
The open space has been designed in conjunction with the project form. The ground floor space is directly accessible off the L2 corridor and the L5 roof terrace is accessed from that corridor. These relationships will encourage their use and social interaction. Both of these main open space areas will be screened from residential units to reduce their impact on the livability of those units. The spaces will be designed to support suitable activities.
- DC4 Materials**
Exterior finish materials will be chosen for their fit into the contemporary design of the project and with the surrounding neighborhood. Color, texture, and pattern will be consistent with the intended design. Materials will be of durable and of high quality. A building sign will be incorporated in the ground floor design.

- CS1 Natural Systems and site Features**
The upper floor at the SE corner of the building will have a roof deck instead of the upper story at that location. The upper floor at the NE corner will also be stepped back
- CS2 Urban Pattern and form**
The building will be designed to fit into the neighborhood's parti of pedestrian access, variegated setbacks and landscaping, facade massing and modulation.
- CS3 Architectural context and character**
Brick will be used in keeping with it's common use in the neighborhood and in contrast to other materials on the facade. The building massing, modulation and relationship to the pedestrian will be in keeping with the streetscape
- PL1 Connectivity**
The 11th Ave. Entry will be designed as a node with special paving and an inflection of the sidewalk space. Larger public spaces are not typical in the streetscape.
- PL2 Walkability**
Secure, visible, pedestrian entries will be provide at the street and the alley and will add to the activity on the public right of ways.
- PL3 Street Level Interaction**
The main entrance will be visible, and, open to the street to encourage activity and security.
- DC1 Project Uses and Activities**
Parking and garbage/recycling are accessed off the alley. The parking is all located within the building.
- DC2 Architectural Concept**
The design will be modern, but, will draw selectively from the context of older fraternal-use buildings. Modulation, articulation, fenestration, and detail will create a layered, "fine-grained" architectural character.
- DC3 Open Space Concept**
Landscaping at the street and entrance will continue the existing pattern along the street.
- DC4 Exterior Elements and Finishes**
Facade finishes may include brick, precast concrete, wood, metal/fiber cement panels, vinyl/fiberglass windows, and metal decklets/stairs/railings/gates/fencing.

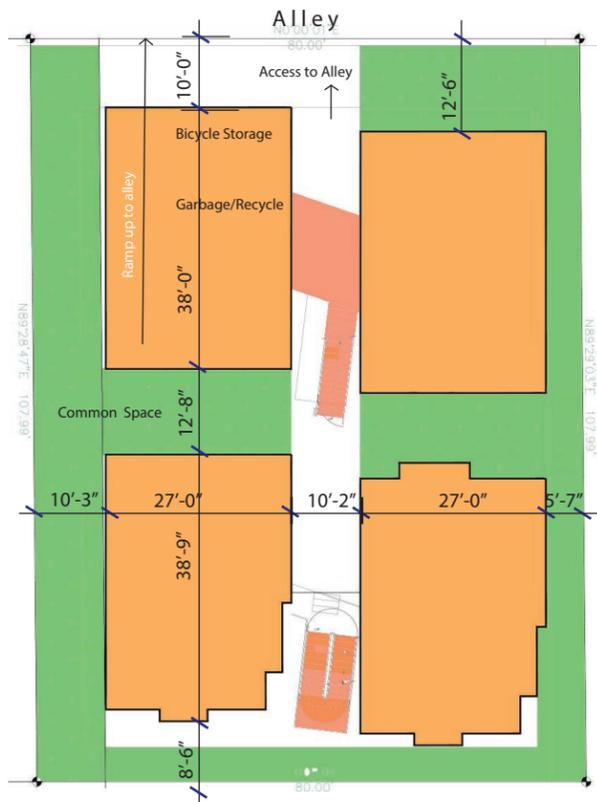
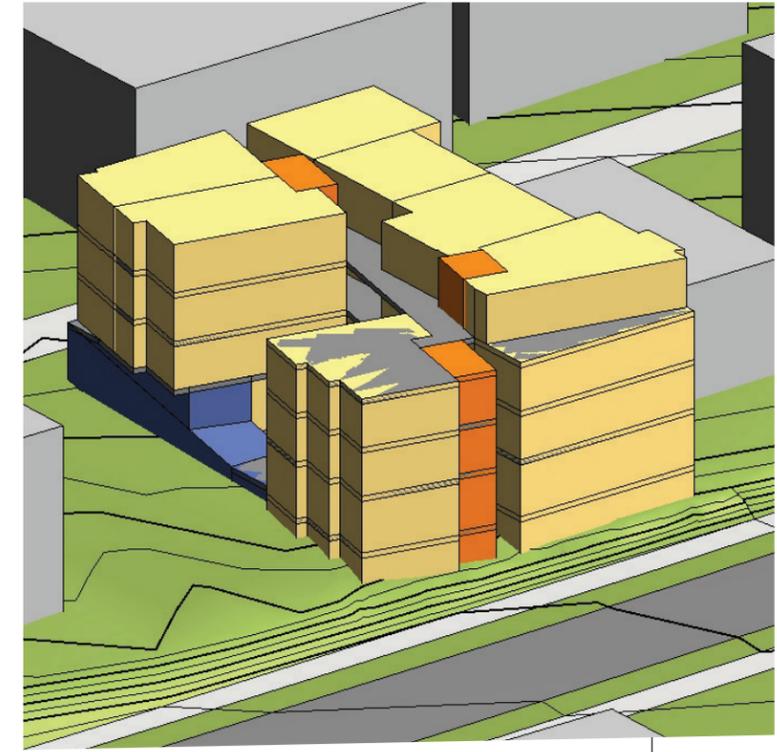
Alternative 1 ("Pods")



Alternative 2 ("I")

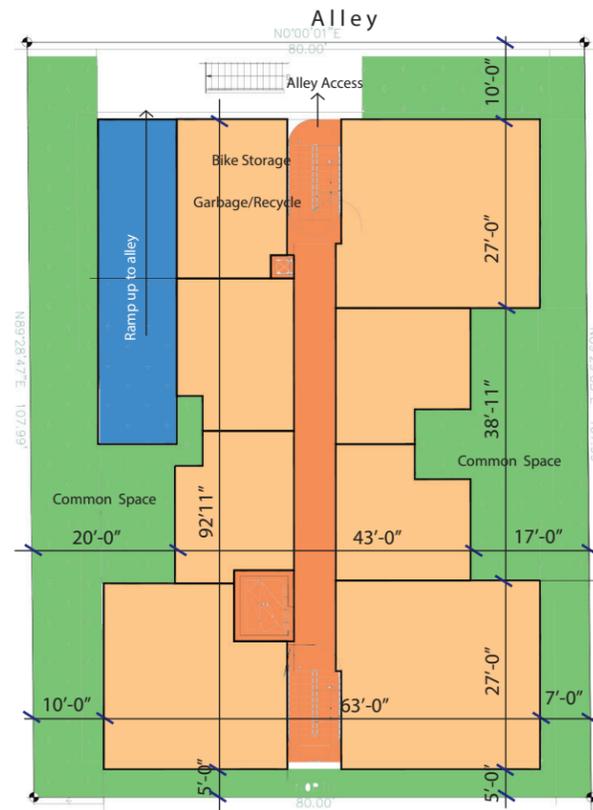


Alternative 3 (Preferred) ("Breakaway")



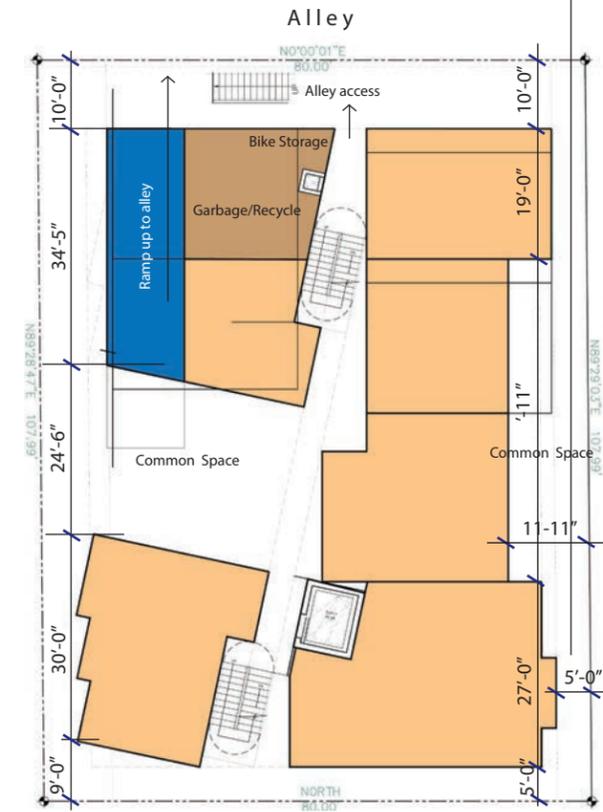
Level 2

Std. Departure #1 requested for both N. and S. facades. 70% building depth shown; 65% building depth allowed. (see p. 20)



Level 2

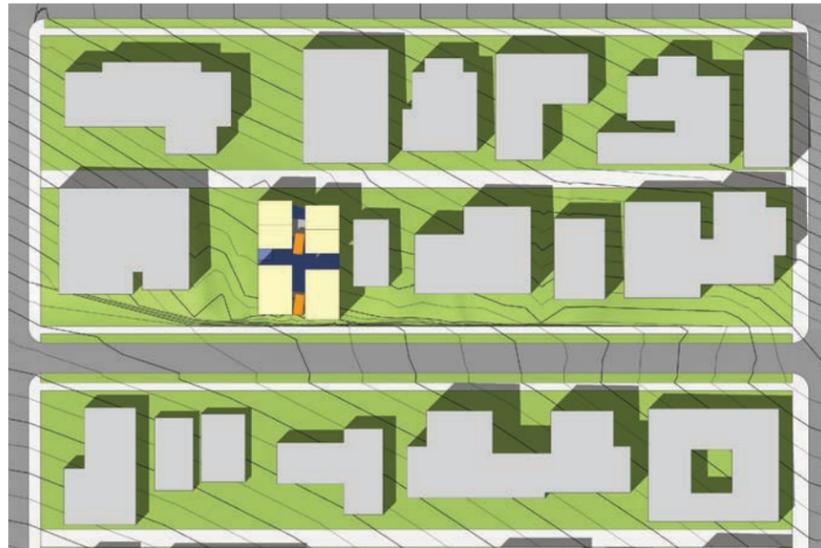
50% building depth shown; 65% building depth allowed.



Level 2

Std. Departure #1 requested for N. facade, only (see p. 20).

1



Alternative 1 ("Pods")

| | |
|---------------------|------------------------|
| Unit Count | 25 |
| Parking | 15 stalls |
| Total Floor Area | 24,702 gsf* |
| Typ. Resid. Floor | 4,812 gsf* |
| FAR Proposed | 2.0 |
| FAR allowed | 2.0 |
| Open Space Provided | 2,192 sf (25.4 %) |
| Open Space Required | 2,160 sf (25% @ grade) |

* includes open stair/corridor

Pros:

- Maximizes development
- Porous; open in two directions with open stairs
- Good potential for light and air to units

Cons:

- Open space chopped up
- No elevator
- Problem meeting accessibility requirements
- Maximum height at street
- Departure** required for max. bldg. depth (65% to 68%)

2



Alternative 2 ("I")

| | |
|---------------------|------------------------|
| Unit Count | 33 |
| Parking | 14 stalls |
| Total Floor Area | 25,840 gsf* |
| Typ. Resid. Floor | 4,877 gsf* |
| FAR Proposed | 2.0 |
| FAR allowed | 2.0 |
| Open Space Provided | 2,610.1 sf (30.2%) |
| Open Space Required | 2,160 sf (25% @ grade) |

* includes open stair/corridor

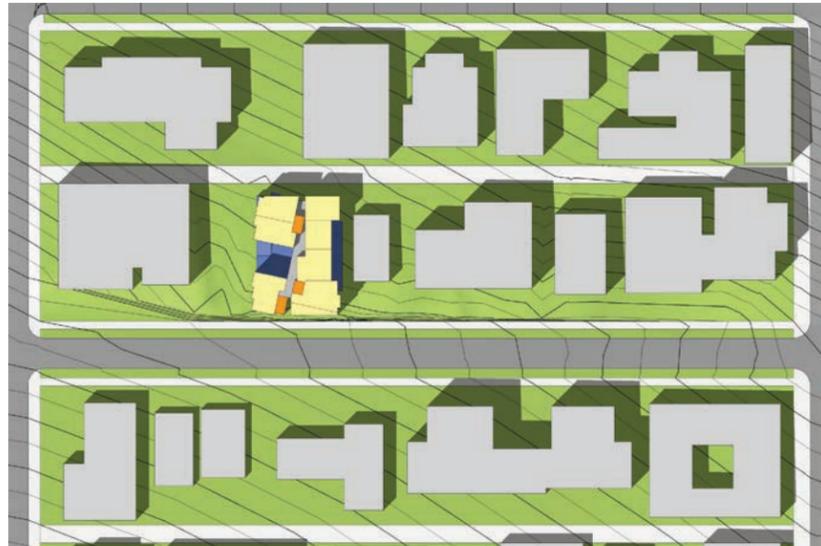
Pros:

- Maximizes development
- Elevator
- No problem meeting accessibility requirements
- Porous; open in East-West direction with open stairs/corridor

Cons:

- Open space chopped up; harder to provide common space
- Maximum height at street
- light and air to units to some bedrooms at middle of building problematic
- open stairs/corridor closed on North and South sides
- monolithic mass, blocky appearance at street
- Departure** required for max. bldg. depth (65% to 68%)

3



Alternative 3 (Preferred) ("Breakaway")

| | |
|---------------------|--------------------------|
| Unit Count | 28 |
| Parking | 14 stalls |
| Total Floor Area | 23,360 gsf |
| Typ. Resid. Floor | 5,028 gsf* |
| Top Resid. Floor | 4,059 gsf* |
| FAR Proposed | 2.0 |
| FAR allowed | 2.0 |
| Open Space Provided | 2,167 sf (25% @ grade) |
| | 653 sf (7.6% @ top flr.) |
| Open Space Required | 2,160 sf (25% @ grade) |

* includes open stair/corridor

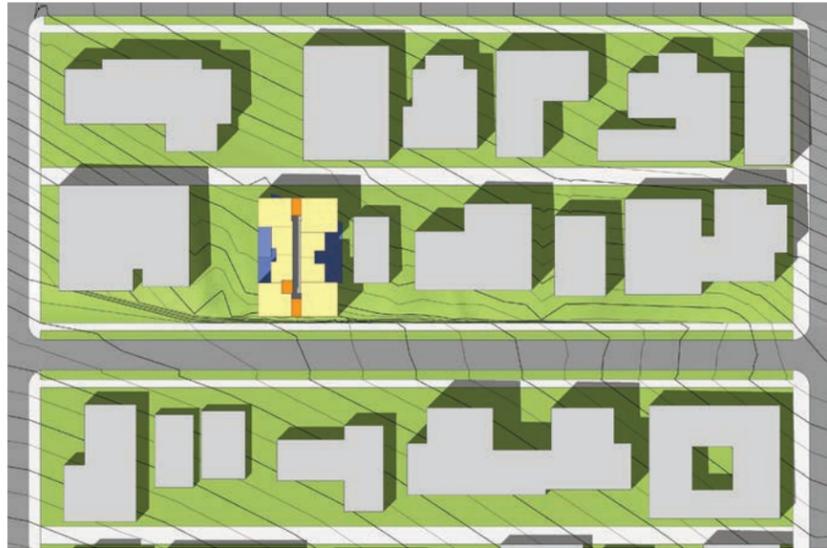
Pros:

- Maximizes development
- Elevator
- No problem meeting accessibility requirements
- Larger open space at grade for common area; roof deck common area at SE corner
- Good potential for light and air to units
- Top floor steps back at street
- Porous/open in East-West direction at open stair/corridor; corridor, also, opens up to South at center

Cons:

- Departure** required for max. bldg. depth (65% to 68%)

1



Alternate 1

| | |
|---------------------|--|
| Unit Count | 33 |
| Parking | 14 stalls |
| Total Floor Area | 25,840 gsf* |
| Typ. Resid. Floor | 4,877 gsf* |
| Lot Area: | 8,638 sf |
| FAR Proposed | 2.0 |
| FAR allowed | 2.0 |
| Open Space Provided | 2,610.1 sf (30.2%) |
| Open Space Required | 2,160 sf (25% @ grade) 2,510.4 sf (30%) |

* includes open stair/corridor

Pros:
No Departures required.
 Simplest design/construction
 Porous; open in East-West direction with open stairs/corridor
 Greatest side yard setbacks of the three alternatives

Cons:
 Open space chopped up; harder to provide common space; located on both North and south
 Maximum height at street
 open stairs/corridor closed on North and South sides
 monolithic mass, blocky appearance at street

2



Alternate 2

| | |
|---------------------|--|
| Unit Count | 28 |
| Parking | 14 stalls |
| Total Floor Area | 23,360 gsf |
| Typ. Resid. Floor | 5,028 gsf* |
| Top Resid. Floor | 4,059 gsf* |
| Lot Area | 8,638 sf |
| FAR Proposed | 2.0 |
| FAR allowed | 2.0 |
| Open Space Provided | 2,167 sf (25% @ grade) 653 sf (7.6% @ top flr.) |
| Open Space Required | 2,160 sf (25% @ grade) 2,510.4 sf (30%) |

* includes open stair/corridor

Pros:
 Larger central open space at grade for common area
 Level 5 roof deck common area at SE corner separated from units & at Level 5
 Good potential for light and air to units
 Level 5 steps back at 18th Ave. NE
 Porous/open in East-West direction at open stair/corridor; corridor, also, opens up to South at center

Cons:
Departure required at North facade for max. bldg. depth (65% to 86%)(see page 30)

3



Alternate 3 (Preferred)

| | |
|---------------------|--|
| Unit Count | 28 |
| Parking | 14 stalls |
| Total Floor Area | 23,002 gsf |
| Typ. Resid. Floor | 5,110.4 gsf* |
| Top Resid. Floor | 4,381.2 gsf* |
| Lot Area | 8,638 sf |
| FAR Proposed | 2.0 |
| FAR allowed | 2.0 |
| Open Space Provided | 2,032 sf (23.52% @ grade) 602 sf (6.96% @ top flr.) |
| Open Space Required | 2,160 sf (25% @ grade) 2,510.4 sf (30%) |

* includes open stair/corridor

Pros:
 Larger open space at grade for common area; roof deck common area at SE corner
 Level 5 steps back at 18th Ave. NE
 Porous/open in East-West direction at open stair/corridor; corridor, also, opens up to interior court at center of building
 Larger open space close to street level at SE corner of site; ties into central open space

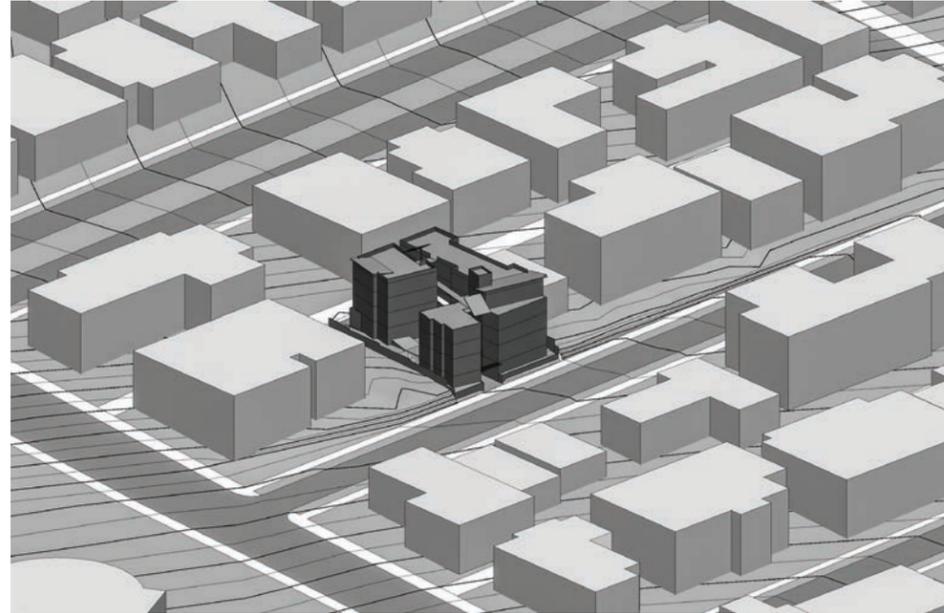
Cons:
Departure required at alley for reducing building setback from 10' to 5' (see page 30)
 Interior courtyard is limiting and pushes building out towards property lines
 Least side yard setbacks of the three alternatives
 Level 5 roof deck common area adjacent to residential unit

Alternate 1



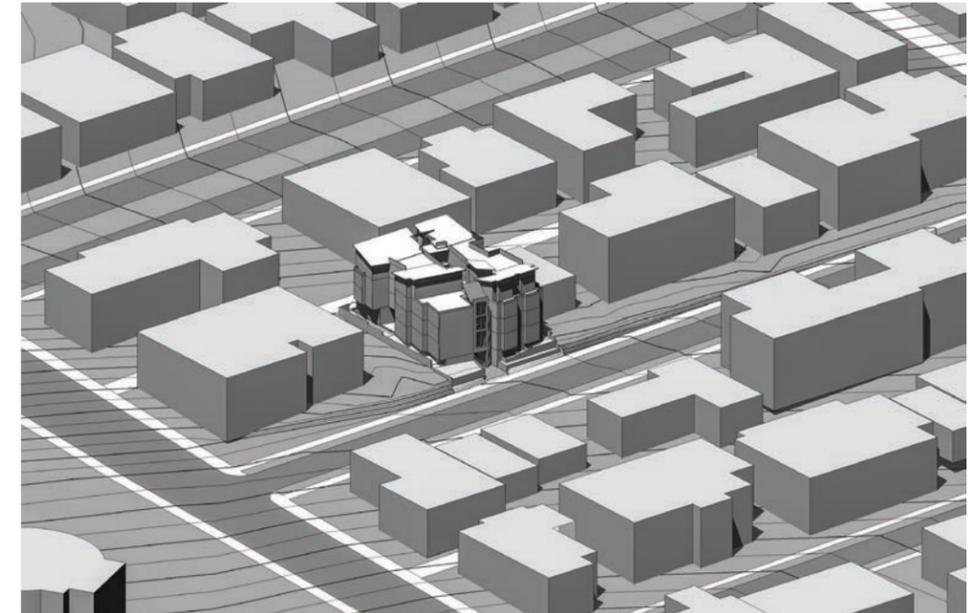
Aerial View, looking Northwest

Alternate 2

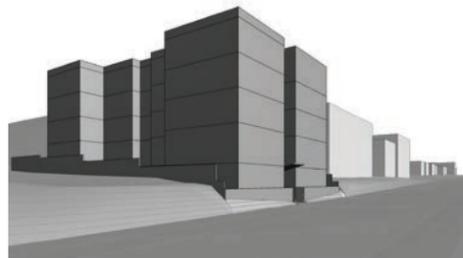


Aerial View, looking Northwest

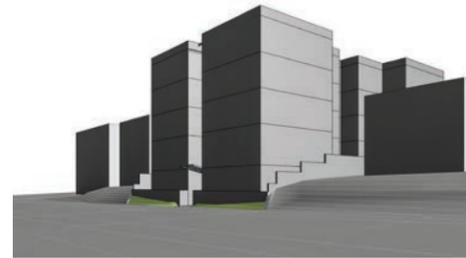
Preferred Alternate 3



Aerial View, looking Northwest



Sidewalk View, looking North



Street View, looking South



Sidewalk View, looking North



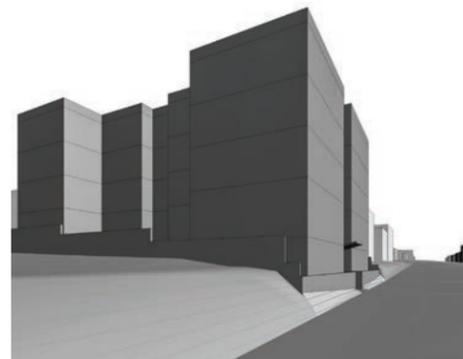
Street View, looking South



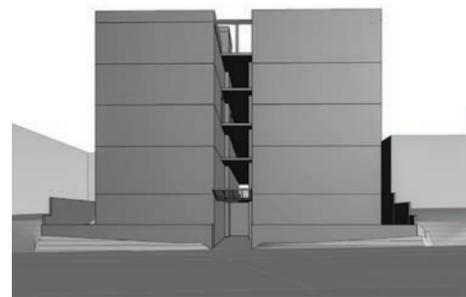
Sidewalk View, looking North



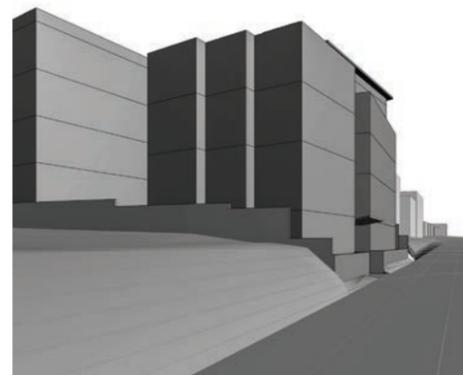
Street View, looking South



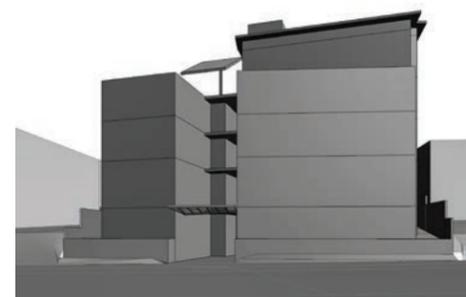
Sidewalk View, looking North



Street View, looking West



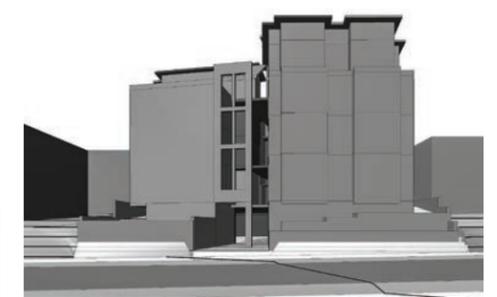
Sidewalk View, looking North



Street View, looking West



Sidewalk View, looking North



Street View, looking West

Design Proposal: Alternate 1

Description:

Alternate 1 was originally Alternate 2 in the first EDG presentation.

The "I" shaped building is fully code compliant with regard to height, FAR, setbacks, and building depth & width.

Side yard setbacks average 10.40' on the North and 15.77 on the South. The rear yard setback is 10' and the front yard setback is 5'.

The building form is the simplest of the three alternates. The facade steps in at the North and South elevations to provide better light and air to the residential units and to create ground level common open space.

The open stair and corridor divide the main building mass in the East-West direction. The residential building entry at grade on 18th Ave. NE is in-line with this division.



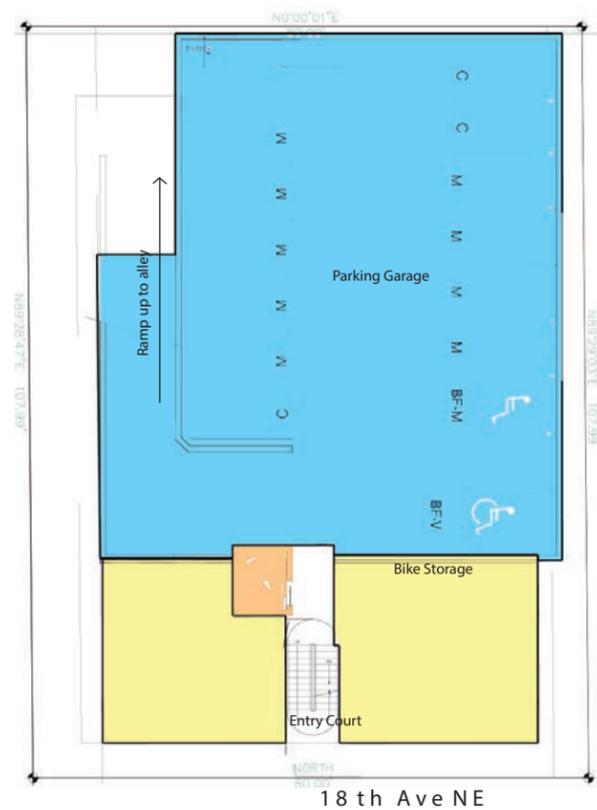
Massing: Deductive Form



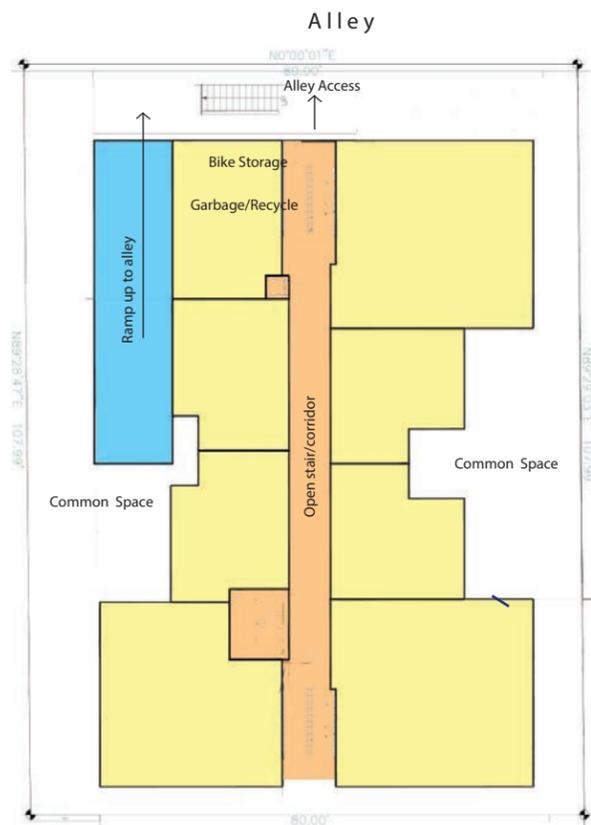
Street View on 18th Ave. NE Lkg. Northwest



Aerial View From Southwest



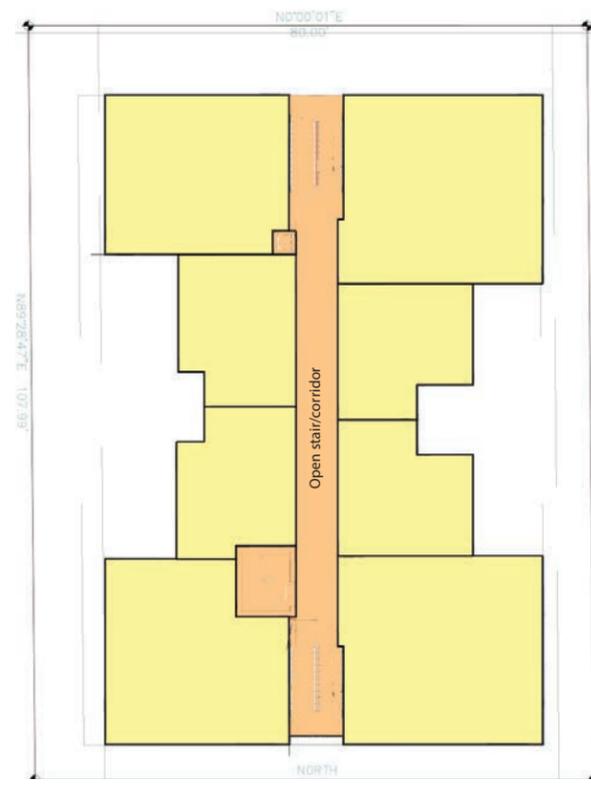
Level 1/P1



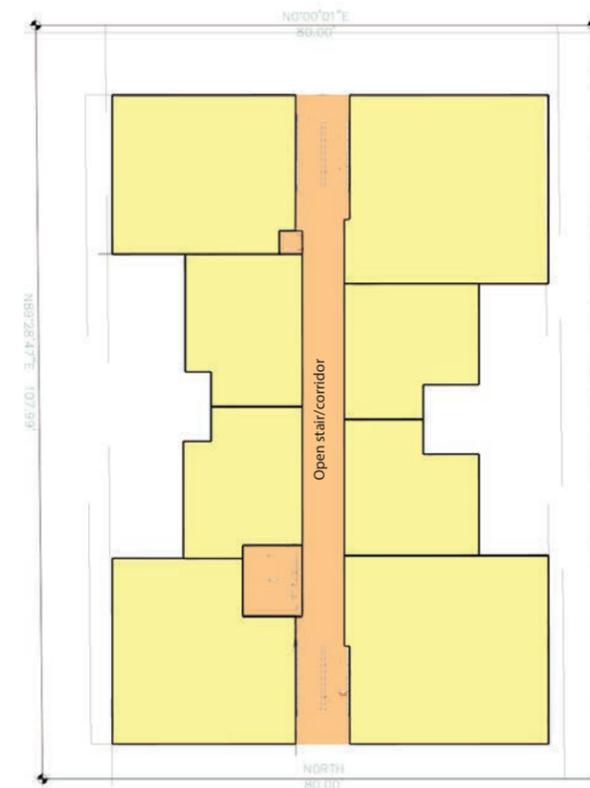
Level 2

Note: see Landscape Concept, p. 28

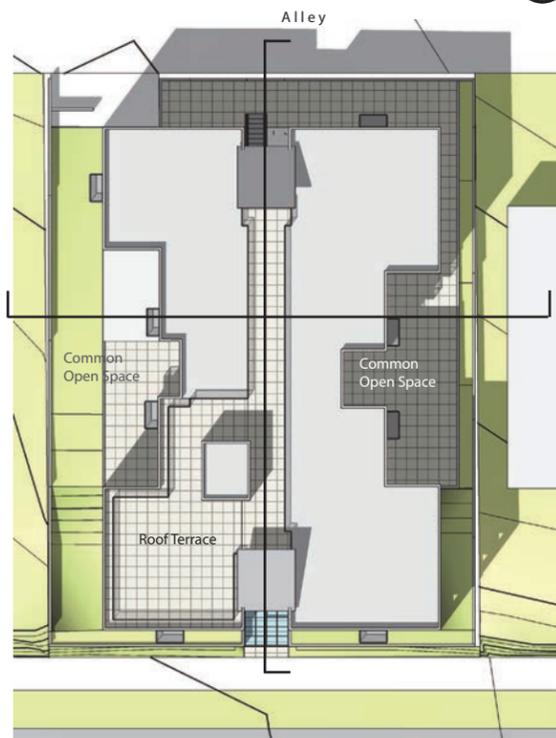
50% building depth shown; 65% building depth allowed.



Levels 3-4

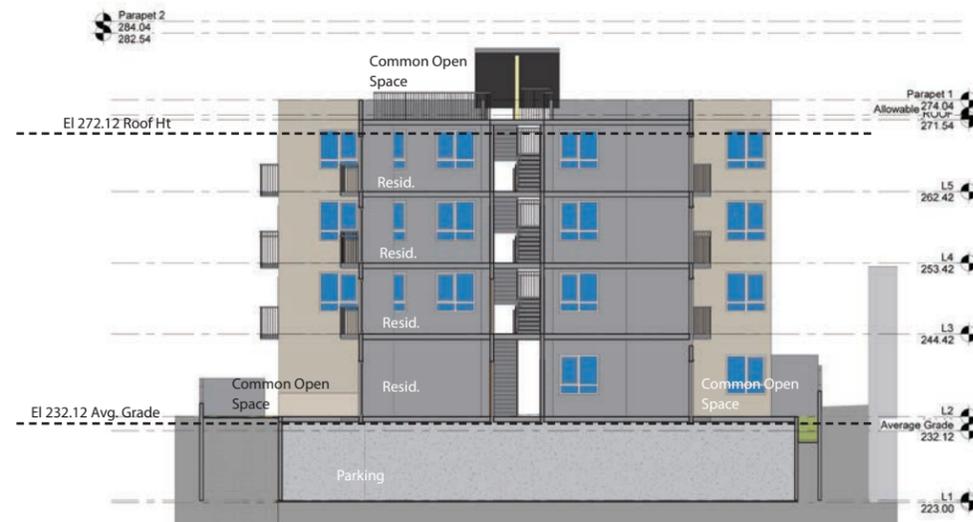


Level 5

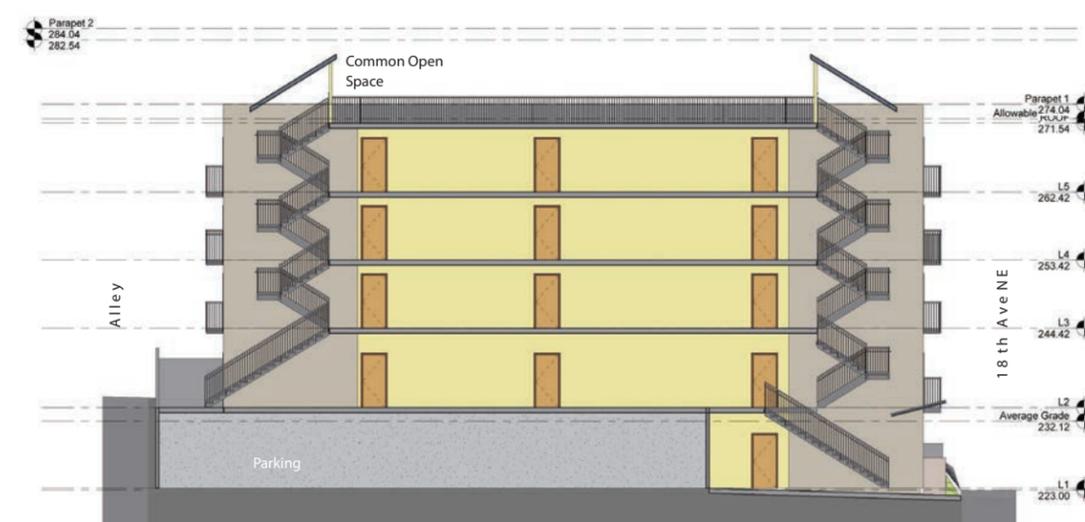


Plan: Site

18th Ave. NE



North-South Section, looking West



East-West Section, looking North



Street View on 18th Ave. NE Lkg. Southwest

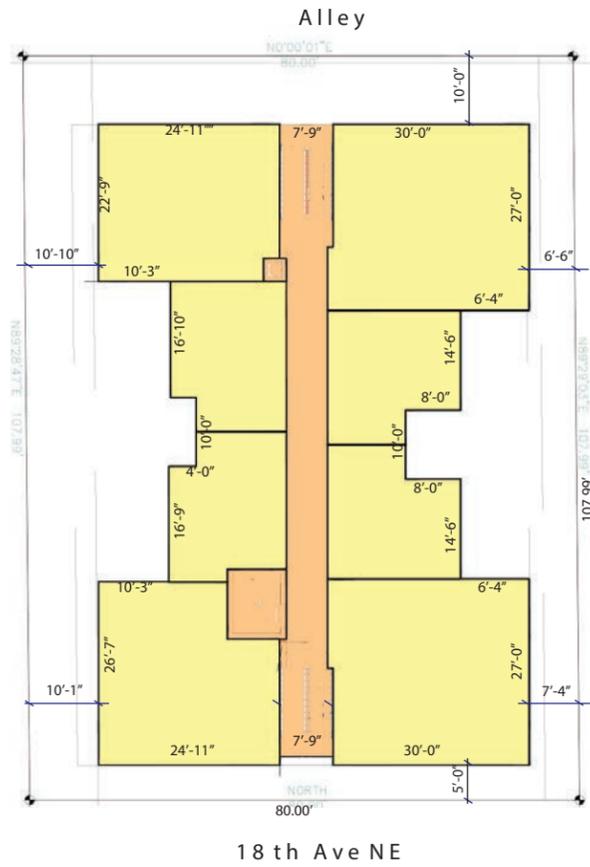


Alley View Lkg. East Along South Property Line

Alley View Lkg. East Along North Property Line



Aerial View From Northwest



18th Ave NE

Plan: Site (dimensioned)



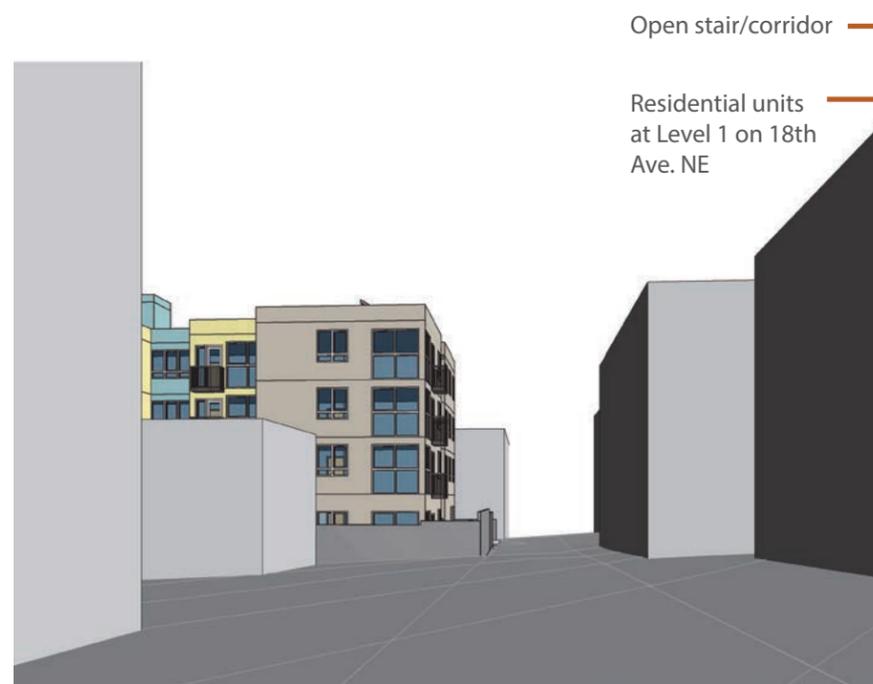
Street View from 18th Ave NE & NE 45th St., looking North



Street View from 18th Ave NE & NE 47th St., looking North



Alley View Looking North



Alley View Looking South

North & South wings parallel to street; symmetrical; brick; more traditional

Open stair/corridor

Residential units at Level 1 on 18th Ave. NE



Street View from 18th Ave NE, looking West

Design Proposal: Alternate 2

Description:

Alternate 2 is a refinement of Alternate 3 presented at the first EDG meeting.

Side yard setbacks average 8.78' on the North and 15.54' on the South. The front yard setback is 5.0'. The rear yard setback is 10'. The design would require a standard departure, on the North, from the maximum 65% building depth requirement (see page 32).

The building is roughly broken into two mass blocks (North & South) divided by the open stair/corridor. The South block is inflected back at an angle from 18th Ave. NE to differentiate it from the North block and disengage it from the street. Both the North and South blocks have been stepped back at Level 5 along 18th Ave. NE. The division, inflection and upper setbacks effectively reduce the perceived mass from 18th Ave. NE.

The North block, which is parallel to the street would have a more formal facade utilizing materials, such as brick, that are used in some of the nearby buildings. The South block would be clad in smoother, less articulated, materials, such as fiber cement or metal panels.

Colors would further accentuate the differences. The North block would be darker, more substantial appearing, while the South Block would be lighter, to de-emphasize it.

Landscaping would be used to screen the south mass, making the North mass more prominent to the street (See page 28)

Steps back at NE corner with private roof deck at Level 5

Steps back at SE corner with Common roof deck at Level 5

Open corridor and stair create visually porous separation at the center of the main building mass

Fencing for security on alley, North and South property lines

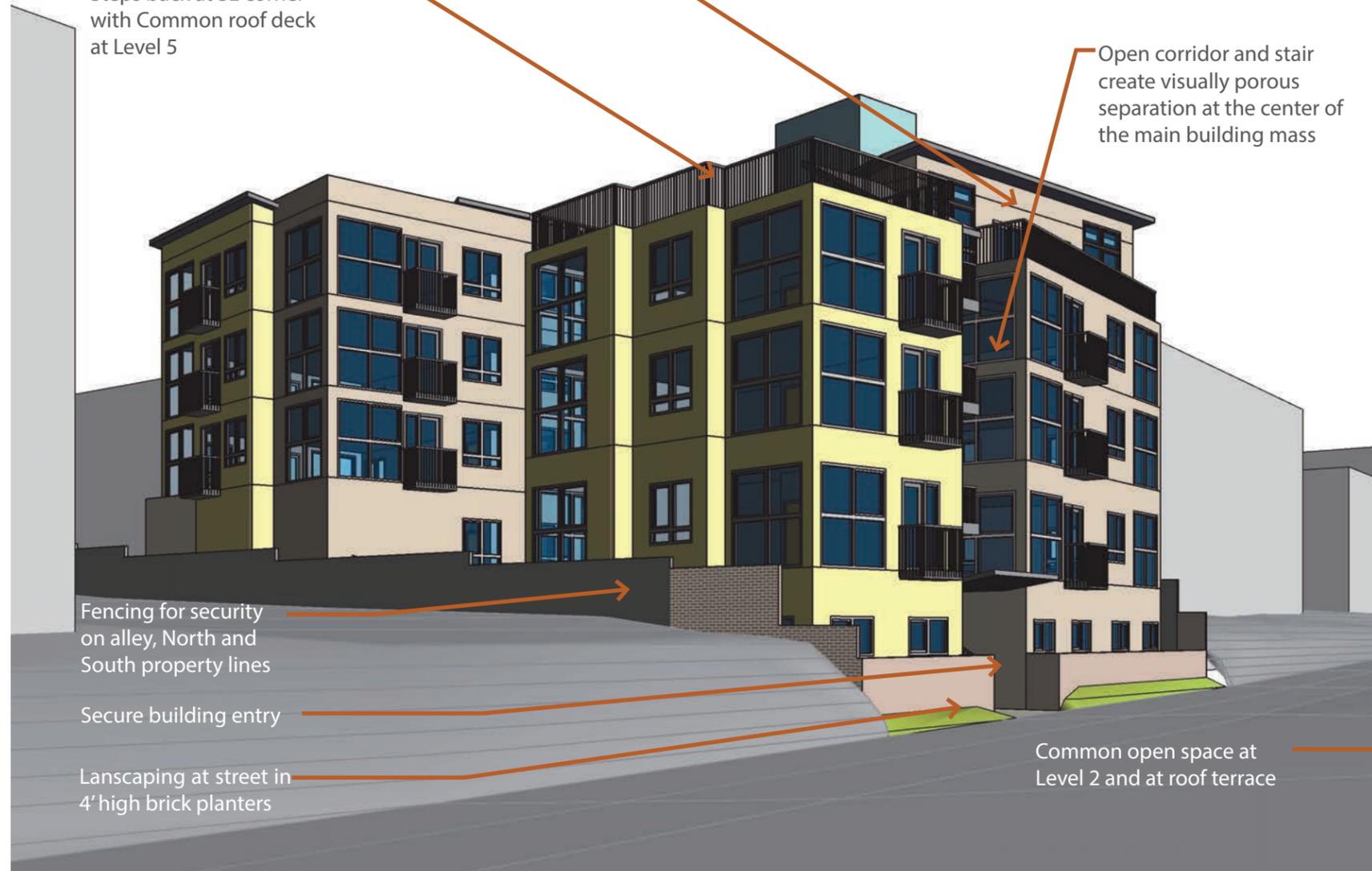
Secure building entry

Lanscaping at street in 4' high brick planters

Common open space at Level 2 and at roof terrace



Massing: Deductive Form



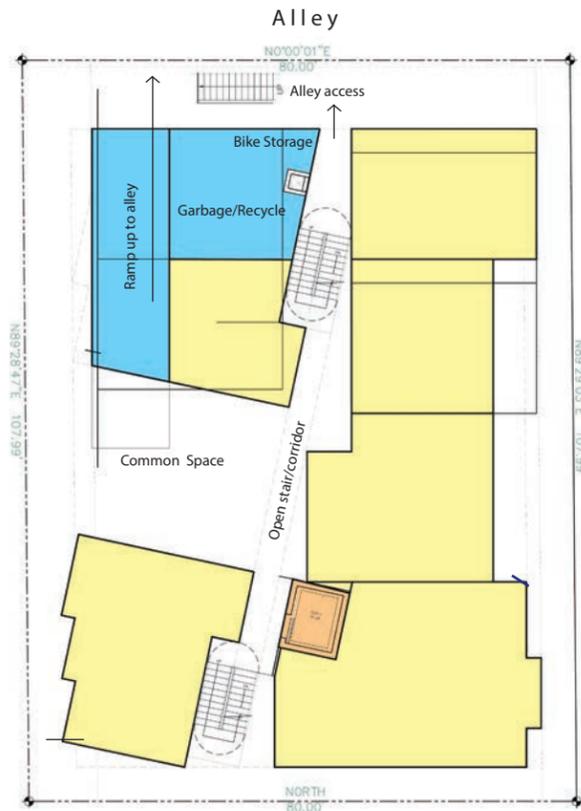
Street View on 18th Ave. NE Lkg.



Aerial View From Southwest



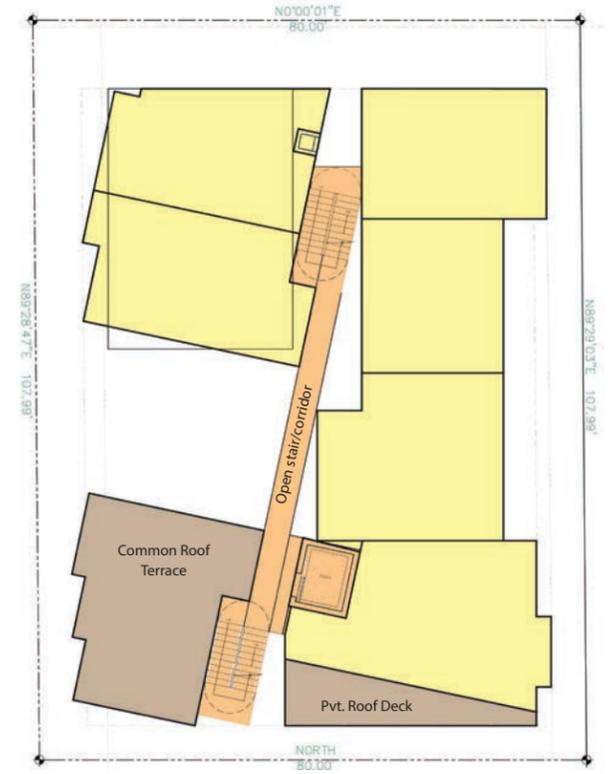
Level 1/P1



Level 2



Levels 3-4



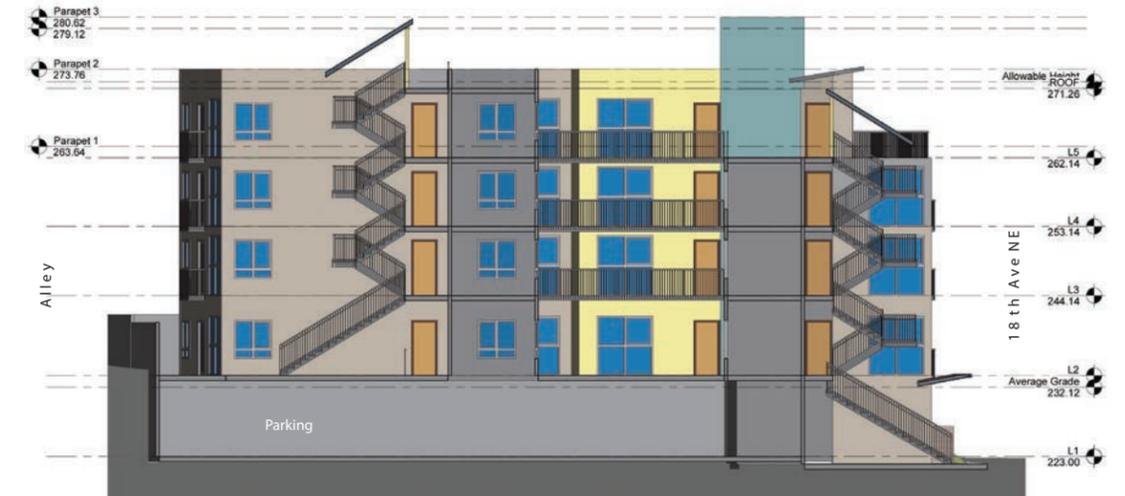
Level 5



Plan: Site



North-South Section, looking West



East-West Section at open stair/corridor, looking North



Street View on 18th Ave. NE Lkg. Southwest

Parking Garage entrance on alley

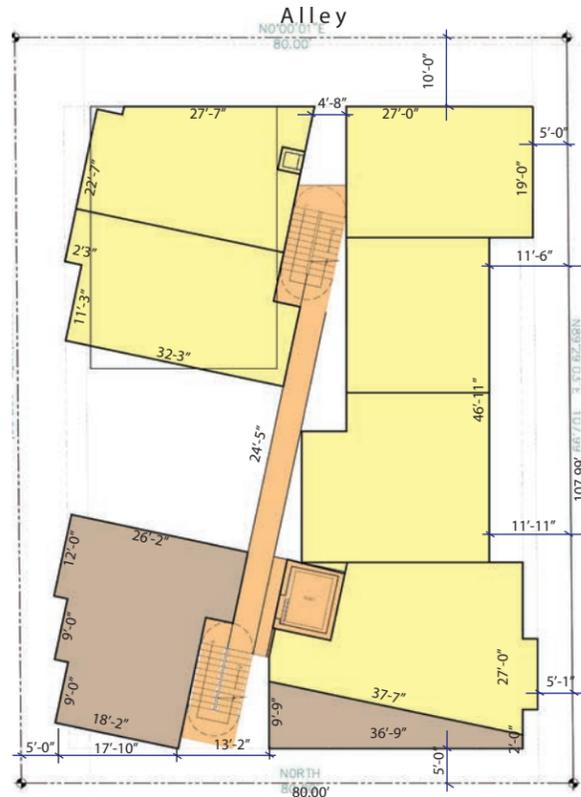


Alley View Lkg. East Along South Property Line

Alley View Lkg. East Along North Property Line



Aerial View From Northwest

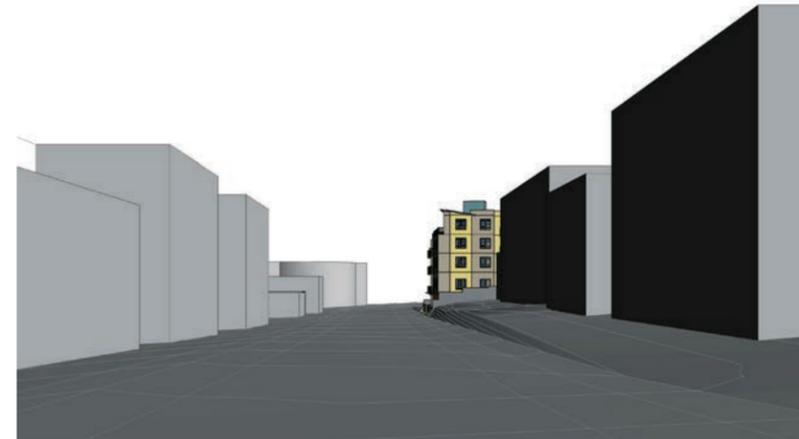


18th Ave NE

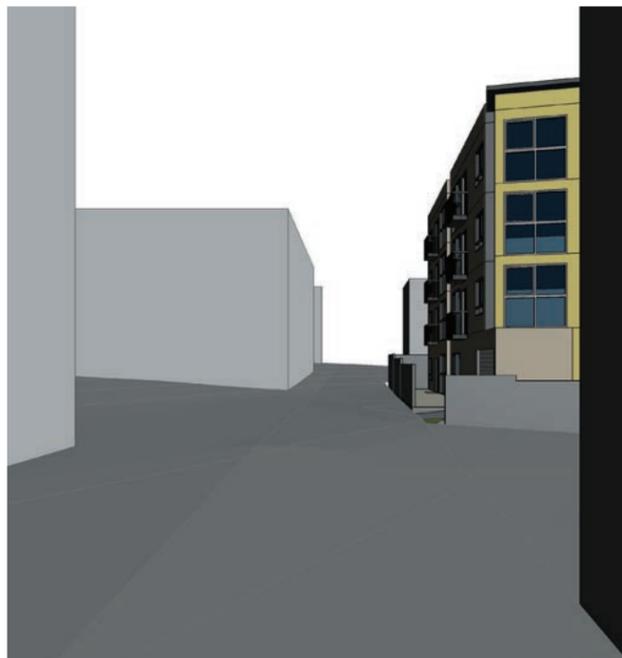
Plan: Site (dimensioned)



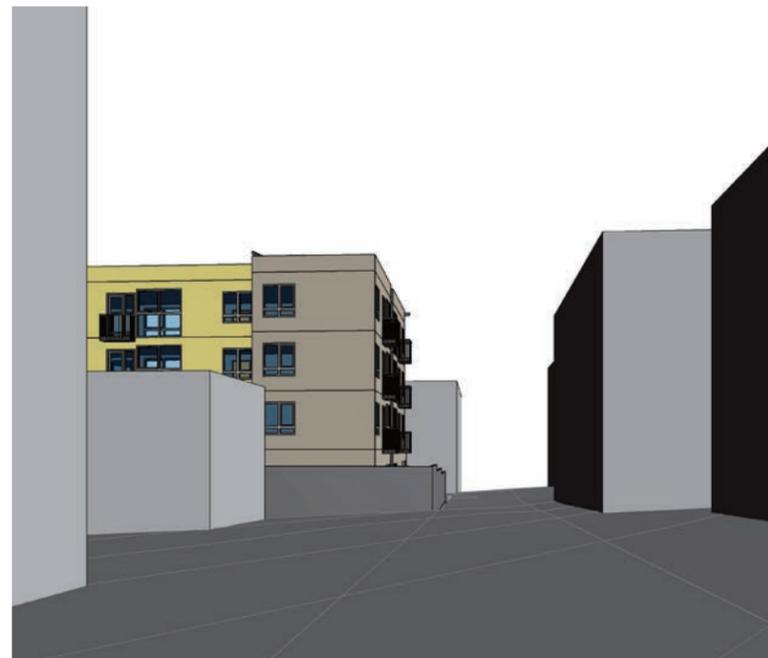
Street View from 18th Ave NE & NE 45th St., looking North



Street View from 18th Ave NE & NE 47th St., looking North



Alley View Looking North



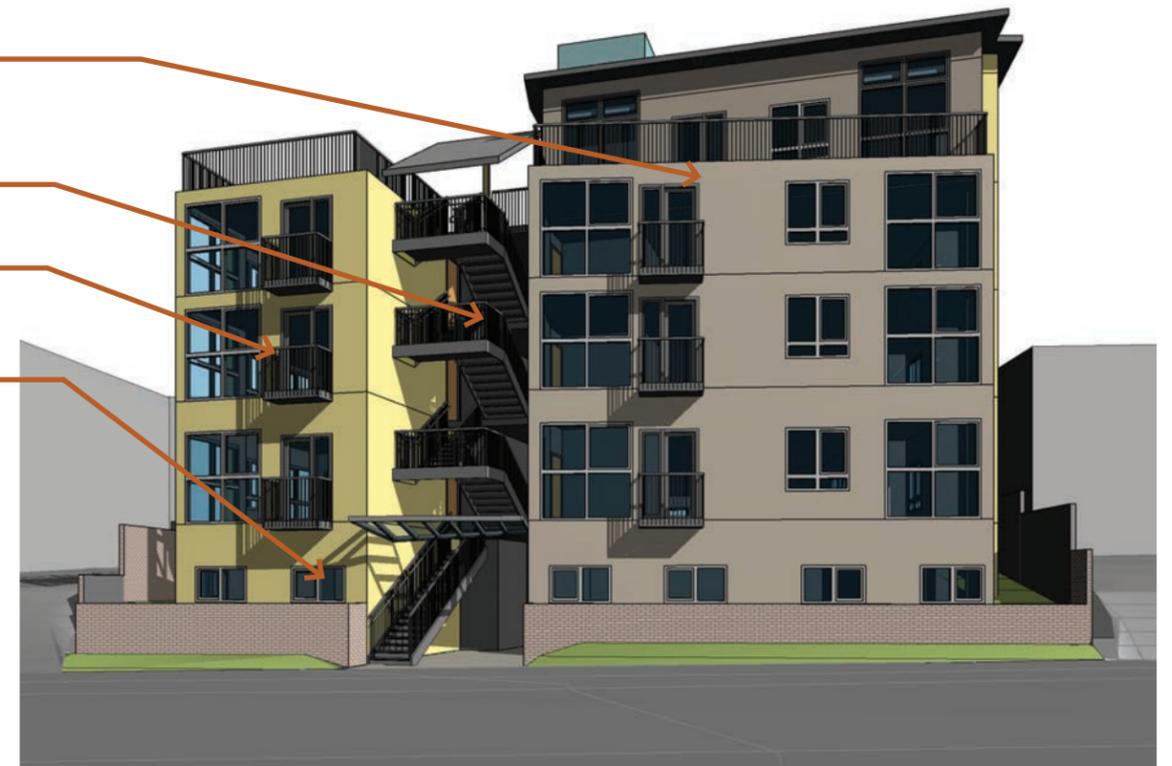
Alley View Looking South

North wing parallel to street; symmetrical; brick; more traditional

Open stair/corridor

South wing angled back from street; ad hoc; modern

Residential units at Level 1 on 18th Ave. NE



Street View from 18th Ave NE, looking West

Preferred Design Proposal: Alternate 3

Description:

Alternate 3 is a revision of the Alternate 3 presented at the first EDG meeting.

In response to DRB direction at the first EDG meeting, it provides a greater setback at 18th Ave. NE and a larger open space facing the street. Front setbacks have been increased to 8.33' at the closest point and an approximately 450 sf open space is located in front of the South Mass. The open space is 4' - 5' above the sidewalk to make it contiguous with the open space to the West and make it accessible. In order to do this the Level 1 units have been eliminated.

Side yard setbacks average 7.43' on the North and 10.97' on the South. The rear yard setback is 5.0' This necessitates a standard departure from the 10' requirement (see p. 32)..

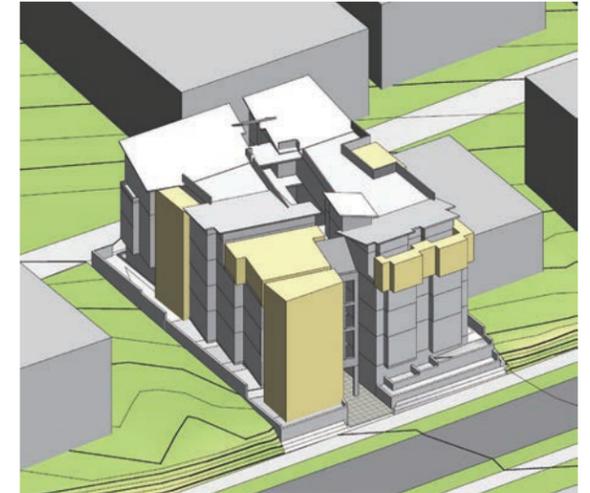
The building is roughly broken into two mass blocks (North & South) divided by the open stair/corridor. The South block is inflected back at an angle from 18th Ave. NE to differentiate it from the North block and disengage it from the street. Both the North and South blocks have been stepped back at Level 5 along 18th Ave. NE. The division, inflection and upper setbacks effectively reduce the perceived mass from 18th Ave. NE.

The North block, which is parallel to the street would have a more formal facade utilizing materials, such as brick, that are used in some of the nearby buildings. The South block would be clad in smoother, less articulated, materials, such as fiber cement or metal panels. The open metal stair is screened by a simple frame with a smooth finished wood siding.

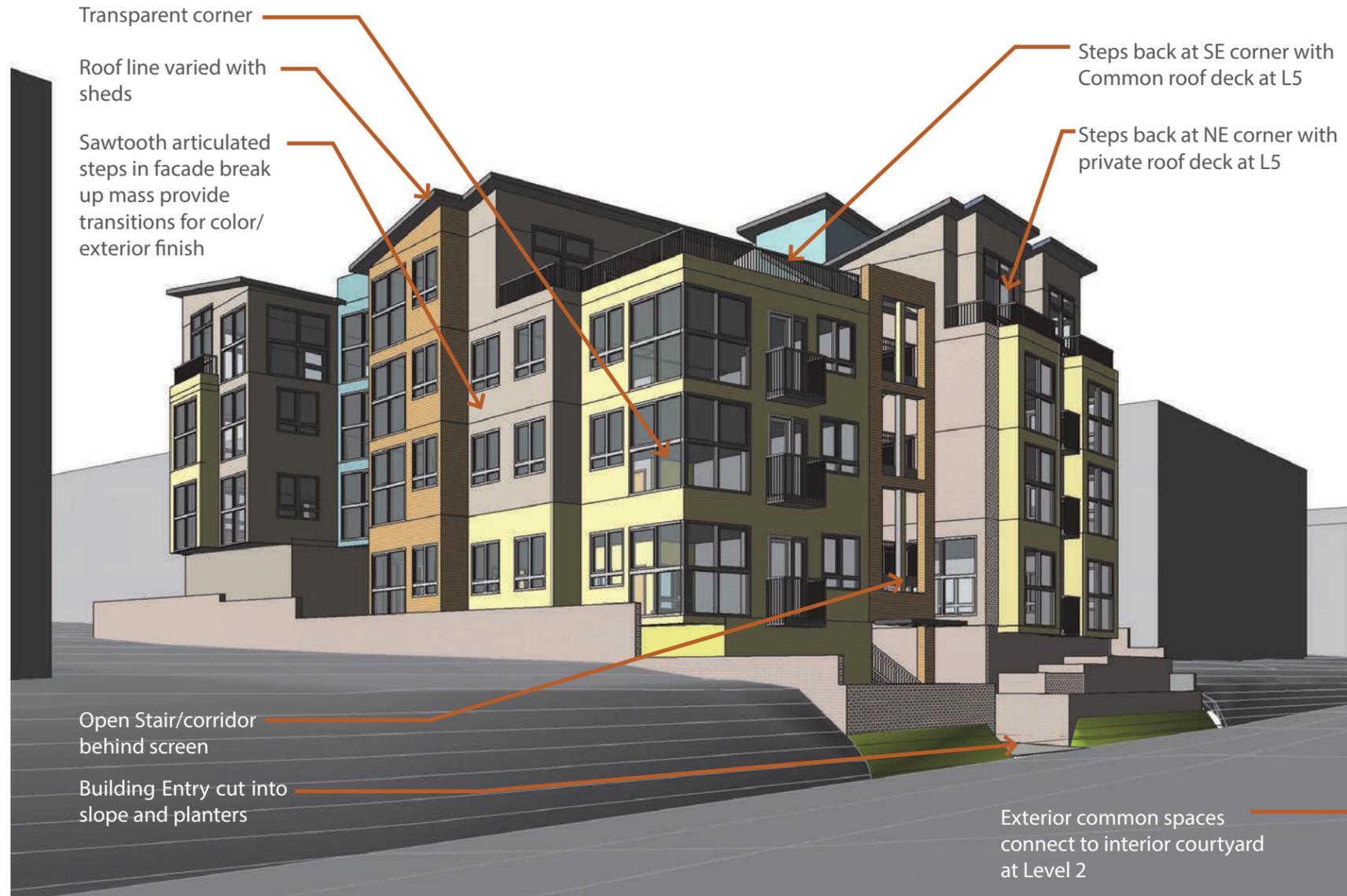
Colors would further accentuate the differences. The North block would be darker, more substantial appearing, while the South Block would be lighter, to de-emphasize it.

The residential entry on 18th is cut into the slope at the same width as the break between the blocks. Decorative fencing and a gate would limit access to residents and their guests.

Landscaping would be used to screen the south mass, making the North mass more prominent to the street (See page 28)



Massing: Deductive Form

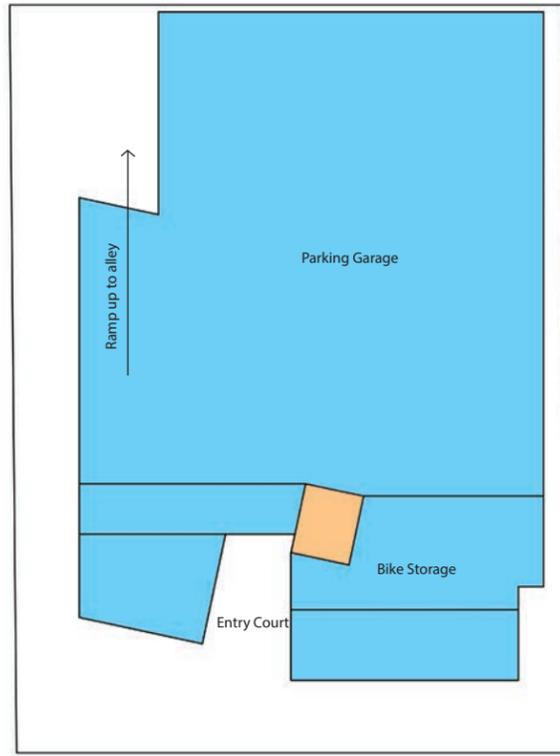


Street View on 18th Ave. NE Lkg.

Alley View Lkg. East Along South Property Line

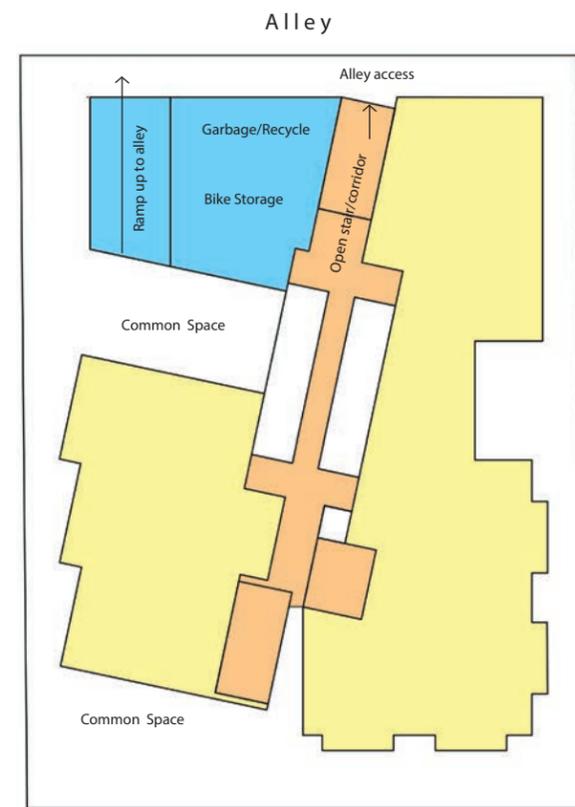


Aerial View From Southwest



18 th Ave NE

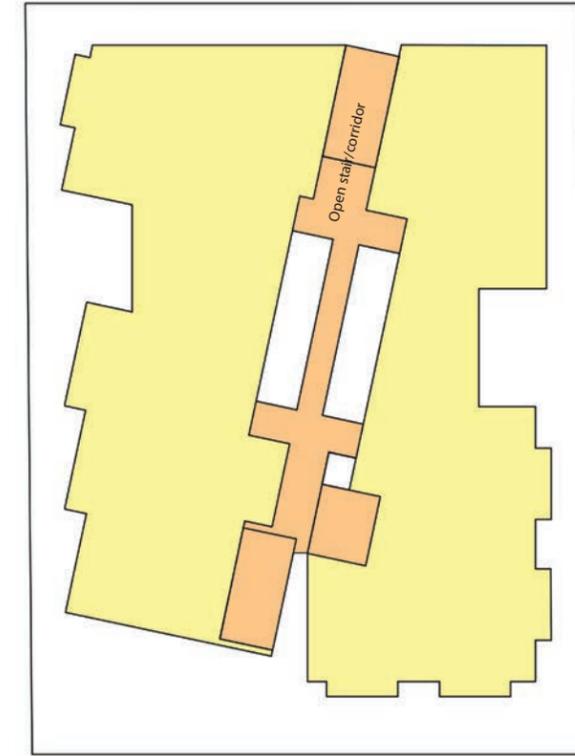
Level 1/P1



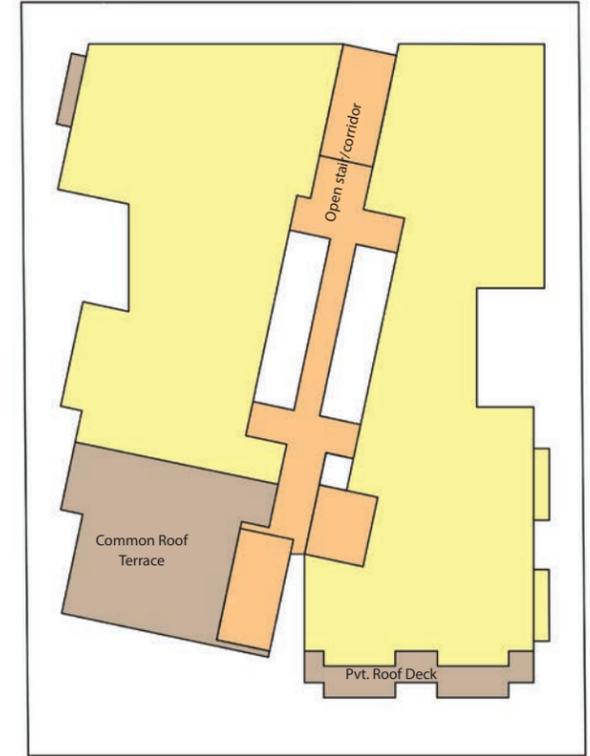
Std. Departure requested for reduction in rear yard setback, (see p. 32).

Level 2

Note: see Landscape Concept, p. 24



Levels 3-4



Level 5



18th Ave. NE

Plan: Site



North-South Section, looking West



East-West Section at Open Stair/Corridor, looking North



Street View on 18th Ave. NE Lkg. Southwest

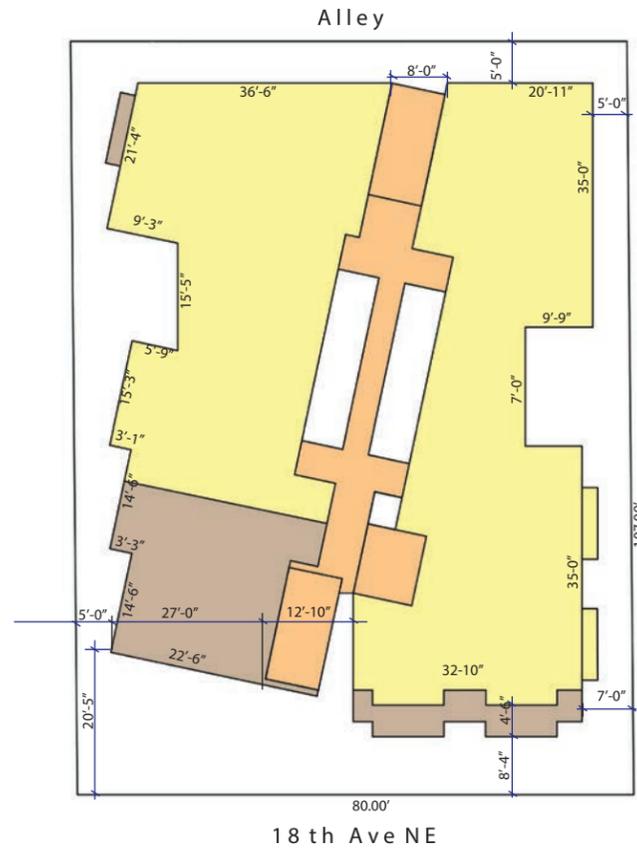


Alley View Lkg. East Along South Property Line

Alley View Lkg. East Along North Property Line



Aerial View From Northwest



Plan: Site (dimensioned)



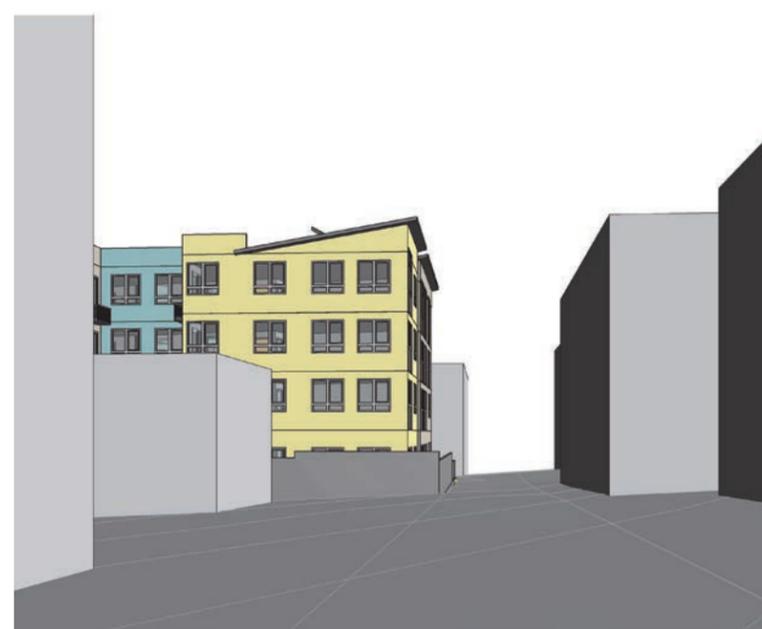
Street View from 18th Ave NE & NE 45th St., looking North



Street View from 18th Ave NE & NE 47th St., looking North



Alley View Looking North



Alley View Looking South

North wing parallel to street; symmetrical; brick; more traditional

Open stair/corridor behind wood clad screen

South wing angled back from street; ad hoc; modern

Residential entry cuts into slope to provide at-grade access

Large common area adjacent to street

Landscaping terraces up from sidewalk in brick planters



Street View from 18th Ave NE, looking West



Note: Alternate 3 shown

Landscaping will tie the building into the existing well landscaped streetscape, provide amenity for the residents, and protect the privacy of adjacent residents.

Note: no existing landscaping to remain



Fence/Trees at South property line

terraced brick planters in front of North block

Landscaped common space in front of south South block

narrow, vertical trees screening South block



Bamboo screen & solid fence at North Property Line

Planters/fence wall w/ brick cladding

Flowering / ornamental trees

Bamboo screen

Solid fence, 4-5' high



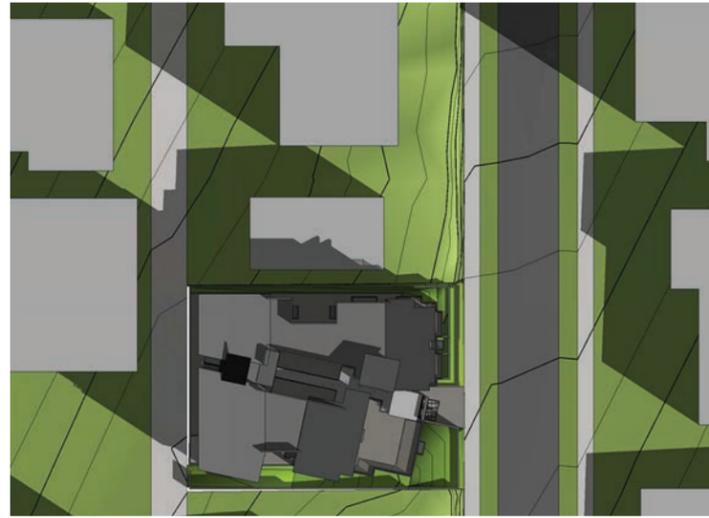
Planters/landscaping on 18th Ave. NE



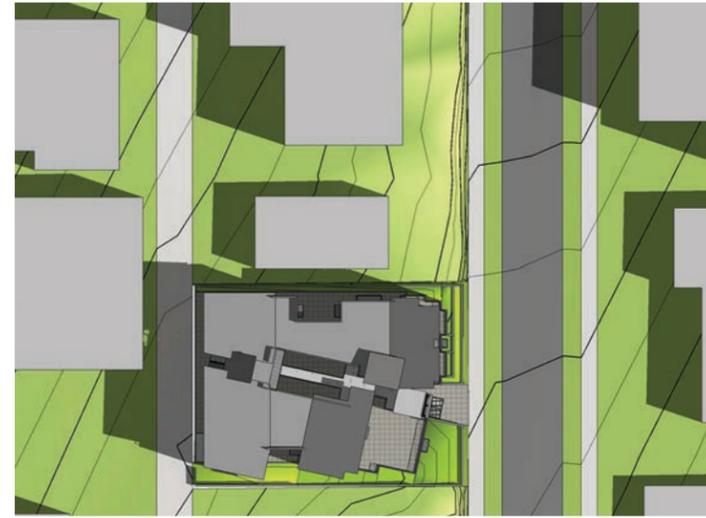
Fence/landscape screen at North property line



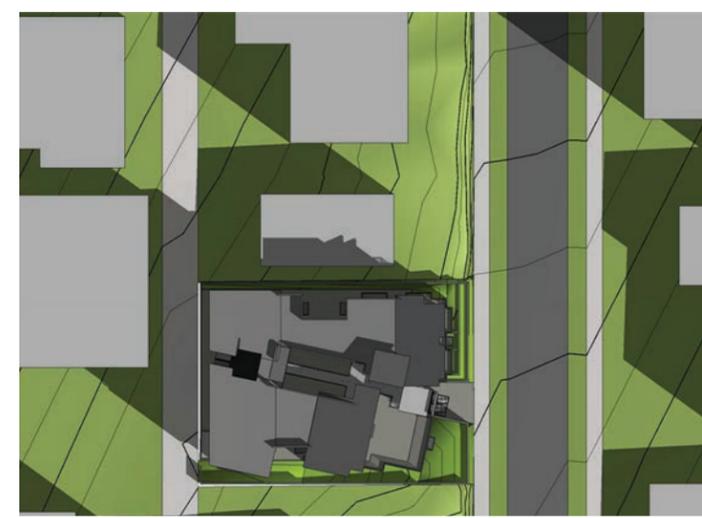
Building Entry on 18th Ave. NE



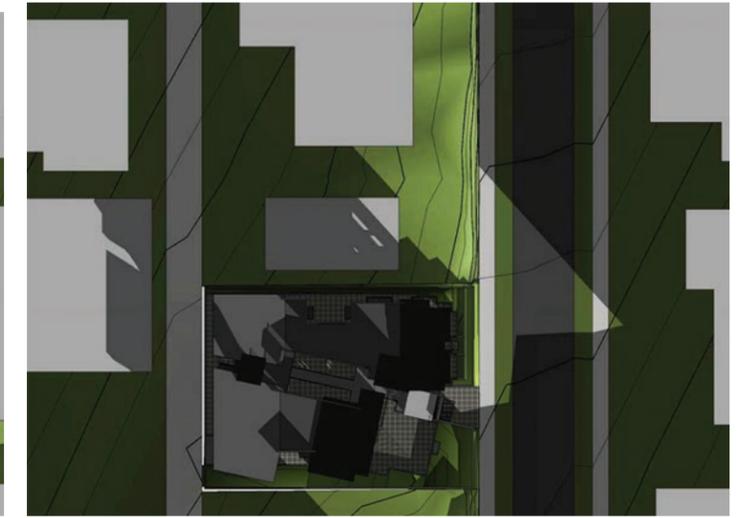
Spring Equinox - 10:00 am



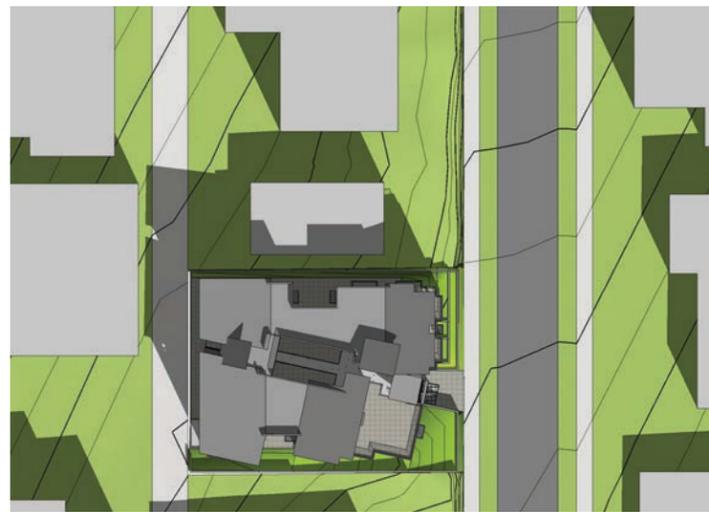
Summer Solstice - 10:00 am



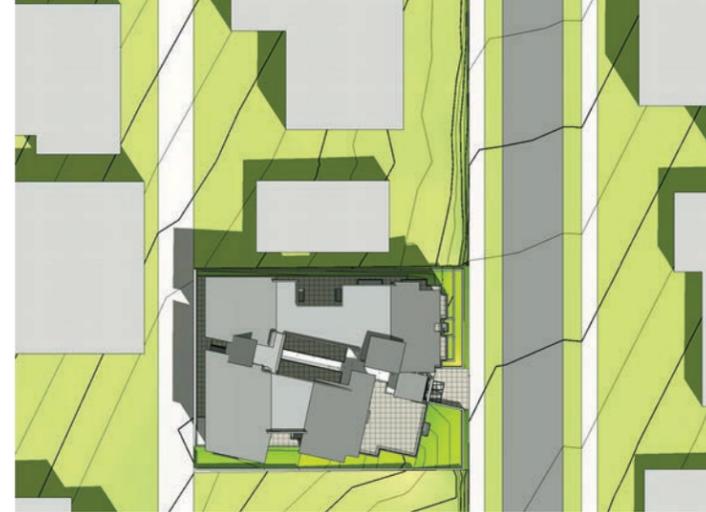
Fall Equinox - 10:00 am



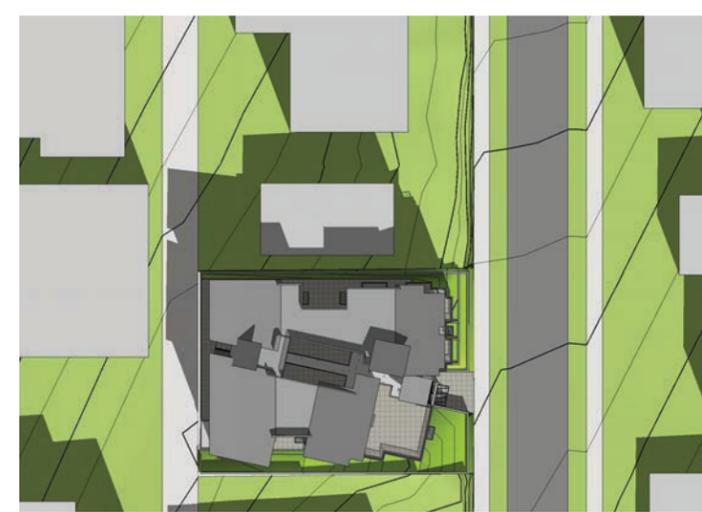
Winter Solstice- 10:00 am



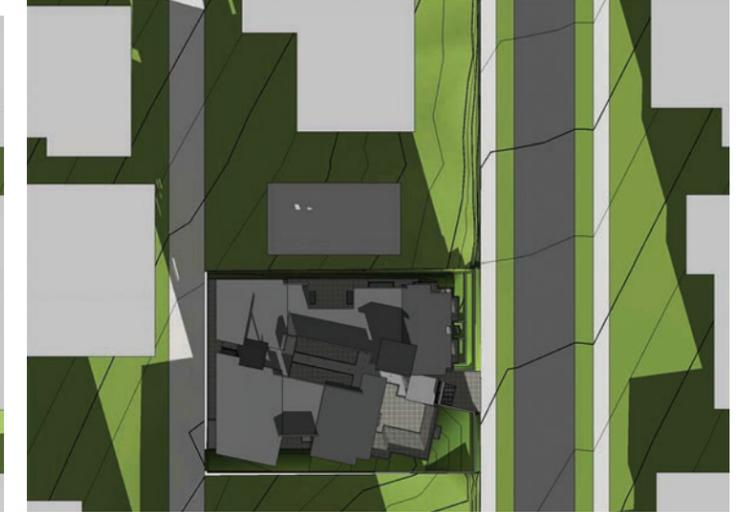
Spring Equinox



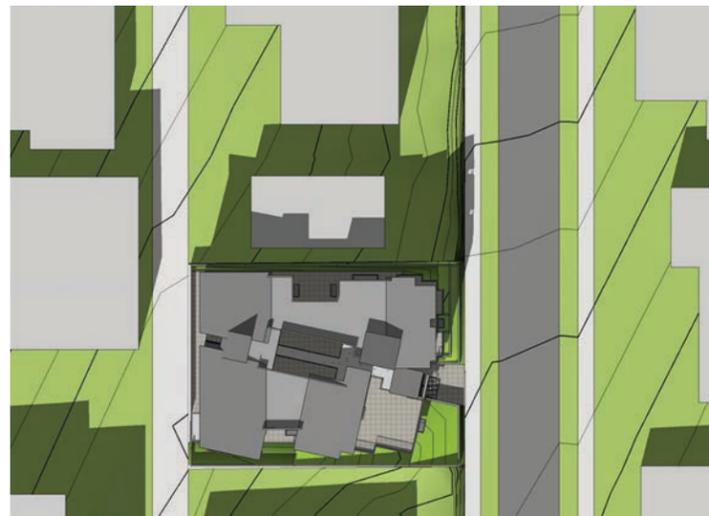
Summer Solstice



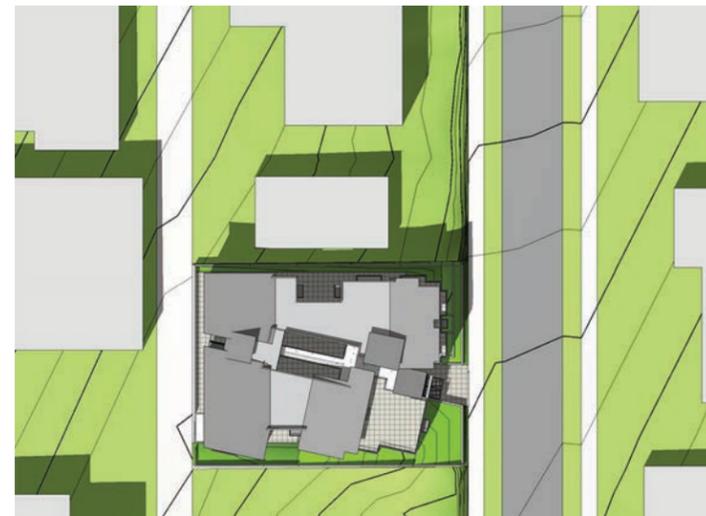
Fall Equinox



Winter Solstice



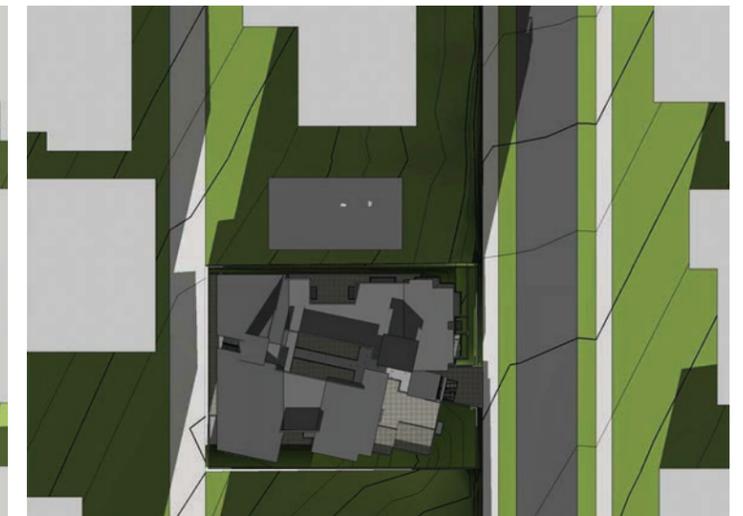
Spring Equinox - 2:00 pm



Summer Solstice- 2:00 pm



Fall Equinox - 2:00 pm



Winter - 2:00 pm

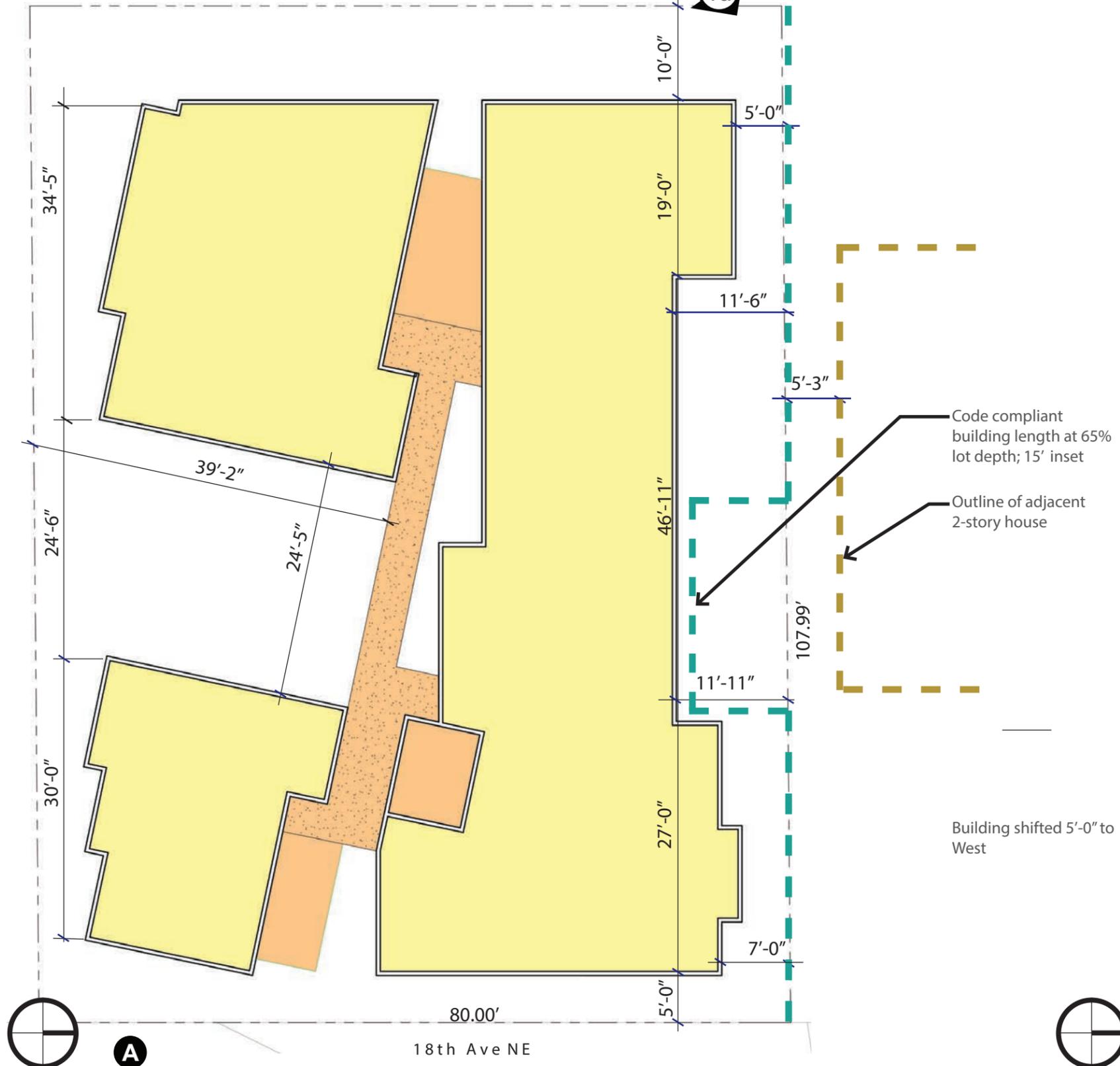
Note: Standard Departure A for Alternate 2 and B for Preferred Alternative 3

| LAND USE CODE REQUIREMENT | PROPOSAL | JUSTIFICATION |
|---|---|--|
| <p>A</p> <p>S.M.C. 23.45.527 Structure width and facade length limits in LR zones</p> <p><i>B. Maximum facade length in Lowrise zones.</i></p> <p><i>1. The maximum combined length of all portions of facades within 15 feet of a lot line that is neither a rear lot line nor a street or alley lot line shall not exceed 65 percent of the length of that lot line, except as specified in subsection 23.45.527.B.2.</i></p> | <p>South Property Line: $30'-3" + 33'-7" = 63'-10"$ $63'-10" \text{ building length} / 107.99' \text{ property line length} = 0.591$ $59.1\% < 65\%$ OK</p> <p>North Property Line: $27'-0" + 46'-11" + 19'-0" = 92'-11"$ $92'-11" \text{ building length} / 107.99' \text{ property line length} = 0.860$ $86\% > 65\%$ Not OK Proposed layout has 8.79' avg. setback. Code compliant layout would have 7.44' avg. setback.</p> <p>Allow 86% building depth instead of 65% building depth</p> | <p>The 11'-6" to 11'-11" setback is directly south of the existing house and it's windows (see below). This scheme places a greater separation between buildings at that area than the code compliant scheme. There's very little difference in overall setback area.</p>  <p>1a View from Alley, looking NE at N Property Line</p> |
| <p>B</p> <p>S.M.C. 23.45.518 Setbacks and Separations</p> <p><i>A. Table A - Required Setbacks in LR Zones measured in feet</i> <i>Rear 10' minimum with alley.</i></p> | <p>Current Setbacks: 10' rear setback shown at alley and 5' setback shown at front yard on 11th Ave., NE</p> <p>Allow 5' rear yard setback with building shifting 5' to West. Front yard setback will increase to 10'.</p> | <p>The additional 5' setback at the front yard would be beneficial in reducing the appearance of mass and allow for additional landscaping.</p> |

Standard Departure for Alternative 2

Alley

1a



Standard Departure for Preferred Alternative 3

Alley

