

219 1ST AVE N



04.02.2014 Early Design Guidance Meeting 6:30 pm at Queen Anne Community Center
219 1ST AVE N | MIXED USE APARTMENT BUILDING | DPD PROJECT # 3016745

washington 2505 3rd avenue, suite 300c, seattle 98121 • california 1404 broad street, san luis obispo 93401 • www.caronarchitecture.com

caron

INDEX

Project Information	2
Site and Context Analysis	3-9
Code Compliance	10-11
Site Plan	12
Options Comparison	13
Option A	14-15
Option B	16-17
Option C	18-19
Application of Seattle Design Guidelines	20-21
Landscape Plans/Blank Facade Treatment	22
Reference Images	23

PROJECT ADDRESS: 219 1st Ave N
Seattle, WA 98109

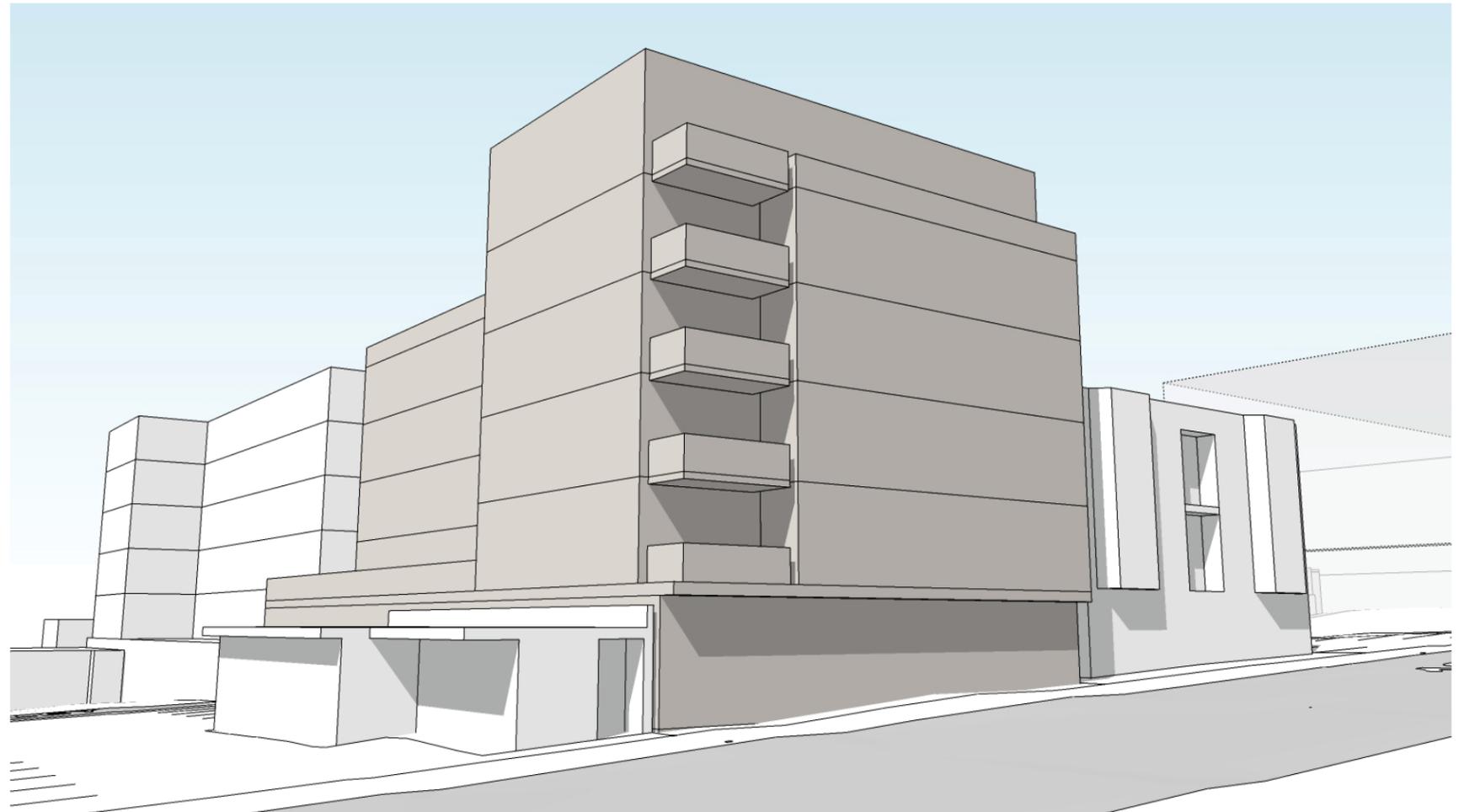
DPD PROJECT NUMBER: 3016745

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DEVELOPMENT OBJECTIVES

The proposed development will create an urban-infill mixed use building with approximately 44 dwelling units and 950 square feet of commercial space. Parking is not required, but some parking (approximately 8 stalls) will be provided within the building on the ground level. Required number of bicycle storage spaces will also be provided.

The structure will follow the topography of the site. Amenity space for the residents will be located on the courtyard level roof above the garage and upper roof-top deck providing outdoor comfort and views of the city.

PROJECT INFORMATION

04.02.2014 Early Design Guidance

219 1ST AVE N | MIXED USE APARTMENT BUILDING | DPD PROJECT # 3016745



SITE DESCRIPTION

The site is located at 219 1st Ave N, just southwest of Key Arena in the Lower Queen Anne neighborhood. It is zoned NC3-65 and is within the Uptown Urban Center in the Uptown Urban Character Area. The site is just a couple of blocks to the west of the Seattle Center and major city destinations such as the Space Needle, Pacific Science Center, Experience Music Project, Seattle Children’s Theater, McCaw Hall, Fischer Pavilion and Memorial Stadium. Myrtle Edwards Park and Olympic Sculpture Park are both located a few blocks southwest of the project site.

The neighborhood is a mix of office, commercial, mixed use and multifamily uses. The site has views of the Puget Sound to the south and west and the Space Needle to the east.

There are currently two existing 1-story buildings on the site, each comprising of one retail use and 3 apartment units. There is a 3-story apartment building to the north and a 1-story commercial building with a surface parking lot to the south. There is a surface parking lot to the east across 1st Ave N. and a 7-story mixed-use residential building to the west across the alley.

The project site slopes down approximately 5 feet from the northeast to the southwest. There are no environmentally critical areas or other natural features on the site.

SITE AREA: 7,191 SF (119.87’ x 59.99’)

ZONING: NC3-65

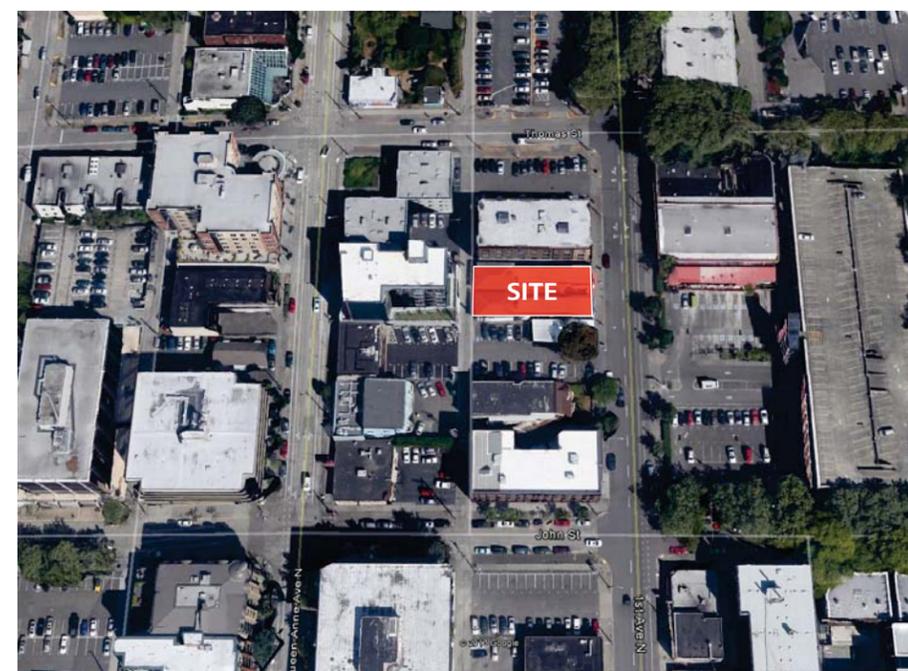
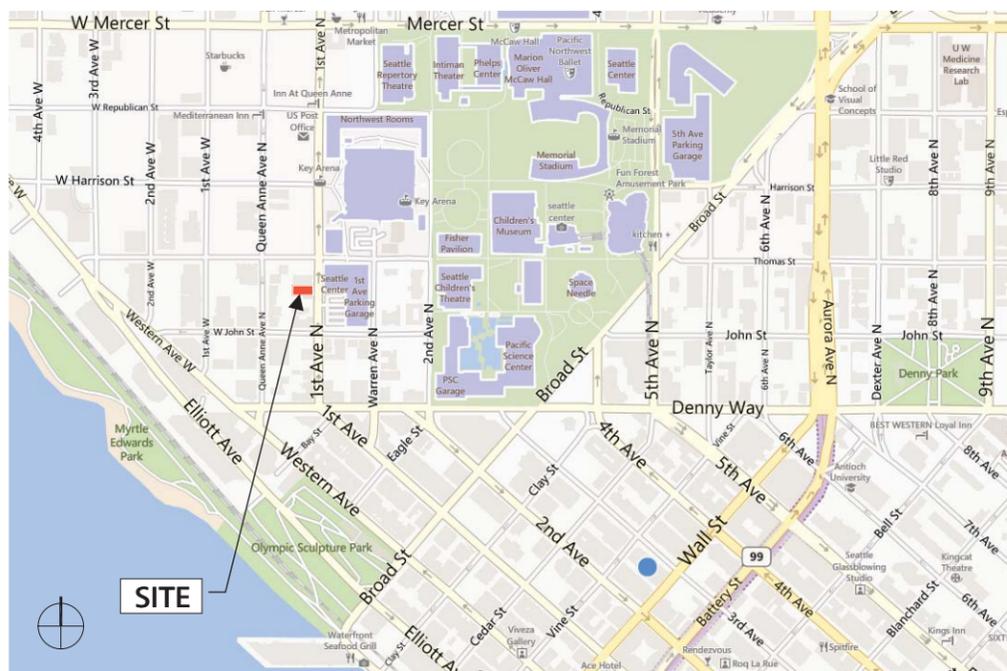
APN: 198920-1260

URBAN VILLAGE: UPTOWN URBAN CENTER
UPTOWN URBAN CHARACTER AREA

FREQUENT TRANSIT: YES

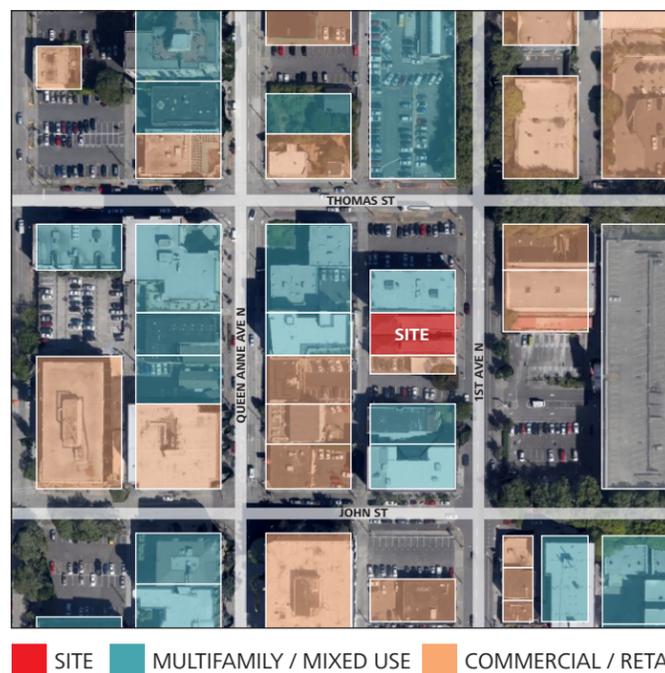
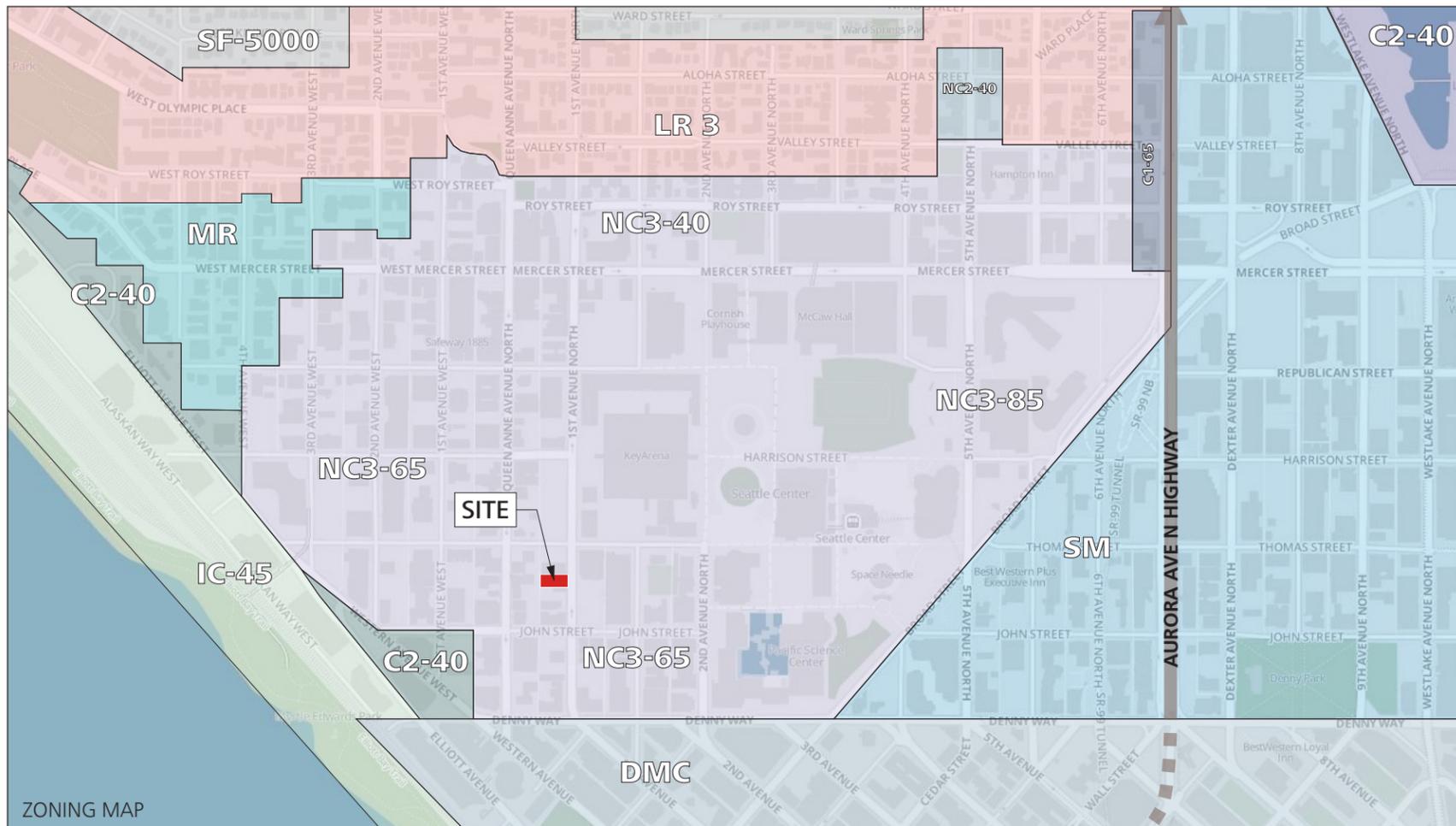
ECA: NO

LEGAL DESCRIPTION: DENNYS D T NORTH SEATTLE ADD
PLAT BLOCK: 27
PLAT LOT: 3



CONTEXT ANALYSIS

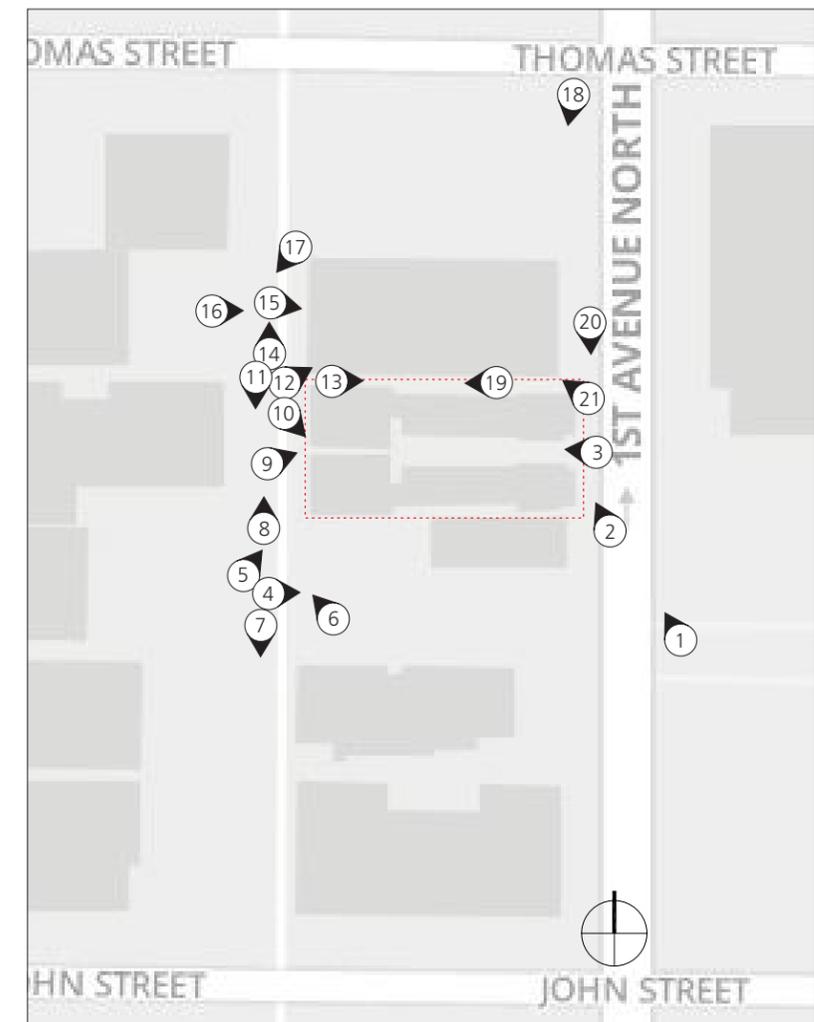


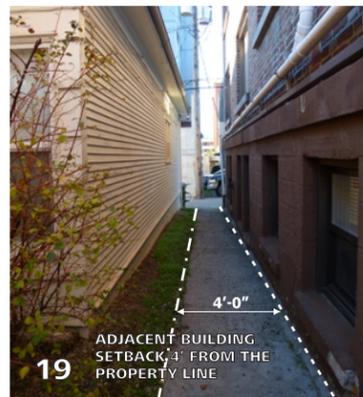
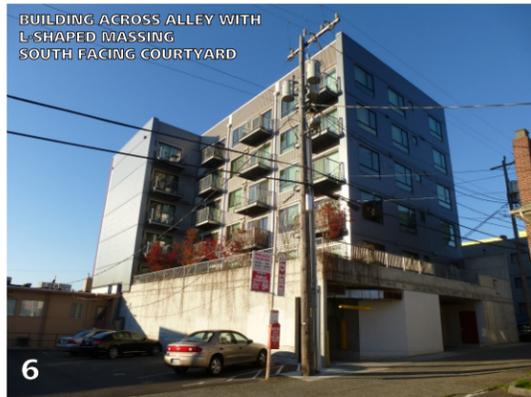


SITE CONSTRAINTS AND OPPORTUNITIES

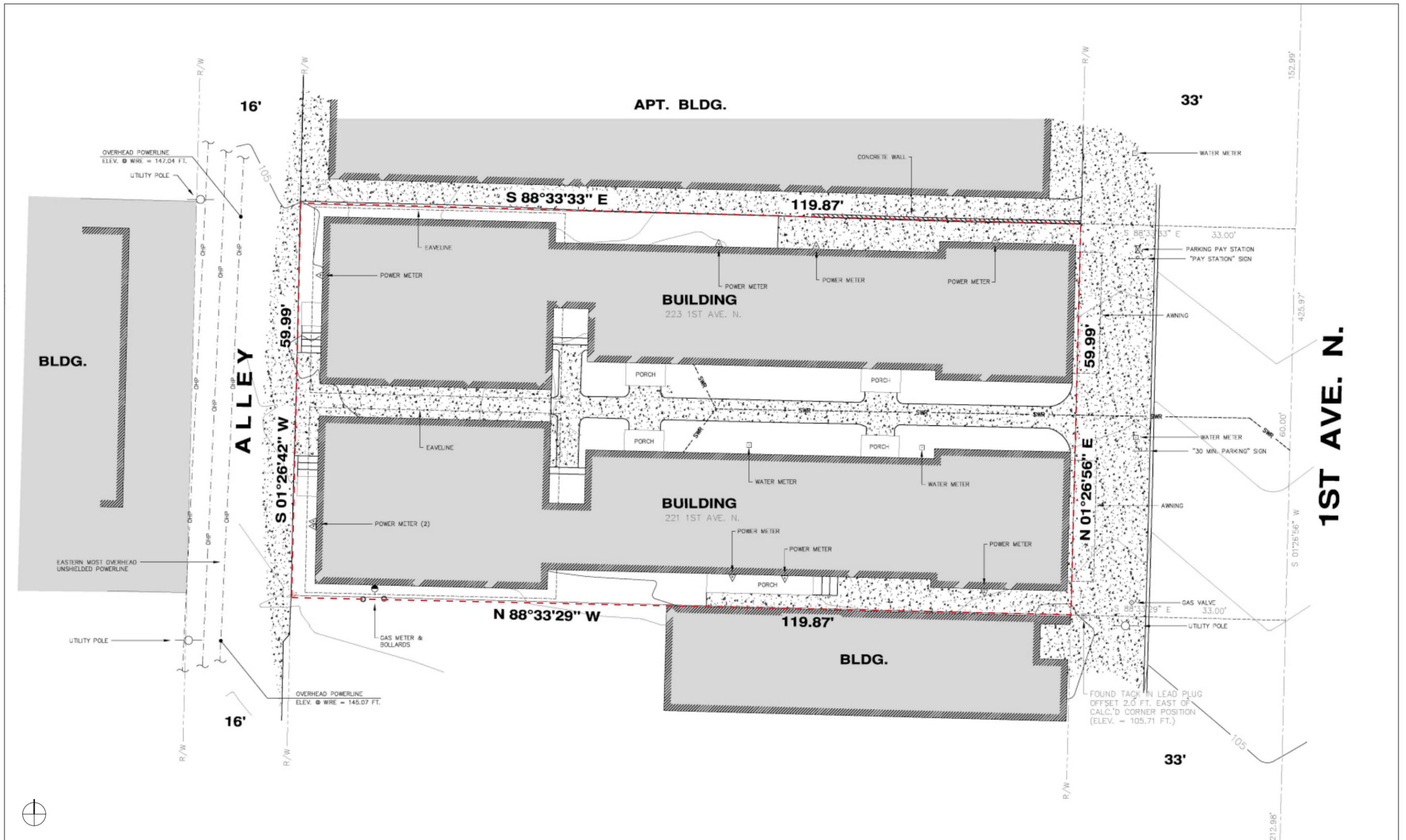
The project site has certain opportunities and constraints that can inform the design of the proposed building.

- 1st Ave N. has a consistent street wall along the property line and is an arterial street that generates a fair amount of pedestrian traffic. (see photo 1, 2 and 20 on page 5)
- The mixed-use building across the alley has an L-shaped massing with a south facing courtyard. (see photo 6 on page 5)
- The adjacent apartment building to the north, the 3-story apartment building (third parcel) to the south and the Pottery Northwest building across the street, all have the ground floor defined by material treatment. (see streetscapes on page 8 & 9)
- The adjacent apartment building to the north is located approximately 4 feet from the property line with windows facing the project site. (see photos 1, 12 13, 19 and 21 on page 5)





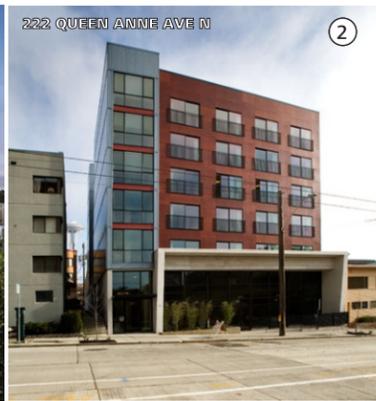
SITE PHOTOS



SURVEY

04.02.2014 Early Design Guidance

219 1ST AVE N | MIXED USE APARTMENT BUILDING | DPD PROJECT # 3016745

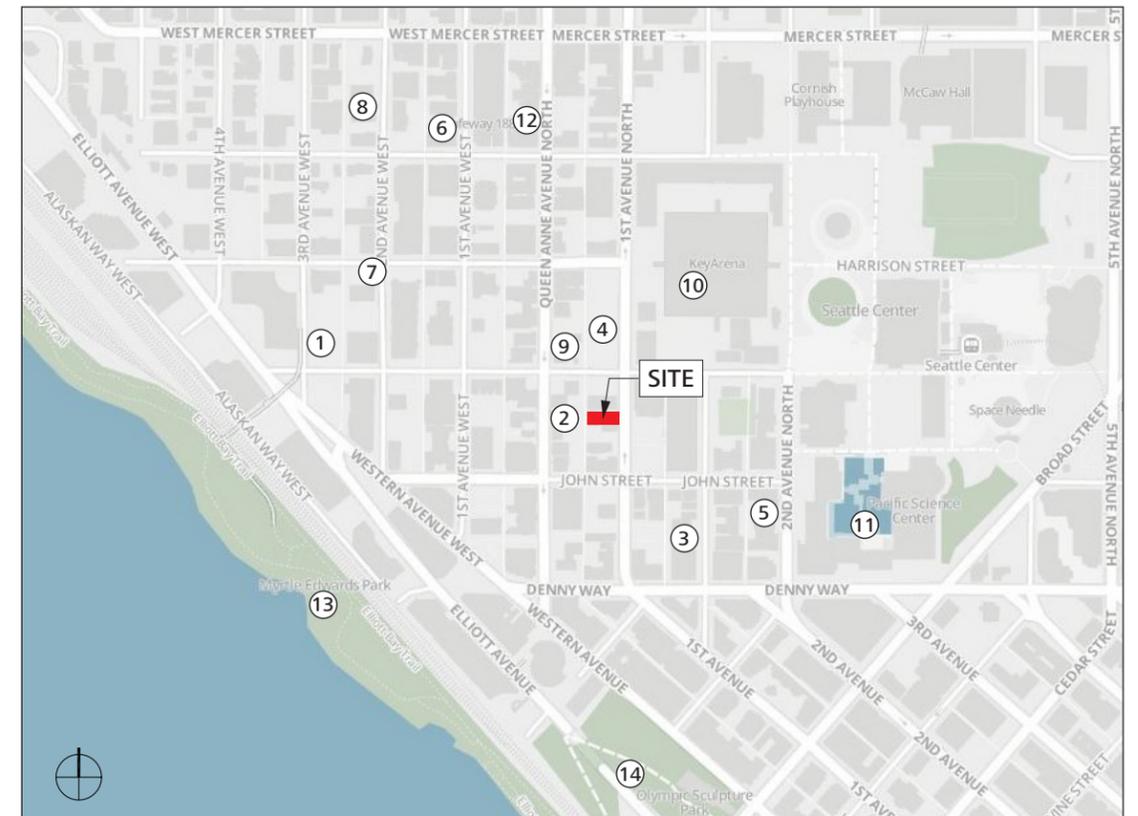


DESIGN CUES FROM OTHER PROJECTS

- Defined and distinct ground floor treatment.
- Transparency at street level with visible entrances; Pedestrian friendly streetfront with wider sidewalks and landscaping.
- Clear articulation of commercial and residential uses.
- Facade treatment using modulation, material, color and texture variation.



OTHER MULTIFAMILY PROJECTS IN THE NEIGHBORHOOD



NOTABLE LANDMARKS

① 1ST AVE NORTH - FACING EAST

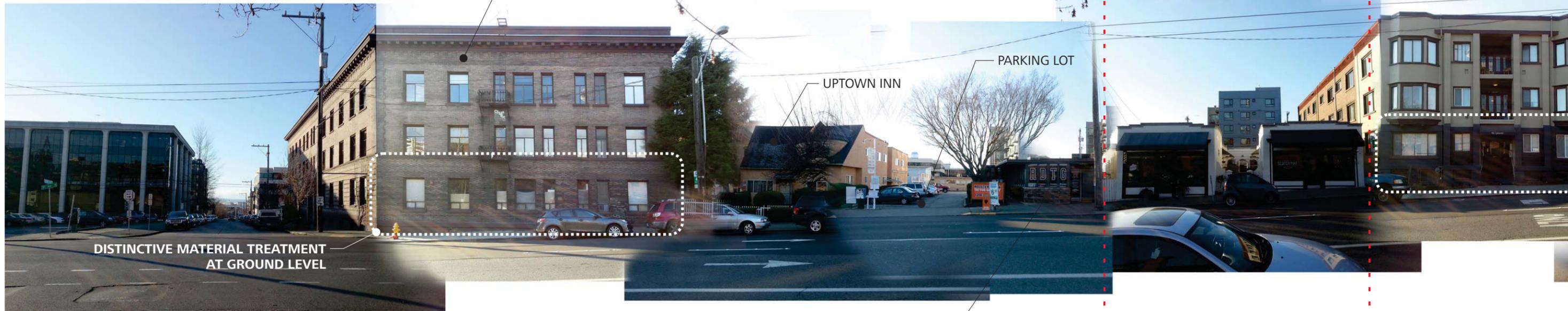


← ACROSS FROM PROJECT SITE →

POTTERY NORTHWEST

DISTINCTIVE MATERIAL TREATMENT AT GROUND LEVEL

② 1ST AVE NORTH - FACING WEST



← PROJECT SITE →

3 STORY APT BUILDING

UPTOWN INN

PARKING LOT

DISTINCTIVE MATERIAL TREATMENT AT GROUND LEVEL

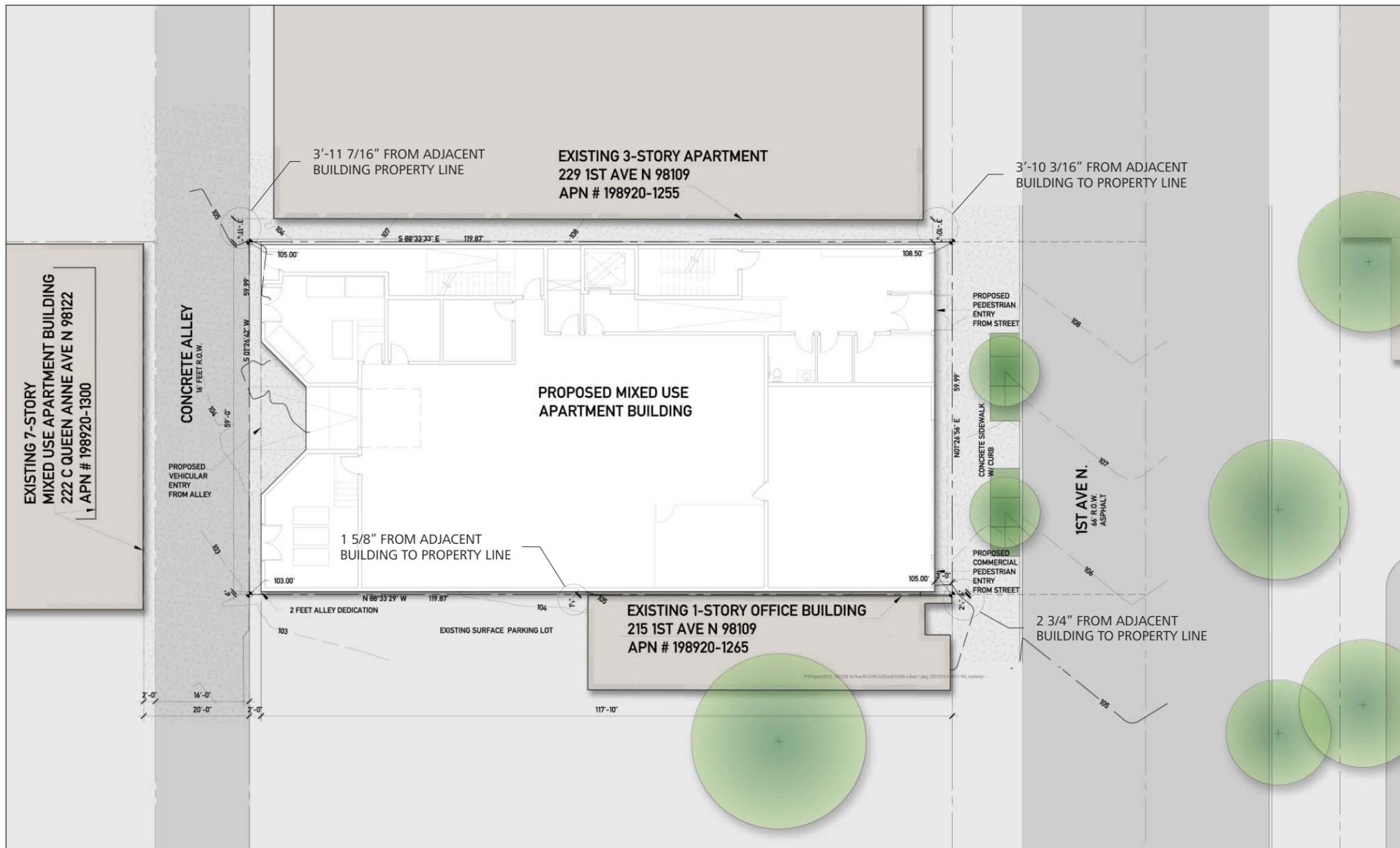
TATTOO PARLOR

STREETSCAPES

04.02.2014 Early Design Guidance

219 1ST AVE N | MIXED USE APARTMENT BUILDING | DPD PROJECT # 3016745

SMC Code Section	SMC Code Description	Compliance/Reference
23.47A.022 - Light and glare standards 23.47A.022.A 23.47A.022.B	Exterior lighting must be shielded and directed away from adjacent uses. Interior lighting in parking garages must be shielded to minimize nighttime glare affecting nearby uses.	Compliant
23.47A.024.A - Amenity Area 23.47A.024.B	Amenity areas are required in an amount equal to 5% of the total gross floor area in residential use, except as otherwise specifically provided in this Chapter 23.47A. Gross floor area, for the purposes of this subsection, excludes areas used for mechanical equipment and accessory parking. Required amenity areas shall meet the following standards, as applicable: 1. All residents shall have access to at least one common or private amenity area; 2. Amenity areas shall not be enclosed; 3. Parking areas, vehicular access easements, and driveways do not count as amenity areas, except that a woonerf may provide a maximum of 50 percent of the amenity area if the design of the woonerf is approved through a design review process pursuant to Chapter 23.41 4. Common amenity areas shall have a minimum horizontal dimension of 10 feet, and no common amenity area shall be less than 250 square feet in size; 5. Private balconies and decks shall have a minimum area of 60 square feet, and no horizontal dimension shall be less than 6 feet. 6. Rooftop areas excluded because they are near minor communication utilities and accessory communication devices, pursuant to Section 23.57.012.C.1.d, do not qualify as amenity areas.	Compliant
23.47A.030 - Required Parking and loading	Off-street parking requirement per 23.54.015. Per Table A and B for required parking For nonresidential uses, except hospitals, in urban centers or the Station Area Overlay District (3) – No requirement. For residential uses within urban centers or within the Station Area Overlay District(1) – No requirement.	
23.54.015.K. - Bicycle Parking	Per Table E, for lots within urban centers - Long-term parking - 1 per 4 dwelling units.	Compliant
23.47A.032.A - Parking location and access 23.47A.032.A.1.a	Access to parking shall be from the alley if the lot abuts an alley.	Compliant
23.54.030.B.1.b - Parking space requirements	For residential uses, when more than five parking spaces are provided, a minimum of 60 percent of the parking spaces shall be striped for medium vehicles. The minimum size for a medium parking space shall also be the maximum size. Forty percent of the parking spaces may be striped for any size, provided that when parking spaces are striped for large vehicles, the minimum required aisle width shall be as shown for medium vehicles.	Compliant
23.54.030.G - Sight triangle	For exit-only driveways and easements, and two way driveways and easements less than 22 feet wide, a sight triangle on both sides of the driveway or easement shall be provided, and shall be kept clear of any obstruction for a distance of 10 feet from the intersection of the driveway or easement with a driveway, easement, sidewalk or curb intersection if there is no sidewalk. The sight triangle shall also be kept clear of obstructions in the vertical spaces between 32 inches and 82 inches from the ground.	Compliant
23.54.040 - Solid waste & recyclable materials storage and access 23.54.030.B 23.54.040.D.1	Per Table A for residential uses with 26 -50 dwelling units - 375 SF of shared storage space. Per Table A for non-residential uses between 0-5,000 SF - 82 SF Mixed use development that contains both residential and nonresidential uses shall meet the storage space requirements shown in Table A for 23.54.040 for residential development, plus 50 percent of the requirement for nonresidential development. In mixed use developments, storage space for garbage may be shared between residential and nonresidential uses, but separate spaces for recycling shall be provided. For developments with 9 dwelling units or more, the minimum horizontal dimension of required storage space is 12 feet.	



DEPARTURES REQUESTED

- SMC 23.47.008.B.3 - Non-residential use average depth
Reduction from 30 feet to 28 feet to allow for a wider sidewalk.
- SMC 23.47A.005.C Residential Uses at Street Level - Maximum 20% residential use for the street level street facing facade. Allow residential use to occupy approx. 41% of the street facade; 20% would limit the residential use to one entry and one code required egress.

A

DEPARTURES REQUESTED

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B

DEPARTURES REQUESTED

None

C

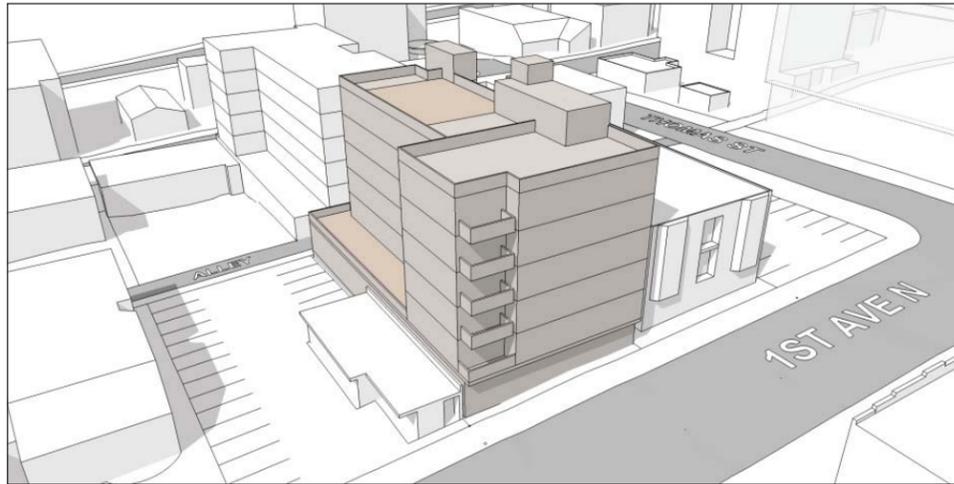
RATIONALE FOR REQUESTED DESIGN DEPARTURES

- 1. Non-residential use average depth**
Reducing the depth of the commercial space allows for the provision of a wider sidewalk and landscaping thus increasing pedestrian volume, comfort and safety. It also allows for better articulation of the ground floor of the building in relation to the upper floors and prevents alcoved entrances.
(Applicable Design Guidelines - CS2 - Urban Pattern and Form, PL2 - Walkability, PL3 - Street Level Interaction, and DC2 - Architectural Concept)
- 2. Max. 20% residential use at street level street-facing facade**
Increasing the percentage of residential use allows for the provision of an inviting residential entry with a lobby facing the street, thus increasing human interaction, safety and visibility. Limiting the residential use to 20% only allows for the bare minimum code required egress doors on the street facade.
(Applicable Design Guidelines - CS2 - Urban Pattern and Form, PL2 - Walkability, PL3 - Street Level Interaction and DC1 - Project Uses and Activities)

SITE PLAN

04.02.2014 Early Design Guidance
219 1ST AVE N | MIXED USE APARTMENT BUILDING | DPD PROJECT # 3016745

A



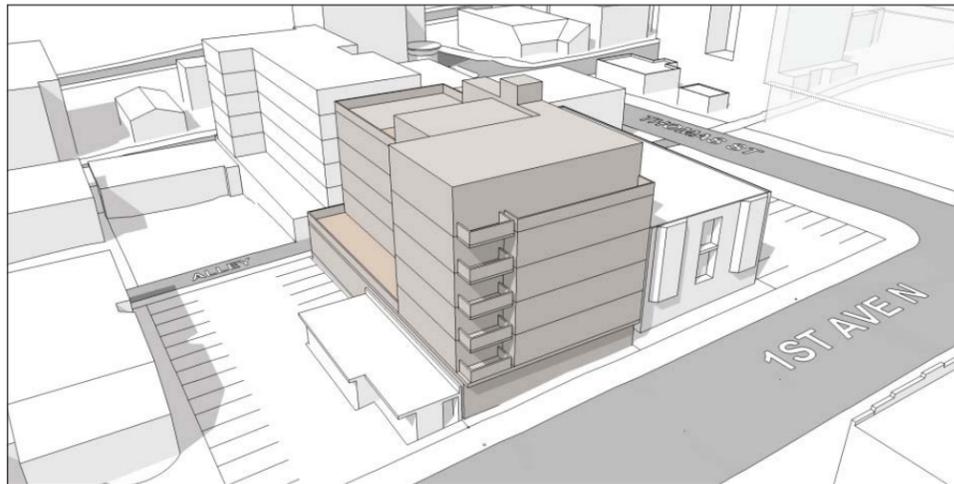
Unit Count:	45
FAR CALCULATION	
Parking/lobby	5,454 SF
Typical floor	4,877 *5 = 24,385 SF (5 stories)
Roof	661 SF
Total Residential FAR	30,500 SF (4.24)
Allowable Residential FAR	30,561.75 SF (4.25)
Commercial FAR	955 SF
Total Mixed Use FAR	31,455 SF (4.37)
Allowable Mixed Use FAR	34,157.25 SF (4.75)
Required Amenity Area provided at Courtyard & Roof level	

PROS
 Simple and clean massing.
 South facing courtyard for better solar exposure.
 Unit orientation increases privacy for both, units in the building and units in the adjacent north apartment building.
 Sets back approx. 5 feet from the west property line above the ground floor.
 Sets back (above the ground floor) approx. 9' from the north property line for a span of approx. 33' along north facade.
 These setbacks allow for more light access to the units in the adjacent north apartment building.

CONS
 More units face the side lot line to the south vs. the alley or the street. These units facing the side lot line will be impacted if future development occurs on the parcel to the south.

PREFERRED OPTION

B



Unit Count:	44
FAR CALCULATION	
Parking/lobby	5,577 SF
Typical floor	5,467 *2 = 10,934 SF 5,407 *2 = 10,814 SF (4 stories)
Roof / 5th story	3,233 SF
Total Residential FAR	30,558 SF (4.25)
Allowable Residential FAR	30,561.75 SF (4.25)
Commercial FAR	955 SF
Total Mixed Use FAR	31,513 SF (4.38)
Allowable Mixed Use FAR	34,157.25 SF (4.75)
Required Amenity Area provided at Courtyard & Roof level	

PROS
 Interesting massing.
 South facing courtyard for better solar exposure.
 Maximizes views.
 Eliminates additional roof level.
 Unit orientation increases privacy for both, units in the building and units in the adjacent north apartment building.
 Reduces building height towards alley
 Reduces impact of building height towards the street as the upper story is setback.
 Reduces the impact of building height towards the adjacent north apartment building.

CONS
 Linear long blank facade at north property line with minimal modulation. This reduces light for the units in the adjacent north apartment building.

CODE COMPLIANT OPTION

C



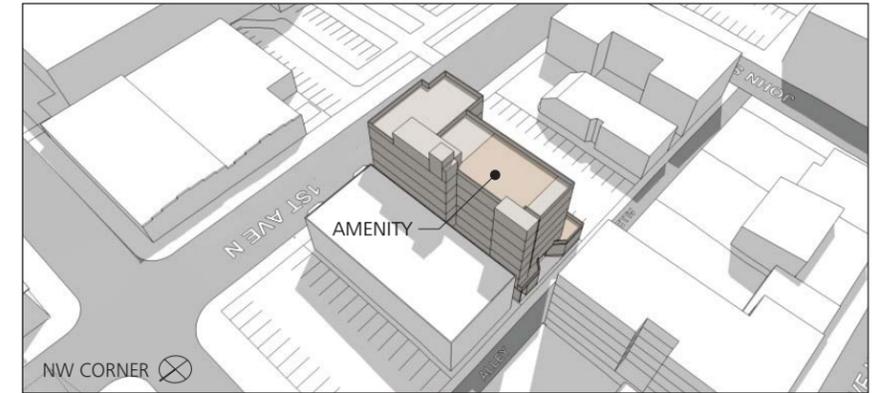
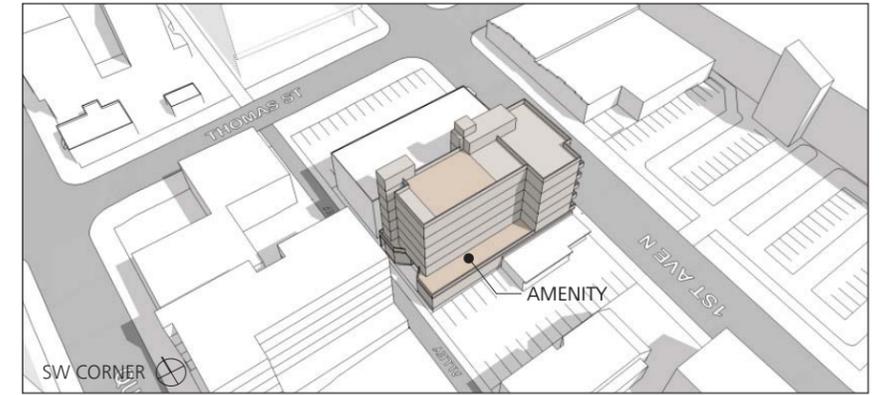
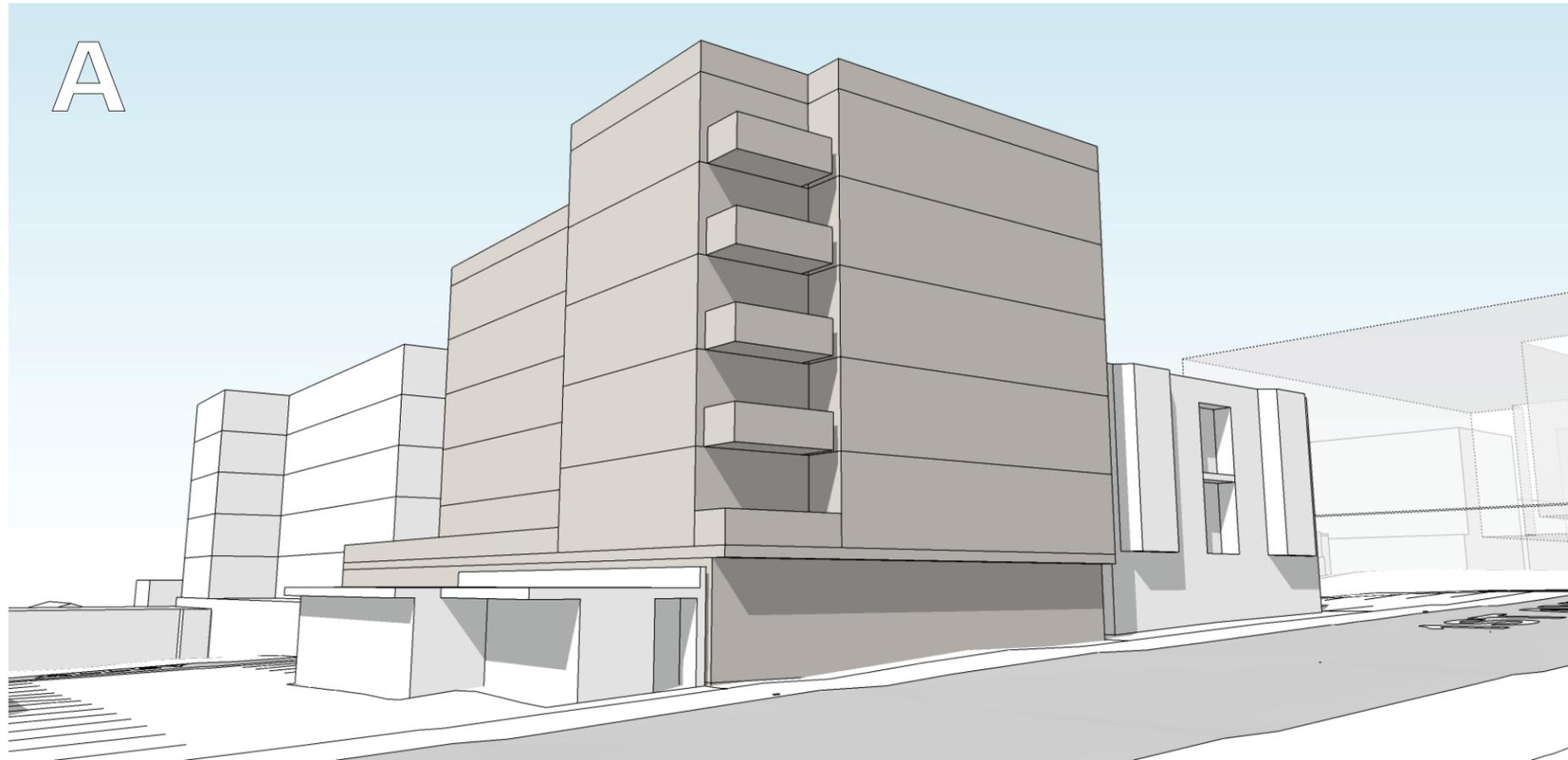
Unit Count:	50
FAR CALCULATION	
Parking/lobby	5,080 SF
Typical floor	4,948 *5 + 42 = 24,782 SF (5 stories)
Roof	527 SF
Total Residential FAR	30,389 SF (4.23)
Allowable Residential FAR	30,561.75 SF (4.25)
Commercial FAR	1,458 SF
Total Mixed Use FAR	31,847 SF (4.43)
Allowable Mixed Use FAR	34,157.25 SF (4.75)
Required Amenity Area provided at Courtyard & Roof level	

PROS
 Maximizes unit count.
 South facing courtyard for better solar exposure.
 Unit orientation increases privacy for both, units in the building and units in the adjacent north apartment building.
 Sets back approx. 17 feet from the west property line above the ground floor.
 Sets back (above the ground floor) approx. 9' from the north property line for a total span of approx. 12' along north facade.
 These setbacks allow for more light access to the units in the adjacent north apartment building.

CONS
 Dense unit configuration
 Interior units have a courtyard enclosed on three (potentially four) sides.
 No residential lobby facing the street.

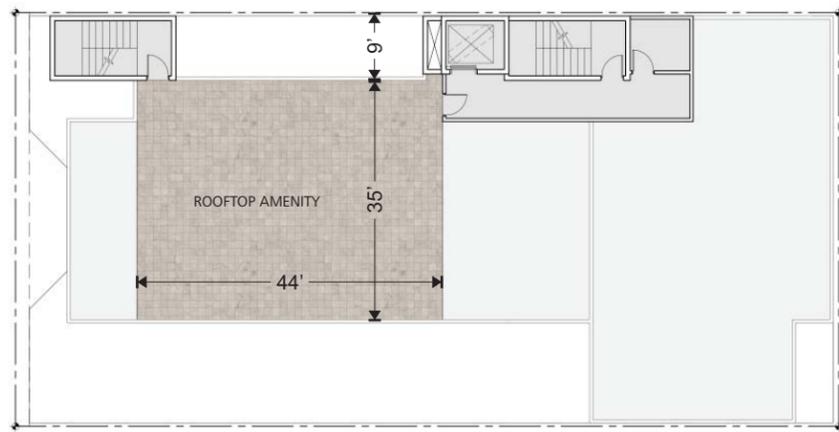
OPTION COMPARISON



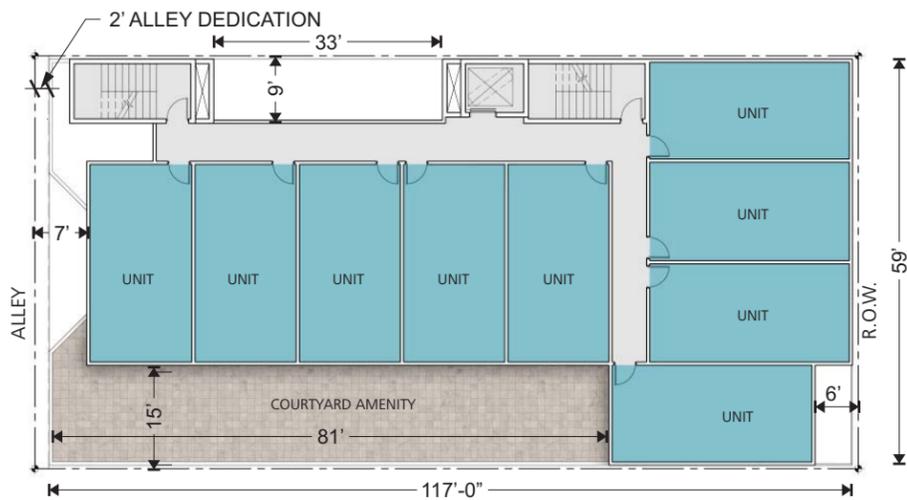


MASSING OPTION A

04.02.2014 Early Design Guidance
 219 1ST AVE N | MIXED USE APARTMENT BUILDING | DPD PROJECT # 3016745



ROOF LEVEL



TYPICAL FLOOR



GROUND LEVEL

- COMMERCIAL
- RESIDENTIAL
- GARAGE
- LEASING
- BACK OF HOUSE



3/21 9AM



3/21 12PM



3/21 3PM



6/21 9AM



6/21 12PM



6/21 3PM



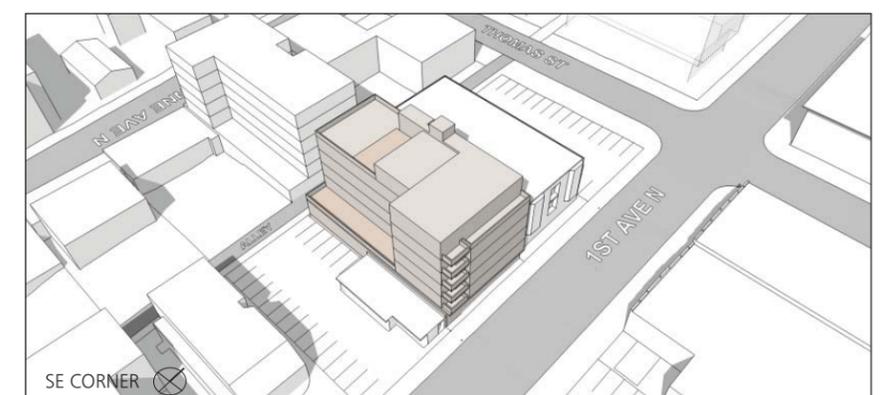
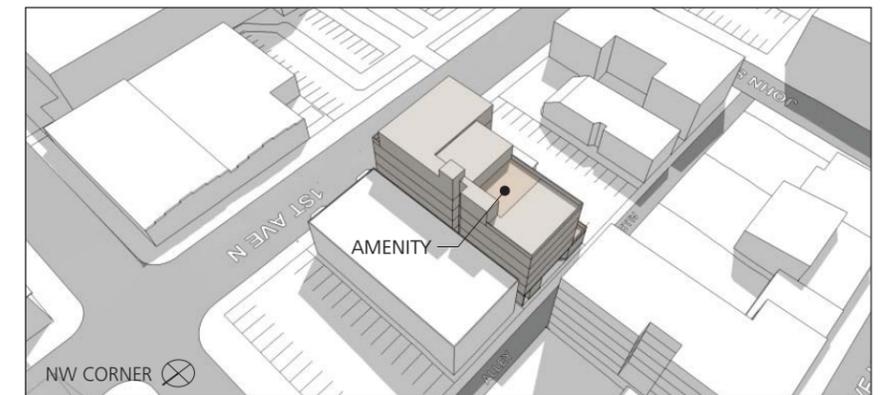
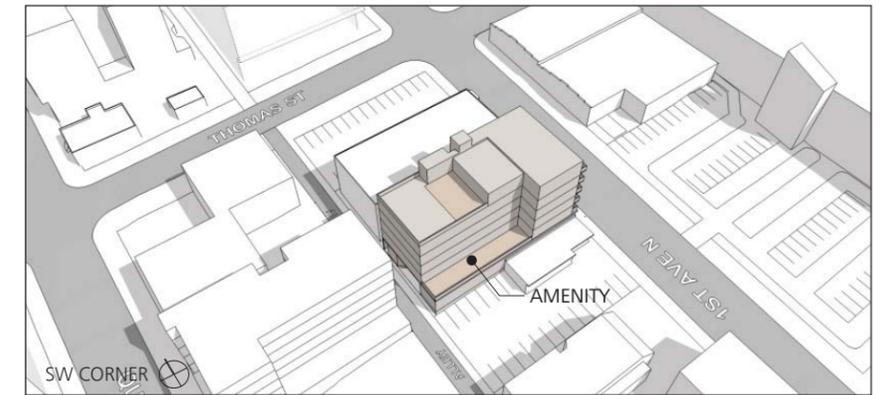
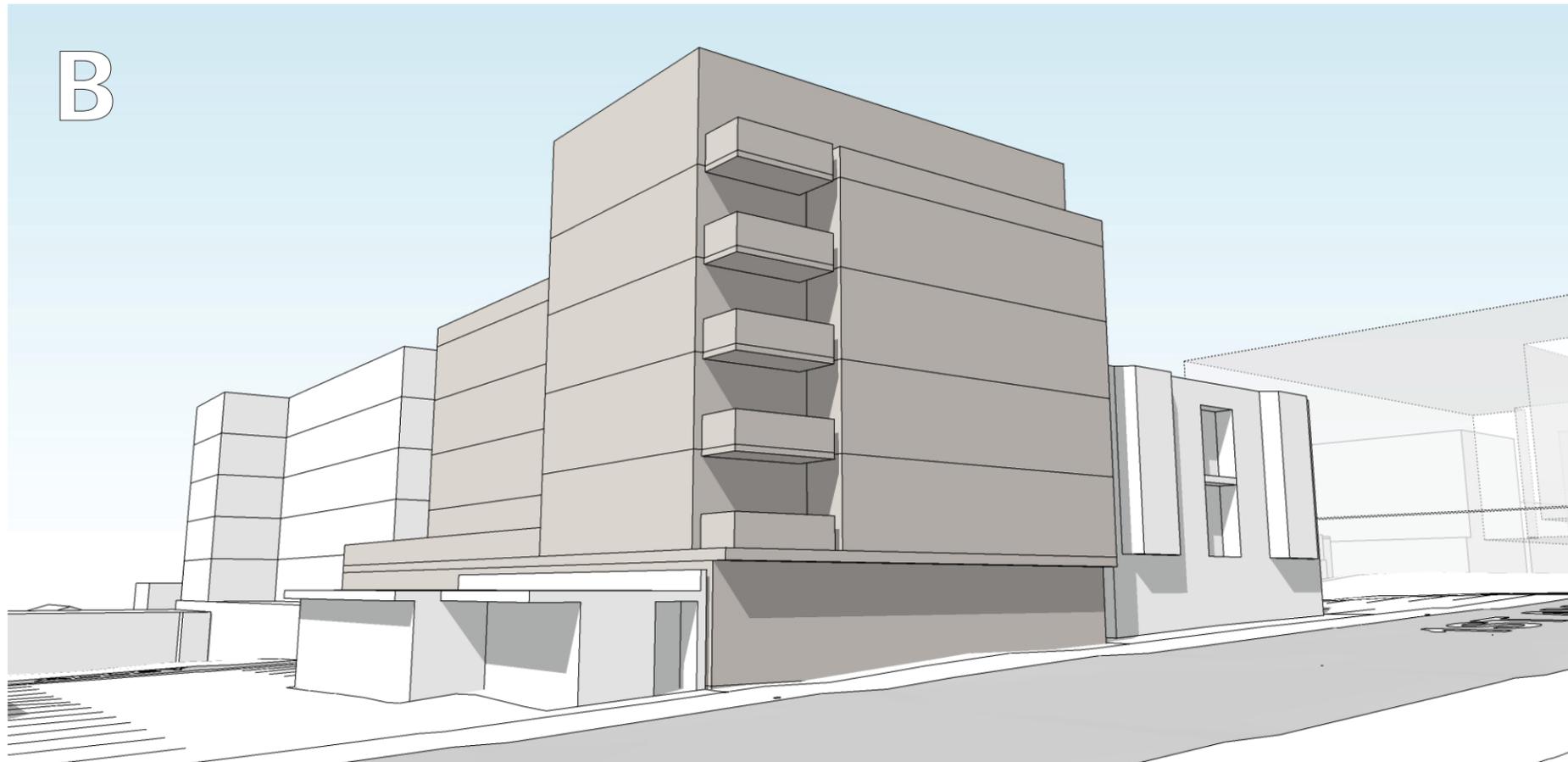
12/21 9AM



12/21 12PM



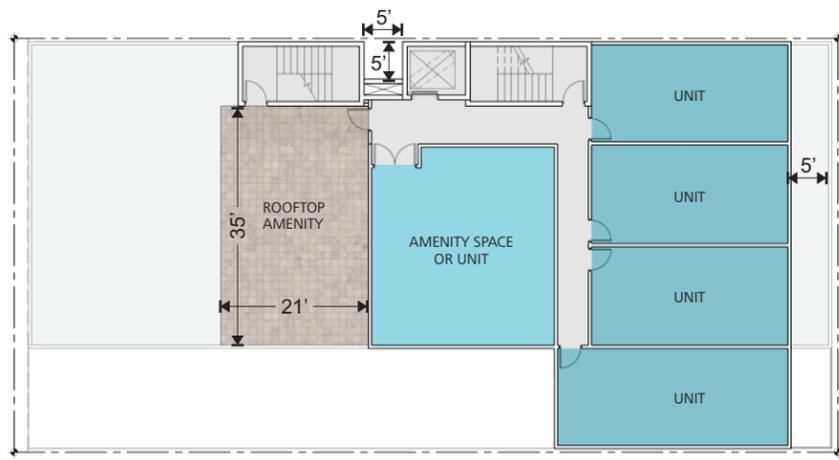
12/21 3PM



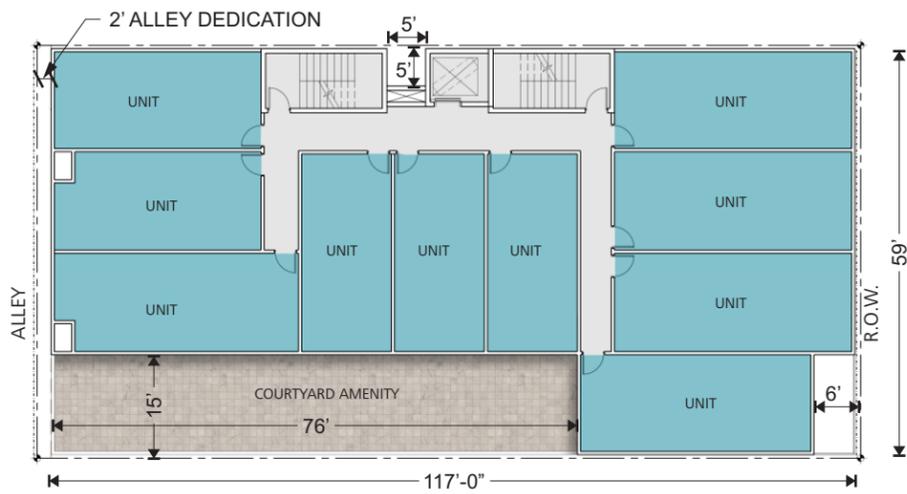
MASSING OPTION B

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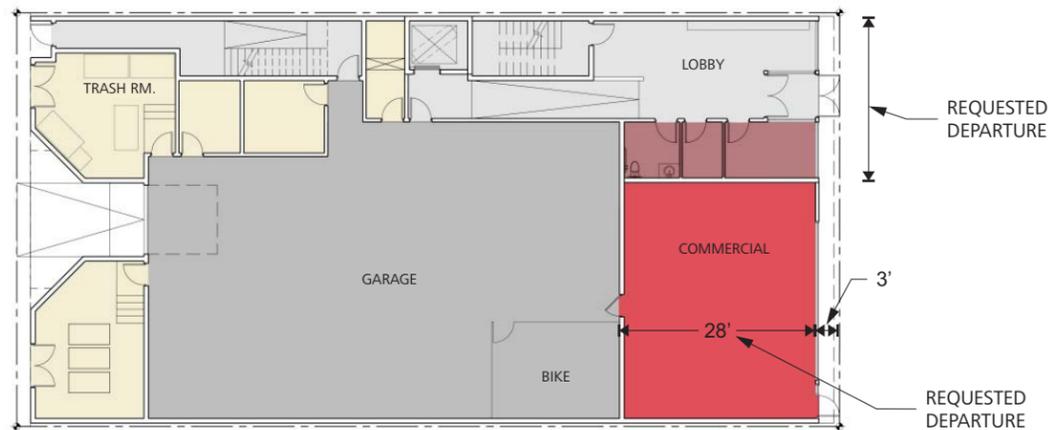
219 1ST AVE N | MIXED USE APARTMENT BUILDING | DPD PROJECT # 3016745



ROOF LEVEL



TYPICAL FLOOR



GROUND LEVEL



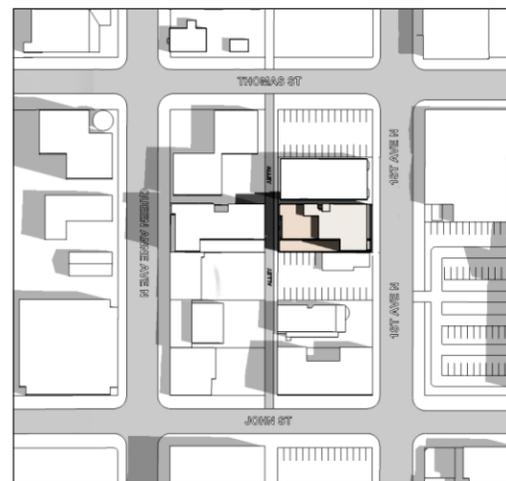
3/21 9AM



3/21 12PM



3/21 3PM



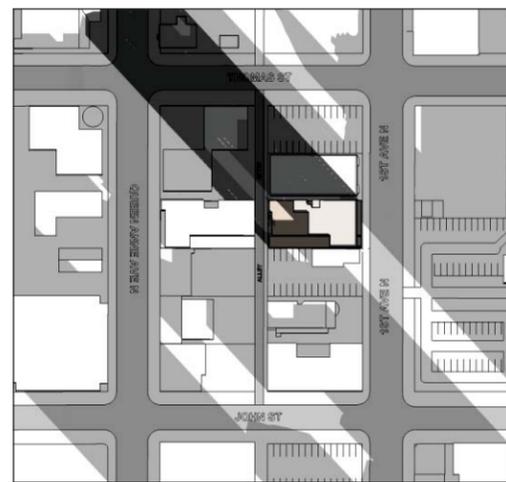
6/21 9AM



6/21 12PM



6/21 3PM



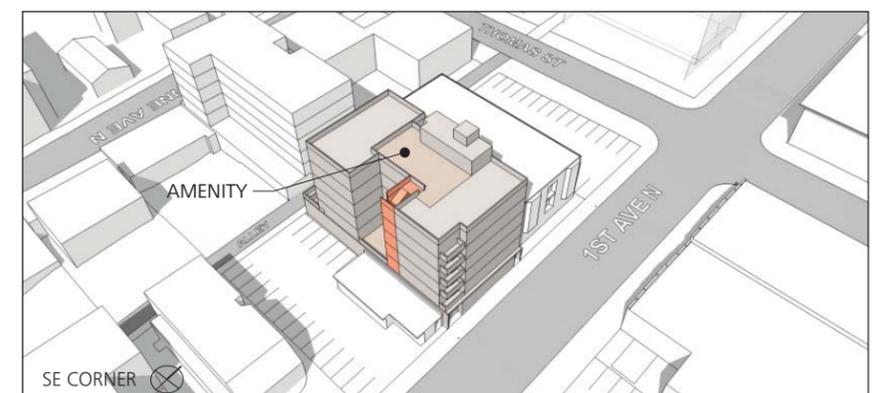
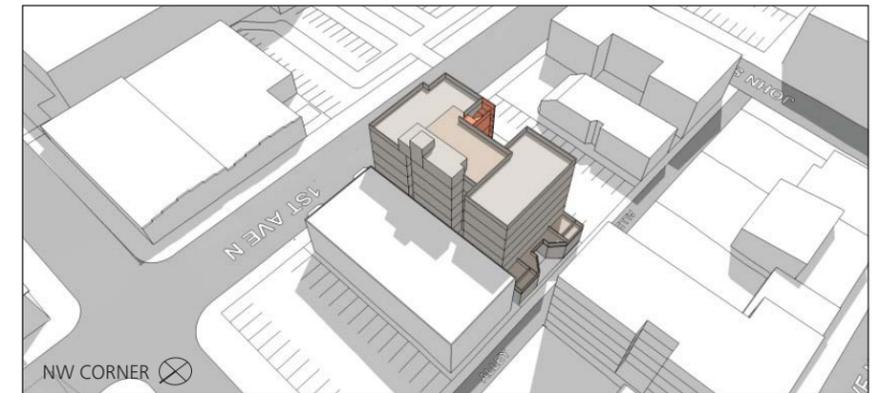
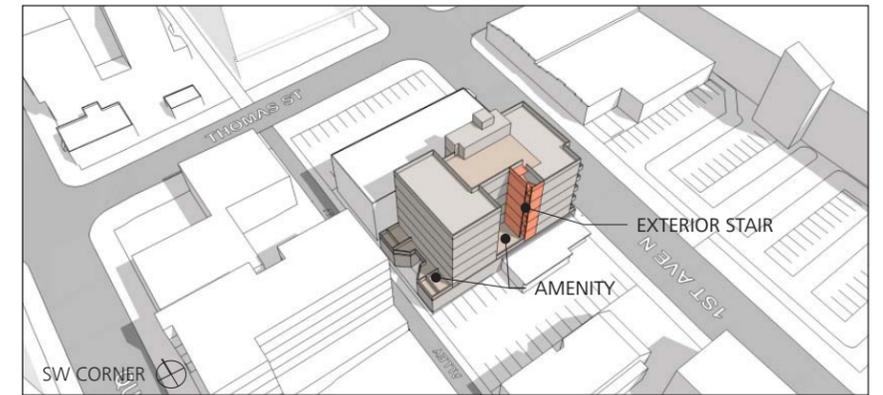
12/21 9AM



12/21 12PM



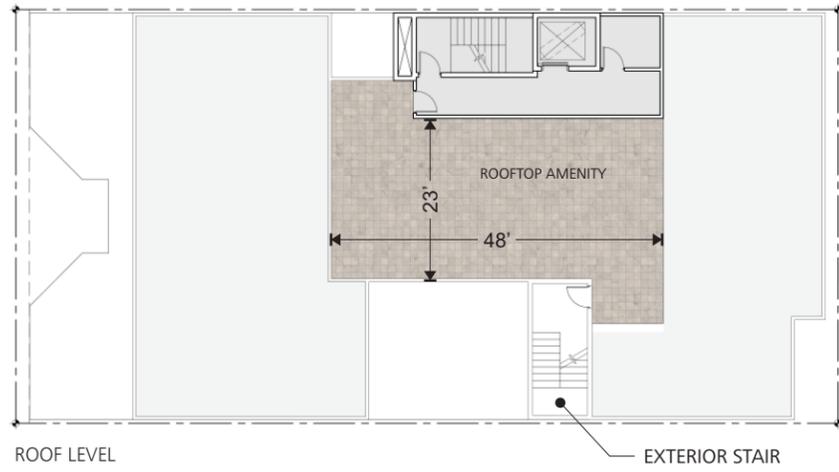
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MASSING OPTION C

04.02.2014 Early Design Guidance

219 1ST AVE N | MIXED USE APARTMENT BUILDING | DPD PROJECT # 3016745



ROOF LEVEL



3/21 9AM



3/21 12PM



3/21 3PM



6/21 9AM



6/21 12PM



6/21 3PM



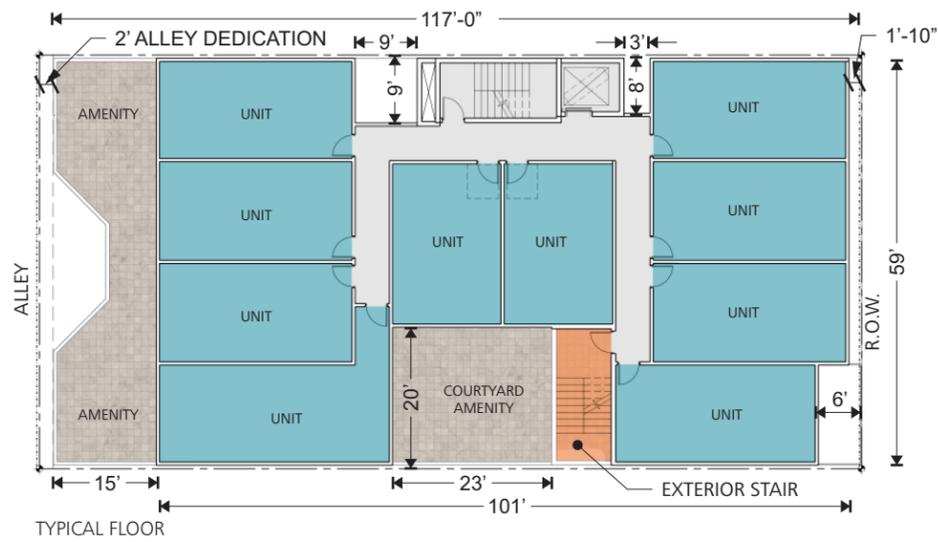
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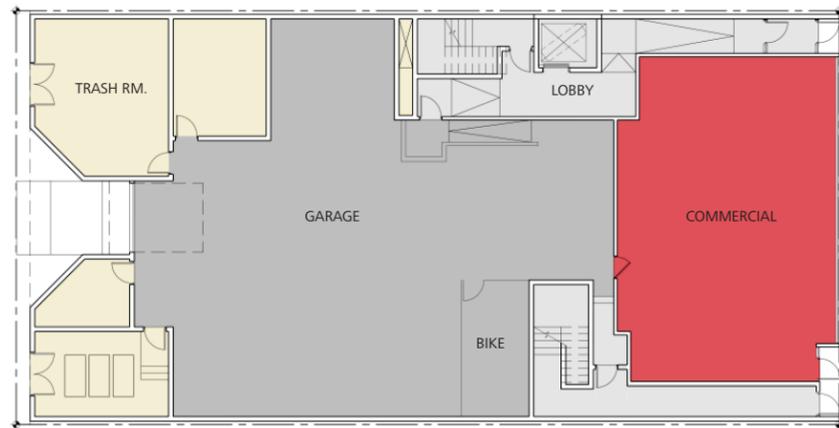
12/21 12PM



12/21 3PM



TYPICAL FLOOR



GROUND LEVEL



CONTEXT AND SITE

CS1: Natural Systems and Site Features

The project site slopes down approximately 5 feet from the northeast to the southwest. The proposed design follows the topography of the site by locating the commercial and residential entrances to match grade elevations at the street and the parking garage and service areas to have access from the lower grades on the alley side.

There are no environmentally critical areas or significant natural features on site.

The building's design and massing maximizes solar exposure and views to the units by providing a south facing courtyard above the parking garage. Units oriented towards the south and west have views of Puget Sound and those facing east have views of the Space Needle.

CONTEXT AND SITE

CS2: Urban Pattern and Form

D: Height, Bulk and Scale

5. Respect for Adjacent Sites:

The adjacent zoning surrounding the property is the same as the project site, i.e. NC3-65. The proposed design utilizes the development potential of the property based on the zoning. It corresponds to the scale of the mixed use building across the alley to the west and the apartment building to the north. It uses the entire depth of the site similar to these buildings adjacent to the project site. It also has an L-shaped massing consistent with the massing of the mixed use building across the alley.

The adjacent apartment building located approximately 4 feet to the north of the project site has dwelling units with windows facing the project site. The proposed design attempts to maintain privacy for these units by orienting the dwelling units in the project such that they do not face the existing building. The proposed massing design lowers the height of the building towards the alley.

Blank walls facing adjacent buildings to the north and south will be designed to provide visual interest using material, texture and color variation. Some examples of blank wall treatment have been included on page 22.

CONTEXT AND SITE

CS2: Urban Pattern and Form
Uptown Supplemental Guidance

II: Streetscape Compatibility

The design proposes to a wider sidewalk with landscaping to encourage pedestrian use and volume. The commercial space and residential lobby are directly accessed and oriented towards the street to create a safe and inviting pedestrian experience. The design emphasizes an urban character by locating the building in close proximity to the street, creating a street wall. The ground floor of the building is clearly defined in relationship to the upper floors, similar to the neighboring buildings on the street.

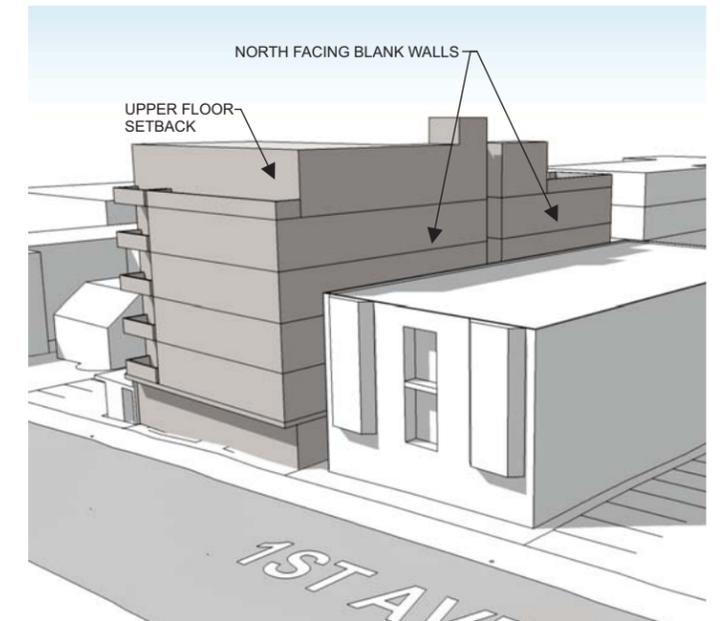
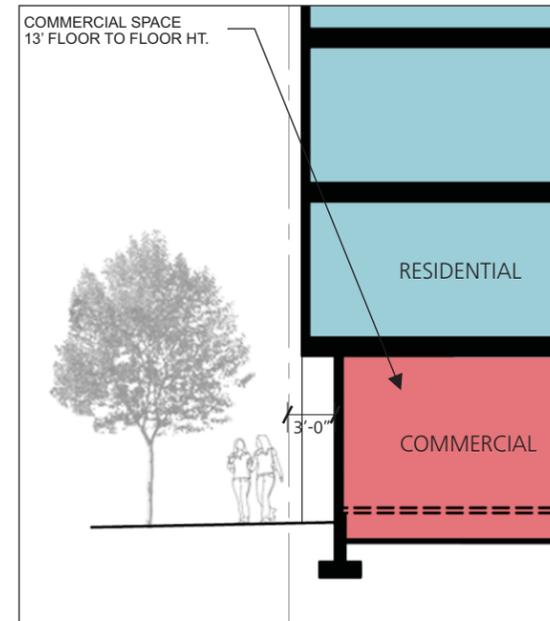
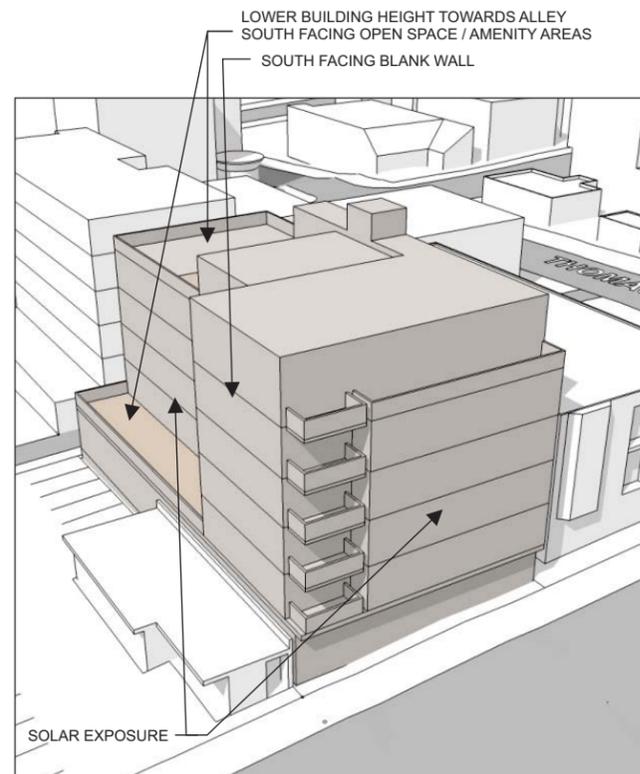
CONTEXT AND SITE

CS3: Architectural Context and Character

A: Emphasizing Positive Neighborhood Attributes

2: Contemporary Design

The existing properties around the site vary in architectural style, age, scale and character. The proposed design complements this amalgam by expressing a contemporary urban style. It also responds to the proportions of the adjacent buildings to the north and west using facade modulation, material and color variation.



PUBLIC LIFE

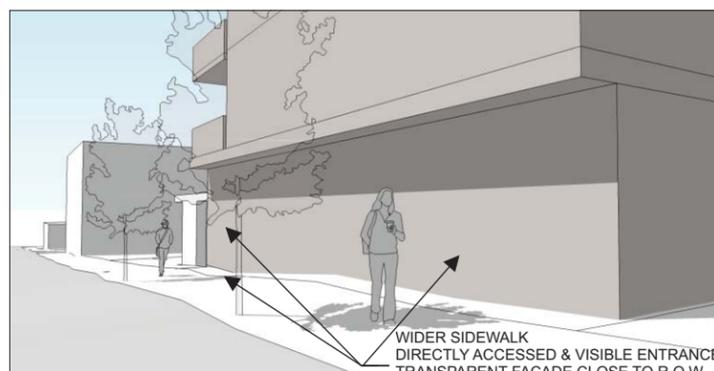
PL2: Walkability

Uptown Supplemental Guidance

I: Entrances Visible from the Street

PL3: Street-Level Interaction

The proposed design fosters human interaction and activity by allowing for a wider sidewalk and providing clearly visible, separate, recessed entrances to the residential and commercial uses in the building that are directly accessed from the sidewalk. The proposed design incorporates features such as a glazed storefront system, lighting, signage, landscaping and street trees to promote transparency, visibility, security, and human comfort. A wider sidewalk will also allow for increased pedestrian volume anticipated in areas around the Seattle Center.



DESIGN CONCEPT

DC1: Project Uses and Activities

Uptown Supplemental Guidance

I: Parking and Vehicle Access

Parking is located in the rear of the building in an enclosed garage that is accessed from the alley. It has no visual impact on adjacent properties and is not visible from the street.

DESIGN CONCEPT

DC1: Project Uses and Activities

Uptown Supplemental Guidance

II: Blank Walls

DC2: Architectural Concept

B: Architectural and Facade Composition

2. Blank Walls

The design minimizes blank walls on the street facade to encourage pedestrian comfort and interest. Blank walls facing the north and south side lot lines will be designed to provide visual interest using material, texture and color variation. Some examples of blank wall treatment have been included on page 22.

DESIGN CONCEPT

DC1: Project Uses and Activities
Uptown Supplemental Guidance

V: Visual Impact of Parking Structures

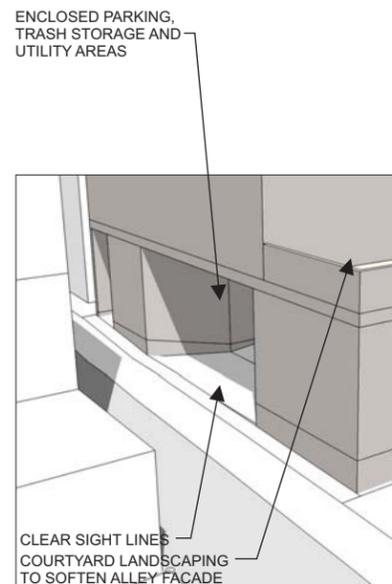
Parking is located at the rear of the building in an enclosed garage that is accessed from the alley. It has no visual impact on adjacent properties and is not visible from the street.

DESIGN CONCEPT

DC1: Project Uses and Activities
Uptown Supplemental Guidance

VI: Treatment of Alleys

The design allocates a separate area within the building for trash storage, utilities and service areas, all of which will be accessed from the alley. All ingress/egress points from the alley will include effective lighting. Sight triangles will be incorporated to encourage clear lines of sight, personal safety and security.



DESIGN CONCEPT

DC1: Project Uses and Activities
A: Arrangement of Interior Uses

Primary building entrances are directly facing the street. The residential lobby and commercial space form the ground level street facade. Dwelling units and open space on the courtyard level above the garage as well as the upper roof are oriented to maximize solar exposure and views towards Puget Sound and the Seattle Center. Enclosed parking is accessed from the alley to eliminate visibility from the street.

B: Vehicular Access and Circulation
C: Parking and Service Uses

All vehicular access will be limited to the alley and the sidewalk will be solely for pedestrian use. Pedestrian egress towards the alley is segregated from the vehicular ingress/egress location. Parking, utility and service areas are all enclosed within the building and accessed from the alley with no visibility from the pedestrian streetfront.

DESIGN CONCEPT

DC2: Architectural Concept
Uptown Supplemental Guidance

I: Architectural Context

The proposed design embraces urban infill that is encouraged in the Uptown Urban character area by building close to the street R.O.W. forming a street wall, engaging the sidewalk, maximizing transparent glazing and clearly articulating the residential and commercial components. The ground floor of the building is clearly defined in relationship to the upper floors, similar to the neighboring buildings on the street.

DESIGN CONCEPT

DC2: Architectural Concept
Uptown Supplemental Guidance

II: Architectural Concept and Consistency

The design will distinctly highlight the residential and commercial components of the building using facade articulation and varying proportions, fenestration patterns, colors, textures and exterior finish materials.

It uses various architectural methods to unify the building appearance such as facade materials and colors, balconies/decks, canopies, glazing proportions and building modulation.

DESIGN CONCEPT

DC2: Architectural Concept
A: Massing

2. Reduced Perceived Mass

C. Secondary Architectural Features

1. Visual Depth and Interest

2. Dual Purpose Elements

D. Scale and Texture

1. Human Scale

Uptown Supplemental Guidance

III: Human Scale

Balconies, facade modulation, exterior building lighting, signage, exterior material treatment and street trees add visual depth and break up the mass of the street-facing facade and minimize the impact of the scale of the building at the street level. Glazing and doorways are also proportioned to have a human scale.

Further, the proposed massing reduces the impact of the building height by setting back the upper story from the street with private decks and eliminating an additional floor for the upper rooftop deck.

DESIGN CONCEPT

DC3: Open Space Concept
B: Open Space Uses and Activities

4: Multifamily Open Space

C: Design

2: Amenities and Features

Uptown Supplemental Guidance

II: Landscape to Enhance the Building and/or site

Landscaping and street trees are proposed to be located along the sidewalk. Landscaping including paved areas, green roof, planters and privacy screens will be part of the open space/amenity area design for improved outdoor comfort. The amenity areas will include smaller private areas on the lower courtyard level above the garage and a larger common area on the upper rooftop level. See conceptual landscape plans on page 22.

DESIGN CONCEPT

DC4: Exterior Elements and Finishes
A: Building Materials

1: Exterior Finish Materials

Uptown Supplemental Guidance

II: Exterior Finish Materials

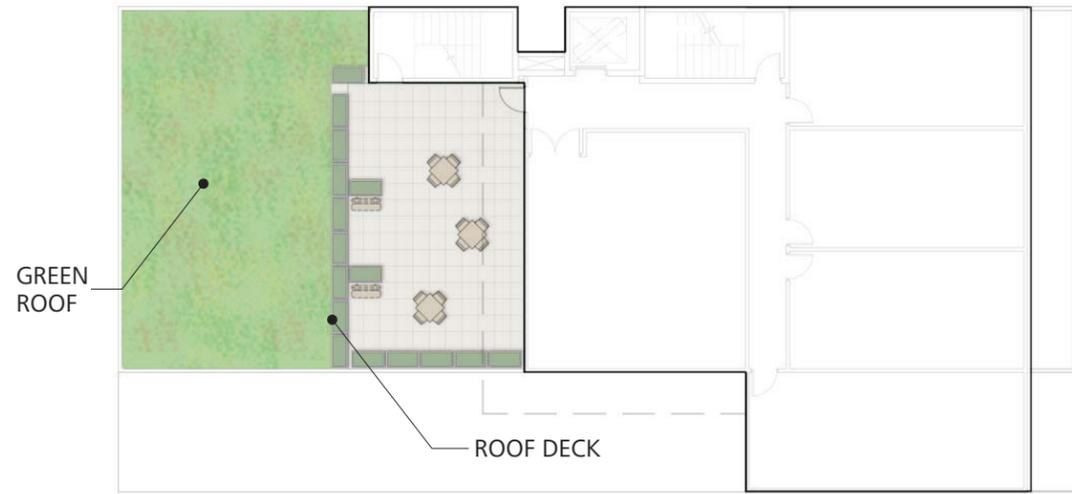
The building will include durable exterior materials, colors and design features to create well-composed facades and a cohesive architectural appearance.

DESIGN CONCEPT

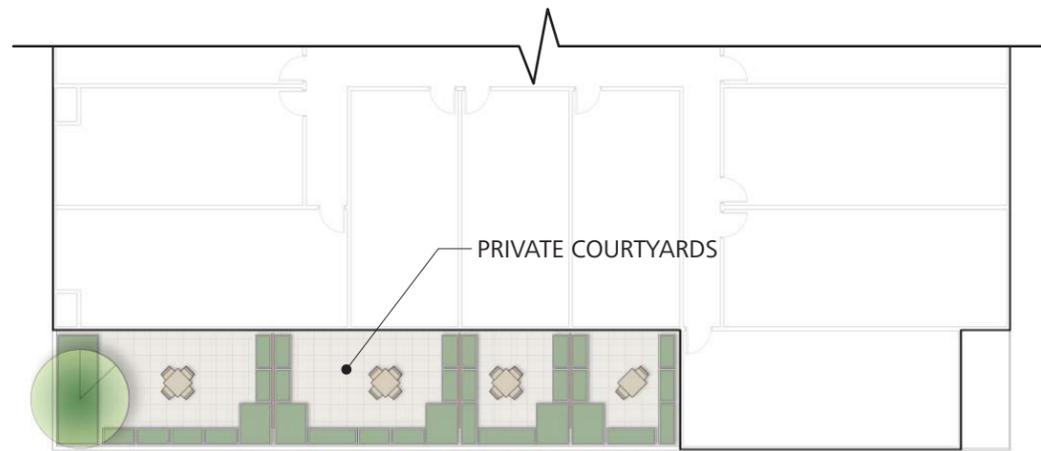
DC4: Exterior Elements and Finishes
C: Lighting

1: Functions

The use of glazing and exterior building lighting increase visibility and security.



⊕
ROOF LEVEL



⊕
COURTYARD LEVEL



⊕
STREET LEVEL

LANDSCAPE PLANS - PREFERRED OPTION



306 Queen Anne Ave N



3601 Greenwood Ave NE



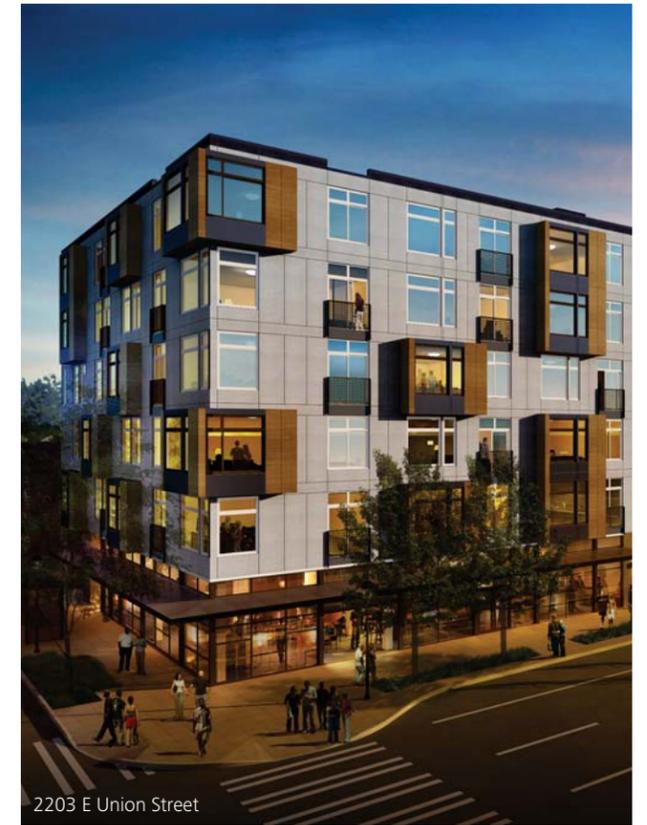
1711 12th Ave



12350 33rd Ave NE

Examples of blank facade treatments on other Caron projects. Facades utilize variations in pattern, color and materials.

BLANK FACADE TREATMENTS



INSPIRATION & REFERENCE IMAGES

OTHER CARON PROJECTS

