



901 Harrison

Design Review Board

901 Harrison Street, Seattle, WA 98109

MACFARLANE PARTNERS & ANKROM MOISAN ARCHITECTS, INC.
DPD #3016723 / **NOVEMBER 05, 2014**

Project Address

901 HARRISON STREET
SEATTLE, WA 98109

Project Team

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LANDSCAPE

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Project Goals

GOAL #1: Work/Housing Balance

Urban infill development promotes a greater balance between working and living, providing 24-hour environments where people can work and recreate near their homes. This results in a more sustainable environment with fewer vehicle miles traveled, and a greater use of public transit.

GOAL #2: Respect the Historic Character

Support the historic character of neighborhood by active re-use and preservation of the existing Landmark facade. Respect and responds to the history and character of the site by preserving and revealing existing window frame , existing and new material textures and other architectural elements.

GOAL #3: Ground Level Engagement

Provide a quality pedestrian experience with open spaces, retail space and engaging materials, filling the building at ground level for both residents and passers-by.

Statement of Development Objectives

Design and construct a 25-story residential building with retail at street level and 3 levels of below grade parking. It will be a valuable addition to the diversity of the growing community of South Lake Union. This project will utilize new zoning for South Lake Union (SM 160/85-240). The basic program includes:

292

residential units with a diversity of sizes and rent levels

339,000 sq. ft.

total gross square footage

8,200 sq. ft.

total retail square footage on street level

185

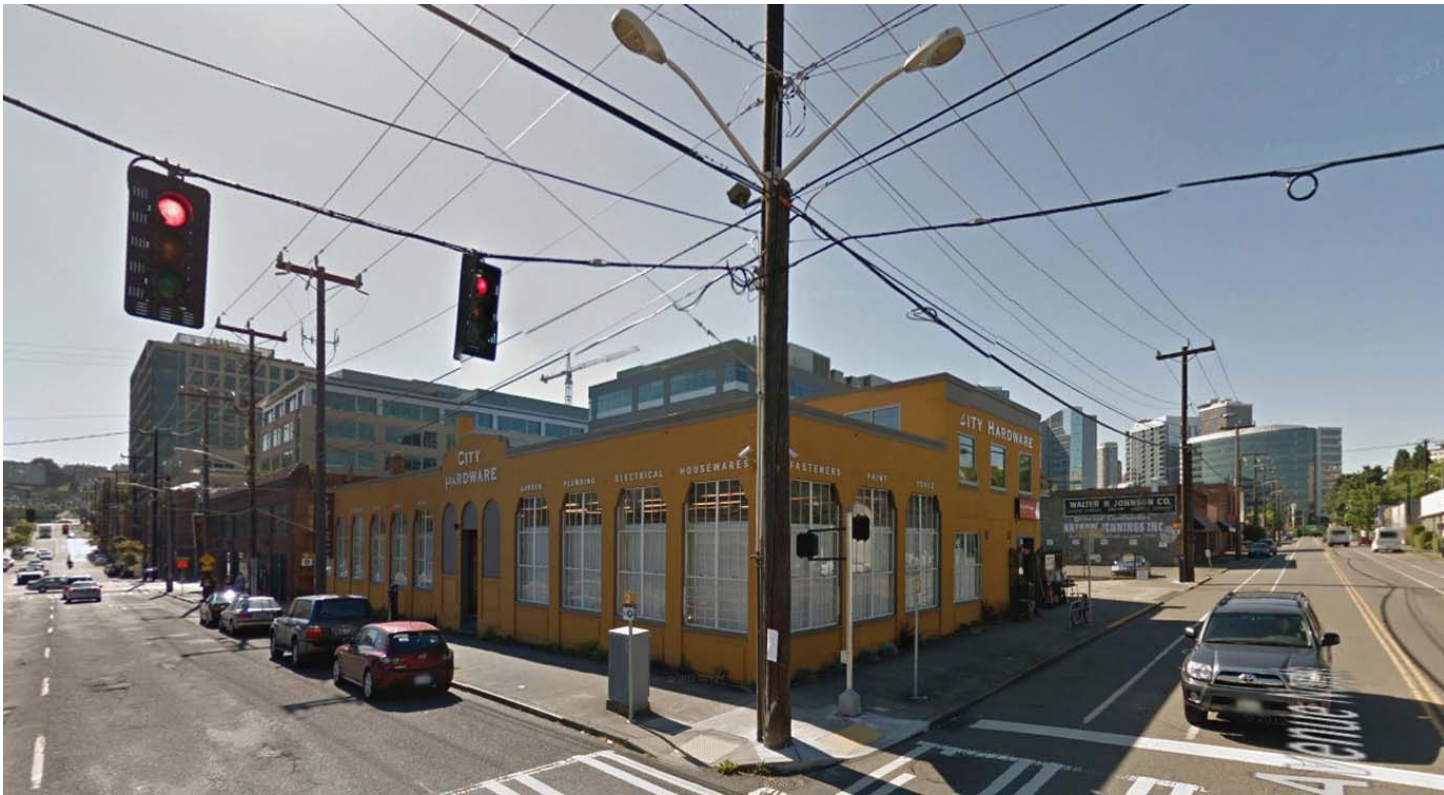
parking stalls below grade at 0.6 ratio

240'

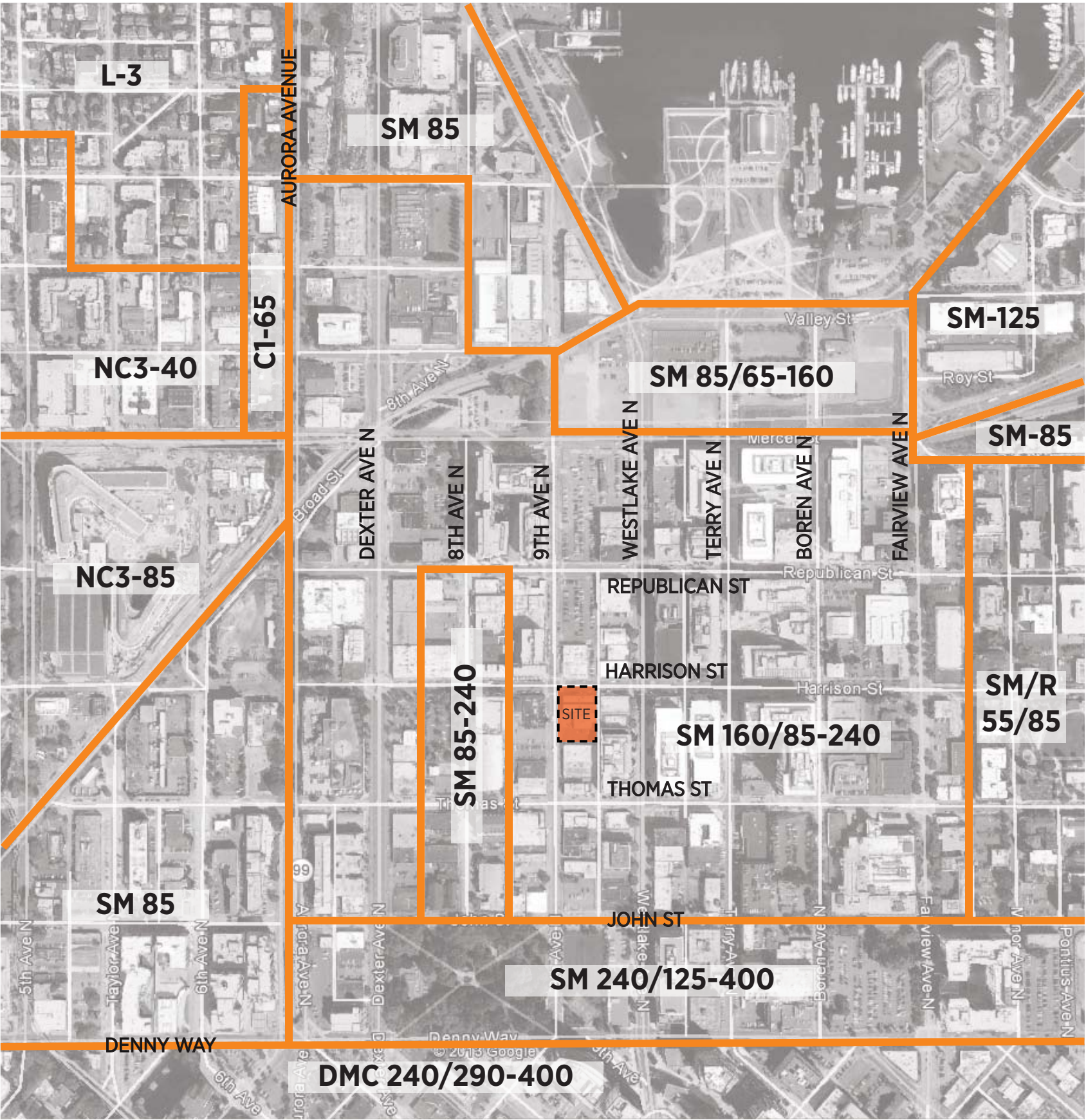
height [+15'-0" for amenity space]

Program Goals

- **Pioneering a high-rise residential tower in the South Lake Union area, providing a much-needed alternative to the typical midrise residential constructions nearby**
- **Integrate the existing landmark building to the high-rise residential development seamlessly**
- **Achieving a minimum of 280 vibrant residential units. Provide a parking-to-unit ratio of 0.6**



View from Northwest corner - Powerlines on Harrison & 9th Ave.

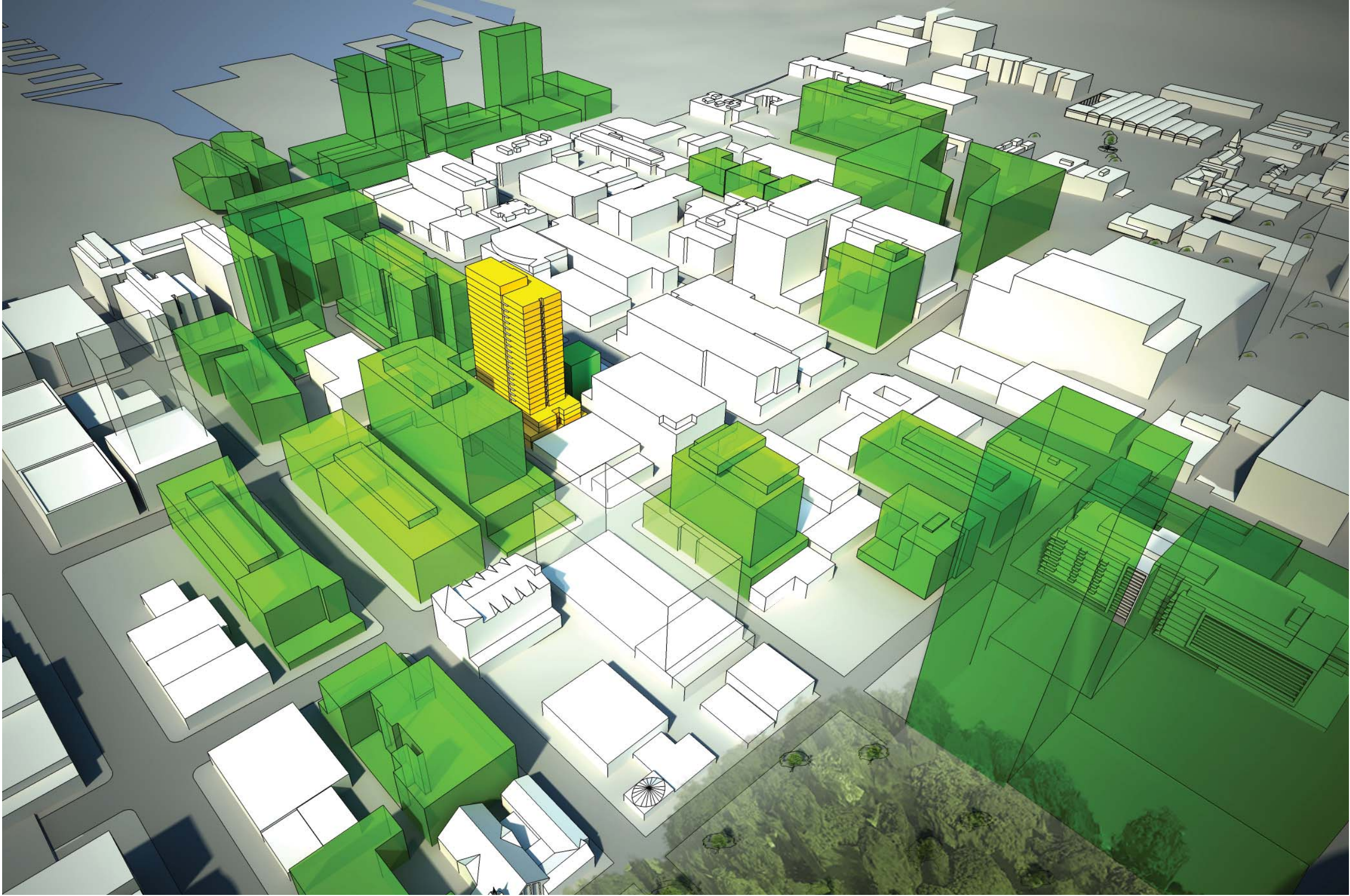


Portion of zoning map approved by City Council on May 6, 2013



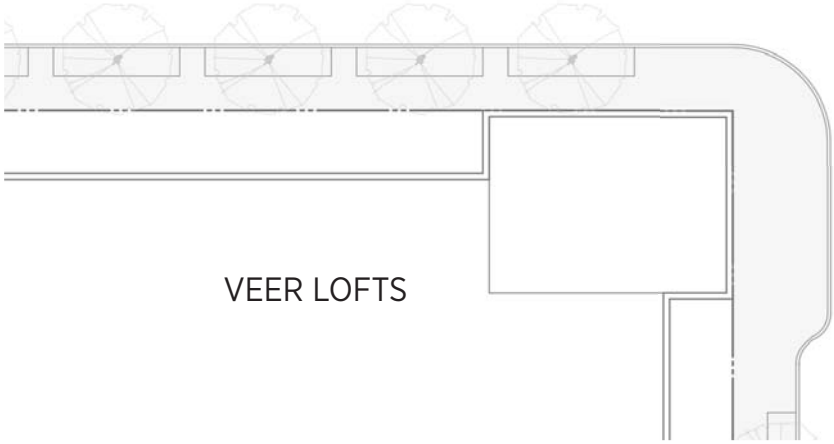
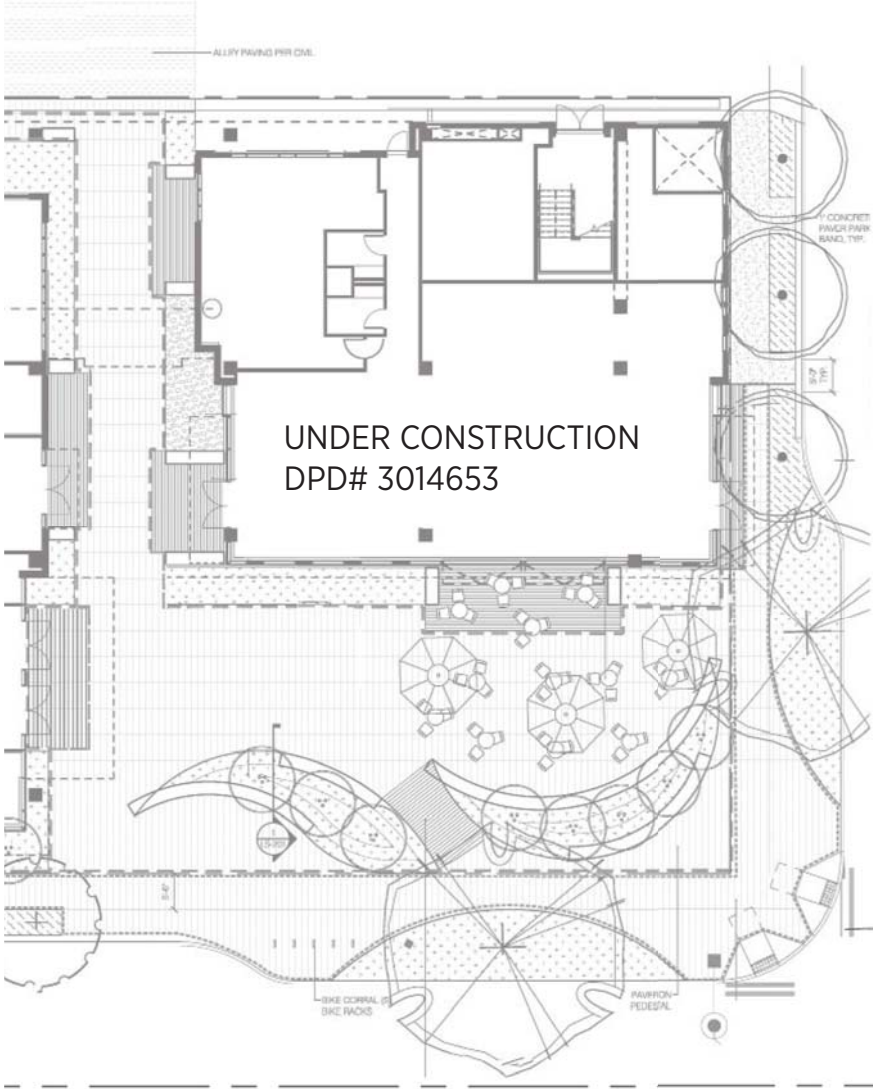
Project Site

Current Proposed Buildings

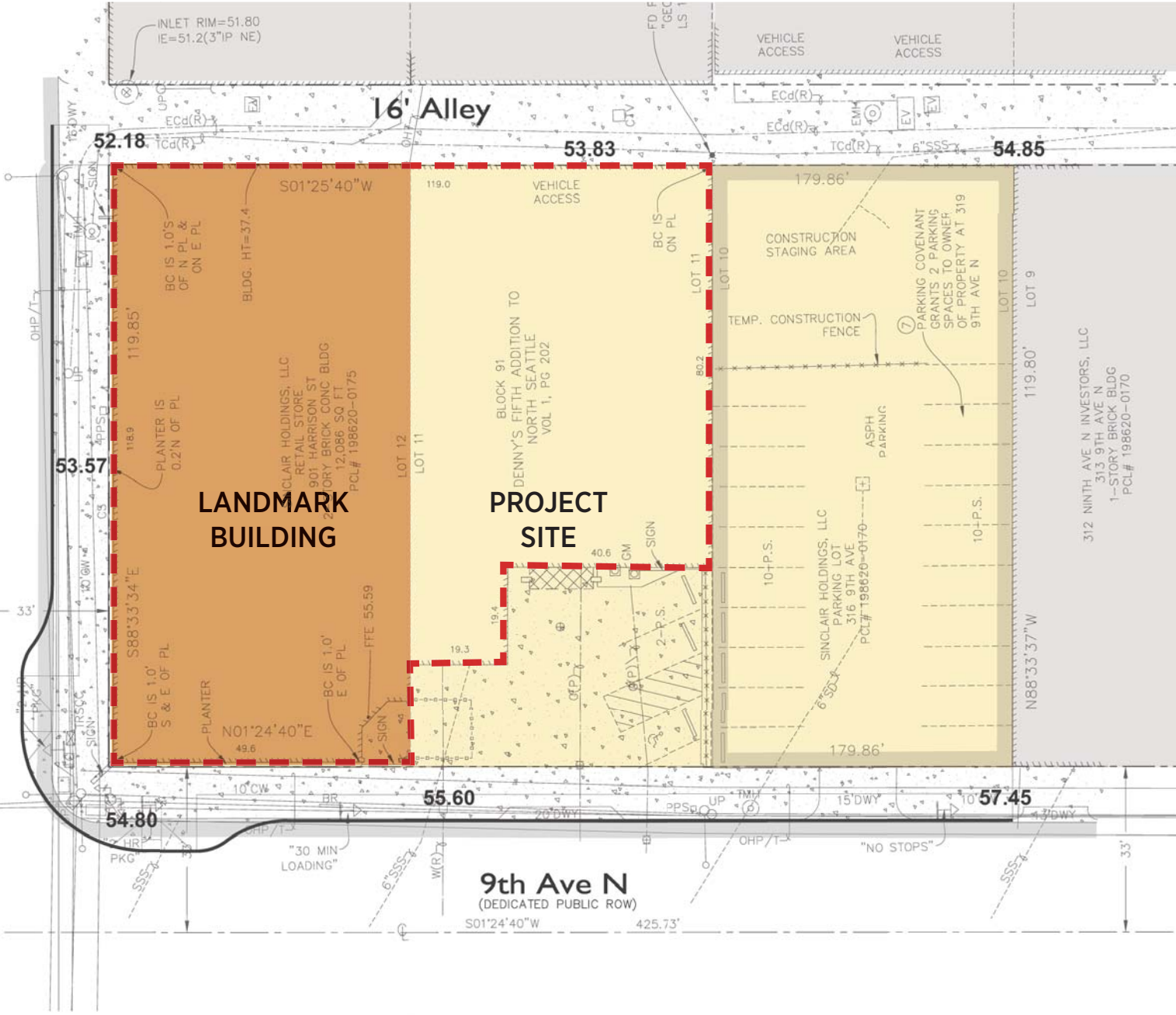


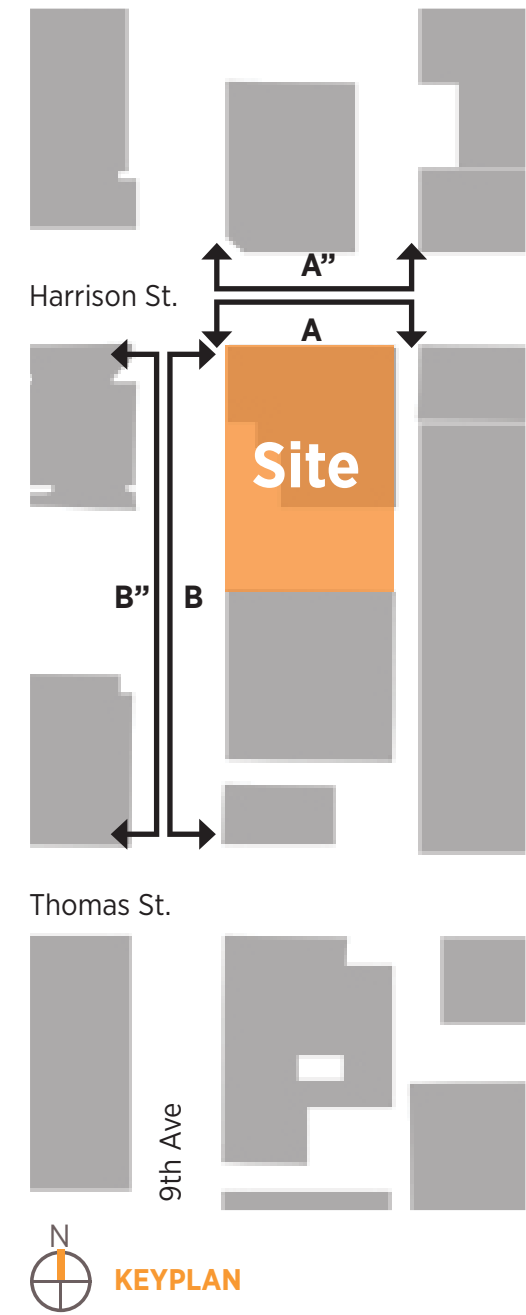


- Landmark Building
- Project Site
- Existing Buidling



Harrison St
(DEDICATED PUBLIC ROW)

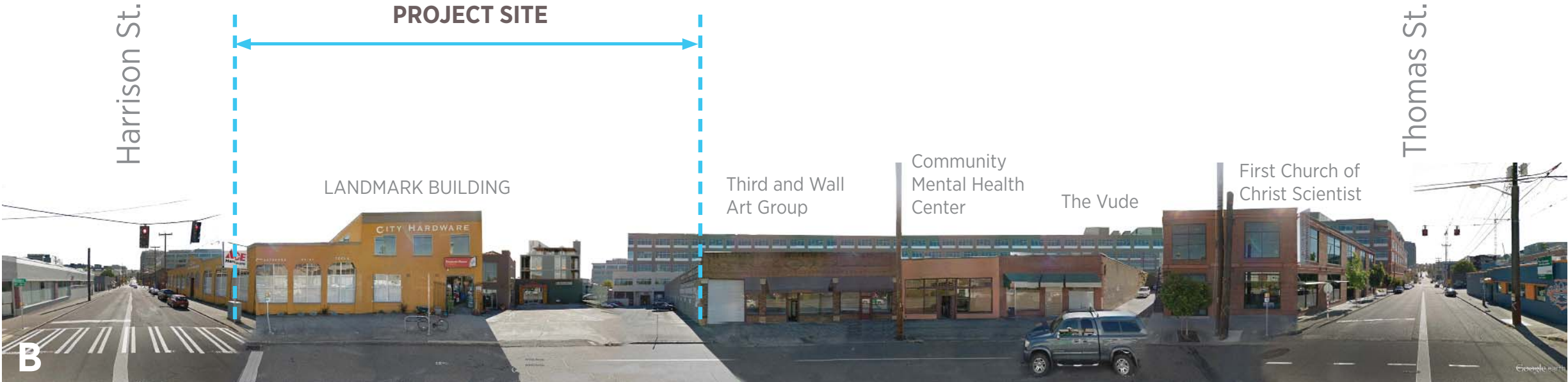




HARRISON STREET LOOKING SOUTH



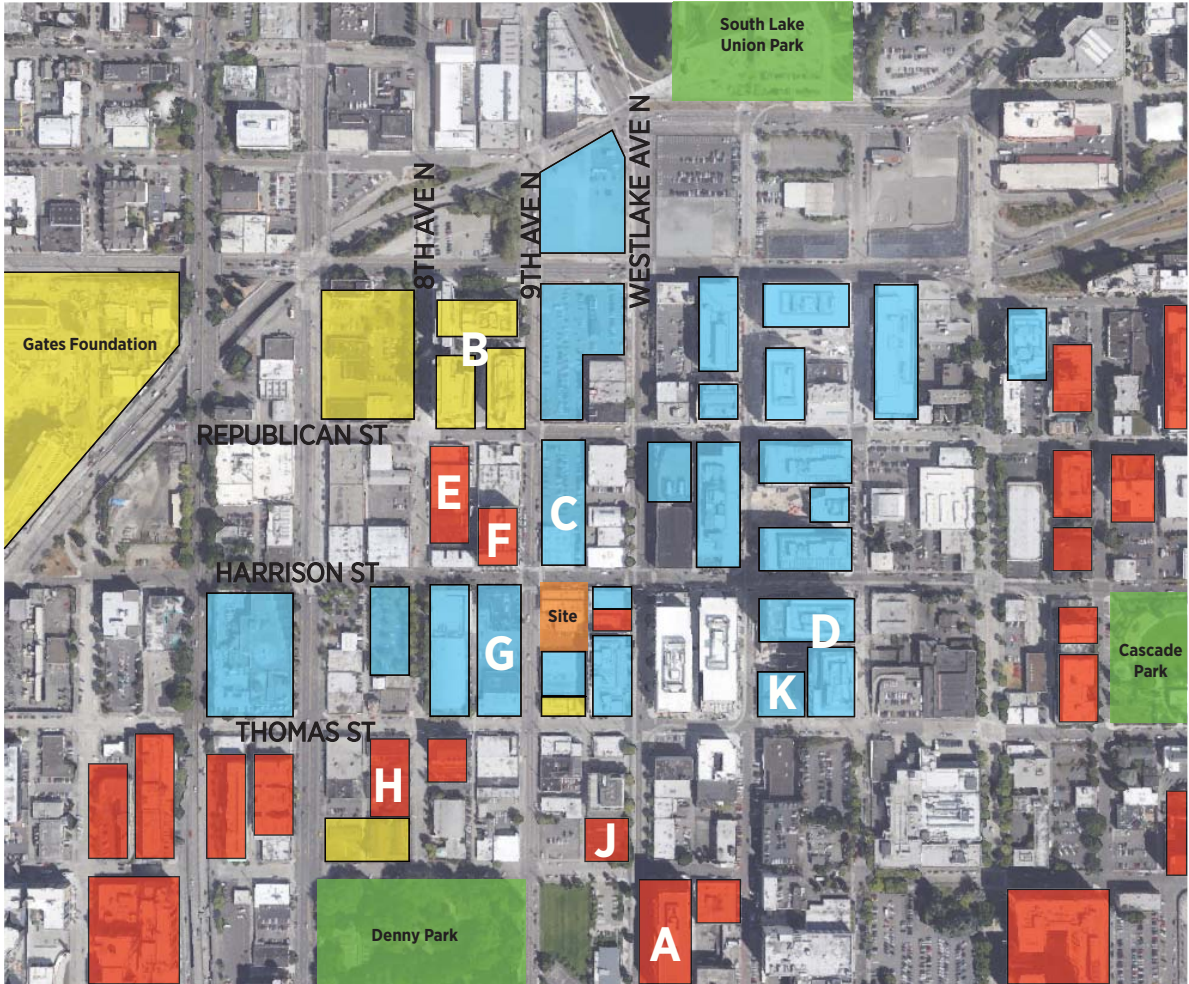
HARRISON STREET LOOKING NORTH



9TH AVENUE LOOKING EAST



9TH AVENUE LOOKING WEST



- N
- Offices / Commercial / Hospitality
 - Residential / Mixed-Use
 - Institutional / Cultural
 - Recreational



- Rollin Street Flats**
- Creates activity by modulating volumes
 - Masonry frame with wood inset panels creates vibrancy and references historic character of site
 - Setback and glazing identifies entrance



- UW Medicine Research Lab**
- Vertical expression of volumes
 - Horizontal expression on facade maintained
 - Landscaped sidewalk and courtyard



- Proposed Vulcan Building at 400 9th Avenue North**
- Open corner public space encourages interactivity
 - Quality materials appropriate in SLU area
 - Large mass broken into separate volumes



- Amazon Building**
- Towers are separated from street with human scale, walkable and sociable element
 - Regular window bays reference historic character of neighborhood



8th & Republican Mixed Use

- Public plaza encourages pedestrian activity
- Townhouse entries/stoops as transition zone
- Landscaping encourages walkability



Veer Lofts

- Appropriate separation of street-level entrances from sidewalk
- Reduce perceived mass by stepping back volumes



325 9th Ave

- Open space on several levels
- Quality materials



777 Thomas Apartments

- Facade columns meet sidewalk but keep human scale proportions
- Historic building character and design complimented but not copied



Westlake & John Apartments

- Feature architectural identity at corner
- Occupiable space at roof takes advantage of views



300 Terry Hotel

- Reference to historic materials and construction aesthetics
- Masses made less bulky by differing materials and window patterns

BUILDING MASSING

MASSING OPTIONS
AS PRESENTED AT [EDG](#)



OPTION 3 - PREFERRED

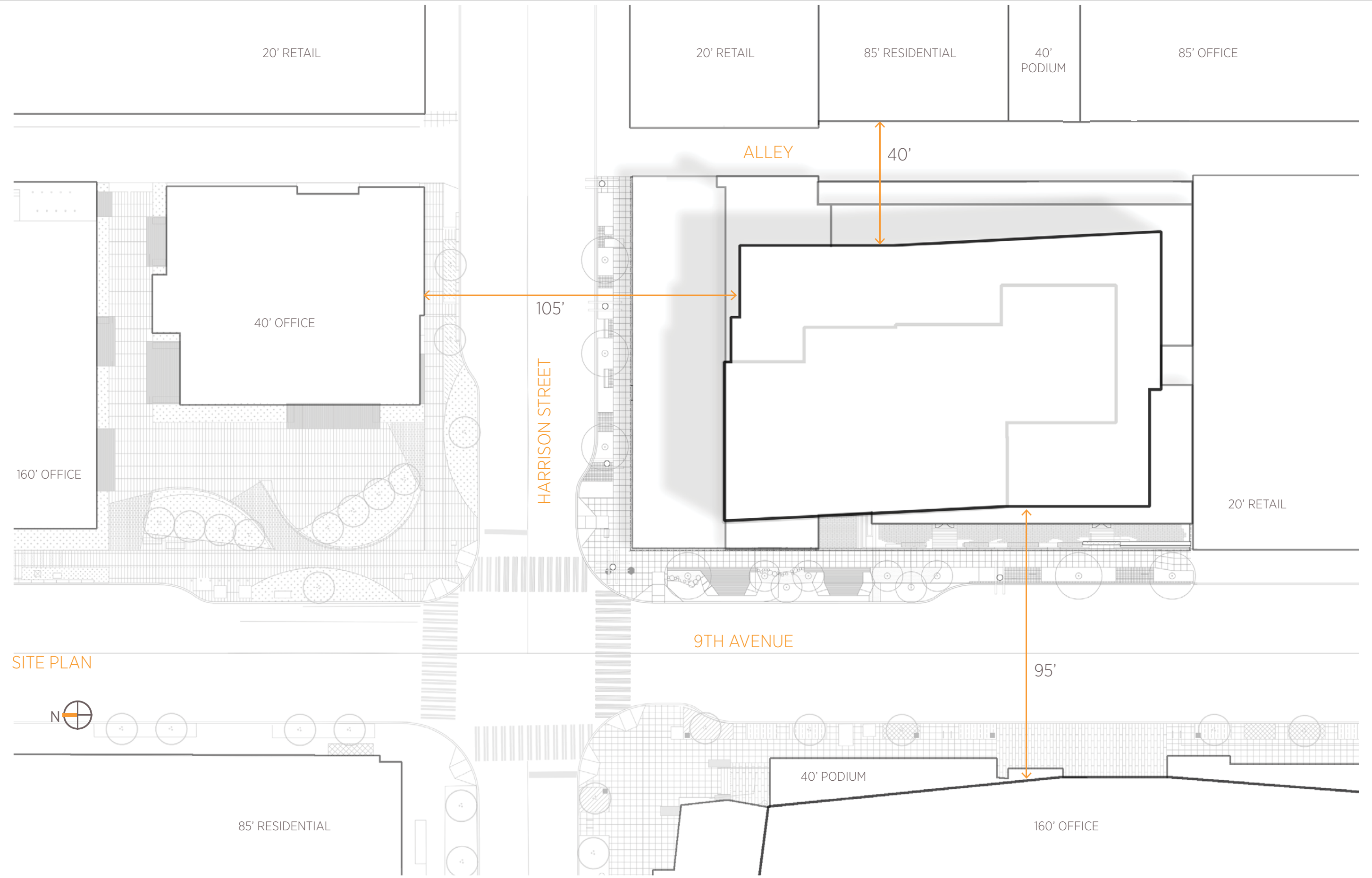
- Rectangular tower at Northwest corner
- Entry plaza at street intersection

MASSING OPTIONS
AS PRESENTED AT [ARC](#)

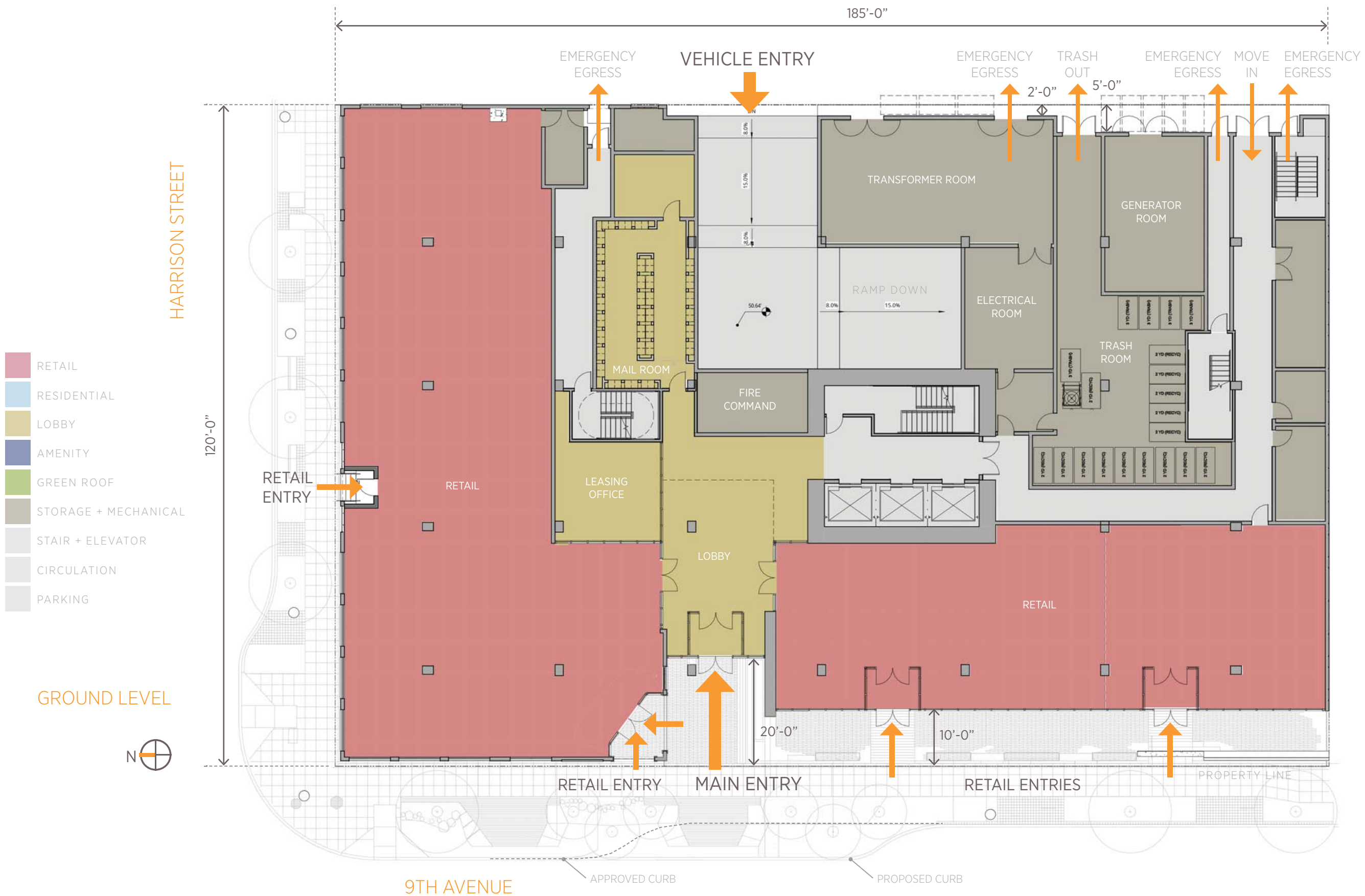


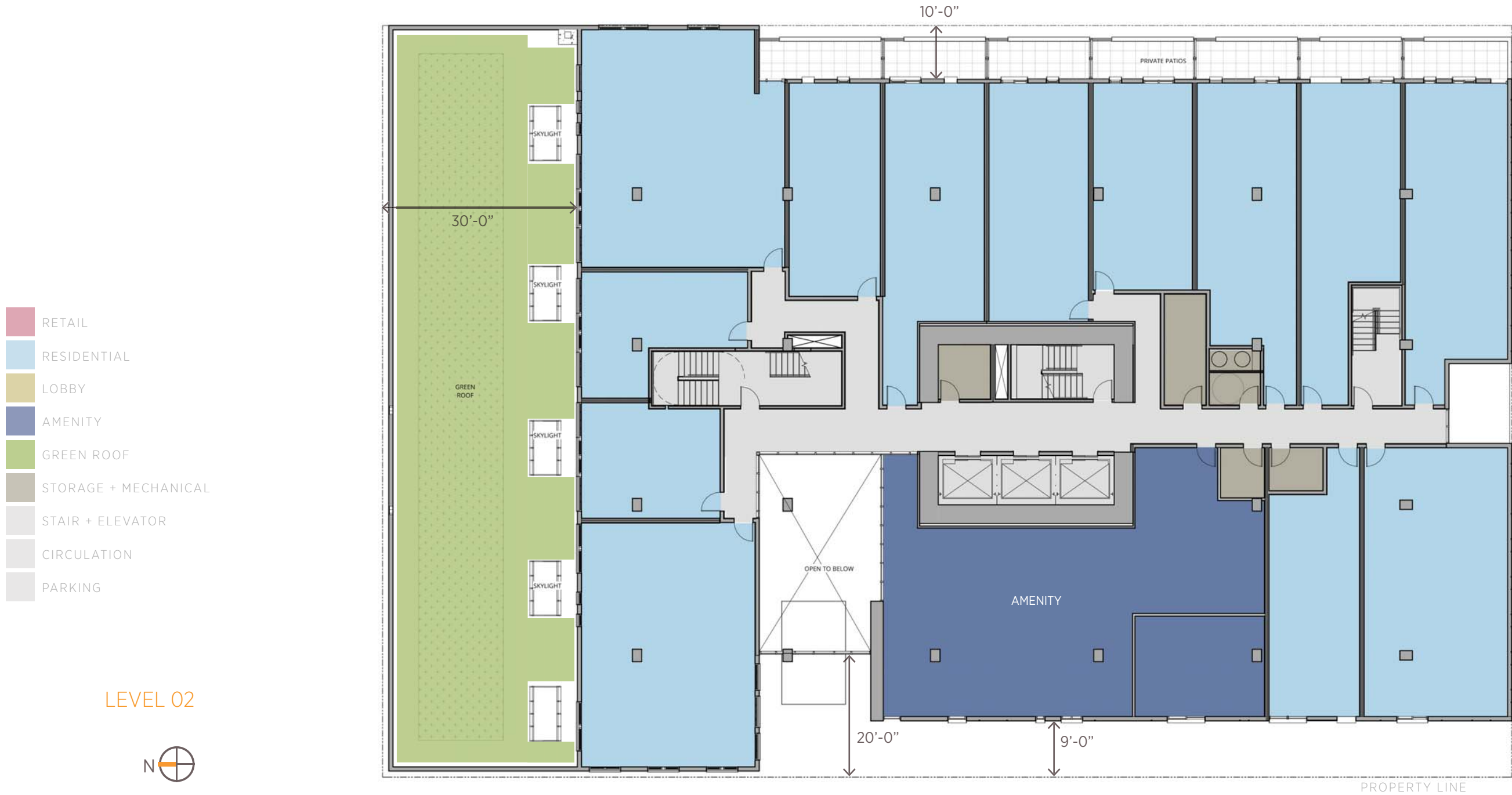
OPTION 2 - PREFERRED

- Rectangular tower at Northwest corner
- Entry plaza at street intersection
- Retain Landmark building street facade
- Rectangular tower set back from north property line
- Entry off of 9th Avenue North



SITE PLAN





- RETAIL
- RESIDENTIAL
- LOBBY
- AMENITY
- GREEN ROOF
- STORAGE + MECHANICAL
- STAIR + ELEVATOR
- CIRCULATION
- PARKING

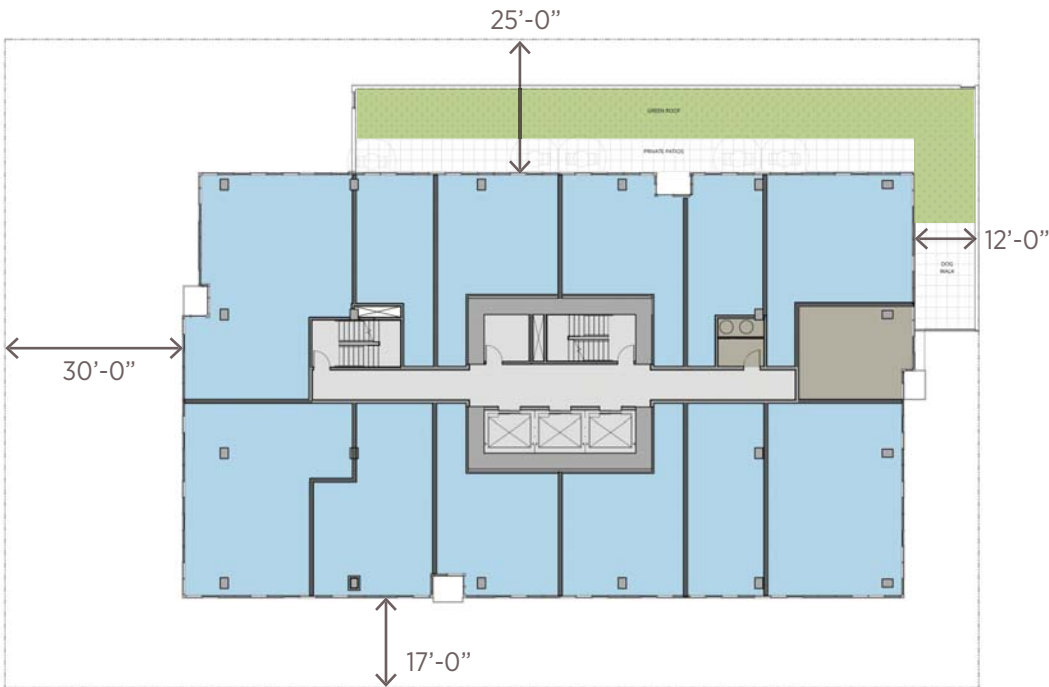
LEVEL 03



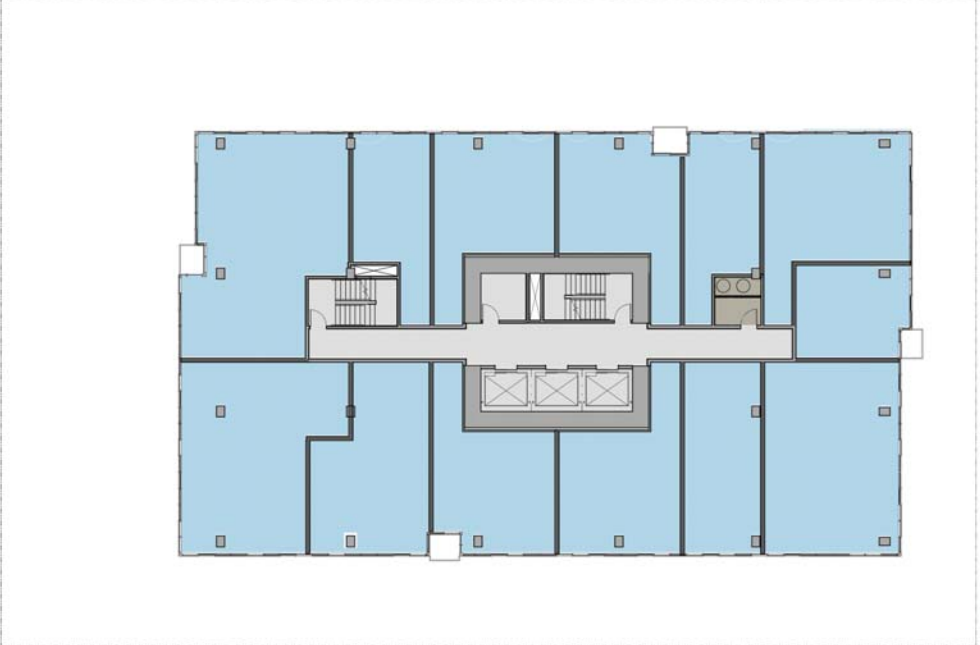
LEVEL 04



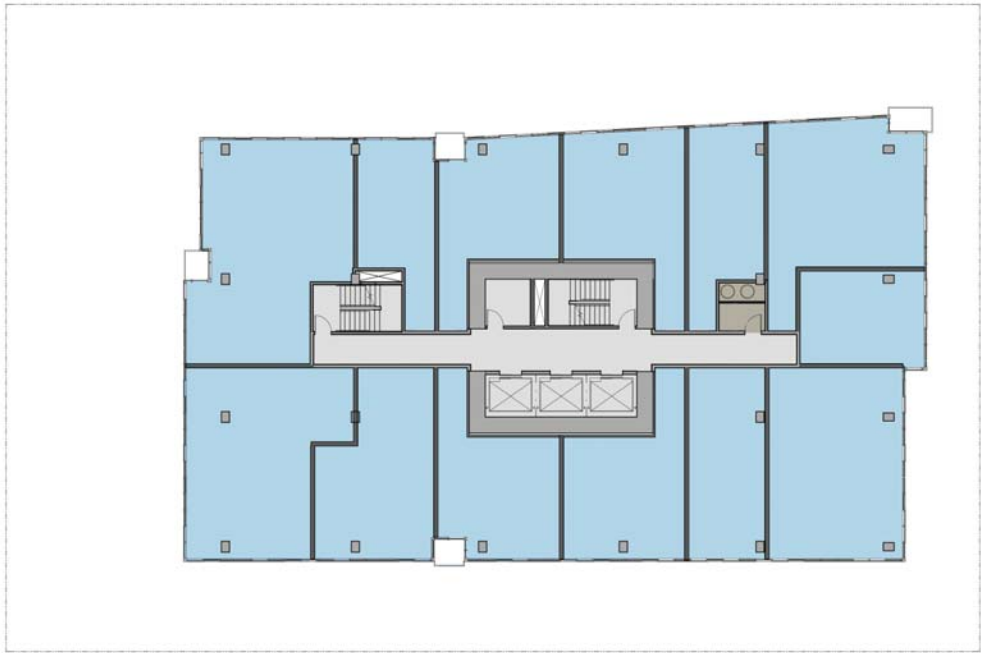
LEVEL 05



LEVELS 06-13



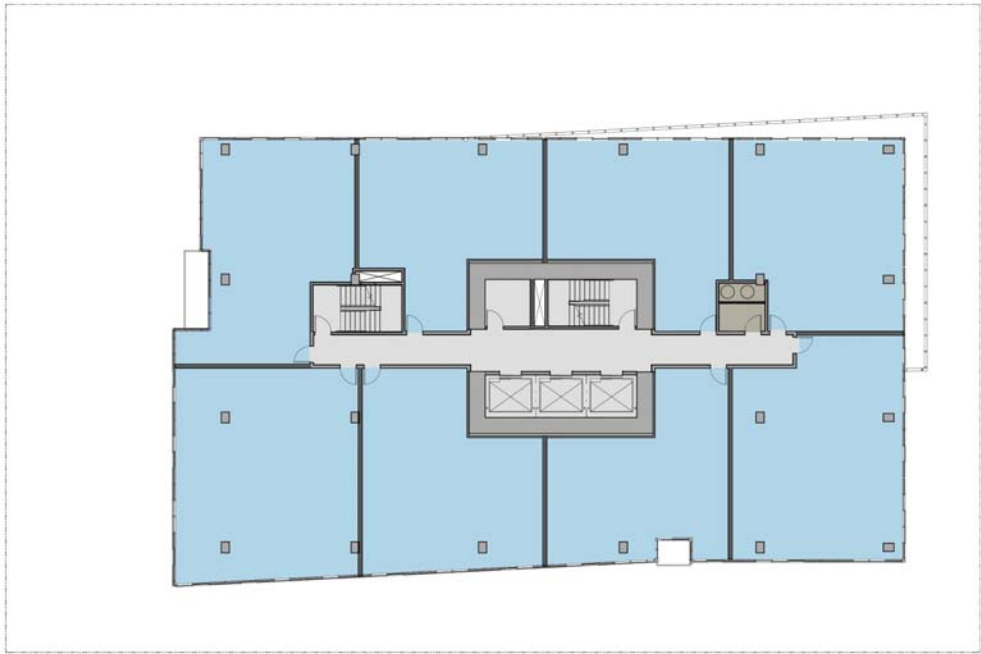
LEVELS 14-16



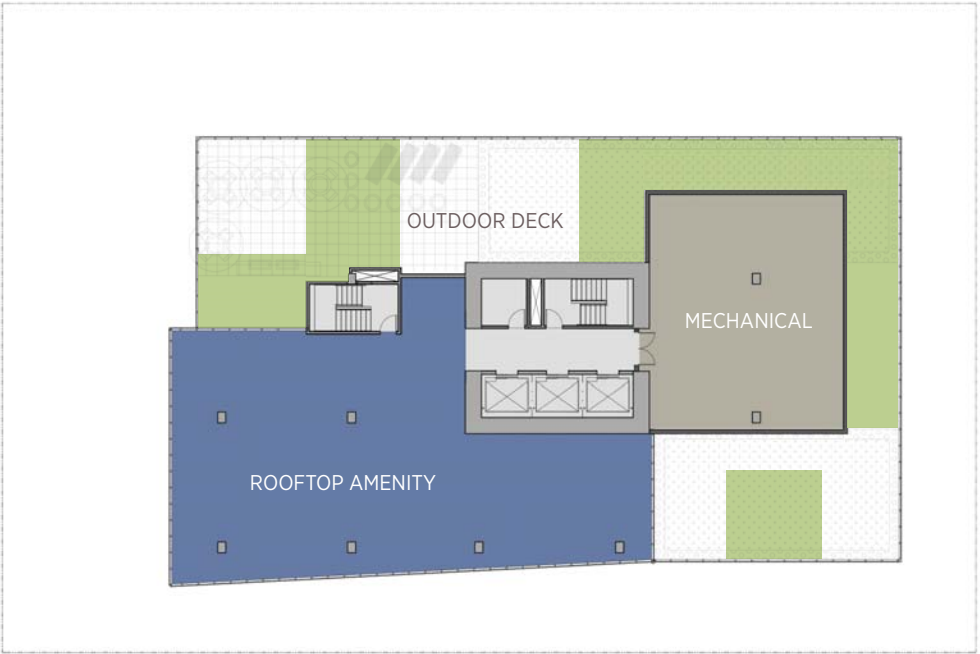
LEVELS 17-23



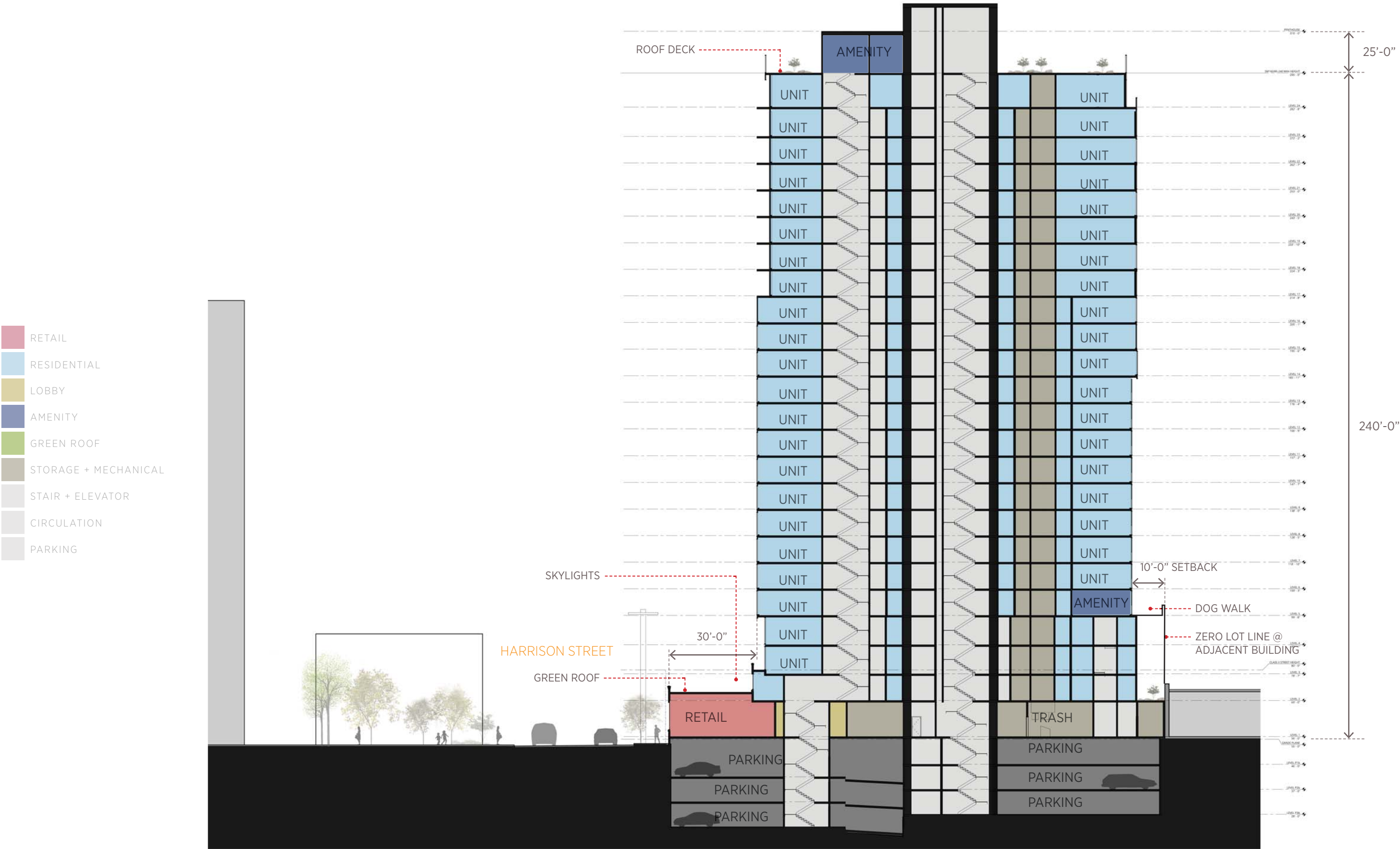
LEVEL 24



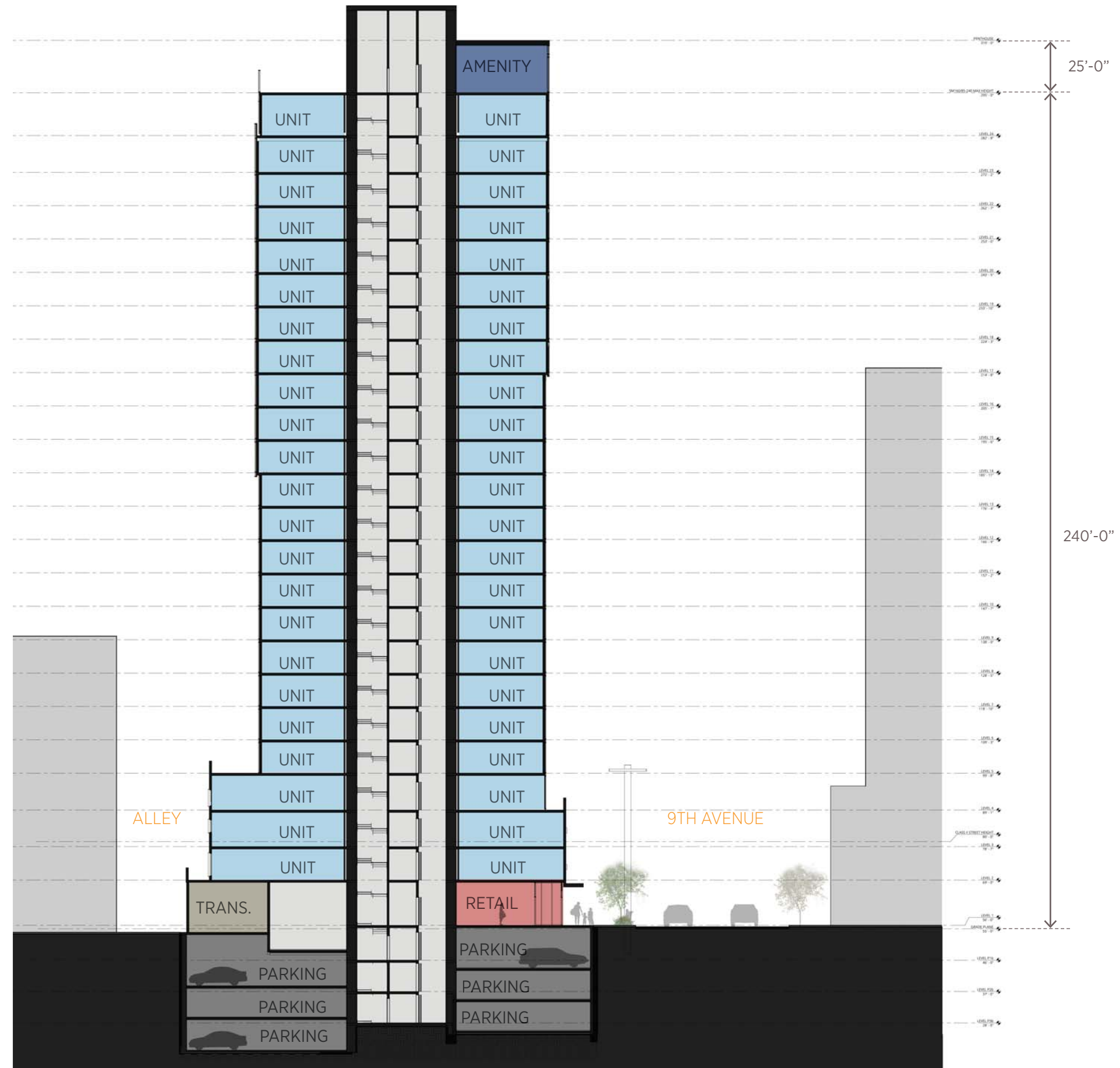
ROOF LEVEL

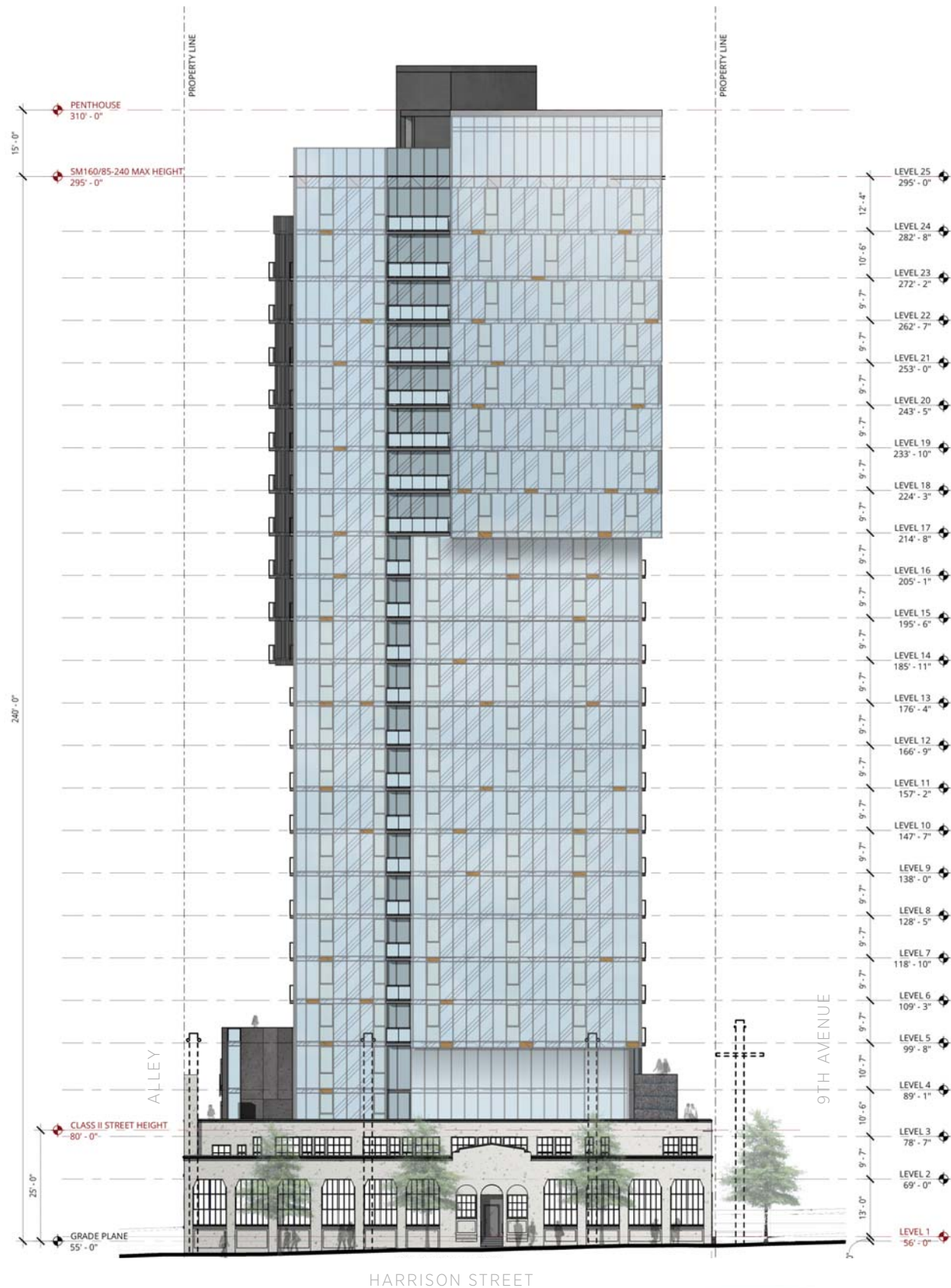


- RETAIL
- RESIDENTIAL
- LOBBY
- AMENITY
- GREEN ROOF
- STORAGE + MECHANICAL
- STAIR + ELEVATOR
- CIRCULATION
- PARKING



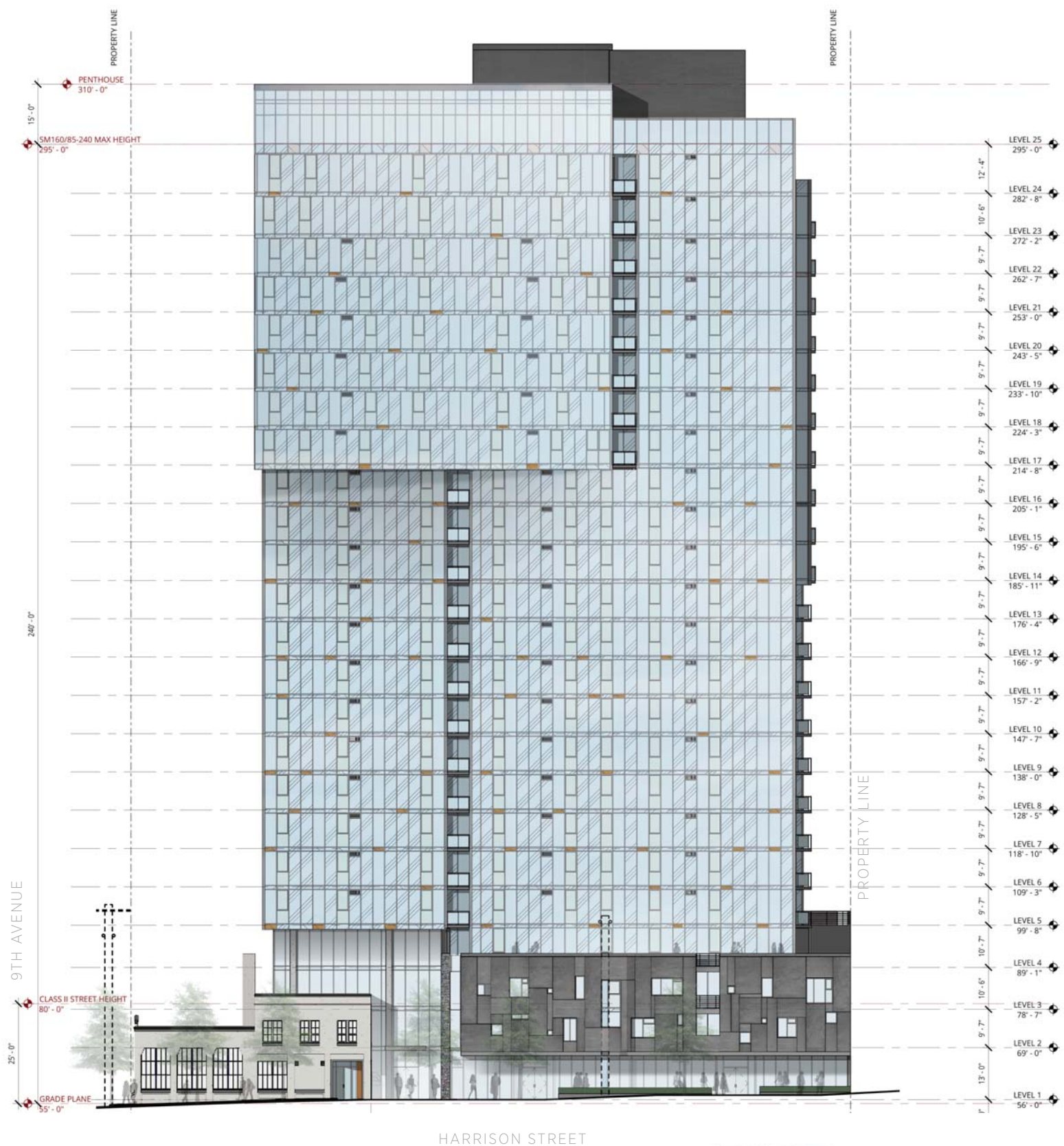
- RETAIL
- RESIDENTIAL
- LOBBY
- AMENITY
- GREEN ROOF
- STORAGE + MECHANICAL
- STAIR + ELEVATOR
- CIRCULATION
- PARKING





HARRISON STREET

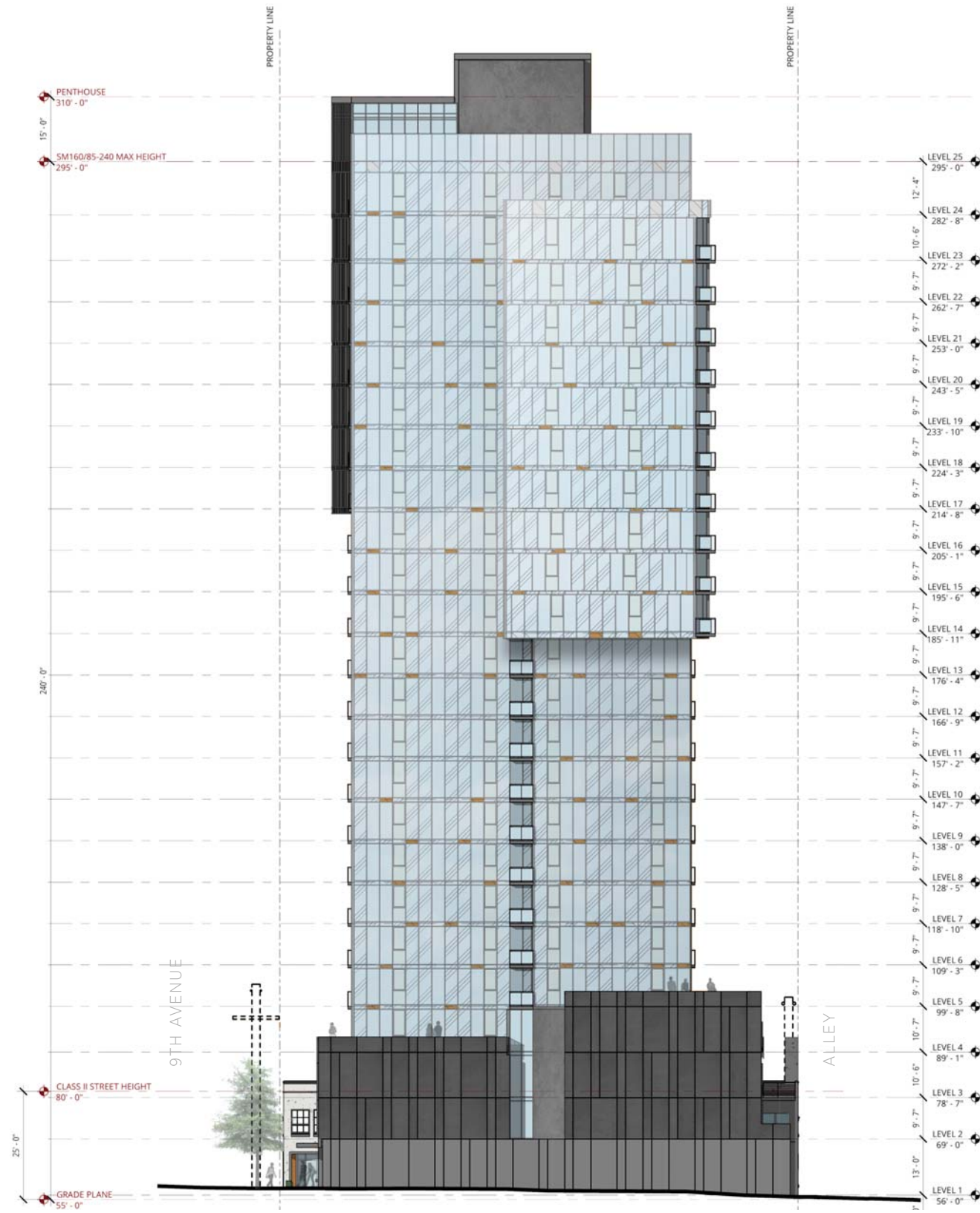
NORTH ELEVATION



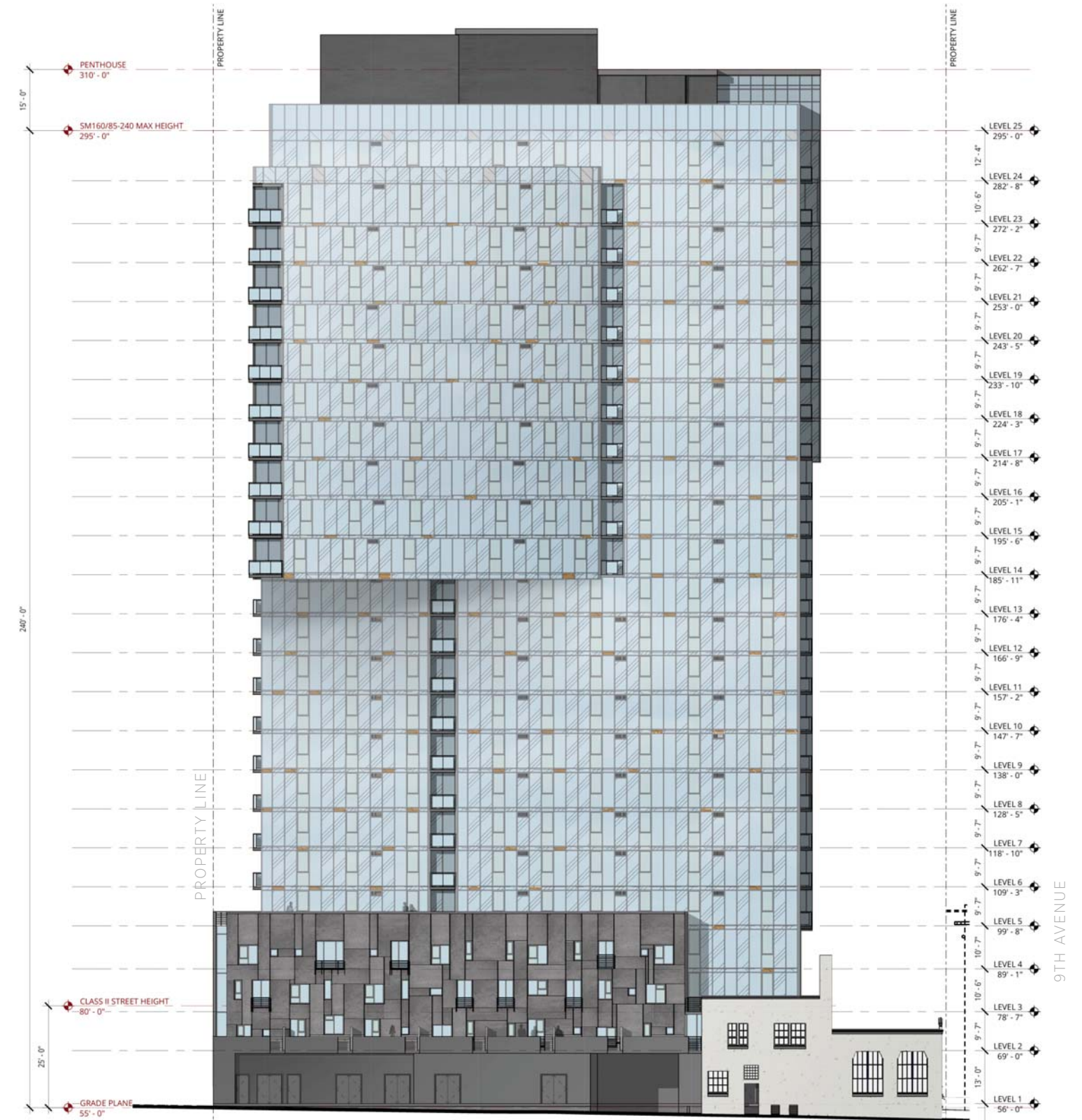
HARRISON STREET

WEST ELEVATION





SOUTH ELEVATION



EAST ELEVATION

EDG GUIDANCE

The Design Review Board provided the following siting and design guidance at EDG April 2, 2014, after visting the site, considering the analysis of the site and context and hearing public comment.

THEMES FROM EARLY DESIGN GUIDANCE

- 1. ARCHITECTURAL CONCEPT
- 2. STREET LEVEL DESIGN
- 3. ALLEY

DRB COMMENTS FROM EDG

1. ARCHITECTURAL CONCEPT

DRB RECOMMENDATION

- a. The Board noted that the slender tower relates better to the context of the building to the north, creates a better overall building proportion, and provides an appropriate response to natural daylighting and managing solar heat gain.*
- b. The tower should be further modulated on the north and west facades to enhance the articulation and the slender appearance of the tower. The Board suggested that approximately 10' deep modulation would meet this guidance, rather than the proposed 2' to 3' modulation, in order to relate to the overall scale and enhance the tower concept. The tower will be taller than surrounding buildings and very visible in the skyline.*
- c. The design of the podium and tower design should be integrated, and should respond to the context of nearby developments. The Board specified that while there are no other similar tower heights proposed nearby, there are developments with podium and upper building compositions. The proposed design should respond to the context of nearby transitions between podium and upper level building areas.*
- d. The applicant should consider the possibility of incorporating the existing building façade into the proposed development, even if the Landmarks Board review doesn't result in a historic landmark designation. The overall design should result in a cohesive design expression.*

GUIDELINES

- CS1-B-3**
MANAGING SOLAR GAIN
- CS2-II-ii**
UPPER-LEVEL SETBACK
- CS2-A-2**
ARCHITECTURAL PRESSENCE
- CS2-II-ii**
UPPER-LEVEL SETBACK
- DC2-A**
MASSING
- DC2-B**
ARCHITECTURAL AND FACADE COMPOSITION
- DC2-B**
SCALE AND TEXTURE
- CS3-B-2**
HISTORICAL REFERENCES
- CS3-II-ii**
PRESERVATION
- CS3-II-iv**
SITE CHARACTERISTICS AND USES

2. STREET LEVEL DESIGN

DRB RECOMMENDATION

- a. The Board encouraged the applicant to strongly consider placing retail on 9th Ave N, which will provide more immediate street level transparency and activity than live-work uses.*
- b. The street level design should respond to the developing context at the intersection and the Heart Location designation of Harrison St. This corner should enhance the character of the "outdoor room" of the street frontage at that intersection.*
- c. The Board supported the proposed curb bulb and street furniture to enhance the pedestrian experience.*
- d. The Board supported varying the design of the overhead weather protection at the street frontage, and noted that the design should differentiate this street frontage from the development across 9th Ave N.*
- e. The Board also supported the conceptual sketches indicating the design intent for the street level entries, street facing facades, landscaping, and hardscape.*
- f. The 9th Ave N. curb bulb and street level treatment should be designed to respond to the intended bicycle route along 9th Ave N. and the neighborhood streetscape plan for 9th Ave N.*

GUIDELINES

- CS2-B-2**
CONNECTION TO STREET
- PL2-I**
STREETSCAPE COMPATIBILITY
- CS2-B-3**
MANAGING SOLAR GAIN
- CS2-C-1**
CORNER SITES
- CS2-I-iv**
HEART LOCATIONS
- PL1-A-1**
CONNECTIVITY
- PL1-III**
OPEN SPACES AND ENTRANCES
- PL2-C**
WEATHER PROTECTION
- PL3-A**
ENTRIES

3. ALLEY

DRB RECOMMENDATION

- a. Lighting should enhance pedestrian safety, especially at the alley.*
- b. The Board noted that since the north end of the alley will include pedestrian activity, the location of services near the southeast corner of the site is an appropriate response to the context and the proposed design. (DC1.C.4)*
- c. The alley façade should be designed to be consistent with the other three facades of the building, given the pedestrian activity, visibility of the façade, and the proposed residential use across the alley. (DC2.B.1)*

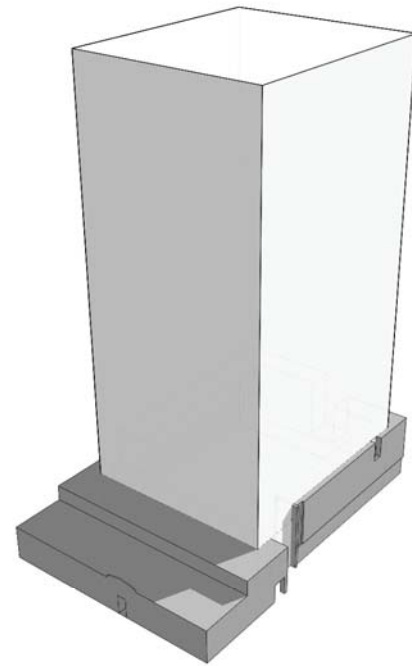
GUIDELINES

- PL1-I-iii**
HUMAN ACTIVITY
- DC1-C-4**
SERVICE USES
- DC2-B-1**
FACADE COMPOSITION

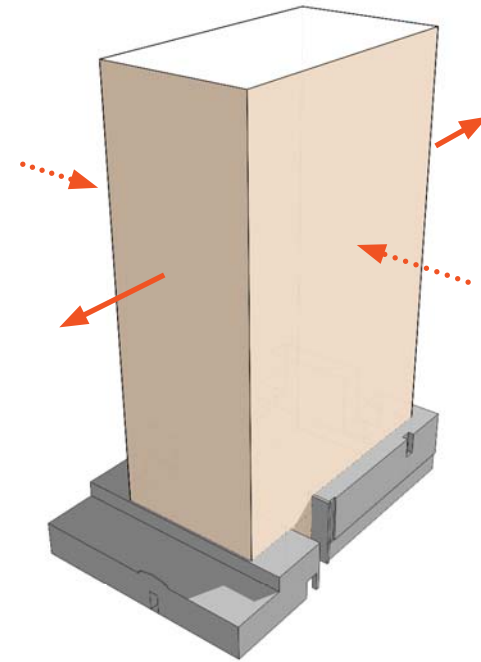
1. Architectural Concept - Slender tower

“The Board supported the preferred massing option for the slender tower and the street level design. The Board recommended that the tower be further modulated. The tower and podium design should be integrated.”

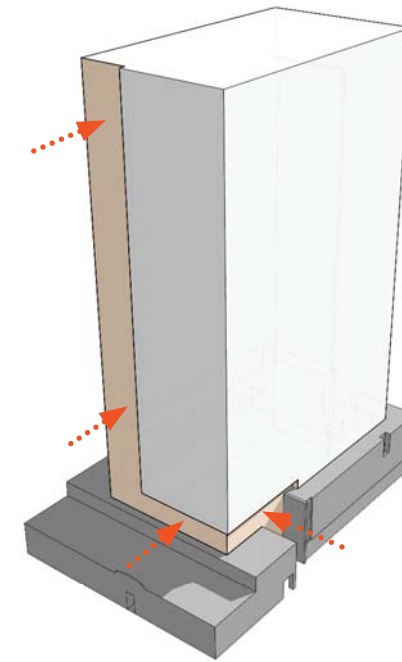
- 1a “...slender tower relates better to the context ...” (CS1.B.3, CS2.II.ii)
- 1b “.The tower should be further modulated on the north and west facades to enhance the articulation and the slender appearance of the tower...” (CS2.A.2, CS2.II.ii, DC2.A)
- 1c “The design of the podium and tower design should be integrated...respond to the context...” (DC2.B, DC2.D)
- 1d “...should consider the possibility of incorporating the existing building façade into the proposed development....” (CS3.B.2, CS3.II.ii & iv)



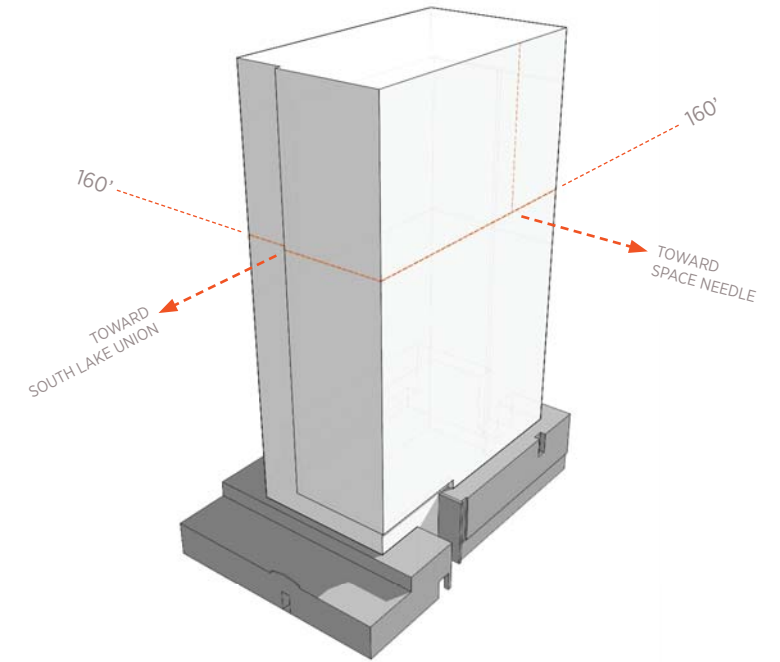
1 Neutral square tower volume



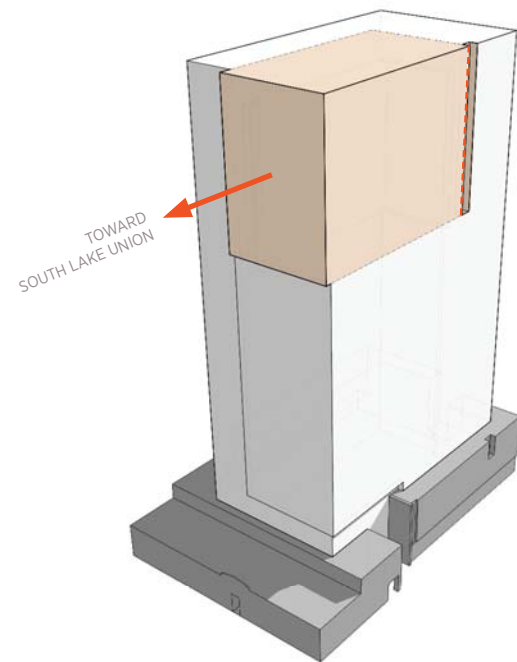
2 Stretched to create shallower units with greater access to daylight



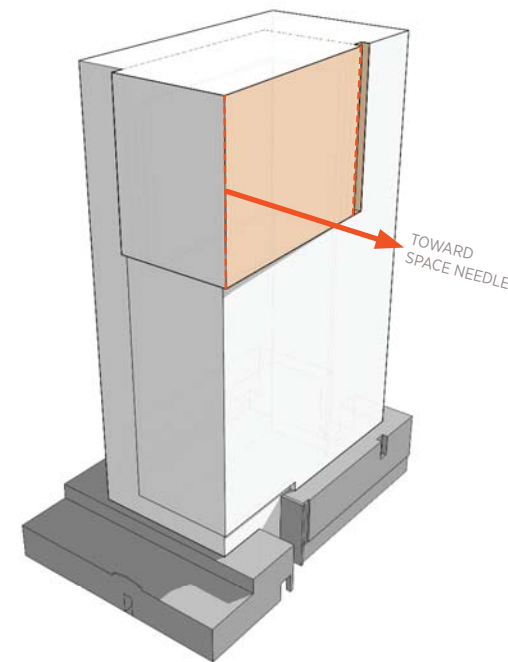
3 Volume pushed back along intersection with Landmark facade



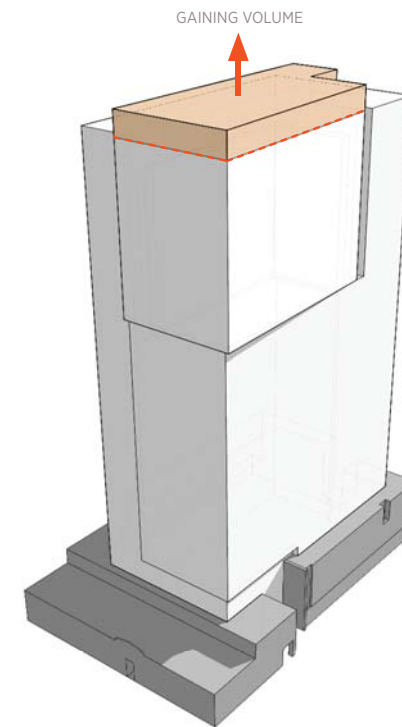
4 Recognition of view opportunities above 160'



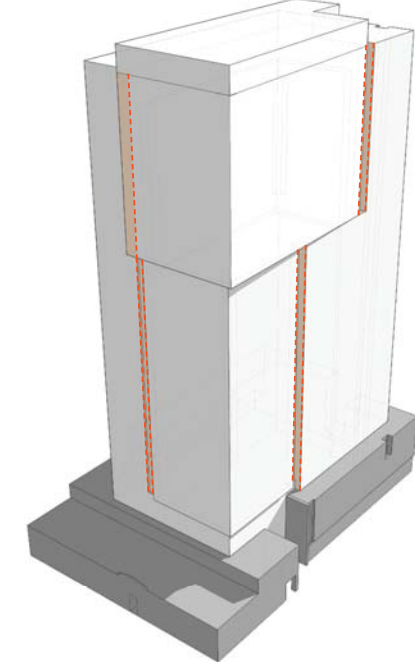
5 Capital massing pulled toward South Lake Union view



6 Capital massing rotated toward Space Needle view

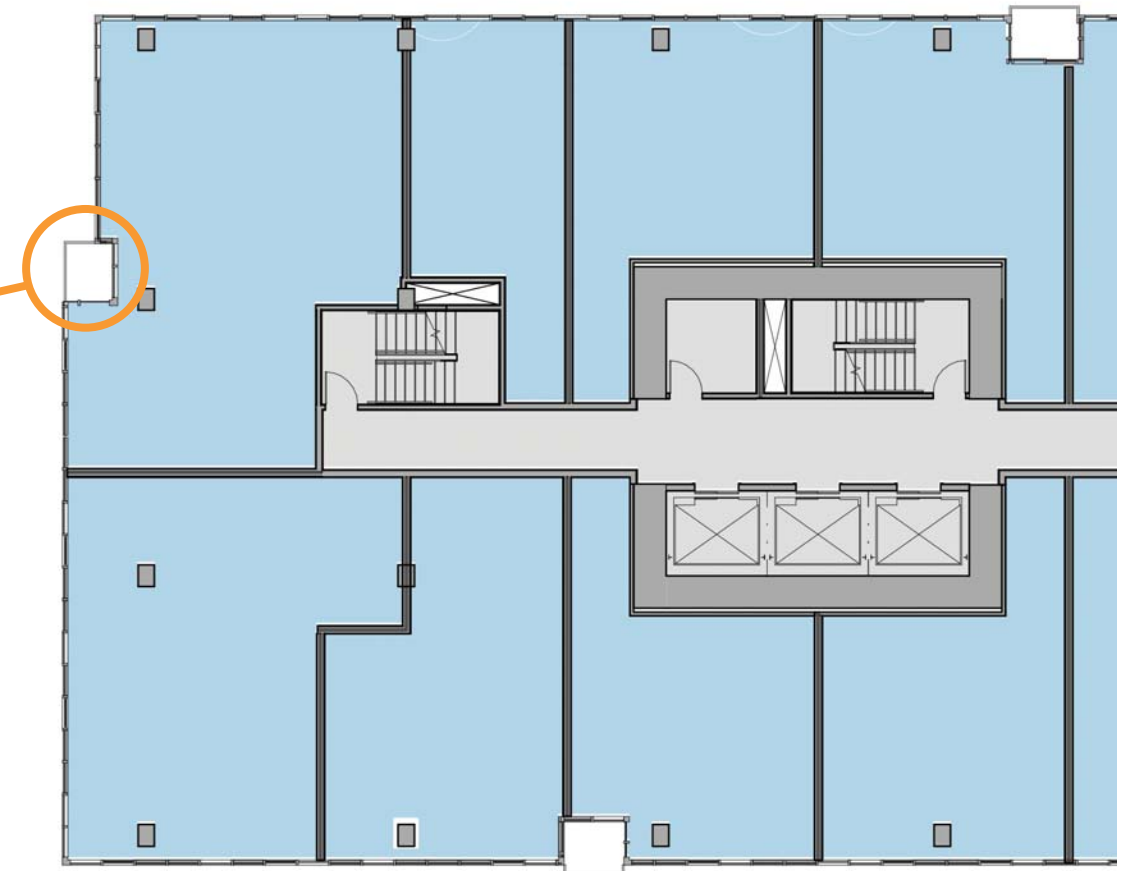
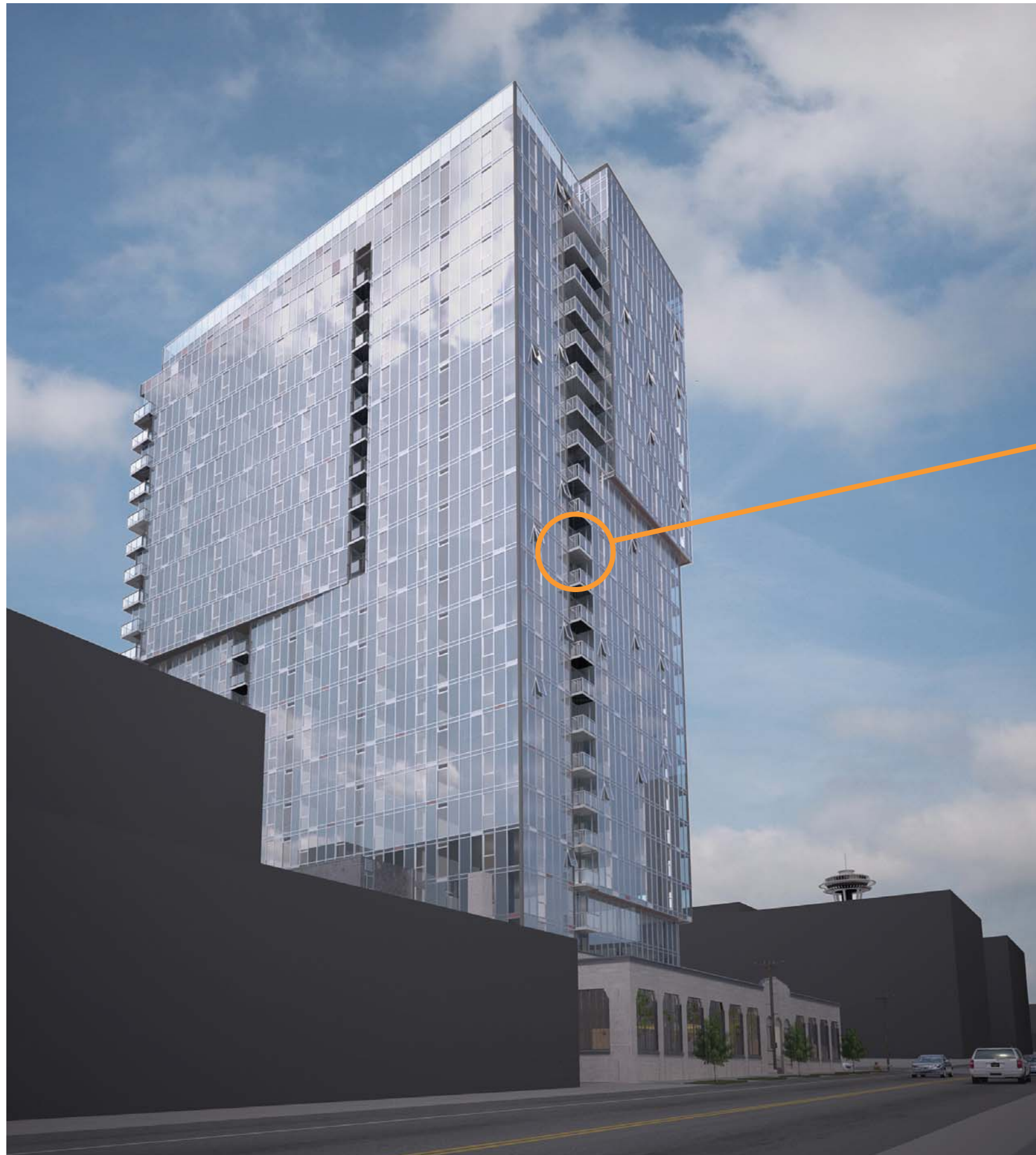


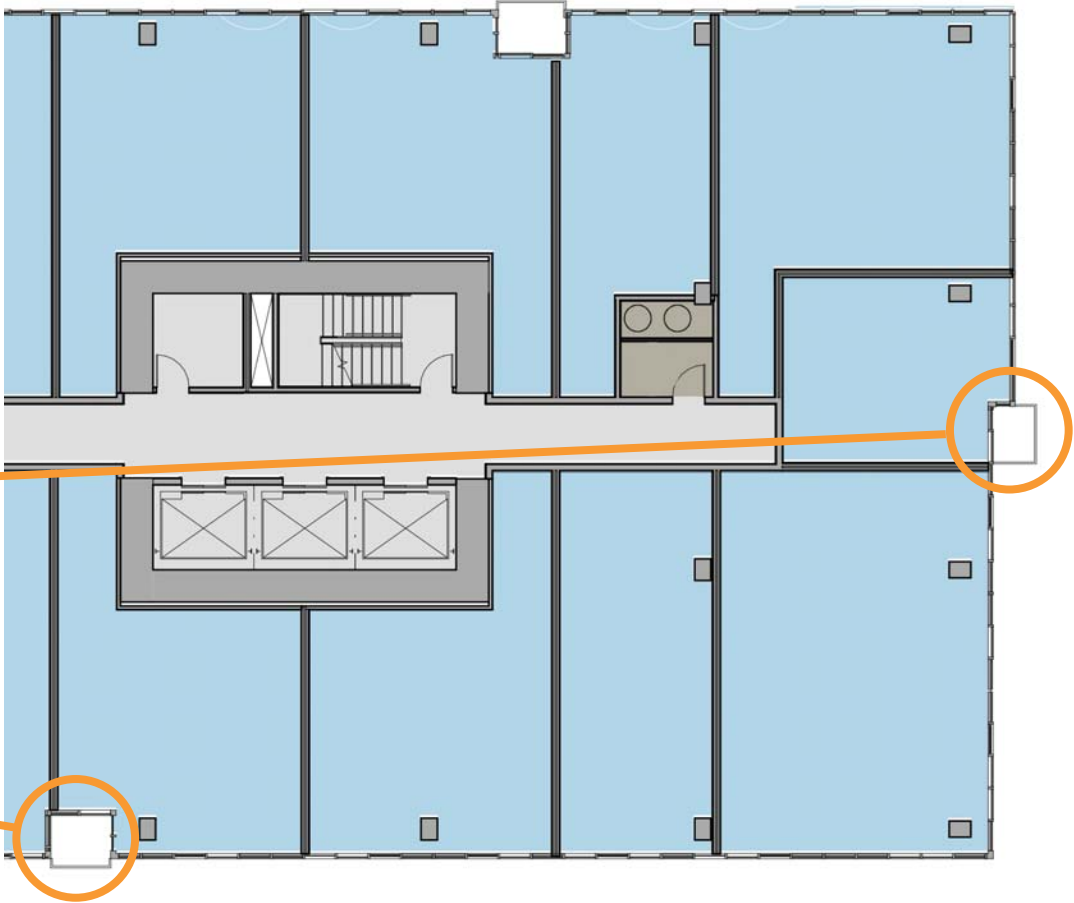
7 Amenity space occupies prime space for the new tower community



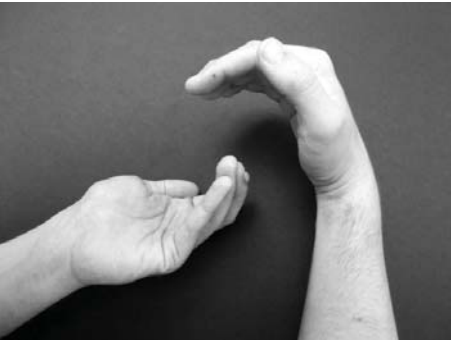
8 Strategic insertion of balconies to highlight tower massing







EMBRACING THE LANDMARK FACADE



We propose a 3 ft ‘pushback’ on the new facade all the way around the Landmark facade. It creates a building form that embraces and intergrates with the Landmark facade.



STEPPING THE ROOF LINE



The roof line of the new precast facade at podium will be an extension and continuation to the existing stepping roof line of the Landmark facade.



Rebuild upper facade & clerestory with original character of the historic building

Retain historic facade and windows



3' setback from historic facade

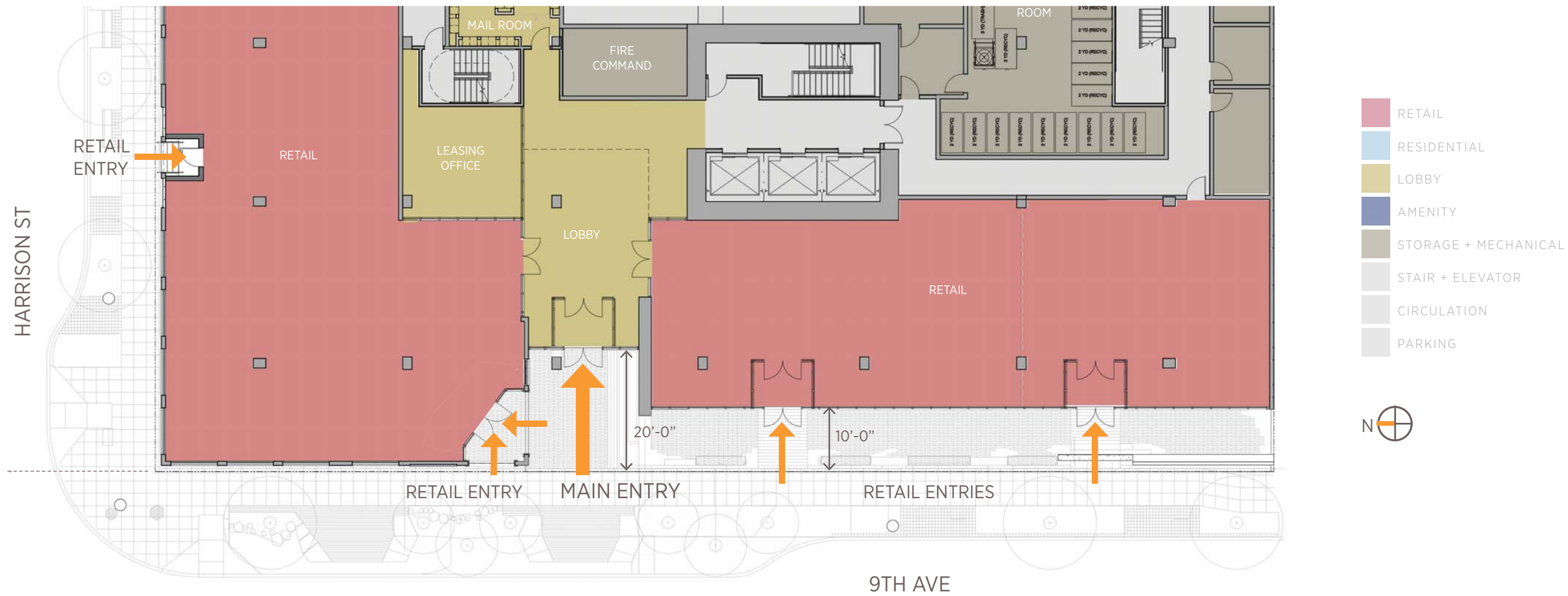
18' setback from historic facade

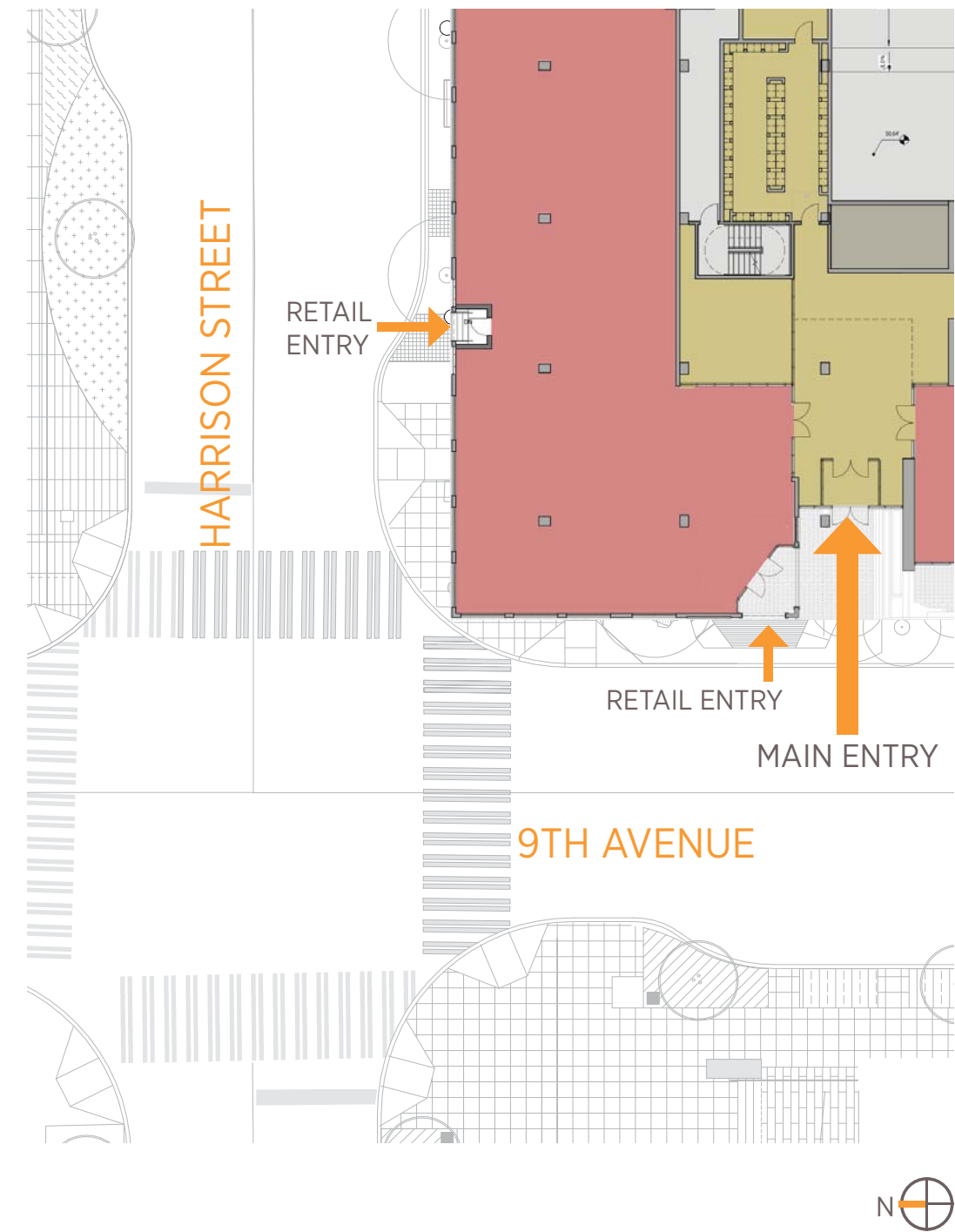
10' setback to accommodate required powerline setback

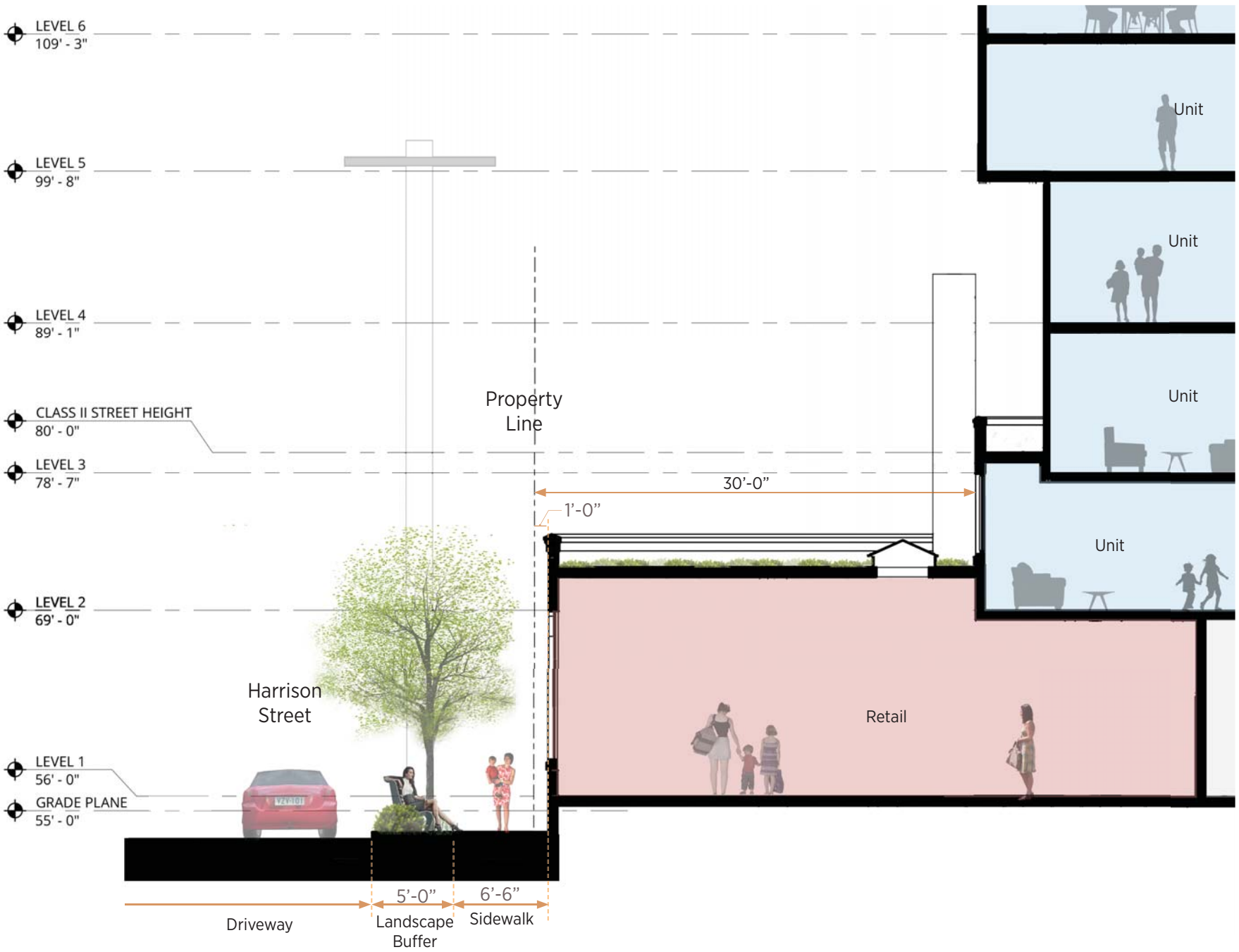
2. Street Level Design.

“The Board encouraged activation of the street frontage”

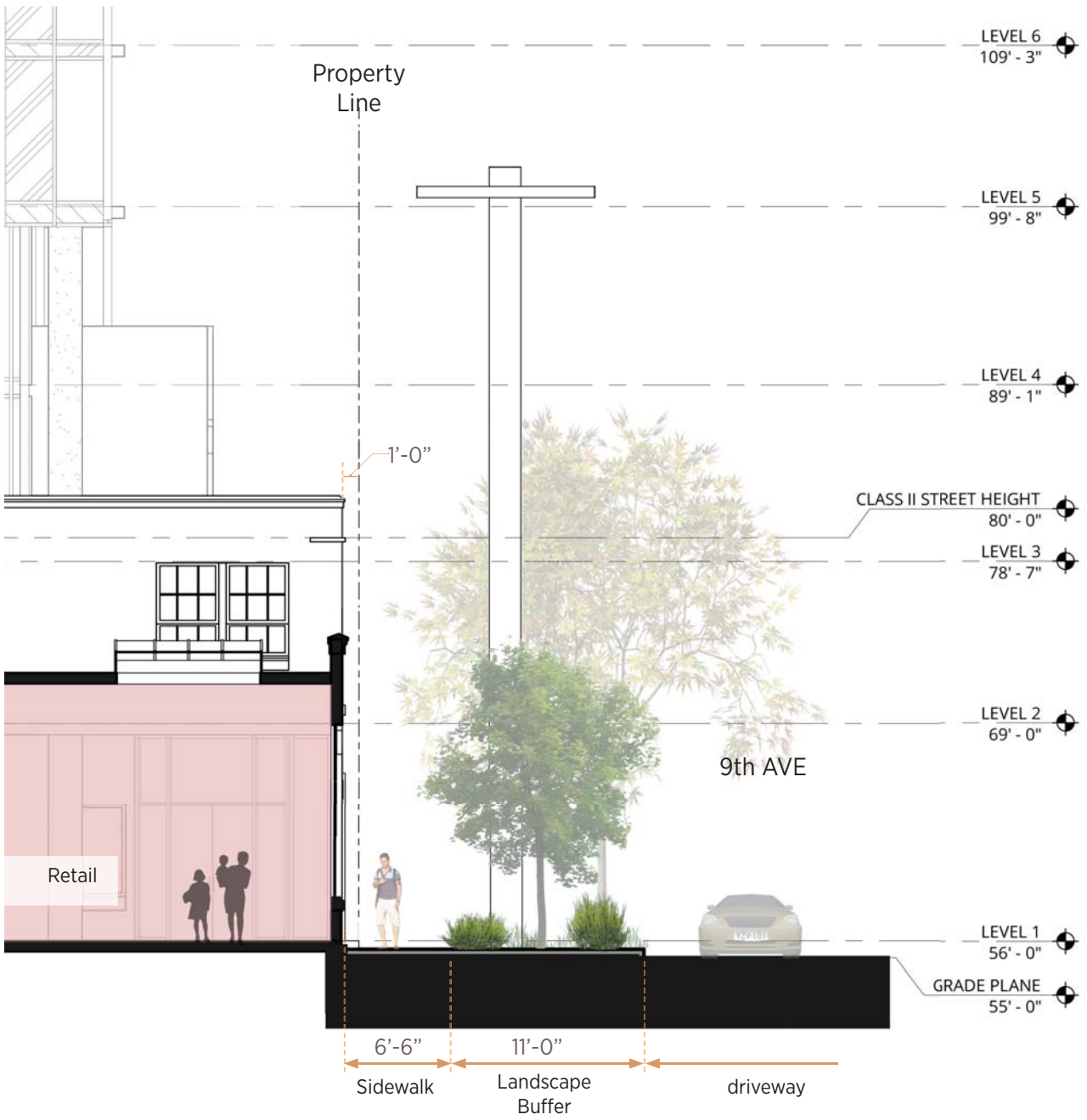
- 2a** “...strongly consider placing retail on 9th Ave N,” (CS2.B.2, PL2.I)
- 2b** “.....respond to the developing context at the intersection and the Heart Location designation of Harrison St....” (CS2.A.2, CS2.II.ii, DC2.A)
- 2c** “The Board supported the proposed curb bulb and street furniture to enhance the pedestrian experience.” (PL1.III)
- 2d** “The Board supported varying the design of the overhead weather protection at the street frontage...” (PL2.C)
- 2e** “The Board also supported the conceptual sketches indicating the design intent for the street level entries, street facing facades, landscaping, and hardscape.” (PL3.A.1 and 4)
- 2f** “The 9th Ave N. curb bulb and street level treatment should be designed to respond to the intended bicycle route along 9th Ave N. and the neighborhood streetscape plan for 9th Ave N.”



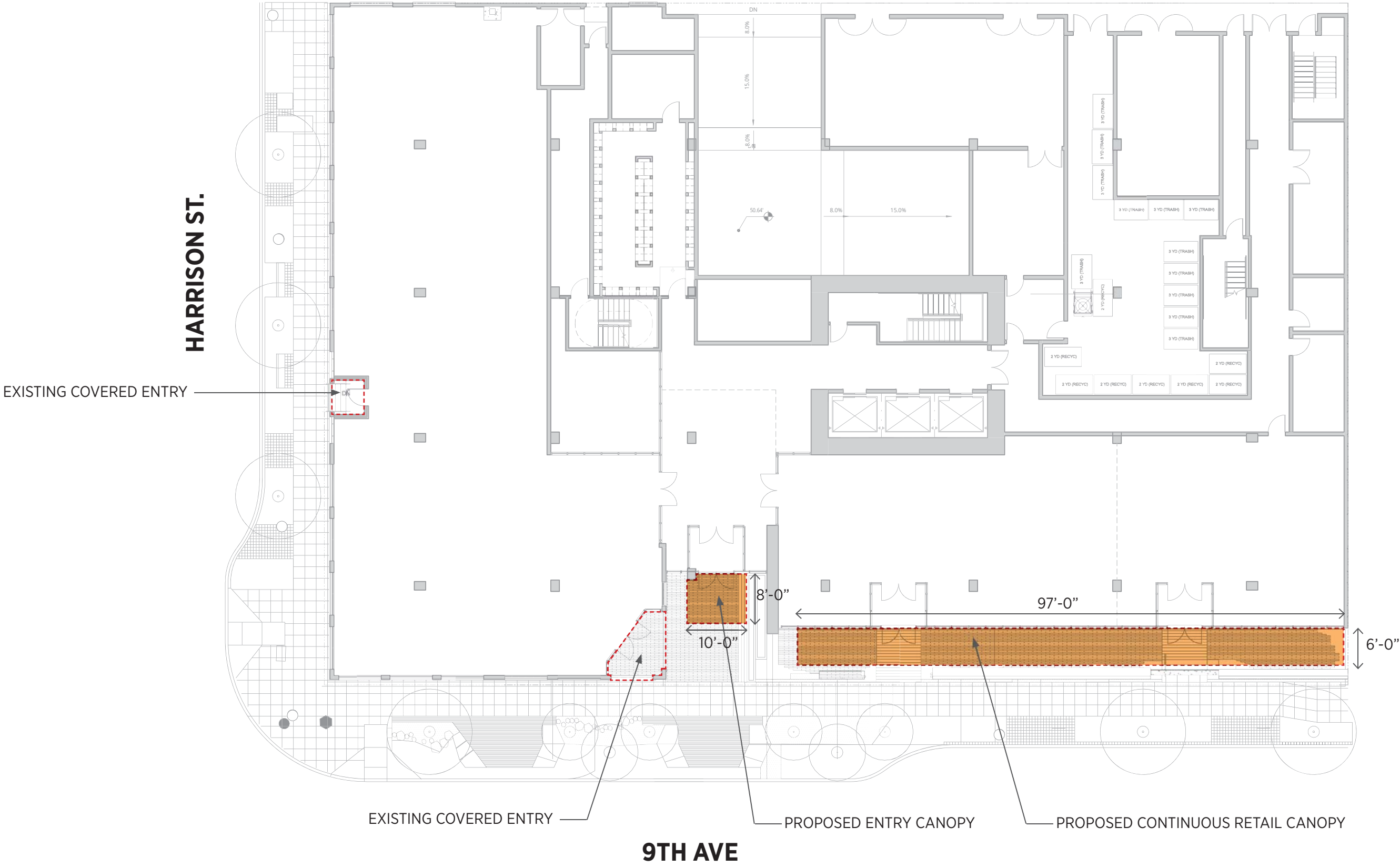




SECTION A



SECTION B

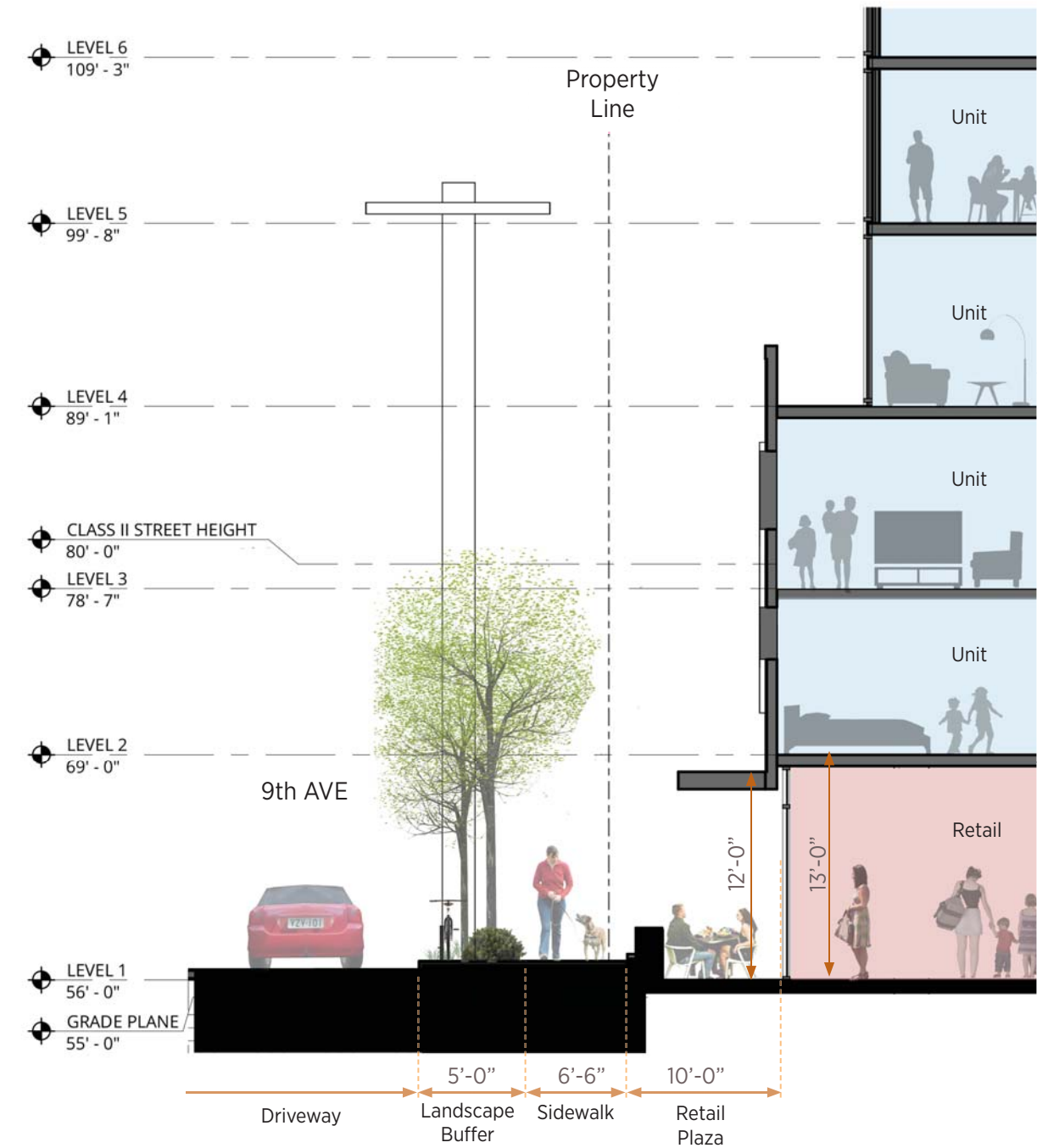




STREET LEVEL VIEW AT 9TH AVENUE



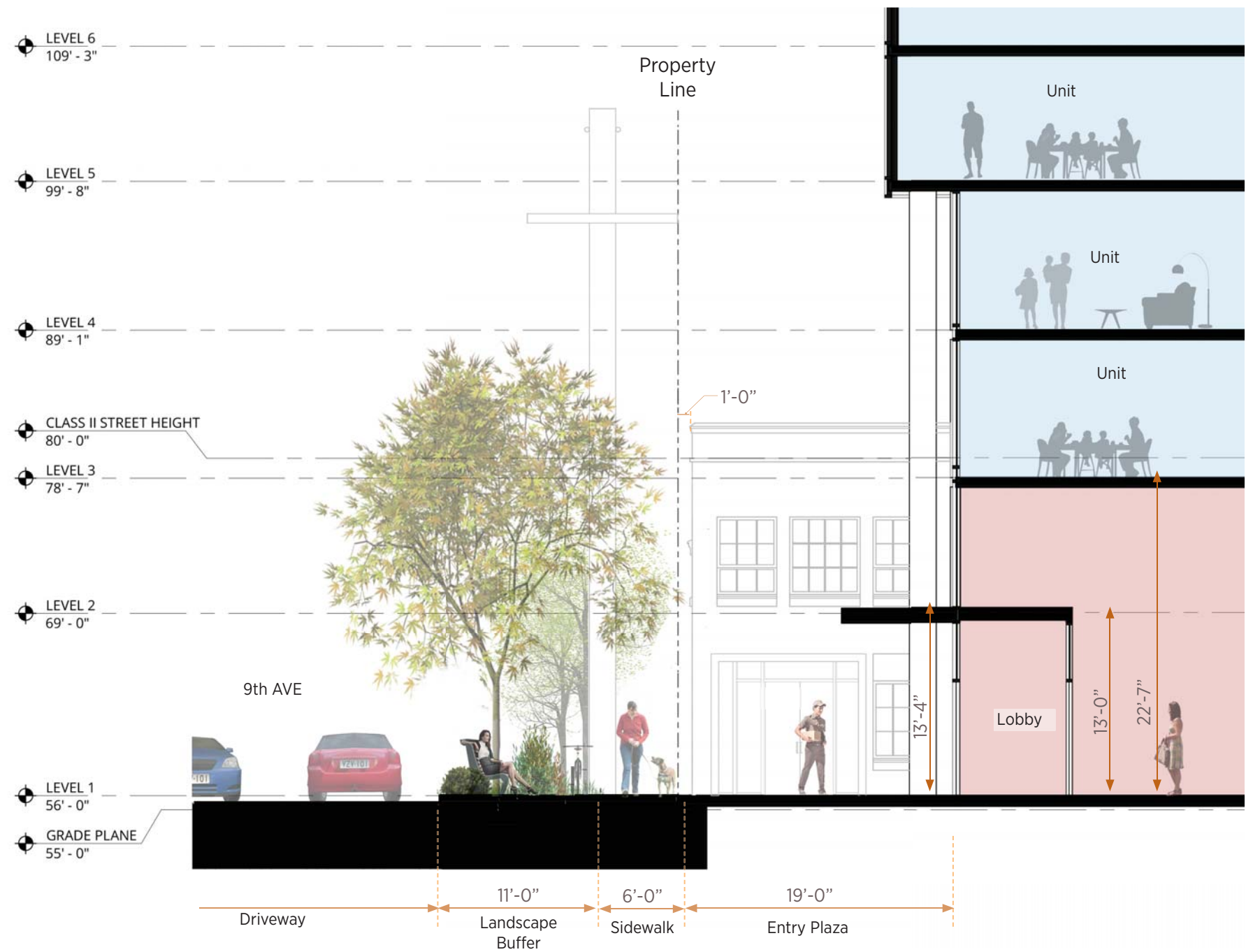
C



SECTION C



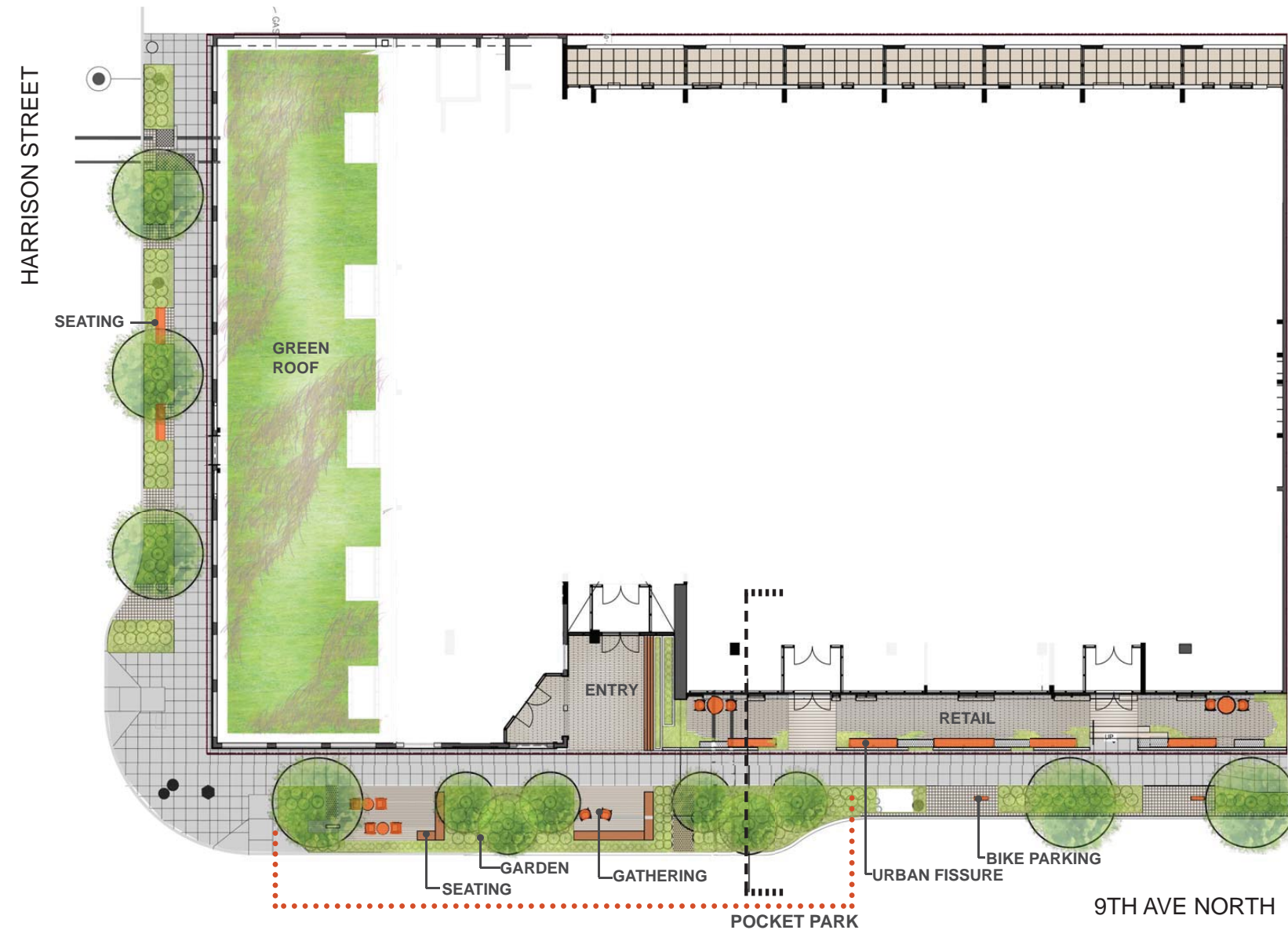
LOBBY ENTRANCE AT 9TH AVENUE



SECTION D



D



URBAN STREETSCAPE - LANDSCAPE CONCEPT:

- Expanded curb bulb as **pocket park** engaging the public sidewalk and lobby/retail spaces
- Trees clustered to create a **garden** setting
- Fixed elements provide artistic **seating** opportunities
- Paving accents create area rugs for **gathering** spaces and separation of uses
- **Bike parking** distributed along length street relating to retail spaces
- Sidewalk and retail space along 9th separated by an **urban fissure** concept – accessible in places and visible along length: linear curbs, narrow planting slots, seat walls, and lean rails
- Roof of landmark building as **green roof**, visible from towers – tapestry of plant materials creating collage of textures and colors – visual connection to garden spaces at plaza across Harrison
- Linear plantings integrated with seating create an inviting entry that connects to the pedestrian streetscapes. The use of **natural materials** hearkens back to the historic industrial character of the site and district.



ENTRY FEATURE



POCKET PARK



SEPARATION



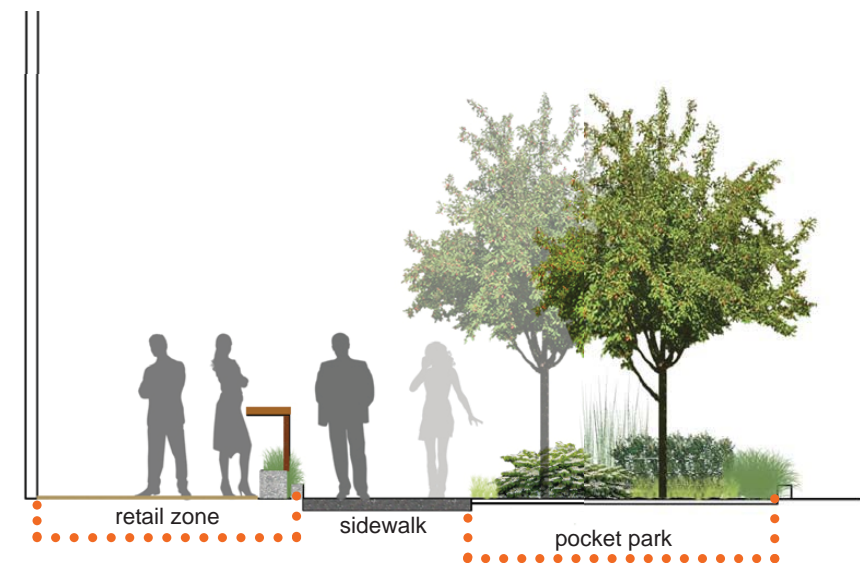
ACCENT PAVING



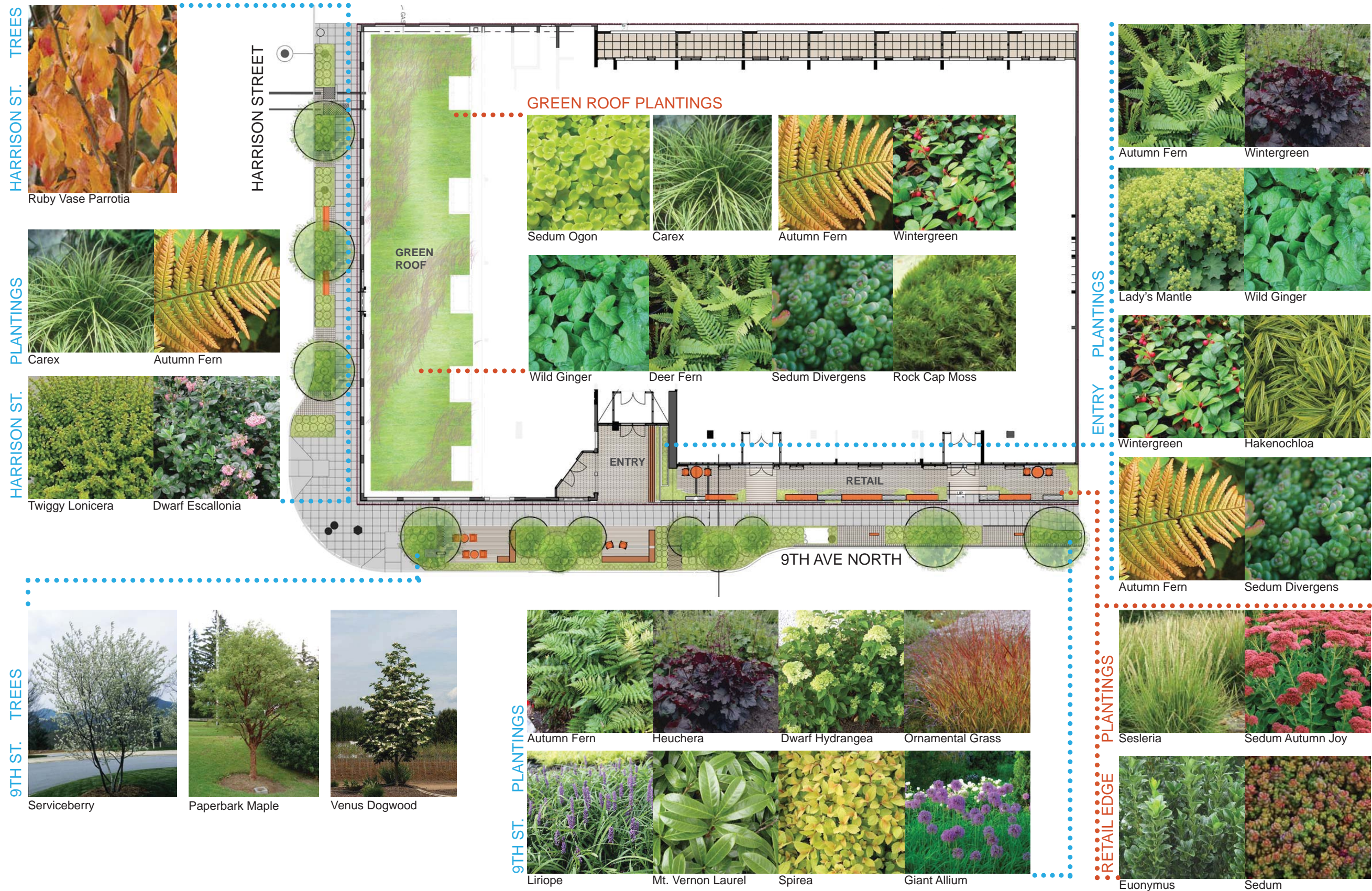
SEATING



EDGES

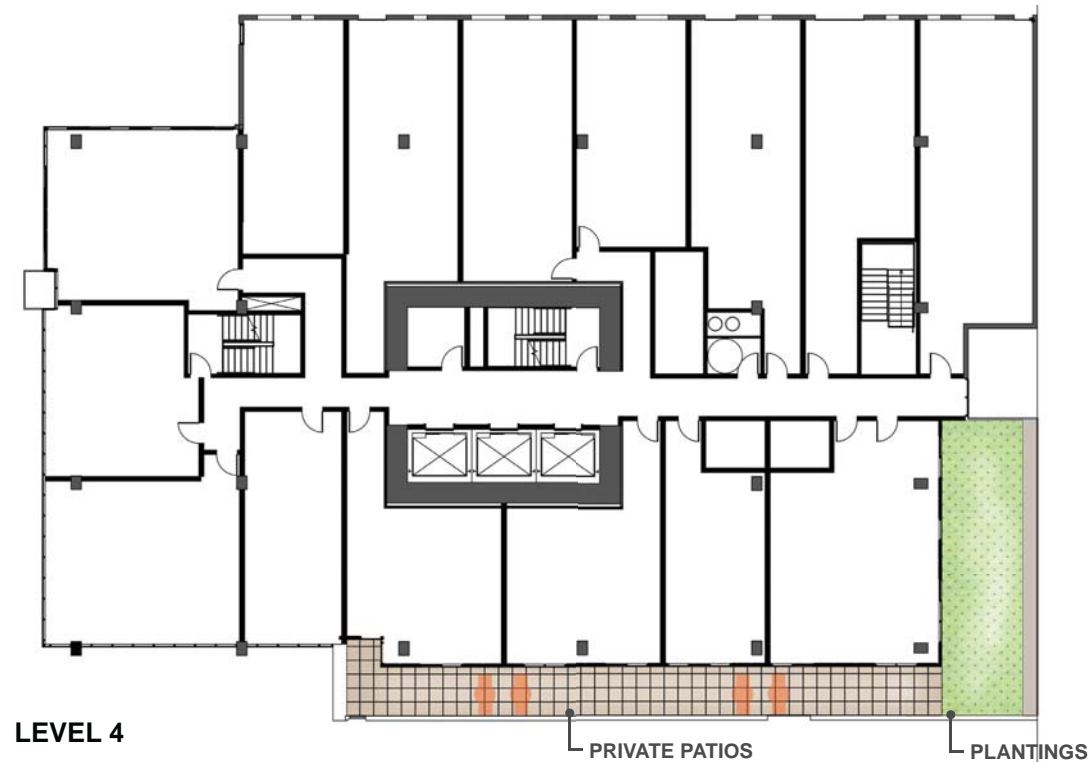


SECTION LOOKING SOUTH ON 9TH

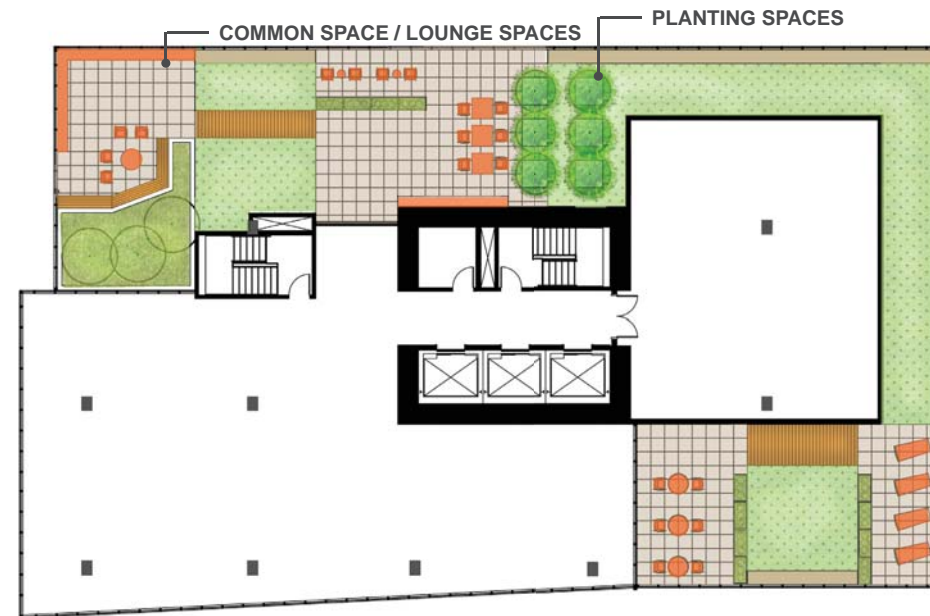




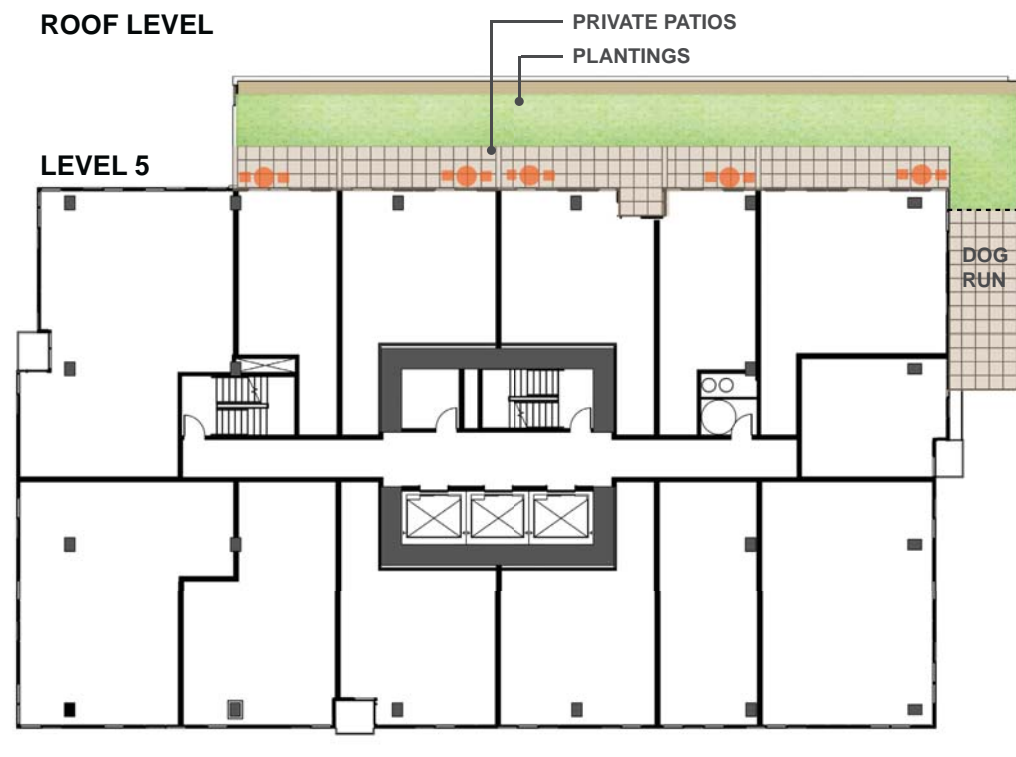
LEVEL 3



LEVEL 4



ROOF LEVEL



LEVEL 5

ROOF DECK



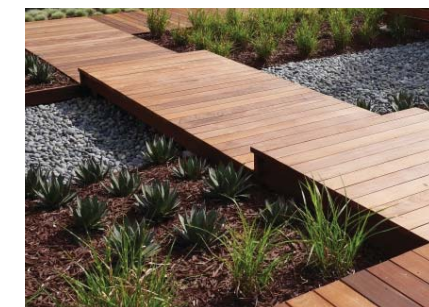
Bouteloua Geum Veronica Ornamental Grass Rudbeckia

URBAN LIVING: TERRACES / DECKS:

- Terraces will include private patios and decks adjacent to units
- Plantings to soften the terrace levels will include carefully placed green roof and planters
- The roof deck will offer prime views and will be the main outdoor common space above grade
- Spaces for gathering over meals, outdoor grills, bar seating, lean rails to experience the views, lounge spaces with fire tables and a variety of seating will all be integrated into planting spaces creating outdoor rooms



AMENITY GATHER SPACE



USABLE GREEN ROOF



GATHERING SPACES



GREEN ROOF PLANTINGS

3. Alley

“Given the proposed activation of the alley and connection to the pedestrian amenities across the alley, the alley frontage should be designed to enhance the design intent.”

- 3a** “Lighting should enhance pedestrian safety, especially at the alley.” (PL1.I.iii)
- 3b** “The Board noted that since the north end of the alley will include pedestrian activity, the location of services near the southeast corner of the site is an appropriate response to the context and the proposed design.” (DC1.C.4)
- 3c** “The alley façade should be designed to be consistent with the other three facades of the building, given the pedestrian activity, visibility of the façade, and the proposed residential use across the alley.” (DC2.B.1)



WALL WASHERS



WALL MOUNTED SCONCES



RECESSED ACCENT LIGHTING



PARAPET WALL WASHERS



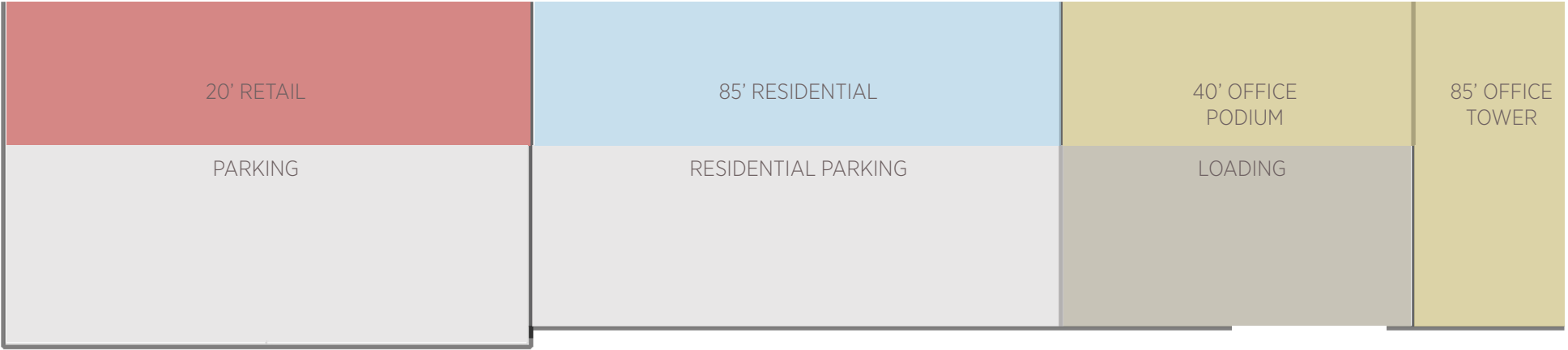
RECESSED CEILING LIGHTS

GROUND LEVEL



- RETAIL
- RESIDENTIAL
- LOBBY
- AMENITY
- GREEN ROOF
- STORAGE + MECHANICAL
- STAIR + ELEVATOR
- CIRCULATION
- PARKING

HARRISON STREET



ALLEY

EMERGENCY
EGRESS

VEHICLE ENTRY

EMERGENCY
EGRESS

TRASH
OUT

EMERGENCY
EGRESS

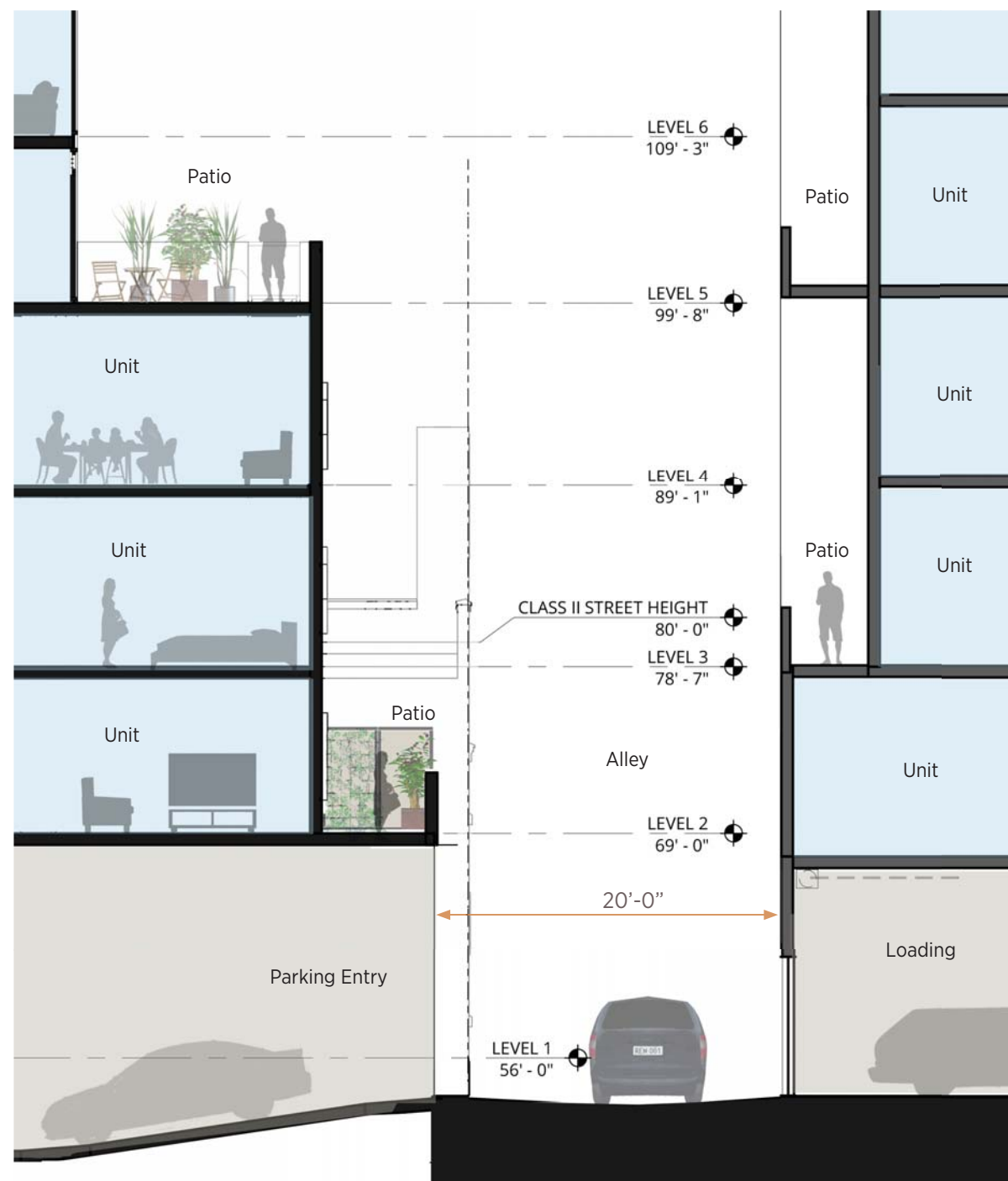
MOVE
IN

EMERGENCY
EGRESS

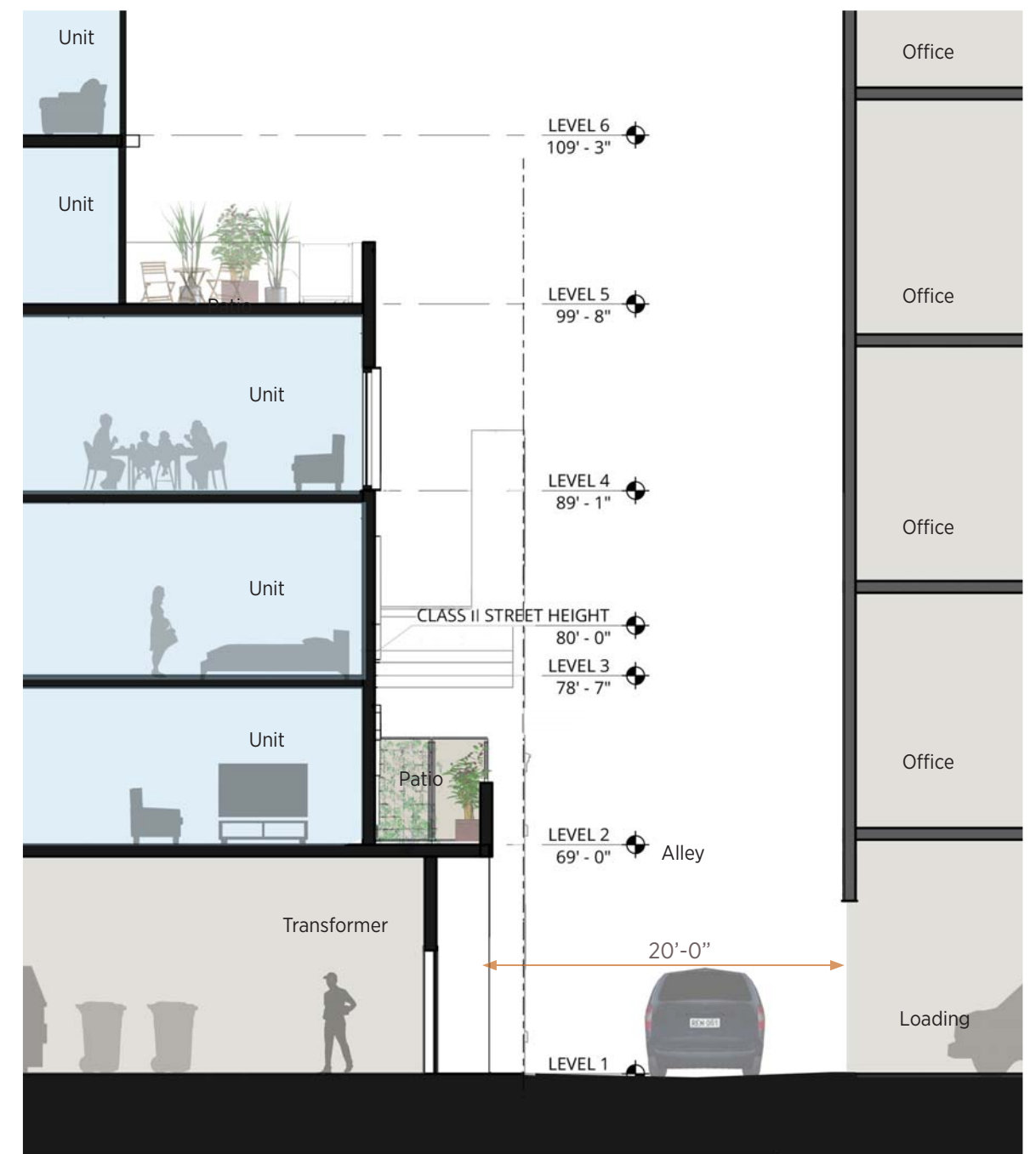


GROUND LEVEL





SECTION E



SECTION F



MATERIALS & SIGNAGES

COLOR SCHEME PREFERRED BY ARC



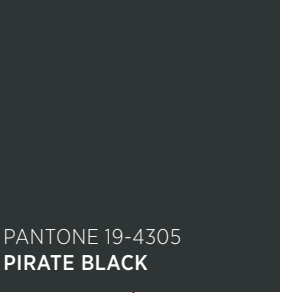
BODY



JAMB/ACCENT



MULLION



CLOSEUP AT LANDMARK WINDOW





BC-1
BOARD FORM CONCRETE



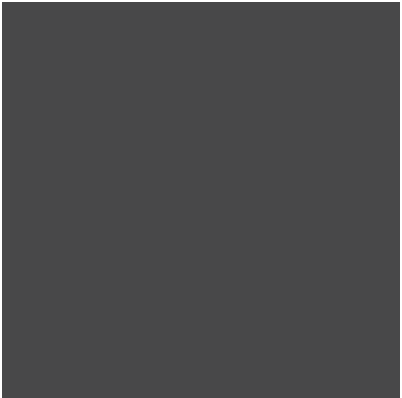
ST-1
GABION WALL



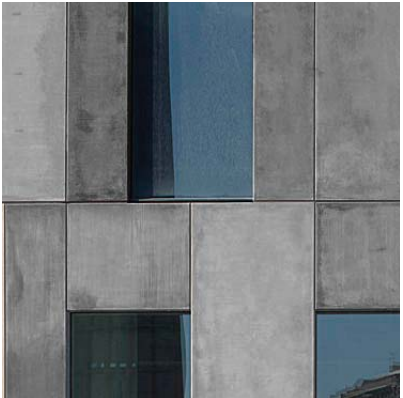
WD-1
WOOD COMPOSITE PANEL
- UNDERSIDE OF CANOPY &
STOREFRONT



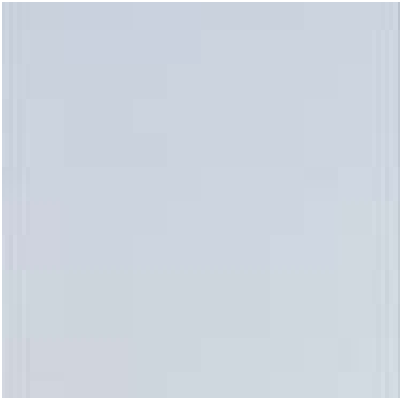
MT-1
PREFINISHED ALUMINUM
STOREFRONT - DARK BRONZE



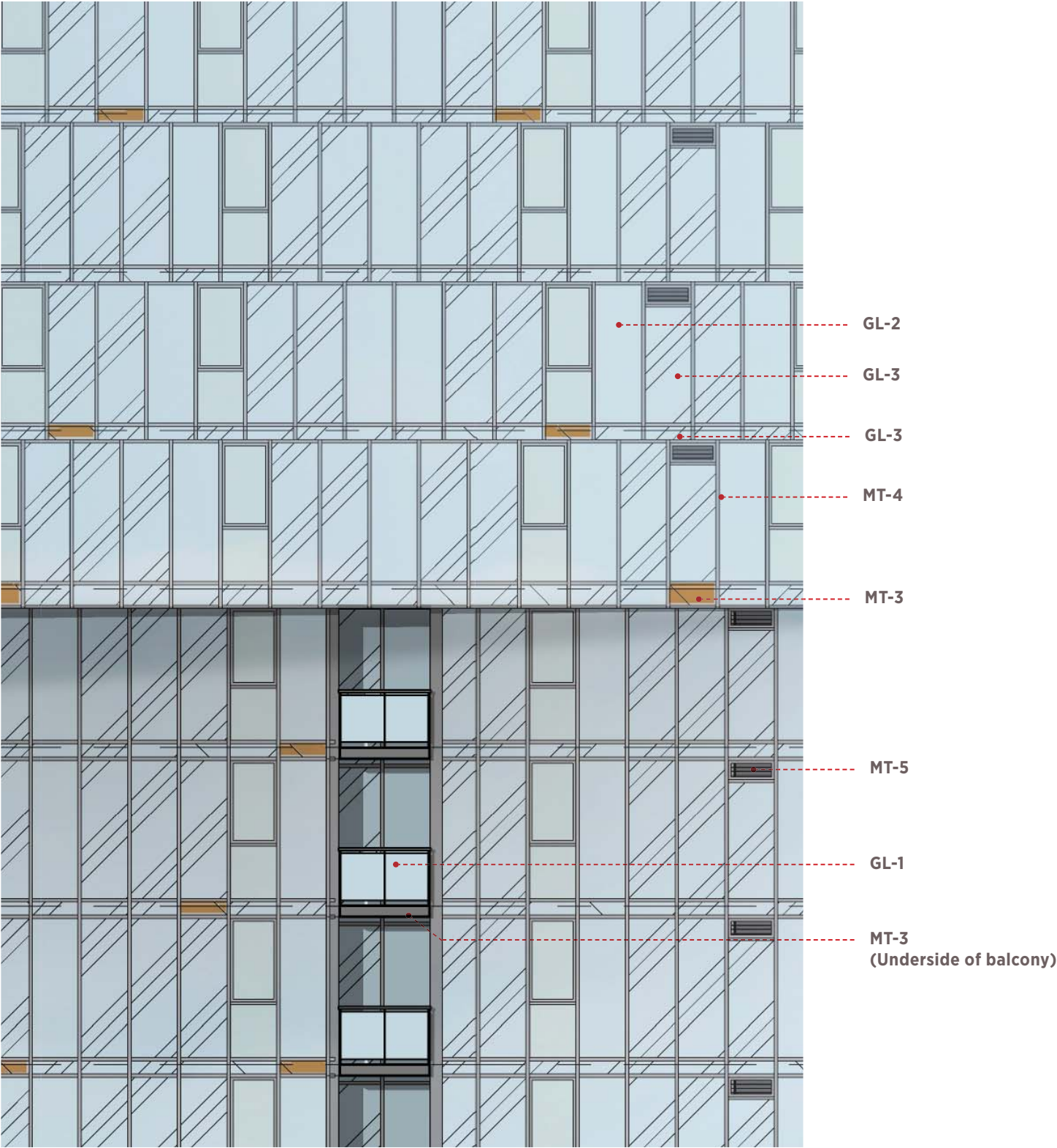
MT-2
PREFINISHED ALUMINUM
ELEMENTS - CHARCOAL GRAY



PC-1
PRECAST CONCRETE PANELS



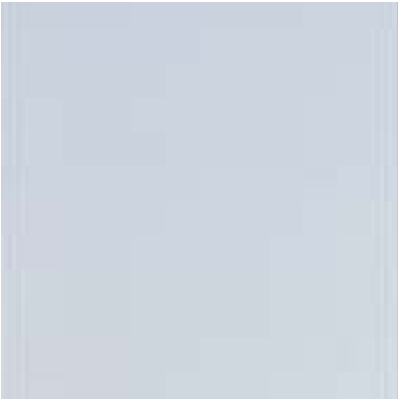
GL-1
LOW E VISION GLASS



TYPICAL TOWER LEVELS



GL-2
REFLECTIVE LOW E
VISION GLASS



GL-1
LOW E VISION GLASS



GL-3
REFLECTIVE LOW E
SPANDREL GLASS



MT-4
PREFINISHED ALUMINUM WINDOW
WALL SYSTEM ELEMENTS



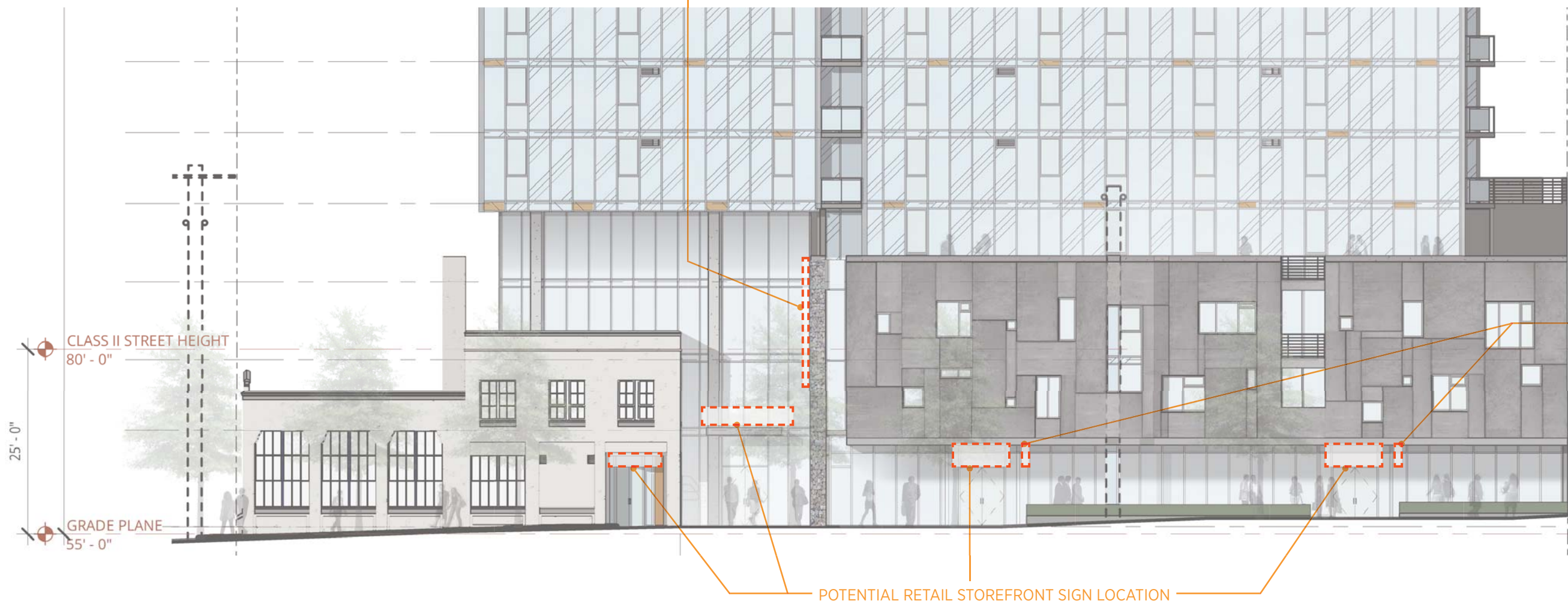
MT-3
METAL PANEL - BRONZE



MT-5
PREFINISHED ALUMINIUM LOUVERS



POTENTIAL FEATURE SIGNAGE ON CANOPY & FACE OF FEATURE WALL



POTENTIAL RETAIL BLADE SIGN LOCATION



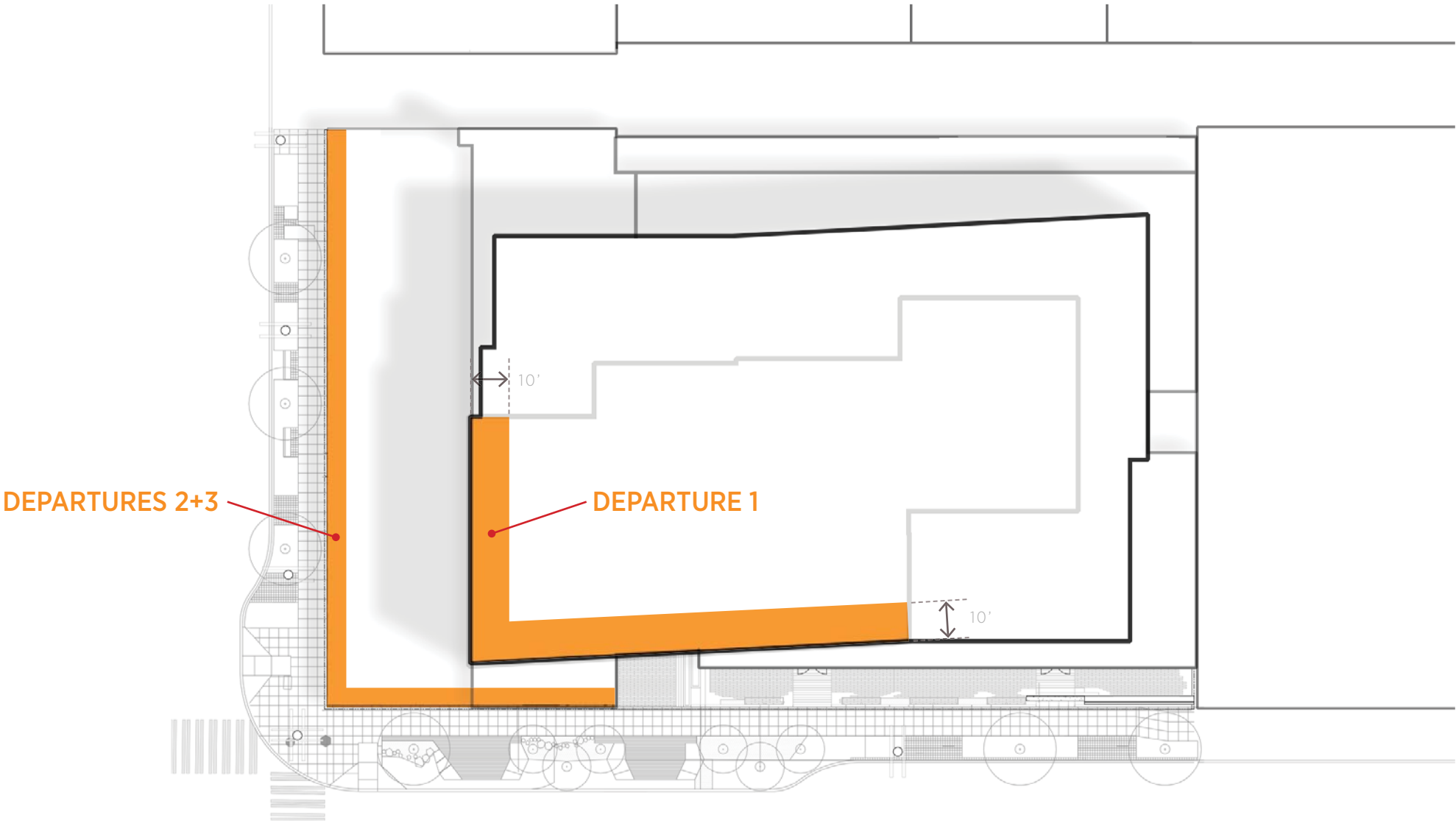
DEPARTURES

DEPARTURES

TITLE	REQUIREMENT	REQUEST	JUSTIFICATION
1. SMC 23.48.010.H.7.b Rooftop Features	No rooftop features are located closer than 10 feet to the roof edge.	The applicant proposes to locate portions of the penthouse at the North & West roof edge, in order to visually integrate the amenity penthouse with the building facade, and allow for more contiguous roof deck area.	<p>The departure requested is to allow portions of the penthouse to be brought out to the roof edge. This enhances the following Design Guidelines:</p> <p>CS2-A-2 Architectural Presence Unifying the massing at the building top will help create identity and significant presence. It maintains our architectural concept and prevent the penthouse from feeling like an “applied piece”. The penthouse space will be read as part of the building volume.</p> <p>DC2-E-1 Legibility & Flexibility The penthouse will be used as amenity space for all residents. The massing design will help express its primary functions and uses at the building top and readily perceived from the exterior, making the building easy to understand and interesting to look at.</p>
2. SMC 23.48.014.D Transparency and blank facade requirements	<p>1. Transparency requirements:</p> <p>a. For Class 1 and Class 2 Pedestrian Streets, a minimum of 60 percent of the street facing facade must be transparent.</p> <p>b. For all other streets not specified in subsection 23.48.014.D.1.a, a minimum of 30 percent of the street facing facade must be transparent.</p> <p>2. Blank facade limits:</p> <p>a. Blank facade limits for Class 1 and Class 2 Pedestrian Streets. 3) The total of all blank facade segments, including garage doors, shall not exceed 40 percent of the street facade of the structure on each street frontage; for all other streets 3) The total of all blank facade segments, including garage doors, shall not exceed 70 percent of the street facade of the structure on each street frontage</p>	The applicant requests granting a departure to this requirement due to the fact that the building has been designated a landmark structure and the existing landmark structure can not be modified.	<p>The departure requested is to allow the existing landmark building to not meet the pedestrian level transparency requirements. This enhances the following Design Guidelines:</p> <p>CS3-B-2 Historical/ Cultural References CS3-II-ii Architectural Context The existing building provides a historical connection to the site. Reuse and preservation of this building (per the Landmark Board) requires that the existing window openings and transparency ratios remain.</p>
3. SMC 23.48.014.A.2.b Street level development standards	<p>2. Minimum facade height. A minimum facade height is required for the street-facing facades of new structures, unless all portions of the structure are lower than the required minimum facade height listed below.</p> <p>b. On Class 2 Pedestrian Streets and Neighborhood Green Streets, as shown on Maps A and B for 23.48.014, the minimum height for street-facing facades is 25 feet.</p>	The applicant requests granting a departure to this requirement due to the fact that the building has been designated a landmark structure and the existing landmark structure can not be modified.	<p>The departure requested is to allow the existing landmark building to not meet the minimum 25’ high street facing facade. This enhances the following Design Guidelines:</p> <p>CS3-B-2 Historical/ Cultural References CS3-II-ii Architectural Context The existing building provides a historical connection to the site. Reuse and preservation of this building (per the Landmark Board) requires that the existing elevations and form of the building not be modified.</p>

DEPARTURES

- 1. SMC 23.48.010.H.7.b
Rooftop Features
- 2. SMC 23.48.014.D
Transparency and blank facade requiemnts
- 3. SMC 23.48.014.A.2.b
Street level development standards



THANK YOU

