

3031 WESTERN



The design team believes that the following guidelines are most pertinent to the site & design of the project:

- A-1*** *Respond to the physical environment.*

'Develop the architectural concept and arrange the building mass to enhance views.'
- B-1*** *Respond to the neighborhood context.*

(a) 'Compatible design should respect the scale, massing and materials of adjacent buildings and landscape'

(c) 'Design visually attractive buildings that add richness and variety to Belltown, including creative contemporary architectural solutions'
- B-2*** *Create a transition in bulk & scale.*

'New buildings should be compatible with the scale of development surrounding the project site.'
- B-3*** *Reinforce the positive urban form & architectural attributes of the immediate area.*

'Promote scale and character compatibility through reinforcement of the desirable patterns of massing and facade composition found in the surround area'
- B-4** *Design a well-proportional & unified building.*
- C-2** *Design facades of many scales.*
- C-4** *Reinforce building entries.*
- D-2*** *Enhance the building with landscaping.*

Downtown Design Guidelines
* Belltown Supplemental Guidance

CONTENTS

I STATEMENT OF DEVELOPMENT OBJECTIVES

The proposed development is a 12-story (above grade) high quality multifamily residential building comprising approximately 100 dwelling units and two or three levels of below grade parking providing between 50-75 stalls. Tenant amenities occupy the 9th floor with outdoor access to an expansive outdoor landscaped terrace. The building will seek a LEED Platinum rating.

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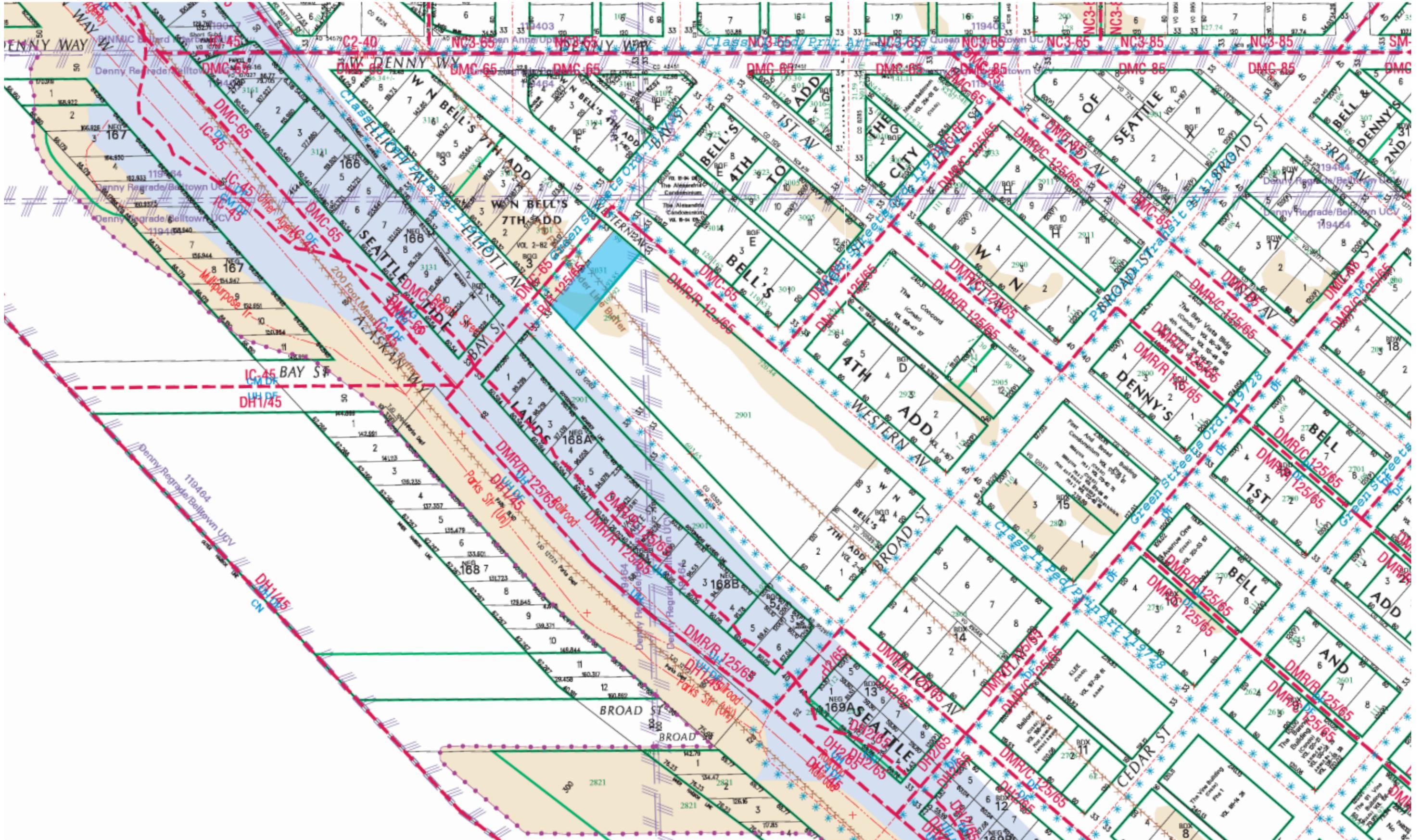
VII DEVELOPMENT STANDARD DEPARTURES

None Requested

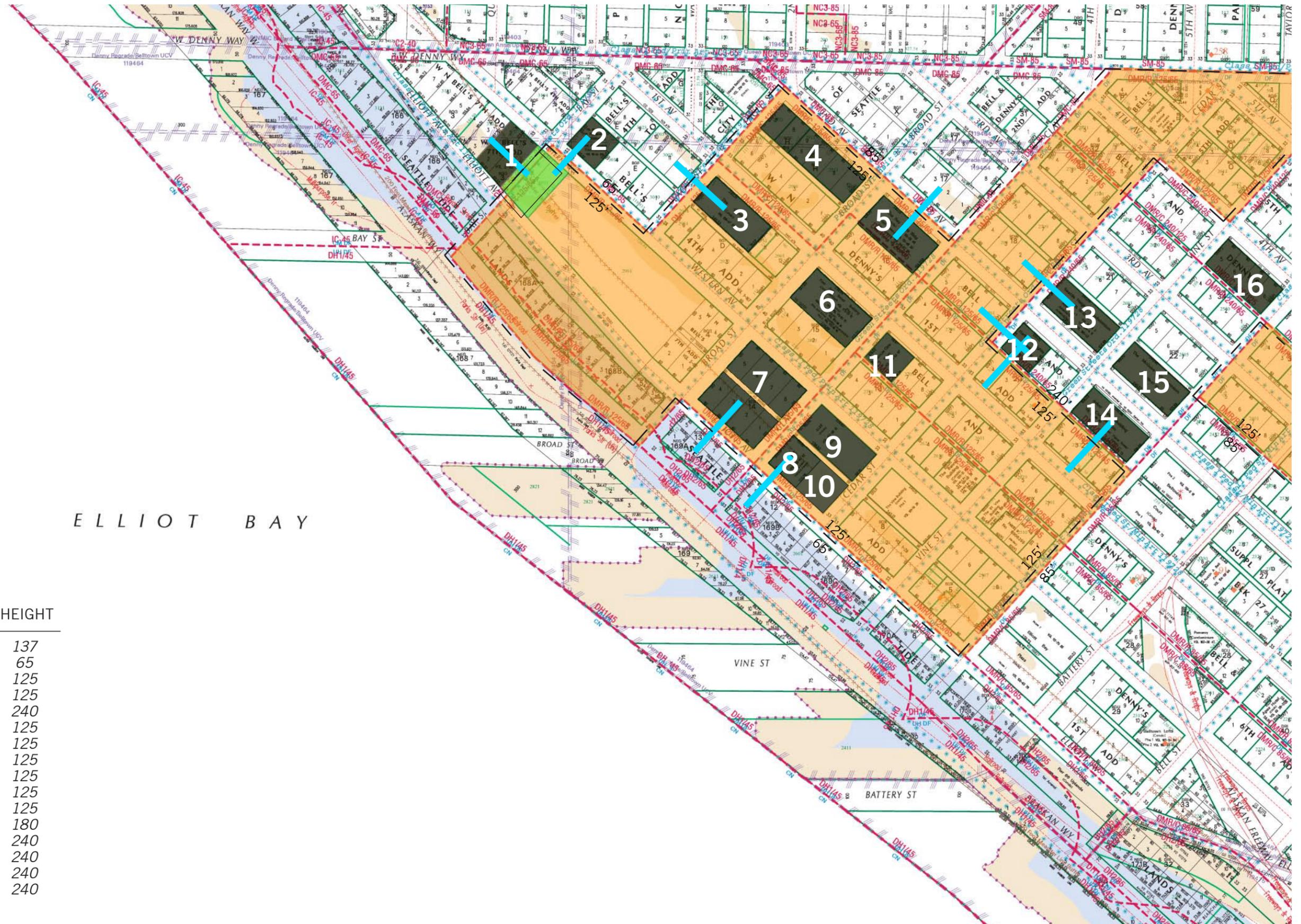
CONTEXT



- 1 Airborne Express Building
- 2 The Alexandria
- 3 Concord
- 4 The Broad Gallery
- 5 Bay Vista Tower
- 6 Fleet and Broad
- 7 The Olympus
- 8 Bellora
- 9 The Klee
- 10 The Joe
- 11 Avenue One
- 12 Harbor Heights
- 13 Seattle Heights
- 14 Arbor Place
- 15 The McGuire
- 16 The Centennial Plaza
- 17 Pier 69
- 18 Pier 70
- 19 Olympic Sculpture Park
- 20 OSP Pavilion
- 21 OSP Pocket Beach
- 22 Myrtle Edwards Park
- 23 Site



NEIGHBORHOOD SCALE



DEVELOPMENT	HEIGHT
1 Airborne Express Building	137
2 The Alexandria	65
3 Concord	125
4 The Broad Gallery s	125
5 Bay Vista Tower	240
6 Fleet and Broad	125
7 The Olympus	125
8 Bellora	125
9 The Klee	125
10 The Joe	125
11 Avenue One	125
12 Harbor Heights	180
13 Seattle Heights	240
14 Arbor Place	240
15 The McGuire	240
16 The Centennial Plaza	240



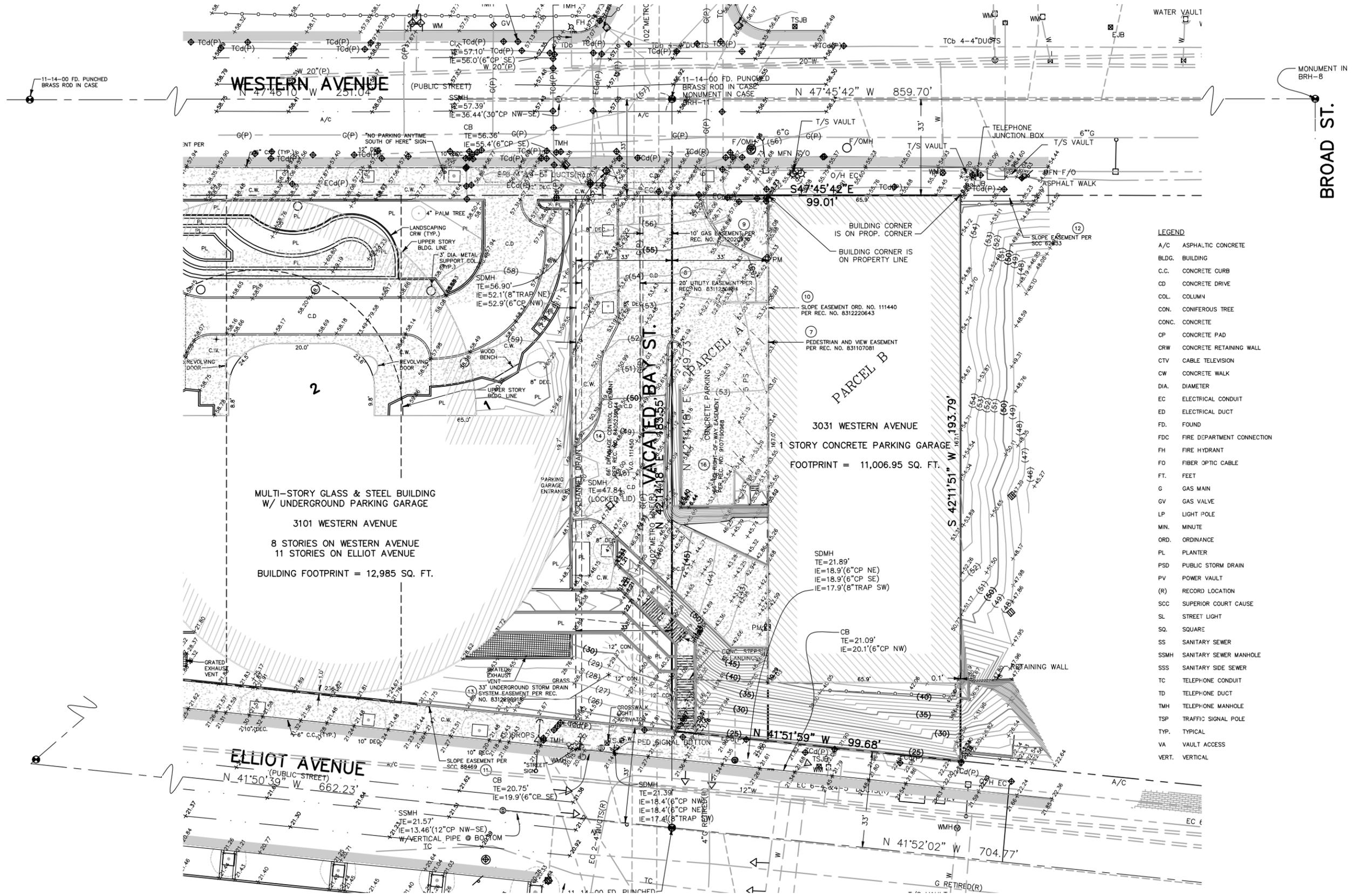
EXISTING USES

The project site is surrounded by a mix of residential, commercial, and office uses. The site is bounded on three sides by street rights of way, and on the south side by the Olympic Sculpture Park. Elliott and Western are primary vehicle arterials with few pedestrian oriented uses fronting the sidewalk, other than the Park.

The existing pattern of street level development along Western is a vestige of the derelict UNOCAL site era, and at the pedestrian scale is characterized by blank walls, loading docks, and parking garages. After the completion of the Park developments such as the Trio Condos have effectively established street level pedestrian retail, residential, and commercial uses.

The Bay Street right of way has been vacated and is privately owned, subject to a Property Use and Development Agreement (PUDA), referenced in the MUP submittal documents. Bay Street is not a through street for traffic, but must maintain pedestrian access from Western to Elliott.

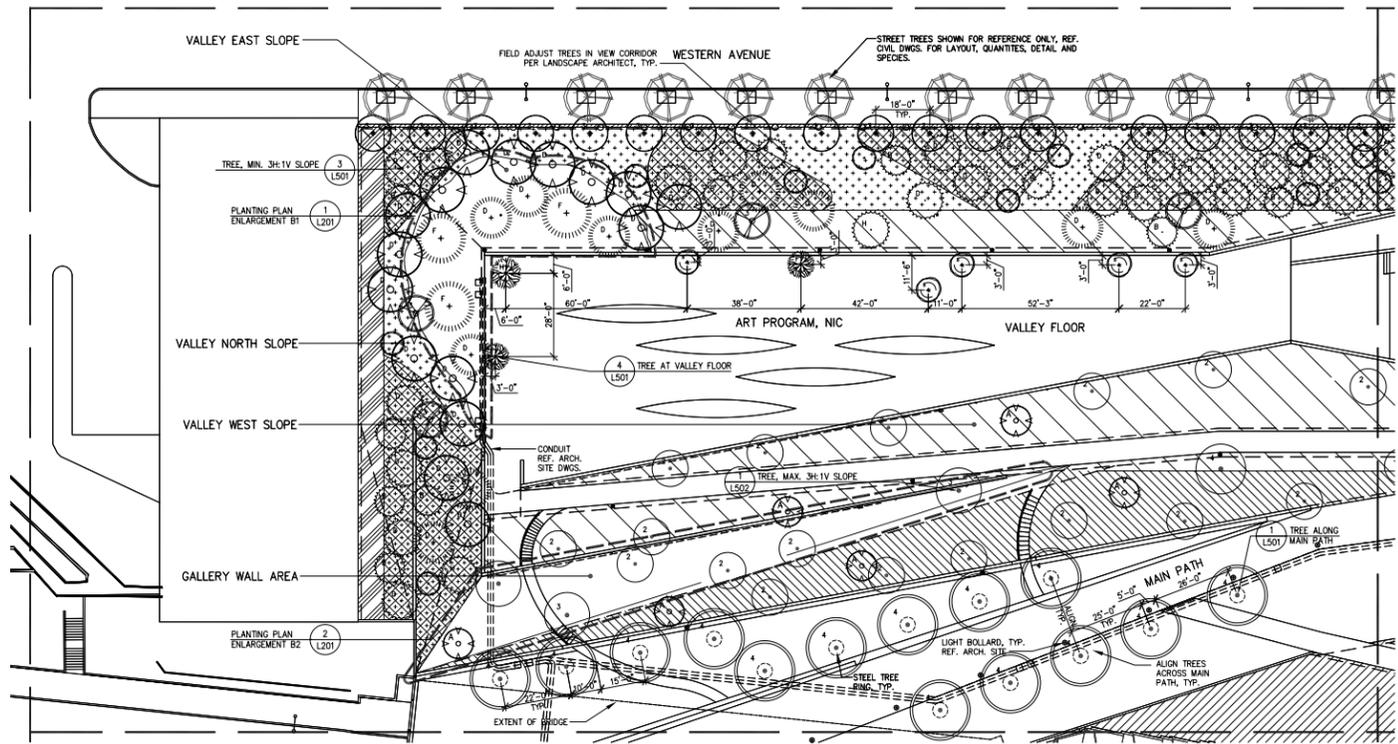




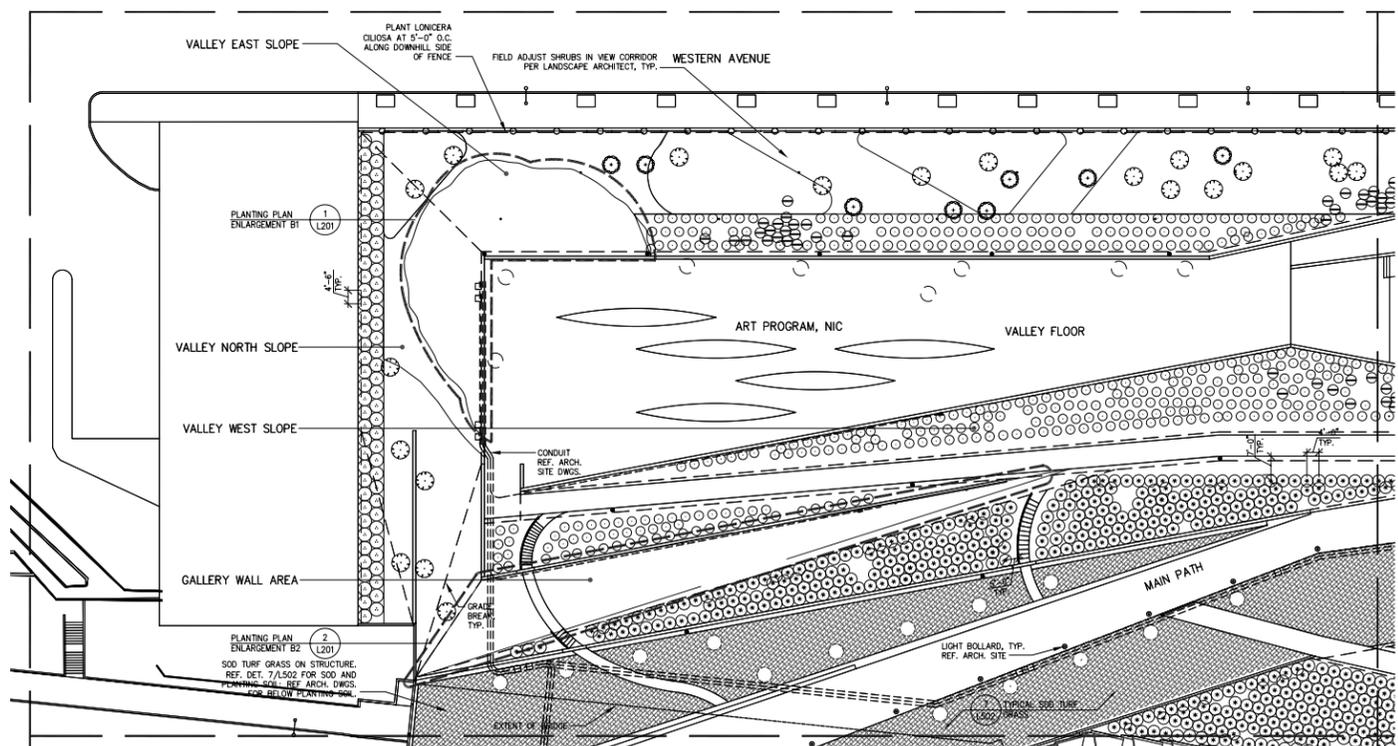
SECTOR B PLANT LEGEND

TREES				
SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	SPACING
	CORNUS 'EDDIE'S WHITE WONDER'	EDDIE'S WHITE WONDER DOGWOOD	2" CAL.	AS SHOWN
	CORNUS 'EDDIE'S WHITE WONDER'	EDDIE'S WHITE WONDER DOGWOOD	3" CAL.	AS SHOWN
	CORNUS 'EDDIE'S WHITE WONDER'	EDDIE'S WHITE WONDER DOGWOOD	4" CAL.	AS SHOWN
	CORNUS NUTTALLII	PACIFIC DOGWOOD	1-1/2" CAL.	AS SHOWN
	GINKGO BILOBA	MAIDENHAIR TREE	3" CAL.	AS SHOWN
	LARIX OCCIDENTALIS	WESTERN LARCH	3 - 3-1/2" CAL.	AS SHOWN
	METASEQUOIA GLYPTOSTROBODES	DAWN REDWOOD	14-16' HT.	AS SHOWN
	METASEQUOIA GLYPTOSTROBODES	DAWN REDWOOD	18-24' HT.	AS SHOWN
	PSEUDOTSUGA MENZIESII	DOUGLAS FIR	6-8' HT.	AS SHOWN
	PSEUDOTSUGA MENZIESII	DOUGLAS FIR	10-12' HT.	AS SHOWN
	PSEUDOTSUGA MENZIESII	DOUGLAS FIR	18-20' HT.	AS SHOWN
	SORBUS SITCHENSIS	SITKA MOUNTAIN ASH	15 GAL.	AS SHOWN
	THUJA PLICATA	WESTERN RED CEDAR	10-12' HT.	AS SHOWN
	THUJA PLICATA	WESTERN RED CEDAR	18-24' HT.	AS SHOWN
	TSUGA HETEROPHYLLA	WESTERN HEMLOCK	4-6' HT.	AS SHOWN
	TSUGA HETEROPHYLLA	WESTERN HEMLOCK	10-12' HT.	AS SHOWN
	ULMUS 'ACCOLADE'	ACCOLADE ELM	4" CAL.	AS SHOWN
SHRUBS				
SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	SPACING
	ACER CIRCINATUM	VINE MAPLE	8-10' HT.	AS SHOWN
	AMELANCHIER ALNIFOLIA	SASKATOON SERVICEBERRY	6-8' HT.	AS SHOWN
	CORYLUS CORNUTA VAR. CALIFORNICA	BEAKED HAZELNUT	4-6' HT.	AS SHOWN
	RIBES SANGUINEUM	RED FLOWERING CURRANT 'KING EDWARD'	2 GAL.	AS SHOWN
	SYMPHORICARPOS ALBUS	SNOWBERRY	2 GAL.	AS SHOWN
	VACCINIUM OVATUM	EVERGREEN HUCKLEBERRY	2 GAL.	AS SHOWN
VINES				
SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	SPACING
	AS NOTED	LONICERA GLIOSA	ORANGE HONEY-SUCKLE	1 GAL. 5'0" O.C.
PLANT MIXES				
SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	SPACING
	ARCTOSTAPHYLOS UVA-URSI	KINKKINICK	4" POT	24" O.C.
	FRAGARIA CHLOIDENSIS	BEACH STRAWBERRY	4" POT	24" O.C.
	MAHONIA REPENS	CREeping MAHONIA	1 GAL.	36" O.C.
	ARCTOSTAPHYLOS UVA-URSI	KINKKINICK	4" POT	24" O.C.
	RUBUS URSINUS	SALAL	1 GAL.	36" O.C.
	GAULTHERIA SHALLON	SALAL	1 GAL.	36" O.C.
	MAHONIA NERVOSA	LONGLEAF MAHONIA	1 GAL.	36" O.C.
	POLYSTICHUM MUNITUM	SWORD FERN	2 GAL.	48" O.C.
	RUBUS URSINUS	TRAILING BLACKBERRY	2 GAL.	60" O.C.
	GAULTHERIA SHALLON	SALAL	1 GAL.	36" O.C.
	RUBUS URSINUS	TRAILING BLACKBERRY	1 GAL.	60" O.C.
	ARCTOSTAPHYLOS UVA-URSI	KINKKINICK	4" POT	24" O.C.
	MAHONIA REPENS	CREeping MAHONIA	1 GAL.	36" O.C.
	GAULTHERIA SHALLON	SALAL	1 GAL.	36" O.C.
	RUBUS PARVIFLORUS	THIMBLEBERRY	2 GAL.	36" O.C.
TURF & MEADOW				
SYMBOL	COMMON NAME			
	SOD TURF GRASS			
	MEADOW GRASS			

PLANTING NOTES:
 1. CONTRACTOR SHALL IRRIGATE ALL PROPOSED AND EXISTING PLANT MATERIAL FOR THE DURATION OF THE PROJECT.
 2. CONTRACTOR IS REQUIRED TO VERIFY UTILITY LOCATIONS PRIOR TO CONSTRUCTION. CONTRACTOR SHALL CALL THE UTILITIES UNDERGROUND LOCATION CENTER (800-424-5555) AT LEAST TWO DAYS PRIOR TO CONSTRUCTION.
 3. PLANT MATERIALS SHALL MEET STANDARDS SET FORTH IN THE LATEST EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI-360.1) AND WASHINGTON STATE STANDARDS FOR NURSERY STOCK, ORDER NO. 1627. ALL PLANT MATERIAL SHALL HAVE SUFFICIENT ROOT DEVELOPMENT TO ASSURE SURVIVAL AND HEALTHY GROWTH. CONTAINER GROWN PLANT MATERIALS ARE REQUIRED TO HAVE SUFFICIENT ROOT GROWTH TO HOLD THE SOIL INTACT WHEN REMOVED FROM THE CONTAINER, BUT SHALL NOT BE ROOT BOUND.
 4. ALL TREES SHALL HAVE HEALTHY AND STRONG CENTRAL LEADERS TO ENSURE OPTIMUM GROWTH AND SURVIVAL.
 5. ALIGN ROWS OF TREES, SHRUBS AND GROUNDCOVER TO ADJACENT WALLS, PATHS, AND GRADE BREAKS UNLESS OTHERWISE NOTED.
 6. ALL DIMENSIONS ARE TO CENTER OF TREE UNLESS OTHERWISE NOTED.
 7. REFER TO TYPICAL PLANTING DETAILS FOR SHRUBS, GROUNDCOVER, SOD TURF GRASS, MEADOW GRASS AND PLUGS ON SHEET L502 UNLESS OTHERWISE NOTED.
 8. REFER TO SHEET L301 FOR MASTER PLANT SCHEDULE AND FIELD LOCATED PLANTS.
 9. REFER TO SHEET L401 FOR TYPE AND DEPTH OF PLANTING SOIL MIXES.
 10. MULCH SHALL BE INSTALLED TO A DEPTH OF 3-INCHES IN ALL PLANTING BEDS EXCEPT INSTALL NO MULCH AT SHORE PRECINCT BEACH.
 11. INSTALL TEMPORARY PROTECTION BARRIER ALONG PERIMETER OF ALL MEADOW AREAS TO PREVENT ACCESS AND DISTURBANCE TO MEADOW AREAS. BARRIER SHALL REMAIN IN PLACE UNTIL GRASS IS WELL ESTABLISHED AND EXHIBITS A VIGOROUS GROWING CONDITION AS APPROVED BY LANDSCAPE ARCHITECT. REFER TO SECTION 02930.
 12. INSTALL TEMPORARY PROTECTION BARRIER ALONG PERIMETER OF ALL PLANTING AREAS AT SHORE PRECINCT AS SHOWN TO PREVENT ACCESS AND DISTURBANCE TO PLANTING AREAS. BARRIER SHALL REMAIN IN PLACE UNTIL PLANTS ARE WELL ESTABLISHED OR UNTIL REMOVAL IS APPROVED BY OWNER. REFER TO SECTION 02930 2.6 & 3.6.
 13. INSTALL ROOT BARRIER ALONG PERIMETER OF GROVE AREAS AS SHOWN. SET ROOT BARRIER 2-INCHES BELOW FINISH GRADE. ROOT BARRIERS SET PRIOR TO CONSTRUCTION MAY REQUIRE ADJUSTMENT LATER TO ENSURE FINAL LOCATION IS 2-INCHES BELOW FINISH GRADE. REFER TO SECTION 02950.
 14. REFER TO CIVIL DWGS. FOR LAYOUT, QUANTITIES, SPECIES AND PLANTING DETAIL FOR STREET TREES.
 15. REFER TO CIVIL/ARCH. SITE DWGS. FOR LAYOUT OF SITE WALLS & HARDSCAPE ELEMENTS AND FOR GRADING.
 16. REFER TO CIVIL FOR LIMITS OF TREE PROTECTION. REFER TO SHT. L502 FOR TREE PROTECTION DETAIL.
 17. NO PESTICIDES, HERBICIDES OR CHEMICAL FERTILIZERS SHOULD BE APPLIED TO VEGETATION AT THE SHORE PRECINCT.



1 L102 1" = 20' SECTOR B TREE AND GROUNDCOVER PLANTING PLAN



2 L102 1" = 20' SECTOR B SHRUB, TURF AND MEADOW PLANTING PLAN

Olympic Sculpture Park

Seattle Art Museum
 Seattle, Washington
 100 University Street
 Seattle, WA 98101

LEAD DESIGNER
 Site Design / Architecture
 Weller | Marshall Architects
 130 West 29th Street, 12th floor
 New York, NY 10001
 212.760.9002

CONSULTANT TEAM
 Structural & Civil Engineering Consultant
 Magnusson Klemencic Associates
 1301 Fifth Avenue, Suite 3200
 Seattle, WA 98101
 206.292.1200

Landscape Architecture Consultant
 Charles Anderson Landscape Architecture
 83 Columbia Street, Suite 901
 Seattle, WA 98104
 206.516.4200

MIEPFF Engineering Consultant
 A.B.A.C.U.S. Engineered Systems
 401 Second Avenue South, Suite 201
 Seattle, WA 98104
 206.583.0200

Agentic Science Engineering Consultant
 Anchor Environmental
 1423 3rd Avenue, Suite 300
 Seattle, WA 98101
 206.287.9130

Geotechnical Engineering Consultant
 Hays-Crowner, Inc.
 1910 Polkview Avenue East
 Seattle, WA 98102
 206.324.9530

Environmental Engineering Consultant
 Aspect Consulting
 811 First Avenue, Suite 480
 Seattle, WA 98104
 206.838.5840

Lighting Consultant
 Brandstrom Partnership, Inc.
 122 West 26th Street
 New York, NY 10001
 212.924.4050

AVI/T Security Consultant
 A.R.U.P.
 155 Avenue of the Americas
 New York, NY 10013
 212.229.2669

Food Service Consultant
 J.H. Design Group, Inc.
 597 Roy Street, Suite 175-A
 Seattle, WA 98109
 206.625.0070

Construction Management
 Sellen Construction
 227 Westlake Ave. N.
 Seattle, WA 98109
 206.682.7770

ALL DIMENSIONS AND EXISTING CONDITIONS SHALL BE CHECKED AND VERIFIED BY THE CONTRACTOR BEFORE PROCEEDING WITH THE WORK.

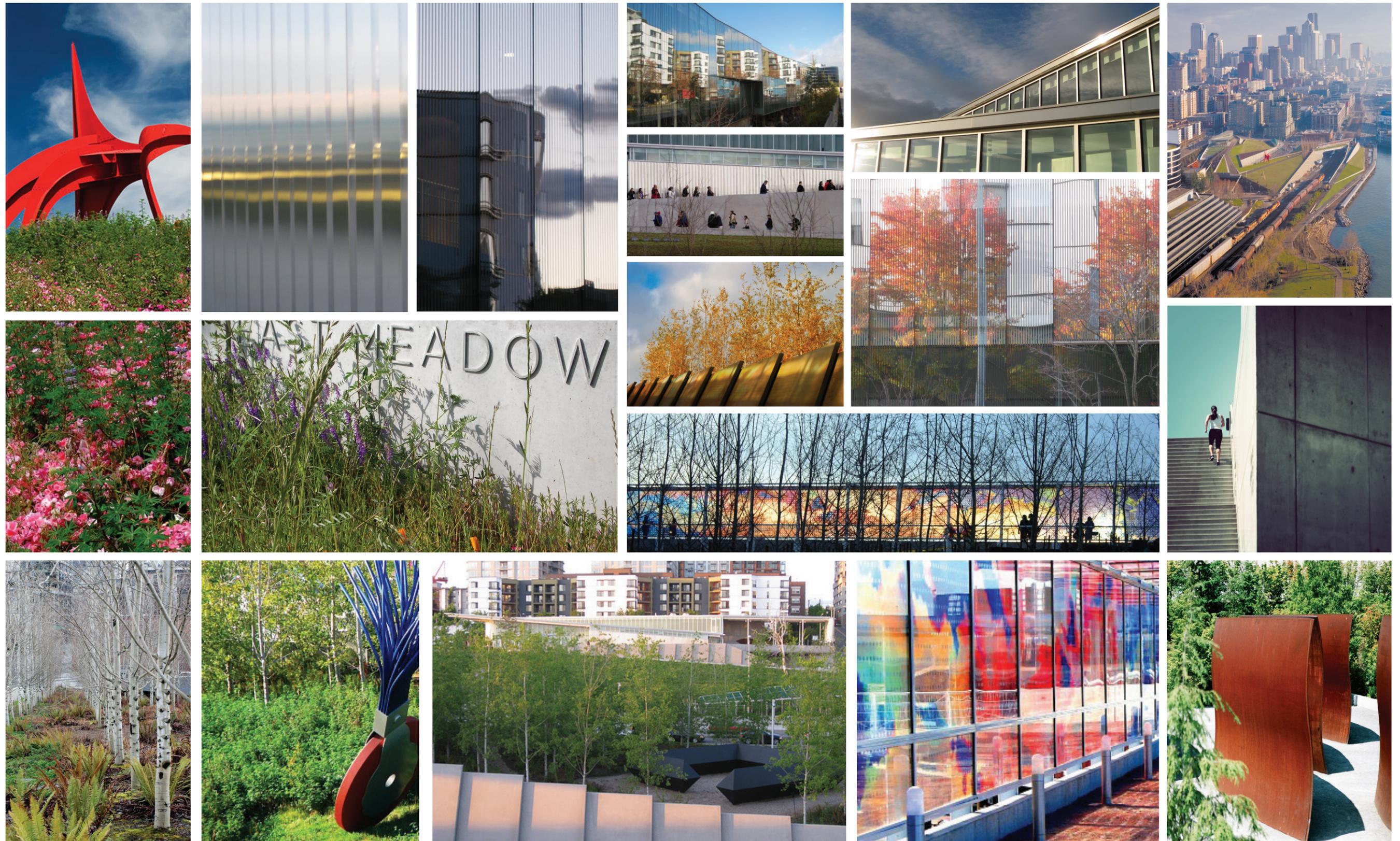
Issue	Date	Revisions
	03.04.05	100% CONSTRUCTION DOCUMENTS
	07.08.05	ASI #4

DRAWING HAS BEEN CLARIFIED W/ NO SCOPE CHANGE, UNLESS OTHERWISE NOTED BY REVISION CLOUD.

DRAWING TITLE
 PLANTING PLAN
 SECTOR B

Drawn SM/JIP Date JULY 8, 2005
 Checked CA Scale 1" = 20'
 Drawing No. L102

Document 100% CD CONFORMANCE SET



EXISTING CONDITIONS

Along the Sculpture Park edge, the site is defined by the top of a planted hill descending to the valley floor. Dense plantings occupy the hill, and over time, will form a natural backdrop to the park, and mediate between the park space and the proposed structure.

Along the Elliott Avenue edge, the existing pedestrian stair is a narrow and steep climb to the upper portion of Bay Street. The bridge abutment of the Park's connection across Elliott creates a hard edge to the west of an existing retaining wall in the Park. Across Elliott is a wonderful landscape space with art, trees, and fountains at the terminus of Bay Street, and just north of the Park.



bridge abutment

3131 Elliott Building

Elliott Avenue looking west



site

site

Trio Condos

Olympic Sculpture Park edge looking north



site

site

Elliott Avenue looking east



Olympus Condos

Olympic Sculpture Park edge looking south

EXISTING CONDITIONS

Along the Bay Street edge, the Airborne Express building presents landscaping and retaining walls to the pedestrian, across from the vehicle entry to the existing one story building on the project site.

Along the Western Avenue edge, the site is defined by the transition from the porte cochere of the Airborne Express building to the open space of the Park, while across the street, the 5 and 6 story condominiums front the site directly, with a combination of retail, residential, and parking at grade.



Airborne Express Building

Bay Street looking north



Airborne Express Building

Western Avenue looking west



Bay Street looking south



Trio Condos

Alexandria Condos

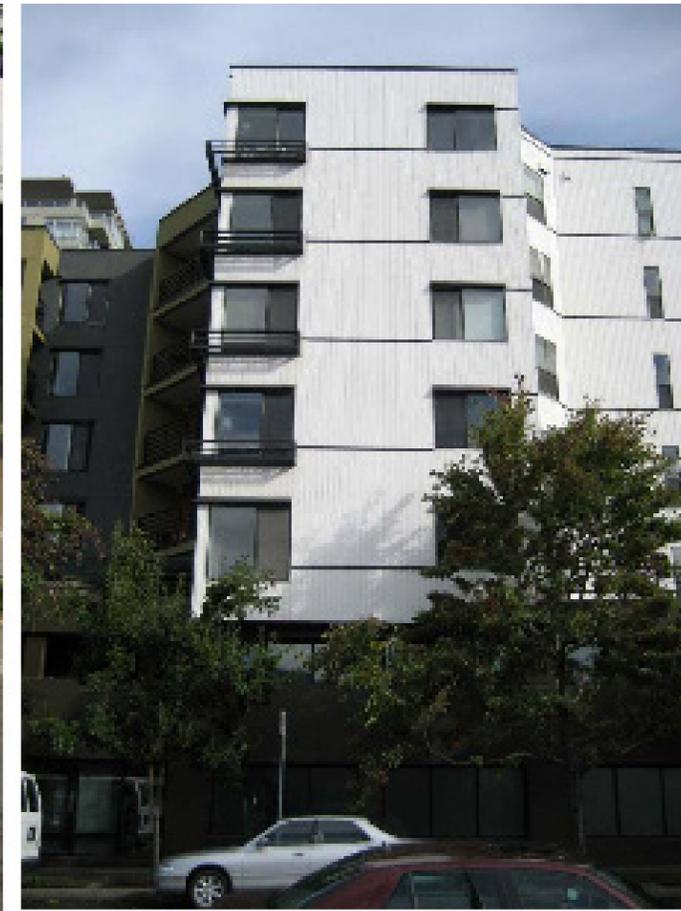
Western Avenue looking east

NEIGHBORING PEDESTRIAN REALM

The pedestrian realm along Elliott Avenue for the majority of the frontage along the Park is characterized by a very tall concrete retaining wall which contains the elevated ground of the Park. The retaining walls culminate in the bridge abutment and retaining wall adjacent to the project site at the termination of Bay Street, where a transition to a more landscaped and soft edge occurs along primarily commercial and office ground floor frontage. This is a major vehicle arterial, and pedestrians are few and far between, opting for a route either through the Park, or along the waterfront.



NEIGHBORING PEDESTRIAN REALM



The pedestrian realm along Western Avenue for the majority of the Park frontage is a vestige of the site's former derelict state as the UNOCAL cleanup site. Blank facades, vehicle entries, parking uses, loading docks, and similar service functions comprise the majority of this frontage, elevating most of the architectural and human interest to a zone above the pedestrian. However, the Park development has created a catalyst for the reinterpretation of this realm, and we expect that new developments will effectively create a pedestrian space that takes advantage of the transformation. Western Avenue is a vehicle arterial and pedestrians are naturally inclined to walk along the Park side of the street if traversing the neighborhood north to south.

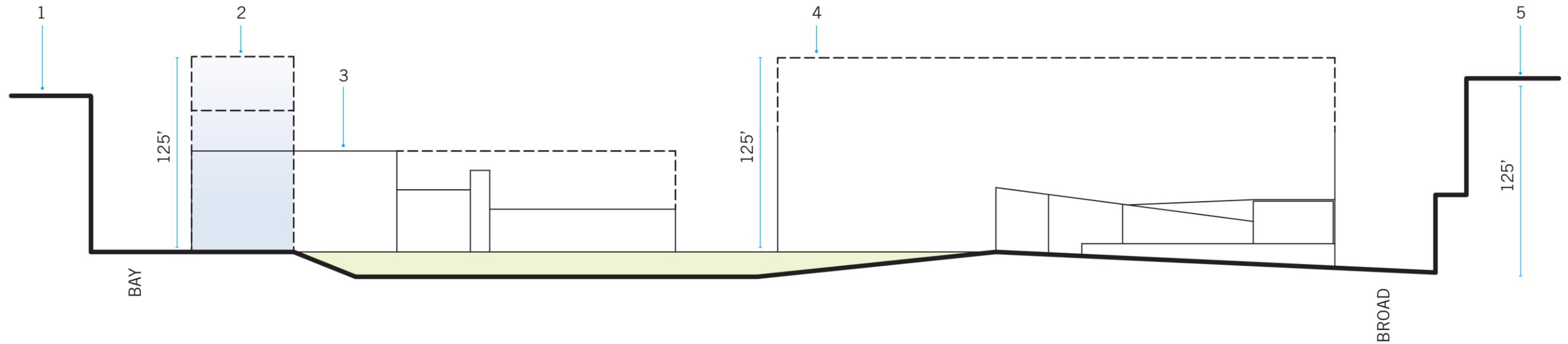


SITE SECTION

An urban site section through the Sculpture Park illustrates the relationship between the proposed building massing and the Park, and indicates the height and bulk of existing and future surrounding developments.

The proposed building mass steps back from the Sculpture Park property line 15' to establish a buffer of light and air, with a landscaped edge.

The proposed building mass is situated 55' from the northernmost occupiable portion of the Park, a spatial relationship comparable to adjacent building masses across the 66' right of way of Western Avenue.

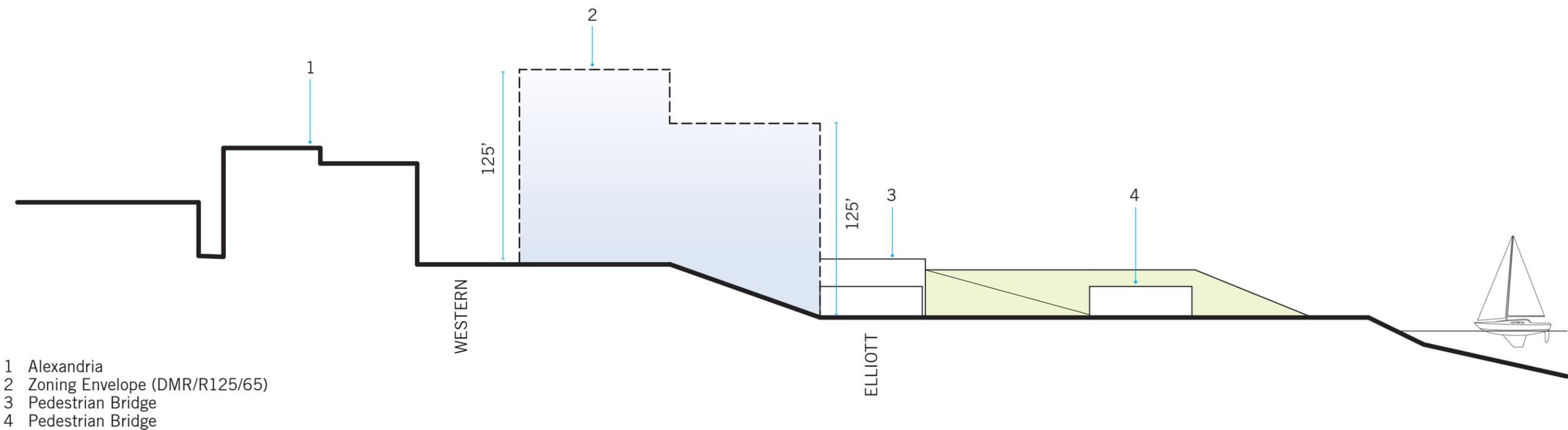
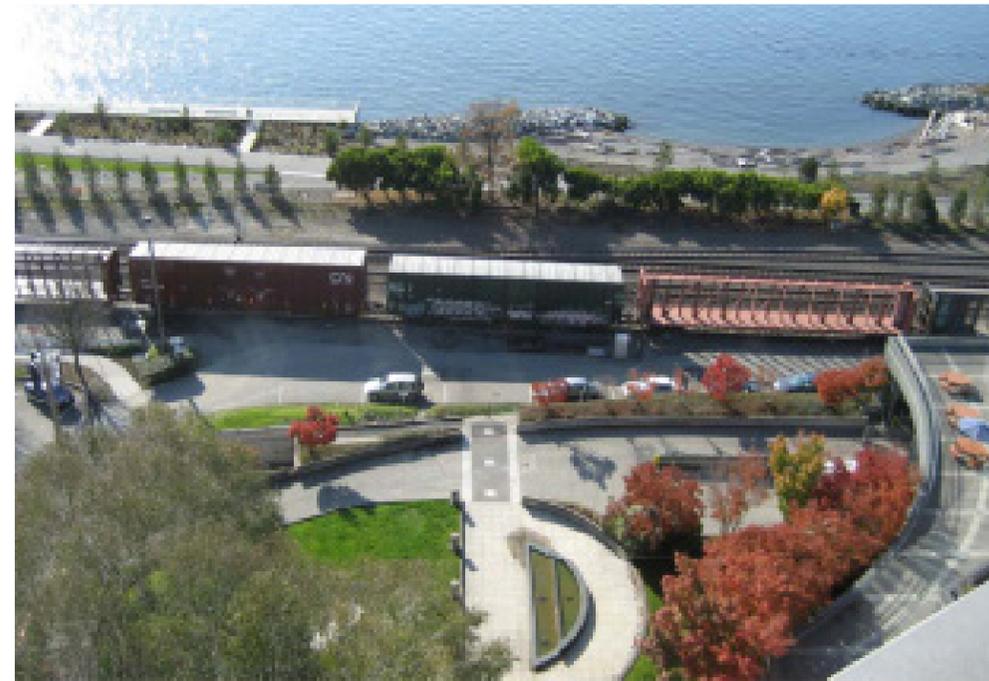
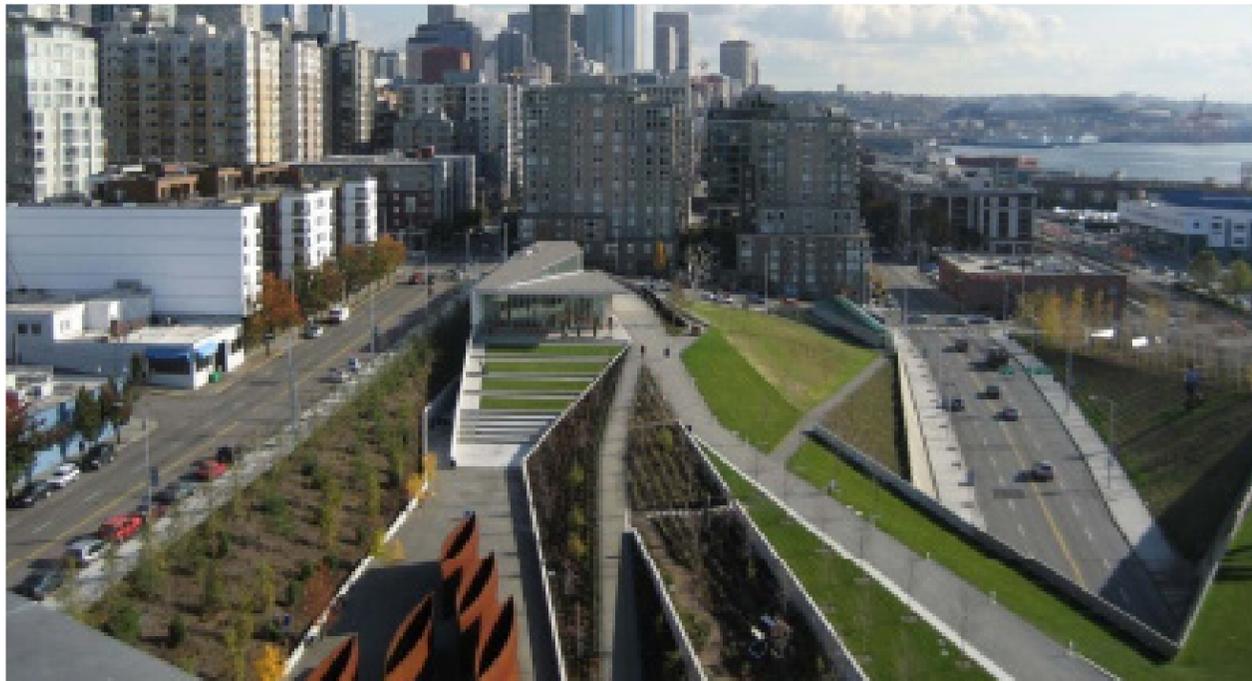


- 1 Airborne Express Building
- 2 Zoning Envelope (DMR/R125/65)
- 3 Alexandria
- 4 Zoning Envelope (DMR/R125/65)
- 5 Olympus

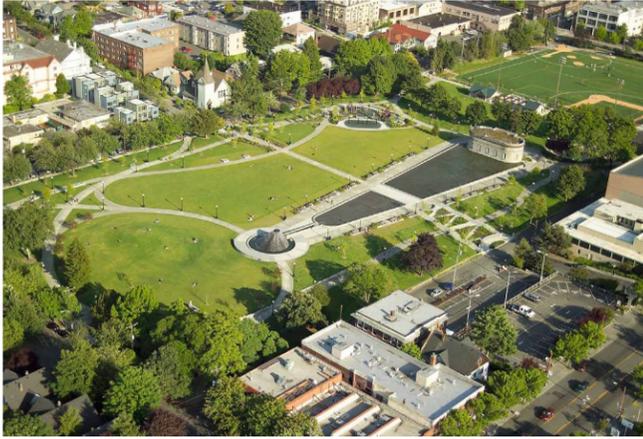
SITE SECTION

An urban site section through Bay Street illustrates the dramatic elevation differential between Western Avenue and Elliott Avenue, and alludes the potential for an significant pedestrian connection to link the adjacent neighborhood to the OSP, Myrtle Edwards, and Elliott Bay.

The zoning height envelope steps mid-block, as shown, resulting in a building mass that is effectively only 91' high from grade at the OSP edge for a full 50% of the shared frontage.



PUBLIC OPEN SPACE PRECEDENTS



CAL ANDERSON PARK

Open Space: 430' x 1,235'

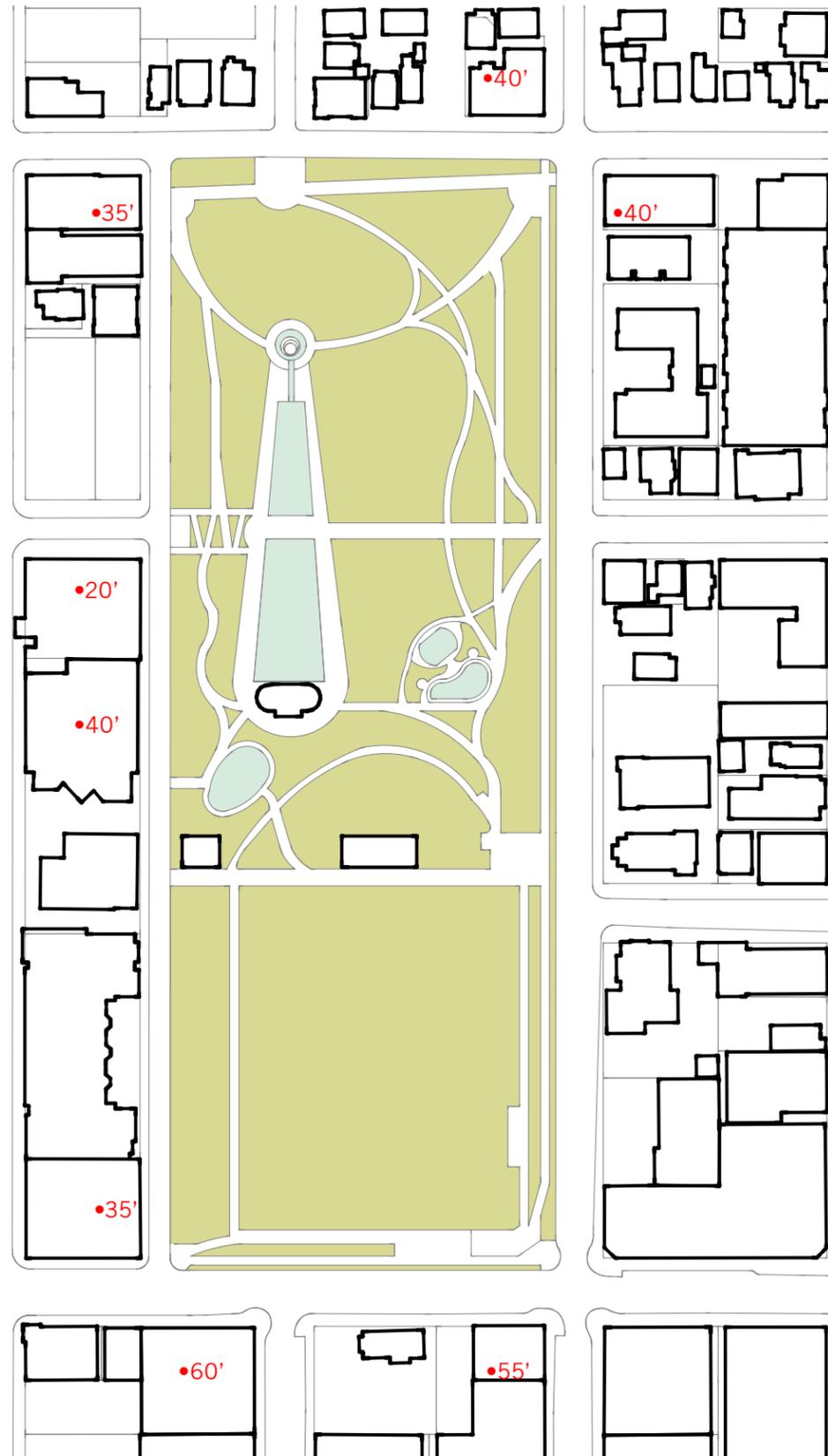
Height Context: 40'

Use Context: Residential and Commercial

Edge Proximity: 60'

On the following pages we examine seven successful Seattle open space precedents. Each of these places succeeds in an urban context, surrounded by a mix of residential and commercial uses of a scale comparable to the proposed project. Indeed, the majority of the open spaces are smaller than the Olympic Sculpture Park, and the majority of the urban context buildings are larger in scale and more proximate.

A clear understanding of these places is essential to an understanding of the proposed project. A survey and analysis of these precedents which are highly successful environments should ground the discussion of appropriate, successful, and acceptable relationships between open spaces and structures and adjacency of uses in the context of Seattle's urban environment.



PUBLIC OPEN SPACE PRECEDENTS



SEATTLE FEDERAL COURTHOUSE PLAZA

Open Space: 205' x 180'

Height Context: 260'

Use Context: Commercial and Civic

Edge Proximity: Zero



PUBLIC OPEN SPACE PRECEDENTS



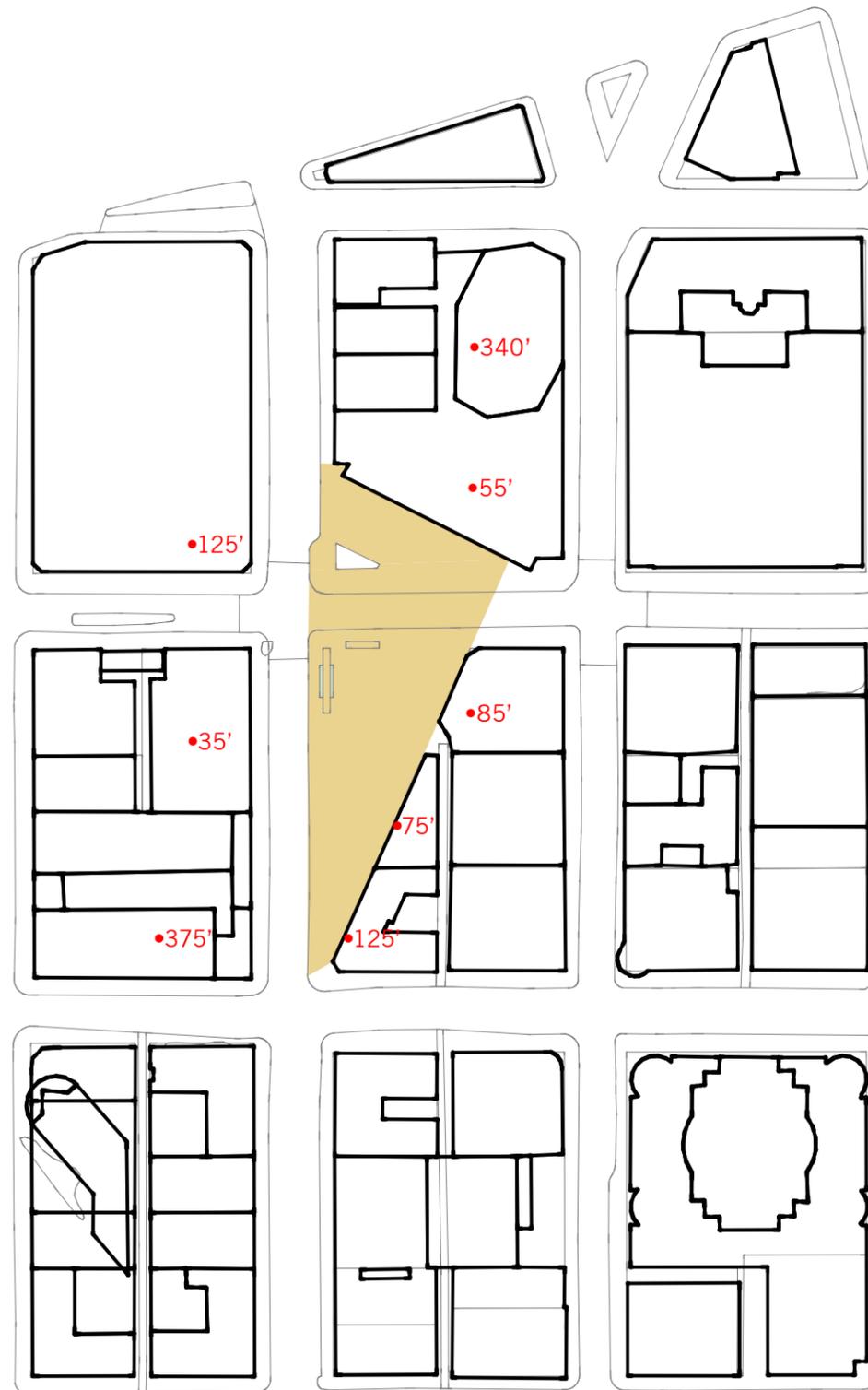
WESTLAKE PLAZA

Open Space: 225' x 500'

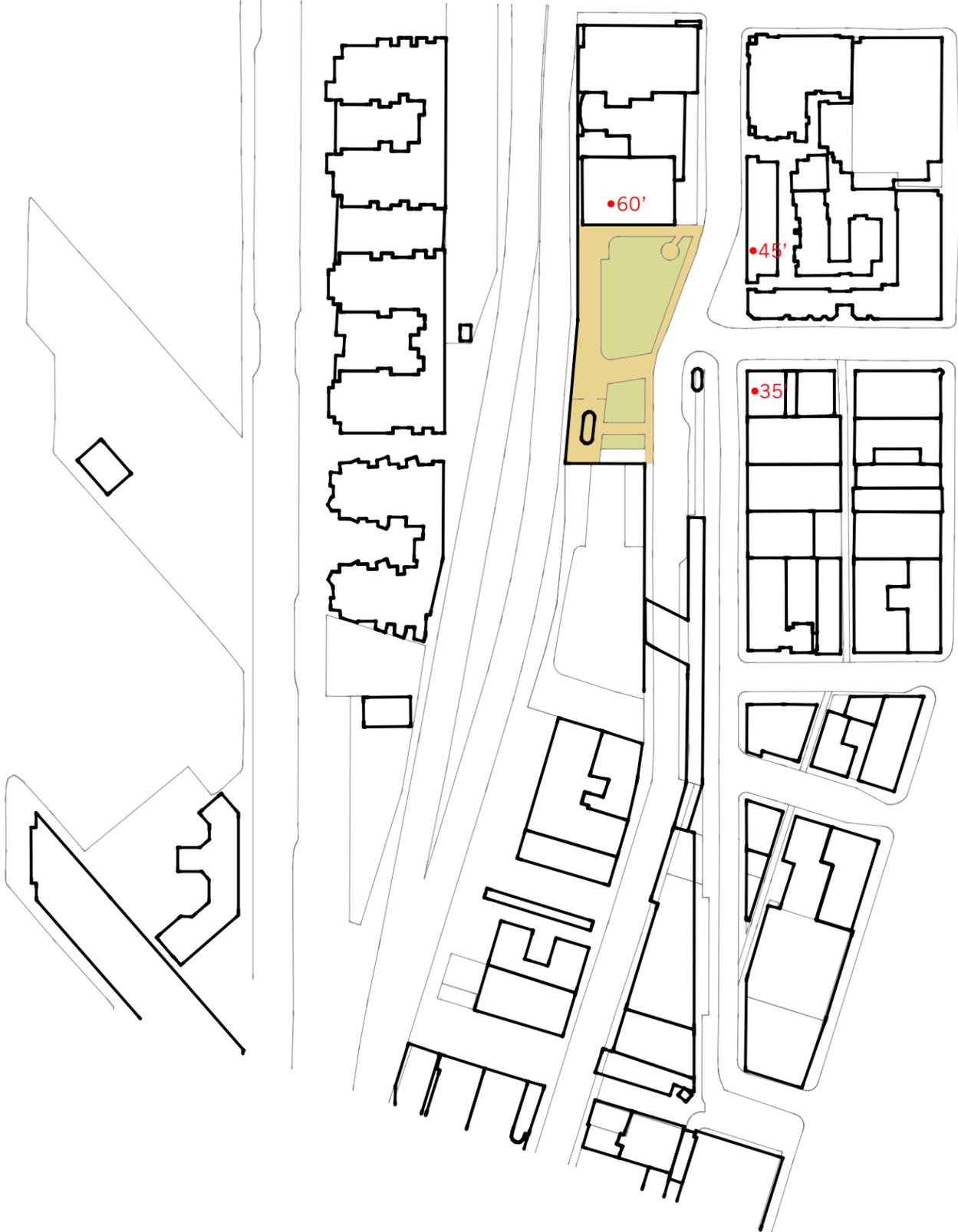
Height Context: 75'

Use Context: Commercial and Retail

Edge Proximity: Zero



PUBLIC OPEN SPACE PRECEDENTS



VICTOR STEINBRUECK PARK

Open Space: 305' x 102'

Use Context: Commercial, Retail, Residential

Height Context: 60'

Edge Proximity: Zero

PUBLIC OPEN SPACE PRECEDENTS



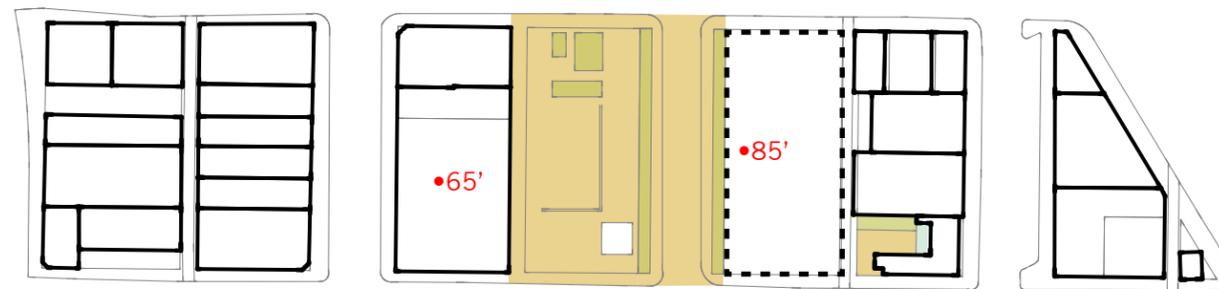
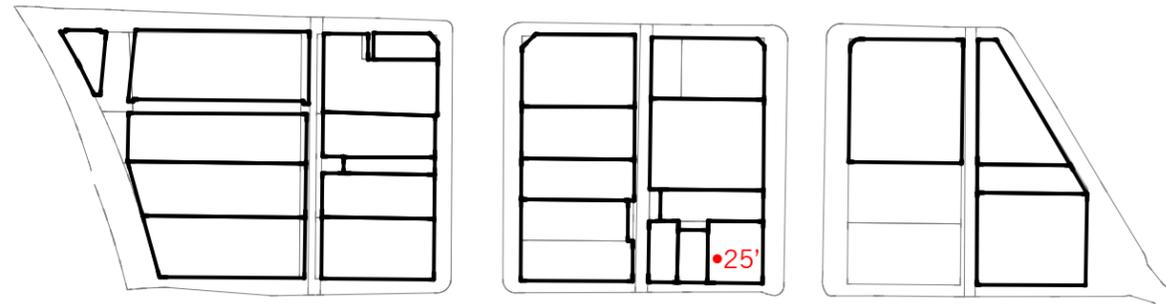
OCCIDENTAL PARK

Open Space: 195' x 240'

Height Context: 70'

Use Context: Commercial and Retail

Edge Proximity: Zero



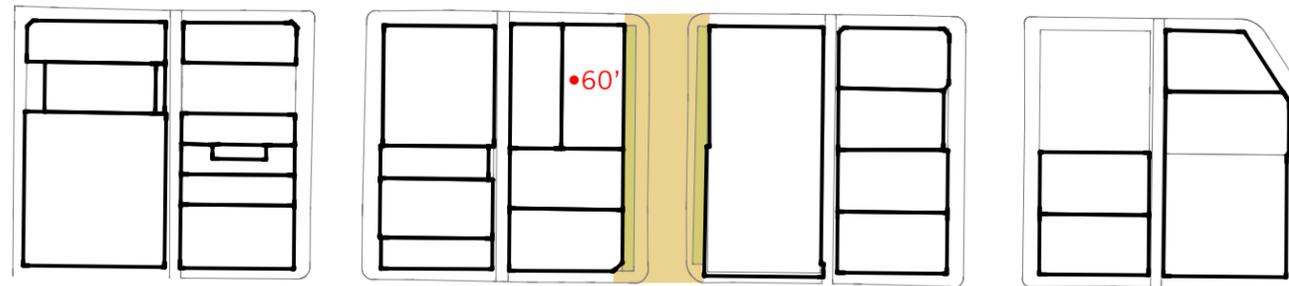
OCCIDENTAL MALL

Open Space: 85' x 265'

Height Context: 60'

Use Context: Commercial and Retail

Edge Proximity: Zero





HARBOR STEPS PLAZA

Open Space: 250' x 65'
 Height Context: 200'
 Use Context: Residential and Commercial
 Edge Proximity: Zero

SEATTLE ART MUSEUM PLAZA

Open Space: 250' x 25'
 Height Context: 100'
 Use Context: Cultural
 Edge Proximity: Zero

PUBLIC OPEN SPACE PRECEDENTS



5th & MADISON PLAZA

Open Space: 220' x 70'

Height Context: 400'

Use Context: Commercial and Residential

Edge Proximity: Zero

SEATTLE COURTHOUSE PARK

Open Space: 120' x 230'

Height Context: 175'

Use Context: Civic

Edge Proximity: Zero

4th & MADISON PLAZA

Open Space: 115' x 105'

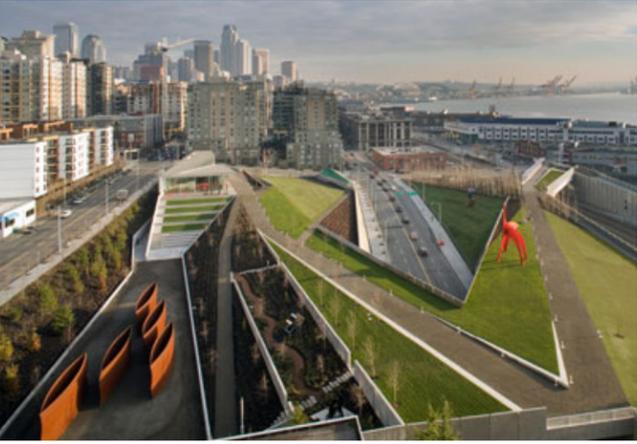
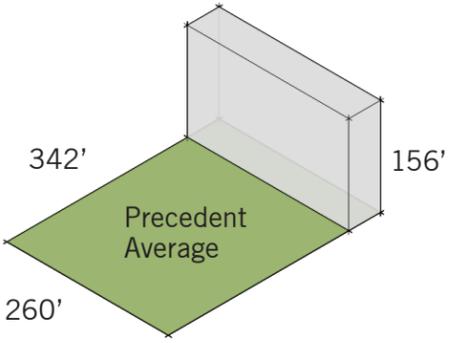
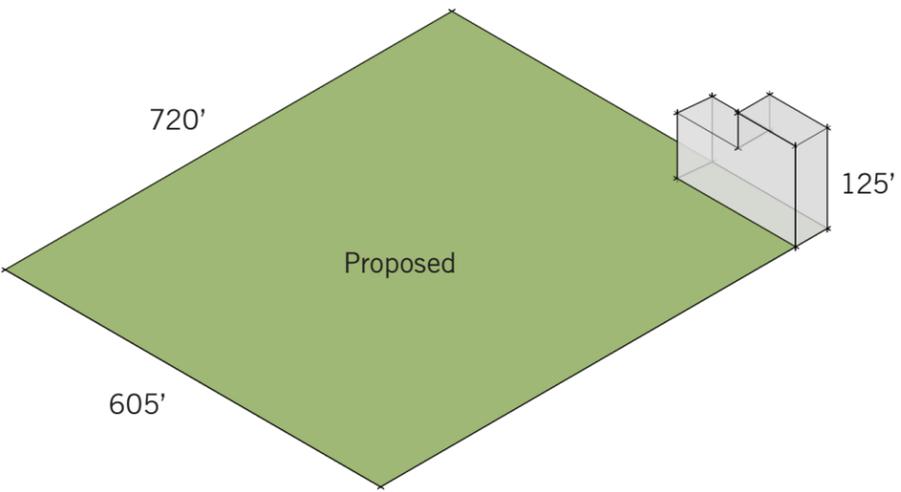
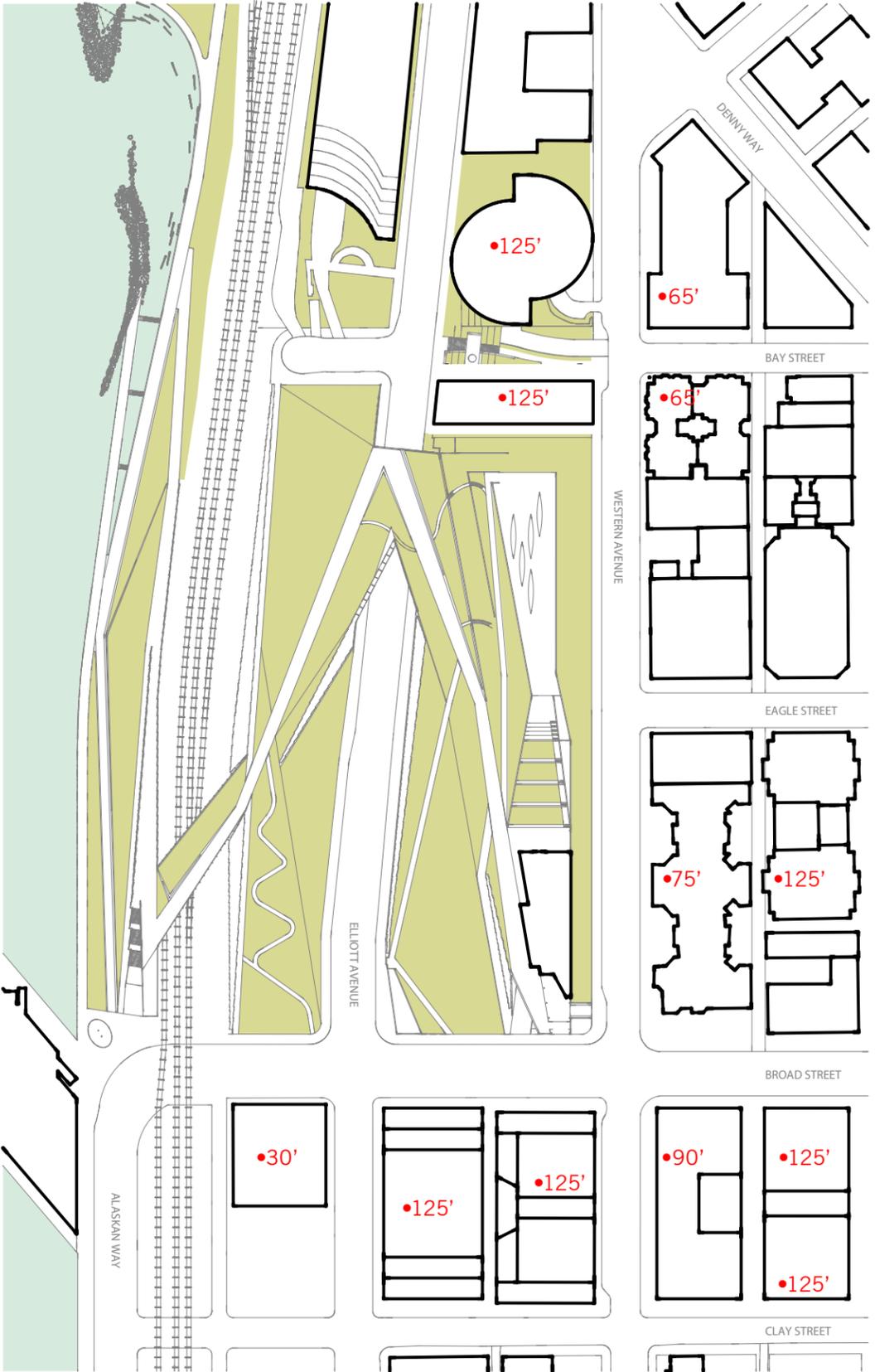
Height Context: 450'

Use Context: Commercial

Edge Proximity: Zero



PUBLIC OPEN SPACE PRECEDENTS



OLYMPIC SCULPTURE PARK

Open Space: 605' x 720'

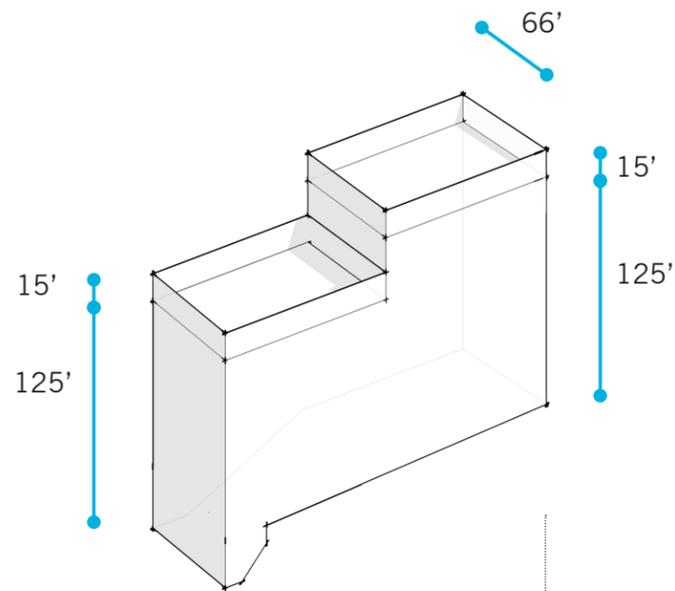
Height Context: Varies

Use Context: Commercial, Residential

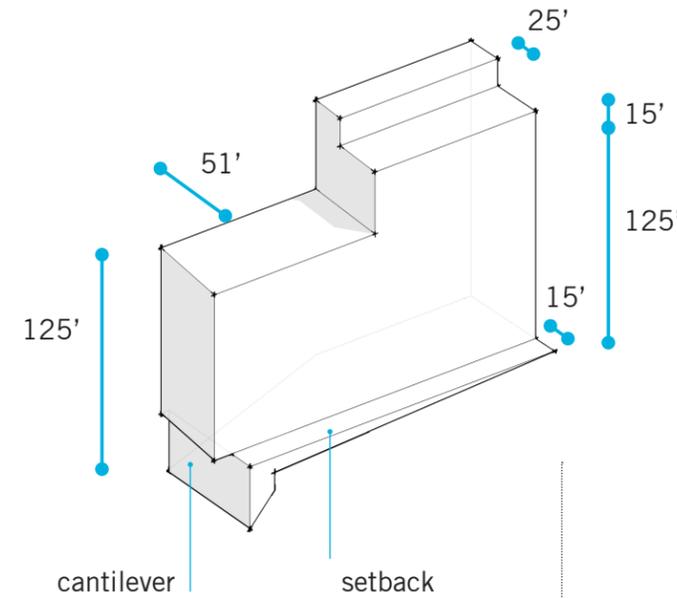
Edge Proximity: 15/55 Proposed

The table below summarizes the physical contexts of the seven successful Seattle open space precedents we examined. This direct comparison clearly demonstrates that the proposed project is shorter than the average context structure, and is adjacent to a larger open space, and provides a more generous setback from the edge.

MASSING ALTERNATIVES



The zoning allows for a 125' residential building where the height is measured from both streets and steps down at the mid point of the property. An additional 15' of height is allowed for mechanical screening at both roofs.

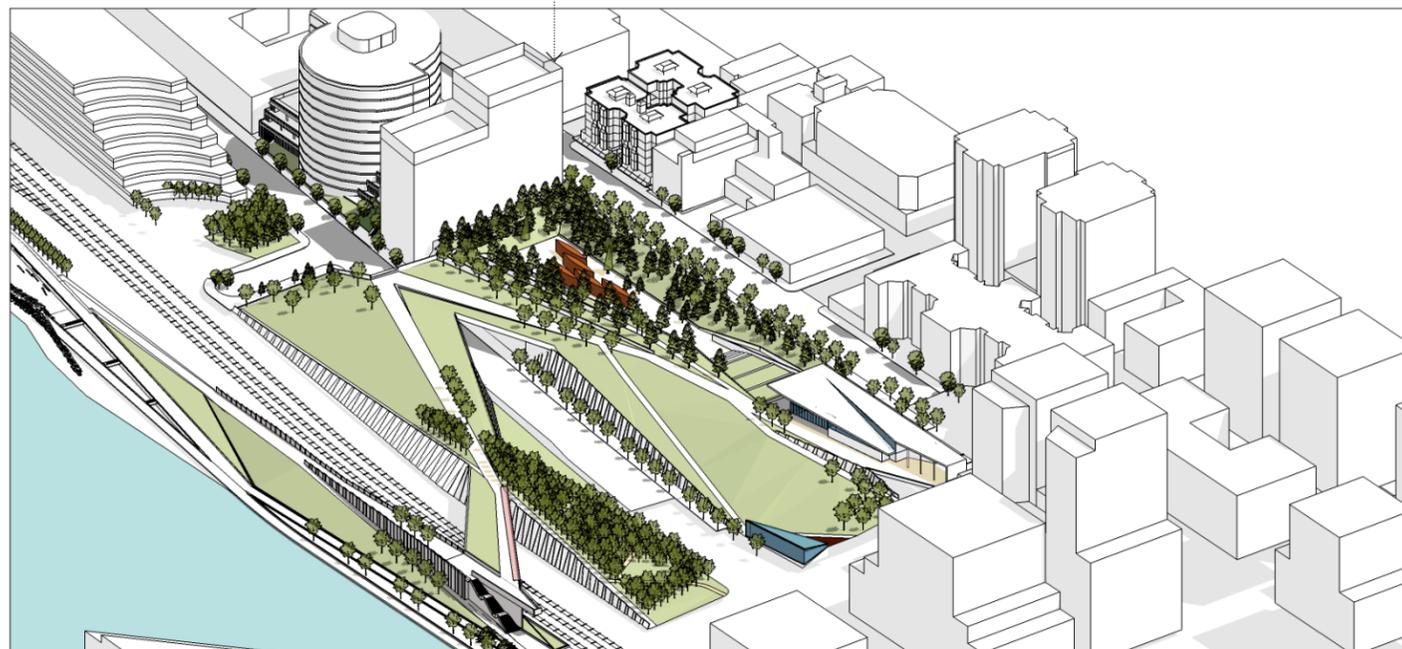


A setback of 15' from the south property line increases the open space adjacent to the park beyond where it is today, and allows for up to 75% openings facing the park. The mechanical screen wall on the lower level is eliminated and on the upper level is set back 25'

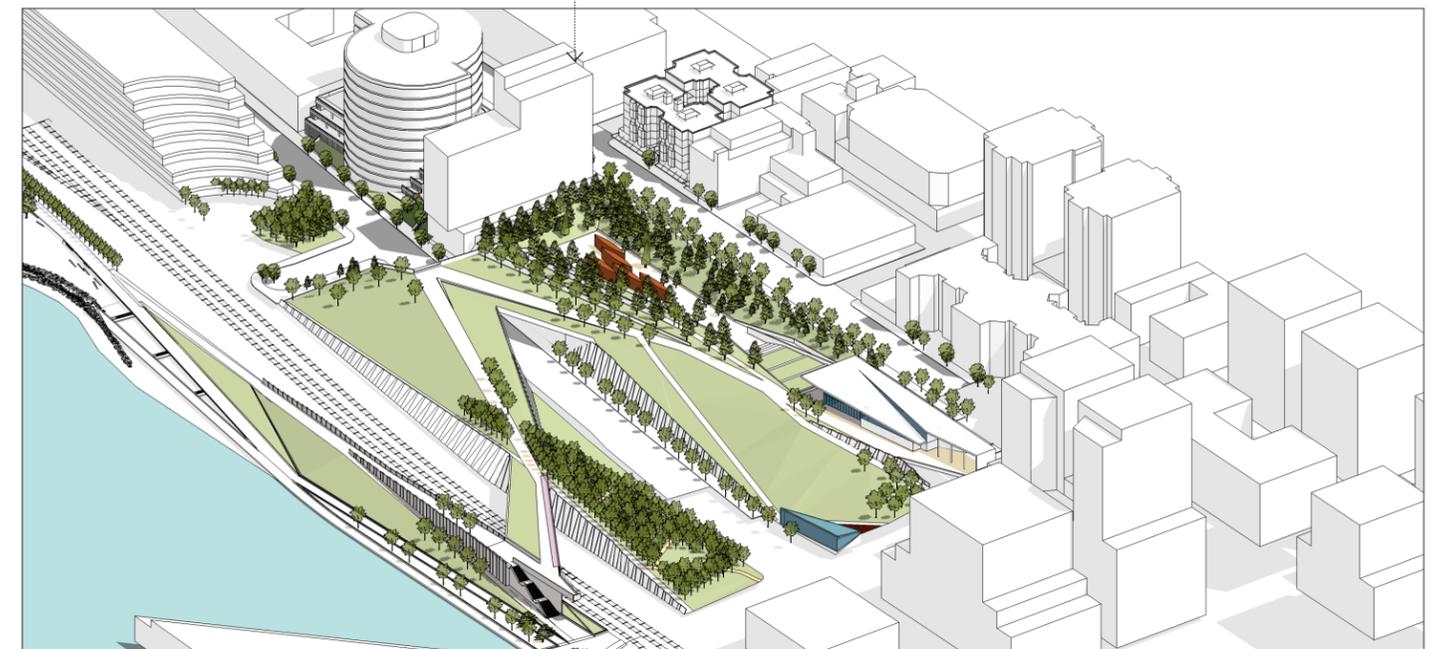
PROS:
setback at park, simple massing

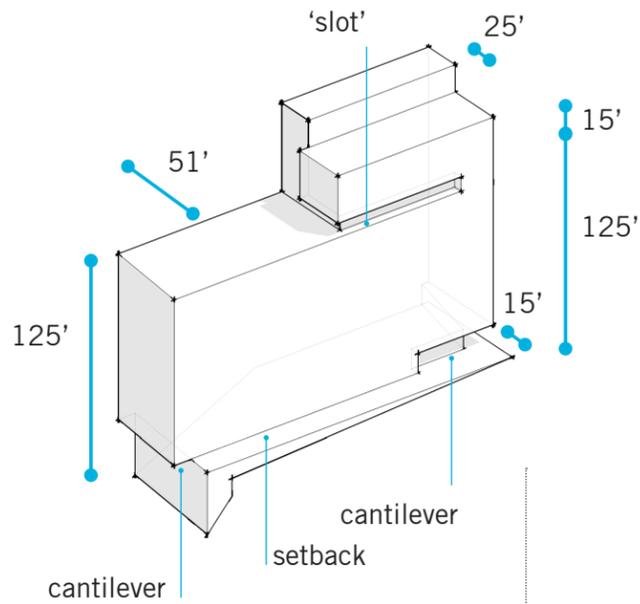
CONS:
lacks articulation

ZONING



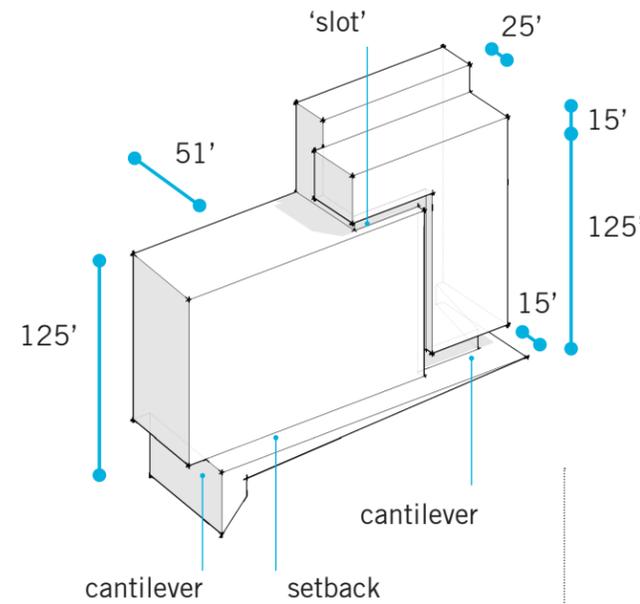
MASSING 1 (PREFERRED)





A setback of 15' from the south property line increases the open space adjacent to the park beyond where it is today, and allows for up to 75% openings facing the park. The mechanical screen wall on the lower level is eliminated and on the upper level is set back 25'. Cantilevers and a horizontal 'slot' detail articulate building program and provide a secondary scale with a quiet dynamic to the massing - imparting a 'lightness' to the form.

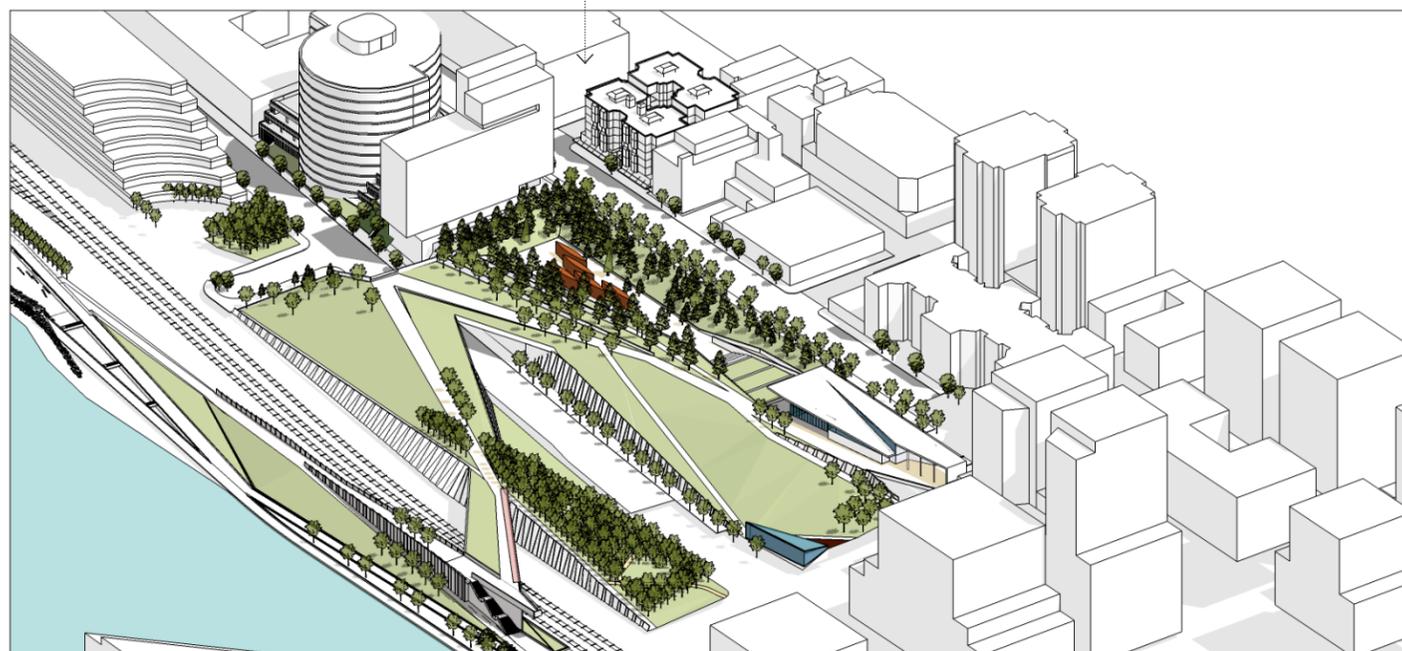
PROS:
setback at park, simple massing well articulated



A setback of 15' from the south property line increases the open space adjacent to the park beyond where it is today, and allows for up to 75% openings facing the park. The mechanical screen wall on the lower level is eliminated and on the upper level is set back 25'. Cantilevers and a multi-directional 'slot' detail articulate building program and provide a secondary scale with a quiet dynamic to the massing - imparting a 'lightness' to the form and a resolution of the vertical 'step' dictated by zoning.

PROS:
setback at park, simple massing well articulated, breaks down scale

MASSING 2



MASSING 3



STREET LEVEL STUDY



Western Avenue, Illustration



Elliott Avenue, Illustration