

2202 8th Avenue  
Design Review Board

DPD PROJECT NUMBER: 3016464

Recommendation Meeting: 04.November 2014



GRAPHITE

CLISE PROPERTIES, INC.



## Contents

Table of Contents Project Information	<b>A-1</b>
Summary Context Analysis <ul style="list-style-type: none"> <li>• Site Context</li> <li>• Environmental Analysis                     <ul style="list-style-type: none"> <li>• Zoning Analysis</li> </ul> </li> <li>• Historical Reference</li> <li>• Conceptual Response</li> </ul>	<b>A-2</b>
Approved Massing	<b>A-12</b>
Early Design Guidance Comments	<b>A-17</b>
Early Design Guidance Comment Responses <ul style="list-style-type: none"> <li>• A2 - Enhance the Skyline                     <ul style="list-style-type: none"> <li>• B1 -Relating to Neighborhood Context</li> </ul> </li> <li>• B3,B4,C1,D6 - Promote Pedestrian Interaction                     <ul style="list-style-type: none"> <li>• B1,C6 - Develop the Alley Facade</li> <li>• B3 -Design a Facade of Many Scales</li> </ul> </li> <li>• D2 - Enhance the Building with Landscape</li> </ul>	<b>A-20</b>
Design Refinement <ul style="list-style-type: none"> <li>• Architectural Design</li> <li>• Lighting Design</li> </ul>	<b>A-40</b>
Design Departures	<b>A-66</b>
Appendix	<b>A-72</b>

## Project Info

Property Address	2208 8th Avenue Seattle, WA 98101	
DPD Project Number	3016464	
Owner	Clise Properties 1700 Seventh Ave, Suite 1800 Seattle, WA 98101 Contact: Ben Barron 206.623.7500 bbarron@cliseproperties.com	
Architect	Graphite Design Group 80 Vine St, #202 Seattle, WA 98121 Contact: Mike Scott, Peter Krech 206.224.3335 mike.scott@graphitedesigngroup.com peter.krech@graphitedesigngroup.com	
Development Objectives	Our proposal is to apply for a Master Use Permit in order to design and construct a single residential tower occupying ¼ of a city block in the Denny Triangle Urban Center. This site fronts 8th Avenue and Blanchard Street. The site is adjacent to the existing La Quinta hotel and across the alley from 2201 9th/ Enso Mixed Use Tower. The project will consist of a 40-story 435 unit apartment tower with an eight story below grade parking garage providing approximately 389 parking stalls. The site, along with recent nearby developments are becoming an urban gateway between the South Lake Union and Denny Triangle Neighborhoods.	
Project Statistics	Site Area	19,440
	Building Area	474,112
	Building Height	400
	Number of Stories	39
	Number of Residential Units	435
	Commercial Square Footage	7,676
	Number of Parking Stalls	389
	Number of Bicycle	231



## Summary of Context Analysis: Early Design Guidance



Vicinity Map

THOMAS ST.

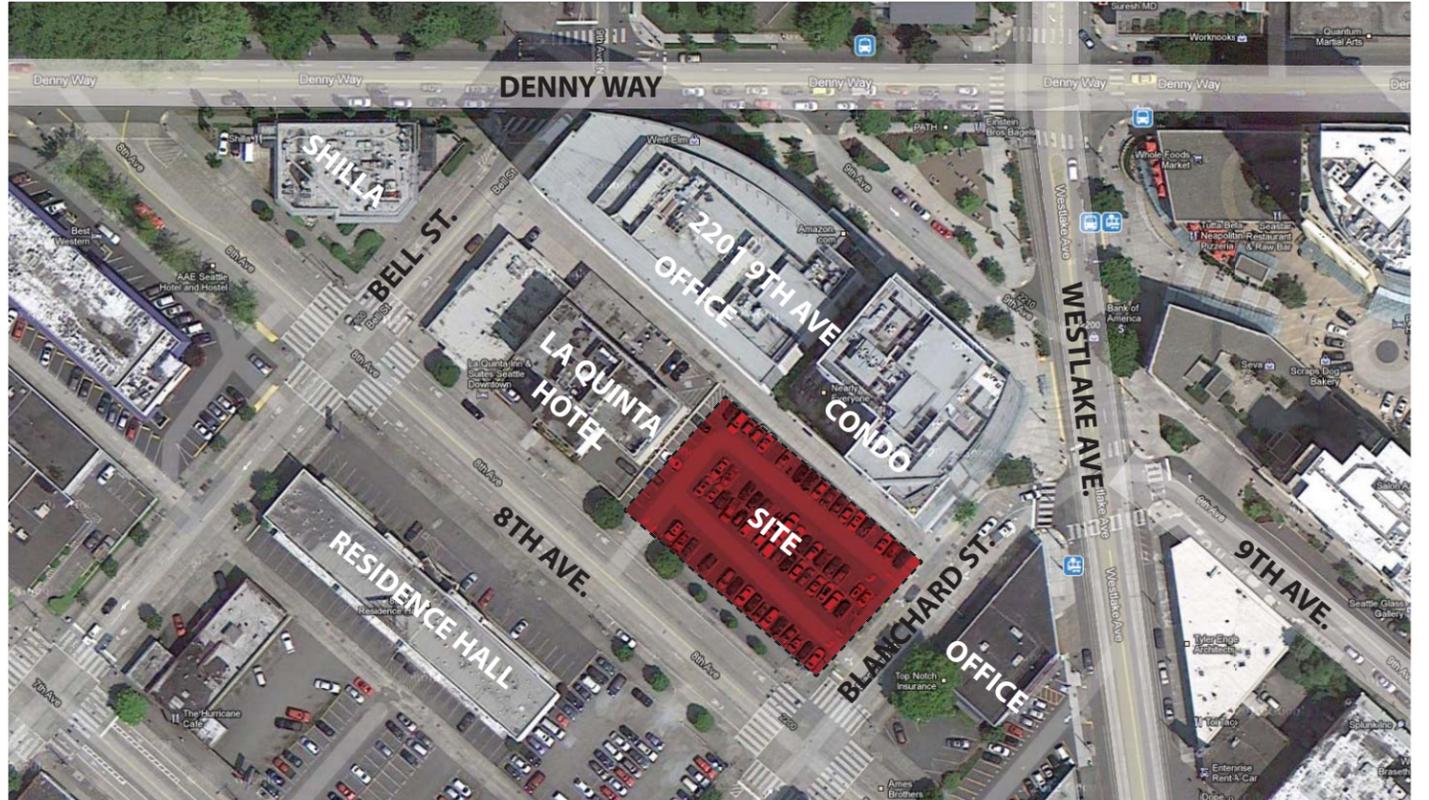
JOHN ST.

DENNY WAY

10TH AVE.

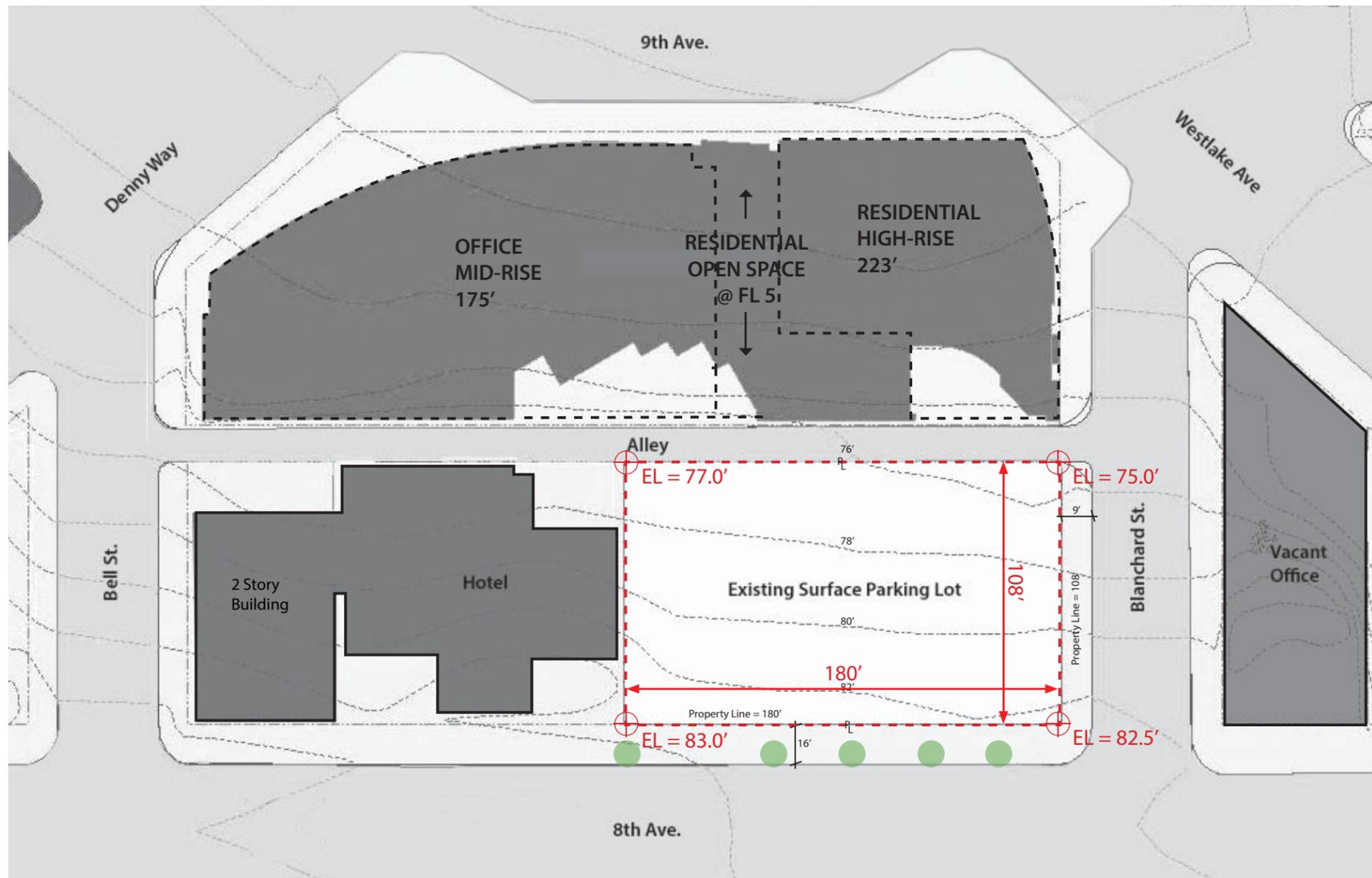
9TH AVE.

8TH AVE.

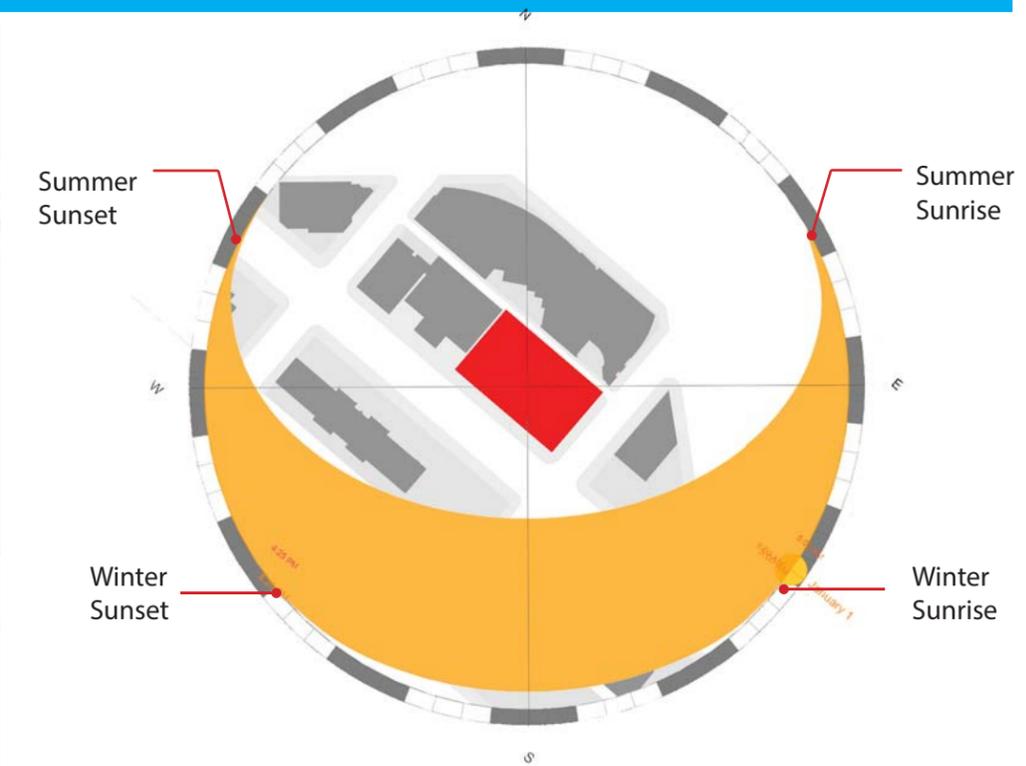


Site Context

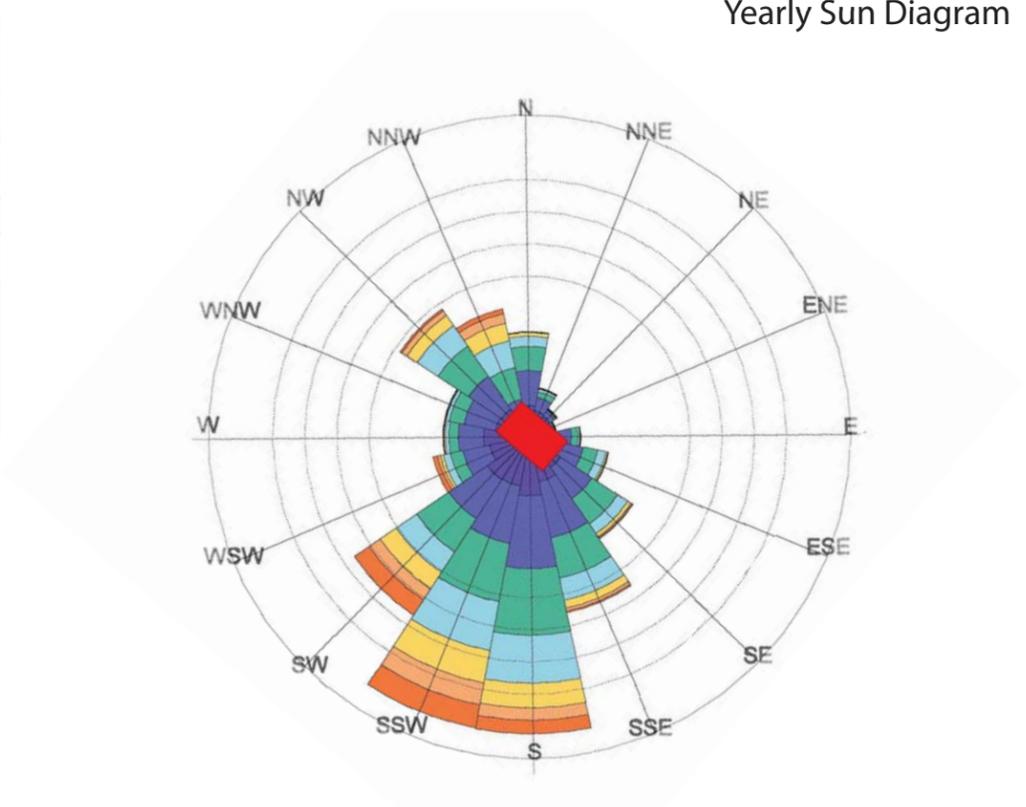




Site Topography  
2' GRADE SEATTLE GIS



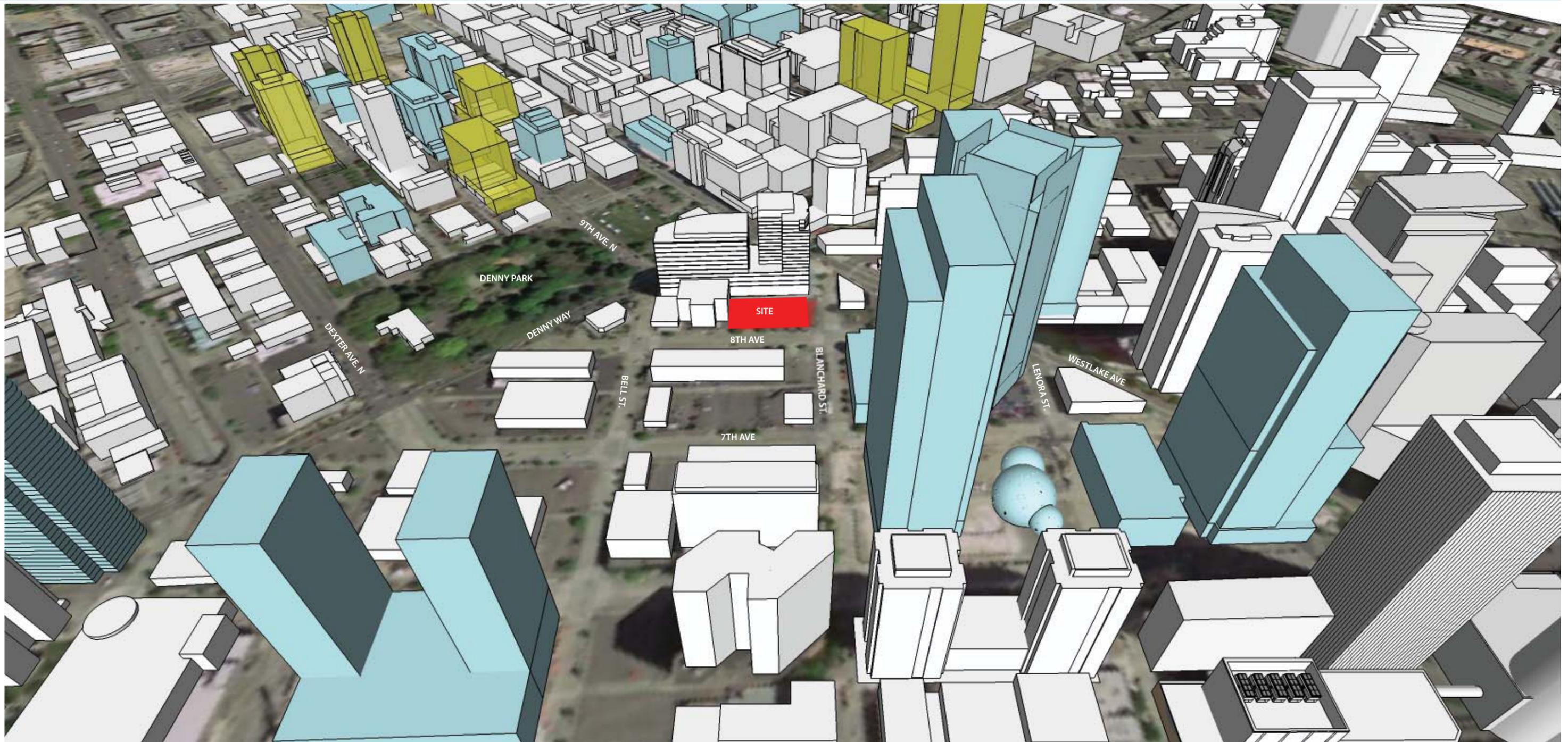
Yearly Sun Diagram



Wind Rose Diagram





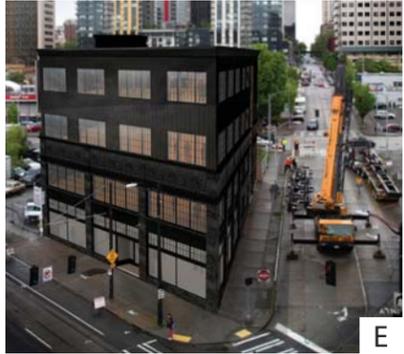


Proposed Buildings  
 Future Zoning Envelopes (Hypothetical)






D



E



F



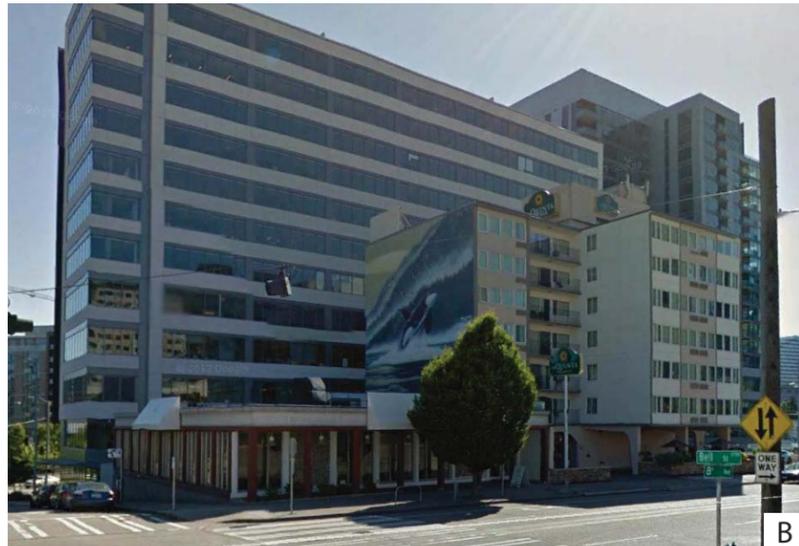
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H



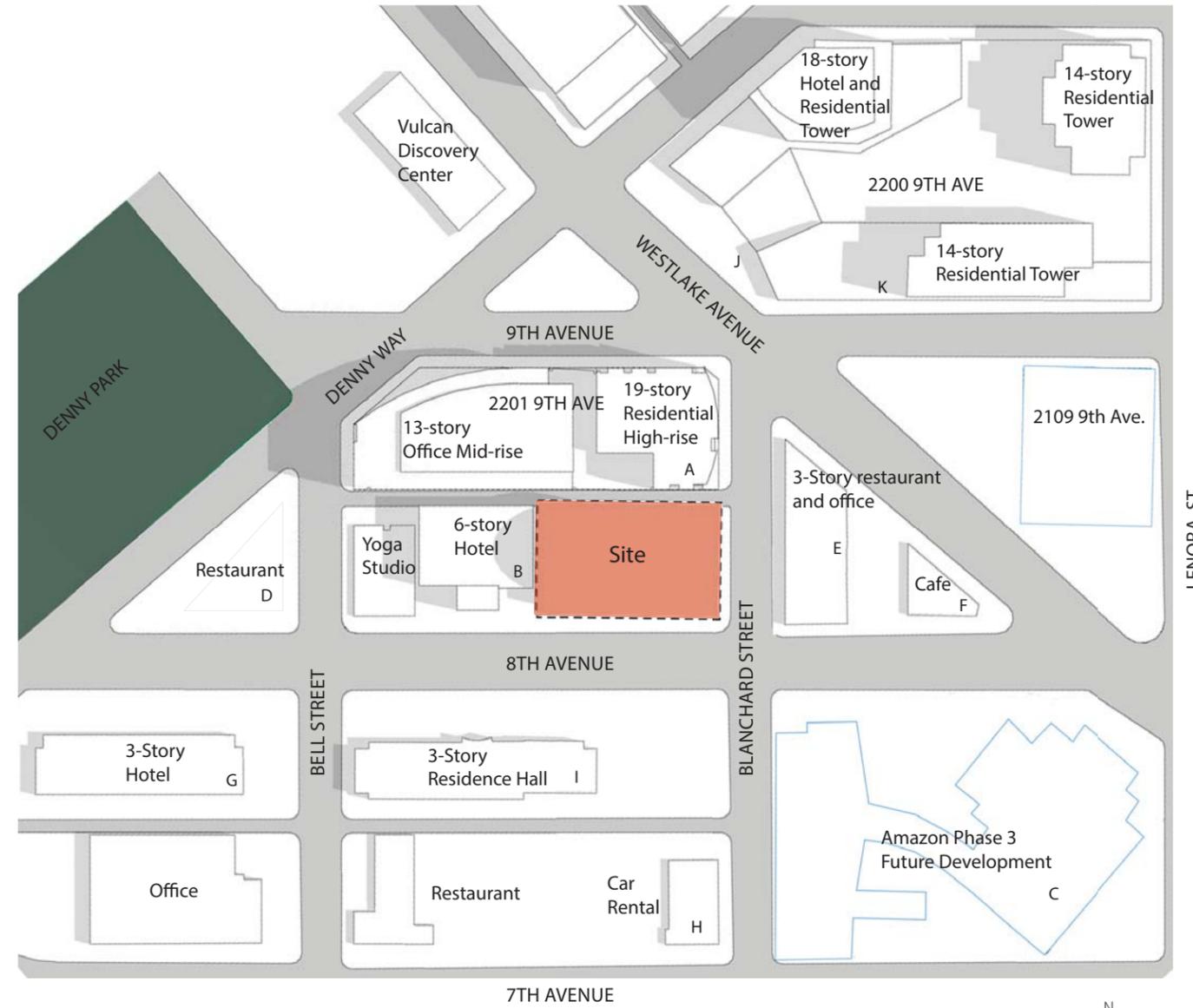
A



B



C



I

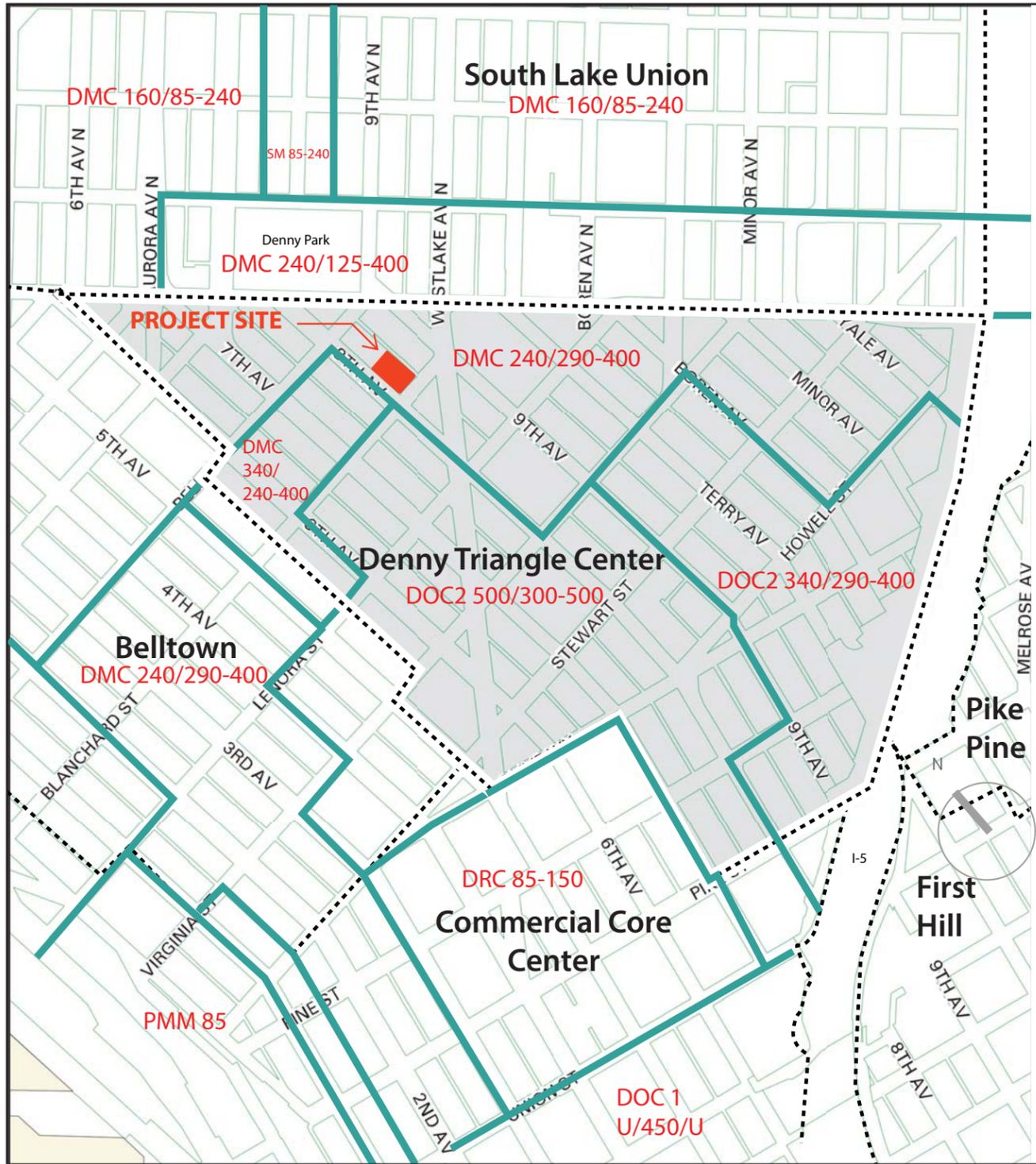


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K

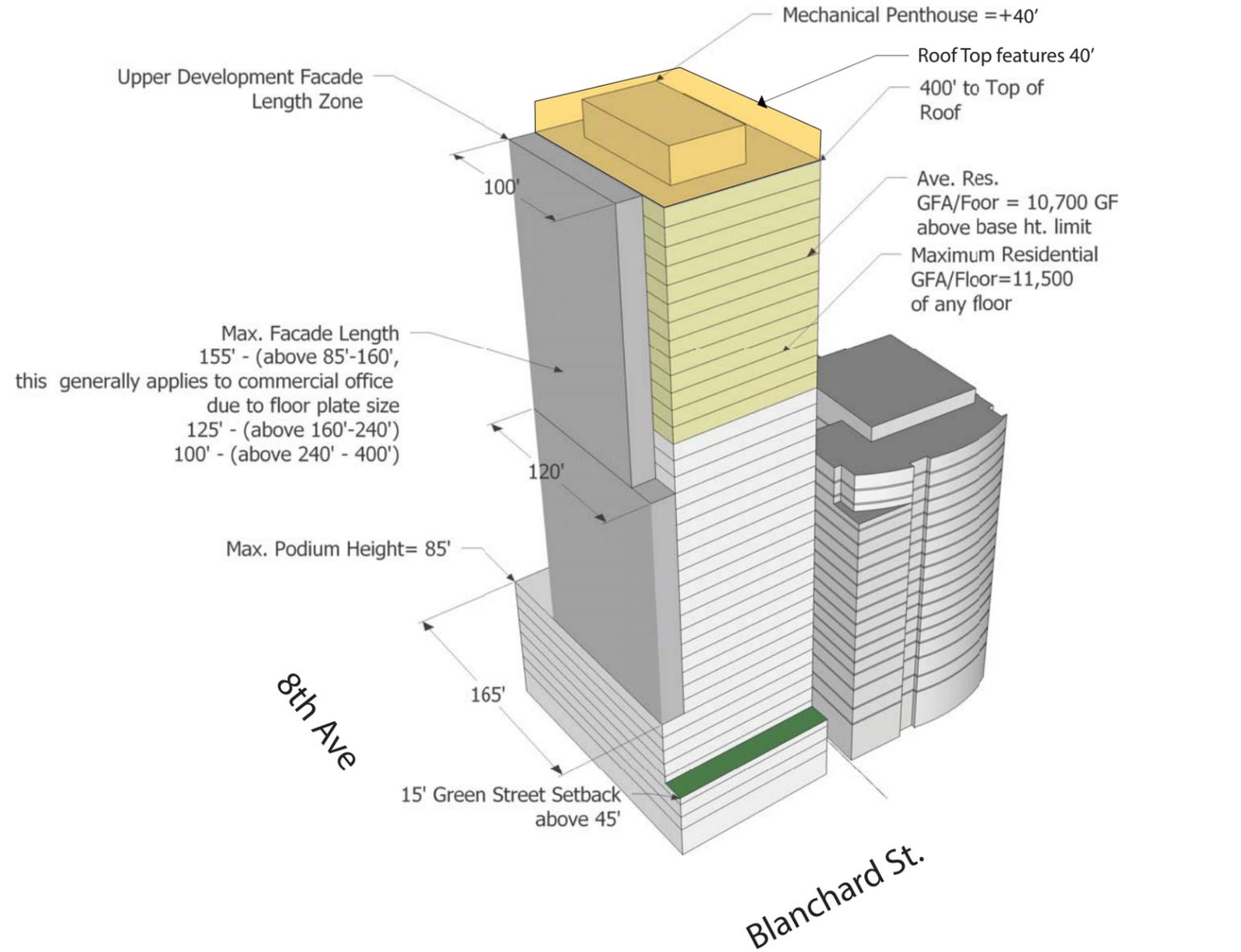




**ZONING MAP KEY**

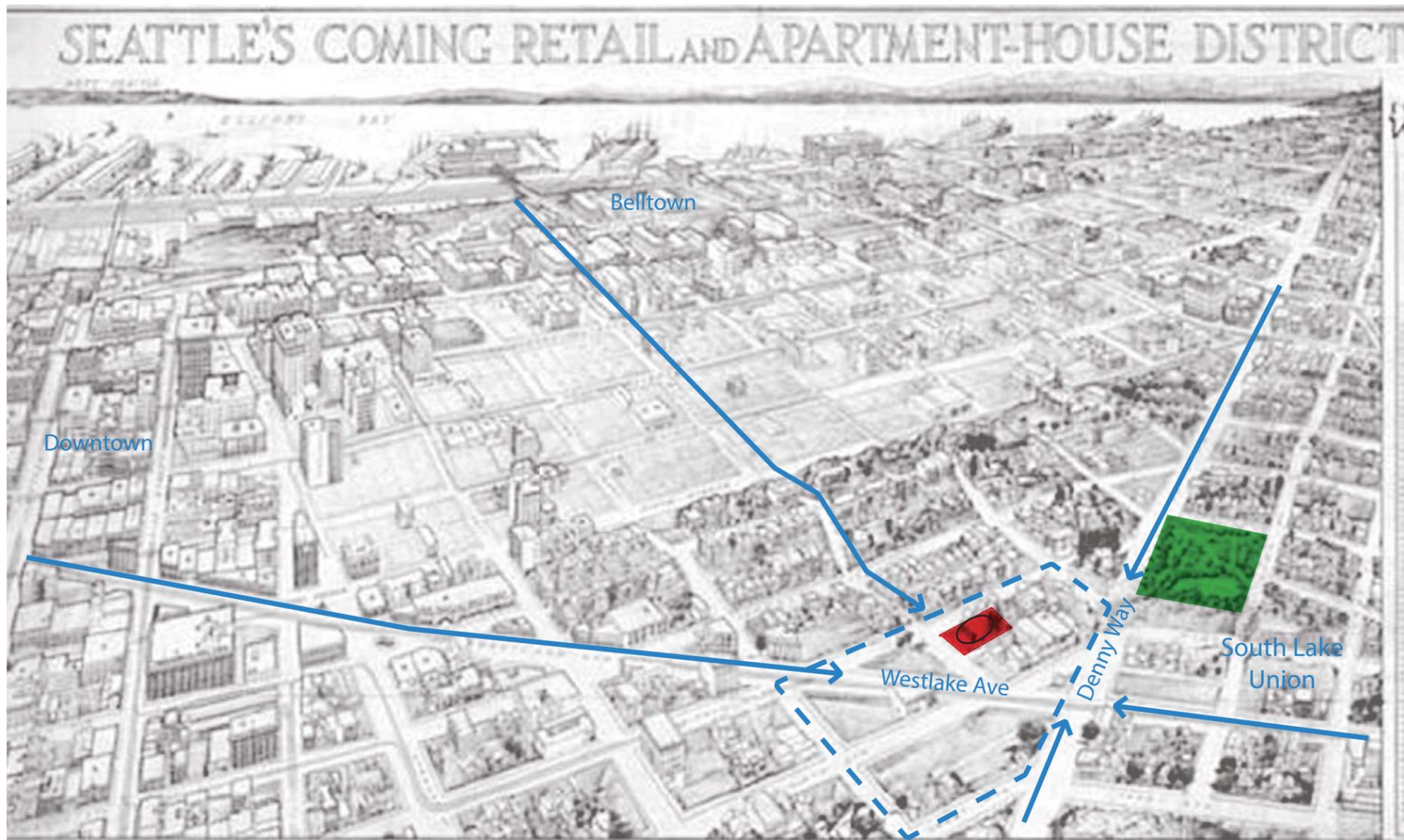
- DOC 1 - OFFICE CORE - 1
- DOC 2 - OFFICE CORE - 2
- DRC - RETAIL CORE
- DMC - MIXED COMMERCIAL
- PMM - PIKE MARKET MIXED

Site Zoning



Zoning Envelope

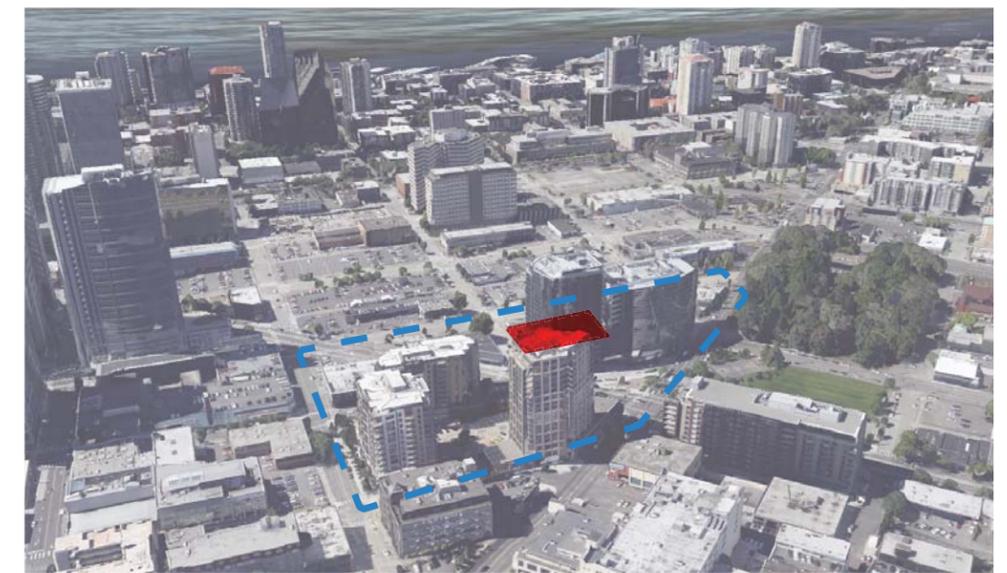




1917 "Apartment District"

### Historic Apartment District

Even before the regrade of Denny hill the site was a part of a planned apartment district. The importance of the site as central node between all of the adjacent neighborhoods was clear even to city planners in 1917.

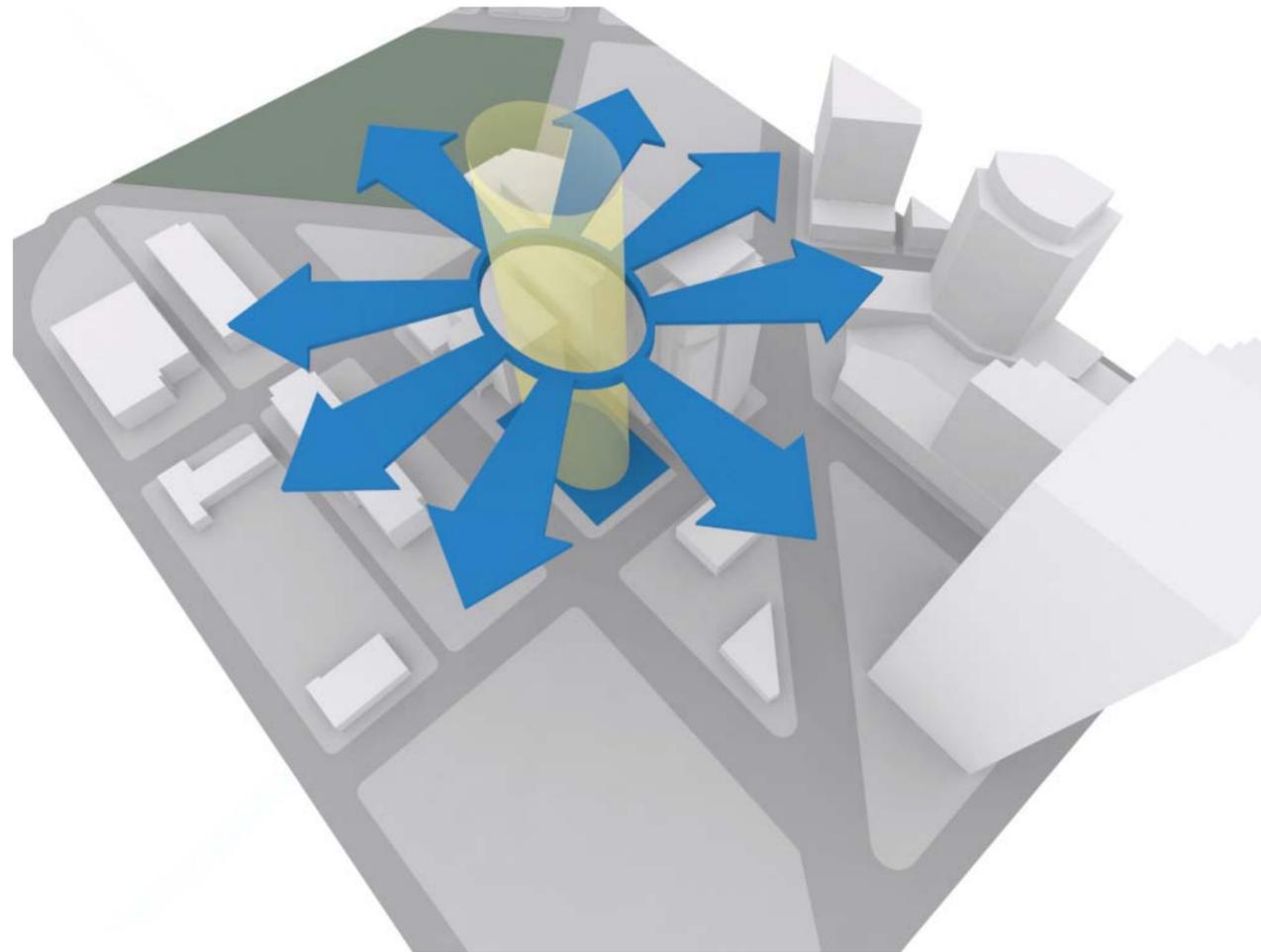


Present "Apartment District"



## Contextual Response

With the proliferation of recent residential hi-rise projects in downtown Seattle, the applicant wishes to differentiate this project by creating a unified form. While curvilinear geometry is often used in residential design, a continuous oval shape may be different and appealing by its simplicity. The tower will be situated over a four level podium which will frame and enliven the street with a compatible geometry.

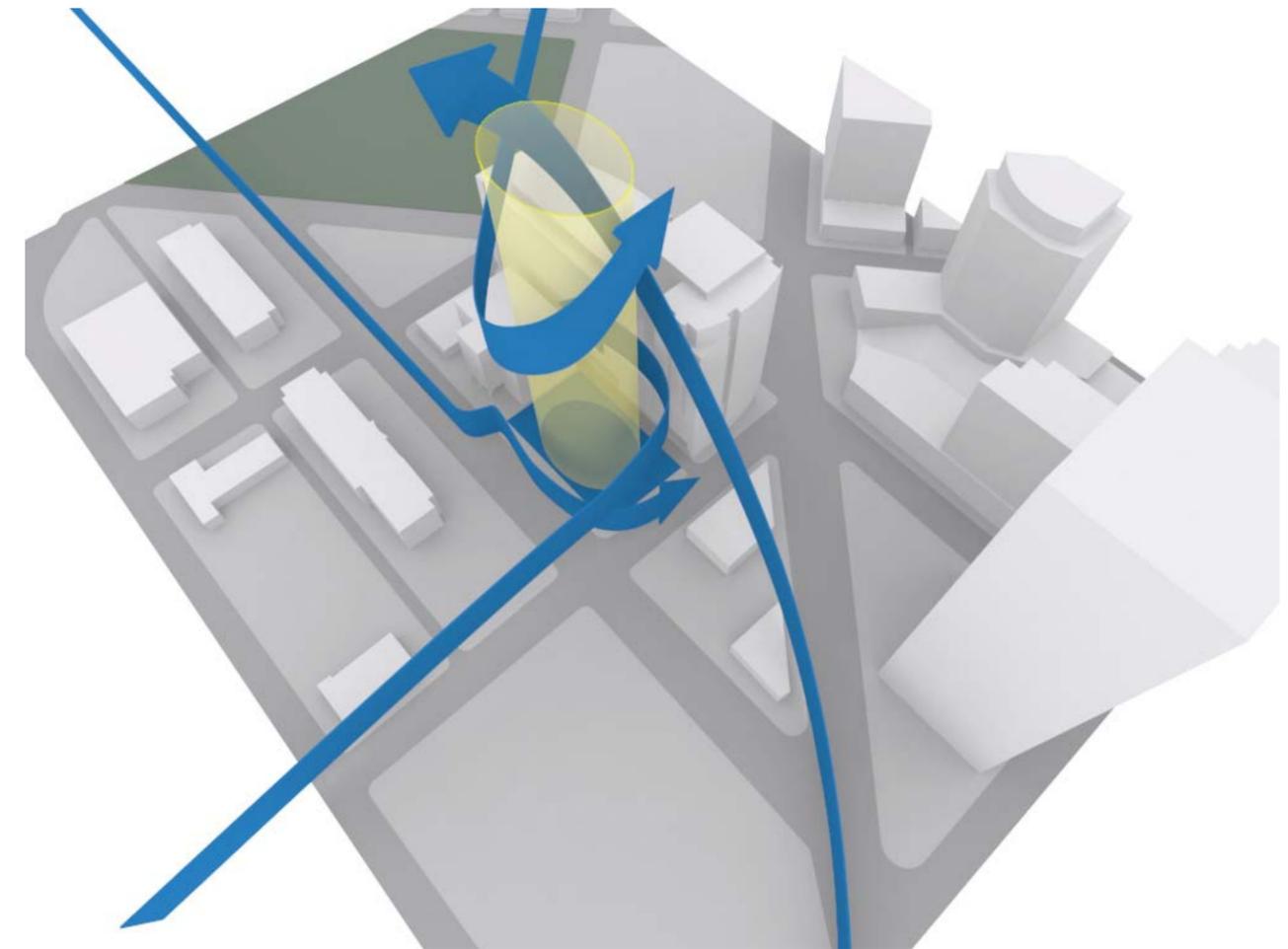


### GRID NEUTRAL

The proposed design is intended to provide a visual bridge between the intersecting Downtown and South lake union neighborhoods by shaping itself to be neutral to both street grids. Its height and proportioning will inherently step up to the adjacent Amazon high rise buildings.

## con•flu•ence noun \kän-flü-n(t)s, kn-\

: A situation in which two or more things come together



### CONFLUENCE

The simple, elegantly curved form embraces the unique site context provided by the confluences both of the major streets (Denny and Westlake), and the burgeoning south lake union and established downtown neighborhoods.



Approved Massing: Early Design Guidance

## Approved Massing

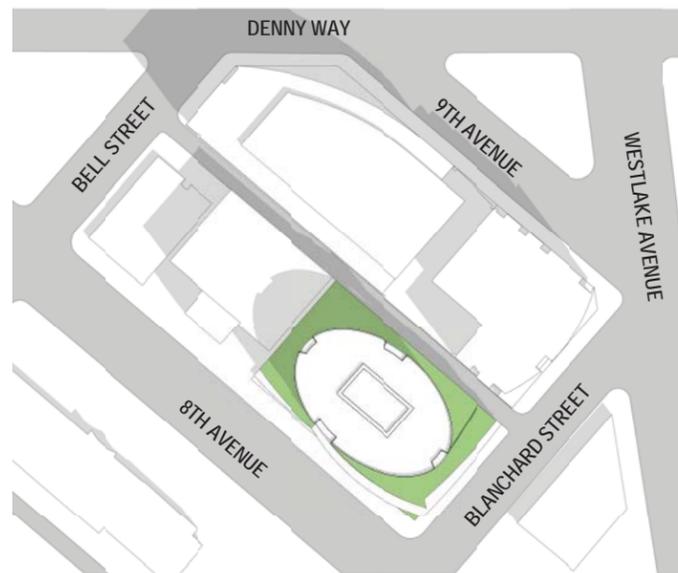
\* Preferred\*

### PROS

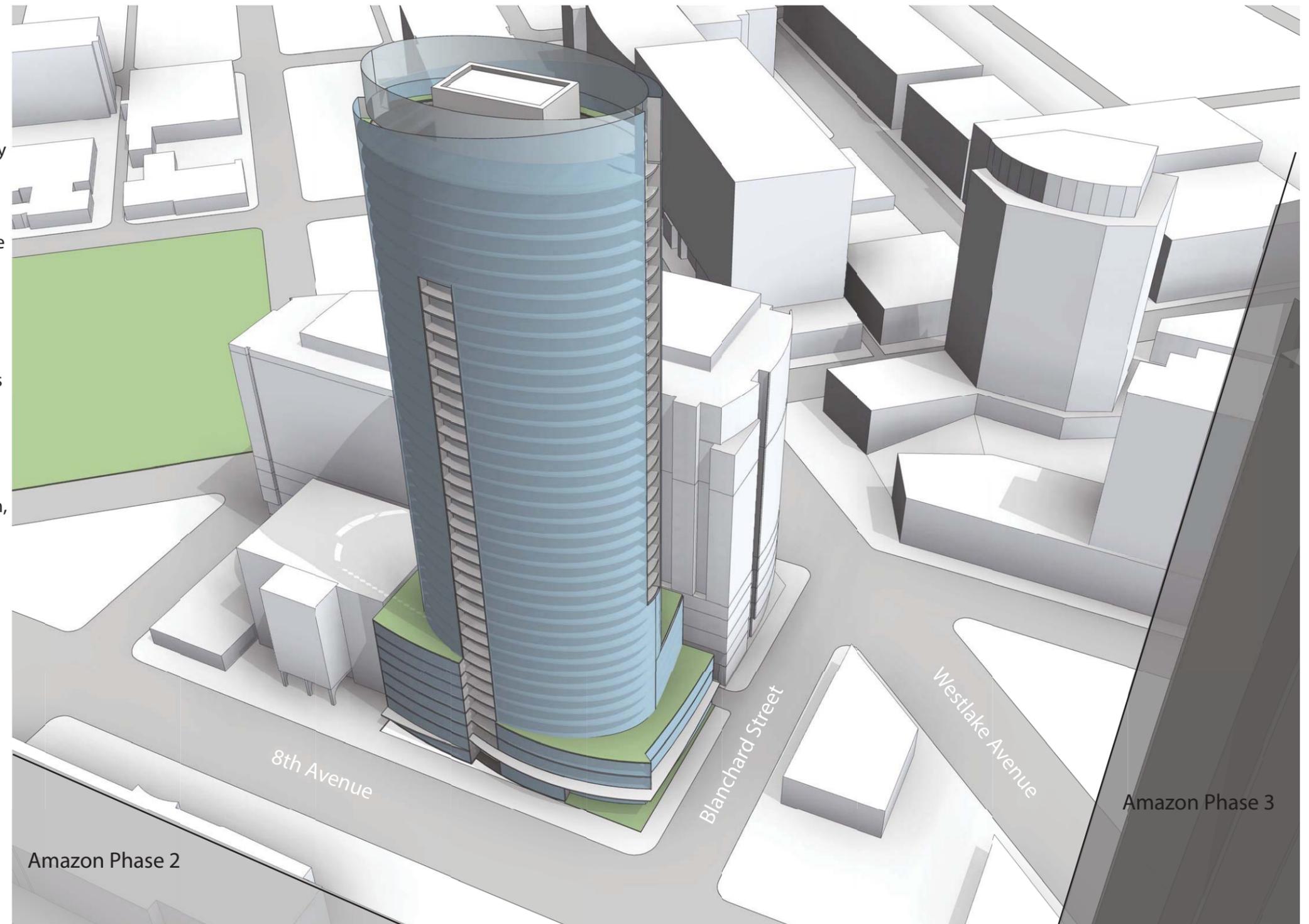
- Space Needle views are the least blocked of all other schemes
- Elliptical form maximizes distance from Enso along the alley facade
- Elliptical form identifies building as clearly not another office tower
- Elliptical form highlights uniqueness of site aspects and site location
- Elliptical form provides opportunity to develop design as a timeless civic landmark
- Elliptical form is the one most independent from the city's various street grids
- No above-grade parking; podium fully occupied by tenants and human activity
- Green Street setback unlike Enso tower

### CONS

- While narrowest of the options in the north/south direction, it is the longest of the options paralleling 8th Avenue

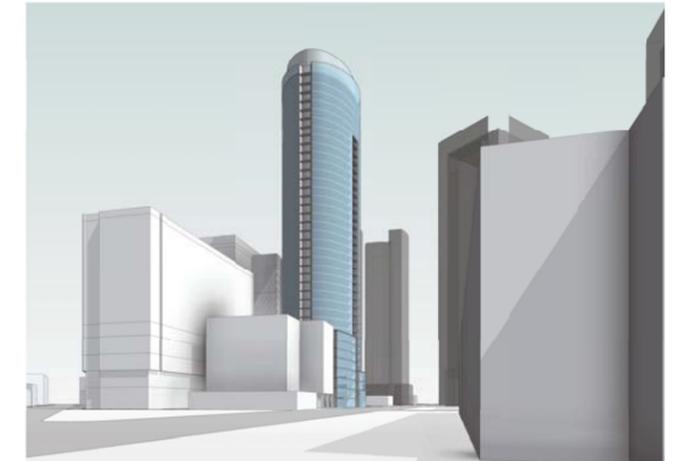
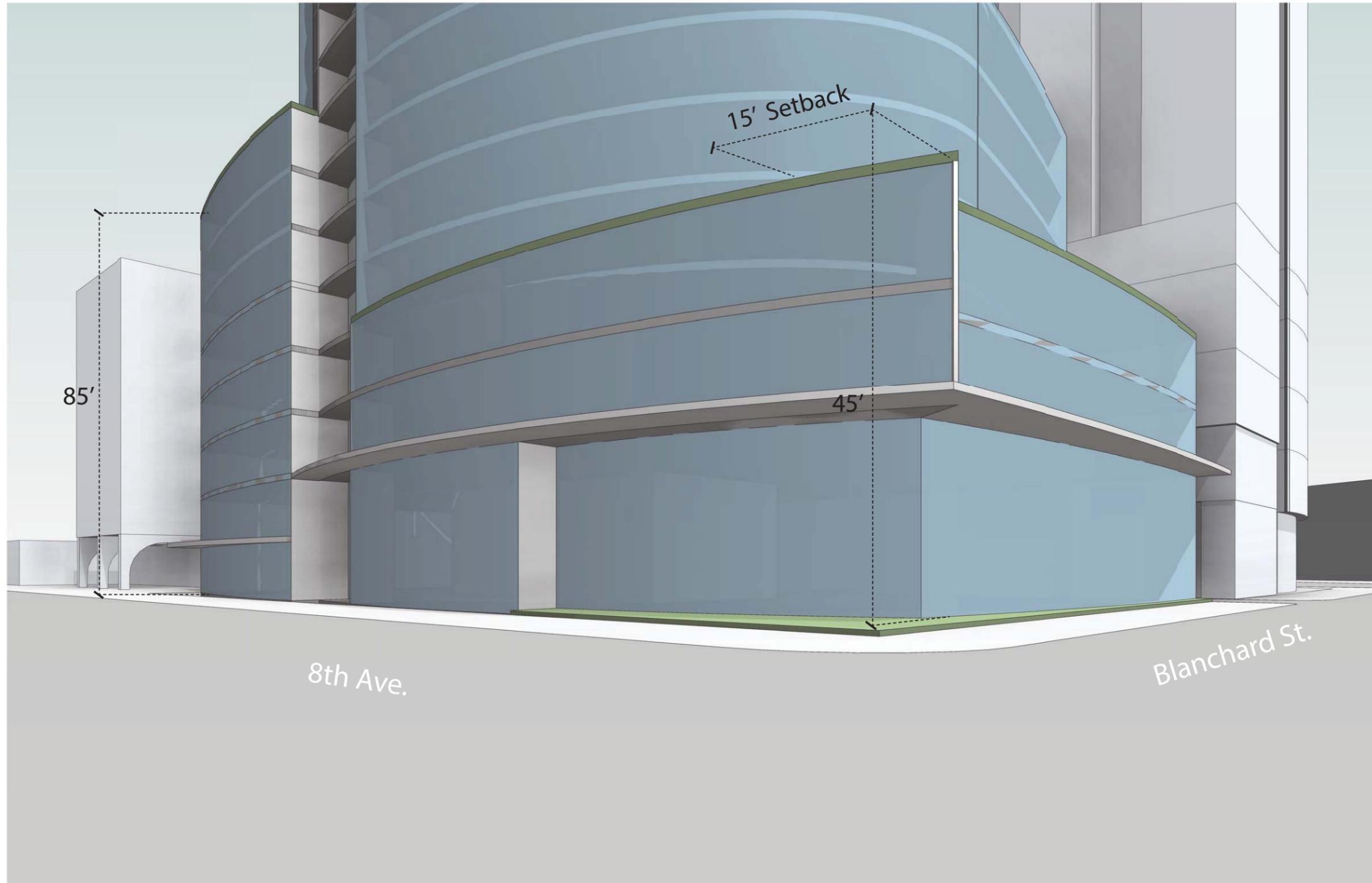


Site Plan

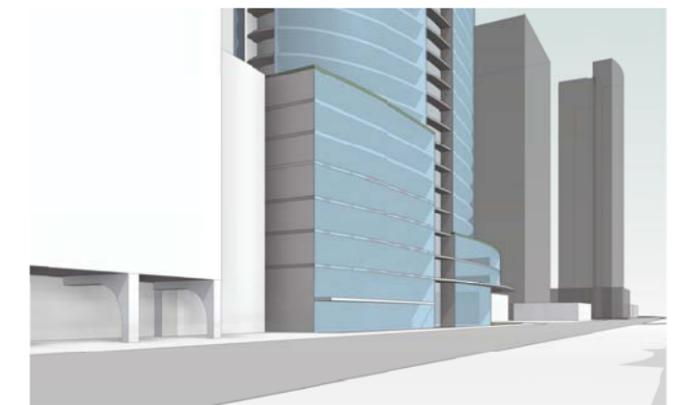


Aerial Perspective Looking North

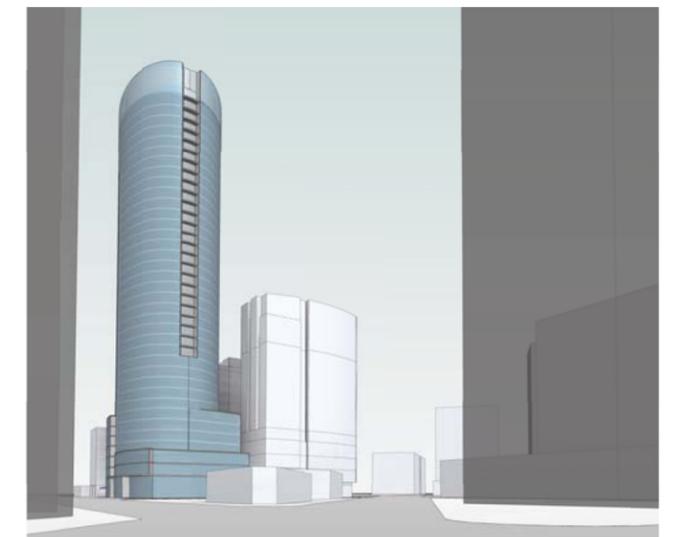




8th Avenue Looking South West



8th Avenue Looking South West



Westlake Avenue Looking North

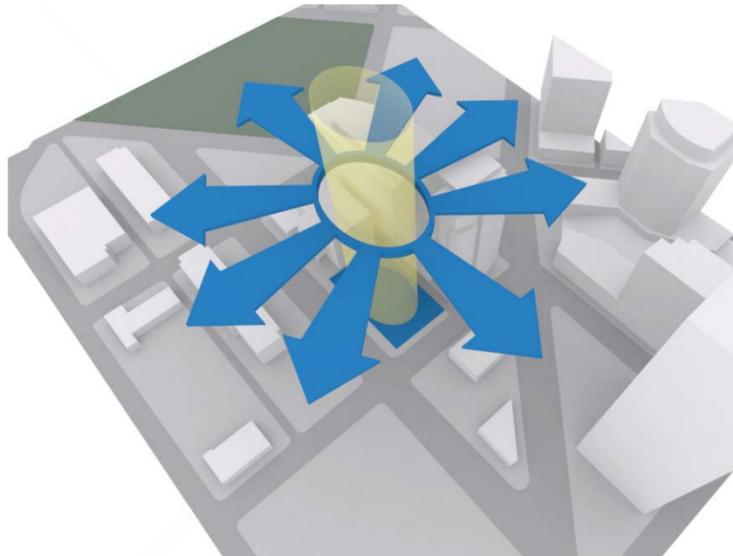
8th Avenue Looking North East

## Design Review Board Comments: Early Design Guidance

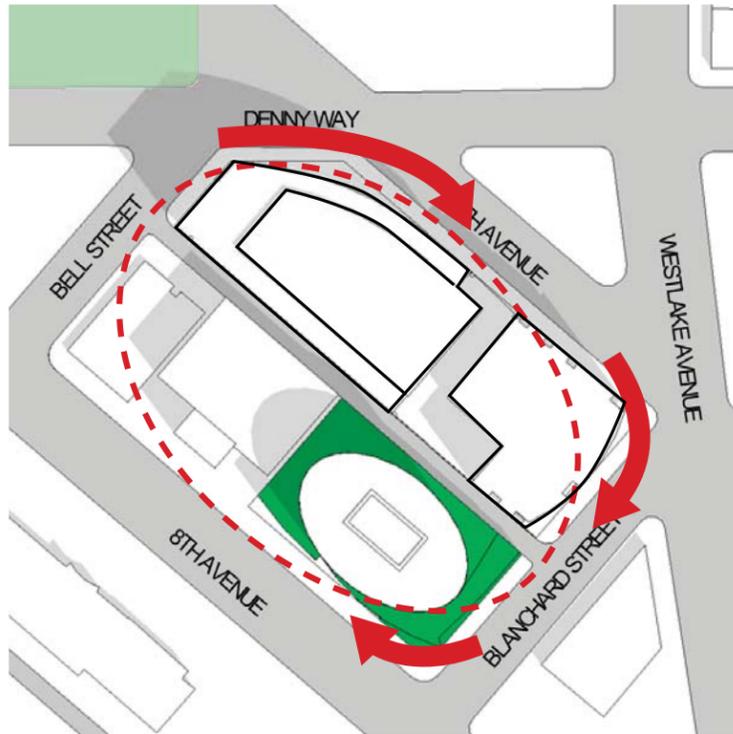
## A1 - Respond to Physical Environment

EDG Comments:

1. Very complete context analysis.
2. Ellipse is proper response to context.



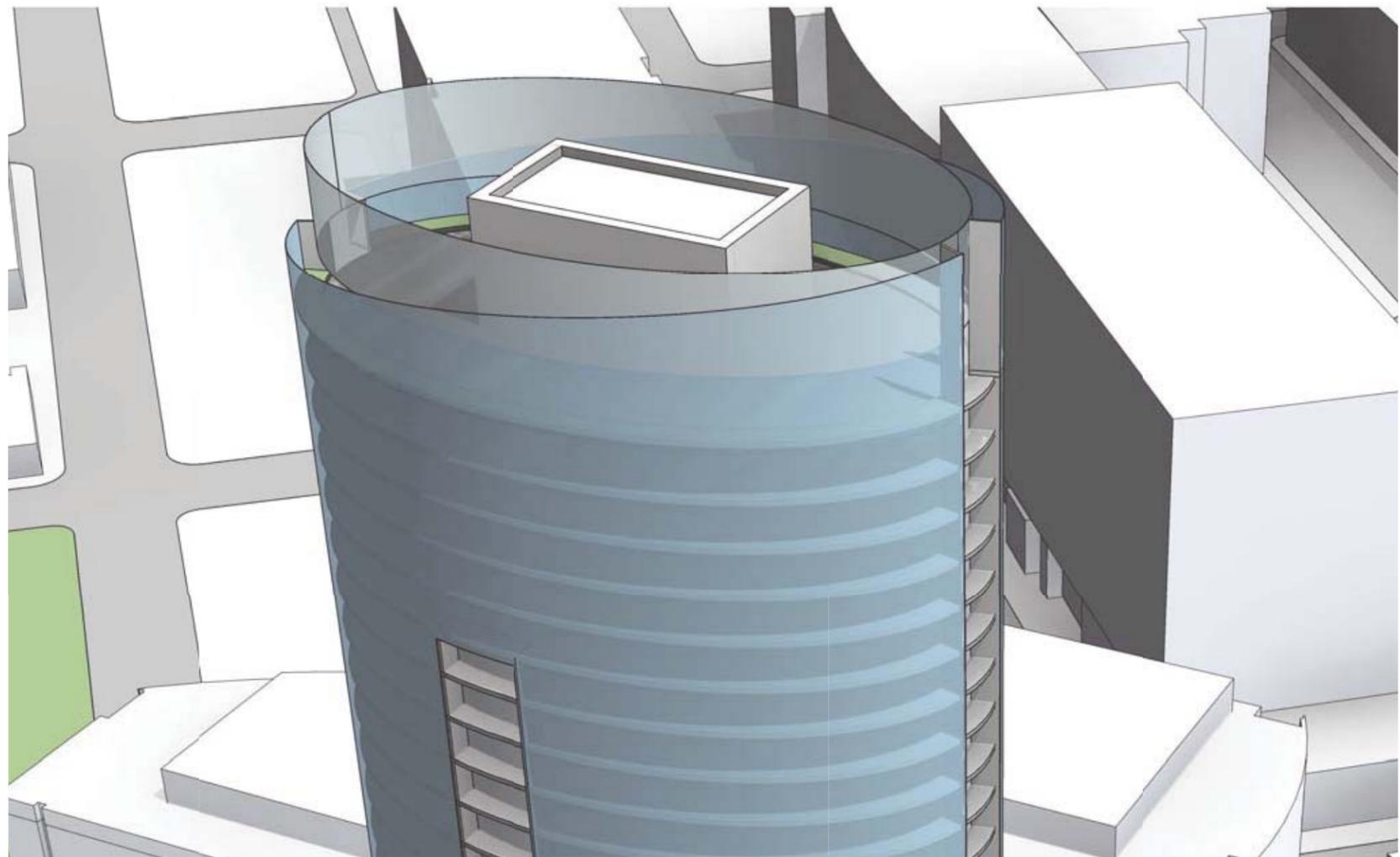
3. Creates pleasing ensemble with Enso.



## A2 - Enhance the Skyline

EDG Comments:

1. Supported preliminary roof design:
  - a. Layered and tapered screens.
  - b. Better residential scale than pure extrusion.
  - c. Gracious transition to sky.
2. Suggestion(s) for refinement:
  - a. Consider using vegetation and a sophisticated, restrained lighting design that incorporates the tall screen.



**Note: See following section for comment responses**



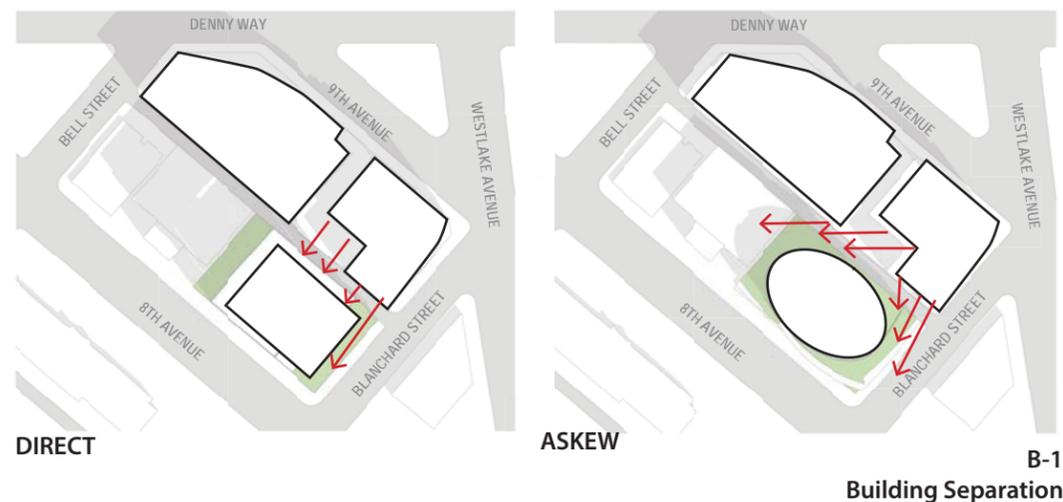
## B1 - Relating to Neighborhood Context

### EDG Comments:

1. Design unusually sensitive to adjacent residential tower.
2. No need for further rotation, shifting, or reductions in floor plate.
3. Although unfortunate, Enso deck cannot completely dictate adjacent building form.

### Suggestions:

1. Glass and material composition should be studied carefully at Enso facing facades for privacy and reflected winter light.
2. Asked for
  - a. Zoomed in shadow studies with full range of times and dates.



B3 - Reinforce positive urban form and architecture attributes of immediate area.

B4 - Design a well proportioned and unified building'

C1 - Promote pedestrian interaction

D6 - Design for personal security and safety

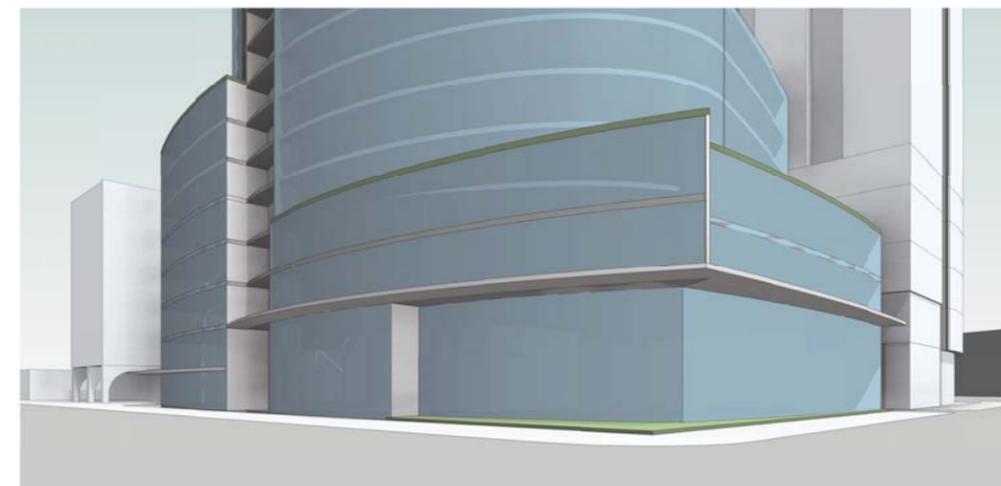
Note: comments related to all four design guidelines

### EDG Comments

1. Board supports the slot interacting with tower and reinforcing the lobby location, and stepped podium.
2. Board endorsed recessed corner and visible amenities above.
3. Board endorsed highly transparent tall commercial facades along 8th avenue.

### Suggestions:

1. Further study at highly visible podium corner.
2. Lobby should have distinct form or recess at ground level.
3. Repeated ellipse shapes and abrupt alley edge need refinement.
4. More commercial doors along Blanchard frontage for long term flexibility and pedestrian engagement.
5. At SE corner, move shaft and stair to make corner more transparent.



## B3 - Design facade of many scales

### EDG Comments

1. Images promising implied, sophisticated staggered or woven cladding system.
2. Explore composition and materiality that integrates balconies, doesn't not look like an office building, and reflects the layered part.
3. Composition should represent a transition from skyline scale to pedestrian scale not assume identical language throughout.

## C6 - Develop the Alley Facade

### Suggestions:

1. The alley facade should be carefully designed with sensitivity to the adjacent Enso units to limit eye to eye privacy issues.

## D2 - Enhance the building with landscaping

### EDG Comments

1. Support proposed landscaping at both streets.
2. Applauded depth and height of commercial spaces.
3. Applauded how the corner commercial space spills out onto a widened sidewalk with cafe seating and excellent south sun access.

**Note: See following section for comment responses**

## E2 - Integrate parking facilities

### EDG Comments

1. Supported the parking entry offset that is as far as possible from the existing.
2. Advised no adjustable alarms or excess noise in the alley adjacent to the residential podium.

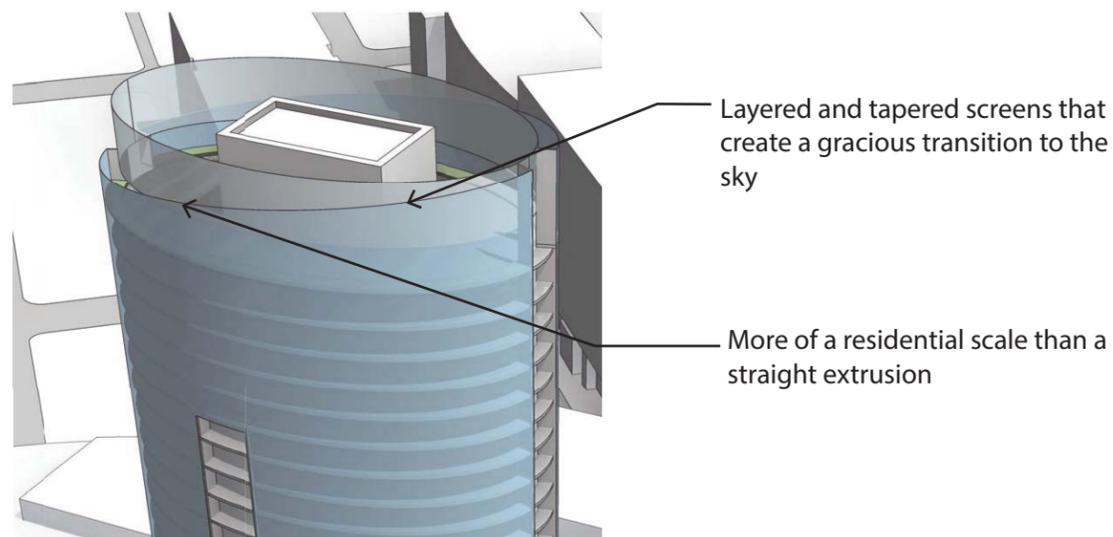


## Design Review Board Comment Responses

# A2 - Enhance the Skyline

EDG Comments:

1. The board supported preliminary roof design:
  - a. Layered and tapered screens.
  - b. Better residential scale than pure extrusion.
  - c. Gracious transition to sky.
  
2. Suggestion(s) for refinement:
  - a. Consider using vegetation and a sophisticated, restrained lighting design that incorporates the tall screen.



Roof design at Early Design Guidance

## Roof design refinement



## Lighting and Materiality



Roof screen lighting concept

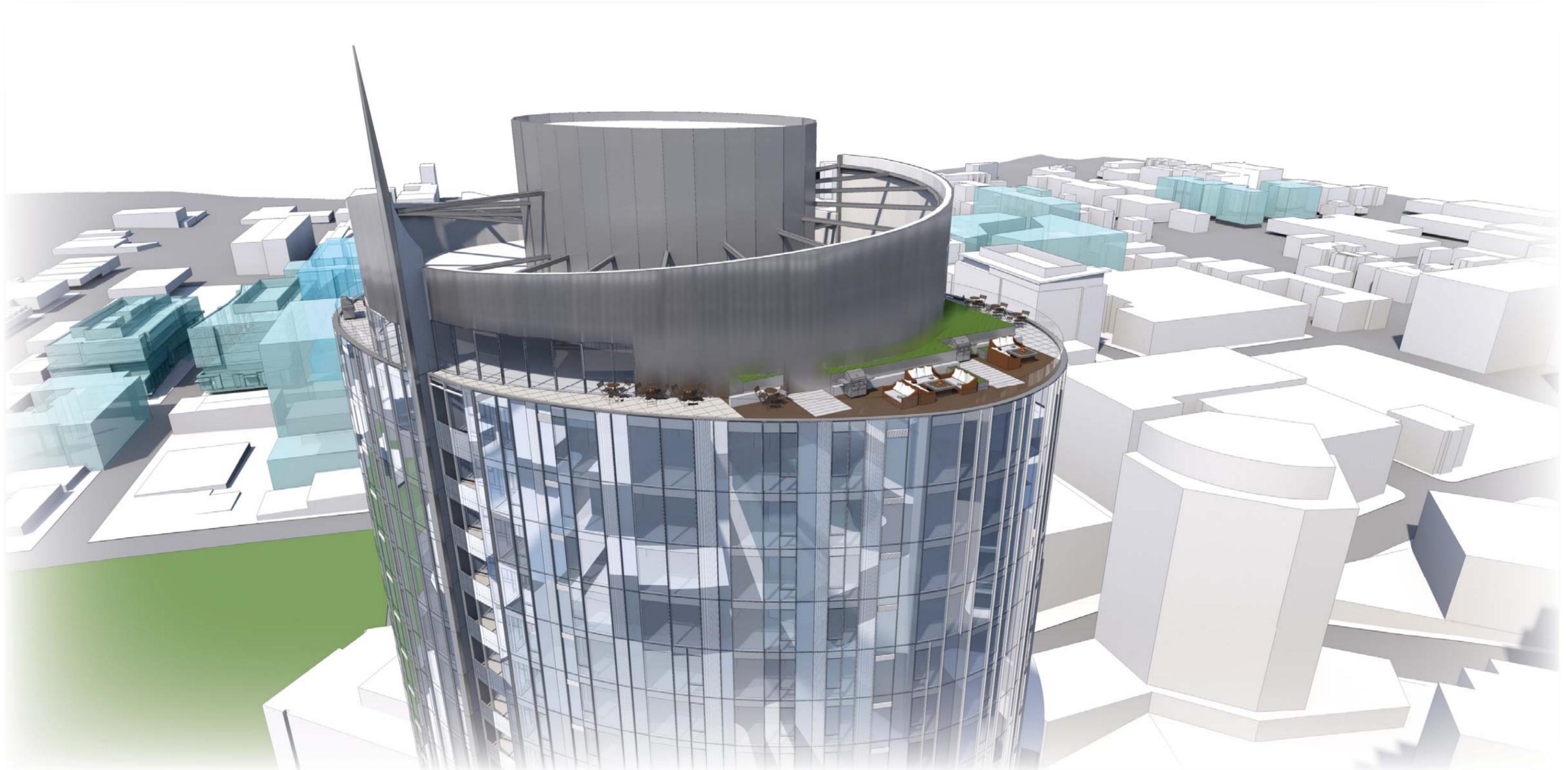


Screen materiality

The lighting and materiality will reinforce the verticality of the project while creating visual cues that can be experienced both from afar and close up.



# A2 - Enhance the Skyline

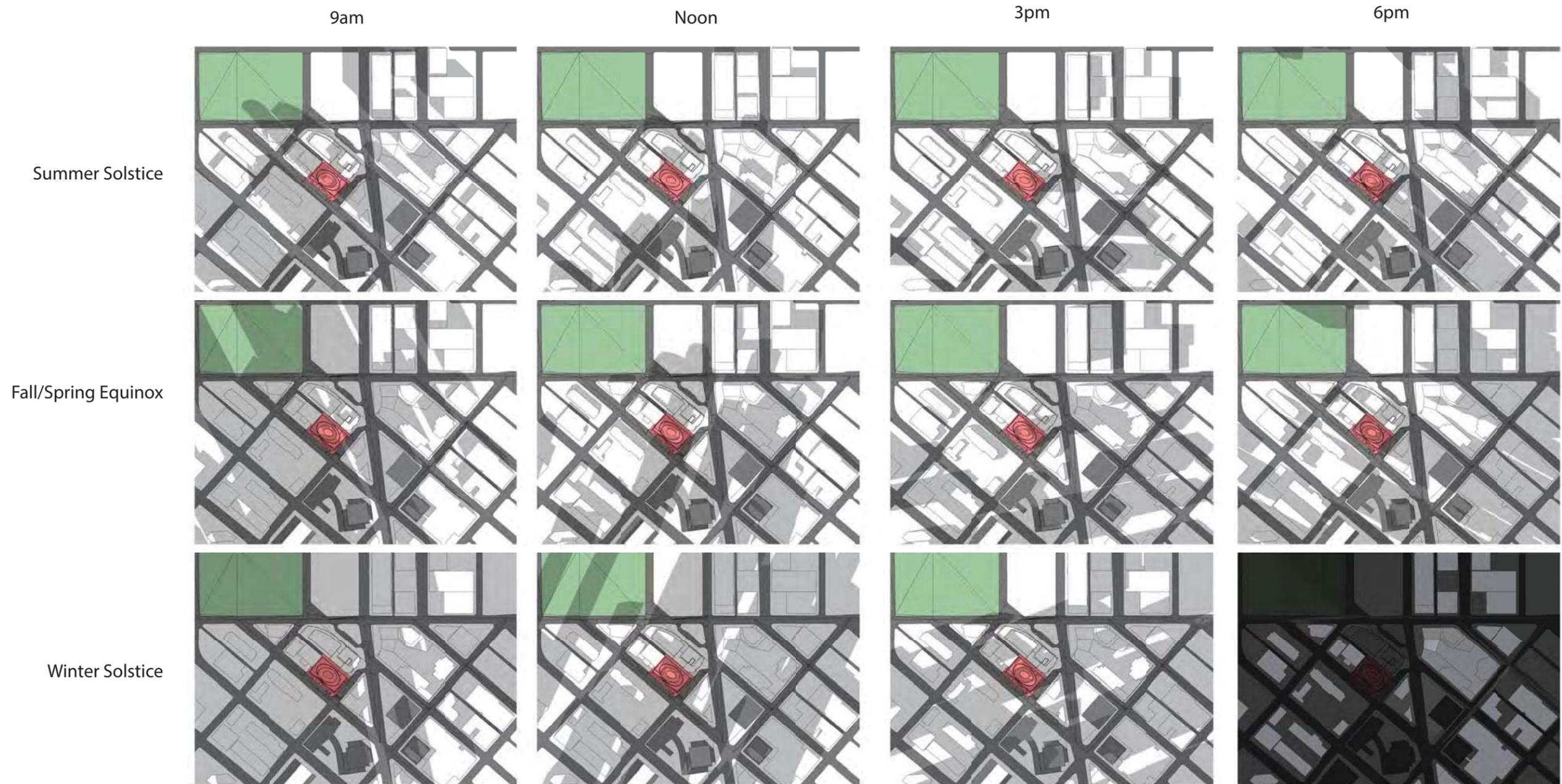


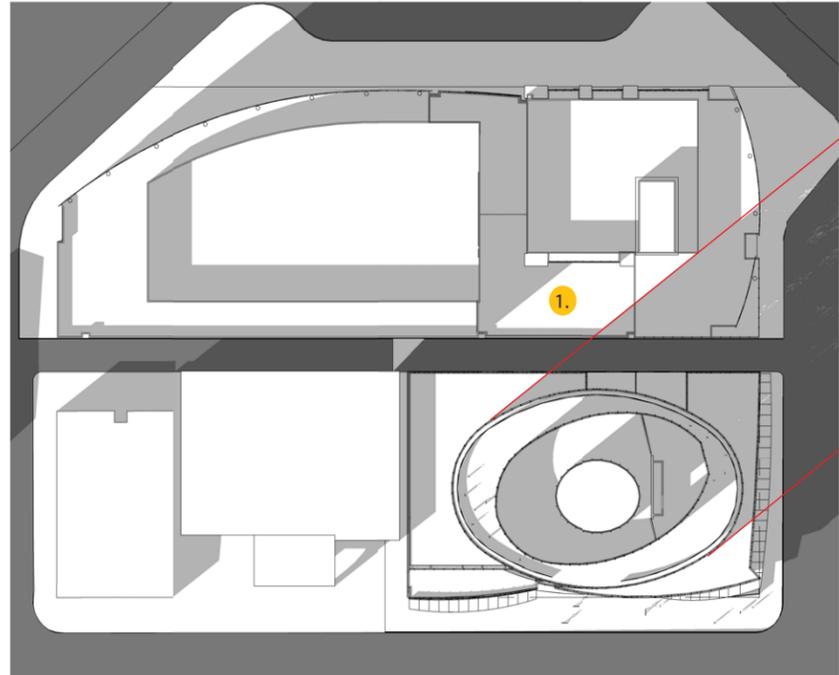
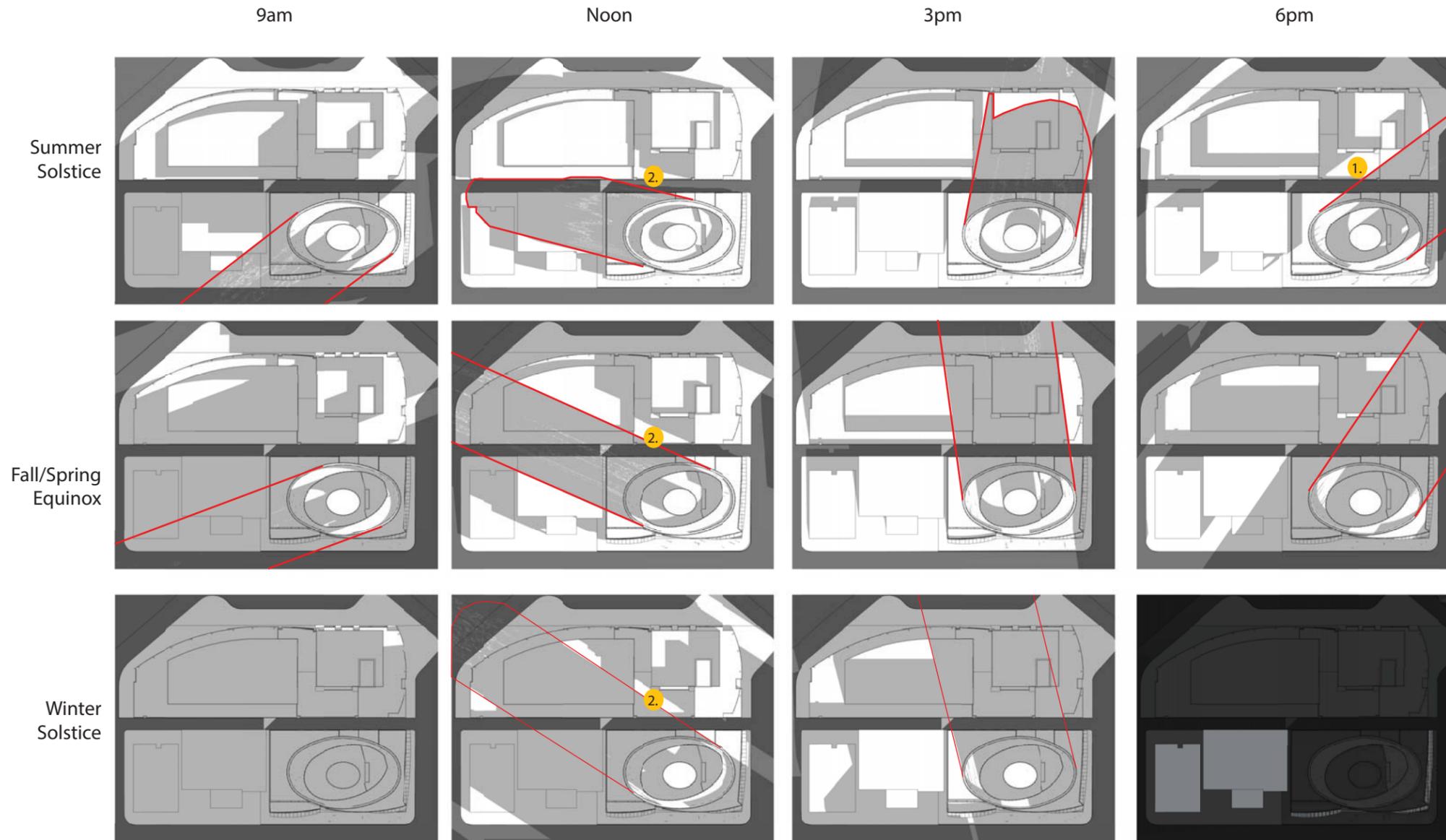
## Roof design refinement

# B1 Relating to the Neighborhood Context

## Suggestions:

1. Glass and material composition should be studied carefully at Enso facing facades for privacy and reflected winter light.(See Responses for C6 alley facade design)
2. Asked for:
  - a. Zoomed in shadow studies with full range of times and dates.





Detailed Shadow Study

1. The building's elliptical shape allows afternoon and evening sun to get to the adjacent Enso amenity deck during the summer months
2. The building's elliptical shape allows sun to get to the adjacent Enso amenity at mid day throughout the year

Detailed Enlarged Shadow Study

**B3** - Reinforce positive urban form and architecture attributes of immediate area.

**B4** - Design a well proportioned and unified building'

**C1** - Promote pedestrian interaction

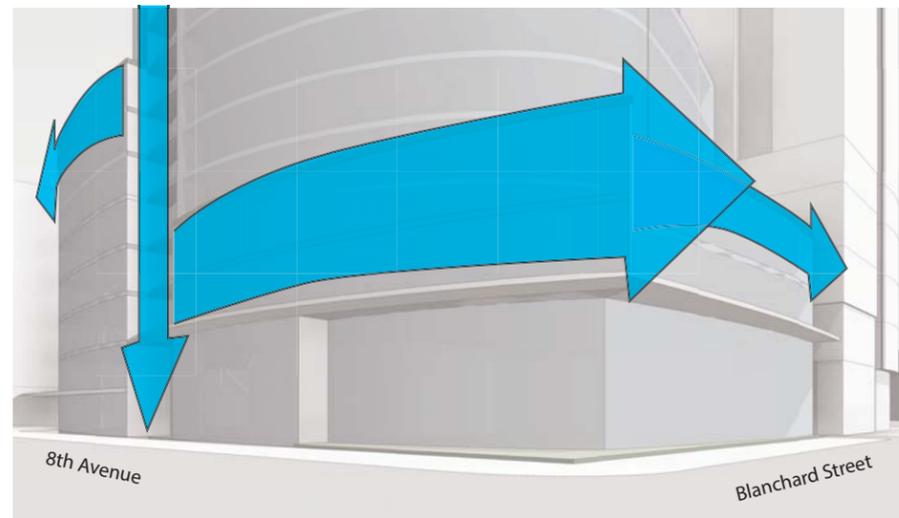
**D6** - Design for personal security and safety

Note: comments related to all four design guidelines

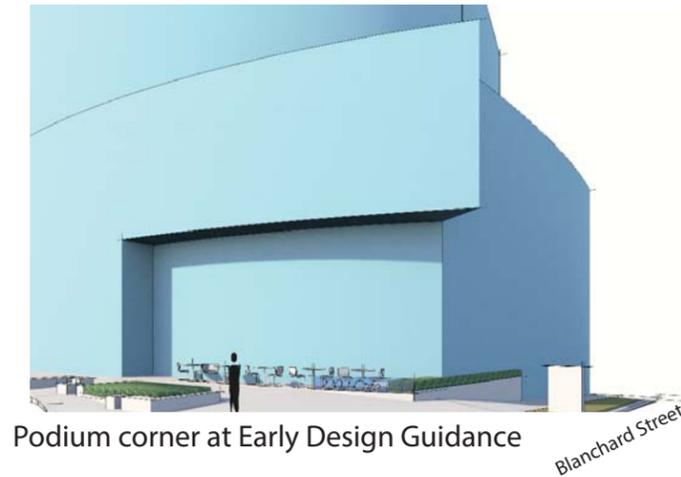
**Suggestions:**

1. Further study at highly visible podium corner.
2. Lobby should have distinct form or recess at ground level.
3. Repeated ellipse shapes and abrupt alley edge need refinement.
4. More commercial doors along Blanchard frontage for long term flexibility and pedestrian engagement.
5. At SE corner, move shaft and stair to make corner more transparent.

**1. Podium Corner Study**



Podium Concept at Early Design Guidance

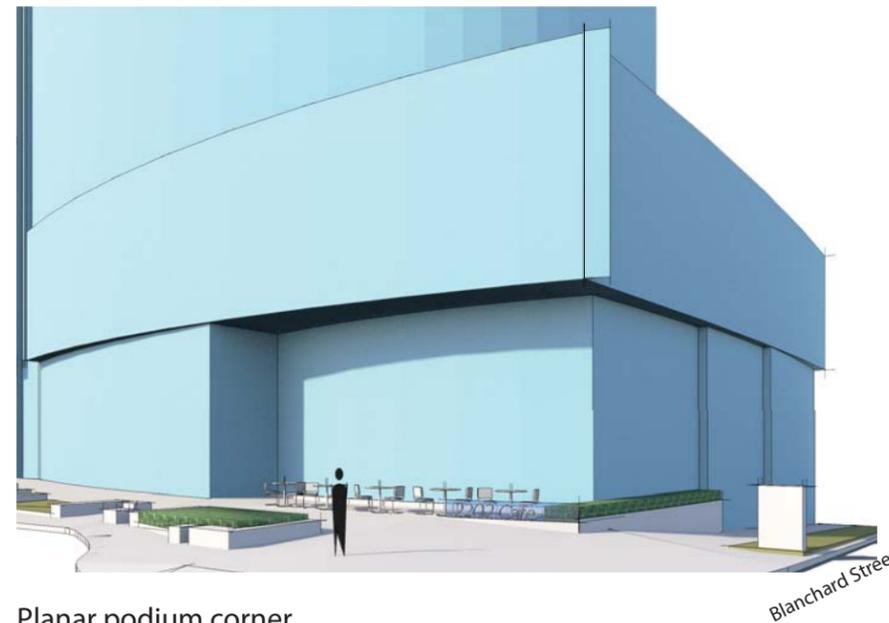


Podium corner at Early Design Guidance



Square podium corner

- (-) Static expression
- (-) Heavy Feeling
- (-) Foreign to the building concept
- (-) Lessens the impact of the retail corner setback



Planar podium corner

- (+) Draws a visual cue from Enso glass fin expression
- (-) Only occurs in one place
- (-) Plane expression foreign to the building concept
- (-) Lessens the impact of the retail corner
- (-) Creates a visual barrier to the adjacent residential unit

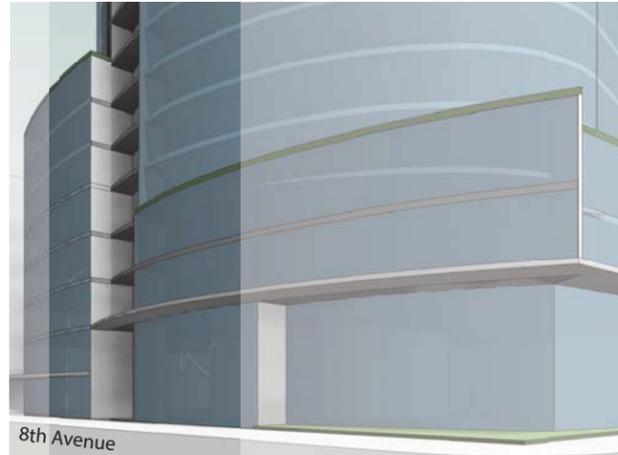


Dynamic podium Corner

- (+) Draws visual cue from Enso glass fin expression
- (+) Enforces overall podium concept
- (+) Adds visual impact to the retail corner setback
- (+) Adds to the residential unit's experience



## 2. Lobby Entry



Entry at Early Design Guidance



Entry Design Refinement

1. Continuous slot connects the recessed entry to the top of the tower
2. Retail level creates a pedestrian scale datum line at the street level
3. Distinct canopy expression at the lobby
4. Lobby entrance recessed below the canopy

## 4. Blanchard Frontage Study



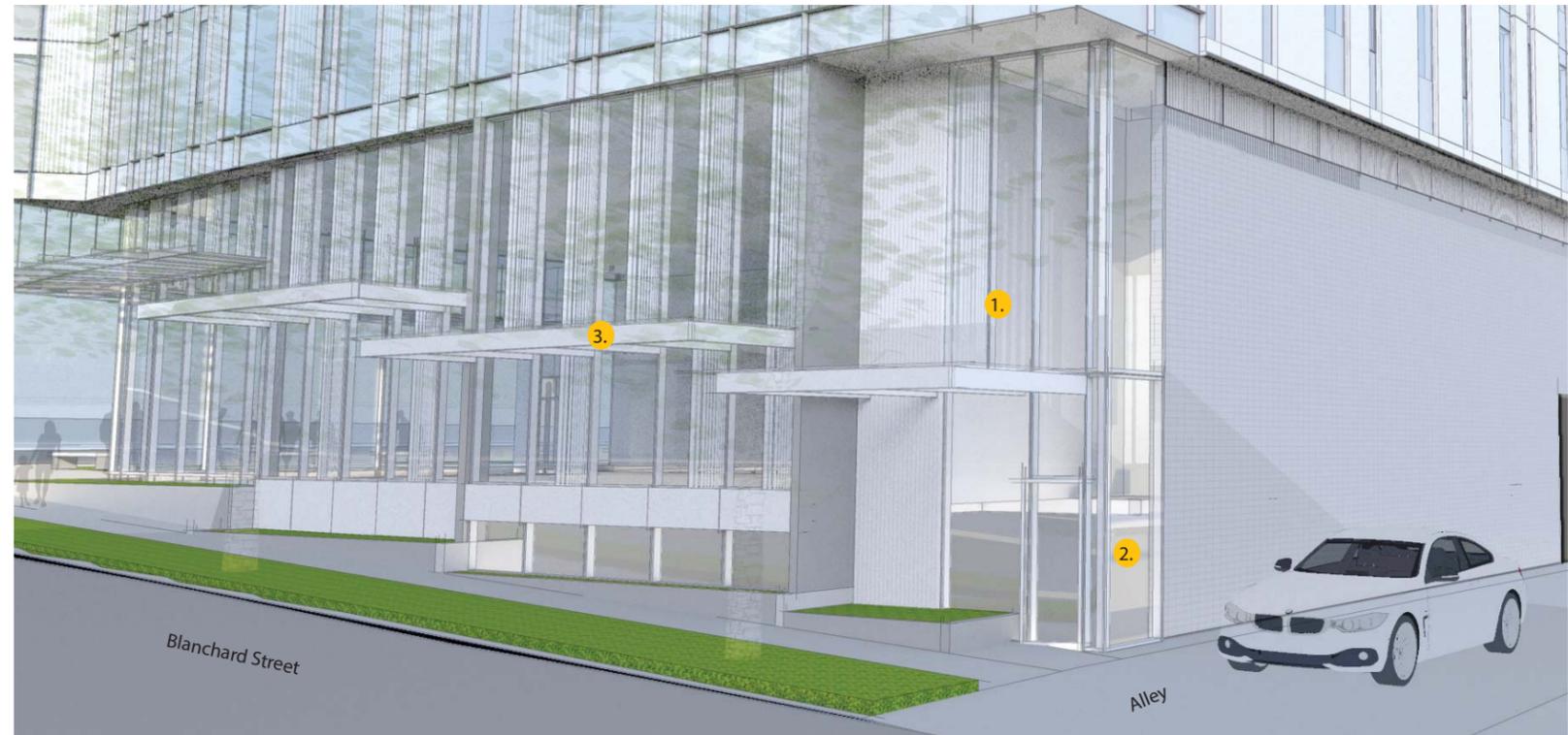
Blanchard frontage Design Refinement Elevation

1. To create the most flexible restaurant space that will enliven our important SE corner we have set the floor level so that it matches the grades at the intersection of 8th Avenue and Blanchard Street. This creates a pedestrian scale visual connection to corner.
2. The sharp slope of the sidewalk makes the addition of doors along Blanchard restrict the overall flexibility of the retail.
3. Setting the floor height at the level of the intersection also allows us to allow light into the bicycle parking below, maximizing the visual transparency for the pedestrian.

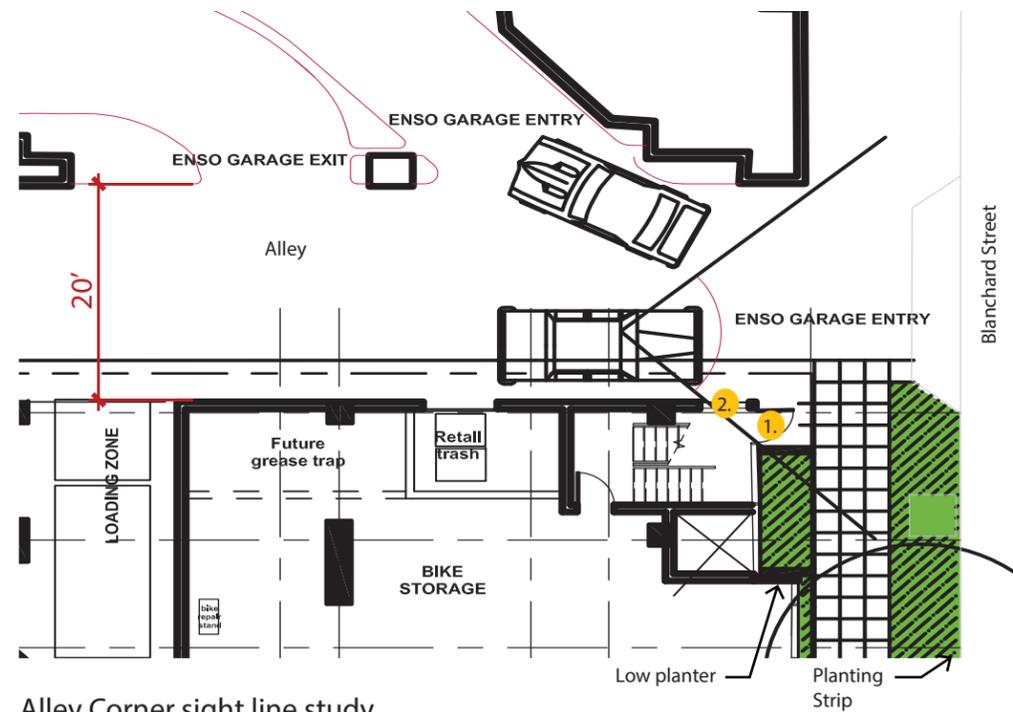
### 3.,5. Alley Corner/ SE Corner Stair



Alley Corner at Early Design Guidance



Alley corner design refinement



Alley Corner sight line study



Alley Corner sight line study

#### Blanchard frontage Design Refinement Elevation

1. Stepping back the corner at the alley softens the alley transition and creates sight lines for cars and pedestrians
2. Making the corner clear glazing further eases visual barriers
3. Canopies are stepped to create a pedestrian scale



# B3,B4,C1,D6 -Promote pedestrian Interaction



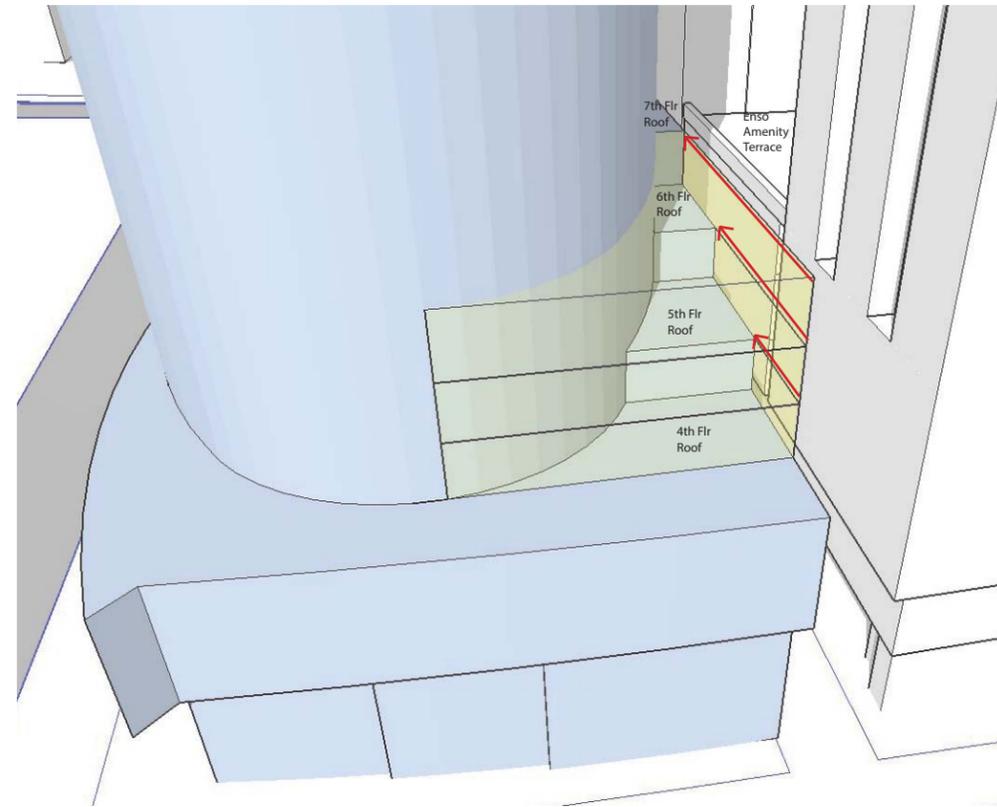
# B1, C6 - Develop the Alley Facade

## Suggestions:

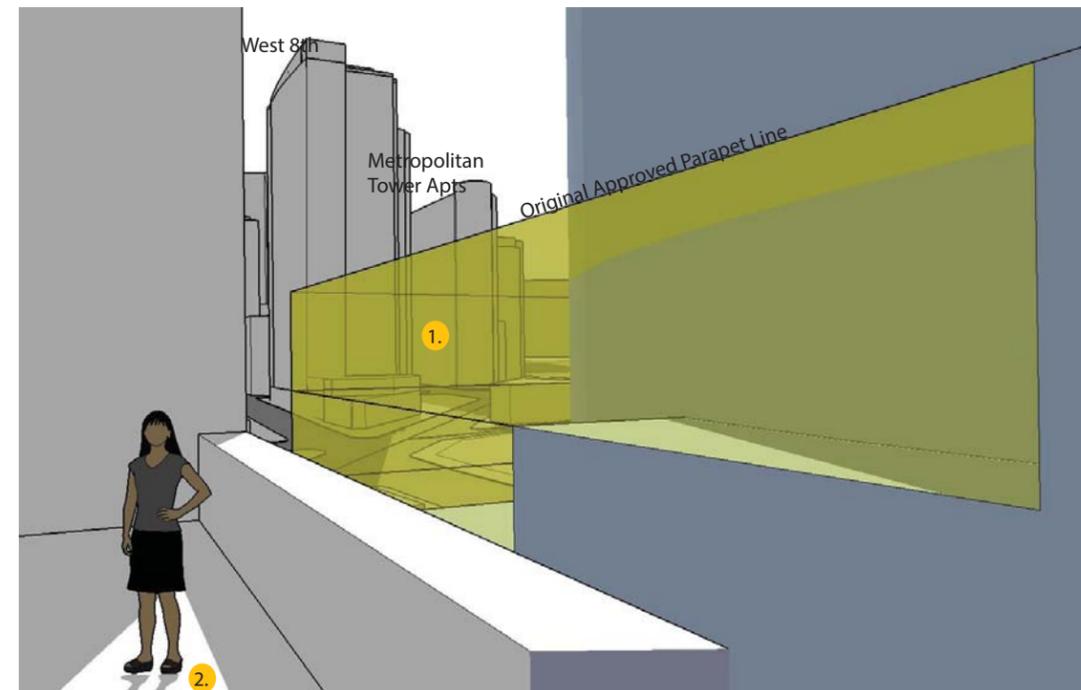
1. The alley facade should be carefully designed with sensitivity to the adjacent Enso units to limit eye to eye privacy issues.

### PUBLIC COMMENTS

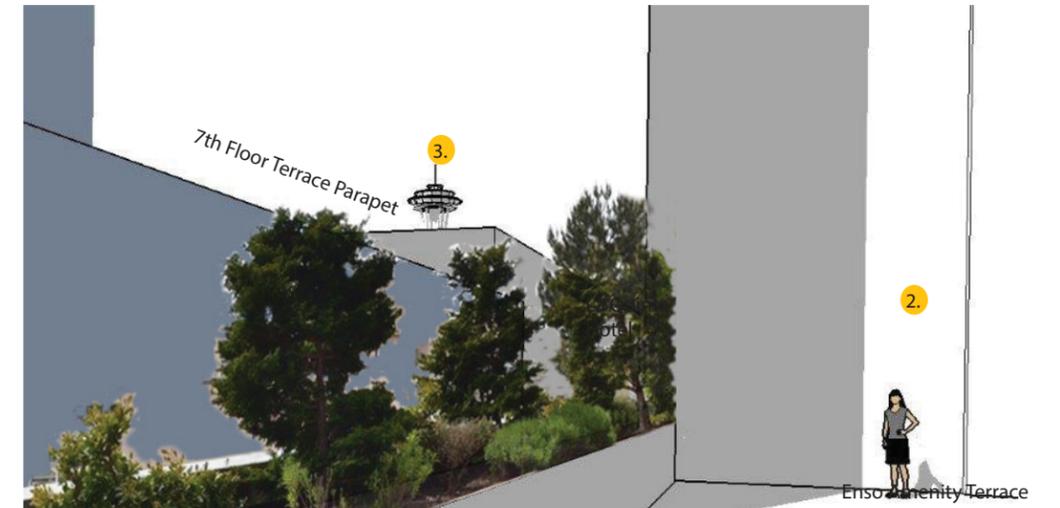
1. Concern about loss of light and air to residential units across alley.
  - a. Top three floors of alley facade are now stepped and terraced to maximize light and air reaching Enso's amenity deck
  - b. Elliptical shape maximizes light penetration and minimizes view blockage
2. Concern about loss of sunlight to existing plants and usability of Enso's amenity deck
  - a. See response to item 1 above.
  - b. Additional sun/shadow studies provided, with terraced alley facade.
3. Loading and parking access will compound an already congested alley
  - a. Garage access is as far as possible from Enso garage entrance
  - b. Garage access is perpendicular to alley; cars can go north or south to avoid congestion
  - c. No public parking is provided, minimizing traffic
  - d. Though no loading dock is required, there are locations for truck parking within the building.



Massing Adjustment



View from Enso Amenity Showing Improved Massing for Views and Light for Enso  
Daylight is Equinox 11:30am

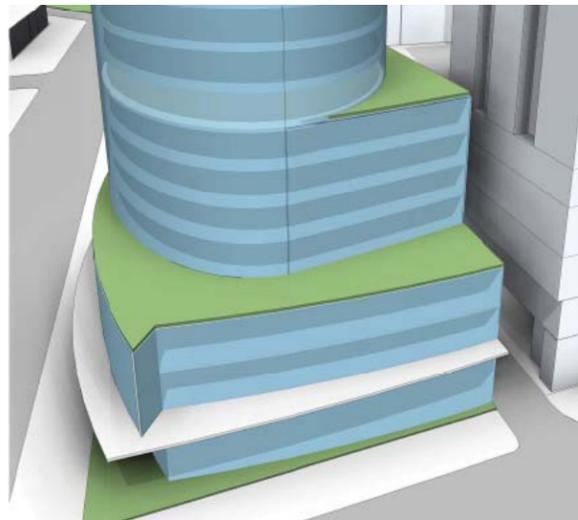


View from Enso Amenity Terrace Looking Towards Space Needle

Daylight is Equinox 11:30am

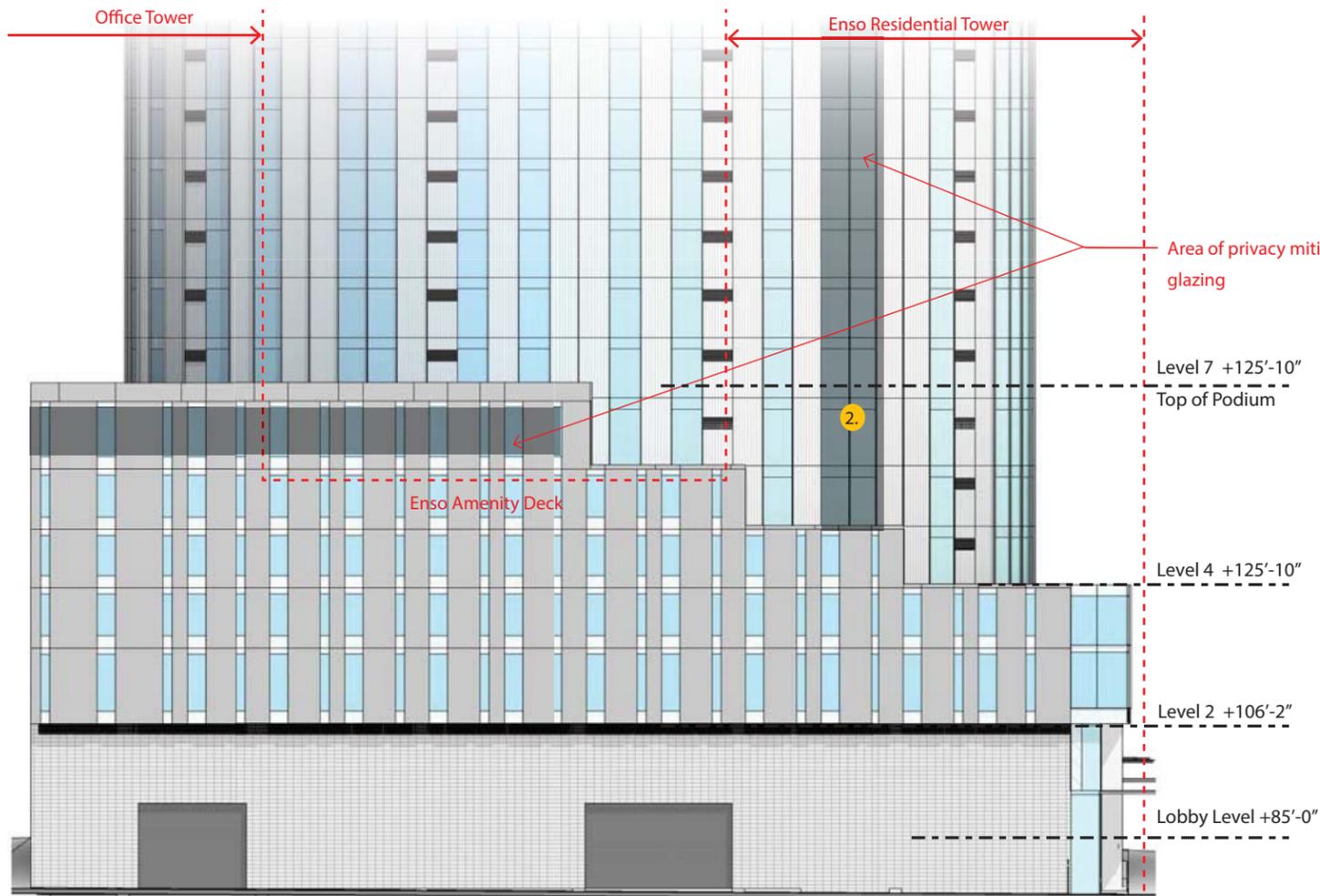
## Alley Facade Massing

1. Stepping back the facade gives the adjacent Enso amenity deck more opportunity for daylight and views
2. Stepping back the facade gives the adjacent Enso amenity deck more solar access
3. The projects elliptical shape allows for visual access from the adjacent Enso amenity deck to the Space Needle

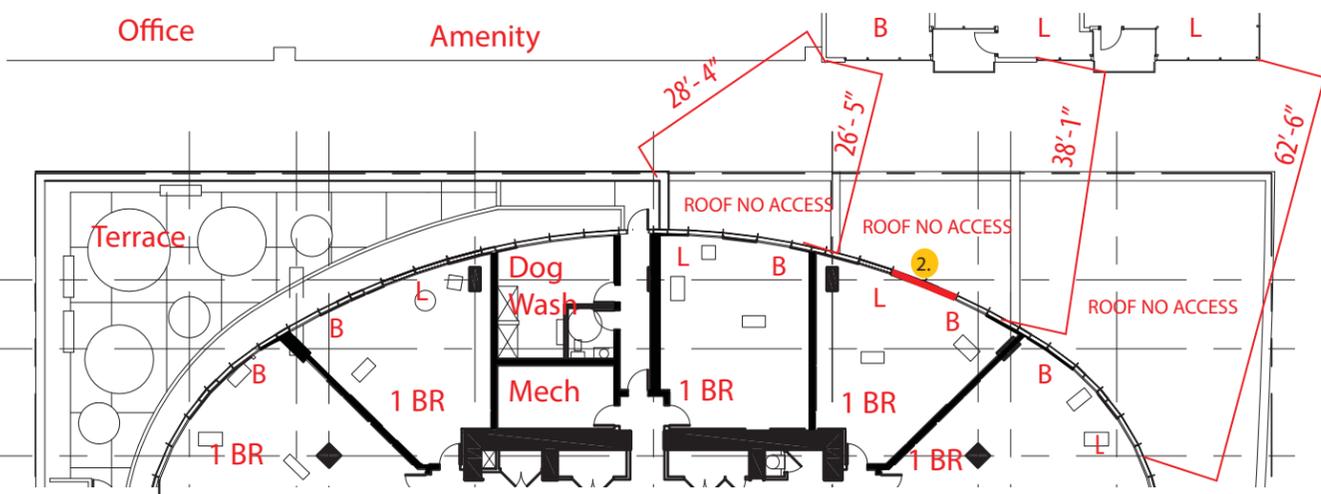


Massing Approved at EDG

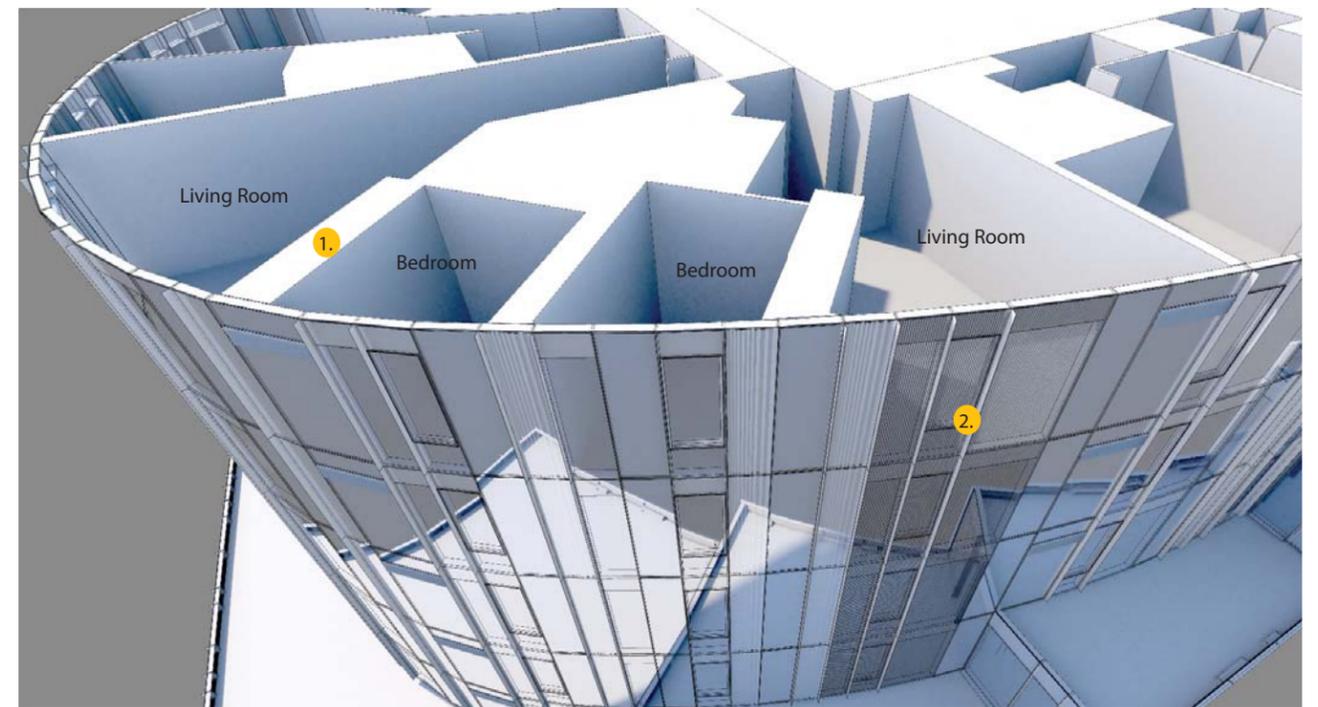




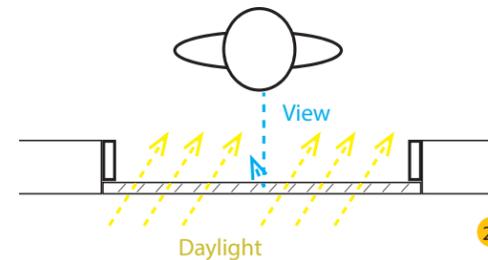
Location of privacy mitigation glass  
(Reversed Elevation)



Plan showing programmatic relationships between buildings



Section perspective through privacy mitigation glass



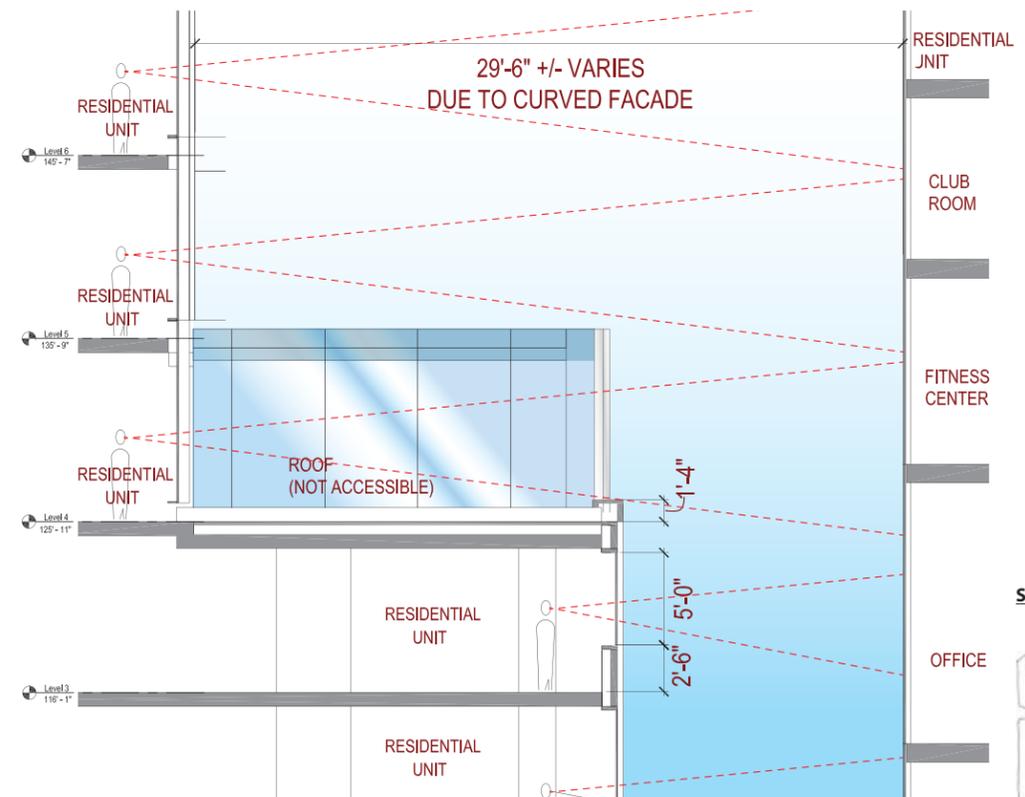
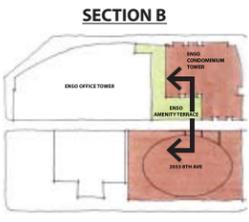
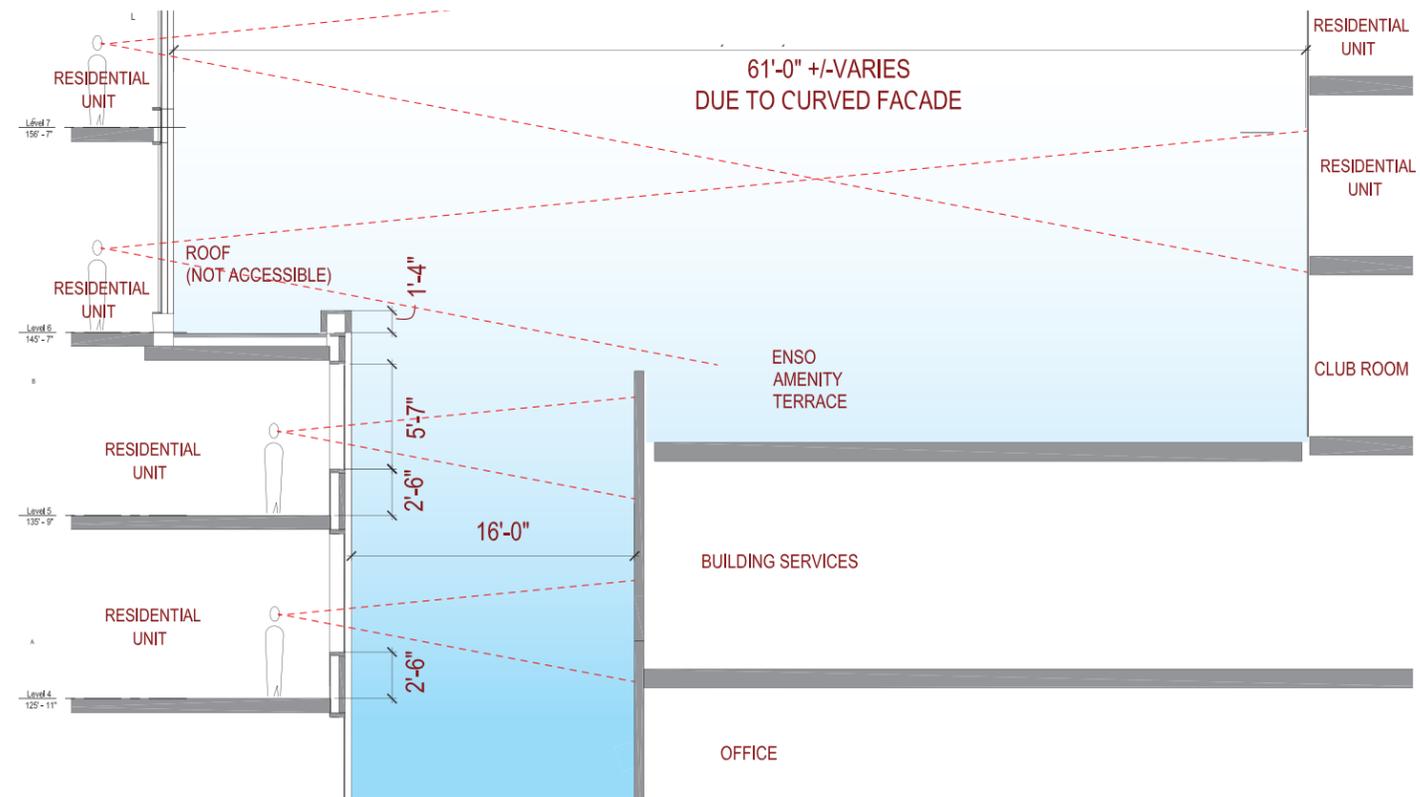
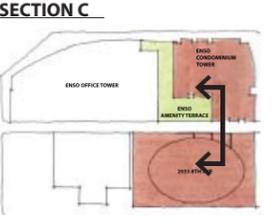
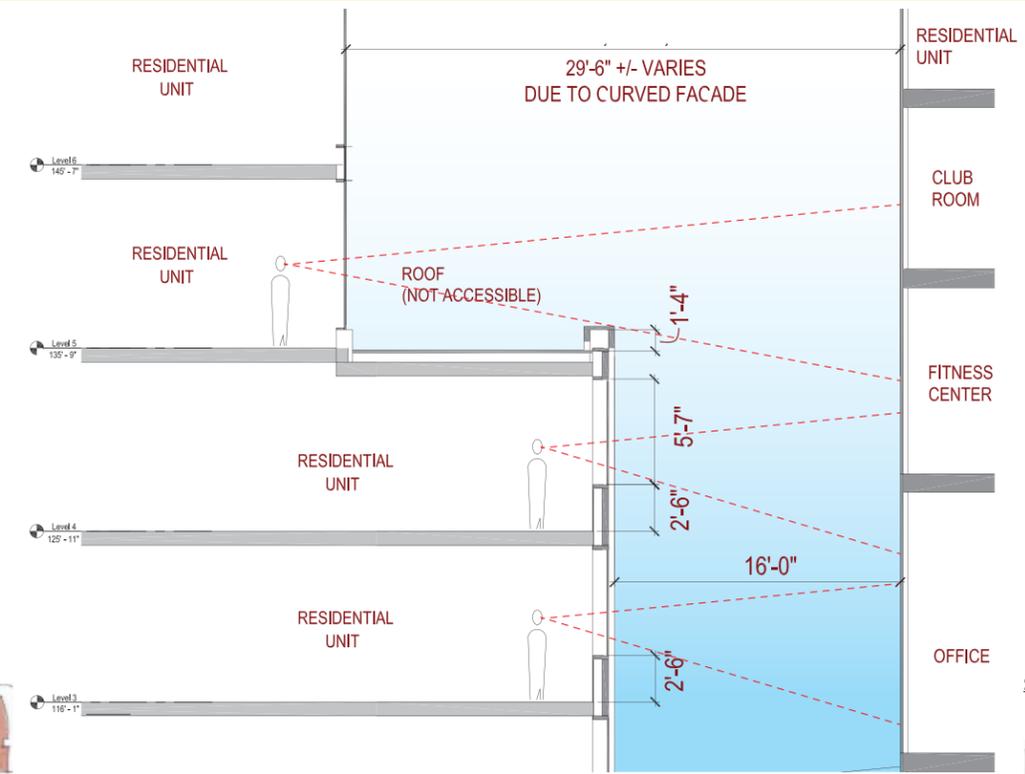
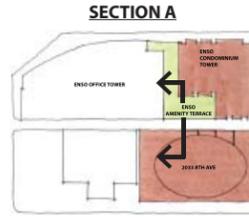
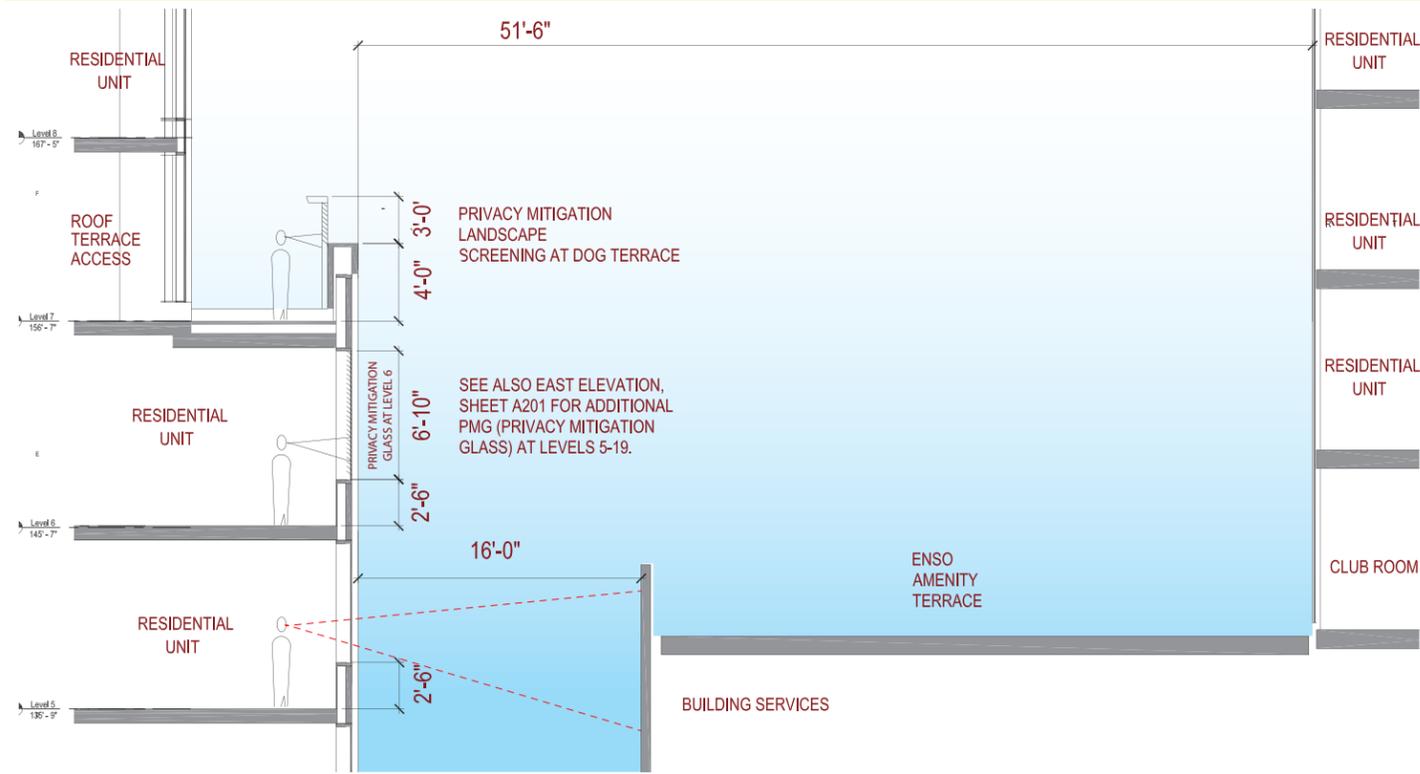
Plan diagram showing the privacy mitigation concept



Privacy mitigation glazing

**Privacy Mitigation** (See detailed elevations on page A-55)

1. Flipping the unit layout creates the least living room to living room adjacency between buildings
2. Adding the privacy mitigation glass makes the interior view angle oblique while allowing in daylight.



# B1, C6 - Develop the Alley Facade



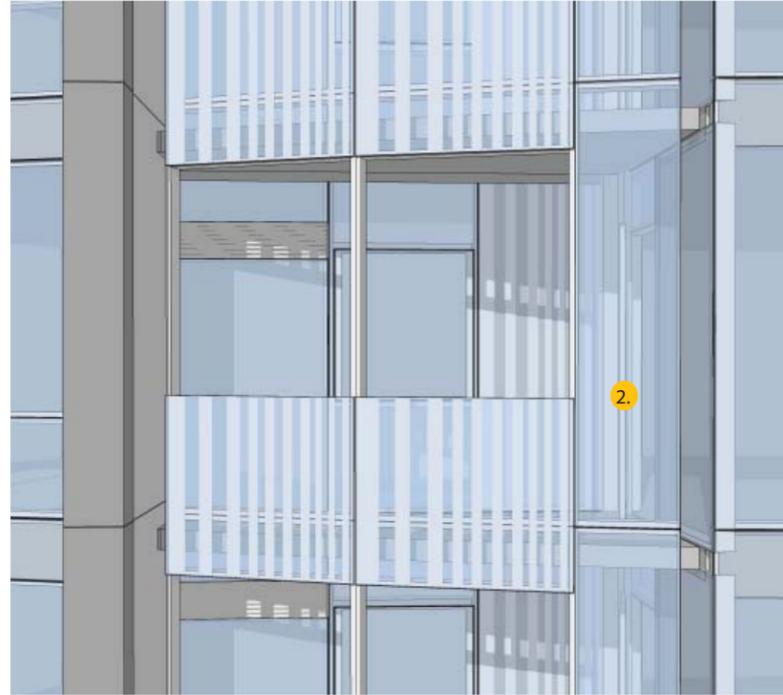
# B3 - Design facade of many scales

## EDG Comments

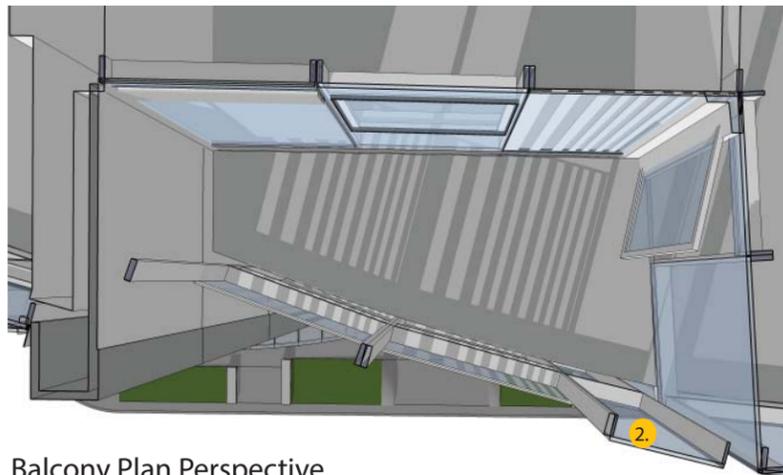
1. Explore composition and materiality that integrates balconies, does not look like an office building, and reflects the layered parti.
2. Composition should represent a transition from skyline scale to pedestrian scale and not assume identical language throughout.



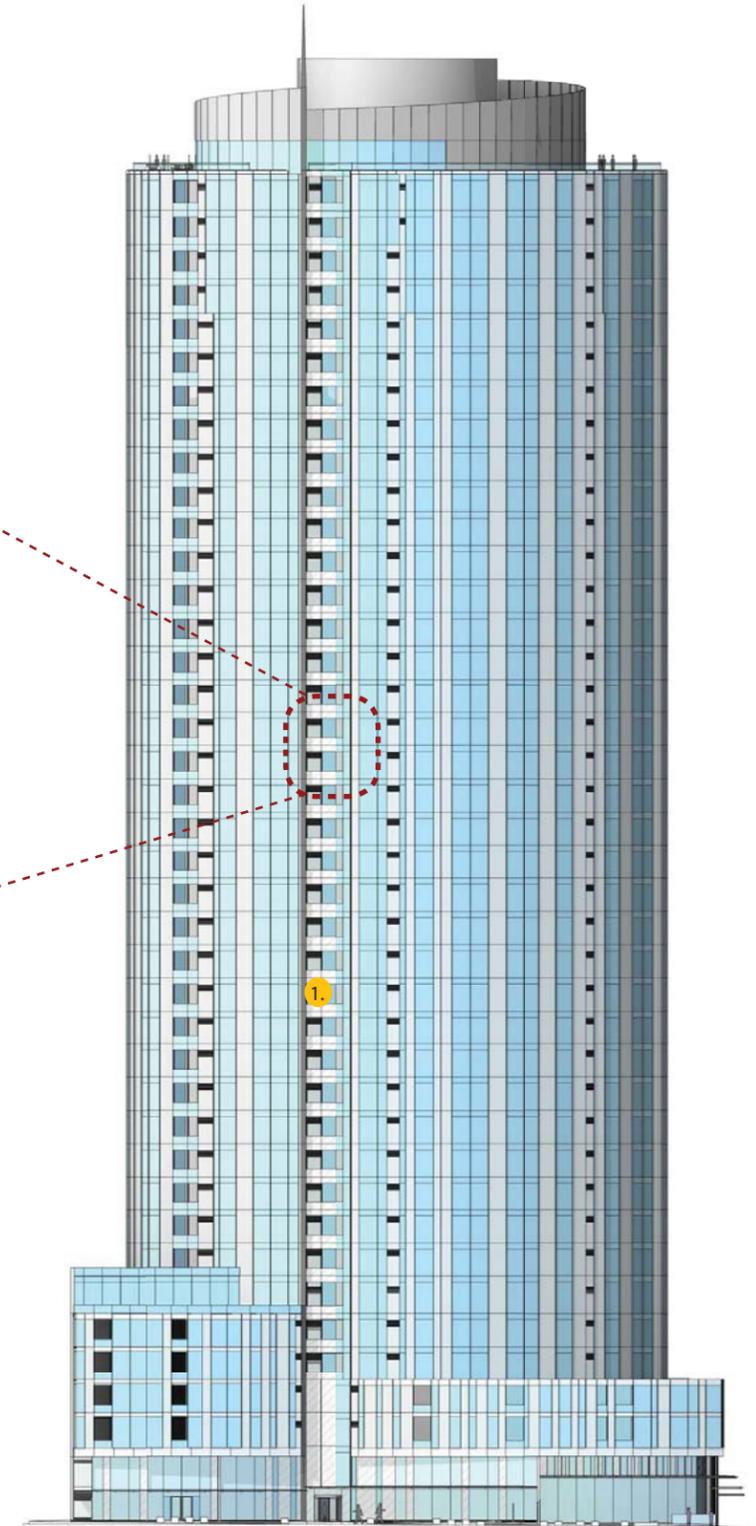
Balcony Section Perspective



Balcony Elevation Perspective



Balcony Plan Perspective



## Balcony Integration

1. The balconies are designed to emphasize the verticality of the design, they are located to provide scale and emphasis to larger scale architectural moves.
2. The balconies include a vertical glass screen to help create a sense of enclosure, and to continue the verticality of the facade.
3. The materiality is consistent with the rest of the design including white metal panel, glass, and fritted glass.



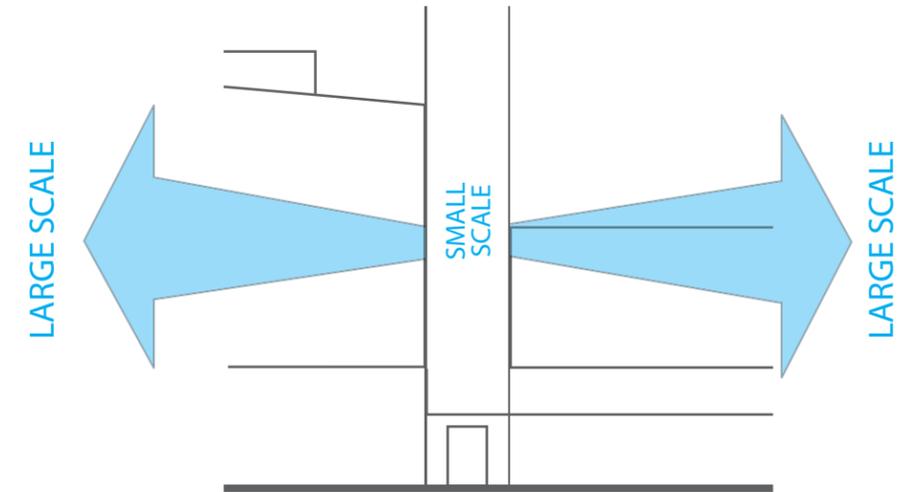
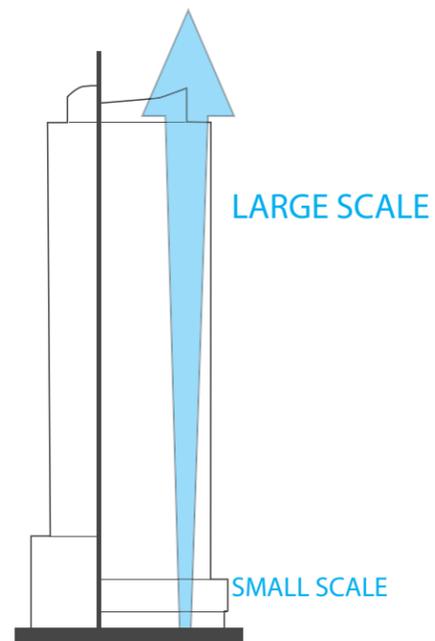
# B3 - Design facade of many scales

## Facade Scale Variety

1. The elements of the facade and canopy change scales from a small scale at the pedestrian level and podium to a larger scale at the tower.
2. The patterning and scales also move from smaller to larger horizontally as they radiate out from the slot at the entry. The change in scales adds emphasis to the lobby entry by drawing the eye to the gradation of element sizes.



Vertical Scale Transition



Horizontal Scale Transition

# D2 - Enhance the building with landscape





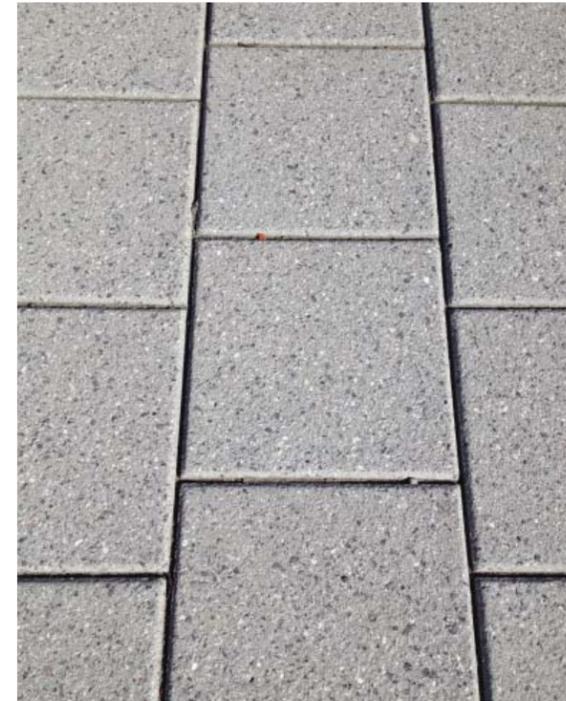
8TH AVENUE



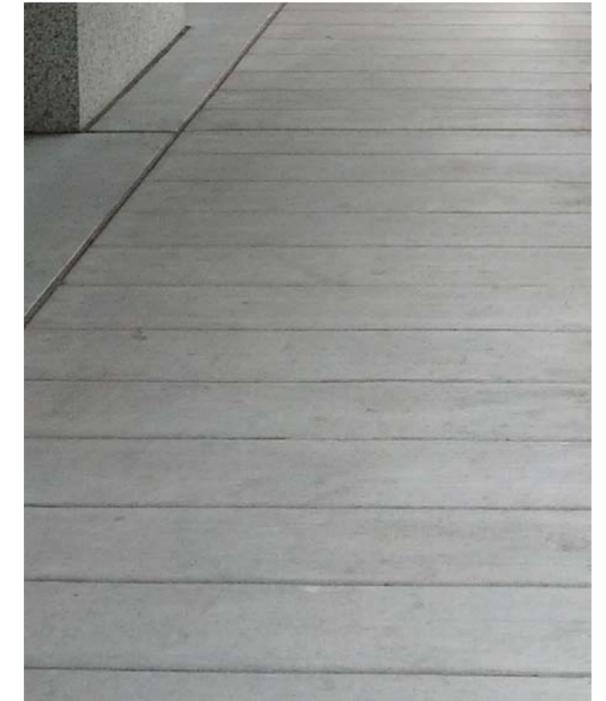
BLANCHARD STREET



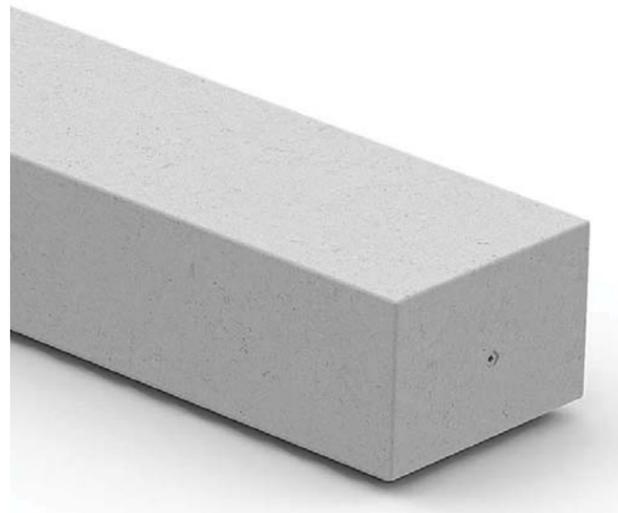
SIDEWALK: CONCRETE PAVING W/  
STANDARD 2 X 2 SCORING PATTERN



AMENITY STRIP: CONCRETE UNIT  
PAVING



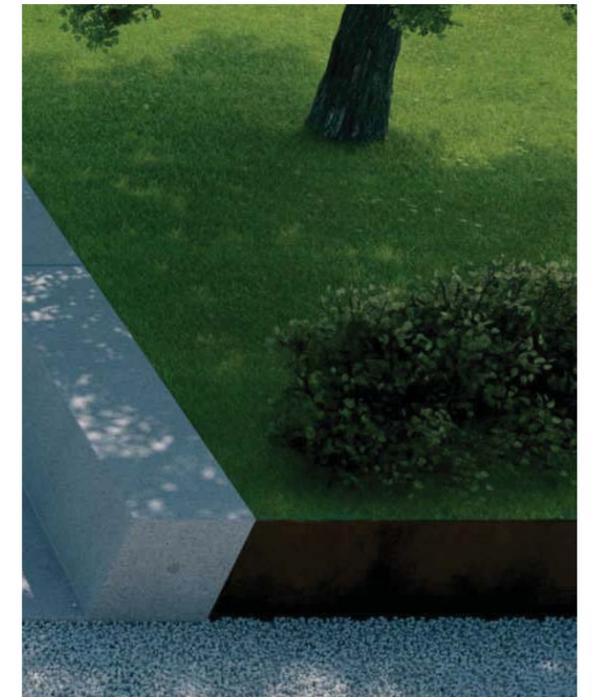
RETAIL TERRACE: CONCRETE PAVING  
W/ CUSTOM SCORING PATTERN



FEATURE BENCH @ ENTRY



WOOD BENCH



STEEL PLANTER FACE @ BLANCHARD







BLANCHARD STREET

STARLIGHT DOGWOOD  
*CORNUS KOUSA X NUTTALLII*



STARLIGHT DOGWOOD FLOWER



FRONTIER ELM LEAVES



EIGHTH AVENUE

FRONTIER ELM  
*ULMUS CARPINIFOLIA X PARVIFOLIA 'FRONTIER'*



GRAPHITE

A-39

Response to EDG suggestions for guideline D2

Street Trees

Design Recommendation  
11.04.2014

CLISE PROPERTIES, INC.





BOXLEAF HONEYSUCKLE  
*LONICERA PILEATA*



WILD GINGER  
*ASARUM CAUDATUM*



JAPANESE SWEETFLAG  
*ACORUS GRAMINEUS*



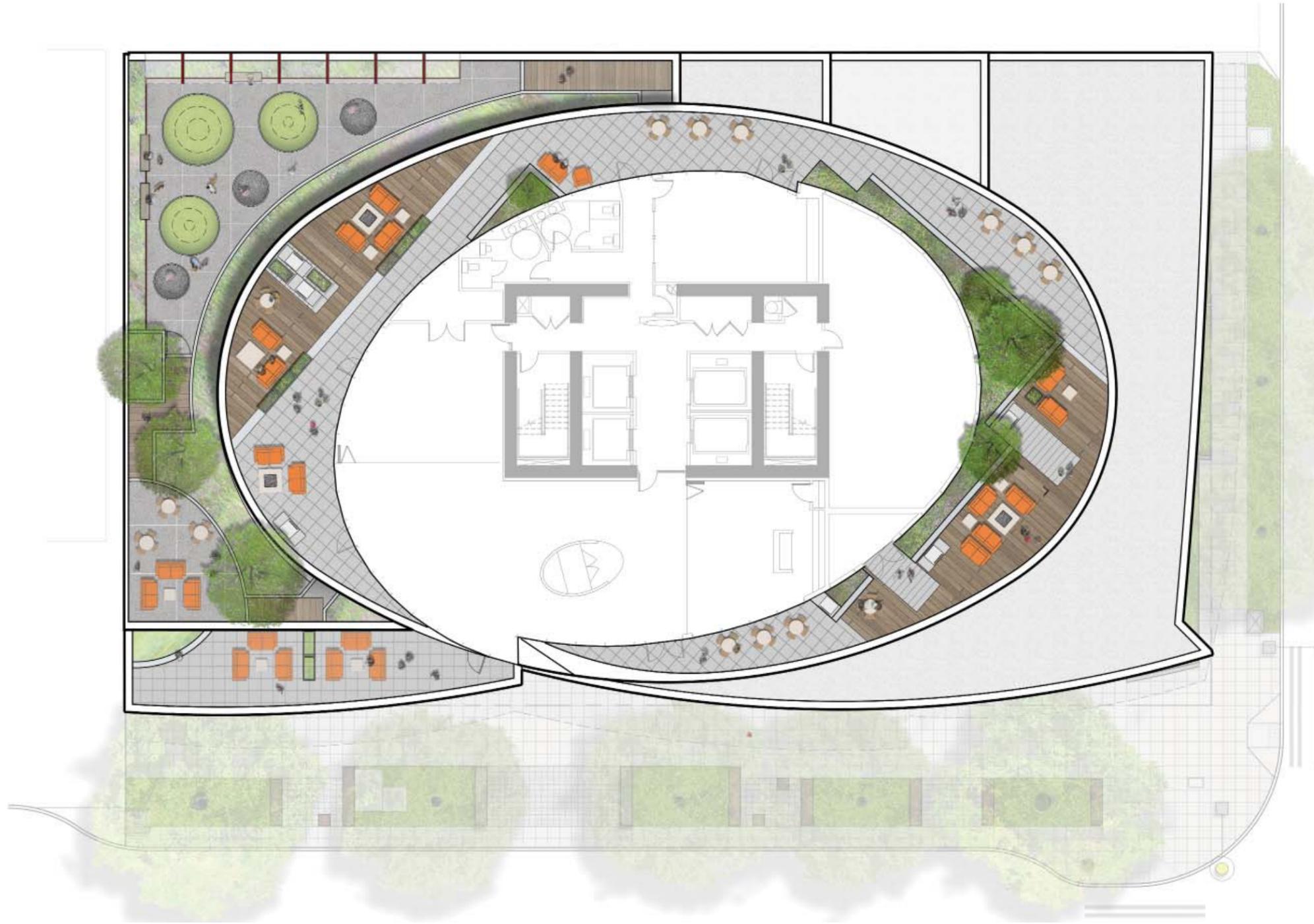
HIMALAYAN MAIDENHAIR FERN  
*ADIANTUM VENUSTUM*

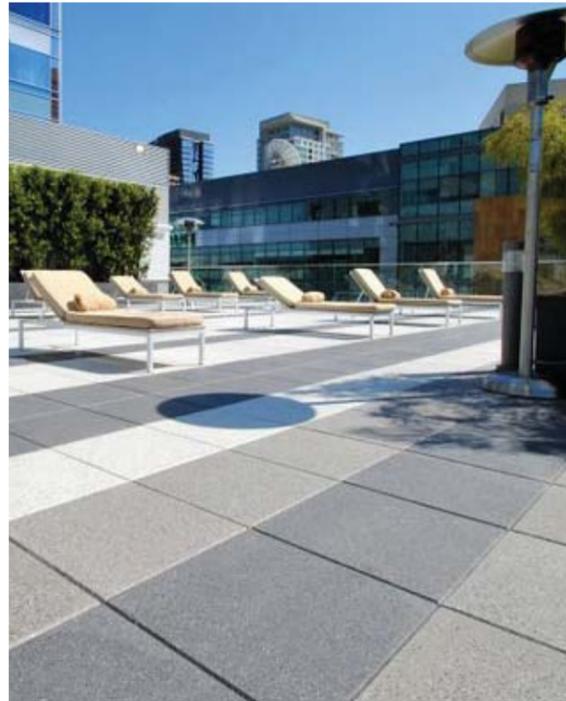


TAIWAN MONDO GRASS  
*OPHIPOGON FORMOSANUM*



SWORD FERN  
*POLYSTICHUM MUNITUM*

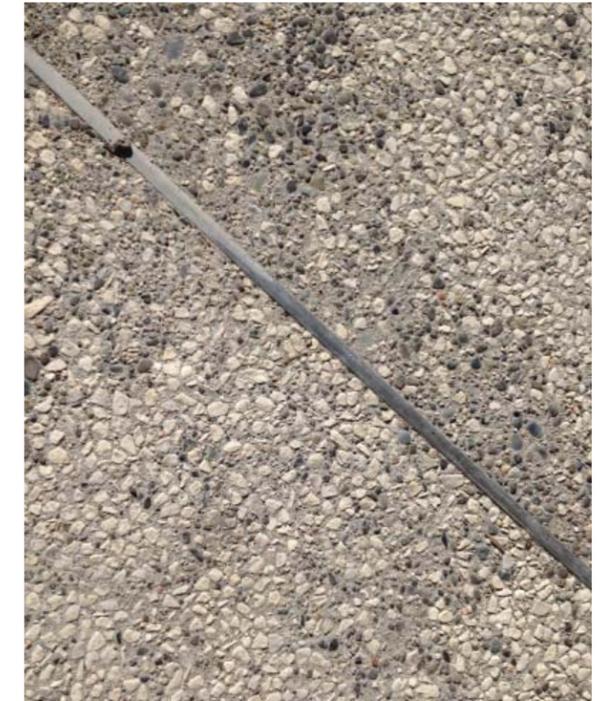




ARCHITECTURAL PAVING SLABS



HARDWOOD DECKING



CONCRETE TOPPING SLAB



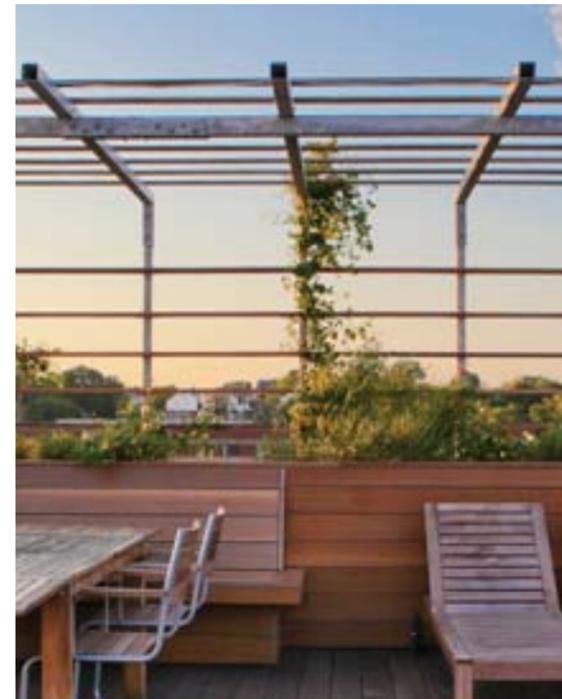
PLANTERS (CONCRETE)



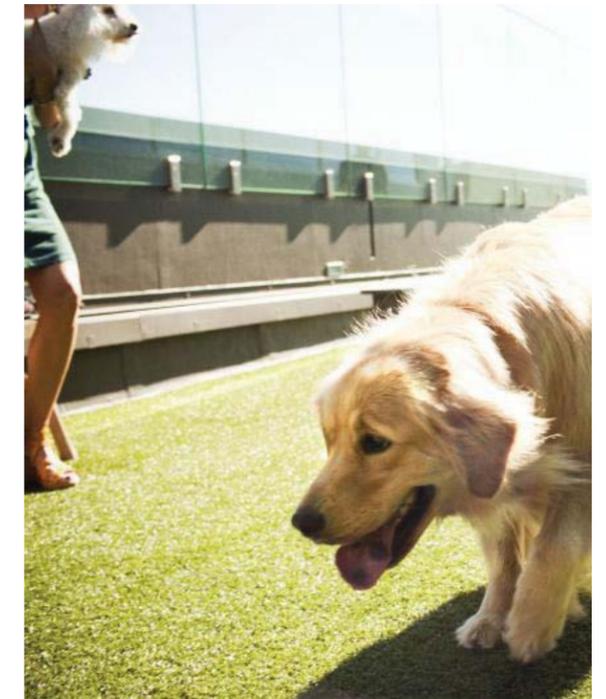
PLANTERS (METAL)



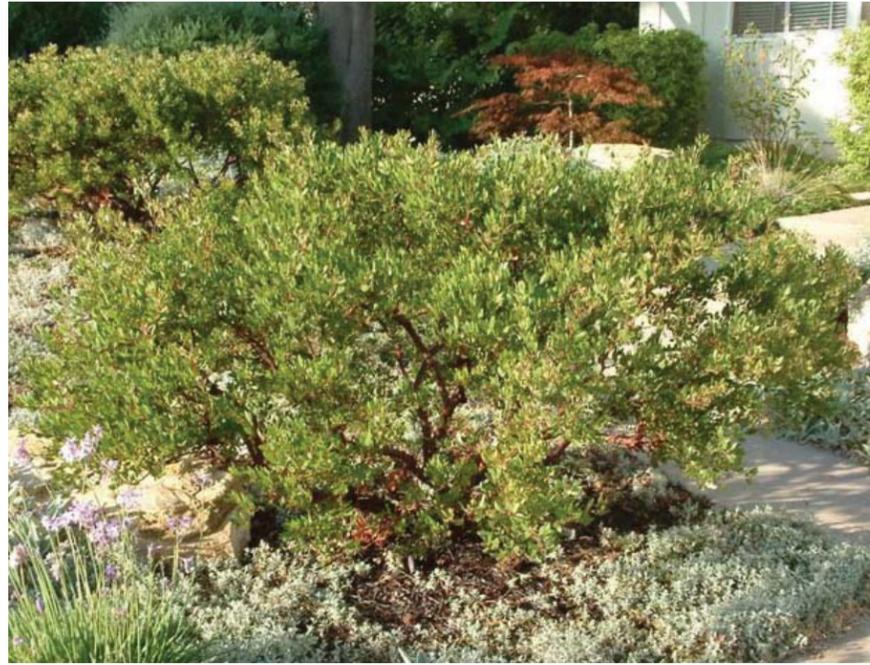
SEATING (BUILT-IN)



TRELLIS



DOG ZONES



HOWARD MCMINN MANZANITA  
*ARCTOSTAPHYLOS DENSIFLORA 'HOWARD MCMINN'*



LOW OREGON GRAPE  
*MAHONIA NERVOSA*



LILY TURF  
*LIRIOPE SPICATA*



MUNSTEAD LAVENDER  
*LAVANDULA ANGUSTIFOLIA 'MUNSTEAD'*



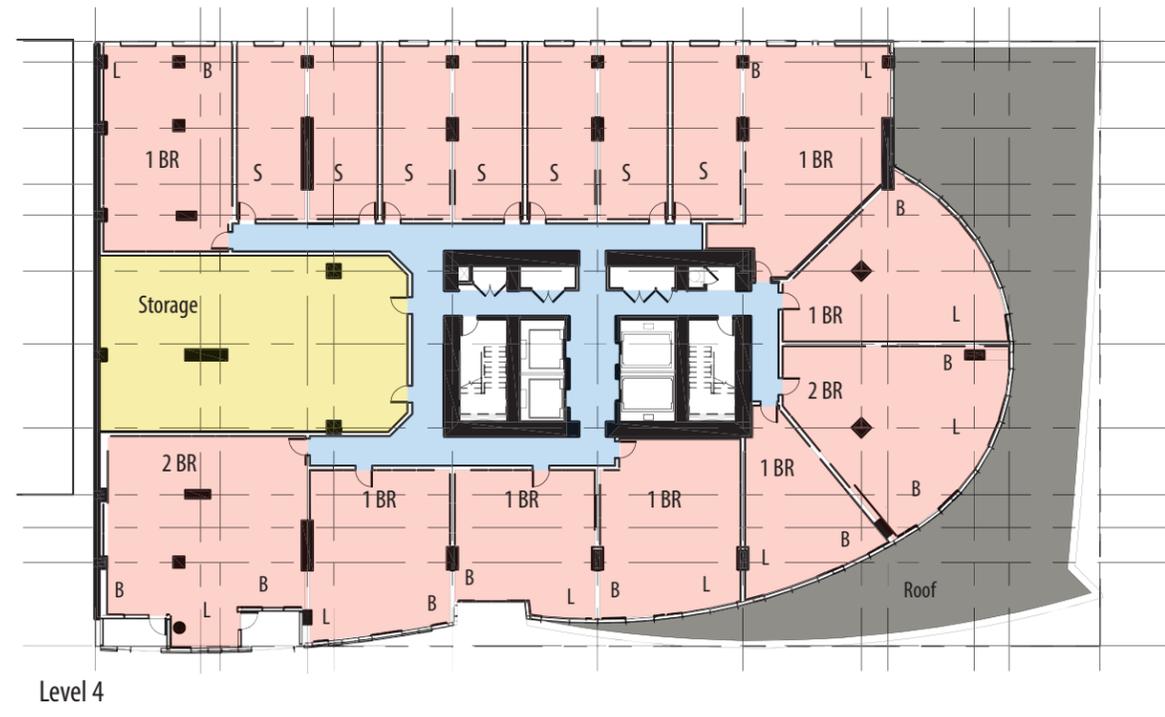
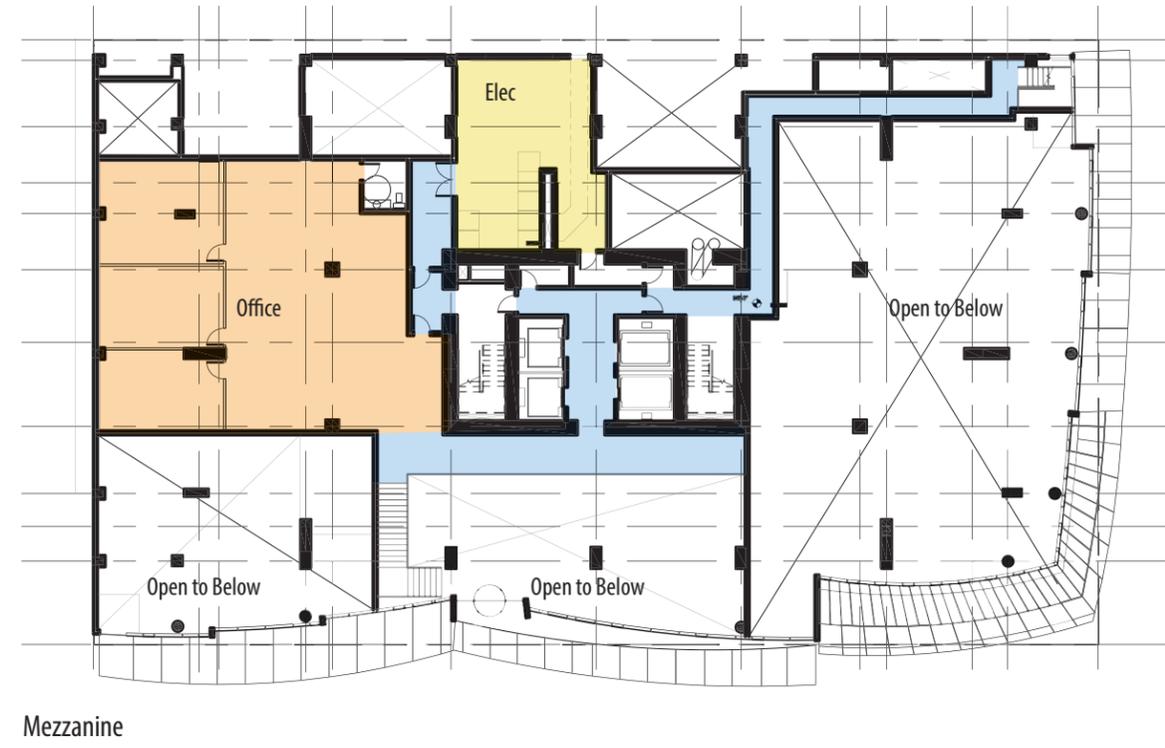
SWITCH GRASS  
*PANICUM VIRGATUM 'ROTSTRAHLBUSCH'*

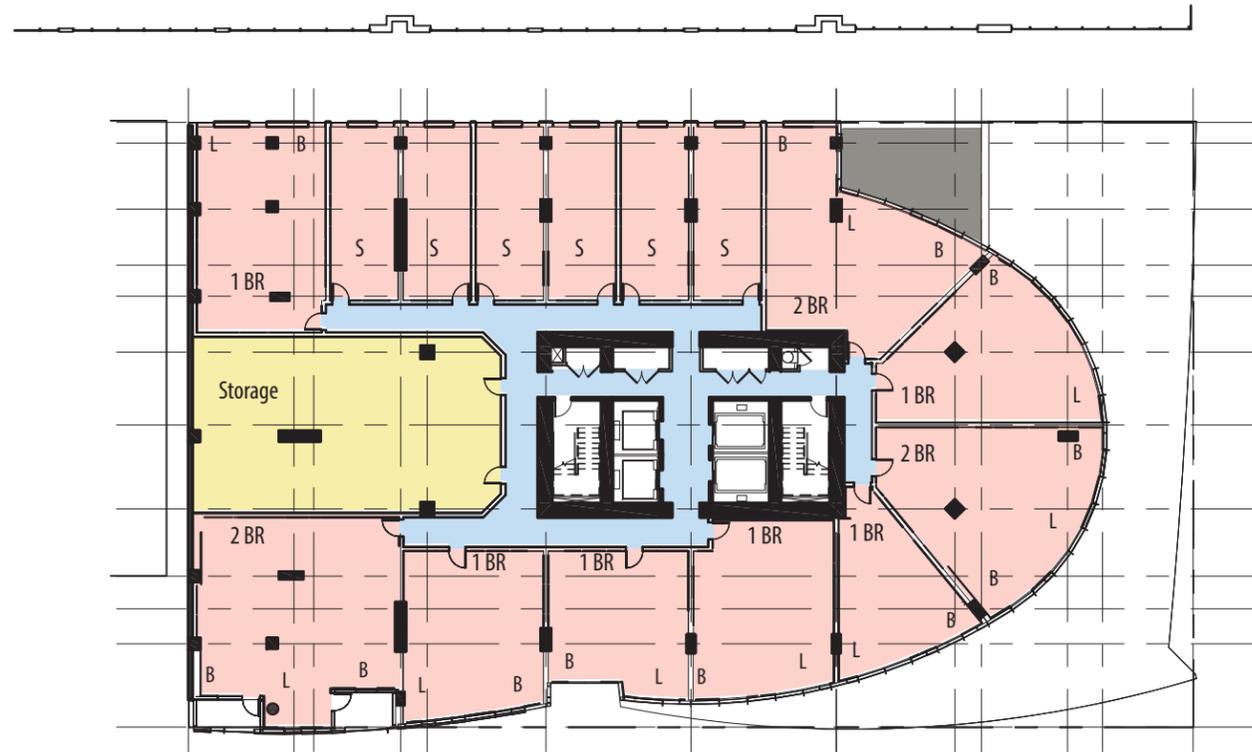


ARCTOSTAPHYLOS UVA-URSI  
KINNIKINNICK

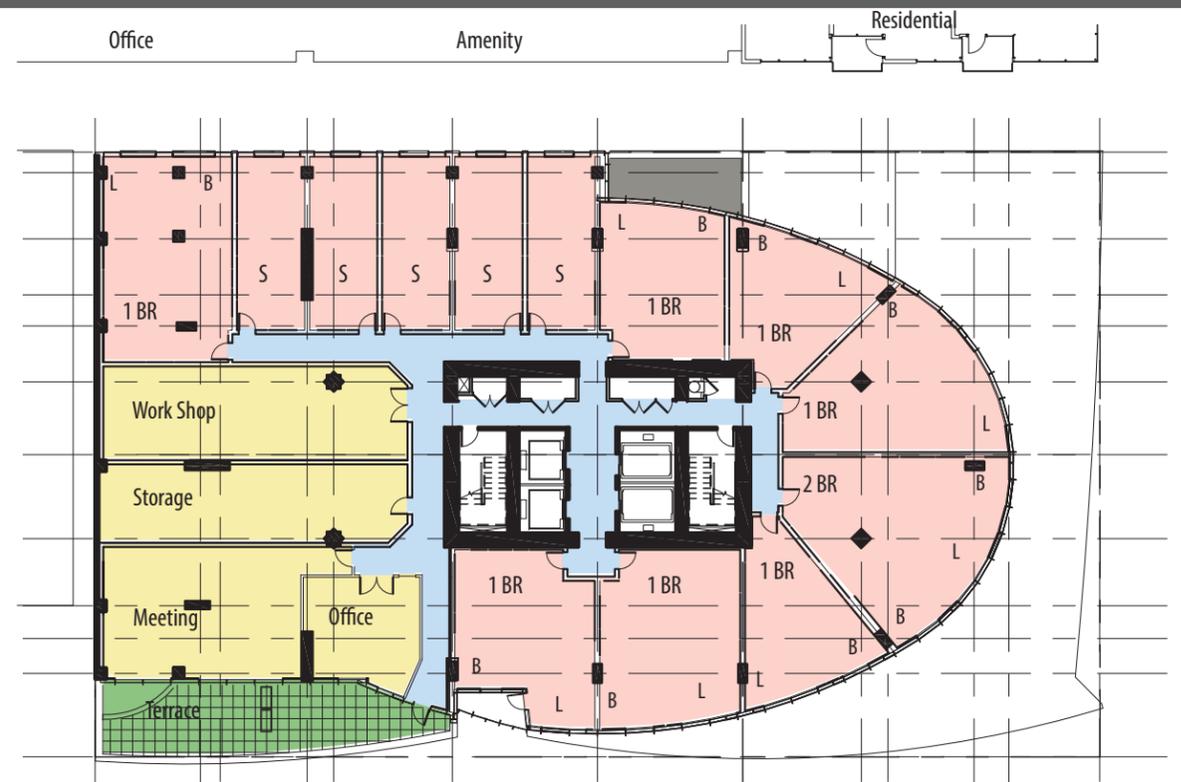


Design Refinement  
Architecture

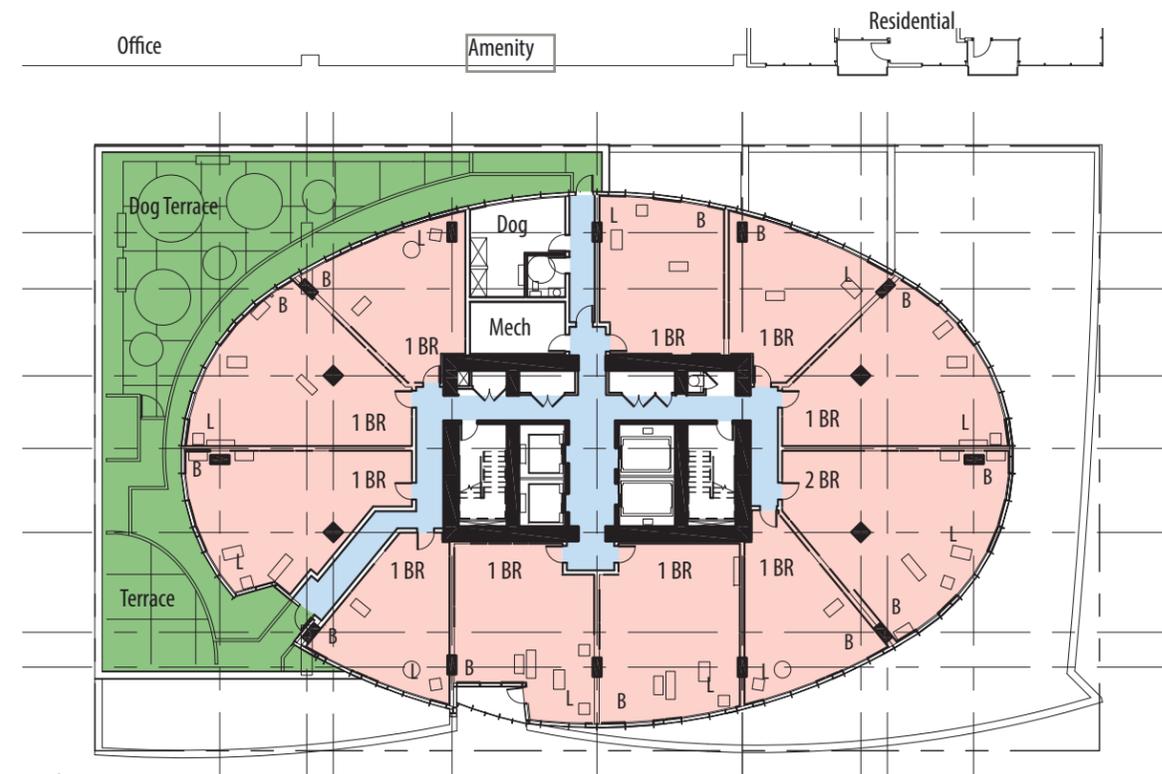




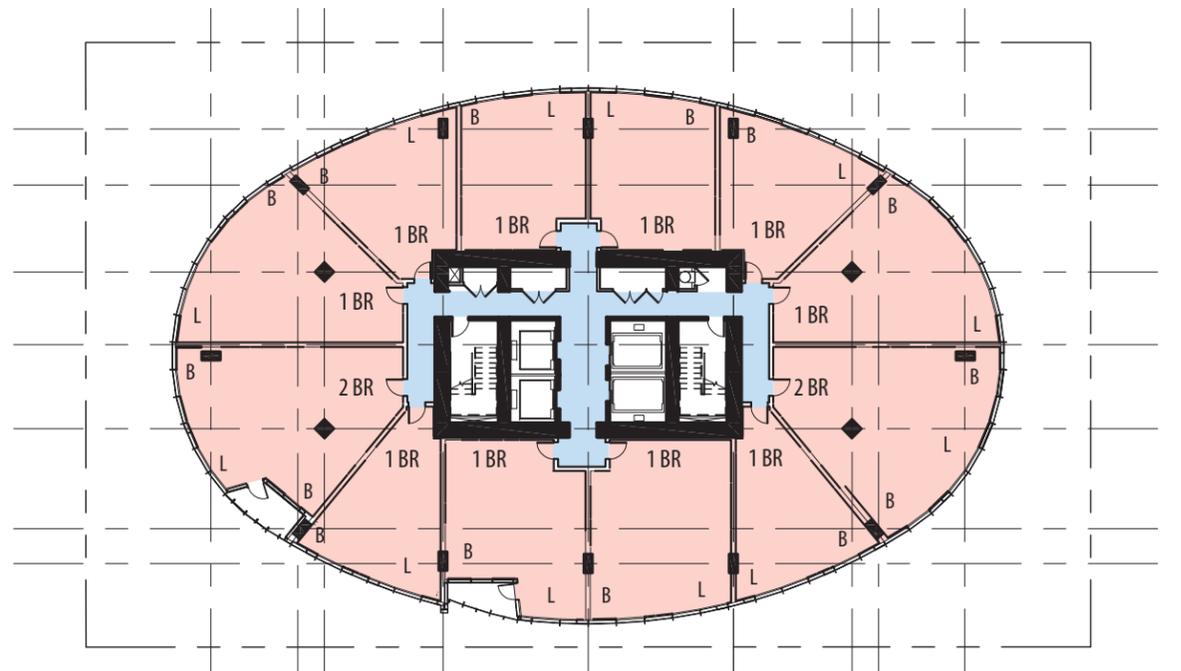
Level 5



Level 6

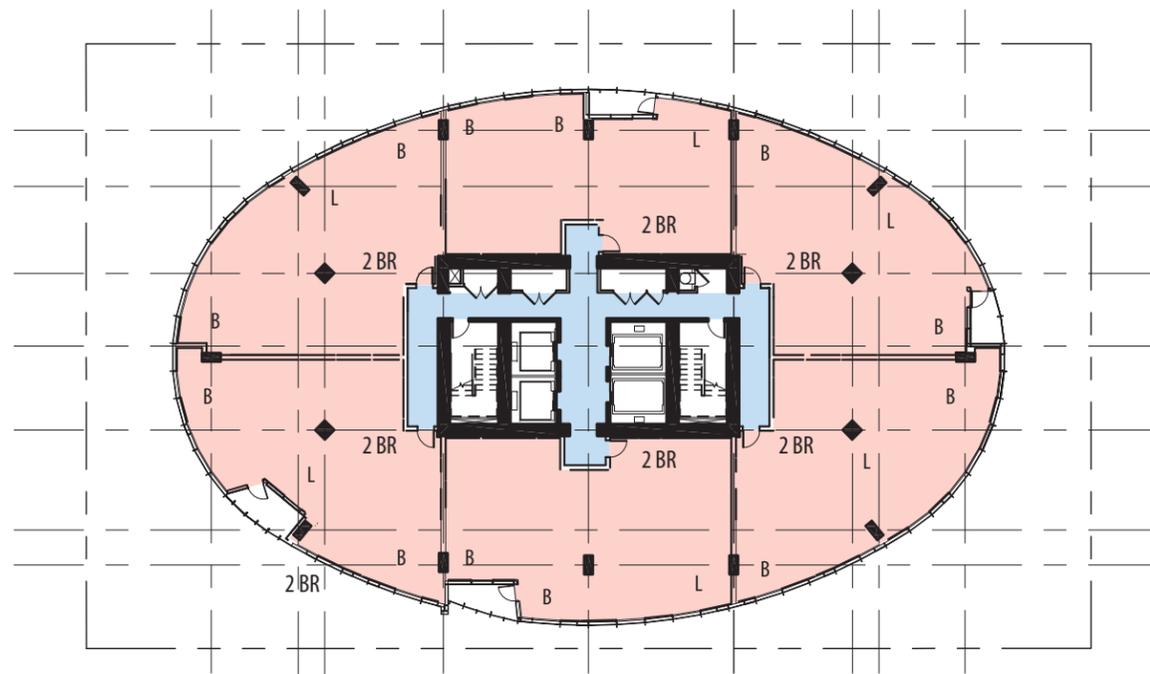


Level 7

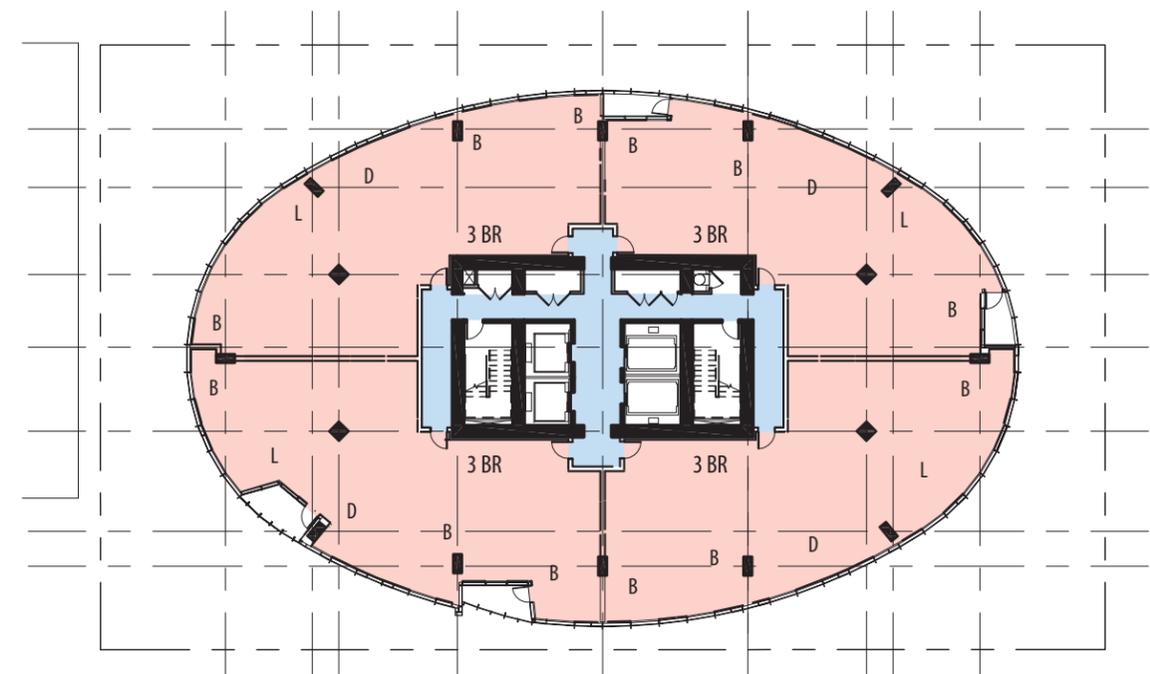


Level 8-34

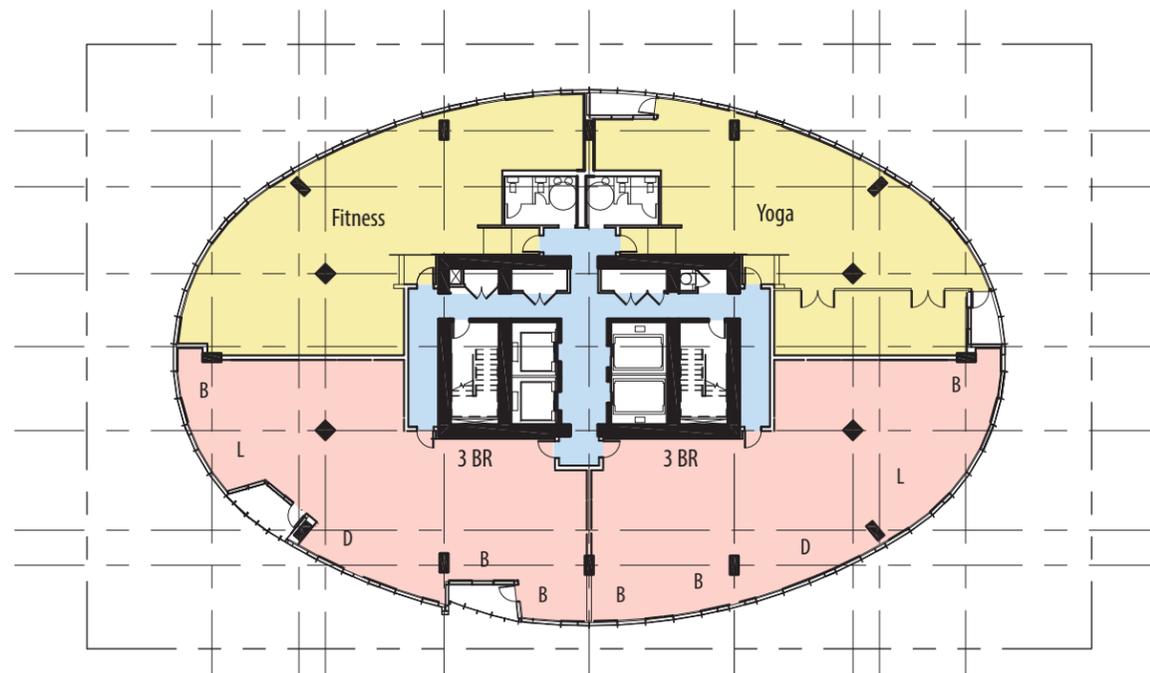




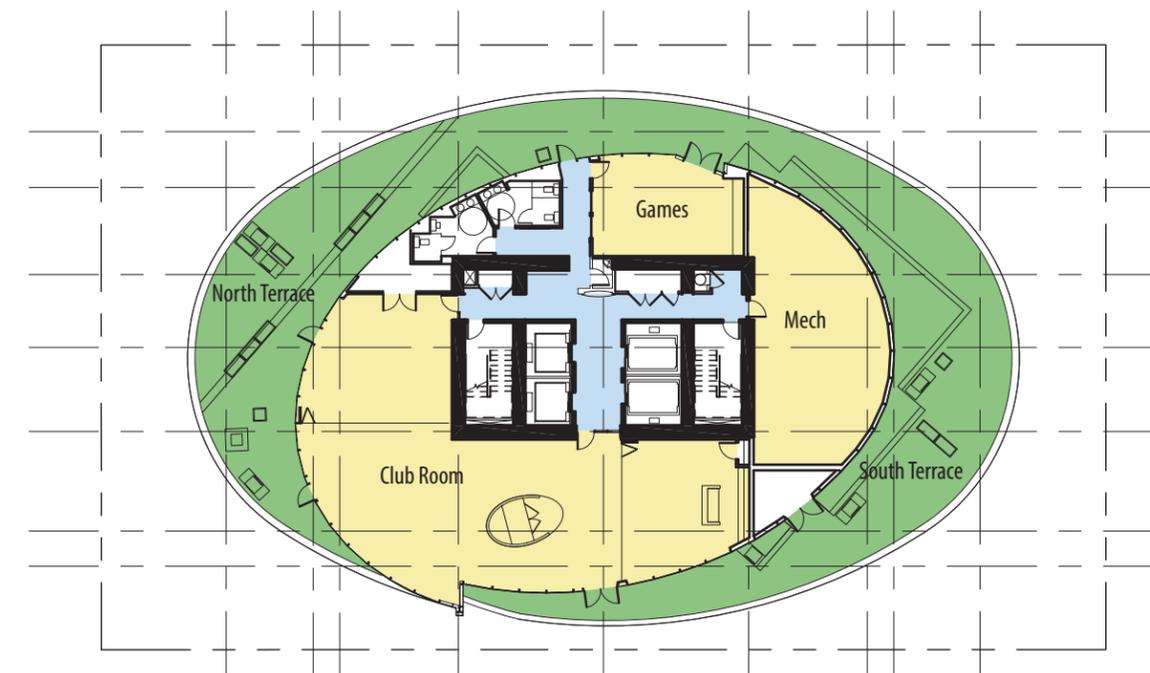
Level 35-36



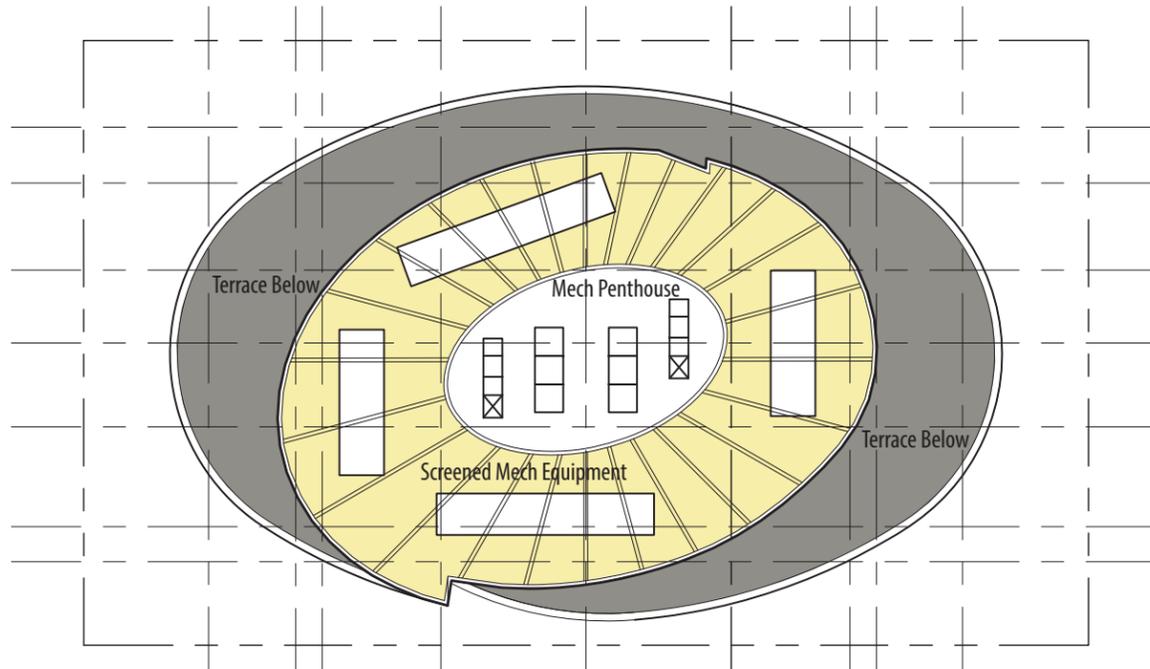
Level 37



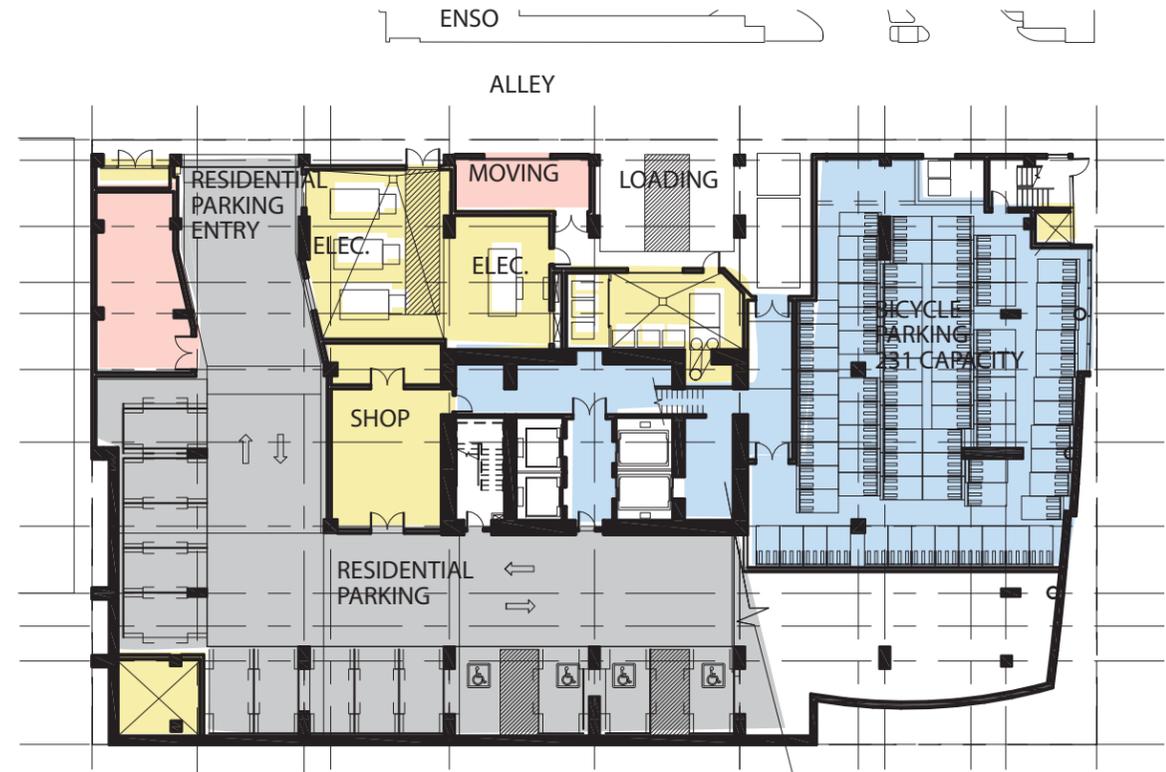
Level 38



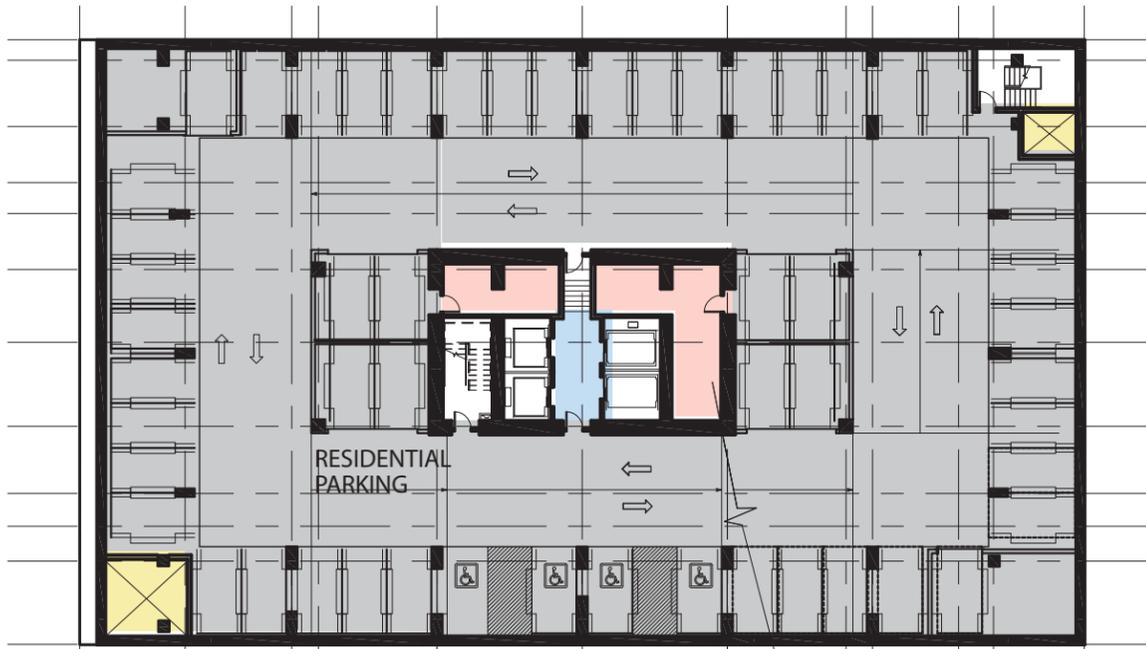
Level 39



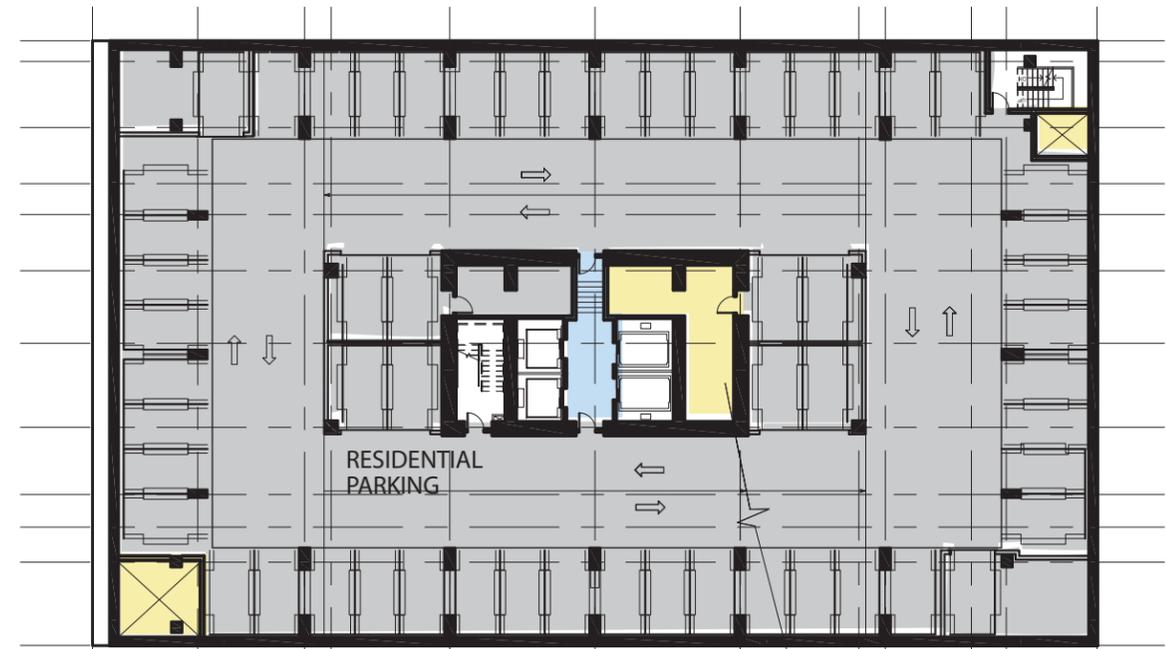
Roof



LEVEL P1

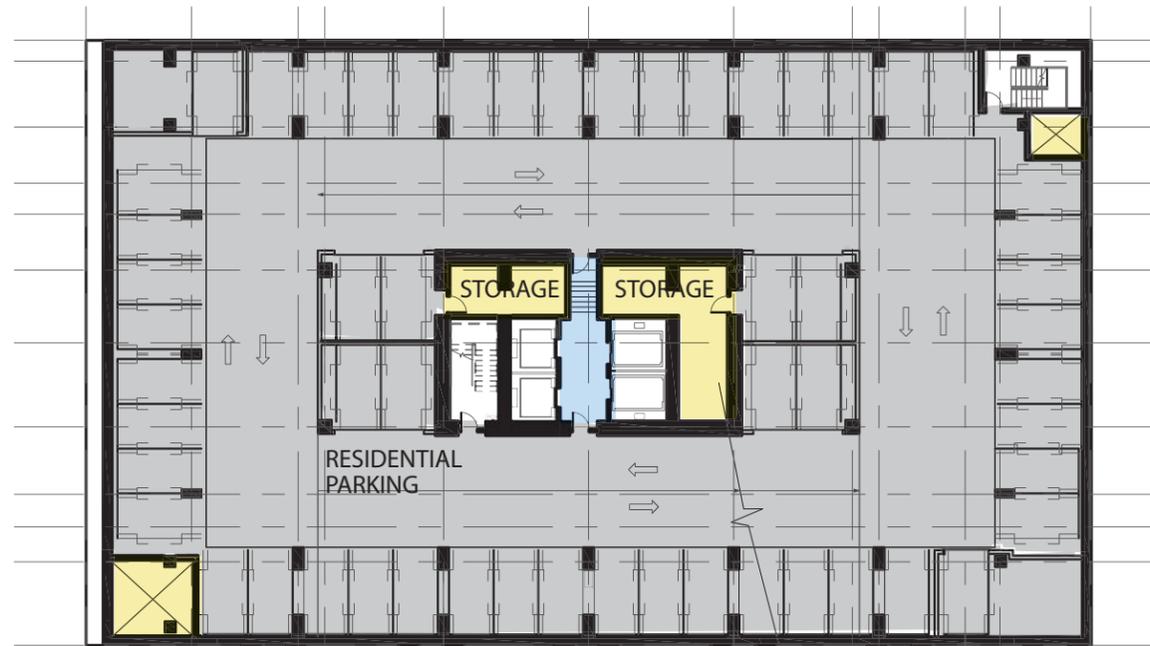


LEVEL P2

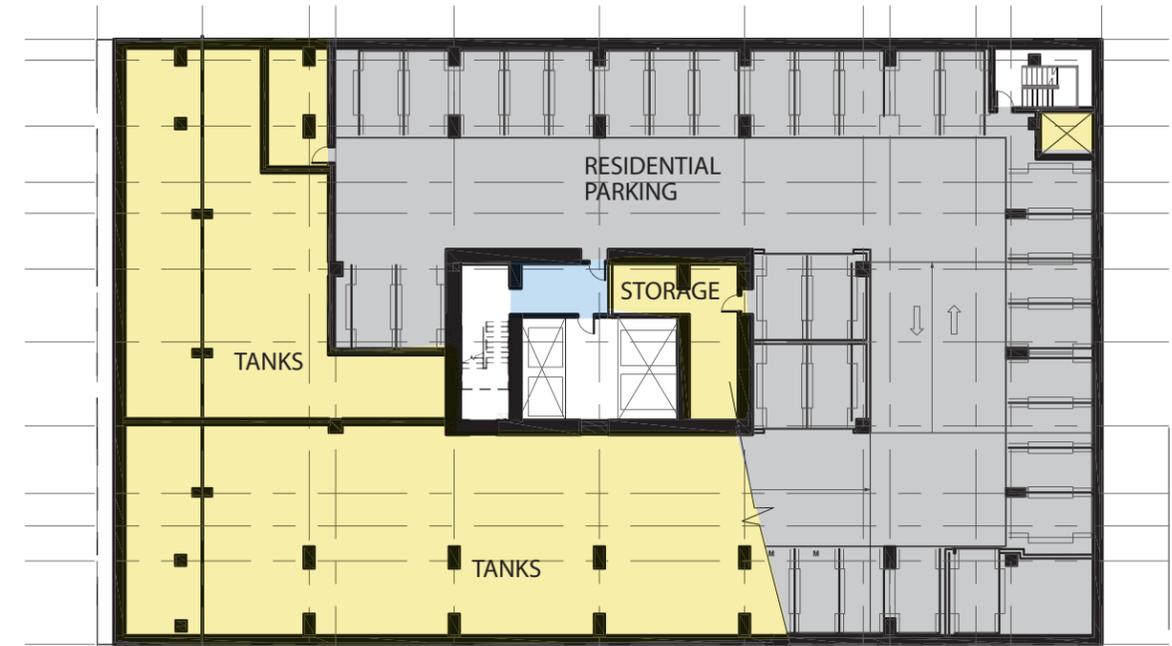


LEVEL P3

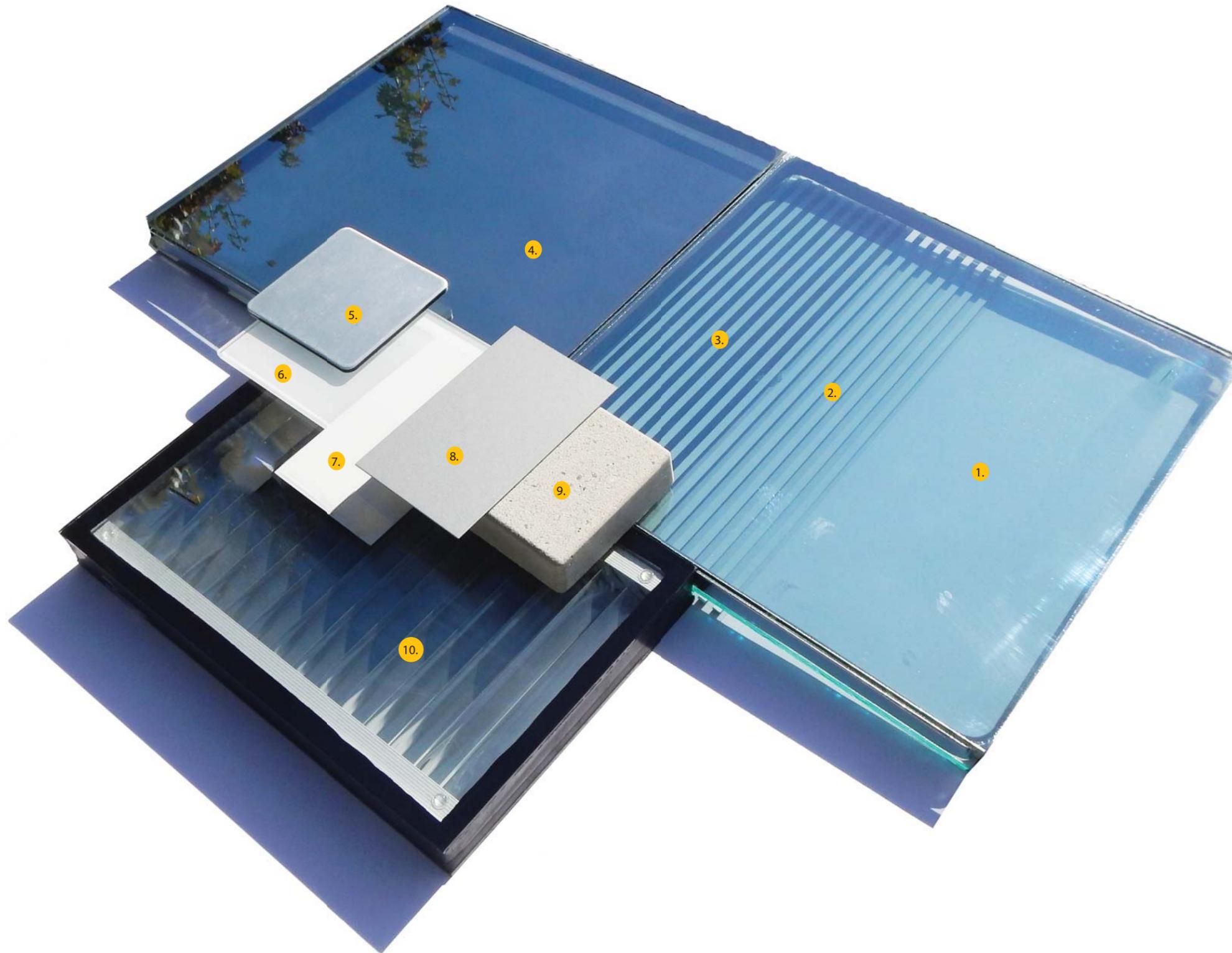




LEVEL P4-P7



LEVEL P7.5



## Exterior Materials

- 1. Vision Glass
  - Tower Glazing
  - Podium Glazing
  - Storefront Glazing
  - Guardrail Glazing
- 2. Fritted Vision Glass
  - Podium Glazing
  - Storefront Glazing
  - Guardrail Glazing
- 3. Fritted Spandrel Glass
  - Tower Spandrel
  - Podium Spandrel
  - Storefront Spandrel
- 4. Spandrel Glass
  - Tower Spandrel
  - Podium Spandrel
  - Storefront Spandrel
- 5. Metal 1
  - Mechanical Screen
  - Flag Pole
- 6. White Spandrel Glass
  - Podium Spandrel
- 7. Metal 2
  - Planters
  - Podium Cladding
  - Balcony Interior Cladding
- 8. Metal 3
  - Mullions
- 9. Concrete
  - Benches and Planters
  - Alley CMU
- 10. Privacy Mitigation Glazing
  - Glazing used in specific locations at Podium and Tower (see Elevations)







**GRAPHITE**

**A-53**

Renderings

Design Recommendation  
11.04.2014

CLISE PROPERTIES, INC.





Westlake



Denny Park



## Exterior Materials

1. Vision Glass
  - Tower Glazing
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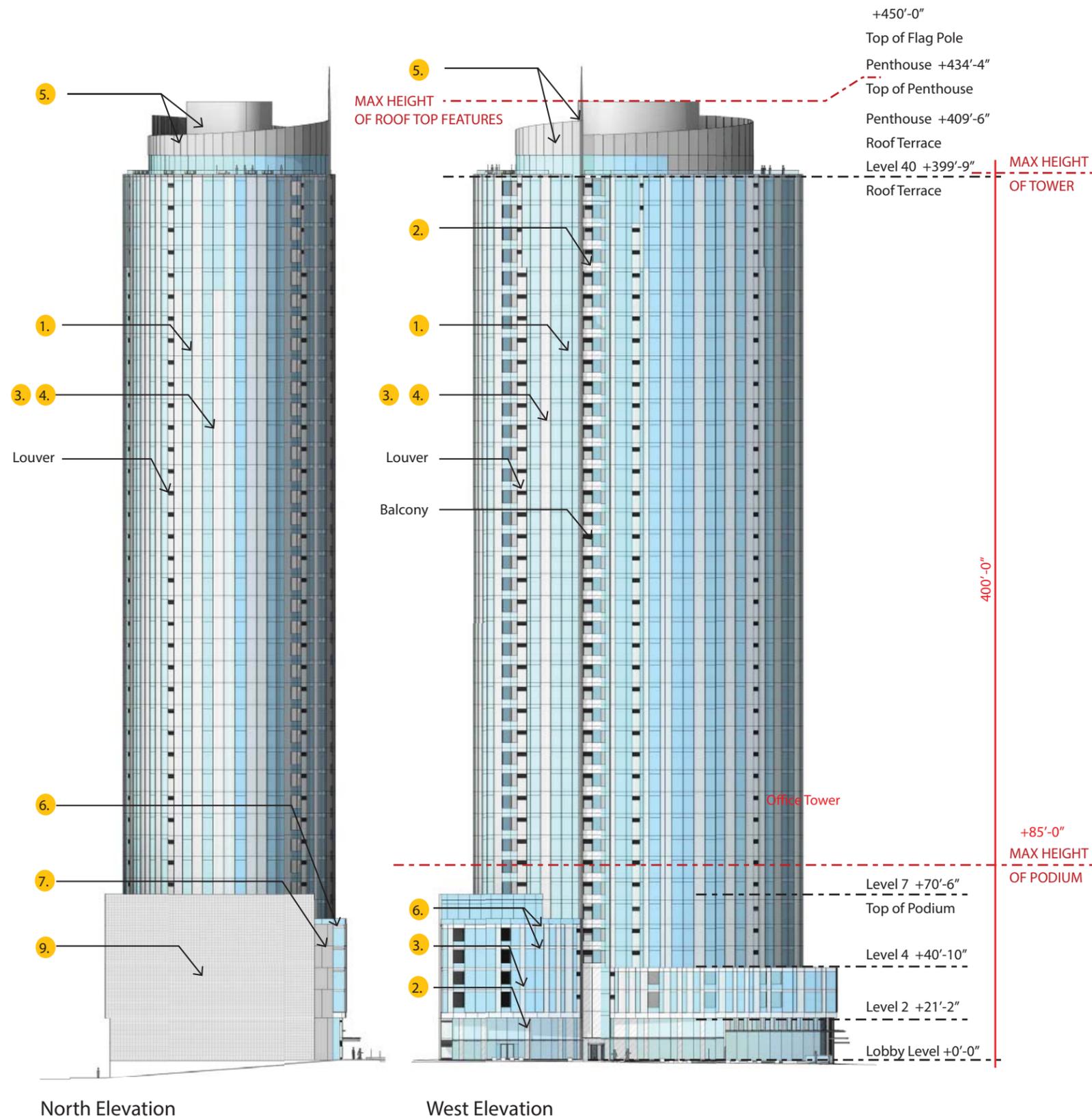




8th Ave

Blanchard





### Exterior Materials

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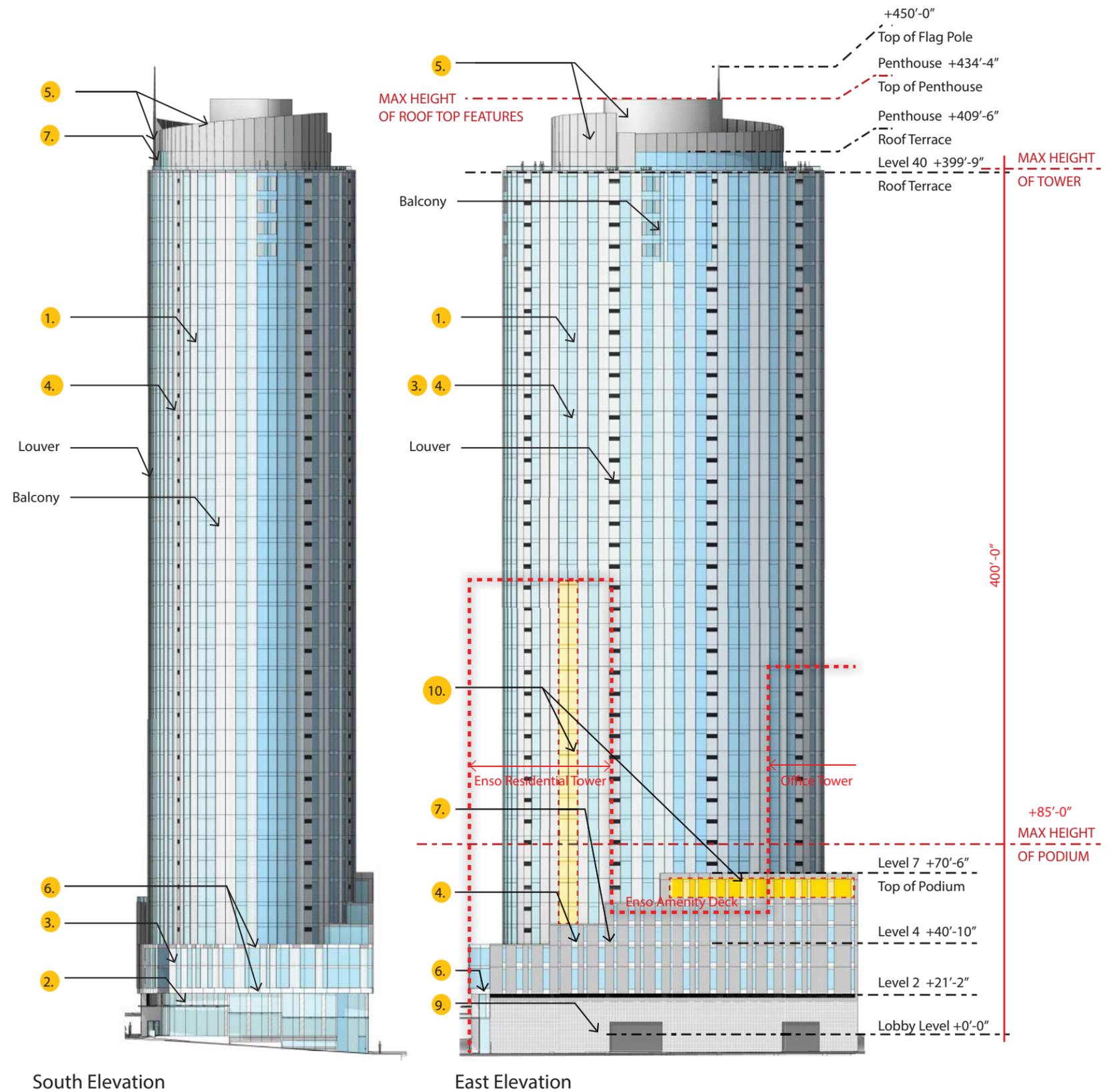
North Elevation

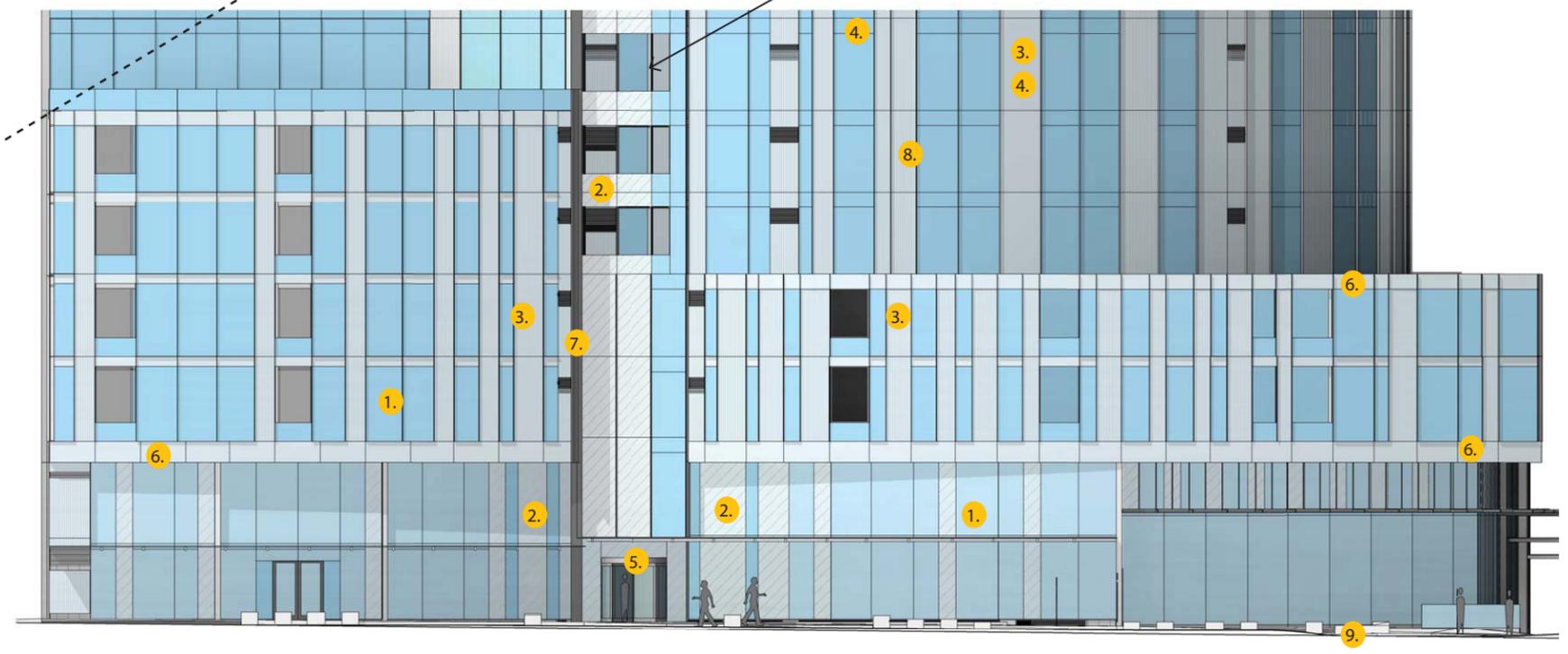
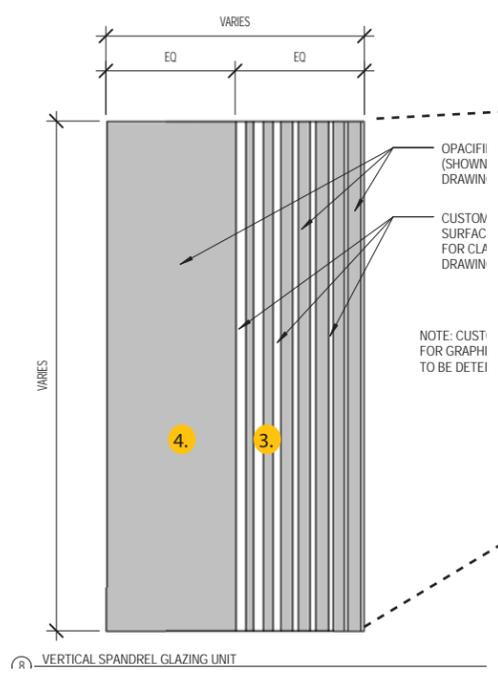
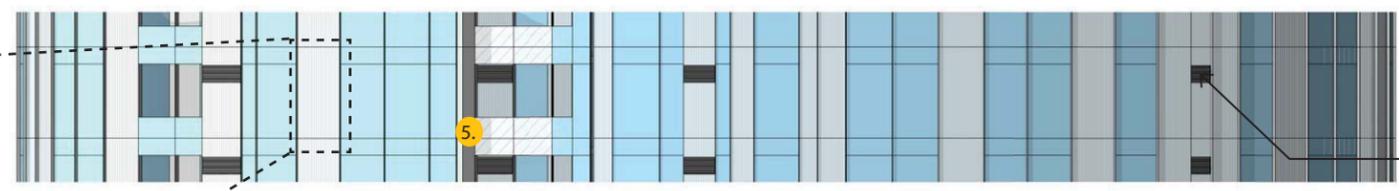
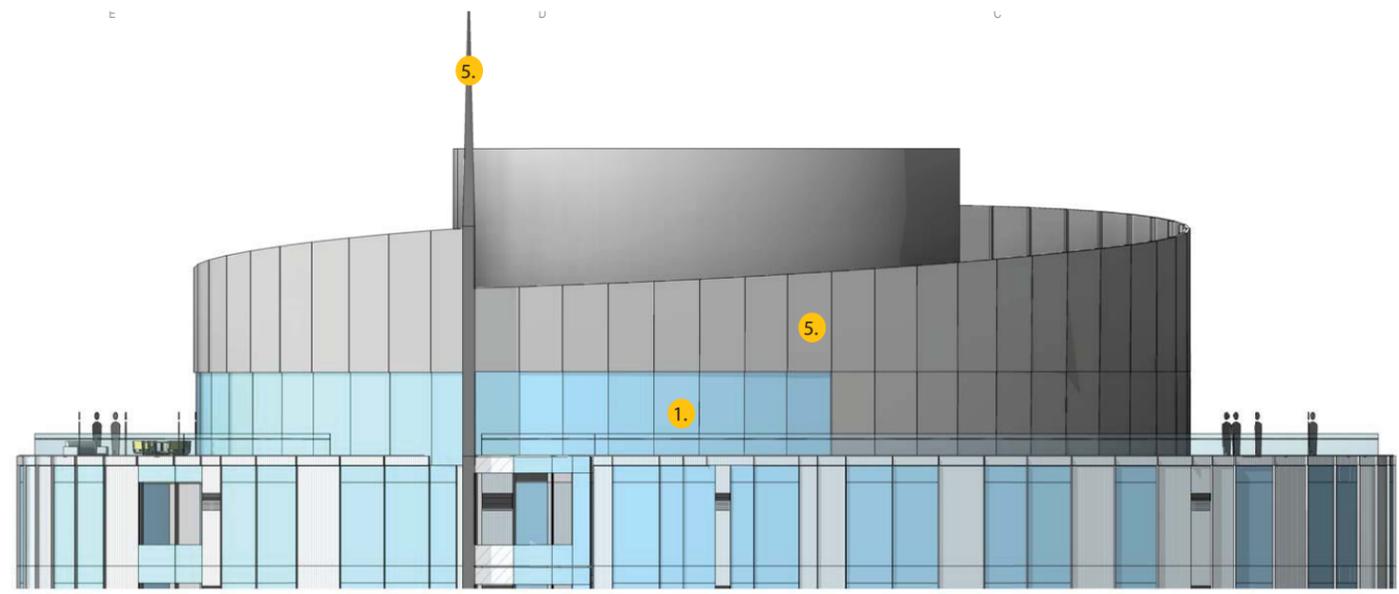
West Elevation



## Exterior Materials

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  - Alley CMU
10. Privacy Mitigation Glazing
  - Glazing used in specific locations at Podium and Tower (see Elevations)





Louver

Balcony

Blanchard St.



**GRAPHITE**

**A-59** | West Elevation

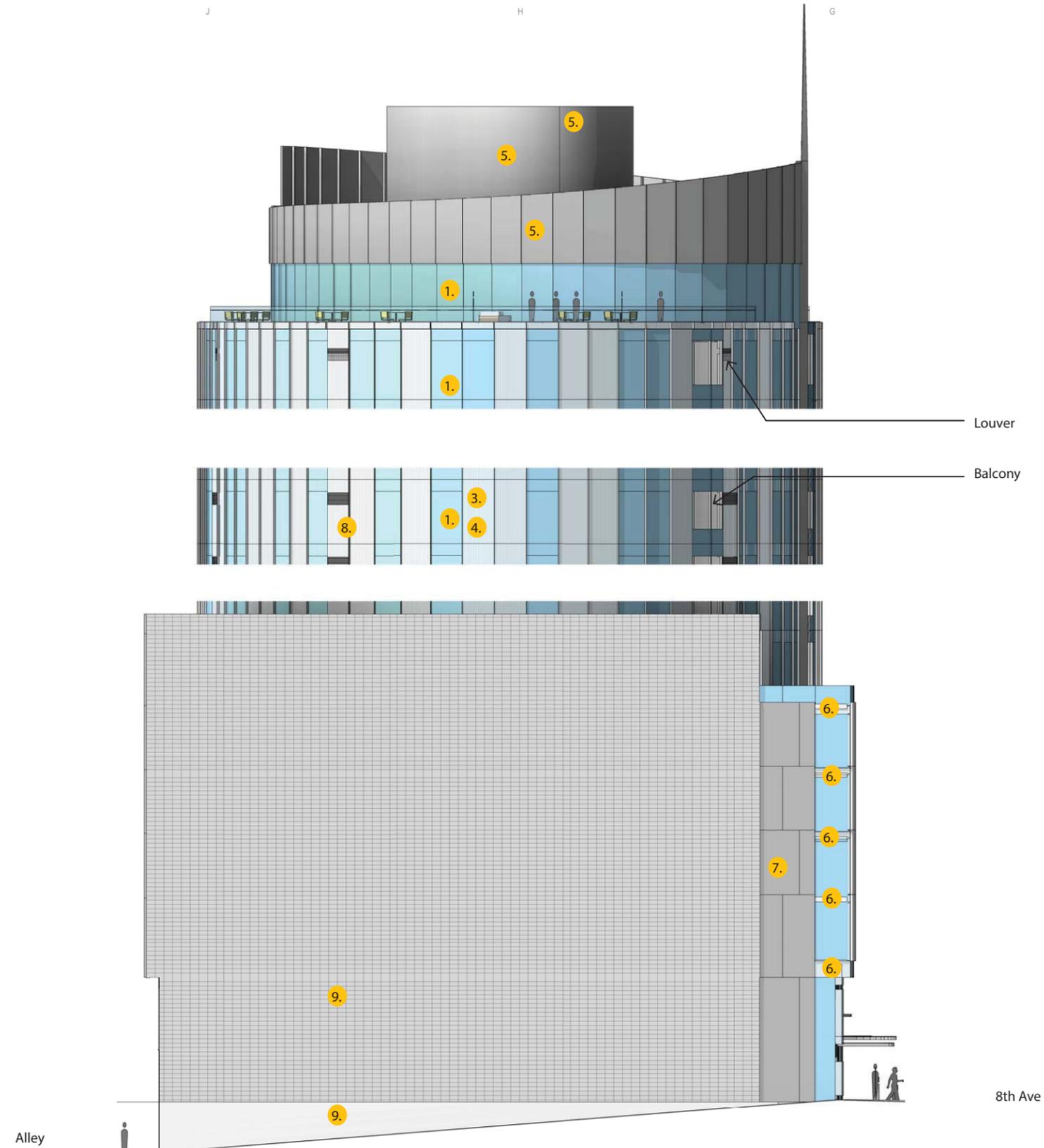
Design Recommendation  
11.04.2014

CLISE PROPERTIES, INC.



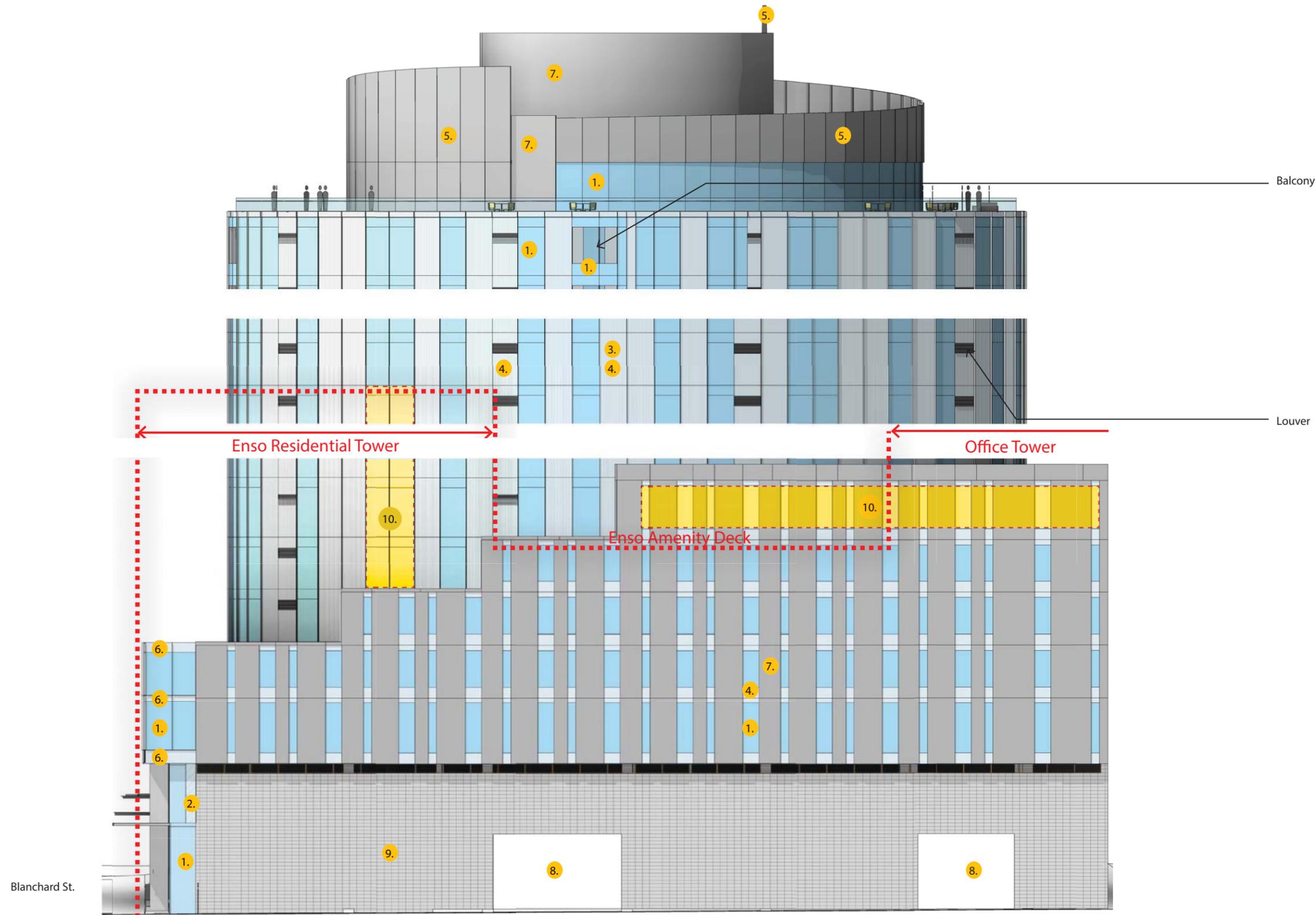
## Exterior Materials

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9. Concrete
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10. Privacy Mitigation Glazing
  - Glazing used in specific locations at Podium and Tower



GRAPHITE

A-61

East Elevation

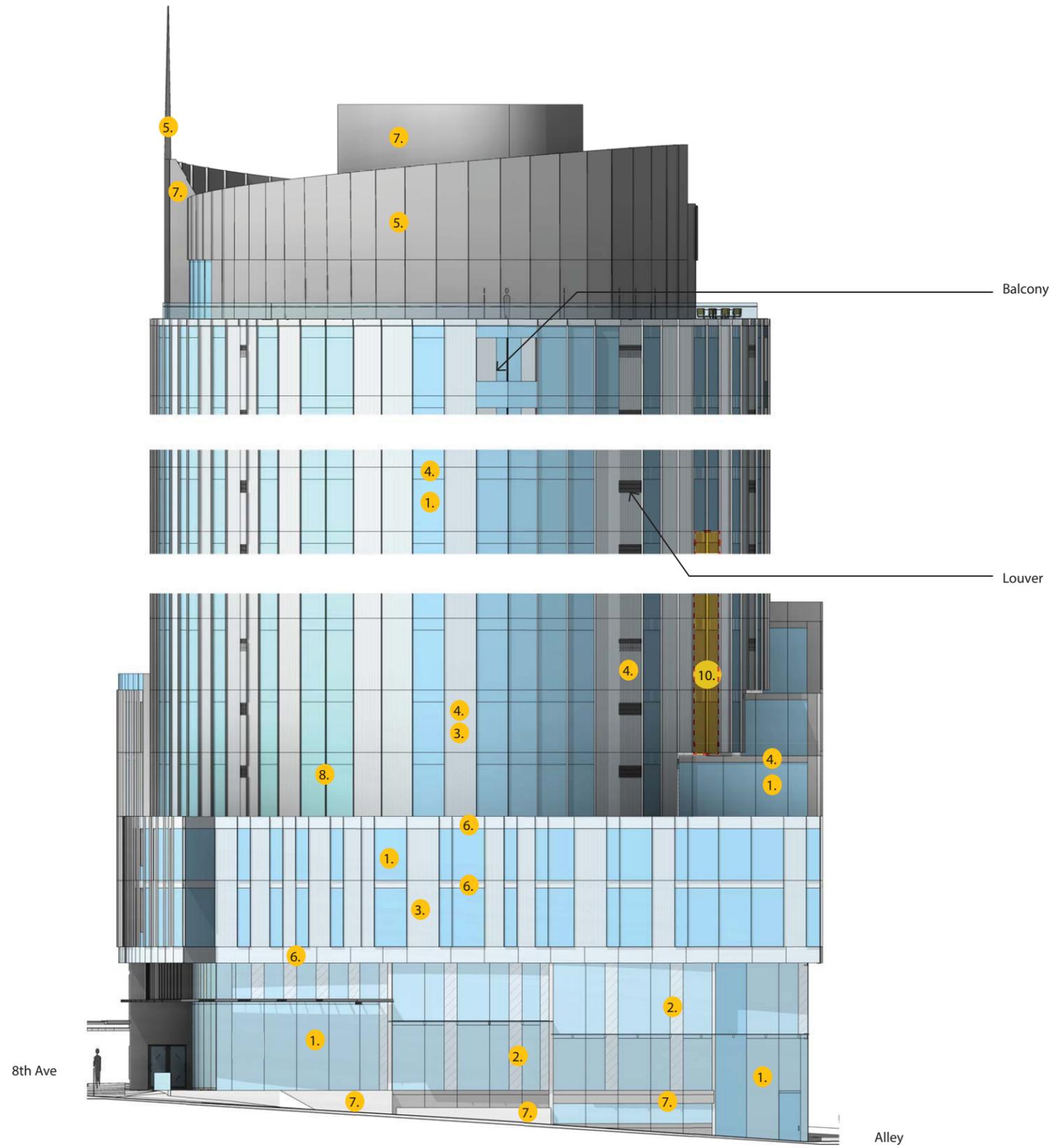
Design Recommendation  
11.04.2014

CLISE PROPERTIES, INC.

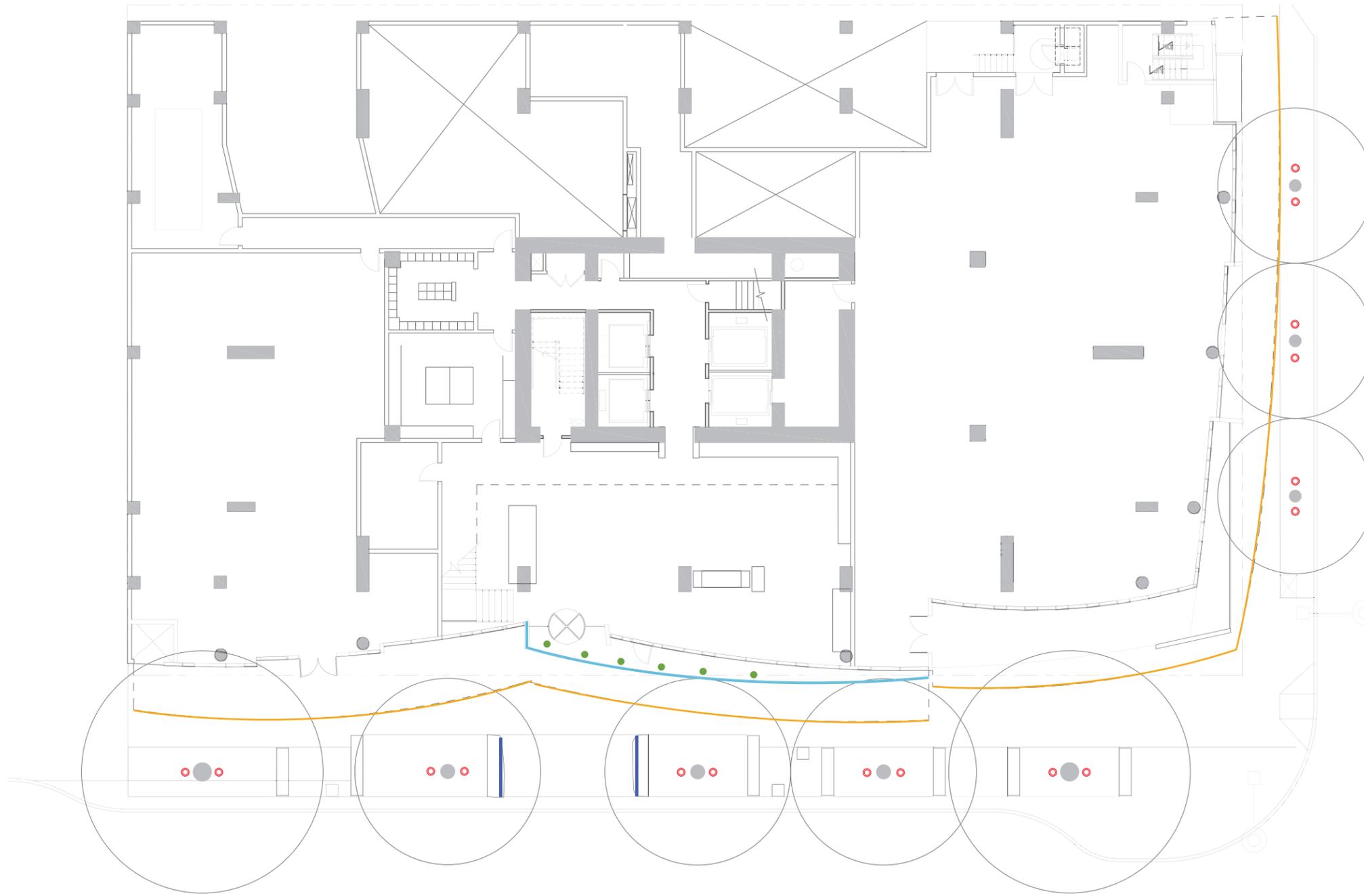


## Exterior Materials

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**Design Refinement**  
Lighting Design

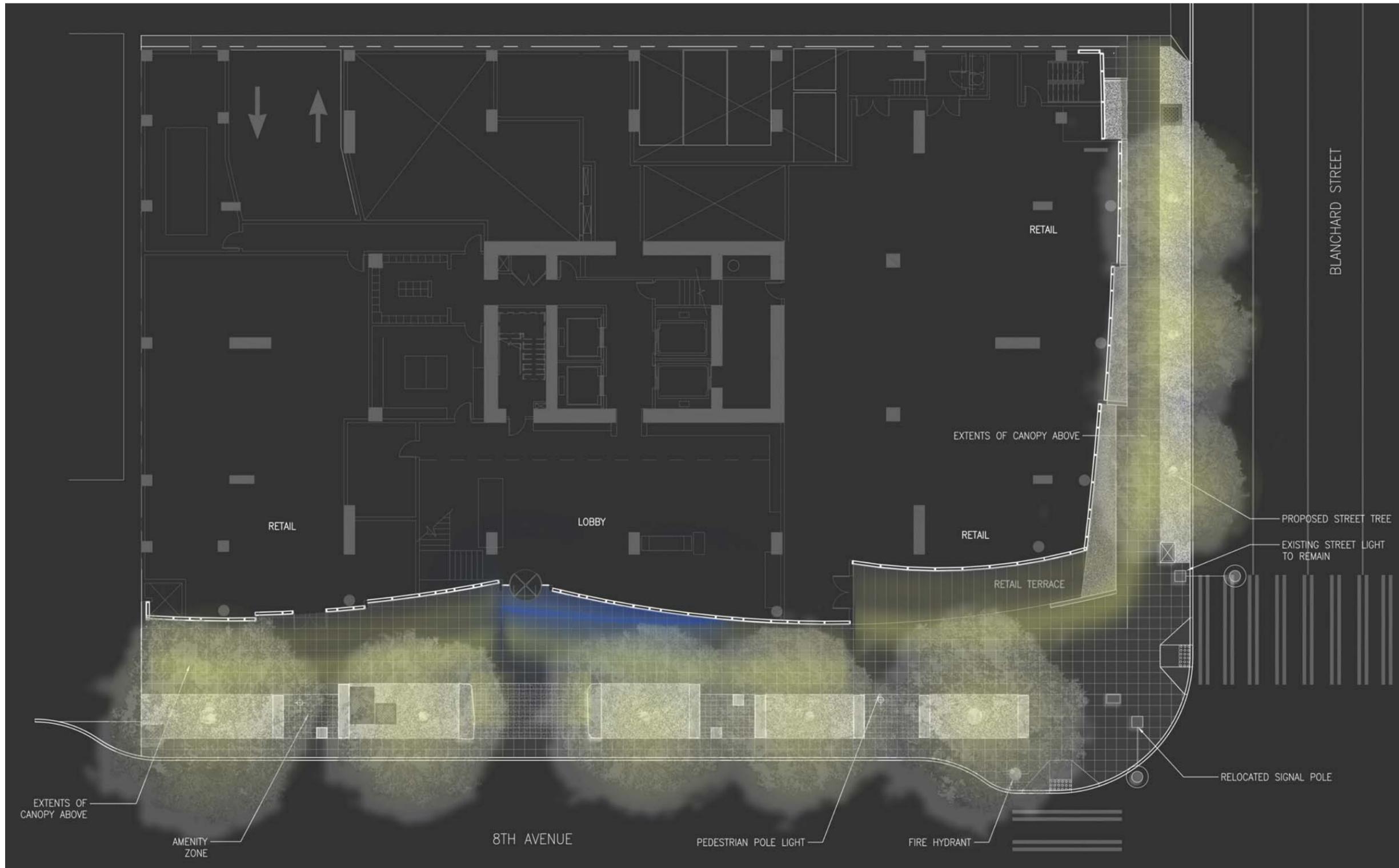


**FIXTURE TYPES**

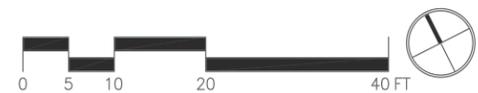
- 
glass canopy mounted,  
linear LED extrusion  
KLUS hr-alu
- 
steel canopy mounted,  
colored linear LED extrusion  
KLUS hr-alu
- 
bench mounted,  
linear LED extrusion  
KLUS hr-alu
- 
in-ground tree uplight  
BEGA 7003LED
- 
steel canopy mounted downlight  
BEGA 1124

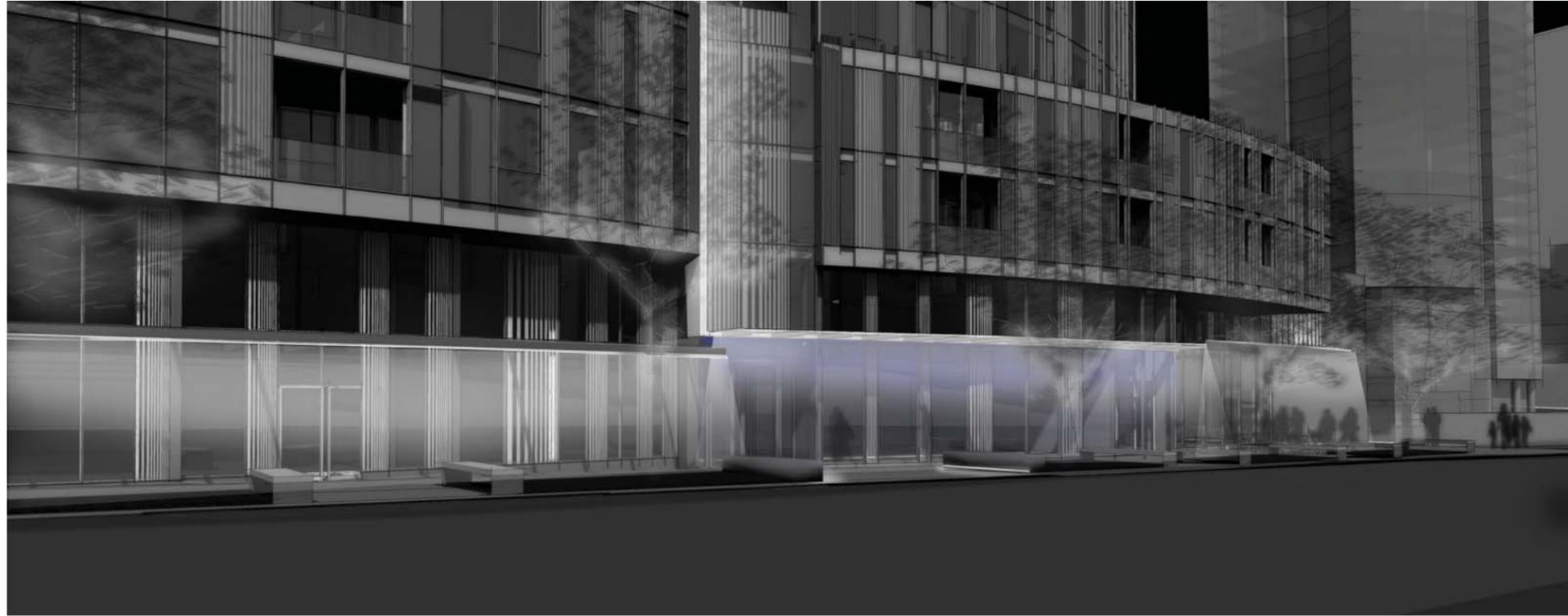
**1 LIGHTING SITE PLAN**  
SCALE: 1" = 10'-0"





1 SITE ILLUMINATION MAP  
SCALE: 1" = 10'-0"





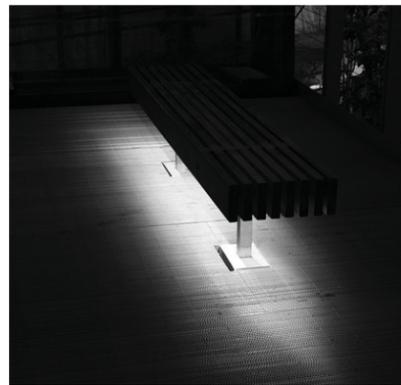
A ILLUMINATED VIEW FROM 8TH AVE LOOKING EAST



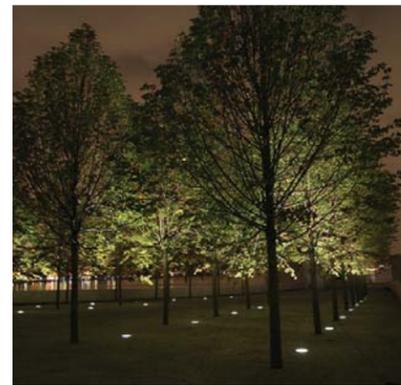
blue accent lighting



canopy edge lighting



bench lighting effect



tree up-lighting

B PRECEDENT IMAGERY

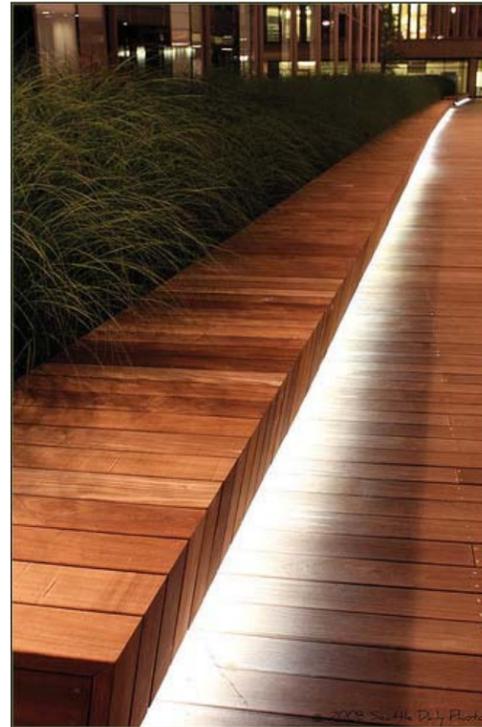




processional recessed wall lighting



bench lighting



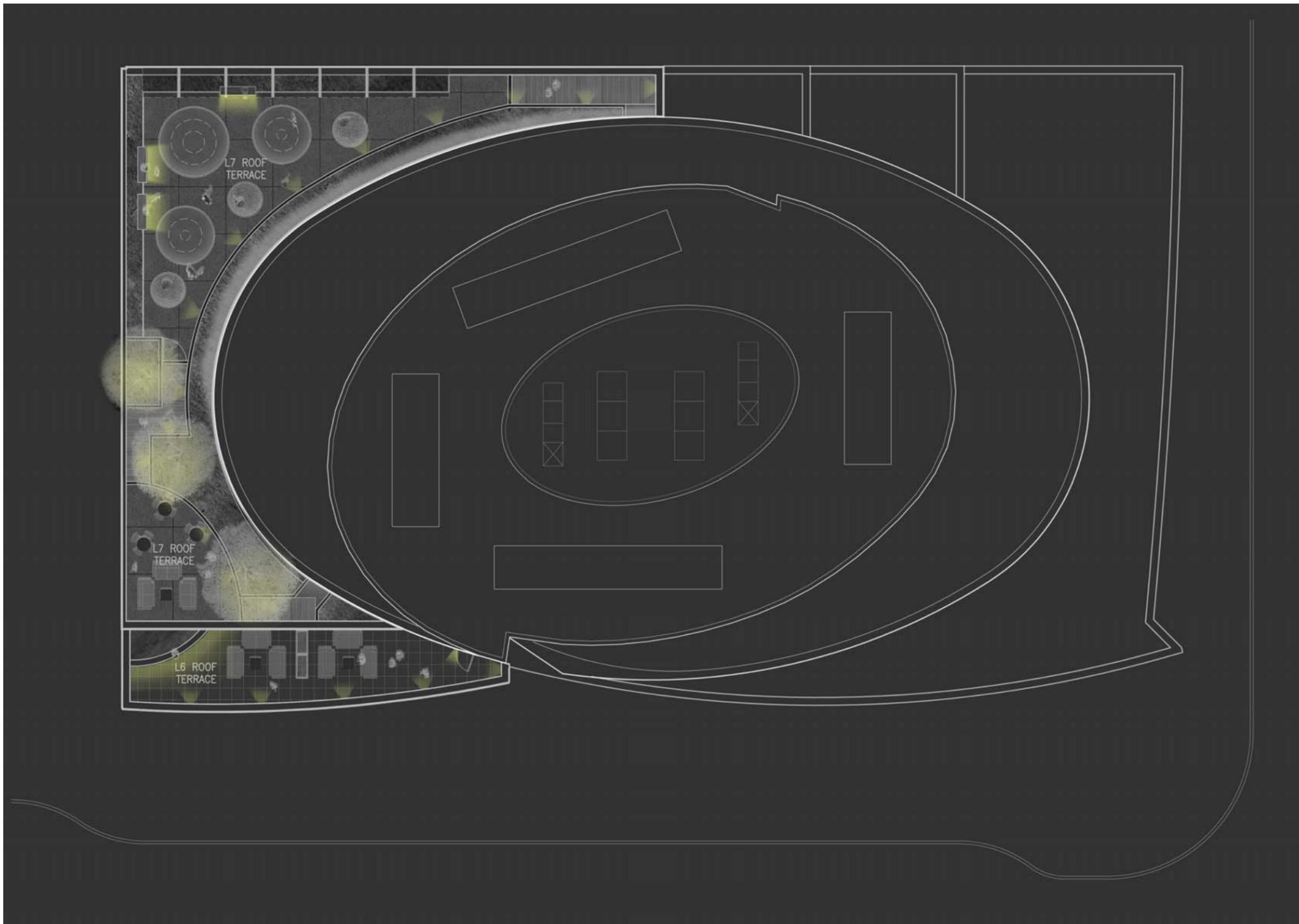
bench lighting



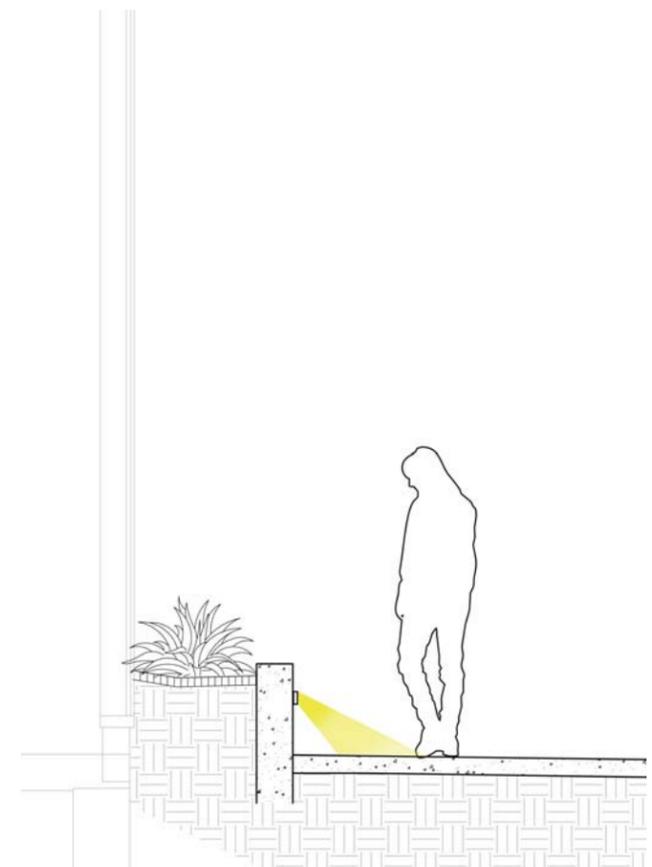
tree up-lighting

A PRECEDENT IMAGERY



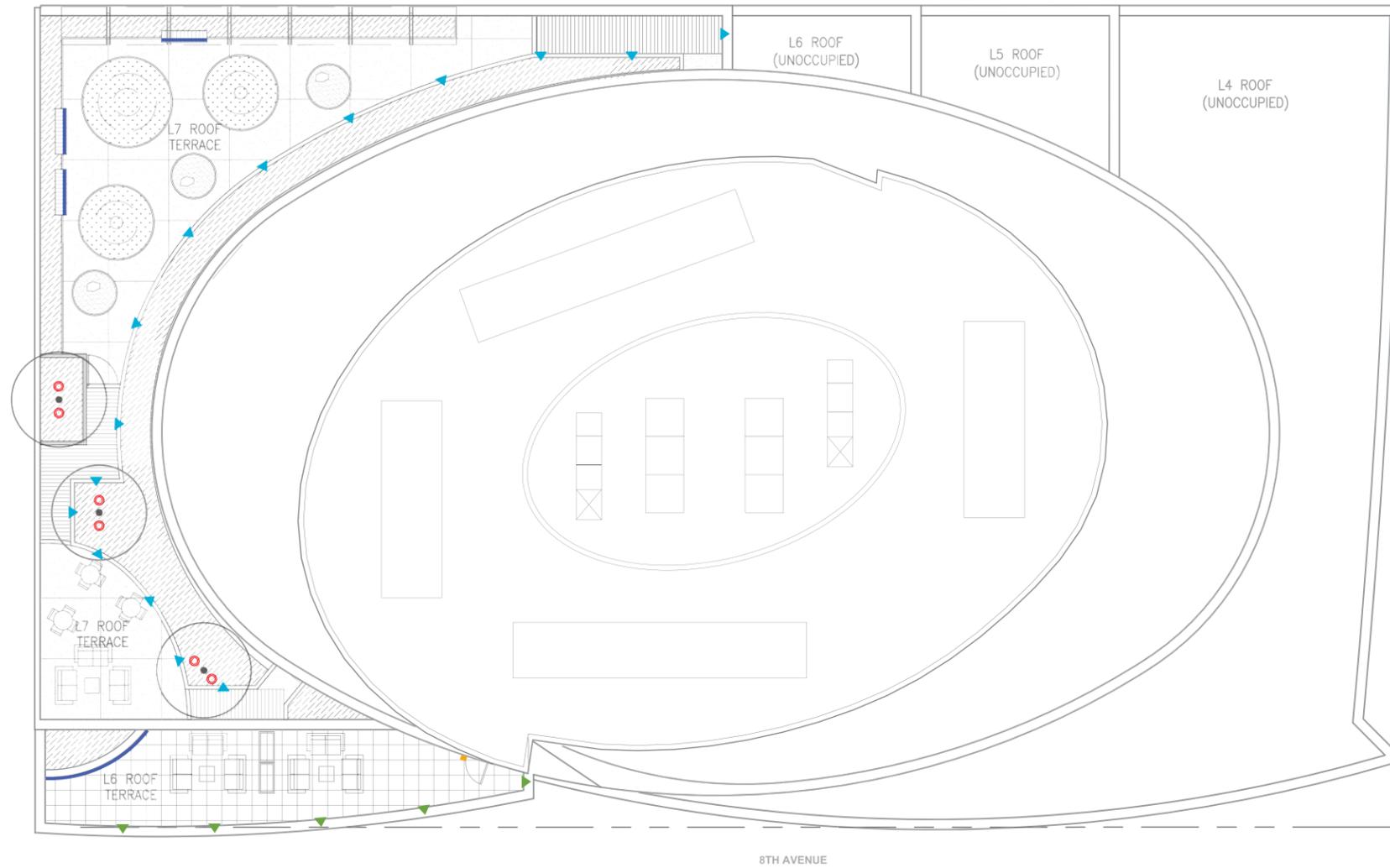


1 COMPOSITE ROOF ILLUMINATION MAP  
SCALE: 1" = 10'-0"



2 RECESSED STEP LIGHT DIAGRAM  
NOT TO SCALE





**FIXTURE TYPES**

- 

**bench and planter mounted linear LED extrusion**  
KLUS hr-alu

---

- 

**recessed wall light**  
BEGA 2190LED

---

- 

**recessed wall light**  
BEGA 2195LED

---

- 

**in-ground tree uplight**  
BEGA 7003LED

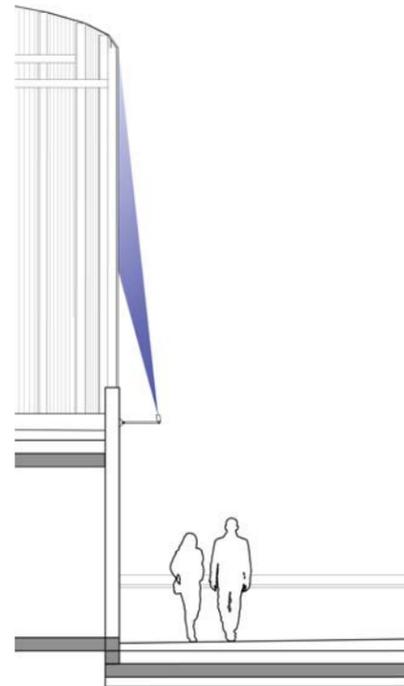
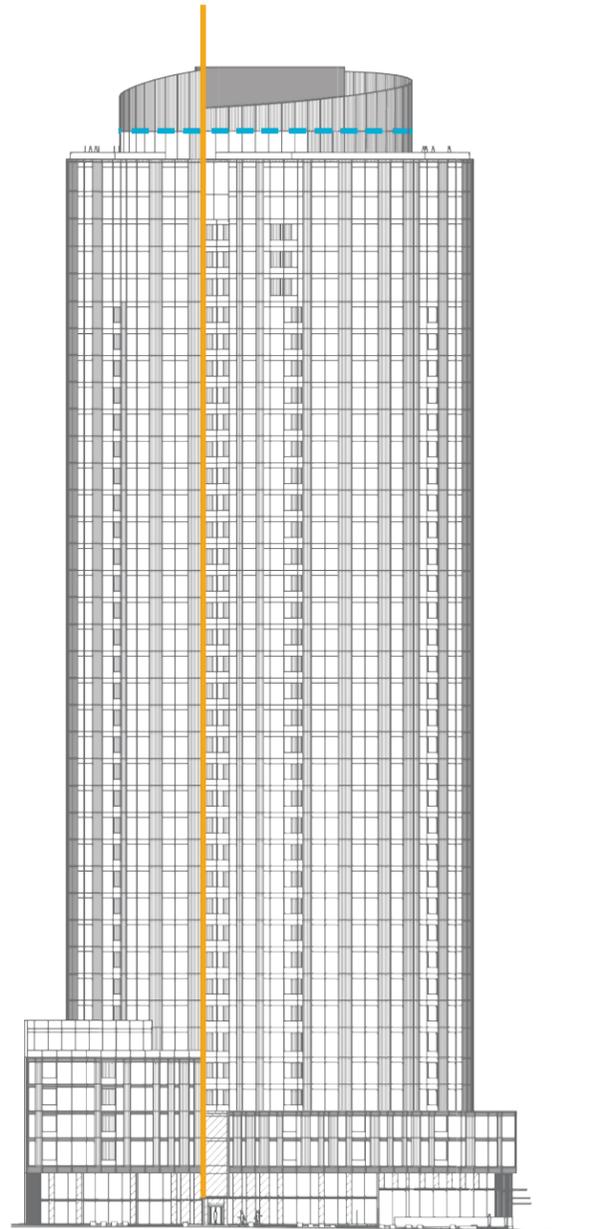
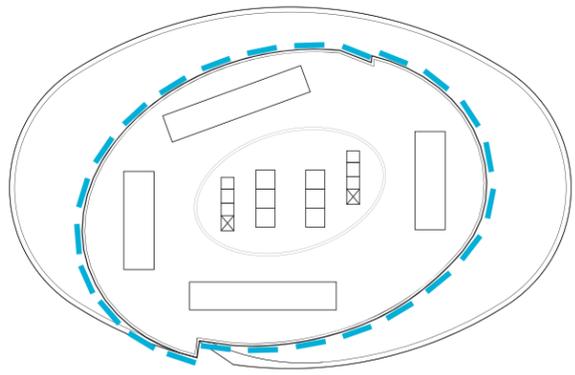
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**exterior wall mount**  
BEGA 3514LED

**1 COMPOSITE ROOF LIGHTING PLAN**  
 SCALE: 1" = 10'-0"





2 FIXTURE MOUNTING DIAGRAM  
SCALE: 1/4" = 1'-0"

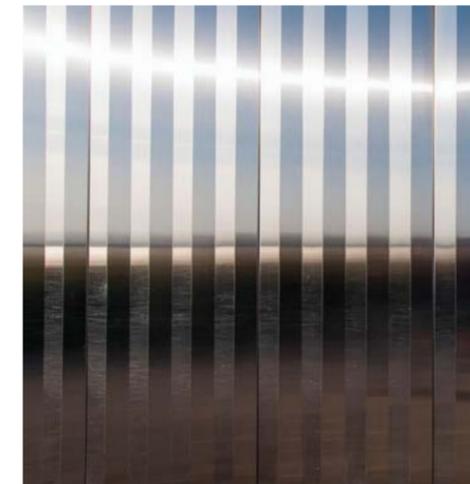
FIXTURE TYPES

  spire mounted floodlight  
LUMENFACADE

  metal screen mounted,  
color changing floodlight  
LUMENFACADE



Roof screen lighting concept



Screen materiality



Design Departures

# Departure Request 1: A departure from the minimum required width for common recreation area.

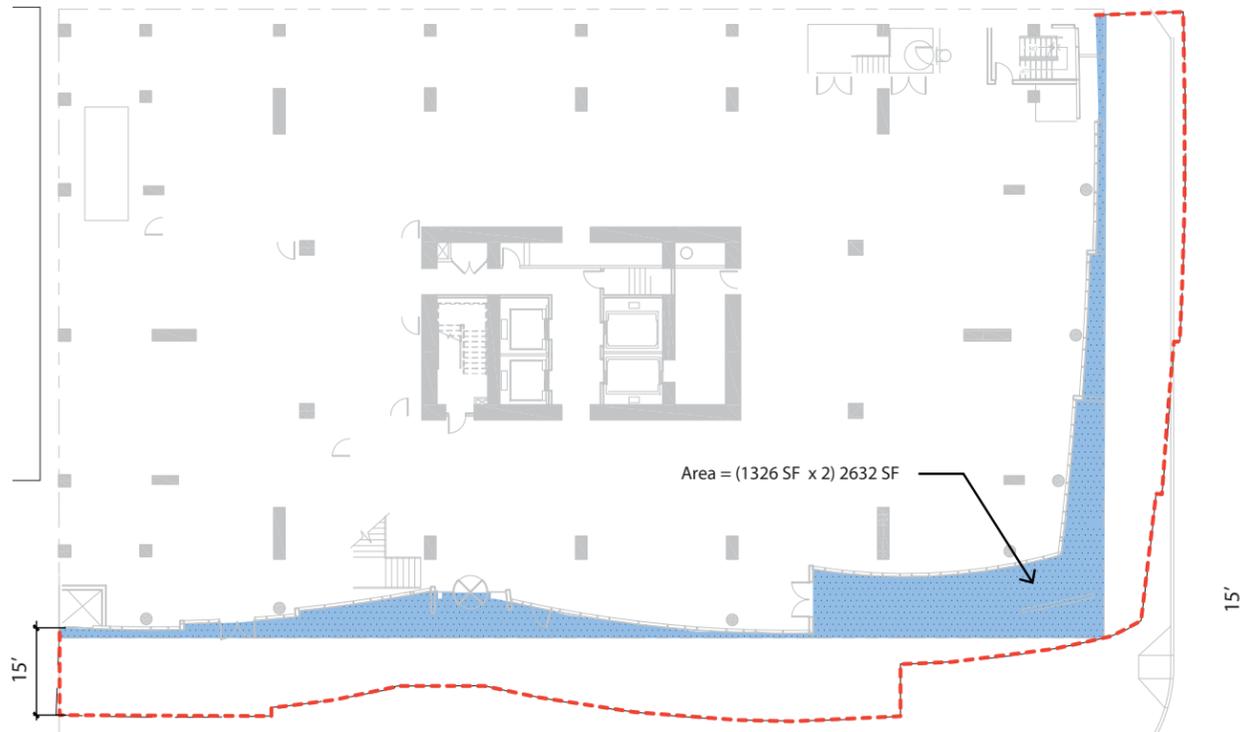
Applicable Code: Residential amenity space SMC 23.48.020

Request	Standard	Proposed	Rationale	Applicable Design Guidelines
A departure from the minimum horizontal 15 ft dimension of exterior Common Recreation Area to lesser dimensions, see Diagram.	<b>Residential Amenity Space</b> <b>SMC 23.48.020</b> Minimum Horizontal Dimension of 15-feet	<p>The ground level has no areas of sufficient dimension that can be counted. In lieu of that, the design includes expansion of the 8th Ave sidewalk by 5 ft and generous areas of landscape with benches and pedestrian lighting to create places to meet, wait, and gather.</p> <p>On Level 6, the outdoor deck provides views of the Space Needle and an overlook of the main entry. The elliptical shape of the 8th Ave façade makes a portion of the space less than 15 ft wide.</p> <p>On Level 7, the outdoor deck is adjacent to the pet spa, includes a pet relief area, and a quiet path to a small gathering area with a view towards the Space Needle; the elliptical shape of the tower makes a portion of the space less than 15 ft wide.</p> <p>On the Roof, the dynamic elliptical form makes some of the areas less than 15 ft wide, but the overall average dimension is closer to 18 ft,</p>	<p>SDOT and the Traffic Engineer concur that 8th Avenue's future traffic load will not require street width as generous as what exists, so the Applicant is voluntarily improving the pedestrian experience by expanding the sidewalk width. The seating areas and lighting will provide opportunities for interaction and help activate the streetscape, similar to the corner dining terrace that will serve the planned restaurant.</p> <p>The curvilinear forms of the 8th Avenue façade and the elliptical tower provide both exceptionally wide as well as somewhat narrow spaces. Together they provide opportunities to vary the occupants' spatial experiences for dramatic effect and creation of memorable moments.</p> <p>Providing the pedestrian-friendly seating and lighting that encourages use of the streetfront as a place to meet and gather can improve pedestrian and visitor safety with increased surveillance and presence of nearby persons.</p>	<p>A departable request dependent on the Design Review Board and DPD Planning</p> <p><b>C-1 Promote Pedestrian Interaction</b> <b>D-2 Enhance the Building with Landscaping</b> <b>D-6 Design for Personal Safety and Security</b></p>

## Area Table

Area Type: Total Project	Square Feet	%
Area that is 15' in depth	7,429	74
Area that is under 15' in depth	1,751	17
Area that is over 15' in depth	877	9
Total	10,057	100

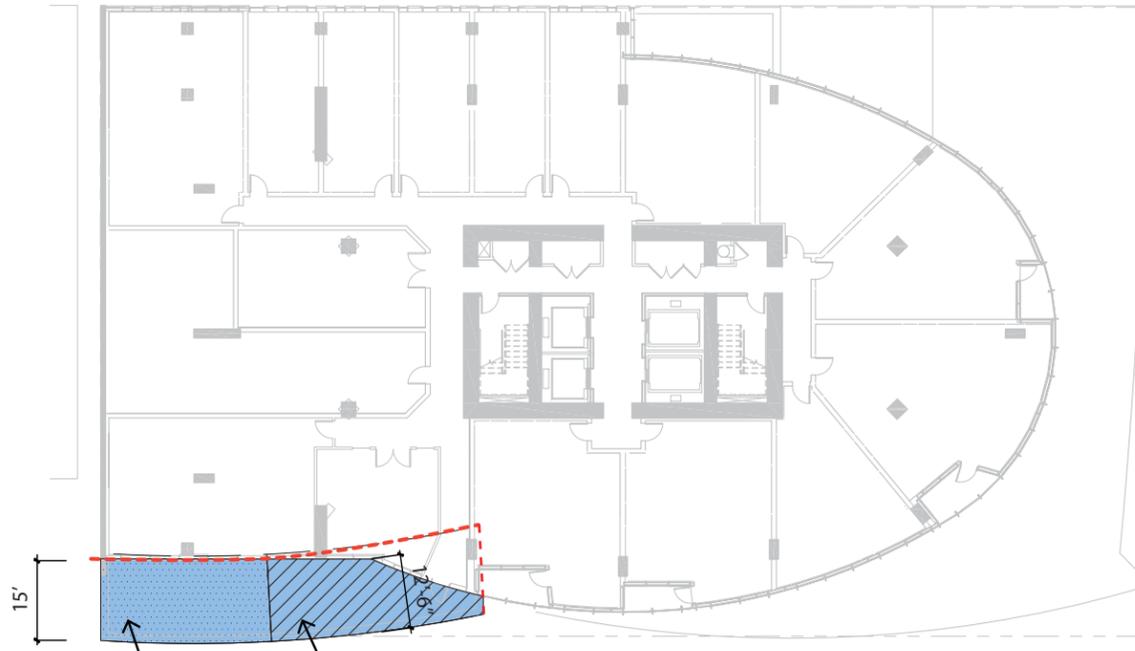




### Ground Level

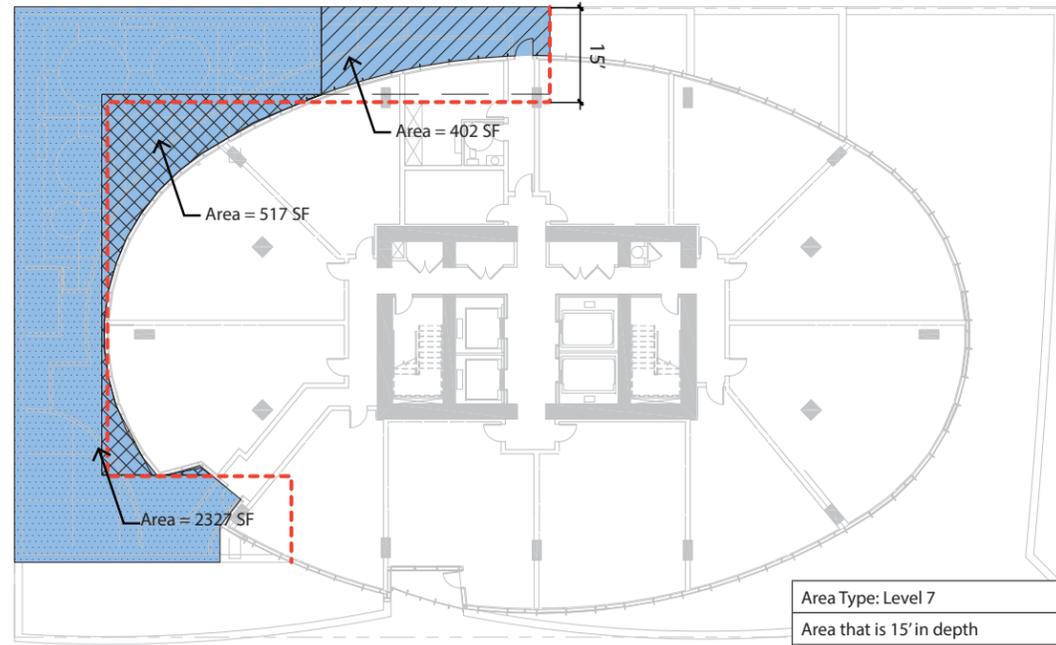
Note: All area at level one has an effective depth of much greater than 15' because there are no physical obstructions. Although we are only counting the area within the property line.

Area Type: Ground Level	SF	%
Area that is 15' in depth	2632	100
Area that is under 15' in depth	-	-
Area that is over 15' in depth	-	-
<b>Total</b>	<b>2632</b>	<b>100</b>



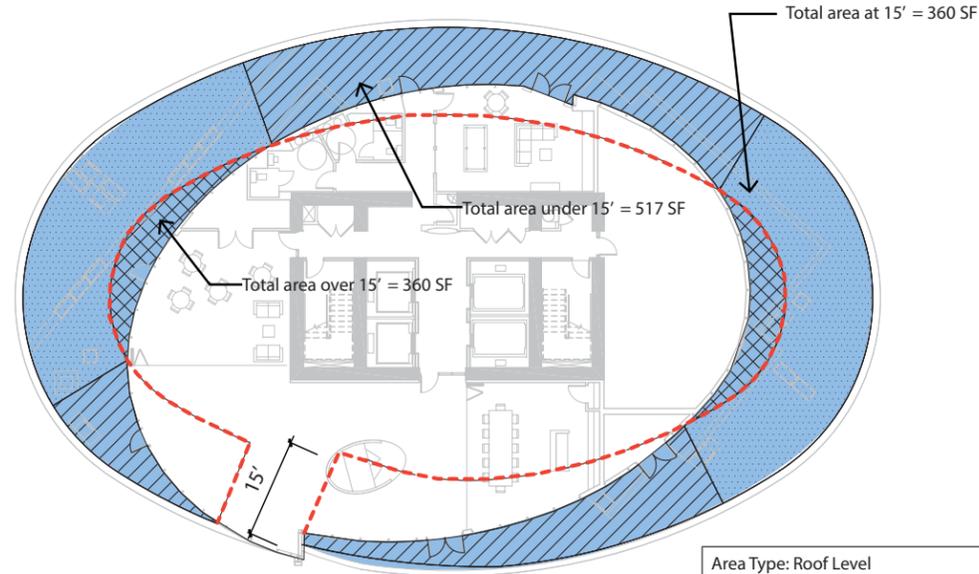
### Level 6

Area Type: Level 6	SF	%
Area that is 15' in depth	410	52
Area that is under 15' in depth	385	48
Area that is over 15' in depth	-	-
<b>Total</b>	<b>795</b>	<b>100</b>



### Level 7

Area Type: Level 7	SF	%
Area that is 15' in depth	2372	72
Area that is under 15' in depth	402	12
Area that is over 15' in depth	517	16
<b>Total</b>	<b>3246</b>	<b>100</b>



### Roof level

Area Type: Roof Level	SF	%
Area that is 15' in depth	2015	60
Area that is under 15' in depth	964	29
Area that is over 15' in depth	360	11
<b>Total</b>	<b>3339</b>	<b>100</b>

### Common Area Width

1. The design offers a diverse scale of common area spaces that contributes greatly to quality of the pedestrian experience at all levels
2. The areas that are at or over the 15' allowable width account for 83% of the outdoor common area.
3. The widths of the areas under the allowable width are still generous in almost all cases, rarely getting below 12 feet.

### Legend

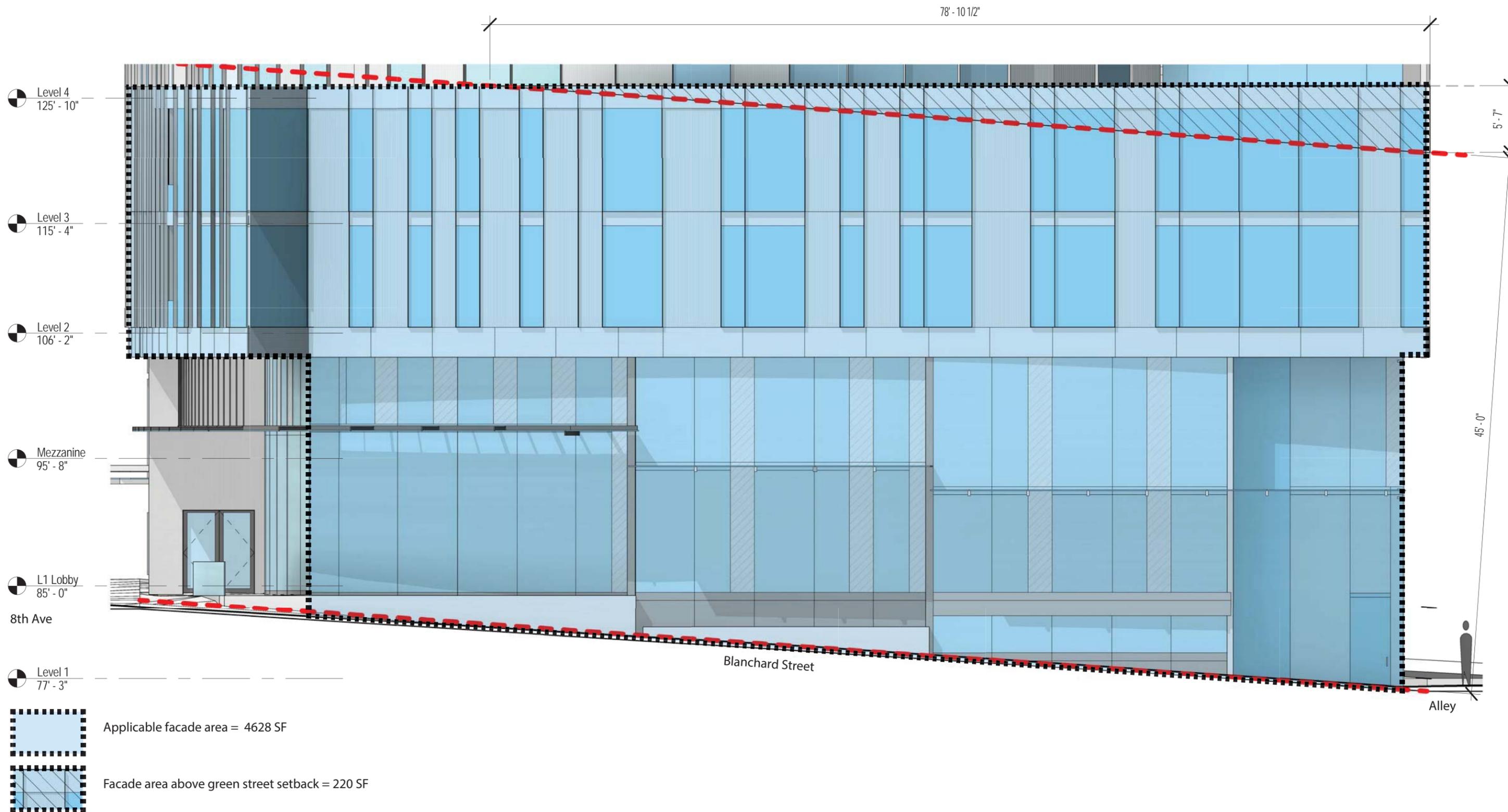
-  Area over 15' minimum depth
-  Area under 15' minimum depth
-  Area at 15' minimum depth
-  Line of 15' minimum depth

# Departure Request 2: A departure to allow a portion of the facade to exceed the green street height limit.

Applicable Code: Upper Level Setback SMC 23.49.058

Request	Standard	Proposed	Rationale	Applicable Design Guidelines
<p>A departure is requested for the Blanchard Green Street maximum height limit of 45'. A small triangular portion of the facade exceeds the height limit to maximum height of 5'-7".</p>	<p><b>Upper Level Set Back</b> <b>SMC 23.49.058</b></p> <p>When a lot in a DMC Zone is located on a designated green street, a continuous upper-level setback of 15' be provided on the street frontage abutting the green street at a height of 45'</p>	<p><b>In DMC Zones Adjacent to Green Streets</b></p> <p>An area of 220 SF (.05% of the total facade area) above the maximum green street height limit.</p>	<p>Due the significant slope along Blanchard street we are requesting a portion of the facade to extend beyond the 45' maximum allowed.</p> <p>The 220 SF triangle represents .05% of the total facade along Blanchard street.</p> <p>Due to the facades' location on the north side of the street, the proposed departure will have no adverse impact on the green street. Because the adjacent Enso building doesn't comply with the green street setback there is no visual effect on the green street corridor.</p>	<p>A departable request dependent on the Design Review Board and DPD Planning</p> <p><b>B-2 Create a Transition in bulk and scale</b> <b>B-3 Reinforce the positive urban form &amp; architectural attributes of the immediate area</b></p>



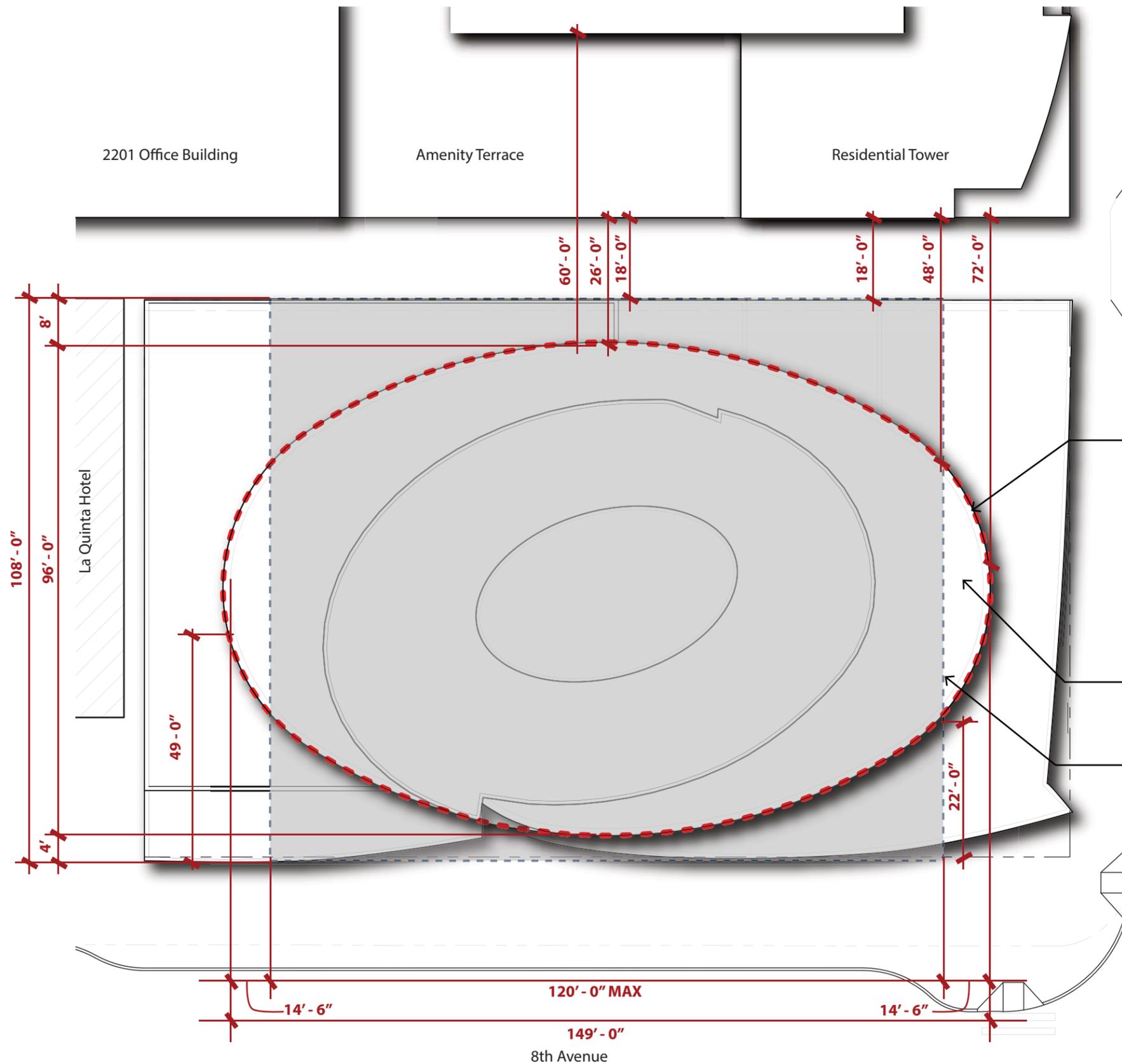


# Departure Request 3: A departure for the maximum tower width

Applicable Code: Upper Level Setback SMC 23.49.058

Request	Standard	Proposed	Rationale	Applicable Design Guidelines
<p>A departure is requested for maximum tower width.</p>	<p><b>Upper-level Development Standards SMC 23.49.058.</b></p> <p>In the DMC zones, the maximum façade width for any portion of a building above 85 feet shall be 120 ft. along the north-south axis.</p>	<p>A curvilinear tower that is 149' in absolute length length.</p>	<p>An as of right tower shown in the diagram as gray, would have forced a rectangular box-shape that would have pushed the tower's alley facade against the adjacent Enso tower for the full allowable 120' maximum length. This design response would have created only 18' of separation between the towers, a similar condition to the Cosmopolitan Apartment and adjacent office tower at 8th and Virginia.</p> <p>A core design principle was to create as much separation as possible between the two towers for the benefit of all of the tenants and owners. The best design response was an oval tower to allow as much light and air between the projects as possible. The tower arc away from the adjacent building starting from a minimum of 26'(8' farther than allowable) to a maximum of 72' at the tower ends.</p> <p>The code is written in regard to a rectilinear tower and states that the building must be 120' parallel to the avenue. Only a very small part of our facade (5') is actually parallel to the alley.</p>	<p>A departable request dependent on the Design Review Board and DPD Planning</p> <p><b>A-1 Responding to the larger context item A-1 (A,C,D&amp;E)</b>  <b>A-2 Sculpt and profile the facades</b>  <b>B-1 Responding to neighborhood context</b>  <b>B-2 (D) Effect of site, size and shape</b></p>





### Tower Width - Oval Tower

1. The oval shaped dramatically improves the light and view access from the Enso residential tower.
2. The oval tower is setback an additional 8' at it's minimum and 72' feet at it's maximum along the alley frontage.
3. The oval tower foot print is 9% smaller than the as of right rectangular footprint (shown gray).
4. Less than 5% of the tower foot print extends beyond the allowable zoning envelope (per side)
5. The tower position is biased toward 8th avenue to improve access to views and daylight.
6. The building responds to the site context (Enso shape, Enso resident experience, confluence of the urban grid and neighborhood intersection)
7. Only a very small portion of the avenue facade (5') is actually parallel to the avenue, minimizing the visual impact that is the intent of the tower width provision.

Proposed area = 11,225 SF

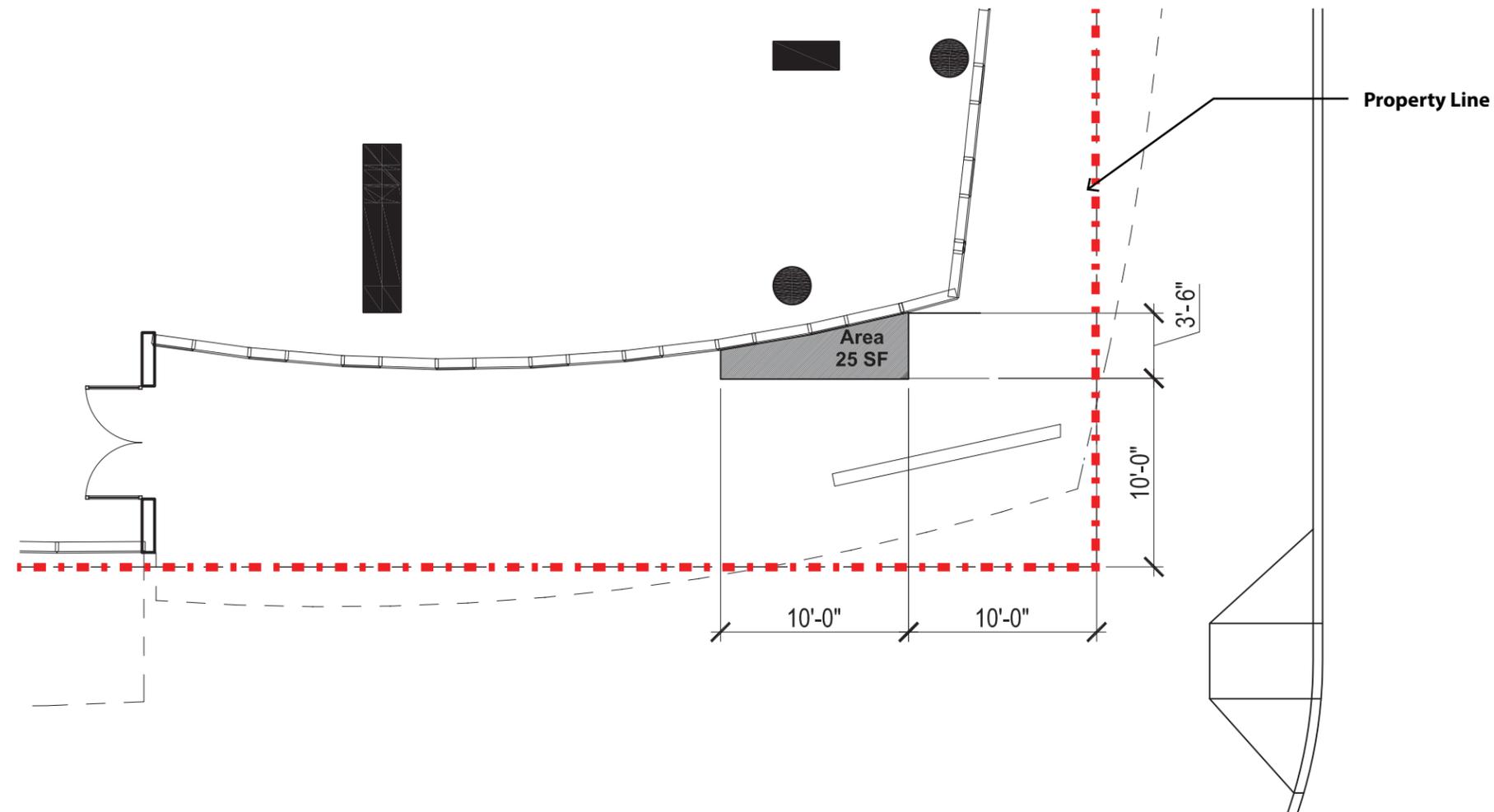
Area outside zoning envelope = 600 SF

Allowable area = 12,290 SF



# Departure Request 3: A departure from the maximum facade setback at intersections

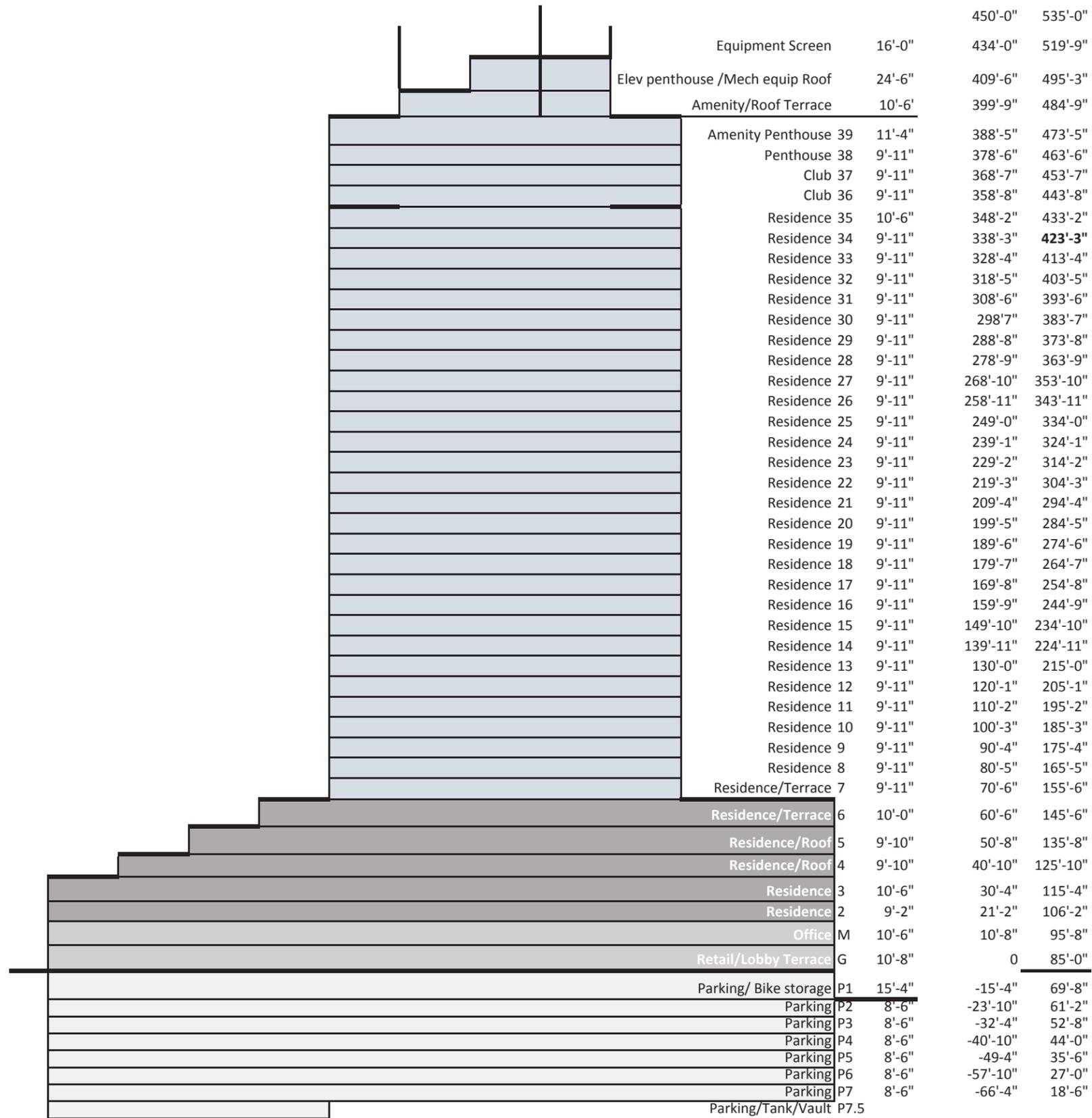
Applicable Code: Façade Setback from Intersections SMC 23.49.056



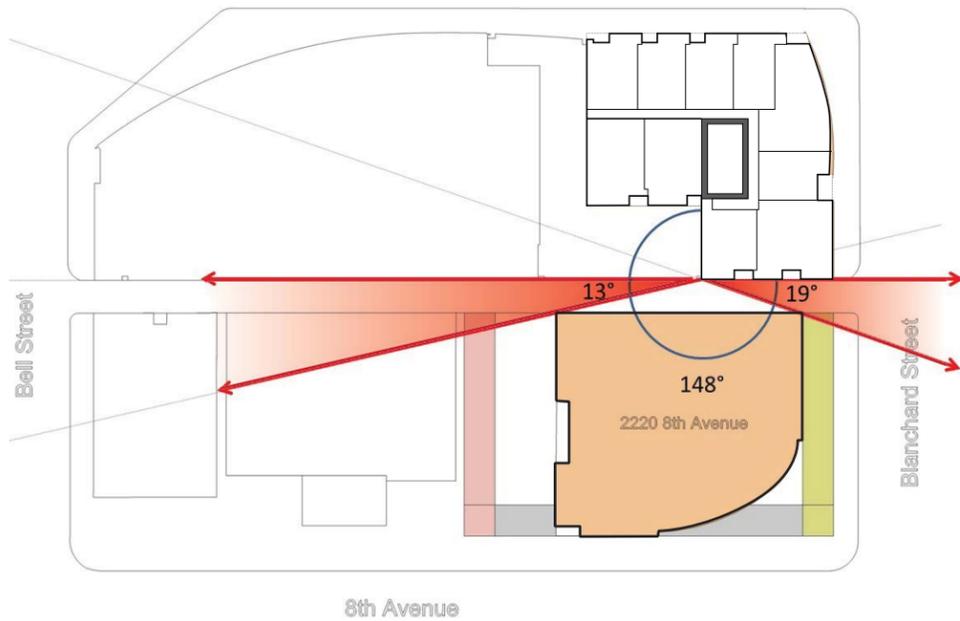
Request	Standard	Proposed	Rationale	Applicable Design Guidelines
<p>A departure is requested for the building street corner at 8th and Blanchard St. At this corner the building sets back further than 10 ft. from the intersection.</p>	<p><b>Façade Setback from Intersections</b> <b>SMC 23.49.056</b></p> <p>d. The maximum setback of the facade from the street lot lines at intersections is 10 feet.</p> <p>The minimum distance the façade must conform is 20 feet along the street façade. (See Exhibit E for 23.49.056.)</p>	<p>An area of 25 SF as shown in the diagram, sets back further than the prescribed setback</p>	<p>The proposed design maintains the curvilinear form of the tower to complete the architectural expression established by the ellipse above.</p> <p>The planned use for the business at the corner is a restaurant or café that will activate the corner frontage with outdoor dining at what will likely be a sunny and inviting corner. The proposed design helps maximize the space for the outdoor dining, which will enhance and enliven the street experience.</p>	<p>A departable request dependent on the Design Review Board and DPD Planning</p> <p><b>C-1 Promote Pedestrian Interaction</b> <b>C-2 Design Street Facades of many scales</b> <b>D-2 Enhance the Building with Landscaping</b></p>



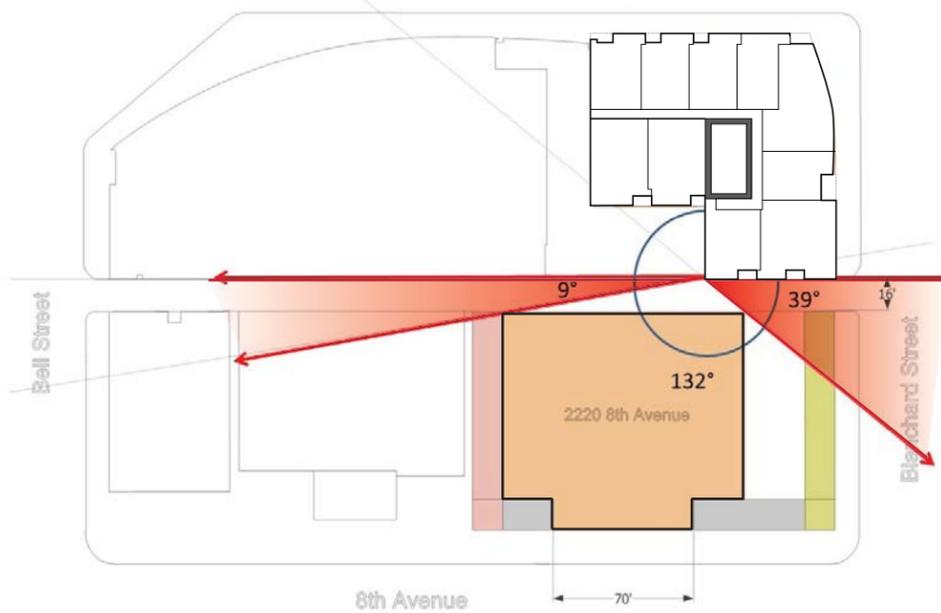




**Alternative Comparison**



**Alternative Two – Ellipse/Rectangular Tower**



**Alternative One - Orthogonal Tower**



**Alternative Three – Pure Ellipse Tower**

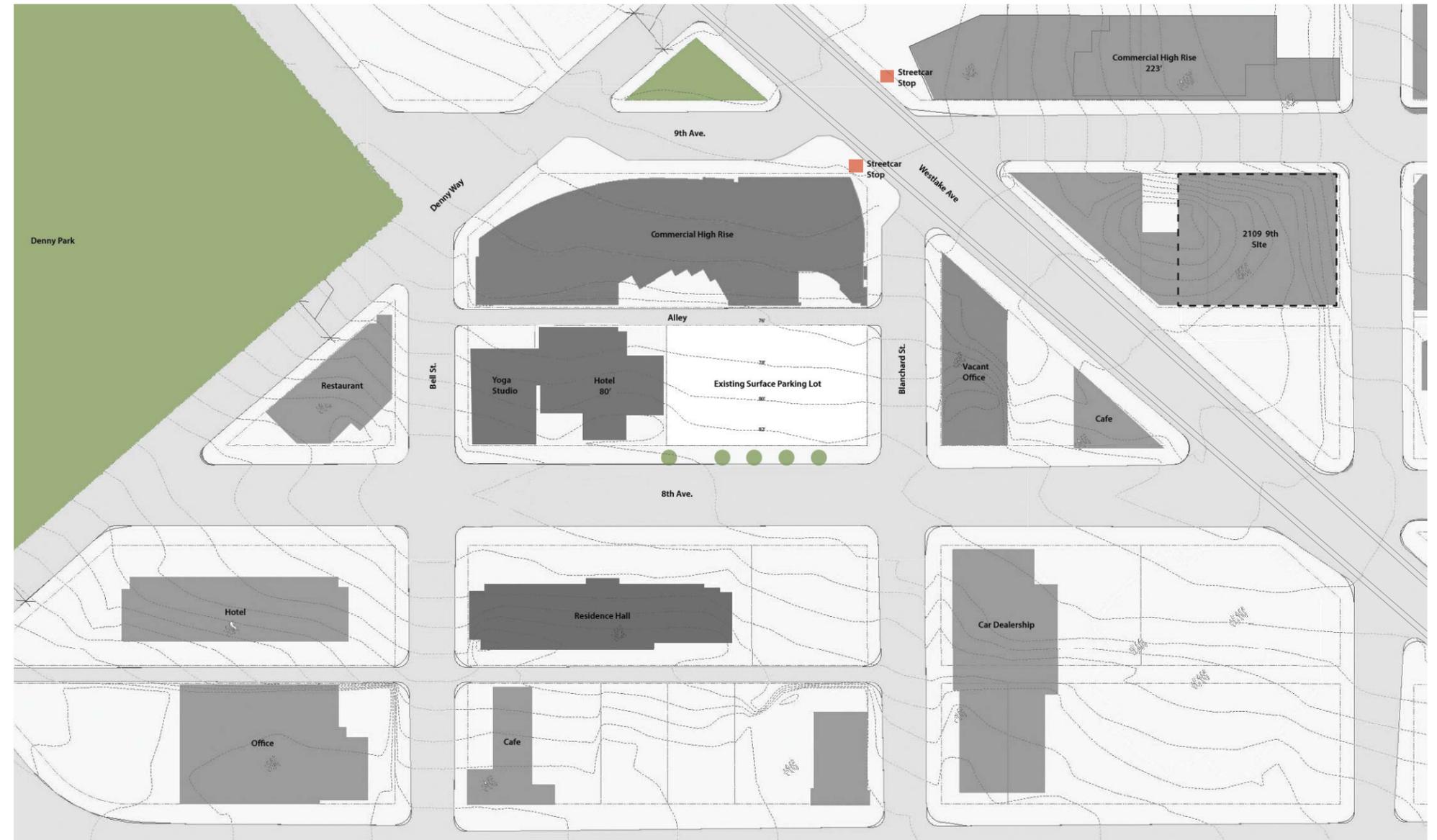
**\* Preferred\***

**Site Area:**  
 19,426 sqft. with approximately 108 feet of frontage on 8th Avenue and 180 feet of frontage on Blanchard Street.

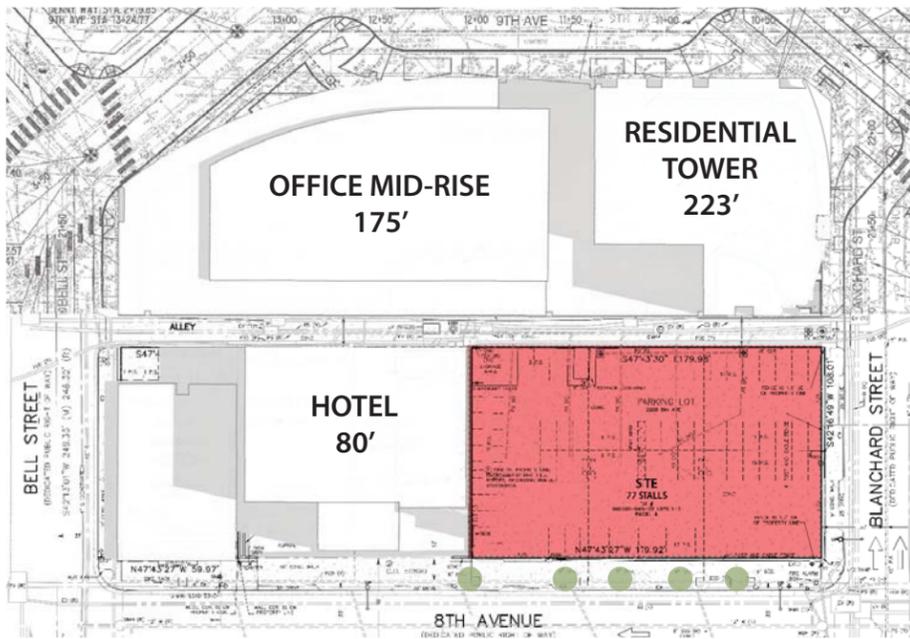
**Topography:**  
 The site slopes from elevation 82.25' in the southwest corner down to 75.25' in the northeast corner.

**Tree Survey:**  
 There are no significant trees on the site, or within the sidewalk Right-of-Way. There are five existing trees along 8th Ave.

**Existing Buildings:**  
 The site is being used as 77 stall surface parking lot.

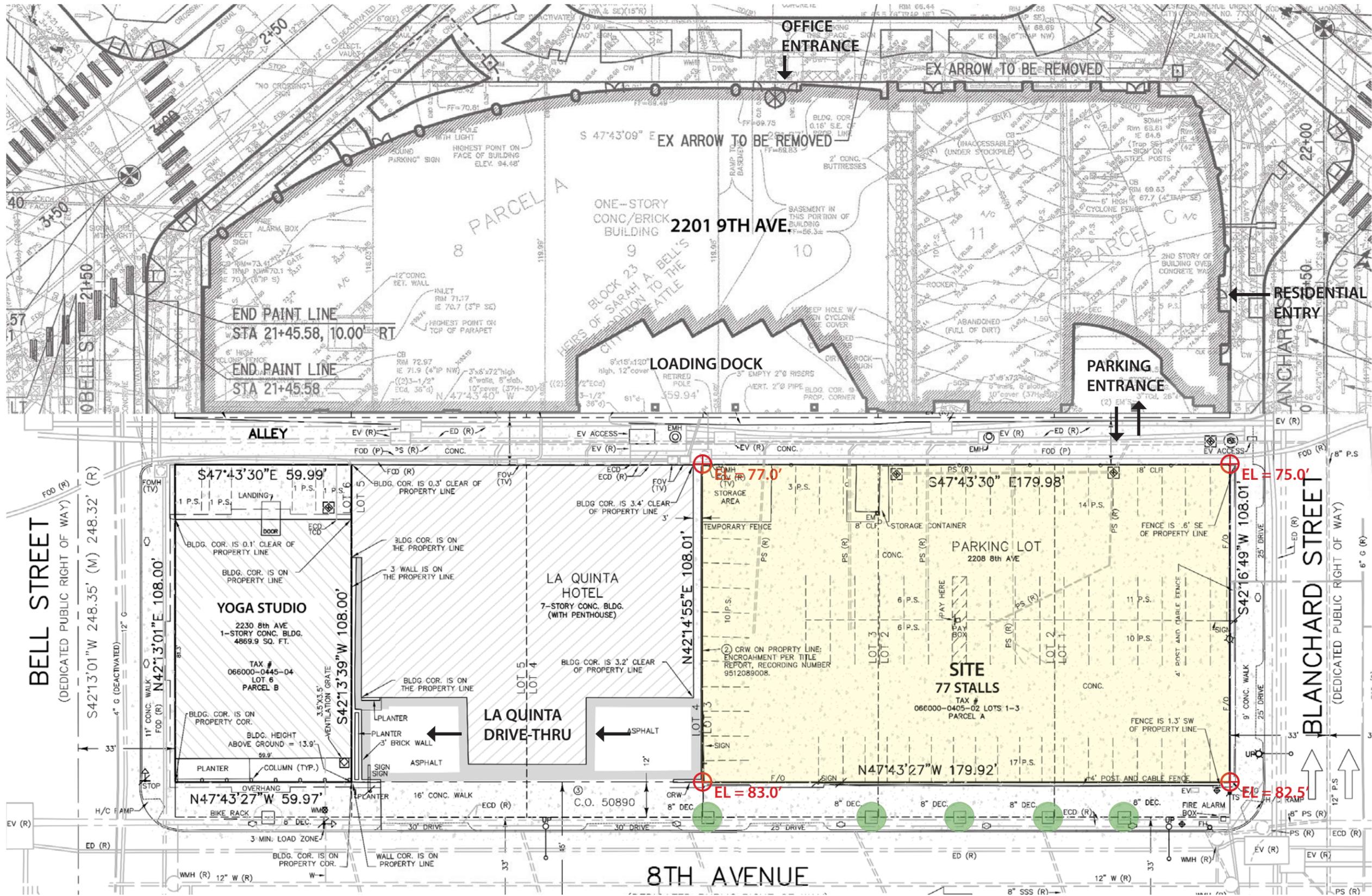


Existing Neighborhood Site Context 



Adjacent Building Height





**Street Classification  
DENNY TRIANGLE**

The site is convenient for multiple modes of public transportation and is easily accessed by autos, cyclists and pedestrians. The nearby street car stop is at the intersection of Blanchard and Westlake, which is only ½ block walking distance. Metro bus service is provided on Denny, Dexter and 7th Avenue. Seventh Avenue will be the main access and egress thoroughfare for bicycle traffic with numerous cross street bike lanes.

-  Street Car Route
-  Class I Pedestrian Street
-  Class II Pedestrian Street
-  Bicycle Lanes
-  Main Bicycle Thoroughfare
-  Green Street
-  Bus Stop
-  Street Car Stop
-  Bicycle Street



# TOWER SEPARATION REQUIREMENT

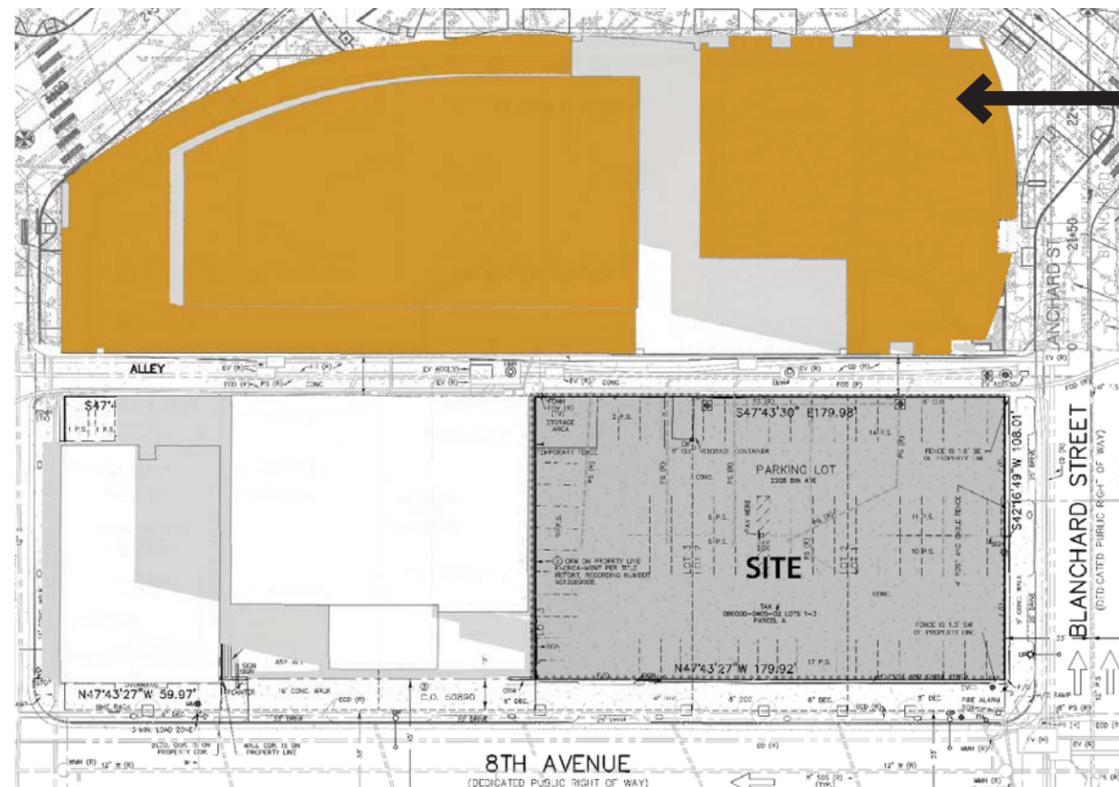
## Section 23.49.058.E of Ordinance 122054 States:

“For the purposes of separation, **no separation is required:**

- Between structures on different blocks, except as may be required by view corridor or designated green street setbacks, or
- From a structure on the same block that is not located in a DMC zone; or
- From a structure allowed pursuant to the Land Use Code in effect prior to the effective date of Ordinance 122054”**

**Excerpt from text of MUP Decision for Enso Condominiums** (Project #s 3003882 and 3003884, issued June 29, 2006)

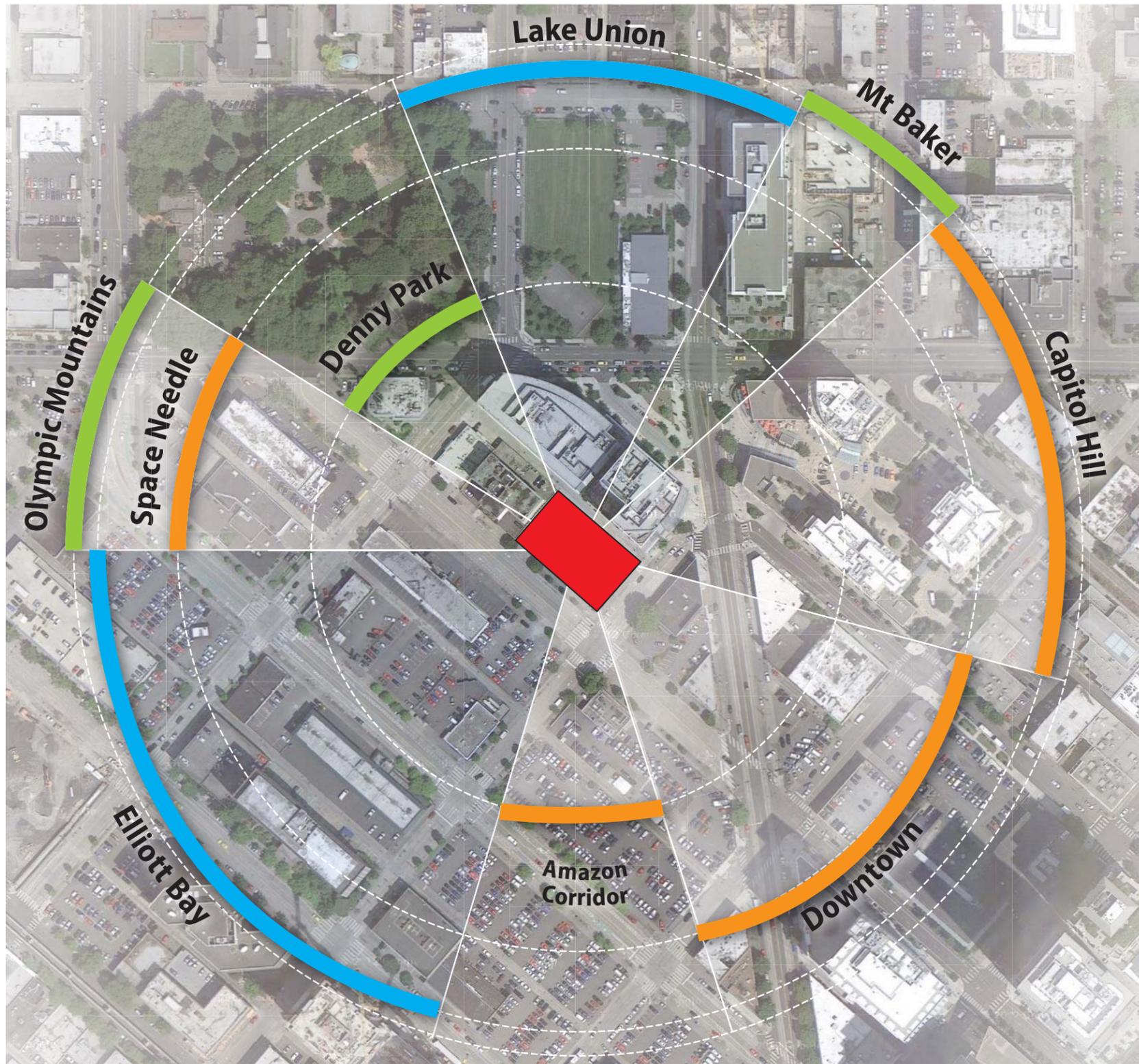
“After MUP application was made the project site was rezoned Downtown Mixed Commercial with a 240-foot non-residential height limit and a 290 to 400-foot residential height limit (DMC-240/290-400). However, **this project is proceeding under the prior DMC-160 zoning.**”



**2201 9th Avenue**  
**MUP was permitted under the prior Land Use Code**  
**∴ No Tower Separation Required**

## SEQUENCE OF EVENTS

- **EDG Meeting on September 6, 2005 (Vesting Date)**
- **MUP Application on November 30, 2005 (86 days after EDG)**
- **Ordinance 122054 Approved by City Council on April 3, 2006**
- **Ordinance 122054 Signed by Mayor April 12, 2006**
- **Effective Date of Ordinance is 15 Days After Approval: April 18, 2006**
- **MUP Decision Issued June 29, 2006, stating “...this project is proceeding under the prior DMC-160 zoning.”**



VIEWS DIAGRAM





Lake Union  
8th Blanchard North View



Downtown  
8th Blanchard East View



Elliott Bay  
8th Blanchard South View



Space Needle  
8th Blanchard West View

**Zoning Analysis: DPD Project Number 3016464**

Site Address: 2220 8th Avenue, Seattle, WA 98121

**Zone: DMC 240/290-400 DF**  
Denny Triangle Urban Center Village

**23.49.042 Permitted Uses**

Standard	Proposed
All uses are permitted outright except those prohibited by SMC 23.49.046, and parking, which shall be regulated by 23.49.045.	Complies. Proposed uses are apartments, retail or restaurants on the 8th Avenue street frontage, two van-accessible stalls at grade accessed from the alley, and below-grade parking for the apartments units at one stall per unit.

**23.49.008 Structure Height**

Standard	Proposed
Nonresidential Height Maximum: 240'	
Residential: 290' Base, 400' Maximum	
<ul style="list-style-type: none"> <li>Maximum residential height achievable through bonuses available in section 23.49.015</li> </ul>	<ul style="list-style-type: none"> <li>Complies. Height of proposed building is 399'-7", achieved through bonuses.</li> </ul>
Structure may exceed the maximum height limit by 10% of that limit if: <ul style="list-style-type: none"> <li>The façades of the portion of the structure above the limit do not enclose an area greater than 9,000 SF.</li> <li>The enclosed space is occupied only by those features otherwise permitted in this Section as an exception above the height limit. This shall not be combined with any other height exception to gain additional height.</li> </ul>	<ul style="list-style-type: none"> <li>Complies. Only mechanical equipment with its screening and the elevator penthouse are above the height limit.</li> </ul>
Rooftop Features allowed above height limit: <ul style="list-style-type: none"> <li>Railings, planters, skylights, clerestories, greenhouses and parapets may extend up to 4' above height limit.</li> <li>Solar collectors may extend up to 7' above height limit.</li> <li>Mechanical equipment, stair penthouses, etc... may extend up to 15' above the height limit.</li> </ul>	<ul style="list-style-type: none"> <li>Complies. Railings and planters on the rooftop amenity deck are located one floor level below the 400 ft. height limit.</li> </ul>
Rooftop features may cover up to a combined coverage limit of 55%.	
Elevator penthouses may extend up to 23' above the height limit (8' cab) or 25' above the limit (9' cab) plus an additional 10' if elevator provides access to usable rooftop open space.	Complies. All four proposed elevators will provide access to the usable rooftop open space. Two will have 8' cabs that can extend a total of 33 feet above the height limit, and two will have 9' cabs that can extend a total of 35 feet above the height limit.
The amount of rooftop area enclosed by screening may exceed the maximum percentage of the combined coverage of all rooftop features.	
Some rooftop features may extend up to 50' above the maximum height through administrative conditional use per 23.49.008-D-4	The proposed spire will extend to 50 feet above the maximum height of 400 feet. See Sheet A-201

**23.49.009 Street-level Use Requirements**

Standard	Proposed
None required on 8th Avenue or Blanchard Street.	Retail and/or restaurant uses are proposed on 8th Avenue and Blanchard Street.

**23.49.010 General Requirements for Residential Uses**

Standard	Proposed
Common recreation area is required for all new development containing more than 20 <ul style="list-style-type: none"> <li>An area equivalent to 5% of the total GFA in residential use.</li> </ul>	The project will comply if the requested departure is granted for for the measurement of the <ul style="list-style-type: none"> <li>Total GFA in residential use is 417,625 sf. 5%= 20,881 sf. Proposed C.R.A. = 24,404 sf</li> <li>Minimum Exterior Common Recreation Area = 1/2 of 20,881 = 10,441 sf</li> <li>Proposed Exterior Common Recreation Area = 11,107 sf.</li> <li>Located at Levels 1, 6, 7, 38, and 39.</li> <li>Total enclosed area is 13,297 sf.</li> </ul>
<ul style="list-style-type: none"> <li>Available to all residents and be at or above ground level.</li> <li>A maximum of 50% of the area may be enclosed.</li> <li>Minimum horizontal dimension of 15' and minimum size of 225 SF.</li> <li>If provided as open space at street level it shall be counted as twice the actual area</li> </ul>	<ul style="list-style-type: none"> <li>Street level open space is being counted as twice the actual area.</li> </ul>
In mixed use projects a bonused public open space may be permitted to satisfy a portion of the common recreation area requirement per approval of the Director.	There is no bonused public open space in this project.

**23.49.011 Floor Area Ratio**

Standard	Proposed
Base FAR: 5	
Maximum FAR: 7	Building areas are tabulated on Sheet A-001.
Additional chargeable floor area above the base FAR may be obtained as outlined in section 23.49.011 and may include generally the following: <ul style="list-style-type: none"> <li>Amenity Bonuses</li> <li>Transfer Development Rights</li> <li>Rural Development Credit</li> <li>Housing and Child Care</li> </ul>	<ul style="list-style-type: none"> <li>Apartment use is not chargeable floor area.</li> <li>Retail and restaurant uses are not chargeable area.</li> </ul>
<ul style="list-style-type: none"> <li>A minimum of 5% of floor area above base FAR must be obtained through Landmark TDRs to the extent they are available.</li> <li>FAR gained through housing and child care bonuses (23.49.012) together with housing (23.49.015) and landmark TDRs shall equal 75% of the area by which the total chargeable area permitted on the lot exceeds the base FAR.</li> <li>At least 1/2 of the balance of the 25% shall be gained from a sending lot with a major performing arts center if available.</li> <li>The balance of the 25% shall be gained through bonus floor area for amenities (23.49.013)</li> <li>Applicant may gain additional floor area above the first increment of FAR above the base FAR through a use of MDC housing TDR, or any combination of DMC housing TDR with floor area gained through other TDR and bonuses as described above.</li> </ul>	
If bonus development sought is less than 5,000 SF the Director may permit all bonused area to be achieved through housing and child care.	
Areas Exempt from FAR: <ul style="list-style-type: none"> <li>Street level use (retail) that has a minimum fir-flr of 13', horizontal depth of 15', and overhead weather protection is provided.</li> <li>Child Care</li> <li>Human Services</li> </ul>	
<ul style="list-style-type: none"> <li>Residential use and live-work units</li> <li>Museums and museum expansion spaces</li> <li>Performing art theaters</li> <li>Floor area below grade</li> </ul>	
<ul style="list-style-type: none"> <li>Public restrooms</li> </ul>	
<ul style="list-style-type: none"> <li>Shower facilities for bicycle commuters</li> <li>Certain area in Landmark structures</li> </ul>	
<ul style="list-style-type: none"> <li>An allowance of 3.5% of GFA for mechanical equipment after all other deductions have been taken</li> </ul>	
Rooftop mechanical equipment, whither enclosed or not, shall be counted as part of the GFA of the structure except for those structures existing prior to June 1, 1989 or replacement mechanical equipment.	

**23.49.012 Bonus Floor Area for Voluntary Agreements for Housing and Child Care**

Standard	Proposed
Not Applicable	Not applicable - no bonus sought.

**23.49.013 Bonus Floor Area for Amenities**

Standard	Proposed
Not Applicable	Not applicable - no bonus sought.

**23.49.014 Transfer of Development Rights**

Standard	Proposed
Not Applicable (no bonus sought)	Not applicable - no bonus sought.

**23.49.015 Bonus Floor Area for .... Low- and Moderate Income Housing**

Standard	Proposed
Floor area above 240 ft requires purchase of bonus area.	Floor area above base building height of 240' is 105,650 sf. See Area Tabulation A0-01

**23.49.014 Transfer of Development Rights**

Standard	Proposed
Not Applicable (no bonus sought)	Not applicable - no bonus sought.

**23.49.015 Bonus Floor Area for .... Low- and Moderate Income Housing**

Standard	Proposed
Floor area above 240 ft requires purchase of bonus area.	Floor area above base building height of 240' is 105,650 sf. See Area Tabulation A0-01

**23.49.016 Open Space**

Standard	Proposed
Private Open Space - Office Use Requirements: <ul style="list-style-type: none"> <li>20 SF for every 1000 GSF of Office Use</li> <li>Only applies to office use greater than 85,000 GSF; Office use less than 8,000 GSF is exempt.</li> <li>Must be open to the sky, meet landscaping standards and be accessible to all</li> </ul>	Private Open Space - Office Use Requirements: <ul style="list-style-type: none"> <li>Not applicable - no office use is proposed.</li> </ul>
On-site public open space <ul style="list-style-type: none"> <li>Available for amenity feature bonus per section 23.49.013</li> </ul>	On-site public open space <ul style="list-style-type: none"> <li>Not applicable - no bonus sought.</li> </ul>
Off-site public open space <ul style="list-style-type: none"> <li>Available for amenity feature bonus per section 23.49.013</li> <li>Must be in a downtown zone within 1/4 mile of the project site.</li> <li>Must be open to the public without charge.</li> <li>Minimum of 5,000 SF of contiguous area.</li> </ul>	Off-site public open space <ul style="list-style-type: none"> <li>Not applicable - no bonus sought.</li> </ul>
Payment in lieu <ul style="list-style-type: none"> <li>Payment in lieu of open space development is permitted if the Director</li> </ul>	Payment in lieu <ul style="list-style-type: none"> <li>Not applicable - no public open space required.</li> </ul>

**23.49.017 Open Space TDR Site Eligibility**

Standard	Proposed
Basic criteria to qualify as a sending TDR lot: <ul style="list-style-type: none"> <li>Contiguous open space with a minimum area of 15,000 SF</li> <li>A network of adjacent open space physically and visually connected with a minimum area of 30,000 SF</li> <li>Accessible to the public</li> <li>Not more than 20% of the lot area occupied by above grade structures</li> <li>Other landscape and accessibility criteria apply.</li> </ul>	Not applicable.



**23.49.018 Overhead weather protection and lighting**

Standard	Proposed
Continuous weather protection is required along entire street frontage	Continuous weather protection is proposed along both 8th Avenue and Blanchard St.
<p>Exceptions:</p> <ul style="list-style-type: none"> <li>• If set back farther than 5' from property line</li> <li>• Abuts a bonused open space or amenity feature</li> <li>• If separated from the street property line by a landscaped area at least 2' wide</li> <li>• Driveways and loading docks</li> </ul>	<p>Glass canopies are provided on 2/3 of the Blanchard frontage; 1/3 of the frontage will have a combination of glass and opaque canopy.</p> <p>A continuous glass canopy is proposed on the Blanchard St. frontage.</p>
<p>Dimensions:</p> <ul style="list-style-type: none"> <li>• Minimum 8' from building wall of within 2' of curb line, whichever is less</li> <li>• Lower edge minimum height of 10' and a maximum of 15'</li> <li>• Pedestrian lighting to be provided</li> </ul>	<p>Dimensions:</p> <ul style="list-style-type: none"> <li>• Proposed canopies are minimum 8 ft in width.</li> <li>• Proposed canopies are within the prescribed height requirements.</li> <li>• Pedestrian lighting to be provided, feature lighting at the opaque portions.</li> </ul>

**23.49.019 Parking quantity, location and access requirements, and screening and landscaping of surface parking areas**

Standard	Proposed
No parking, either long-term or short-term, is required on lots in Downtown zones	Parking for 456 stalls is proposed. 454 stalls will be below grade; and two van-accessible stalls
<ul style="list-style-type: none"> <li>• On Blanchard Street and Bell Street (green street), parking is permitted at street level only if separated from the street by other uses</li> <li>• On 8th Avenue (class II pedestrian street), parking is permitted at street level if it <ul style="list-style-type: none"> <li>• At least 30% of the street frontage (excluding garage doors) is separated from the street by other uses:</li> </ul> <ul style="list-style-type: none"> <li>• The façade of the separating uses meets the transparency and blank wall</li> <li>• The portion of parking not separated by other uses is screened, and;</li> <li>• The street façade is enhanced by detailing, artwork, landscaping, etc....</li> </ul> </li> </ul>	<ul style="list-style-type: none"> <li>• No parking is proposed on Blanchard Street.</li> <li>• No parking is proposed on 8th Avenue..</li> </ul>
<ul style="list-style-type: none"> <li>• Parking not at street level within structures must be located below street level or separated from street level by other uses</li> <li>• Up to four levels of above grade parking may be permitted if it meets the standards of 23.49.019B</li> </ul>	<ul style="list-style-type: none"> <li>• Except for the two van accessible stalls off the alley, all parking within the structure is below street level.</li> <li>• No parking is proposed above street level.</li> </ul>
<p>Maximum parking limit for nonresidential uses</p> <ul style="list-style-type: none"> <li>• Parking for nonresidential uses is limited to on parking space per every 1,000 square feet of gross floor area in nonresidential use.</li> <li>• Parking for nonresidential uses may be permitted to exceed the maximum standard as a special exception as granted by the Director.</li> <li>• Access to parking and loading shall be from the alley when the lot abuts an improved alley.</li> </ul>	<p>Maximum parking limit for nonresidential uses</p> <ul style="list-style-type: none"> <li>• The approximately 9,000 sf of available retail use will require 9 of the 454 stalls being provided in the building.</li> <li>• Access to the parking garage will be from the alley, at the northeast corner of the property. Garbage and recycle handling will be from the alley.</li> </ul>
<p>Bicycle Parking (Minimums):</p> <ul style="list-style-type: none"> <li>• Office: 1 space per 5,000 SF</li> <li>• Hotel: .05 spaces per hotel room</li> <li>• Retail use over 10,000 SF: 1 space per 10,000 SF</li> <li>• Residential: 1 space for every 2 dwelling units</li> </ul>	<p>Bicycle Parking (Minimums):</p> <ul style="list-style-type: none"> <li>• 435 dwelling units proposed</li> <li>• 50 bicycle spaces required for first 100 units</li> <li>• 84 bicycle spaces required for remaining 335 units</li> <li>• 134 bicycle spaces required in total</li> <li>• 231 bicycle spaces proposed as shown in Bicycle Storage Room (see plans)</li> </ul>
<p>After the first 50 spaces are provided additional spaces are required at 1/2 the ratio noted</p> <p>Structures containing more than 250,000 SF of office space shall include shower facilities</p> <p>Off-street loading spaces shall be provided per 23.54.030</p>	<p>No required loading berths, but one space is provided off the alley.</p>

**23.49.022 Minimum sidewalk and alley width**

Standard	Proposed
Minimum sidewalk width on Blanchard Street, Bell Street and 8th Avenue: 12'.  Minimum alley width: 20', achievable through setback or dedication if required.	<p>Blanchard R.O.W. dimension will only allow 6 ft. sidewalk.</p> <p>8th Avenue sidewalk is being widened by moving the curb further out by 5 feet. Generously sized planters with new street trees, benches, and a courtesy strip are added. With the curbed building façade, the actual paved sidewalk ranges in width from 8 ft to 10 ft.</p> <p>Owner is legally dedicating a 2 ft wide by 26 ft high area along the Alley property line to the City to contribute towards widening the alley to a total of 20 ft, including the 2 ft dedication on the other side of the alley when that project was developed.</p>

**23.49.032 Additions of chargeable floor area to lots with existing structures.**

Standard	Proposed
Not applicable. Only applies to projects where existing structures to be retained are in excess of the applicable base FAR.	Not applicable.

**23.49.045 Parking**

Standard	Proposed
Principal use parking garages for short-term parking may be permitted as conditional use.	The proposed parking is an accessory use, not a principle use.
In DMC zones, principal use long-term and short-term surface parking may be permitted as administrative conditional use.	
Accessory parking garages for both long-term and short-term parking are permitted outright up to the maximum parking limit established by 23.49.019	There is no maximum parking limit for residential uses.

**23.49.035 Modified or discontinued public benefit feature**

Standard	Standard
All public benefit features except housing and landmark performing arts theaters shall	Not applicable - no public benefit features required or provided.
<p>A public benefit feature may be diminished or discontinued only if:</p> <ul style="list-style-type: none"> <li>• It is not housing or child care</li> <li>• Additional GFA permitted in return for the feature is removed or converted to a use that is not counted as chargeable floor area</li> <li>• An amount of chargeable floor area equal to that obtained by the feature to be replaced is provided pursuant to provisions for granting floor area above the base FAR in chapter 23.49.035</li> </ul>	
Modifications of amenity features that do not result in the diminishment or	

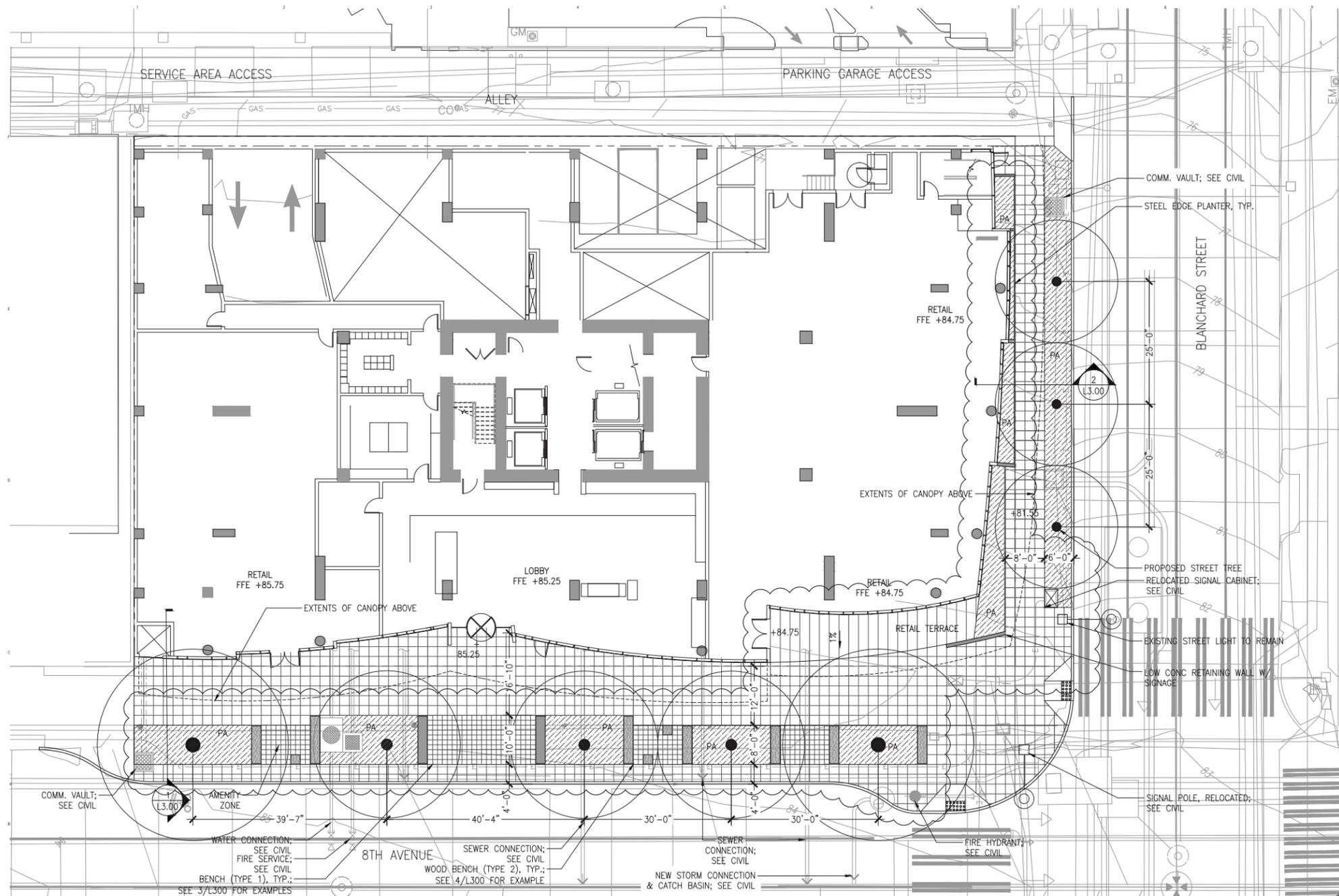
**23.49.056 street façade, landscaping and street setback requirements**

Standard	Proposed
<p>Minimum façade heights:</p> <ul style="list-style-type: none"> <li>• 8th Avenue (class II pedestrian street): 15'</li> <li>• Blanchard Street and Bell Street (green streets): 25'</li> </ul>	<p>Minimum façade heights:</p> <ul style="list-style-type: none"> <li>• Proposed façade height is well above 15 ft for this 40 story building on both streets.</li> </ul>
<p>Setbacks</p> <ul style="list-style-type: none"> <li>• The maximum setback of the facade from the street lot lines at intersections is 10 feet. Minimum conforming distance is 20 feet along each street.</li> <li>• Any exterior open space that meets amenity standards is not considered part of</li> <li>• If a sidewalk is widened into the lot as a condition of the development setback</li> </ul>	<p>Setbacks</p> <ul style="list-style-type: none"> <li>• A departure for the maximum façade setback is being requested at the street corner frontage on the 8th Avenue façade for the purpose of providing an outdoor dining terrace at the very sunny corner. See sheet A0-03.</li> <li>• All other facades conform to the maximum setback requirement.</li> </ul>
<p>Transparency and blank façade requirements:</p> <ul style="list-style-type: none"> <li>• Transparency requirements do not apply to portions of structures in residential use.</li> <li>• Along 8th Avenue (class II ped. street) 30% of street façade to be transparent between 2' and 8' above sidewalk level.</li> <li>• Along Bell and Blanchard Streets (green streets) 60% of street façade to be transparent between 2' and 8' above sidewalk level.</li> <li>• Blank facade requirements do not apply to portions of structures in residential use.</li> <li>• On 8th Avenue blank façades limited to segments 30' except for garage doors which may be wider than 30'.</li> <li>• On 8th Avenue the total of all blank façade segments shall not exceed 70% of the street façade.</li> <li>• On Blanchard and Bell Streets blank façades limited to segments 15' except for garage doors which may be wider than 30'.</li> <li>• On Blanchard and Bell Streets the total of all blank façade segments shall not exceed 40% of the street façade.</li> <li>• Blank façade sections shall be separated by transparent area at least 2' wide</li> </ul>	<p>See Sheet A-005 for Transparency Elevation Diagrams.</p> <ul style="list-style-type: none"> <li>• Ground level uses are retail and/or restaurant, except for apartment lobby.</li> <li>• Conforms to 8th Ave transparency requirement; see Sheet A-005.</li> <li>• Conforms to Blanchard Street transparency requirement; see Sheet A-005.</li> <li>• Conforms; there are no blank facades on 8th Avenue.</li> <li>• Conforms; there are no blank facades on Blanchard Street.</li> <li>• Not applicable</li> <li>• Not applicable</li> </ul>
Street Trees are required on all streets.	Street Trees are required on all streets.
<p>Landscaping in the Denny Triangle Urban village</p> <ul style="list-style-type: none"> <li>• All areas abutting a street lot line that are not covered by a structure, have a depth of 10 feet or more, and are larger than 300 SF shall be landscaped.</li> <li>• Setbacks required to meet minimum sidewalk widths shall be exempt from landscape requirements.</li> </ul>	<ul style="list-style-type: none"> <li>• Conforms - landscape strips and street trees proposed on both 8th and Blanchard</li> <li>• Proposed design favors providing landscape features and street trees over minimum sidewalk widths.</li> </ul>

**23.49.058 Upper-Level Development Standards**

Standard	Proposed
<p>"Tower" Definition</p> <ul style="list-style-type: none"> <li>• Any structure where a portion is above a height of 85 feet in a structure that has any nonresidential use above 65 feet or does not have residential use above a height of 160 feet</li> </ul>	
<p>Façade modulation and upper-level width limits apply to:</p> <ul style="list-style-type: none"> <li>• Structures 160' in height or less in which any story above 85' exceeds 15,000 SF</li> <li>• Portions of structures in non-residential use above a height of 160' in which any story above an elevation of 85' exceeds 15,000 SF.</li> </ul>	
<p>23.49.058B Façade Modulation (non-residential)</p> <ul style="list-style-type: none"> <li>• Required of street facing facades within 15' of street above 85'.</li> <li>• Maximum façade length without modulation within 15' of street lot line: <ul style="list-style-type: none"> <li>• 155' façade length from elevation 86 to 160 feet.</li> <li>• 125' façade length from elevation 161 to 240 feet.</li> <li>• 100' façade length from elevation 241 to 500 feet.</li> <li>• 80' façade length for elevations above 500 feet.</li> </ul> </li> <li>• Modulation defined as at least 15' deep step back from façade at least 60' long.</li> </ul>	<ul style="list-style-type: none"> <li>• Conforms. Only a small portion of the elliptical building's tower façade falls within the 15' area requiring modulation, and the curved shape provides more than 15' of modulation well within all maximum length requirements. This was diagrammed in the EDG Submittal on Page A-28.</li> </ul>
<p>Tower floor area limits (DMC)</p> <ul style="list-style-type: none"> <li>• Applies only to portions of structures with residential use above 160'.</li> <li>• Average residential GFA per story of a tower if height does not exceed base height limit for residential use: 10,000 SF</li> <li>• Average residential GFA per story of a tower when height exceeds base height limit for residential use: 10,700 SF</li> <li>• Maximum residential floor area of any story in a tower: 11,500 SF</li> </ul>	<p>Conforms to all floor area limits.</p> <ul style="list-style-type: none"> <li>• Maximum floor plate size in the residential tower (above 85') is 10,550 SF.</li> <li>• Average size of floor plate is 10,435 SF for this tower whose height exceeds the base height limit for residential use.</li> </ul>
<p>In DMC zones the maximum façade width for portions of a building above 85' along the general north/south axis of a site (parallel to the Avenues) is 120' or 80% of the width of the lot measured on the Avenue, whichever is less.</p>	<ul style="list-style-type: none"> <li>• Conforms. The elliptical shape of the tower creates a maximum façade width of 107'-7" measured at the occurrence of a 15' perpendicular distance from apex to face of building. That is less than 80% of the width of the lot. See Sheet A0-02.</li> </ul>
<p>Tower Separation</p> <ul style="list-style-type: none"> <li>• On DMC sites zoned with a maximum height limit of more than 160' located in the Denny Triangle Urban Village, if any part of a tower exceeds 160' then all portions of the tower that are above 125' must be separated by a minimum of 60' from any portion of any other existing tower above 125' in height. From a structure allowed pursuant to the Land Use Code in effect prior to the effective date of March 20th 2006 Ordinance 122054.</li> </ul>	<p>Tower Separation</p> <ul style="list-style-type: none"> <li>• Not applicable. The adjacent structure (Enso) from which the measurement would be taken was allowed pursuant to Ordinance 122054, the Land Use Code in effect prior to the effective date of March 20th 2006. See Page A-27 of Early Design Guidance Submittal.</li> </ul>
<p>Upper level setbacks</p> <ul style="list-style-type: none"> <li>• When a lot in a DMC Zone is located on a designated green street, a continuous upper-level setback of 15' shall be provided on the street frontage abutting the green street at a height of 45 feet.</li> </ul>	<ul style="list-style-type: none"> <li>• A departure is being requested to allow the southeast corner of the podium to project a maximum of 4' above the maximum height of 45'. Blanchard St is sloped, but is 0.5 degrees from allowing the measurement to be made at the average height, and so must follow the slope of the sidewalk. See Sheet A2-03.</li> </ul>





**LEGEND**

- PROPOSED STREET TREE
- PLANTING AREA
- STANDARD SDOT SIDEWALK-2x2 CONC PAVING
- CONC UNIT PAVERS, SAND-SET
- BENCH
- PEDESTRIAN POLE LIGHT
- STREET LIGHT
- PROPERTY LINE

- NOTES**
- IMPROVEMENTS IN THE R.O.W. ARE SHOWN FOR GENERAL INFORMATION ONLY. FINAL DESIGN AND QUANTITIES WILL BE DETERMINED AS PART OF THE STREET IMPROVEMENT PERMIT (S.I.P.) PROCESS.
  - SEE CIVIL FOR SIDEWALK AND CURB GRADES.
  - SEE ARCH. FOR FINISH FLOOR ELEVATIONS.
  - SEE ARCH. FOR OPEN SPACE CALCULATIONS.

**1 LANDSCAPE SITE PLAN**  
SCALE: 1" = 10'-0"

**SMC LANDSCAPE CODE SUMMARY**

CODE REFERENCE	CODE REQUIREMENT	STREET FRONTAGE	QUANTITY REQUIRED	EXISTING TO REMAIN	NEW	TOTAL QUANTITY
SMC 23.49.056 E.	STREET TREES REQUIRED ON ALL STREETS	8TH AVE BLANCHARD ST	NA NA	0 0	5 3	5 3

CODE REFERENCE	CODE REQUIREMENT	STREET FRONTAGE	QUANTITY REQUIRED	QUANTITY PROVIDED
SMC 23.49.056 F. 1.	LANDSCAPING IN STREET RIGHT OF WAY: SQUARE FEET OF LANDSCAPING EQUALS 1.5 TIMES LENGTH OF STREET LOT LINE	8TH AVE	270 SF (180 LF STREET LOT LINE X 1.5)	747 SF AT ROW PLANTING AREA
BLANCHARD ST		162 SF (108 LF STREET LOT LINE X 1.5)	476 ROW PLANTING AREA	

**DR 10-2011 LANDSCAPE REQUIREMENTS**

ITEM	SUMMARY OF REQUIREMENTS
SOILS	AMEND PER SEATTLE STORMWATER MANUAL (ADD 3" COMPOST INTO TOP 8" AND FINISH WITH 2"-4" MULCH)
IRRIGATION/DRAINAGE	PROVIDE FOR ALL PLANTING IN CONTAINED PLANTERS
DROUGHT TOLERANCE	PROVIDE MIN 25% DROUGHT TOLERANT PLANT MATERIAL
TREES	- REFERENCE CITY OF SEATTLE CAM 242 FOR TREES TO BE RETAINED - MIN 30" SOIL DEPTH FOR TREES IN CONTAINERS - MIN SOIL VOLUMES PER TABLE IN DR 10-2011 - MIN 1.5" CALIPER FOR NEW DECIDUOUS TREES ON PRIVATE PROPERTY - MIN 2"-2.5" CALIPER FOR NEW DECIDUOUS TREES IN R.O.W. - MIN 4' HT FOR NEW EVERGREEN TREES

ITEM	SUMMARY OF REQUIREMENTS
SHRUBS	- MIN 12" SOIL DEPTH FOR SHRUBS IN CONTAINERS - MIN 9" HT AT INSTALLATION - MIN 30" HT FOR SHRUBS INSTALLED FOR REQUIRED SCREENING - MIN 18" O.C. SPACING BETWEEN SHRUBS
GROUND COVERS	- MIN 4" POTS AT MAX 12" O.C., OR - MIN 1 GAL CONTAINERS AT MAX 24" O.C.