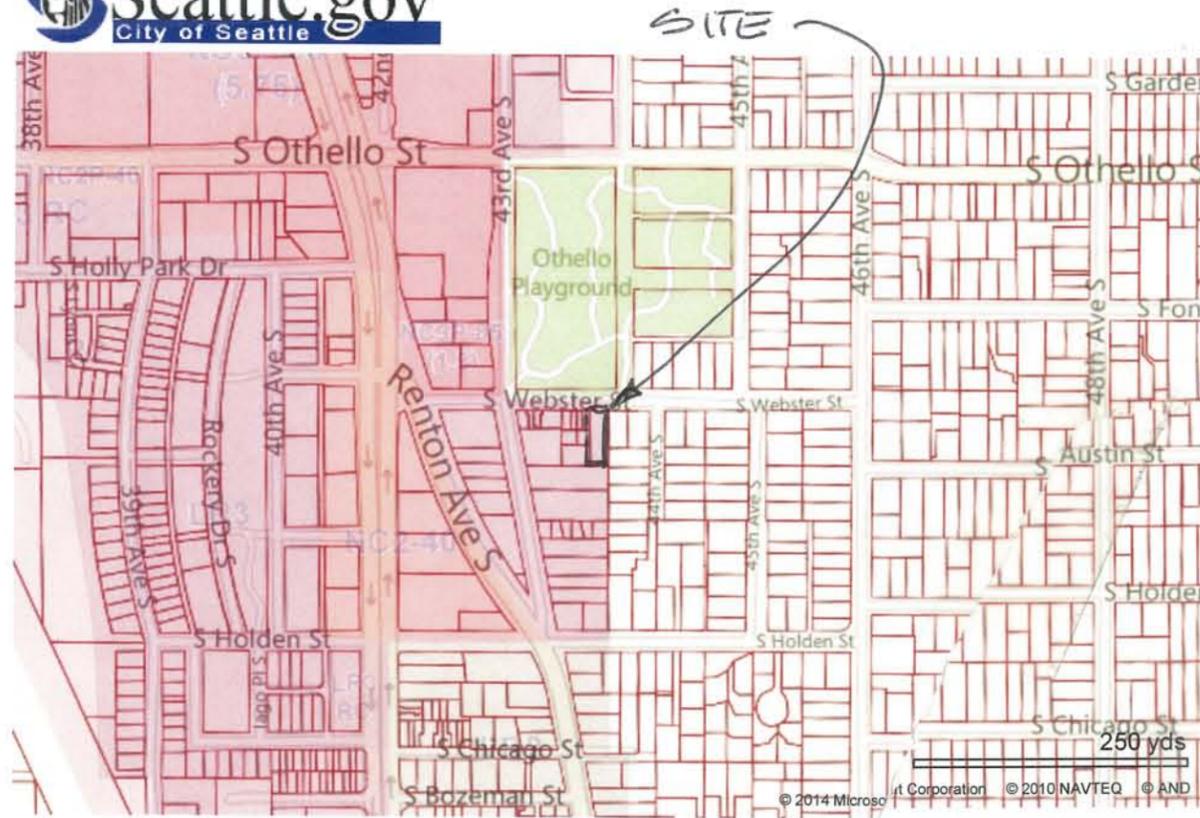


Webster St Townhomes

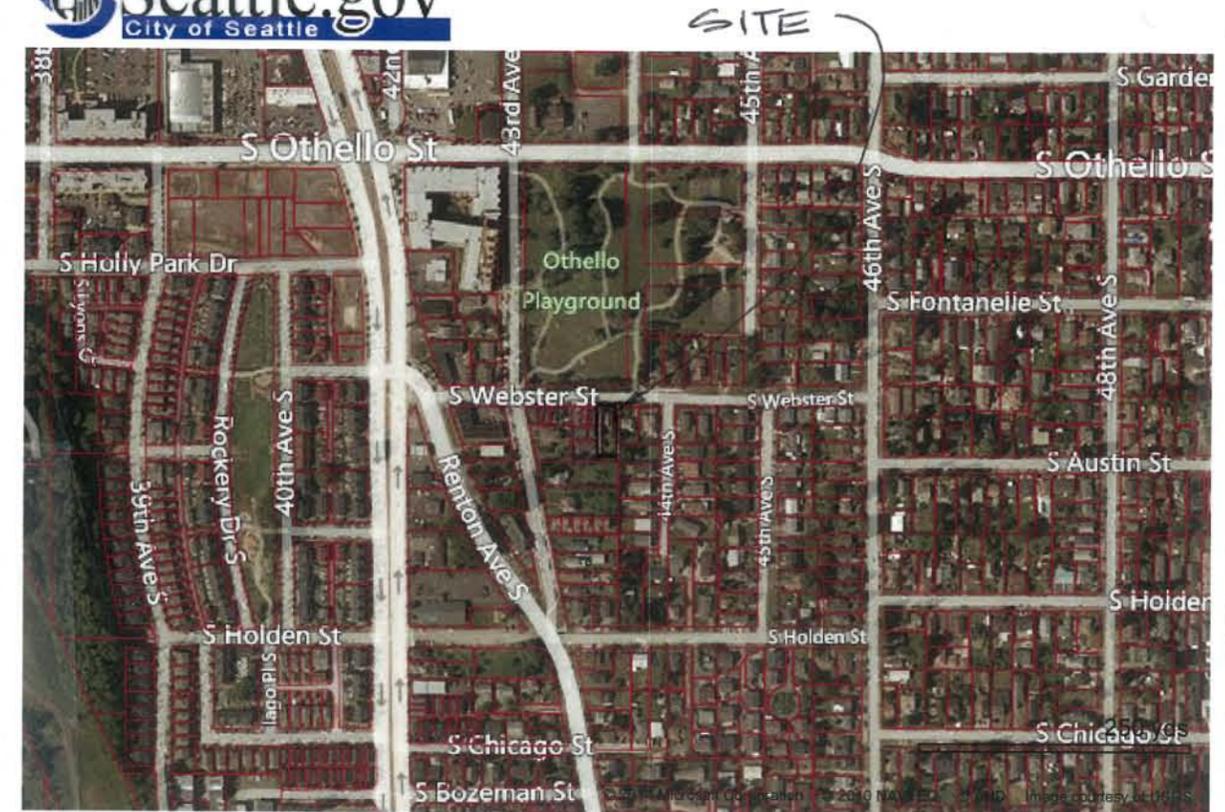


4321 S Webster St, Seattle, WA
Five Unit Townhouse Project, 3016384
D. Palmaffy Design
425-345-2530



Displaying layers:
DetailedZoning
UrbanVillages
Parcels

Colored Zoning Vicinity Map



Displaying layers:
Parcels

Aerial Vicinity Map

The site is located at 4321 S Webster St which is a lot with a single-family residence south of the Othello Playground. The Playground is a large park with open grassy areas, concrete paths, a couple of play equipment areas with climber toys and swings, a large ground slide and a ball field. The site from west to east several feet and supported by a retaining wall that is to be removed for this project. The street frontage is going to be improved with a new curb cut for access and extending the concrete sidewalk. The project is to remove this single-family residence and build five townhouses each with a one-car garage attached. The neighbor to the west is previous townhouse project and the neighbor to the east is a single-family residence.

TOPOGRAPHICAL SURVEY

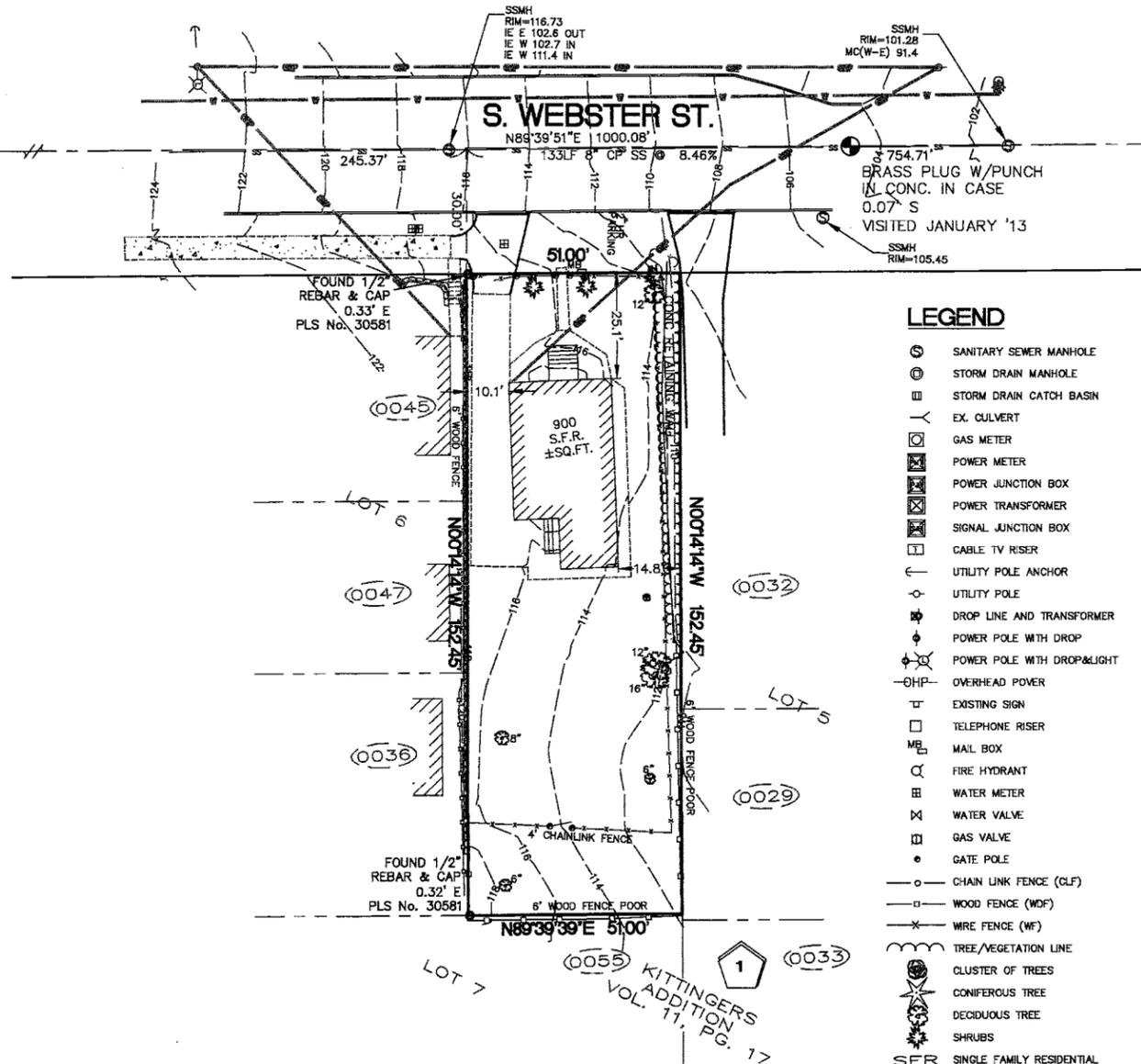
OF A PORTION OF KITTINGERS ADDITION TO CITY OF SEATTLE,
THE SW 1/4 OF THE SE 1/4 OF SEC. 27, T-24N., R-04E.,
WILLAMETTE MERIDIAN, KING COUNTY, WASHINGTON



SCALE 1 inch = 20 ft.
20 0 10 20
(IN FEET)

BRASS PLUG W/PUNCH
IN CONC. IN CASE
NOT VISITED THIS SURVEY

RENTON AVES S
N11031.4"W



BRASS PLUG W/PUNCH
IN CONC. IN CASE
VISITED JANUARY '13

S. HOLDEN ST.

BRASS PLUG W/PUNCH
IN CONC. IN CASE
NOT VISITED THIS SURVEY

46TH AVES S
(BASIS OF BEARINGS)
N0016.49"W 1339.01'
689.40'
689.61'

BRASS PLUG W/PUNCH
IN CONC. IN CASE
VISITED JANUARY '13

S. KENYON ST.

SITE INFORMATION:

SITE ADDRESS: 4321 S WEBSTER ST
SEATTLE, WA 98188
TAX ACCOUNT No.: 390410-0044

LEGAL DESCRIPTION:

REAL PROPERTY IN THE COUNTY OF KING, STATE OF WASHINGTON,
DESCRIBED AS FOLLOWS:

THE EAST 51 FEET OF LOT 6, BLOCK 1, KITTINGERS ADDITION TO THE CITY
OF SEATTLE, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 1
OF PLATS, PAGE 17, RECORDS OF KING COUNTY, WASHINGTON.

SITUATE IN THE COUNTY OF KING, STATE OF WASHINGTON.

LEGAL DESCRIPTION NOTE:

THE ABOVE LEGAL DESCRIPTION AND THIS SURVEY ARE BASED
UPON STATUTORY WARRANTY DEED, AFN 20111229002883.

NOTES:

1. CONTROLLING BOUNDARY DATA WAS OBTAINED BY ACTUAL FIELD MEASUREMENTS. ANGULAR AND LINEAR RELATIONSHIPS WERE DETERMINED WITH A NIKON DTM 330 FIVE SECOND TOTAL STATION SUPPLEMENTED WITH A STEEL TAPE.
2. ALL CENTERLINE CONTROL MONUMENTS SHOWN ON THIS RECORD OF SURVEY WERE VISITED IN FEBRUARY, 2013.
3. THE SURVEY ACCURACY FOR THIS SURVEY MEETS OR EXCEEDS THE REQUIREMENTS OF WAC 332-130-090.
4. THIS SURVEY WAS COMPLETE WITHOUT BENEFIT OF A CURRENT TITLE REPORT. EASEMENT AND OTHER ENCUMBRANCES MAY EXIST ON THIS PROPERTY THAT ARE NOT SHOWN HEREON.
5. ALL STRUCTURES (BUILDINGS) TIES AND FENCES TIES SHOWN HEREON ARE APPROXIMATE AND CAN NOT BE USED TO ESTABLISH PROPERTY LINES.
6. THIS SURVEY DOES NOT PURPORT TO SHOW ALL FENCES AND/OR ALL OTHER SIGNS OF OCCUPATION OR POSSESSION.
7. EXISTING, POSSESSION, I.E., FENCES, SHEDS, DRIVEWAY, ETC. MAY HAVE PRIOR RIGHTS. DO NOT REMOVE THEM WITHOUT LEGAL ADVICE.
8. THE TOPOGRAPHIC SURVEY SHOWN HEREON WAS PERFORMED IN FEBRUARY OF 2012. THE FIELD DATA WAS COLLECTED AND RECORDED ON MAGNETIC MEDIA THROUGH AN ELECTRIC THEODOLITE. THE DATA FILE IS ARCHIVED ON DISC OR CD. WRITTEN FIELD NOTES MAY NOT EXIST.
9. UTILITIES OTHER THAN THOSE SHOWN MAY EXIST ON THIS SITE. ONLY THOSE UTILITIES WITH EVIDENCE OF THEIR INSTALLATION VISIBLE AT THE GROUND SURFACE ARE SHOWN HEREON. UNDERGROUND UTILITIES SHOWN HEREON MAY HAVE BEEN TAKEN FROM THE PUBLIC RECORDS AND ARE APPROXIMATE ONLY. GEODETIC SURVEYING SERVICES ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF PUBLIC RECORDS.

REFERENCES:

1. KING COUNTY ASSESSORS MAP OF SE 27-24-4.
2. CITY OF SEATTLE QUOTER SECTION MAP 153.
3. PLAT OF KITTINGERS ADDITION TO THE CITY OF SEATTLE VOL. 1 PG. 17.
4. RECORD OF SURVEY REC. No. 20080225900016
5. RECORD OF SURVEY REC. No. 1999020290008
6. RECORD OF SURVEY REC. No. 20061213900013
7. RECORD OF SURVEY REC. No. 20080225900016
8. RECORD OF SURVEY REC. No. 20080806900018



DATUM
NAVD88

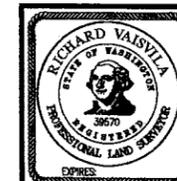
BENCHMARK

2" BRASS CAP
3639-1702 LS33128
S OF CL S WEBSTER ST. TO THE
WEST AND 5.7 FT W OF
WESTERLY S.T. RAIL ALONG
MARTIN LUTHER KING jr WY S
ELEV. = 127.201

LEGEND

- ⊙ SANITARY SEWER MANHOLE
- ⊙ STORM DRAIN MANHOLE
- ⊙ STORM DRAIN CATCH BASIN
- ⊙ EX. CULVERT
- ⊙ GAS METER
- ⊙ POWER METER
- ⊙ POWER JUNCTION BOX
- ⊙ POWER TRANSFORMER
- ⊙ SIGNAL JUNCTION BOX
- ⊙ CABLE TV RISER
- ⊙ UTILITY POLE ANCHOR
- ⊙ UTILITY POLE
- ⊙ DROP LINE AND TRANSFORMER
- ⊙ POWER POLE WITH DROP
- ⊙ POWER POLE WITH DROP & LIGHT
- ⊙ OVERHEAD POWER
- ⊙ EXISTING SIGN
- ⊙ TELEPHONE RISER
- ⊙ MAIL BOX
- ⊙ FIRE HYDRANT
- ⊙ WATER METER
- ⊙ WATER VALVE
- ⊙ GAS VALVE
- ⊙ GATE POLE
- ⊙ CHAIN LINK FENCE (CLF)
- ⊙ WOOD FENCE (WDF)
- ⊙ WIRE FENCE (WF)
- ⊙ TREE/VEGETATION LINE
- ⊙ CLUSTER OF TREES
- ⊙ CONIFEROUS TREE
- ⊙ DECIDUOUS TREE
- ⊙ SHRUBS
- ⊙ SFR SINGLE FAMILY RESIDENTIAL
- ⊙ ROCKERY
- ⊙ EDGE OF PAVEMENT
- ⊙ GRAVEL
- ⊙ CONCRETE

3



GEODETIC SURVEYING SERVICES
P.O. BOX 3488
RENTON, WA 98056
PHONE: (425) 299-1739

CLIENT
DAVID GABRIADZE
4321 S WEBSTER ST
SEATTLE, WA 98118
PROJECT
CITY OF SEATTLE
TOPOGRAPHICAL SURVEY

DATE 02/18/13
SCALE 1"=20'
DWG 213SE1
JOB# 213SE1
DRAWN BY R
APPROVED RV
SHEET 1 of 1



Western Half of S. Webster St Facing North



Eastern Half of S. Webster St Facing North



Site Location

Western Half of S. Webster St Facing South



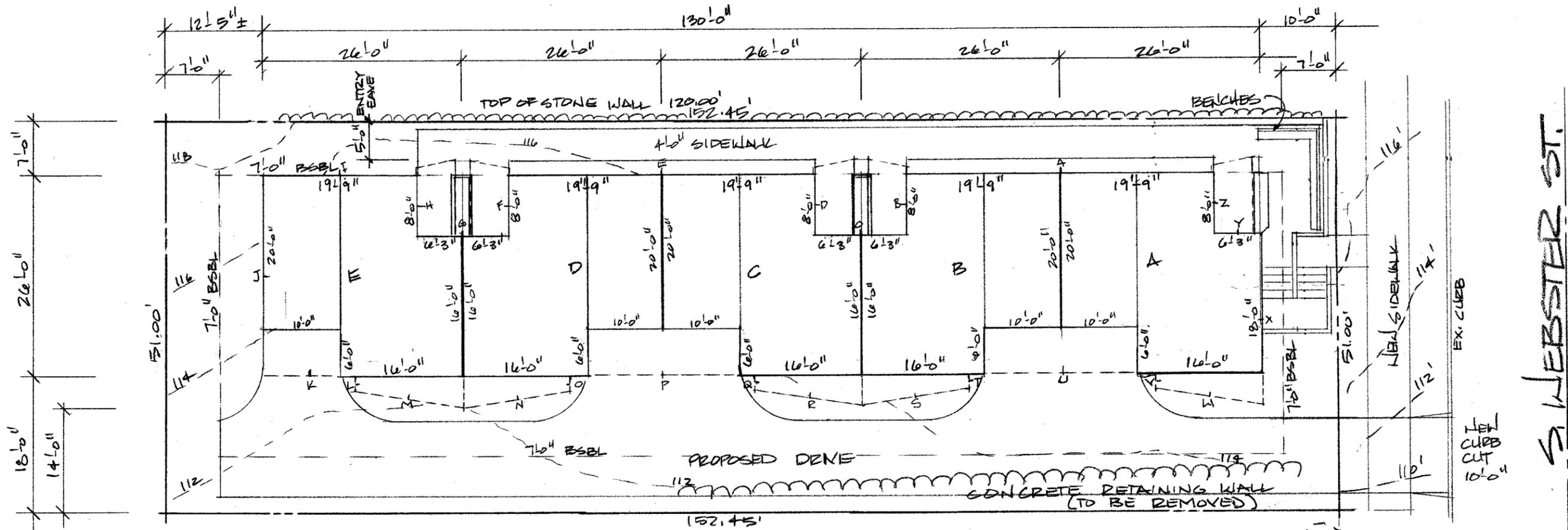
Site Location

Eastern Half of S. Webster St Facing South



Eastern Bird's Eye View

This view orientation clearly shows the roof top deck area and the small roof top garden. This view also shows the strong modulation of the upper floor for both the east and west elevations. The landscaping shown will be complimented by a 6 foot tall wood fence to be located on the east, south and west property lines. Also the roof pitches for the master bedroom show the tie to the neighboring structures while also having a strong modern design. The roof pitch on the north end (right) reduces the structure's impact on the street front allowing for greater pedestrian curb appeal.



**Average Building Elevation
Webster Street Townhomes**

Wall	Length	Elevation	Product
A	39.50	116.25	4591.88
B	8.00	116.25	930.00
C	12.50	116.00	1450.00
D	8.00	116.10	928.80
E	39.50	116.00	4582.00
F	8.00	115.00	920.00
G	12.50	114.50	1431.25
H	8.00	115.00	920.00
I	19.75	115.75	2286.06
J	26.00	115.25	2996.50
K	12.00	112.75	1353.00
L	2.00	112.50	225.00
M	14.25	112.10	1597.43
N	14.25	112.25	1599.56
O	2.00	112.75	225.50
P	24.00	113.25	2718.00
Q	2.00	113.75	227.50
R	14.25	114.00	1624.50
S	14.25	114.10	1625.93
T	2.00	114.25	228.50
U	24.00	115.00	2760.00
V	2.00	115.50	231.00
W	14.25	115.25	1642.31
X	22.00	115.75	2546.50
Y	6.25	116.10	725.63
Z	8.00	116.25	930.00

Totals 359.25 41296.84

41296.84

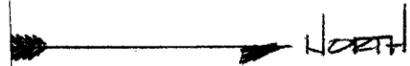
359.25

114.95

A.B.E.

SITE LAYOUT

SCALE: 1" = 10'-0"

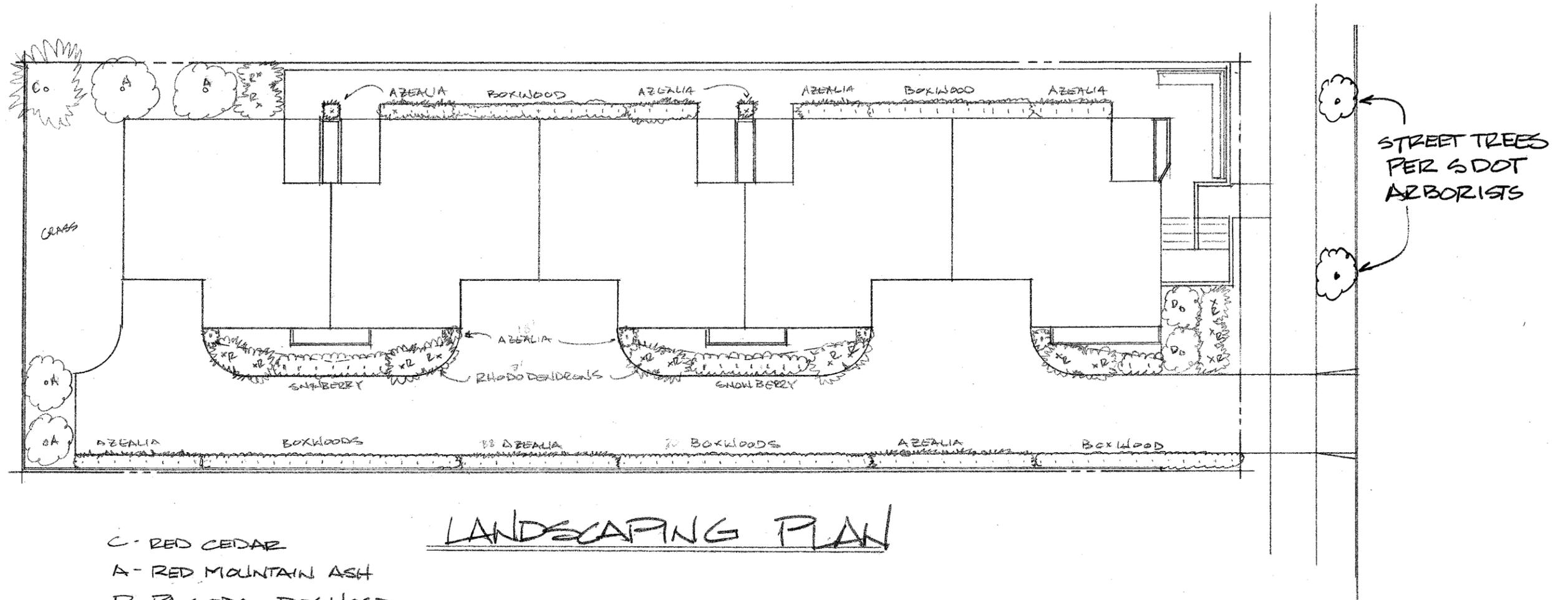


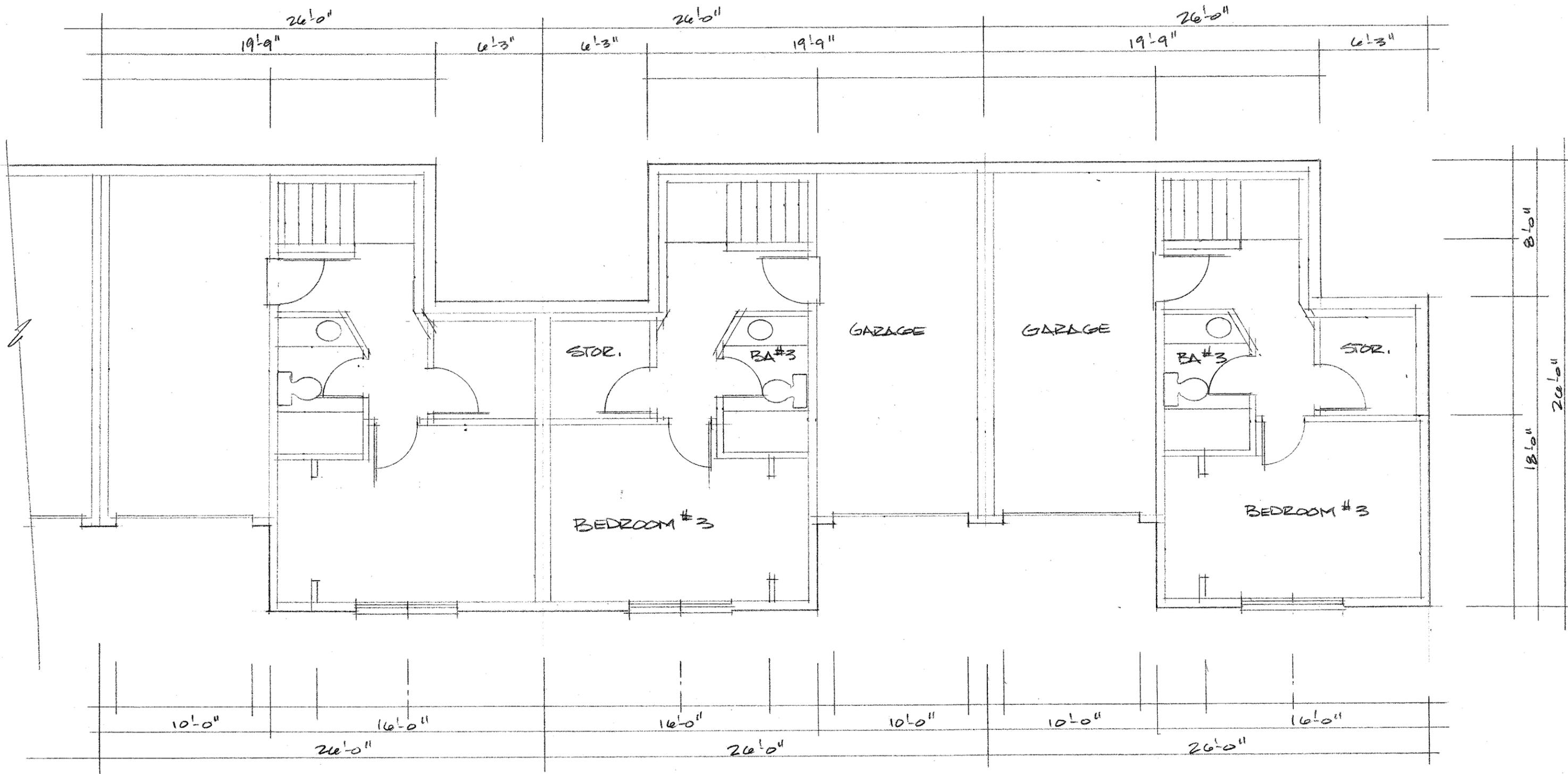
LEGAL DESCRIPTION

EAST 5 FT OF LOT 6,
BLOCK 1, KITINGERS ADD,
390410-0044
ZONE: LR2

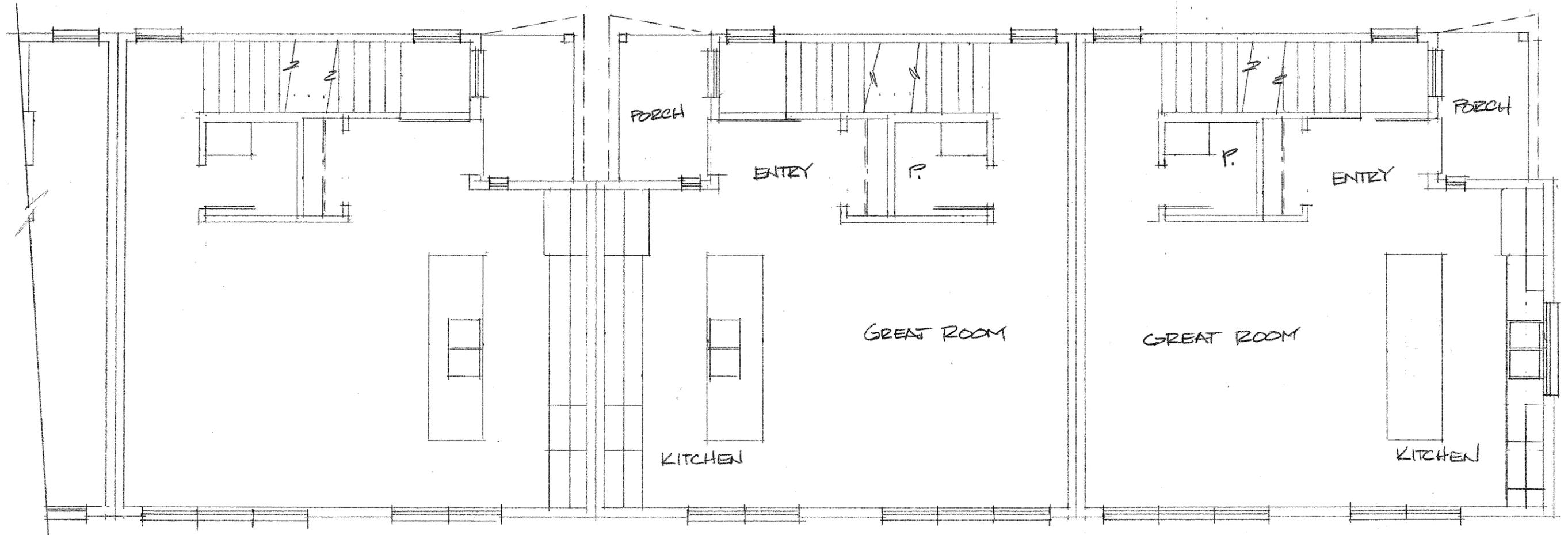
LOT AREA

LOT AREA: 7715 SF
ALLOWED DENSITY:
1/1600SF OR
NO LIMIT

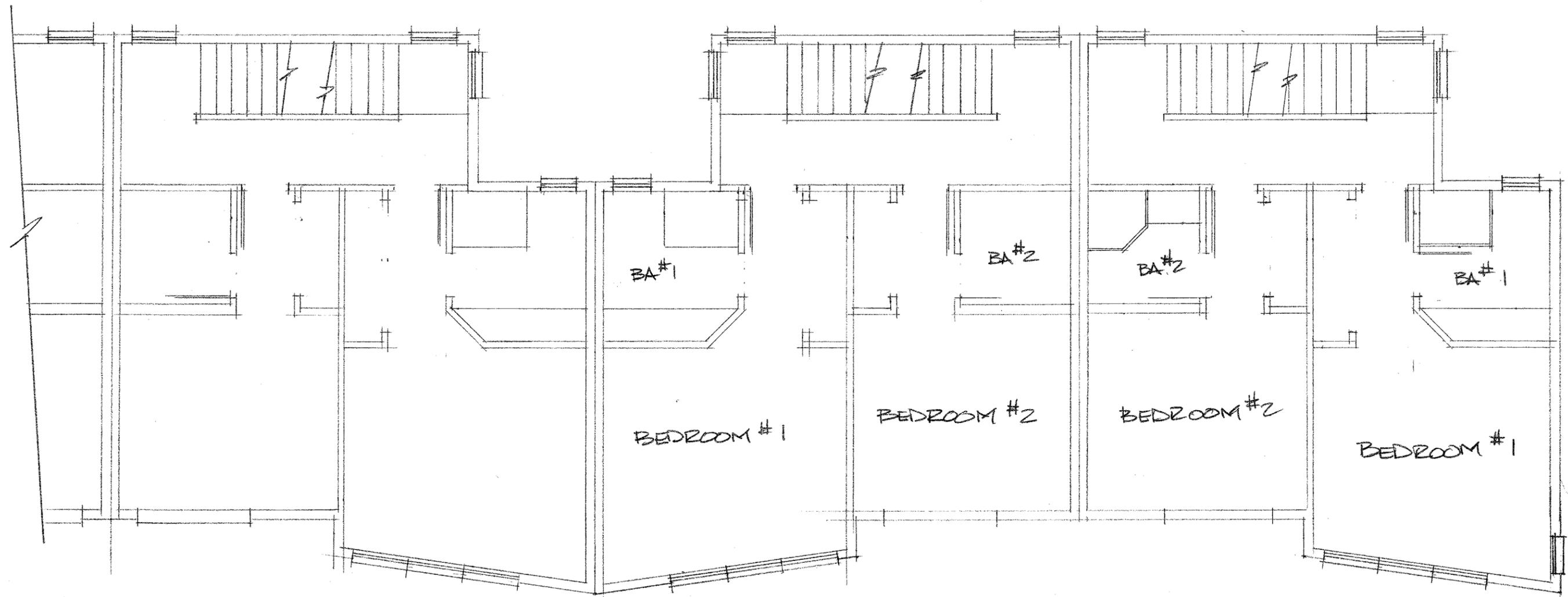




LOWER FLOOR



MAIN FLOOR



UPPER FLOOR



EAST ELEVATION
SCALE: 1/4" = 1'-0"

Citywide Design Guidelines

Site Planning

A-1	Respond to Site Characteristics	The site sits slightly above the street level and presents an opportunity for interestingly landscaped entries.	<i>Site grading and proposed daylight basement move the vehicular access to the east and allows for the pedestrian access to be uphill allowing for landscaping to divide and enhance the entrances.</i>
A-2	Streetscape Compatibility	Street is undergoing redevelopment. Scale architecture of fit within the eclectic mix of styles. Design should take advantage to views of their park.	<i>The proposal is a modern contemporary design that combines sloped roof with flat roof top decks and a variety of siding elements. The first townhouse takes advantage of views of the park along with a planned amenity area set up to overlook the park.</i>
A-3	Entrances visible from the street	Entrances of front units should be clearly visible from the street level. All other units not facing the street should be accessed by a clearly identifiable path from the street right-of-way.	<i>The first unit of the townhouses has the front door and porch facing the street. There is a planned stair to lead from the sidewalk to the main walkway leading to the other townhouse entrances and to an amenity area.</i>
A-5	Respect to Adjacent Sites	Be mindful of existing pattern of windows and open spaces on the existing structures east and west of the site to minimize the intrusion on the privacy of these residents.	<i>Immediately to the west are three story townhouses. We are proposing two stories facing west with stair penthouses that are arranged to give strong view corridors. Also the townhouses are set back 7'-0" from the west property line. To the east is a single family residence and we are 15'-0" or more away from the east property line.</i>
A-6	Transition between Residence and Street	Consider the use of terracing and native vegetation to create semi-private spaces for the residences facing the street.	<i>Even though we are set back farther than what is required by code the site conditions make creating a private area for the street facing unit difficult. We felt it was more important to create an amenity area over a single use private area.</i>
A-7	Residential Open Space	Provide detail on treatment of proposed open space areas. Show the space as usable, attractive, and well-integrated into the overall design.	<i>Each residence has a private open space in the form of a roof top deck and garden. These are accessed by stair penthouses and divided from the neighbor by parapets and roof structure. Along with these private spaces there are two amenity areas that are for use by all of the residences at the north and south ends of the property.</i>

Height, Bulk and Scale

B-1	Height, Bulk and Scale Compatibility		<i>The proposed structure is only 30 feet wide compared to the existing lot width of 51 feet. There is modulation on both the east and west facades. Also the townhouses are well below the allowed height limits.</i>
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Architectural Elements and Materials

C-1	Architectural Content	Street façade should be sensitive to existing street elevation and slope.	<i>The proposed development is using the original slope of the land to create the daylight basement design with the vehicular access at the downhill side. The existing east property line retaining wall and fill dirt is to be removed to accommodate the design.</i>
C-4	Exterior Finish Materials	High quality, durable materials should be utilized on facades facing pedestrian environments and adjacent structures.	<i>The proposed townhouse complex is using four different siding materials or surfaces. Facing the street all four elements are in used: 7" exposed lap siding, panel siding, vertical wood siding and concrete surfacing. The neighbors east and west will see the first three siding elements.</i>
C-5	Structured Parking Entrances	Proposed parking entrances should be visually minimized.	<i>The entrances to the separate garages are on the downhill side of the structure facing east and set back from the main east wall 6'-0".</i>

Pedestrian Environment

D-3	Retaining walls	If retaining walls are used consider multiple low level terraces to complete grade transition.	<i>The retaining walls being used are for the stairs leading to the entrances and a larger retaining wall for creating the amenity area overlooking the park.</i>
D-6	Screening of Dumpsters Utilities and Service	Incorporate solid waste and recycling storage space into overall design. Space should be located of the street front and screened.	<i>Each of the townhouses will separately take care of their own solid waste and recycle storage. The garages were designed with enough room for these items.</i>
D-7	Pedestrian Safety	Lighting installed for pedestrians should be hooded or directed to pathways leading towards buildings. Where possible utilize OPTED design techniques to create defensible spaces. Use of lighting, building placement and windows can encourage natural surveillance for building residents.	<i>The main pedestrian path for the entrances is lighted from entry porches and wall sconces located on the stair walls. Also the stairs and the entrances look out over the walkway with windows at each landing. Pedestrians using the driveway have lighting from the garage entrances and the numerous windowson each level of the townhomes.</i>

Landscaping

E-1	Landscaping to Reinforce design Continuity w/ Adjacent Sites	Retain existing mature landscaping where possible on perimeter of site to maintain privacy for adjacent sites. Sidewalk will be required.	<i>There are no existing mature trees on the site worth keeping except for two trees on the east property line that will be significantly disturbed by the removal of the retaining wall. The west line has existing wood fence installed by the west neighbor. The east line will have a wood fence installed to replace the retaining wall. All trees are to be new.</i>
E-2	Landscaping to Enhance the Building and/or Site.	Utilize landscaping green factor zoning requirements to enhance the building and/or site by creating visual barriers to adjacent structures or creating inviting suable spaces in the front setback and in the interior separation.	<i>The landscaping planned for the entrance of the property was designed for the appeal of the site while not dominating the pedestrian on the sidewalk. The larger plantings were located toward the south end of the lot were placed to help terminate the pedestrian or vehicular paths with soft barriers. The planters at the entrances and the plantings along the driveway are to enhance the beauty of native plants.</i>

This Site is zoned LR2. The lot area is 7775sf which allows for one unit per 1600sf or no limit if the units meeting parking and green designations. Since this project is pursuing a green designation we are allowed the higher FAR allowance of 1.2. This means the allowed buiding area is 9330sf. This proposal area is 8826sf including garages.



Street (North) View

This street view shows the north elevation of the townhomes. The siding and color differentiation along with the pedestrian access to the front doors reduces the impact of a vertical façade wall. The top of the stairs is an amenity area for the owners of the townhomes which overlooks the large park across the street. The narrowness of the building also reduces the impact on the street.



View from the
SE corner

View from the
NE corner





East
Northeast
view

East
Southeast
view





Northwest
view

Southwest
view





Southeast
bird's eye
view

Northern
bird's eye
view





West Elevation

This western elevation demonstrates the view corridors over the building that emphasizes the minimalism of the roof structure. The stair penthouses are reduced to the minimal allowed by code to access the private amenity areas on the roof. The strong element of the master bedroom's bold statement is reflected here in the bold color being shown on this side of the elevation. Another factor that reduces the impact is the strong modulation of the structure and the fact that the closest wall is 7 feet away from the property line.



East Elevation

This elevation shows the downhill view of the townhomes. They may look tall but because they are 18 feet away from the eastern property line, the neighbor has plenty of afternoon sun. This elevation also shows the dynamic element of the upper floor cantilever and pitched ceiling emphasized by the bolder exterior color.



Play Area (South) View

This south elevation the main amenity area that would be a play area for the children. Its proximity to the driveway allows for easy access for the owners and because it is located deep inside the lot it provides security for the parents and kids. This elevation also shows some of the proposed trees for the site which allows for color and a strong sense of the seasons. The deciduous trees were chosen because of their slow growth and maximum canopy which stays reduced and columnar.