



120 24th Ave East Madison Valley, Seattle

EARLY DESIGN GUIDANCE PACKET
PLAYHOUSE DESIGN GROUP
DECEMBER 23, 2013 | DPD# 3016380



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PROJECT INFORMATION

ADDRESS: 120 24th Ave E, Seattle, WA 98112
 DPD #: 3016380 \ 6388095
 OWNER: Playland, LLC
 APPLICANT: Playhouse Design Group, LLC
 CONTACT: Yueann Wu

PROJECT PROGRAM

BUILDING TYPE: Townhouses (2 structures)
 UNIT COUNT: 4 (2 in each structure)
 UNIT SIZES: Approximately 1400 sf
 ABV.-GROUND STORIES: 3 + Penthouse
 PARKING STALLS: 4 (Madison-Miller urban village)
 APPROX FAR: 8400sf (FAR of 1.2 used),
 Priority Green
 LOT SIZE: 6,000 sf

PROJECT OBJECTIVES

The proposed site's current use is a single family residence. It is approximately 6000 square feet in LR2 zone. The property is located at the mid-block between E John Street and E Denny Way on 24th Avenue. The project is proposed to demolish the existing single family structure and to construct 2 structures, each with 2 townhouses (total 4 units), in the Madison-Miller Residential Urban Village. The proposed structures will be three stories tall with 4 open space parking access from alley.

The proposed project is to achieve a minimum of 4-Star Build Green certification to maximize building sustainability performance.

Madison-Miller Residential Urban Village areas are in a higher dense living with many neighborhood shopping, dining and services within walking distance. We are proposing a pedestrian friendly design to accommodate the sense of community with a modern architectural solution.



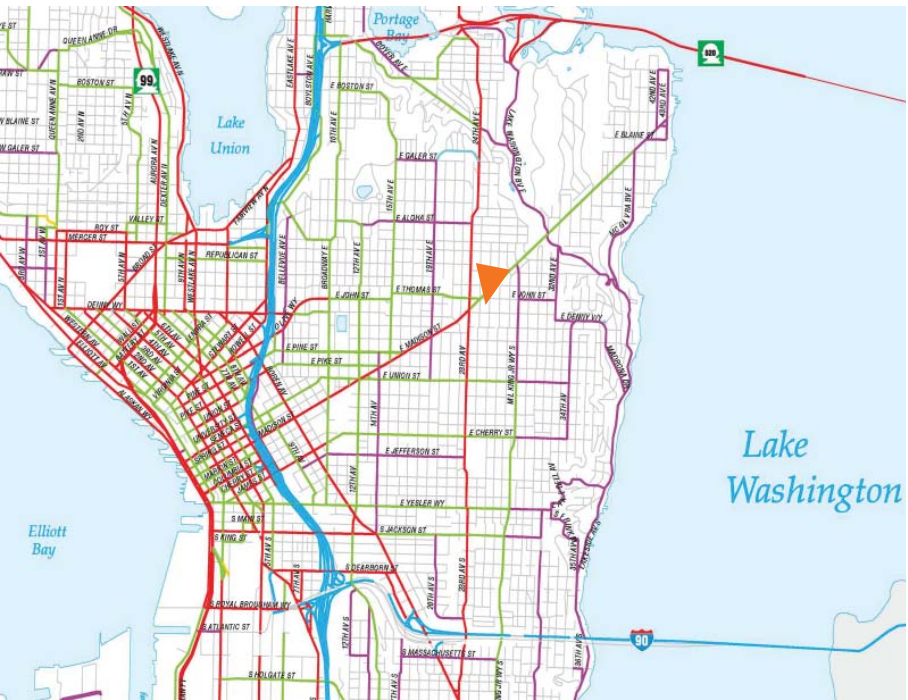
VOILA RESTAURANT



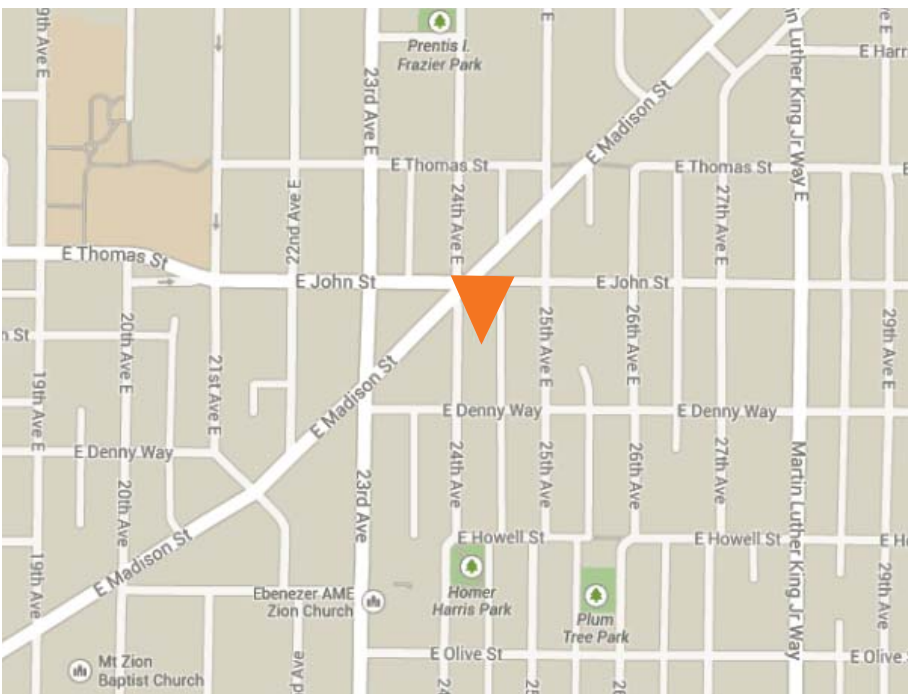
CITY PEOPLE'S NURSERY



JAPANESE GARDEN



Seattle Vicinity Map



Neighborhood Vicinity Map



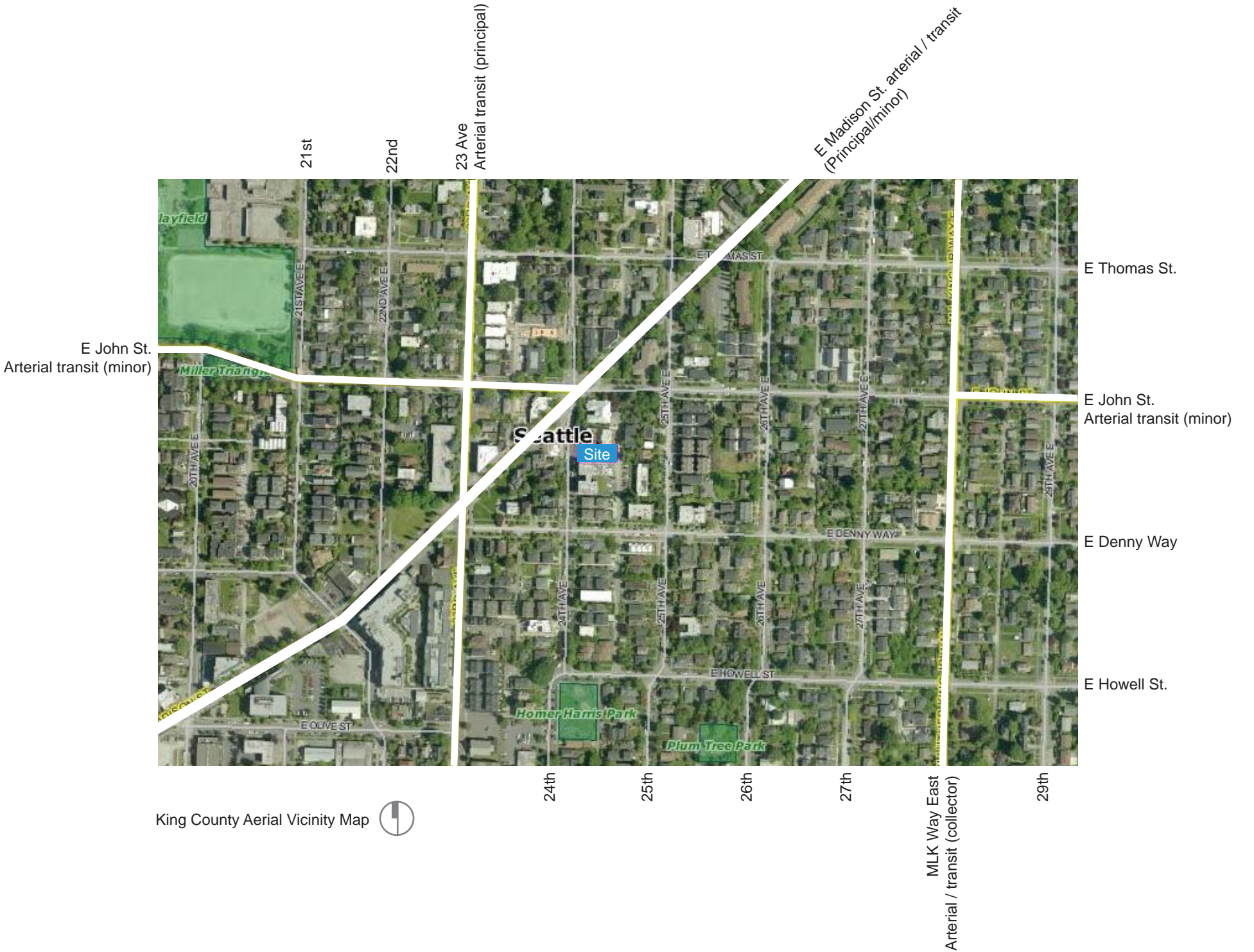


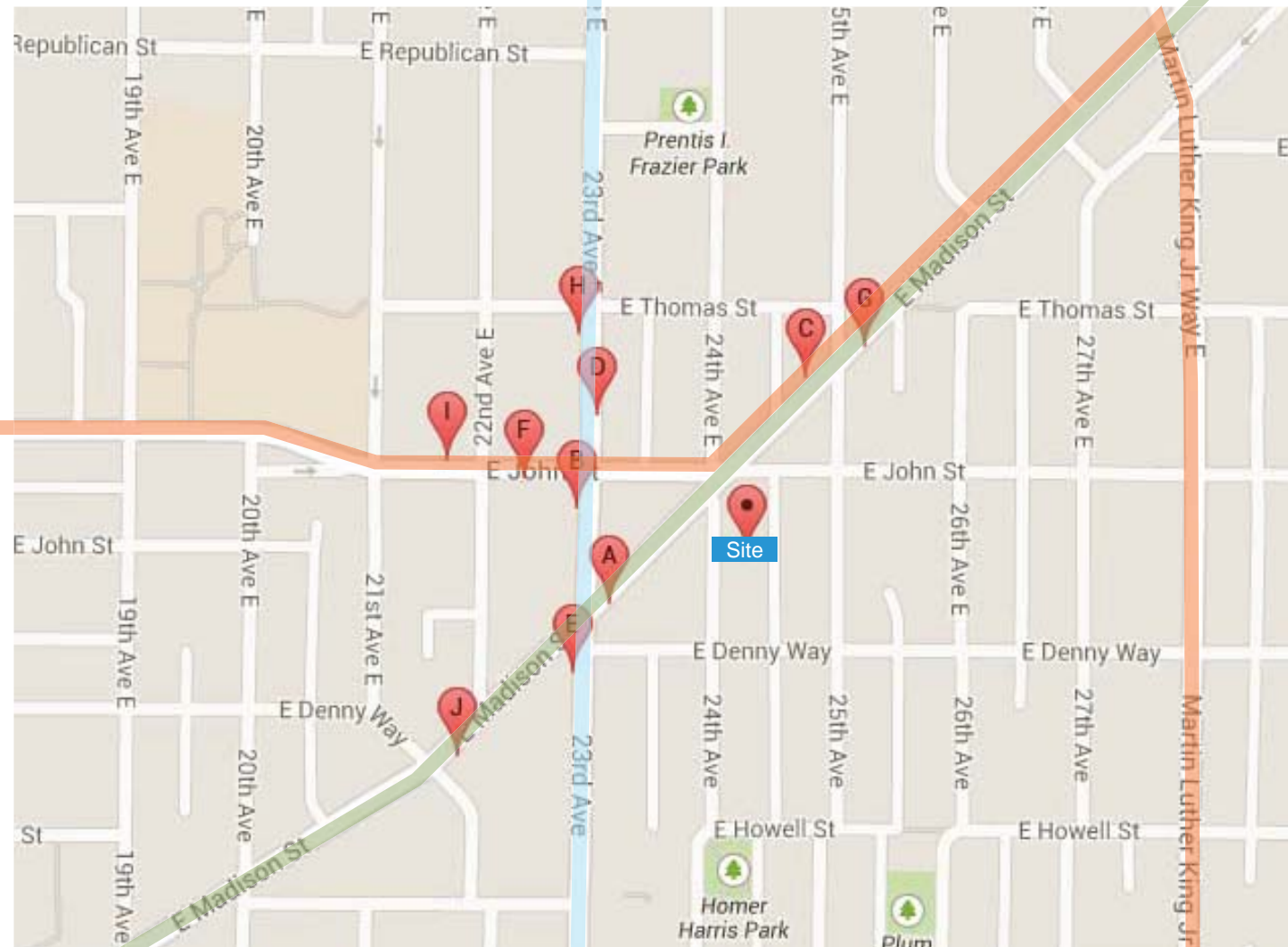
DPD GIS Map showing Detailed Zoning Site

ZONING INFORMATION

ZONE: LR2
OVERLAY: Madison-Miller Residential Urban Village
TRANSIT: Frequent Transit Corridor
STREETS: Madison & 23rd are Arterial
24th, E Denny & E John are Access Street

Lot 6 faces 24th Ave with an alley to the rear. It is located in lowrise LR2 zone, and the neighbor lots to the North, South and East all also in lowrise LR2 zone. The lot across the site is located in NC2-40 zone. The lot is also located in the overlay of Madison-Miller Residential Urban Village.





SEATTLE CITY BUS MAP

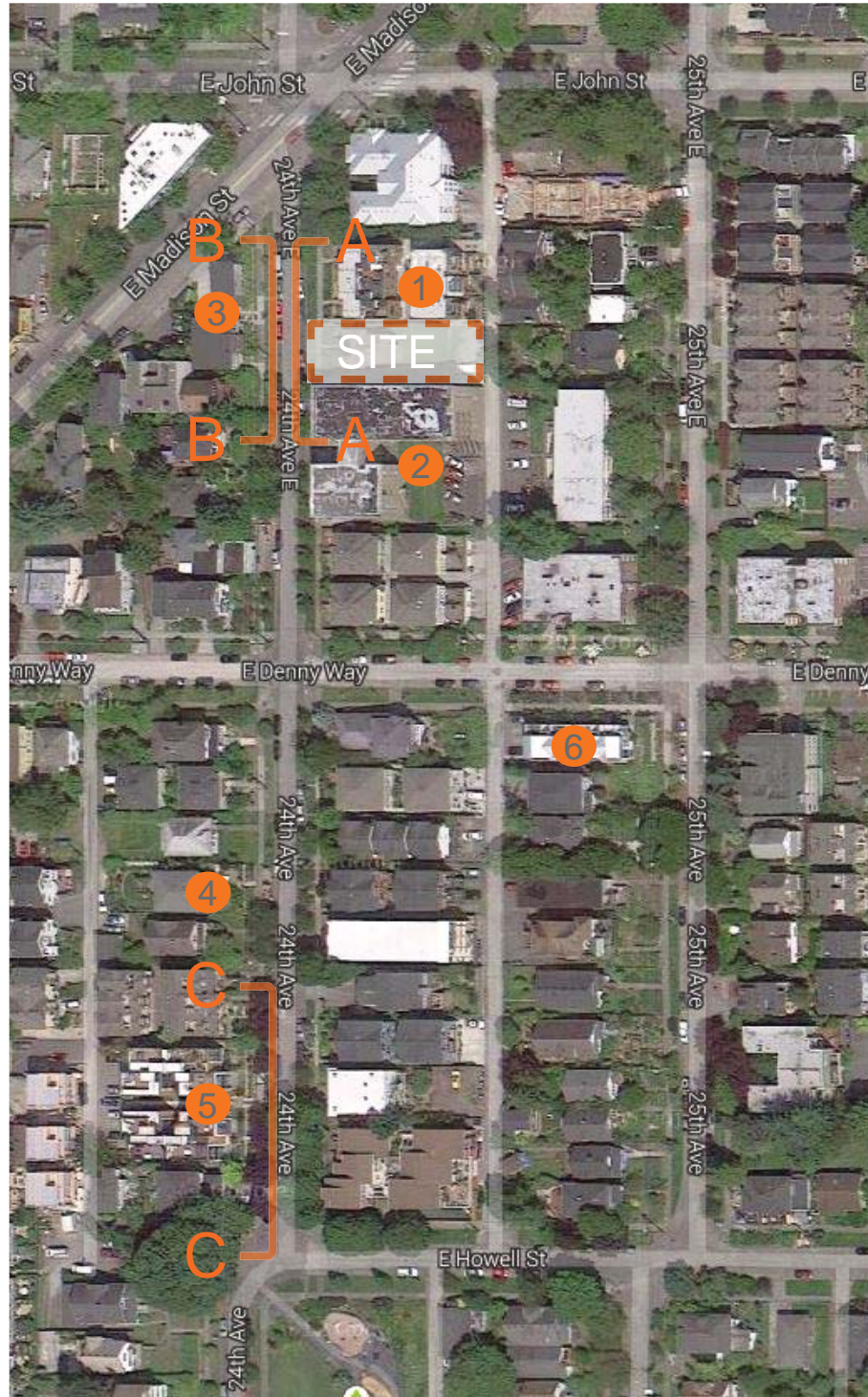


bike routes

BIKE ROUTES MAP

The proposed project is located in an area with access to several public transit routes within 1/2 mile radius. Seattle is building a network of neighborhood greenways, a safer pedestrian walk or bike street, which helps the growth of local shopping and services. Madison Valley is also the main focus that will provide the future Seattle Greenways.





VICINITY MAP



1 Duplex to the North



3 SFR across from the site



5 Townhomes one block to the south



2 Apartment Complex to the South



4 new construction one block from the site to the south



6 townhomes one block around the corner to the SE



24th Ave East



OUR SITE

24th Ave East

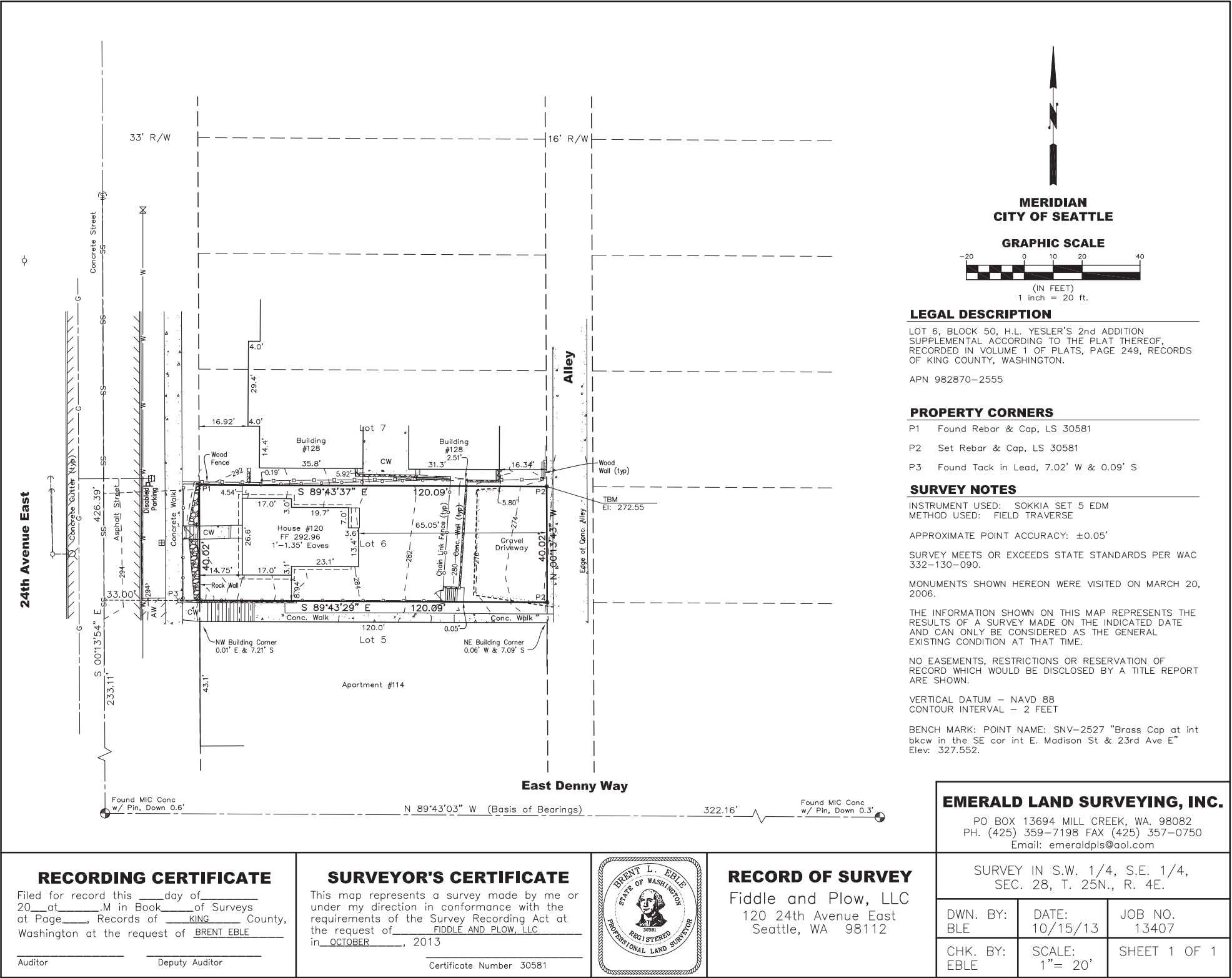


ACROSS OUR SITE

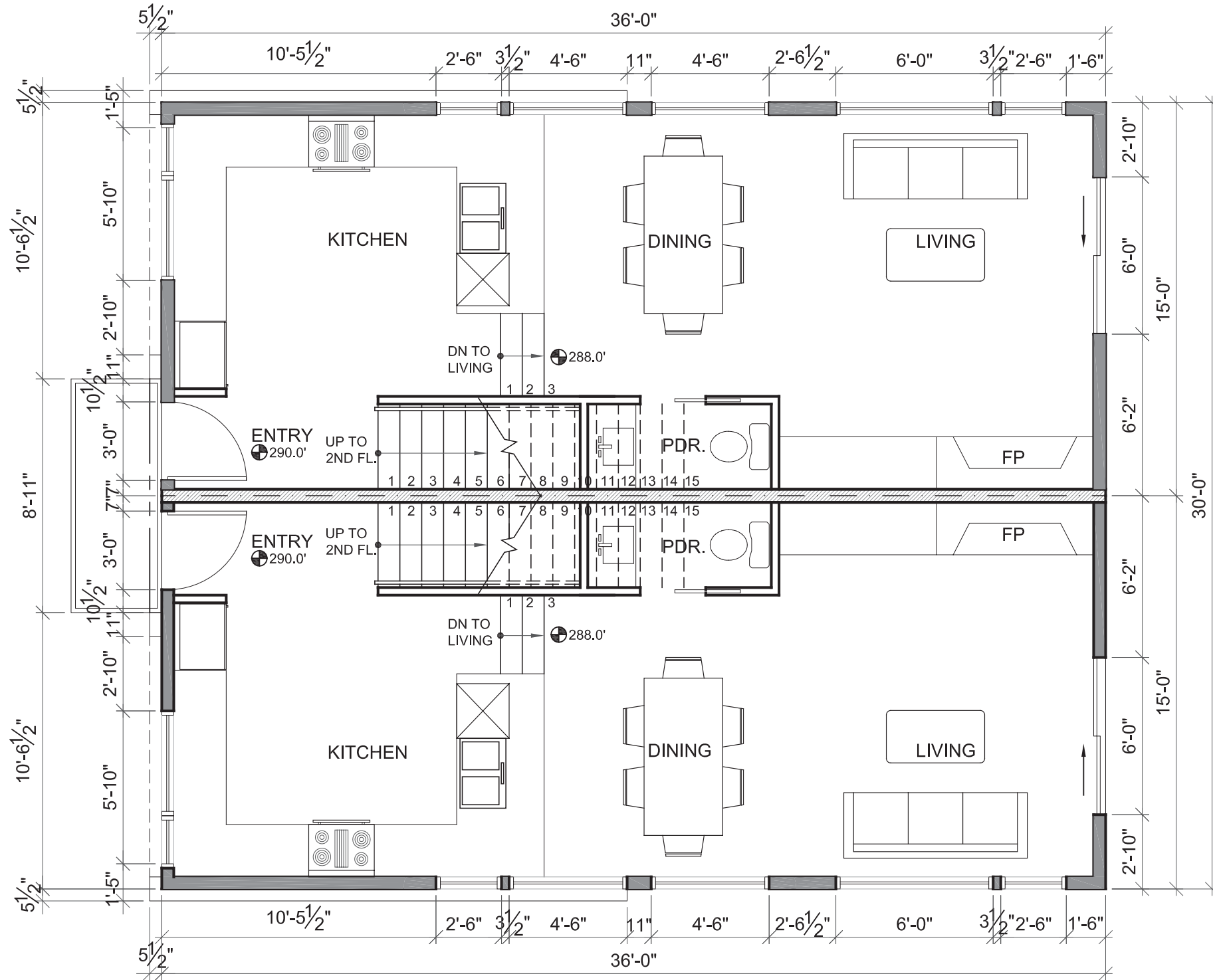
24th Ave East



ONE BLOCK TO THE SOUTH OUR SITE

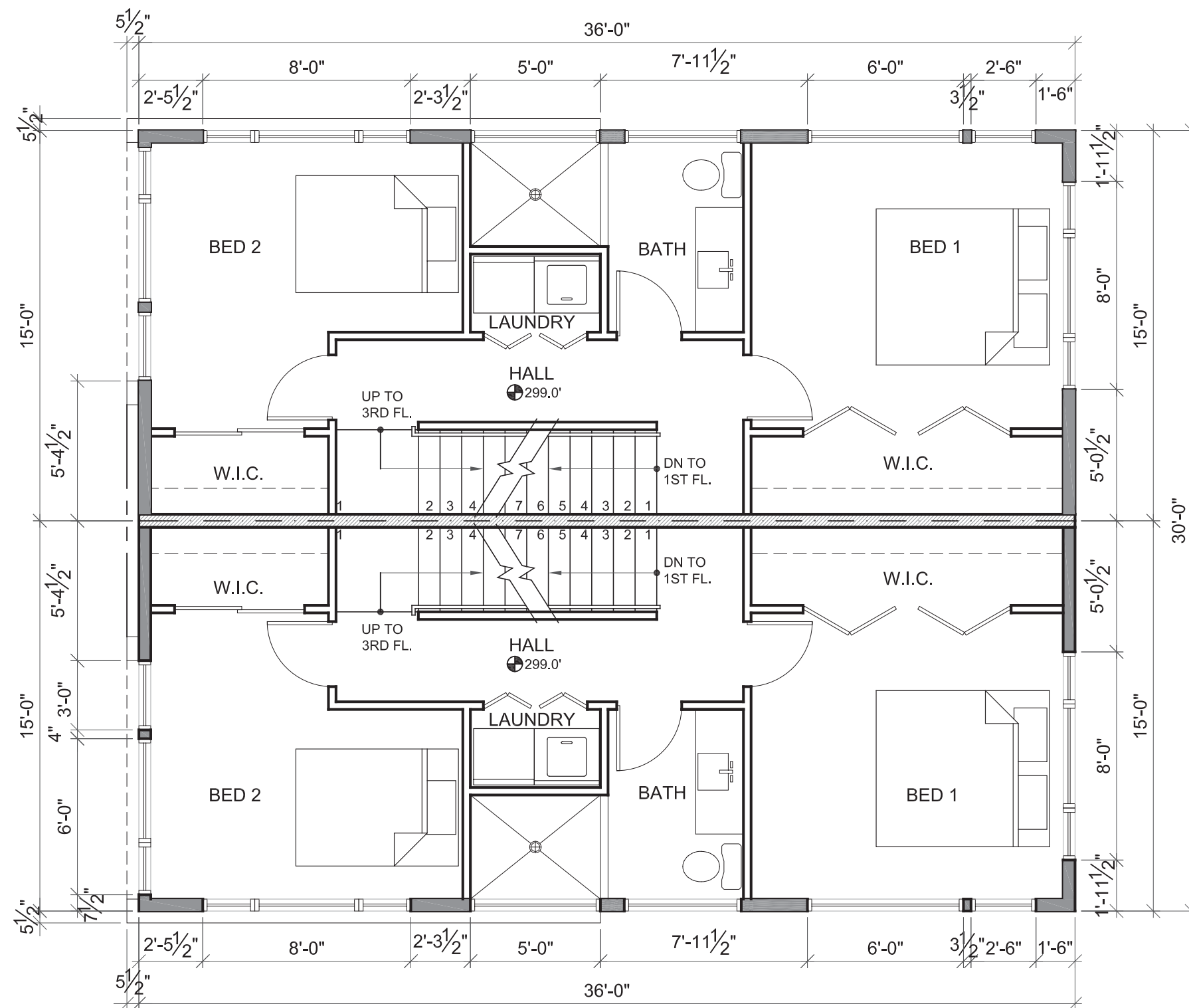






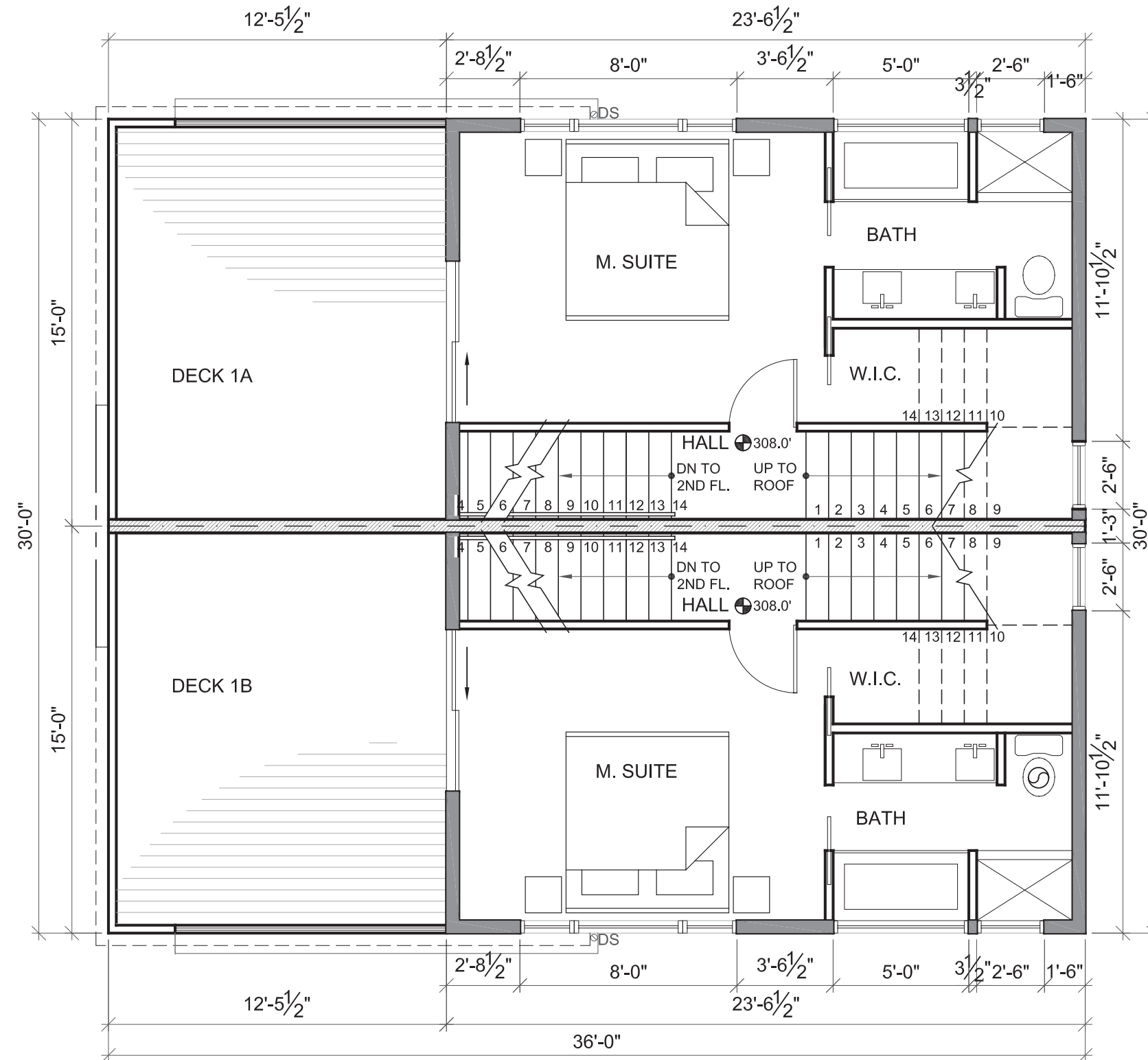
DUPLEX 1 FIRST FLOOR PLAN





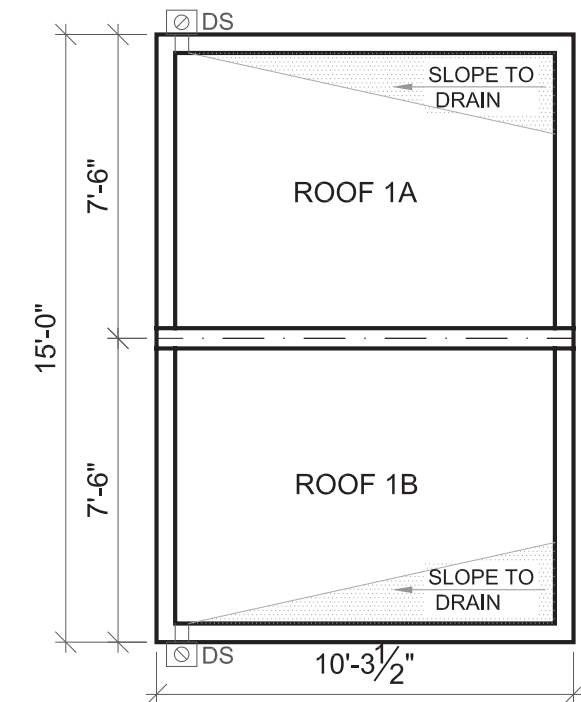
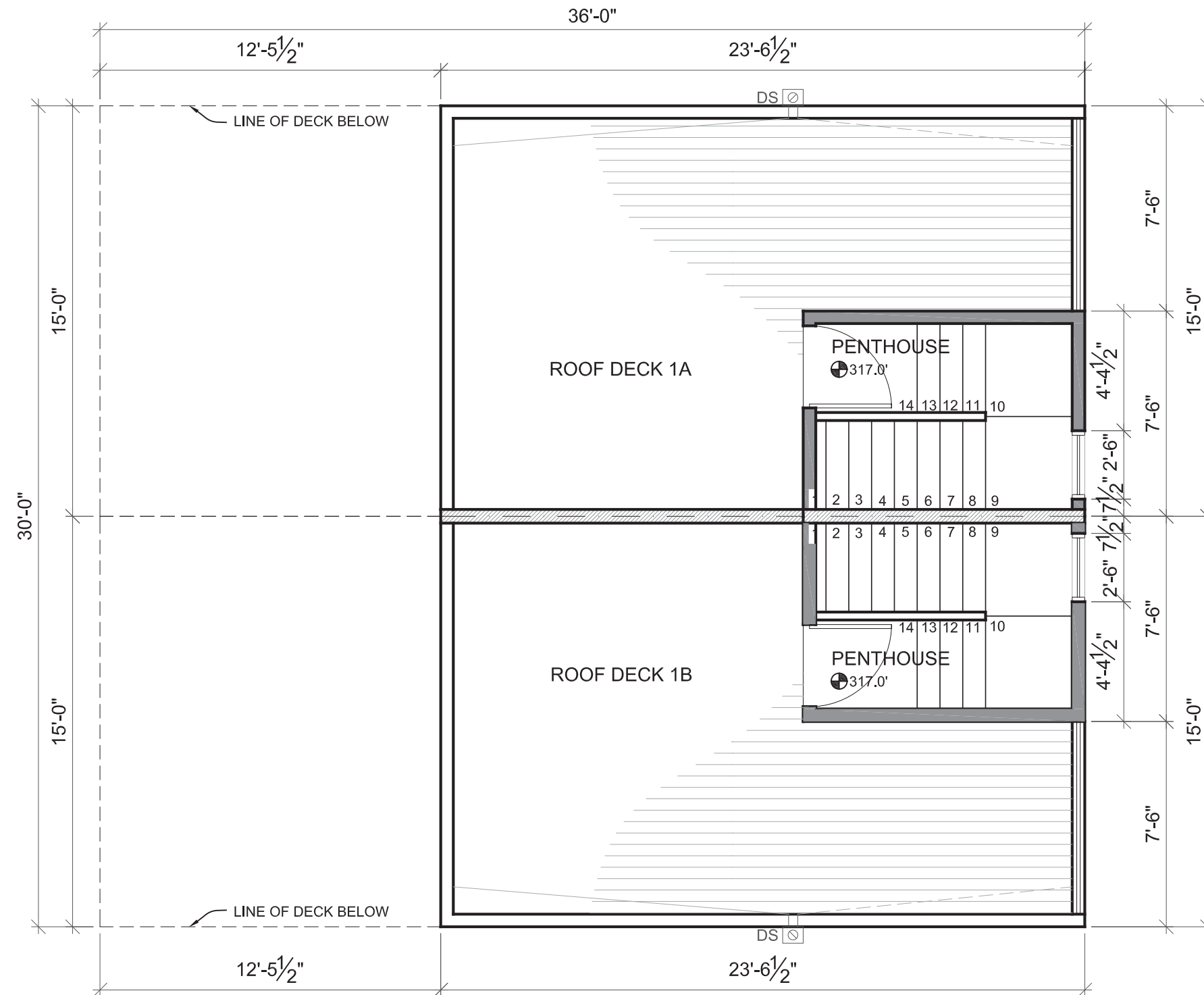
DUPLEX 1 SECOND FLOOR PLAN





DUPLEX 1 THIRD FLOOR PLAN





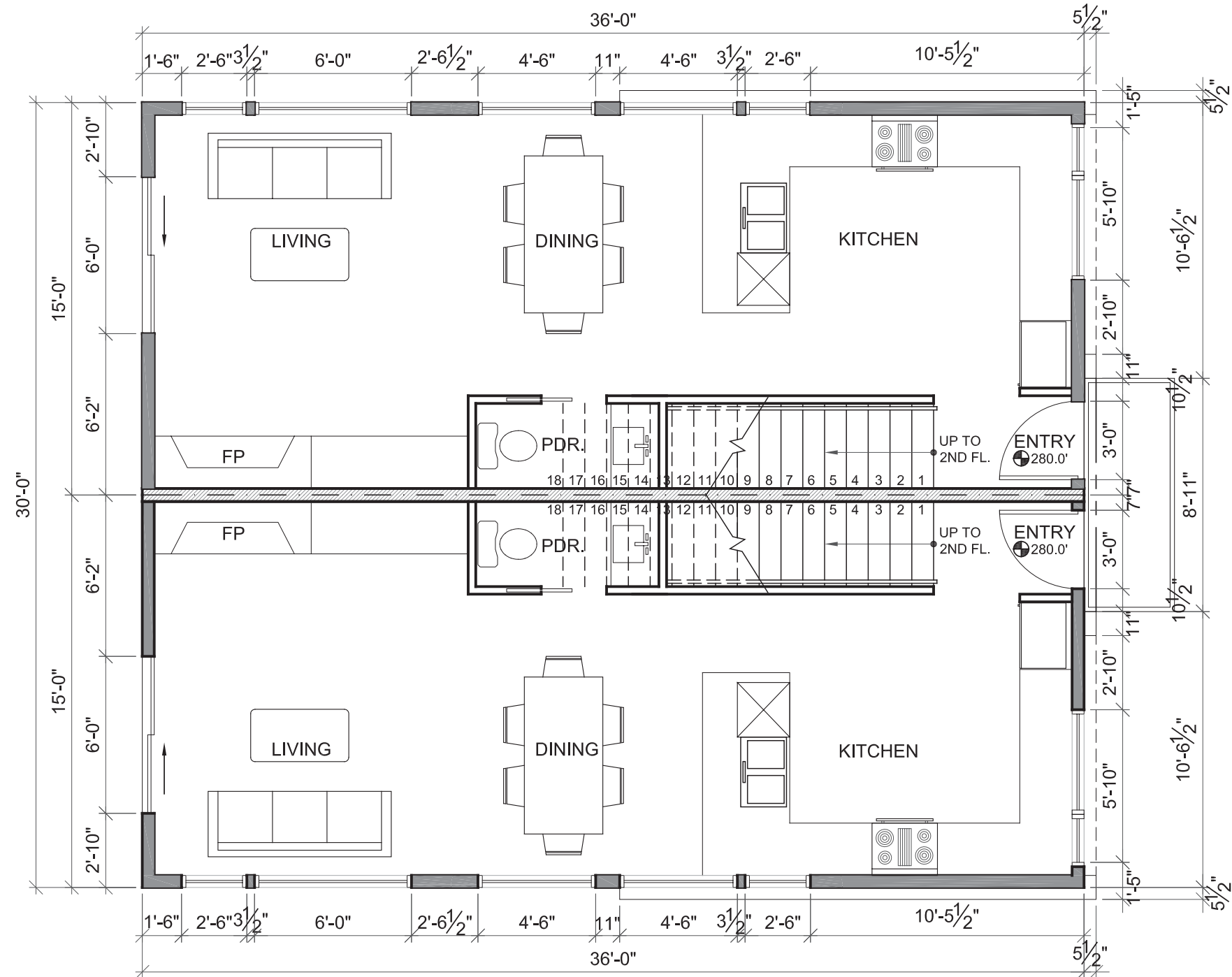
DUPLEX 1 ROOF PLAN



STAIR PENTHOUSE ROOF PLAN

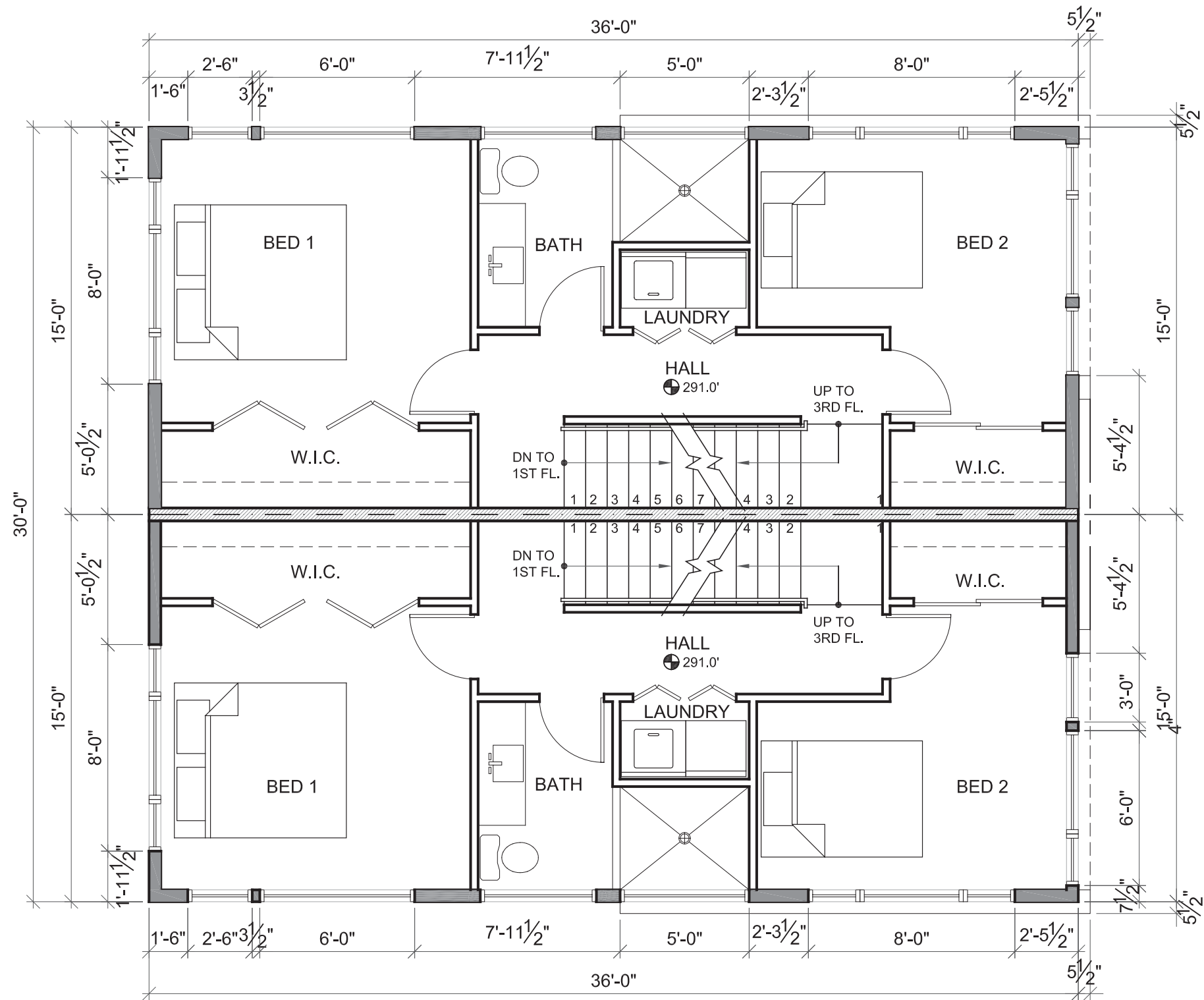
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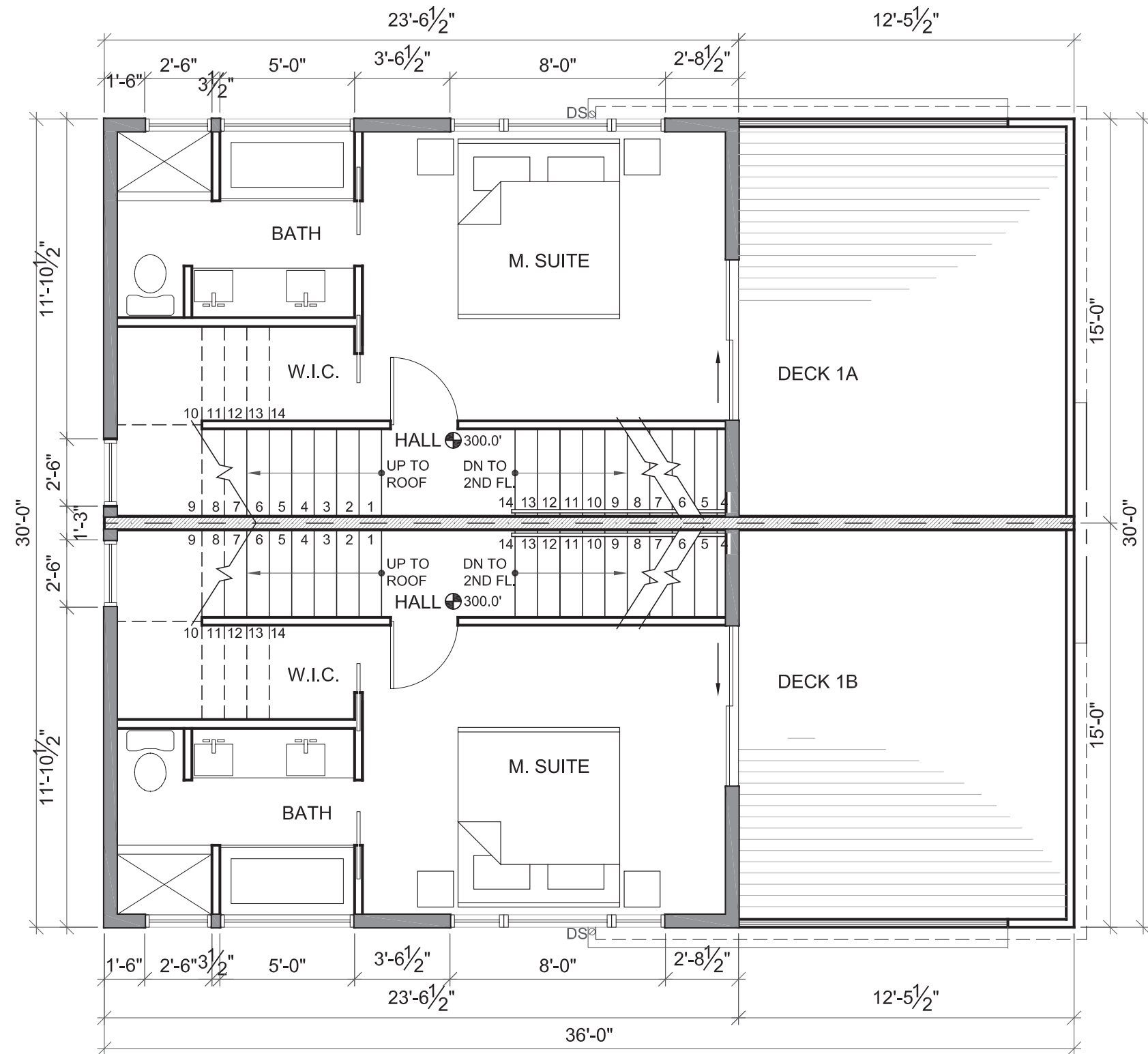
DUPLEX 2 FIRST FLOOR PLAN





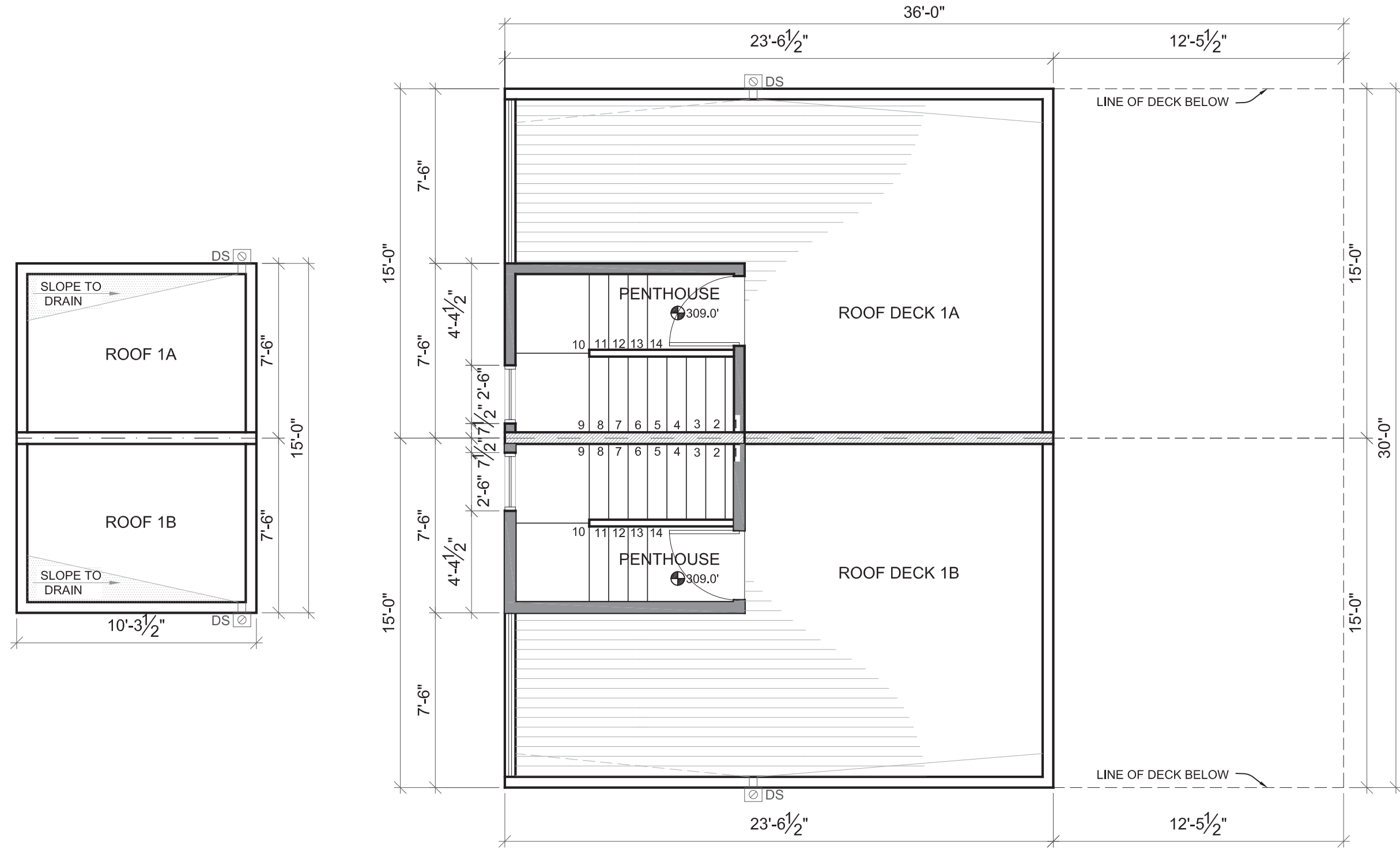
DUPLEX 2 SECOND FLOOR PLAN





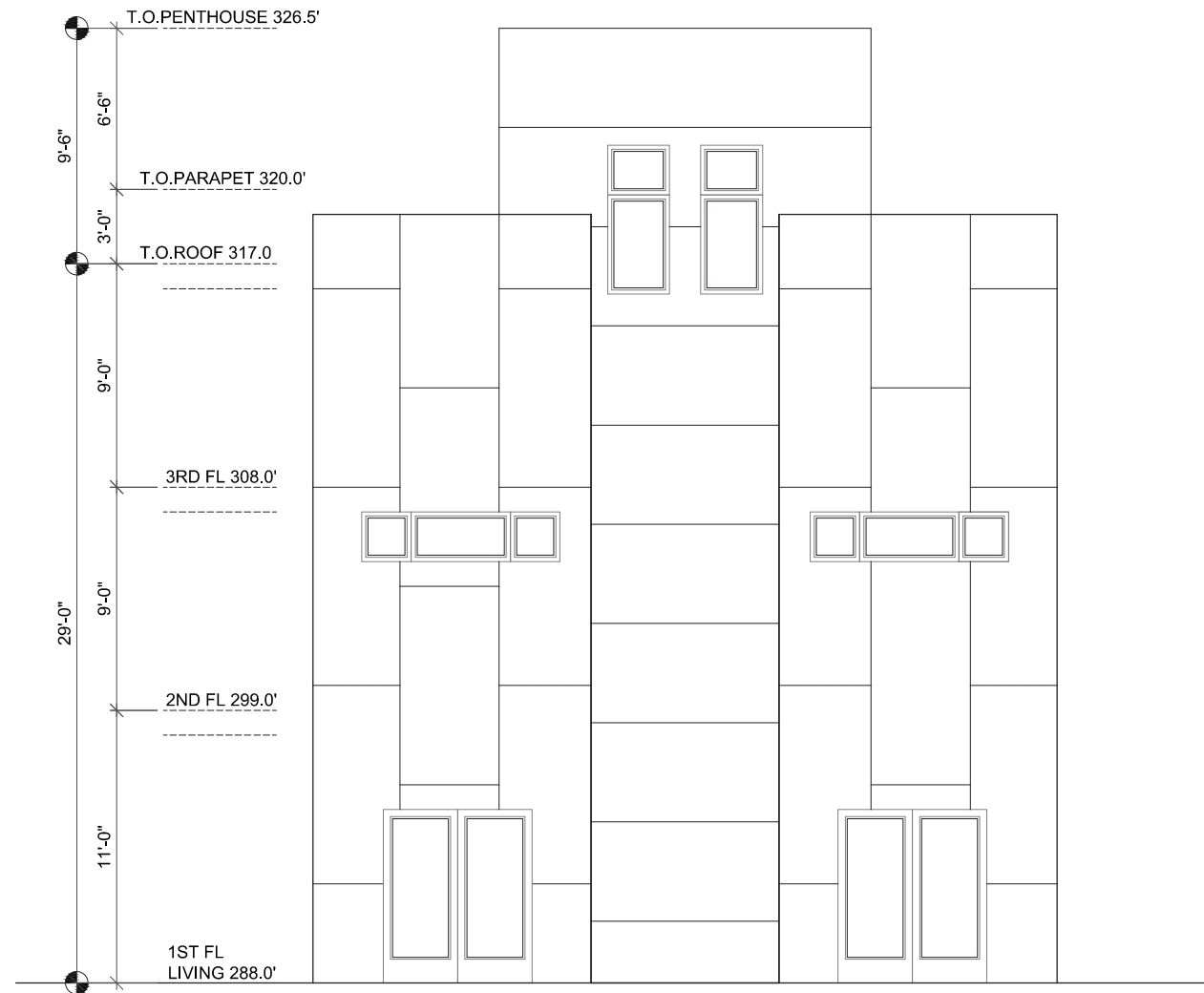
DUPLEX 2 THIRD FLOOR PLAN



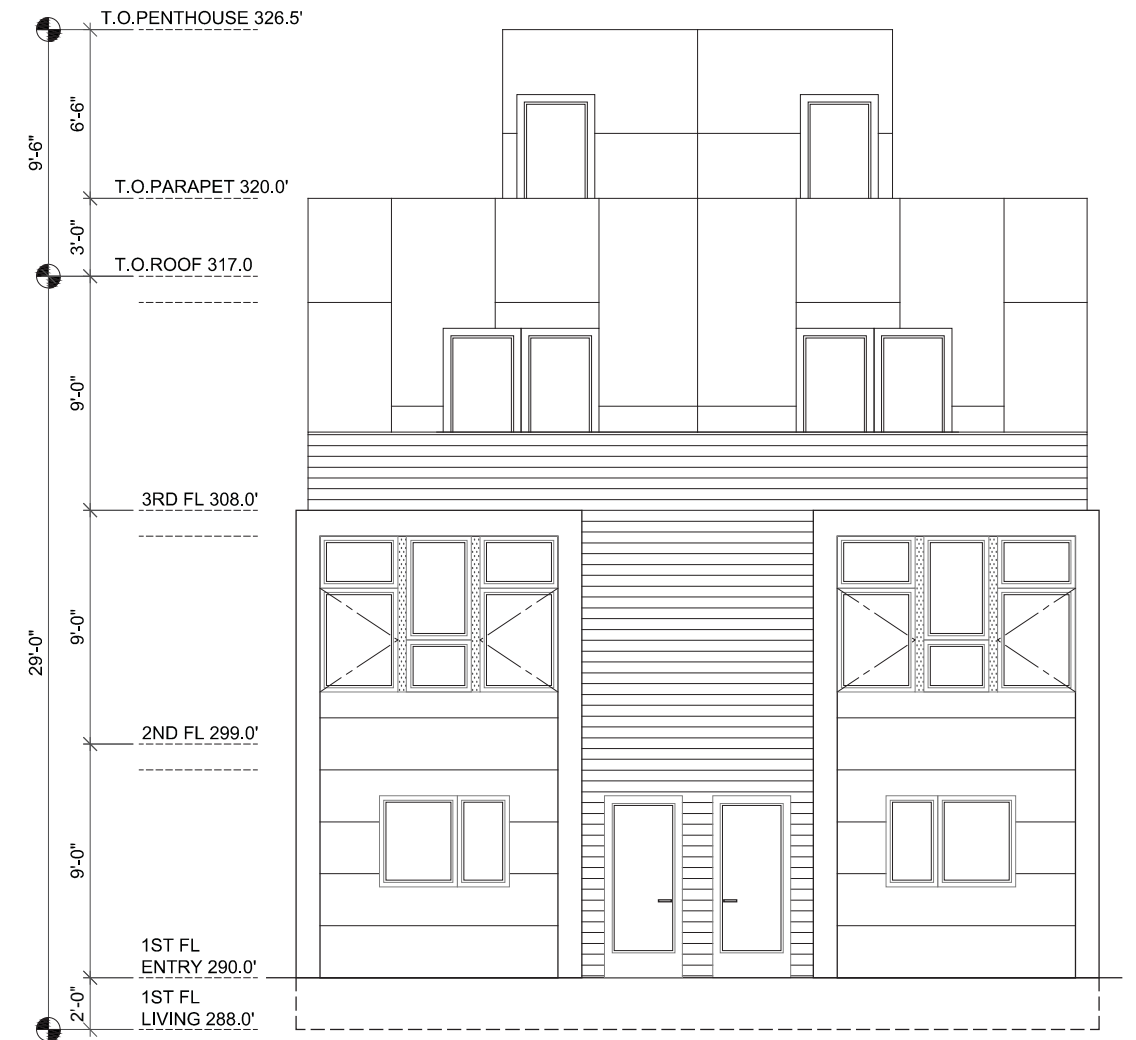


 **DUPLEX 2 ROOF PLAN**



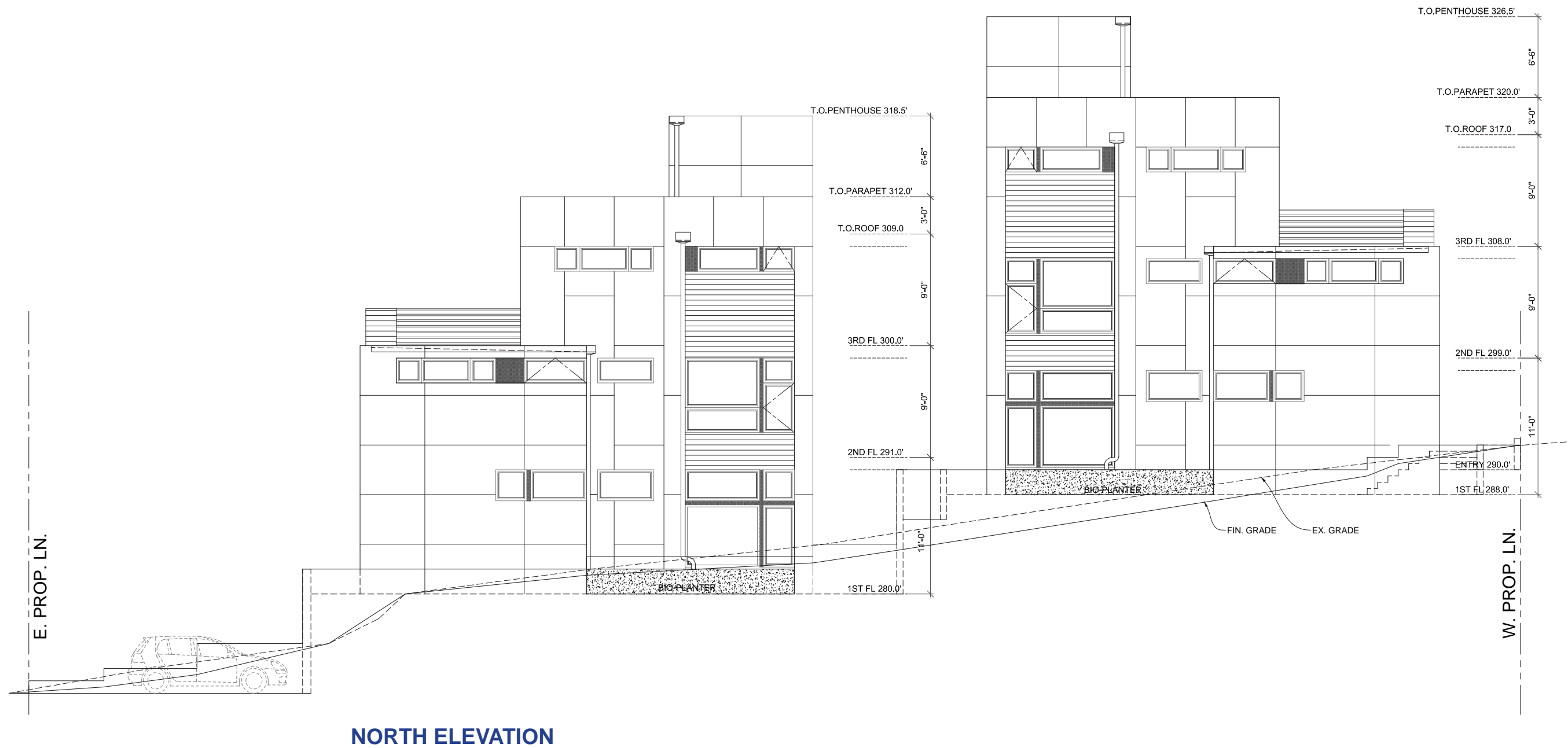


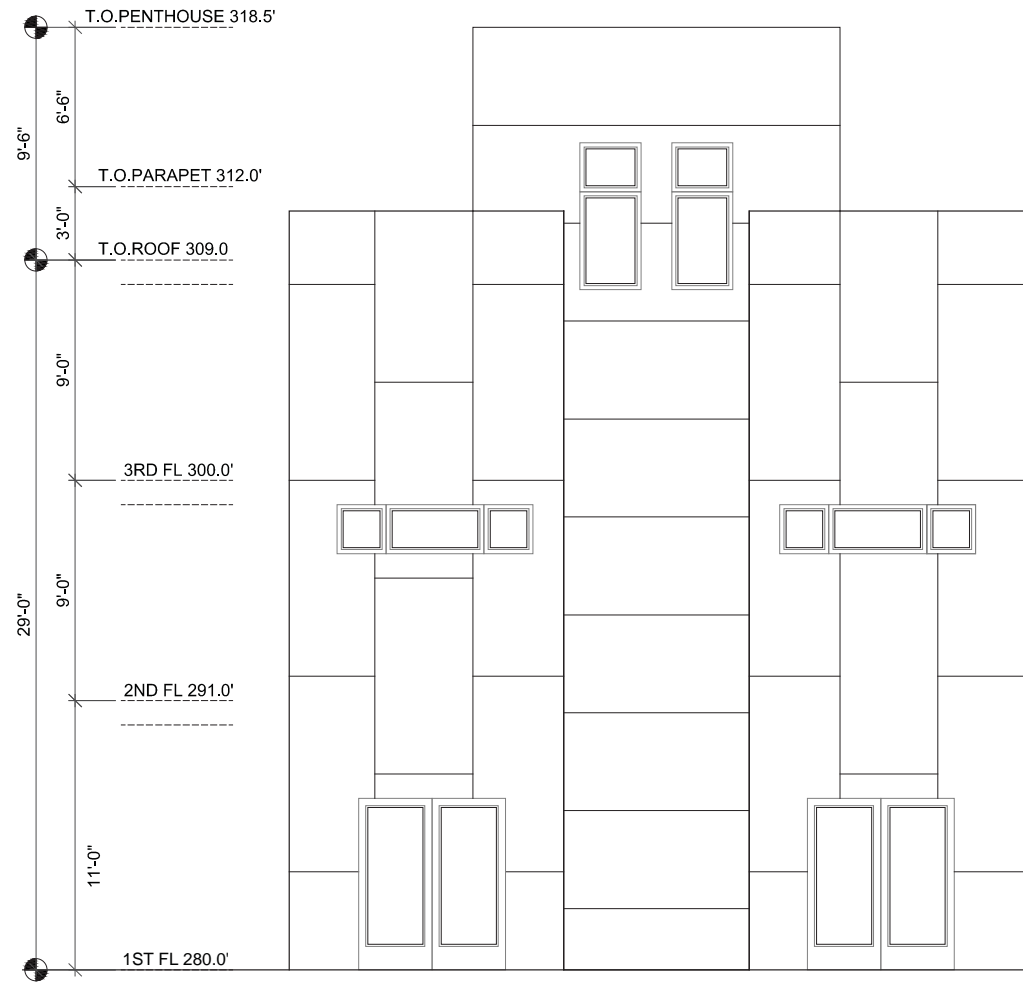
DUPLEX 1 EAST ELEVATION



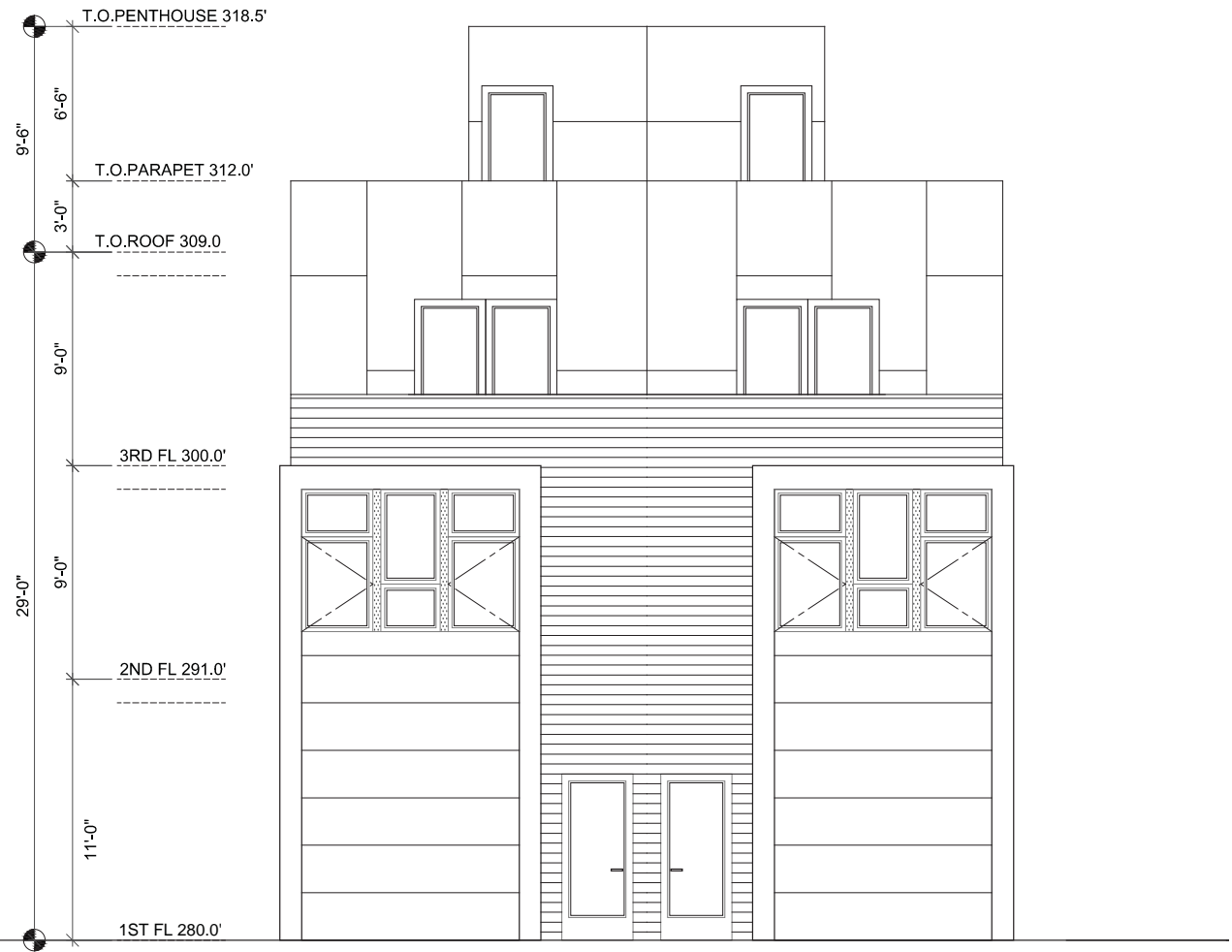
DUPLEX 1 WEST ELEVATION





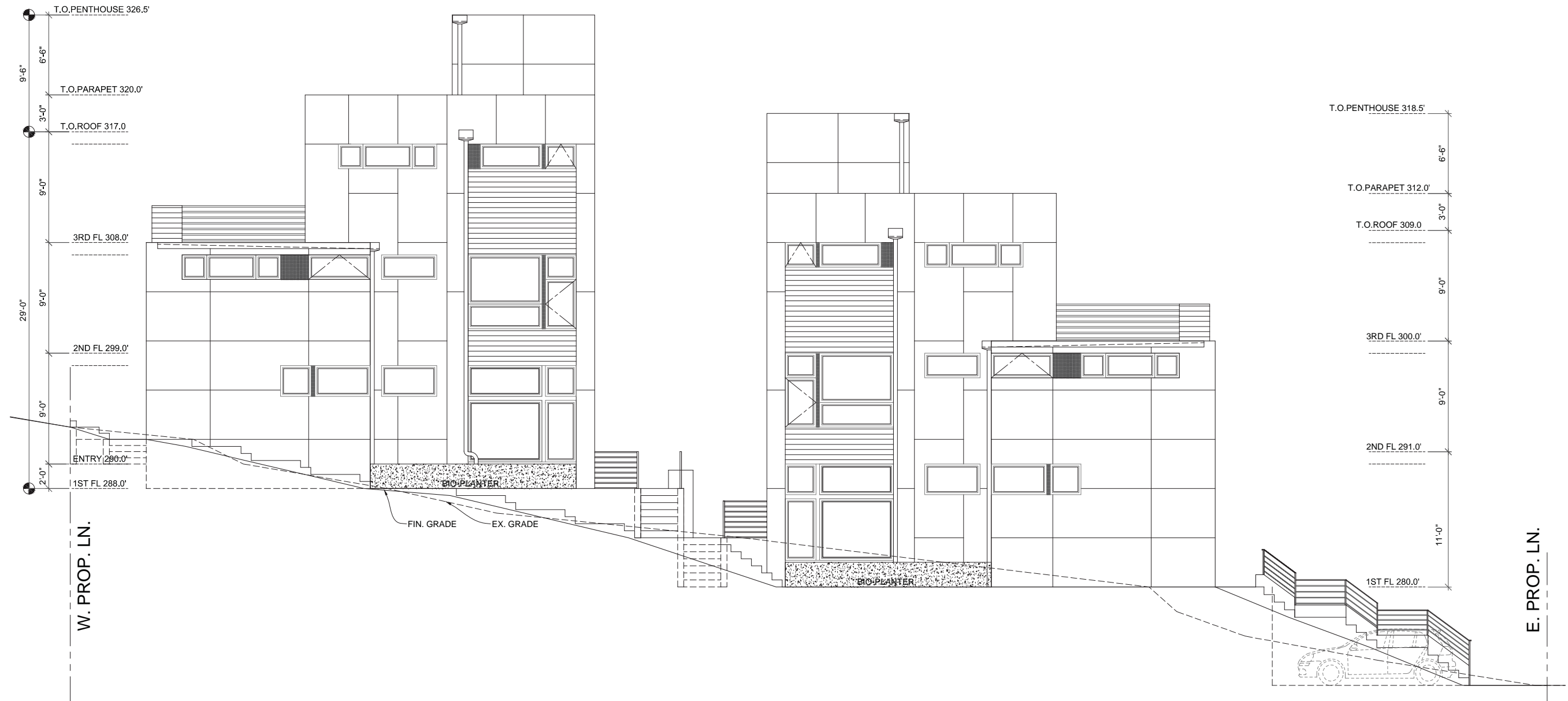


DUPLEX 2 WEST ELEVATION



DUPLEX 2 EAST ELEVATION

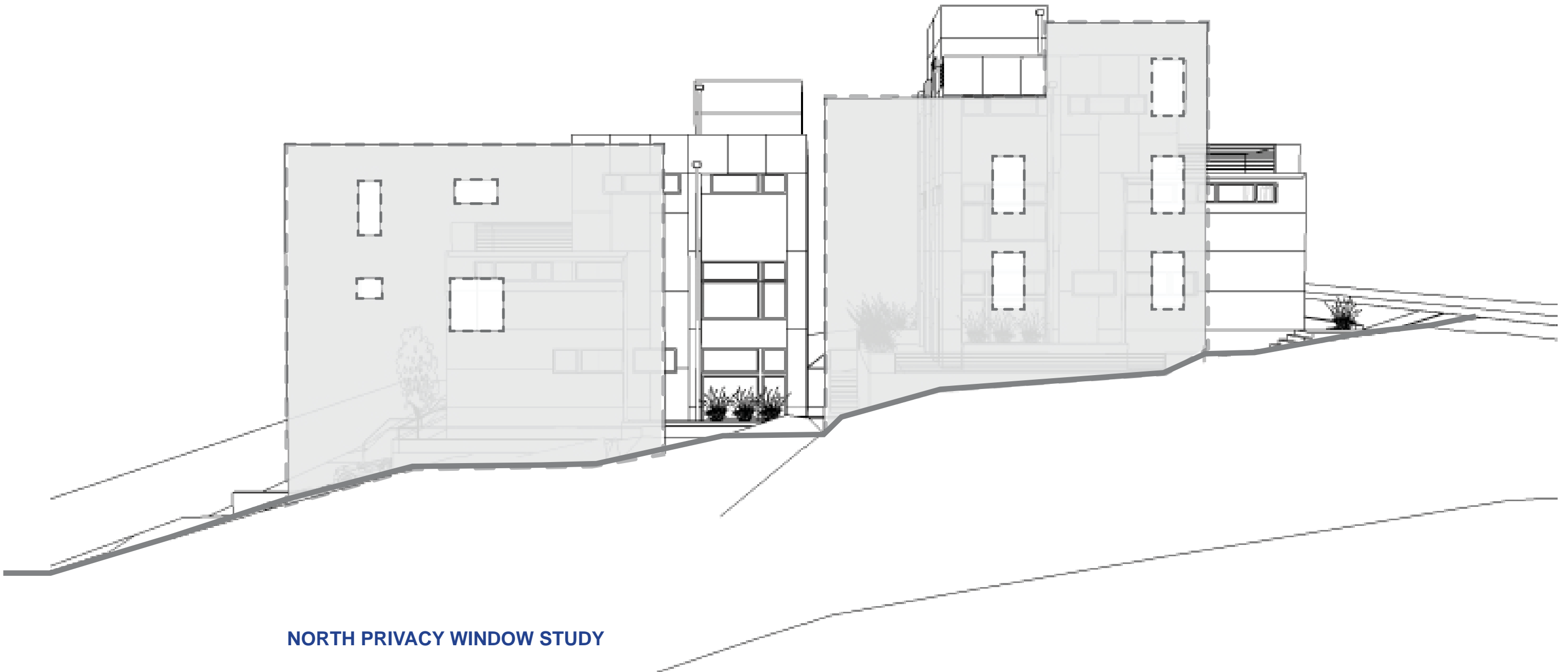




SOUTH ELEVATION



**SOUTH PRIVACY WINDOW STUDY**



NORTH PRIVACY WINDOW STUDY



West Elevation

- 4x8 dark gray painted hardie or similar horizontal siding
- 4x8 light gray painted hardie or similar horizontal siding
- Reclaimed horizontal fir or cedar siding



South Elevation



4x8 dark gray painted hardie



reclaimed fir or cedar siding



2x8 light gray painted hardie panel



- 4x8 dark gray painted hardie or similar horizontal siding
- 4x8 light gray painted hardie or similar horizontal siding
- Reclaimed horizontal fir or cedar siding



North Elevation



Street Perspective

- Cedar decking
- Permeable grasscrete
- Concrete bio-plant-



Cedar decking

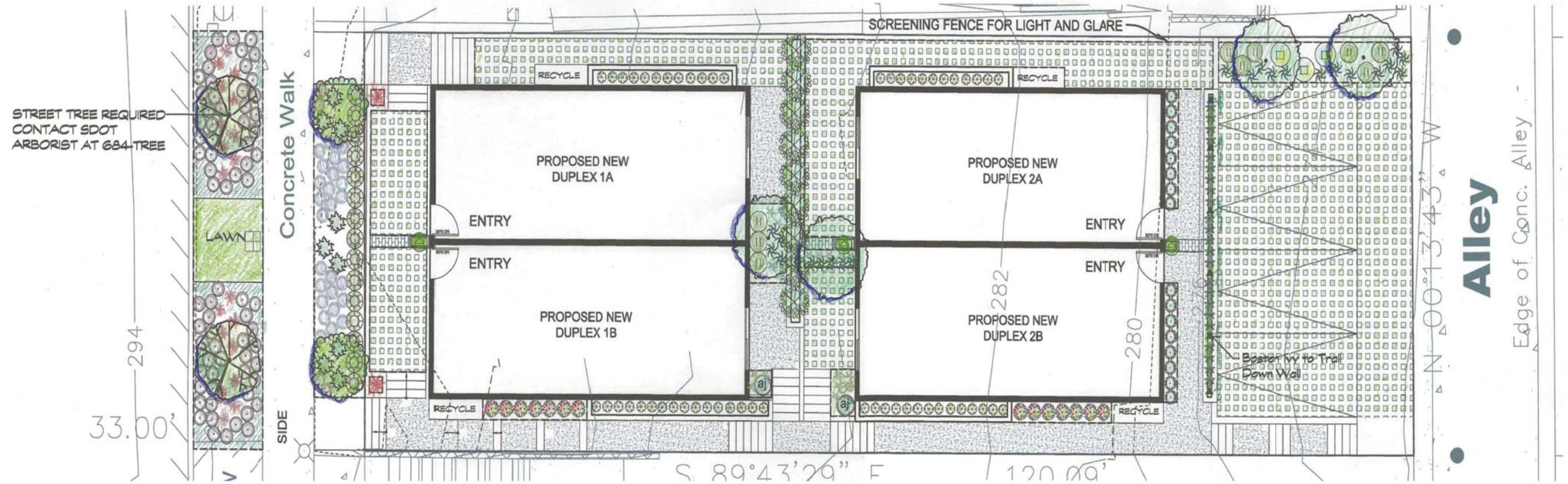


Permeable grasscrete pavers



Concrete planters





LANDSCAPE



Amanogawa Flowering Cherry



Maiden Hair Grass



Japanese Aralia



Boston Ivy



Fragrant Sweet Box



Ivy Halo Dogwood



Little Lime Hydrangea



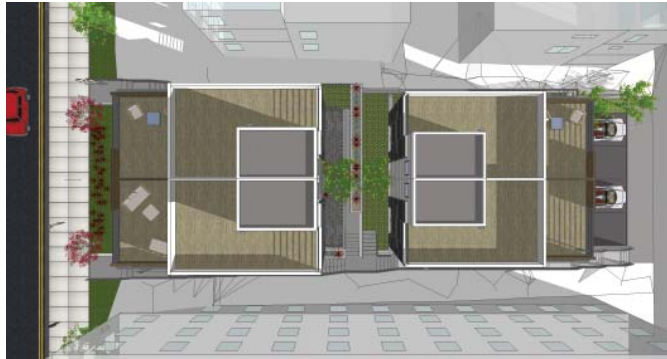
EARLY DESIGN GUIDANCE

120 24th Avenue East, Madison Valley, Seattle, Washington

Playhouse Design Group

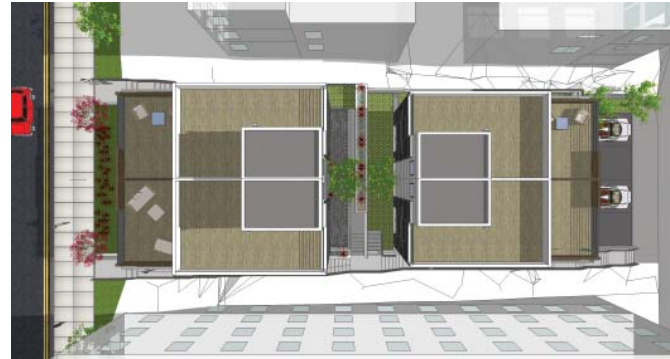
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SPRING EQUINOX: MARCH 20



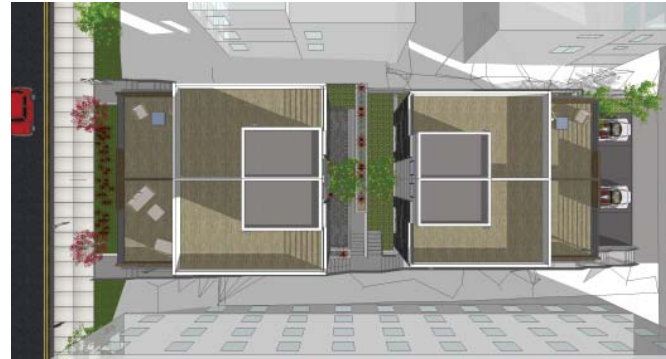
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SUMMER SOLSTICE: JUNE 21



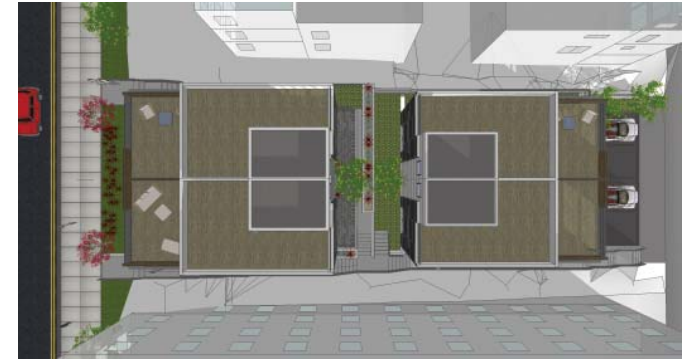
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FALL EQUINOX: SEPTEMBER 23



8 AM

WINTER SOLSTICE: DECEMBER 21



8 AM



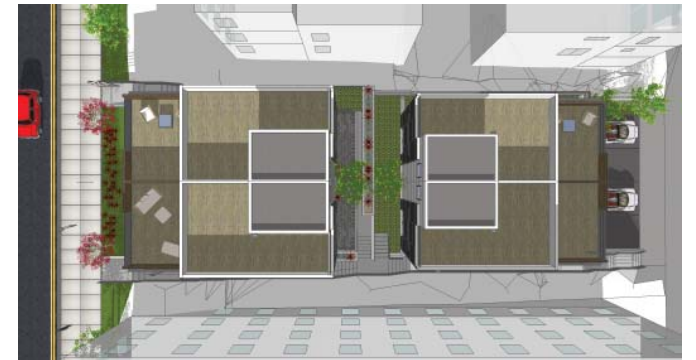
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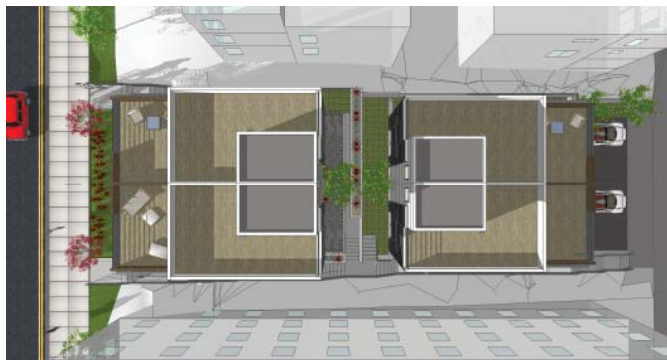
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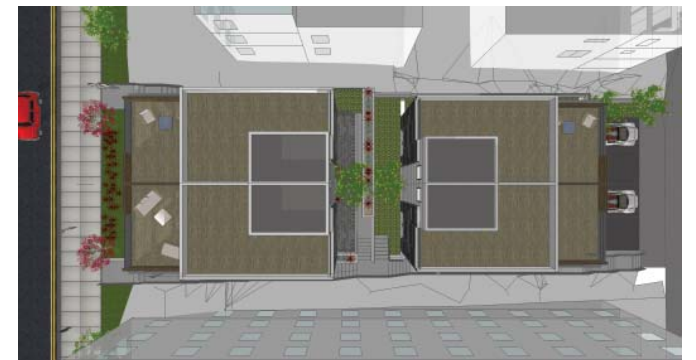
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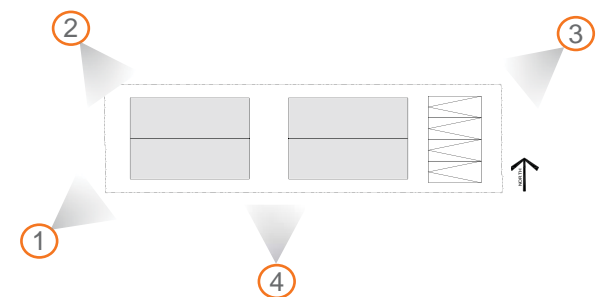
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① West elevation street facade rendering



② Street level facade rendering

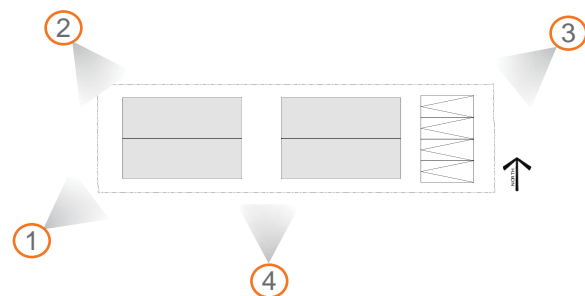




③ E elevation alley rendering



④ S elevation center court yard rendering



DESIGN GUIDELINES

A-1 RESPOND TO SITE CHARACTERISTICS

The project proposed to terrace different levels of living spaces in response the site's topography. A common walkway along S elevation follows existing grade condition connects the site from 24th Street Ave E to the center courtyard and to the alley in the back on the property.

A-2 STREETSCAPE COMPATIBILITY

The streetscape is a variety of apartments, townhomes and single families. The proposed structures are designed to fit within the mix of housing typologies and create a pedestrian friendly streetscape in the neighborhood.

A-3 ENTRANCES VISIBLE FROM THE STREET

The two street facing townhome units have front entries and open patio spaces to be easy identify and engage from the street. A common walkway along the south elevation provide a visual link to the center courtyard and the second townhome units to the back of the site.

A-4 HUMAN ACTIVITY

Open space at the front of the structure encourages interaction between residents, neighbors, and the community.

A-5 RESPECT FOR ADJACENT SITES

The windows to the south and north elevation are designed to minimize privacy intrusion. The adjacent neighbors to the north have minimal windows along the property lines.

A-7 RESIDENTIAL OPEN SPACE

All townhome units are provided with private roof deck to a and center courtyard amenity spaces. The front townhome units have front entrances with open amenity spaces engage the streetscape of the neighborhood and existing ROW characteristics.

A-8 PARKING & VEHICLE ACCESS

Vehicles will access from the alley. Four parking spaces are provided for 4 townhome units.

B-1 HEIGHT, BULK & SCALE COMPATIBILITY

The apartment to the south has an allowable height limit of 40' and the townhomes to the north has an allowable height limit of 30' plus a 10' for penthouse height in LR2 zone.

C-1 ARCHITECTURAL CONTEXT

The street front facade is designed to compatible with existing adjacent structures and the individual homes in the neighborhood. Large windows and private patio and decks provide a strong connection to the pedestrian environment.

C-2 ARCHITECTURAL CONCEPT AND CONSISTENCY

The proposed project provide a well defined approach terraces the buildings to create more outdoor patio and decking spaces. The massing of the project is modulated to soften adjacent buildings with most of the glazing located to the east and west for the natural lights.

C-4 EXTERIOR FINISH MATERIALS

The project is proposing to use durable and sustainable materials. Siding will consist of natural cement board, natural cedar siding and painted materials.

D-1 PEDESTRIAN OPEN SPACES AND ENTRANCES

All options provide landscaped amenity spaces along the street facade and common walkway connects the center courtyard spaces.

D-3 RETAINING WALLS

Retaining walls follows the existing grade help stabilize the project site and minimize the retaining height helps re-grade and provide public safety next to a public side walk.

D-6 SCREENING OF DUMPSTERS, UTILITIES, ETC

Recycling and solid waste will be screened and placed at the rear of the site close to the alley for pick up.

D-7 PERSONAL SAFETY AND SECURITY

Exterior lights will be placed downward directed to walkways as well as private and common open spaces. Entry door design, walkway and window placement all enhance pedestrian safety, provide for natural surveillance.

E-2 LANDSCAPING TO ENHANCE BUILDING AND/OR SITE

The center courtyard, front entry, and setbacks will be the focus of our landscaping design to enhance the character of the neighborhood and the proposed structures. It will create inviting usable spaces for residents and also visitors and also providing friendly streetscapes for neighbors.

E-2 LANDSCAPING TO ADDRESS SPECIAL SITE CONDITIONS

The landscaping of this project will help to soften both the massing and the transition from street to entry. The entry open patio is terraced to separate home entries and public walkways and to soften the streetscape at the facade.



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PRE-SUBMITTAL MEETING NOTES

1. Clearly Show Responses to Presubmittal Guidance

We are not requesting any departures and/or adjustments.

2. Increasing Entry Height and Glazing to Soften Streetscape

We are proposing to increase entry height by two feet and add windows letting in the natural lights for kitchen space. Providing maximize open patio spaces at the entry to separate and soften the structures and public sidewalk.

3. Add green expression (off alley parking, enter courtyard, and all entries) to identify each individual units.

We are providing planters to visually separate each units and planting creeping plants, like ivy to soften the retaining wall next to parking. Introduce grasscrete instead of concrete pavers and native evergreen plants to maximize green expression through out the site.

4. Provide large landscape plans at submittal

Landscape plans are provided with picture examples of plants that will be used on site.

5. Provide house numbers to each units.

House numbers are provide to each units.

