

743 N 35th Street

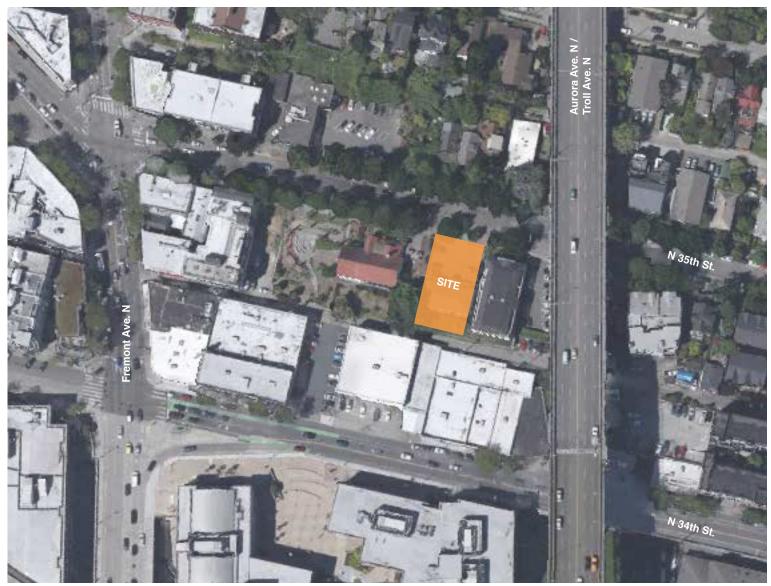
Recommendation Meeting - March 2, 2015 DPD Project #3016369



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Aerial view of site and surrounding Fremont neighborhood

OBJECTIVES

Design and construct a mixed-use building containing 56 apartment units and 2 commercial units centered around a shared courtyard. Access to below-grade parking will be provided from the alley to the south.

Number of Residential Units56Commercial Square Footage1,925Number of Parking Stalls10

Sustainability

Achieve a 4-Star Built Green certification.

Community

The proposal will be designed around a central courtyard and exterior walkway that connects the site from north to south.

TEAM

ARCHITECT b9 architects

DEVELOPMENT Fremont Apartments LLC

STRUCTURAL MalsamTsang Structural Engineering

GEOTECHNICAL PanGEO, Inc.

LANDSCAPE The Philbin Group

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CITY OF SEATTLE

APPLICATION FOR EARLY DESIGN GUIDANCE

PART I: CONTACT INFORMATION

1. Property Address 743 N 35th Street

2. Project number 3016369

3. Additional related project number(s): N/A

4. Owner/Lessee Name Fremont Apartments LLC

5. Contact

Name Brian Johnson
Firm b9 architects
Mailing Address 610 2nd Avenue
City State Zip Seattle, WA 98104
Phone 206.297.1284

Email Address brian@b9architects.com

6. Applicant

Name Bradley Khouri
Relationship to Project Architect

Email Address bgk@b9architects.com

PART II: SITE AND DEVELOPMENT INFORMATION

1. Please describe the existing site, including location, existing uses and/or structures, topographical or other physical features, etc.

The site is located on the south side of N 35th Street, mid-block between Fremont Ave N and Troll Ave N. A commercial structure with a surface parking lot currently occupies the site and will be demolished. The site dimensions are approximately 120 ft. north-south and 77 ft. east-west.

The site drops approximately 24 feet from N 35th Street to the alley.

Please indicate the site's zoning and any other overlay designations, including applicable Neighborhood Specific Guidelines.

The site is currently zoned NC3-40, however, the proposal is seeking a contract rezone to NC3-65. It is located in the Fremont Hub Urban Village.

3. Please describe neighboring development and uses, including adjacent zoning, physical features, existing architectural and siting patterns, views, community landmarks, etc.

Zoning

The project is requesting a contract rezone from the existing zoning of NC3-40 to NC3-65. It is located in an area of diverse zoning, including IC-65, C1-65, NC3-65, NC2P-40, IBU-65, C1-40, C2-40, LR3, LR2 and LR1. This conglomerate of zones contributes to the eclectic quality of Fremont with uses including Industrial, Office, Retail, Residential, and Parks. The site is located in the Fremont Hub Urban Village Overlay.

Uses and Physical Features

A variety of two, three and four-story commercial and mixed-use structures are located in vicinity of the site. The Fremont Hub Urban Village supports a vibrant mix of cafés and restaurants, bars, music venues, retail uses, grocery stores, and tech companies. Structures range in scale from one-story multifamily and commercial structures to newer six story mixed-use structures. The Burke-Gilman ship canal waterfront area provides open space access within a 2-minute walk. The vicinity is physically defined by a slope south to north up Fremont Ave N and the boundaries created by Aurora Ave N to the east and the ship canal to the south. The Aurora bridge provides a strong visual barrier to the east above Troll Avenue N.

Existing Architecture

The architecture along Fremont Ave N and in the immediate vicinity of the site varies to a large degree in scale, building type and architectural style. Immediately adjacent to east and west of the site are the Fremont Library and A.B. Ernst Park and a three-story commercial building. Across the alley to the south is a future proposal for a 65 foot tall office building that will front N 34th Street. Opposite the site on N 35th Street are one and two-story commercial and residential structures. A 2008 addition to the existing commercial structure on the west side of A.B. Ernst

Park provided new ground floor retail, 7 live-work studios and one apartment. Other recent development in the neighborhood include the Saturn building and the PCC building.

Views

From the roof the site will have views to the south, east and west over the ship canal, to Lake Union, and to Queen Anne beyond. Due to existing and proposed adjacent structures, views from within the project will vary and will likely diminish with proximity to N 35th Street.

Community Landmarks

Fremont is the self-proclaimed "Center of the Universe" and as such is home to several community and Seattle landmarks including The Lenin Statue, the Fremont Rocket, The Fremont Troll, "Waiting for the Interurban" statue, the Center of the Universe Guidepost, and the historic Fremont Library. All of these are located within a 5 minute walk of the proposal.

4. Please describe the applicant's development objectives, indicating types of desired uses, structure height (approx), number of residential units (approx), amount of commercial square footage (approx), and number of parking stalls (approx). Please also include potential requests for departure from development standards.

Development Objectives

The proposal seeks to create a community of apartments and commercial storefront spaces organized around a central courtyard. The design responds to the existing site constraints and surroundings while offering a semi-public courtyard as an extension of the open space surrounding the Fremont Library.

Desired Uses

The project proposes a 56-unit apartment mixed-use apartment building with two commercial strorefronts activating N 35th Street. A courtyard at grade as well as common and private decks and roof decks will create opportunities for interaction among residents and visitors.

Structure Height

The design proposed will be 65 feet above average grade at the alley and approximately 54 feet above average grade at N 35th Street. The project is intelligently modulated to reduce the appearance of height and bulk at the building edges.

Parking

10 parking stalls and storage for 19 bicycles will be provided in the below-grade parking garage.

Departures

The proposed design is code compliant.

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23.47A.004 PERMITTED USES:

Residential permitted outright, commercial permitted with limitations based on use.

23.47A.008 STREET LEVEL DEVELOPMENT:

- Blank segments of the street-facing facade between 2 feet and 8 feet above the sidewalk may not exceed 20 feet in width and may not exceed 40 percent of the width of the façade of the structure along the street.
- For structures with street-level nonresidential uses in NC zones sixty percent of the street-facing facade between 2 feet and 8 feet above the sidewalk shall be transparent. Transparent areas of facades shall be designed and maintained to allow unobstructed views from the outside into the structure or, in the case of live-work units, into display windows that have a minimum 30-inch depth.
- Nonresidential uses shall extend an average depth of at least 30 feet and a minimum depth of 15 feet from the street-level streetfacing facade.
- Nonresidential uses at street level shall have a floor-to-floor height of at least 13 feet.

23.47A.012 HEIGHT:

- Open railings, planters, skylights, clerestories, greenhouses, solariums, parapets and firewalls may extend up to 4 feet above the otherwise applicable height limit, whichever is higher.
- Mechanical equipment may extend up to 15
 feet above the applicable height limit, as long
 as the combined total coverage of all features
 gaining additional height does not exceed
 20 percent of the roof area, or 25 percent
 of the roof area if the total includes stair or
 elevator penthouses or screened mechanical
 equipment.
- Stair and elevator penthouses may extend above the applicable height limit up to 16 feet.

23.47A.013 FLOOR AREA RATIO:

 65' Height Limit - 4.75 x 9,314 = 44,241.5 square feet allowable

23.47A.014 SETBACK REQUIREMENTS

None required

23.47A.016 LANDSCAPING AND SCREENING STANDARDS

- Landscaping that achieves a Green Factor score of 0.30 or greater is required.
- Street trees are required when any development is proposed. Existing street trees shall be retained unless the Director of Transportation approves their removal.
- If it is not feasible to plant street trees in a right-of-way planting strip, a 5-foot setback shall be planted with street trees along the street property line or landscaping other than trees shall be provided in the planting strip, subject to approval by the Director of Transportation.

<u>ZONING ANALYSIS</u>

23.47A.022 LIGHT AND GLARE

- Exterior lighting must be shielded and directed away from adjacent uses.
- Interior lighting in parking garages must be shielded to minimize nighttime glare affecting nearby uses.

23.47A.024 AMENITY AREA

- Amenity areas are required in an amount equal to 5 percent of the total gross floor area in residential use.
- All residents shall have access to at least one common or private amenity area.
- Amenity areas shall not be enclosed.
- Common amenity areas shall have a minimum horizontal dimension of 10 feet, and no common amenity area shall be less than 250 square feet in size.
- Private balconies and decks shall have a minimum area of 60 square feet, and no horizontal dimension shall be less than 6 feet.

23.47A.032 PARKING LOCATION AND ACCESS

 Access to parking shall be from the alley if the lot abuts an alley improved to the standards of Section 23.53.030.C

23.54.015 AND 23.54.030 PARKING:

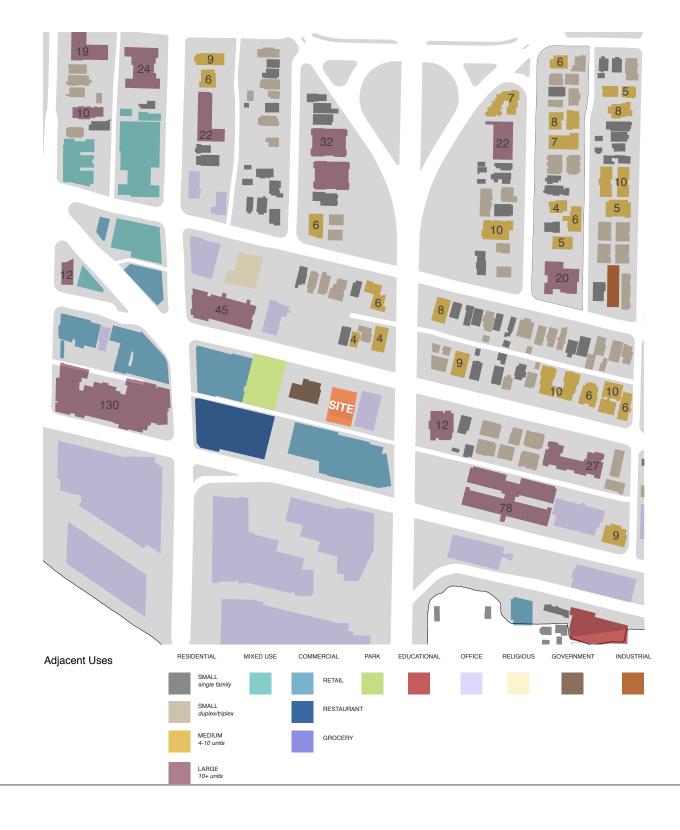
- For nonresidential uses in Urban Villages that are not within an Urban Center or the Station Area Overlay District, if the nonresidential use is located within 1,320 feet of a street with frequent transit service, then there is no minimum requirement.
- For all residential uses in commercial and multifamily zones within Urban Villages that are not within an Urban Center or the Station Area Overlay District, if the residential use is located within 1,320 feet of a street with frequent transit service then there is no minimum requirement.
- 1 bicycle parking space will be required per every 4 residential units.

23.54.040 SOLID WASTE

- Mixed use development that contains both residential and nonresidential uses shall meet the storage space requirements shown in Table A for 23.54.040 for residential development, plus 50 percent of the requirement for nonresidential development. In mixed use developments, storage space for garbage may be shared between residential and nonresidential uses, but separate spaces for recycling shall be provided.
- For developments with 9 dwelling units or more, the minimum horizontal dimension of required storage space is 12 feet.

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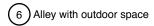


Seattle DPD Zoning Map (entire area lies within Fremont Hub Urban Village)



1 Single family home on N 35th St



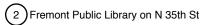




7 Fremont Sunday Market

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3 AB Ernst Park on N 35th St



4 17-unit Apartment Building on N 35th St



5 Epicenter Apartments, PCC, and various shops on N 34th St



8 45-unit Apartment Building on N 35th St



9 Fremont Professional Center



Saturn Building
Adjacent to Fremont Rocket on Evanston Ave N and N 35th St

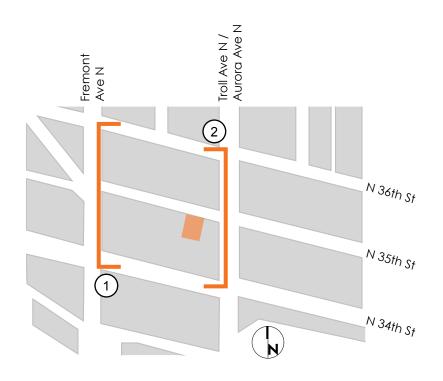


(11) Commercial spaces along Fremont Ave

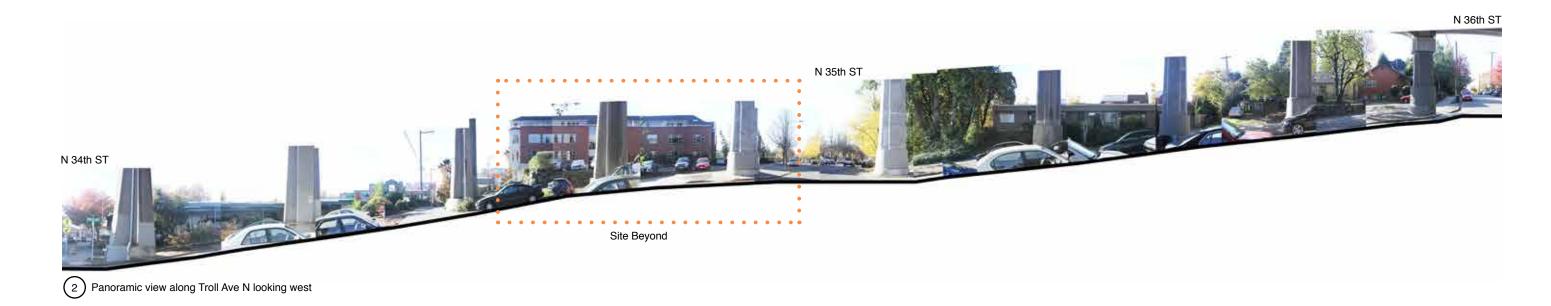


12 Lenin Statue

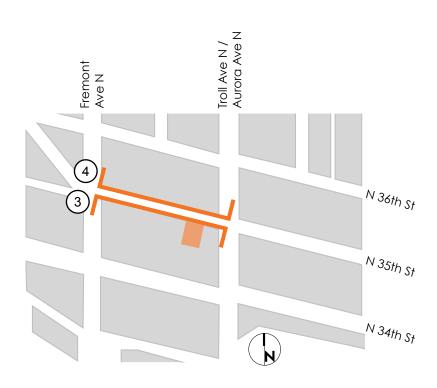
1 **2** 3 4 5 6 7 SITE ANALYSIS







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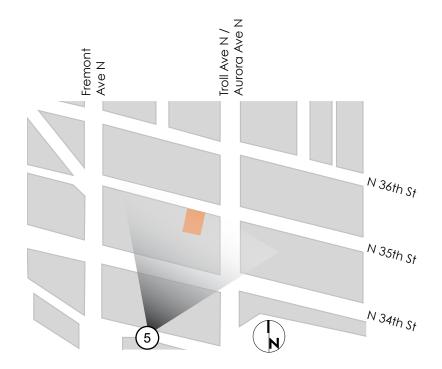




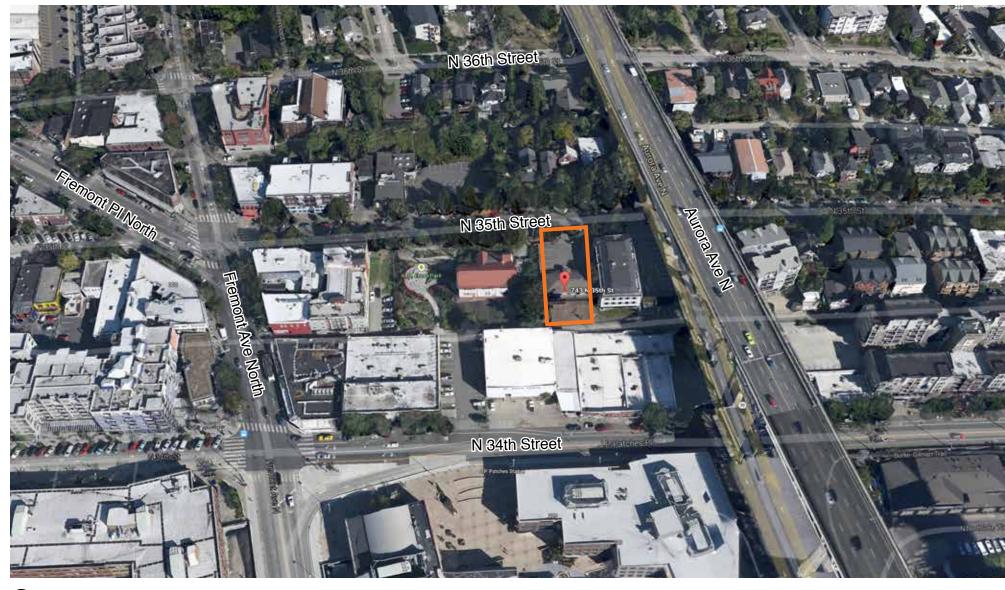
3 Panoramic view along N 35th Street looking north



1 **2** 3 4 5 6 7 SITE ANALYSIS



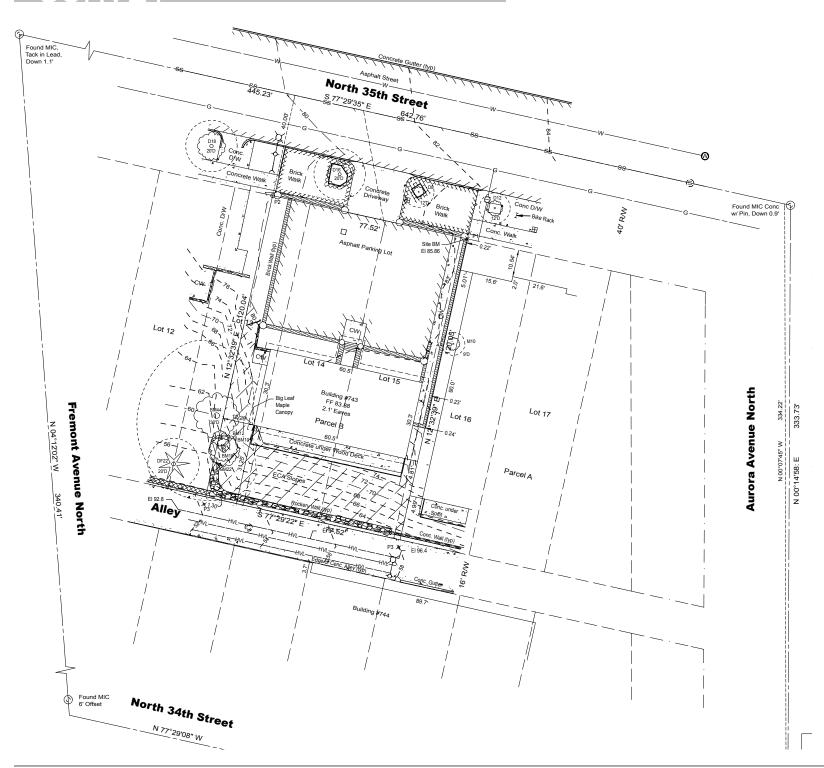
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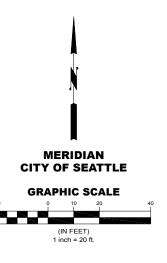




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SURVEY





LEGAL DESCRIPTION

PARCEL B, CITY OF SEATTLE SHORT PLAT NUMBER 80-119, RECORDED UNDER RECORDING NUMBER 8010300856, AND REVISED UNDER RECORDING NUMBER 8112280216, IN KING COUNTY, WASHINGTON.

AFN 197220-2815

TREE DESCRIPTIONS

BM Big Leaf Maple (Acer macrophyllum)

DF Douglas Fir (Pseudotsuga menziesii)
D Deciduous M Maple (Acer)

SURVEY NOTES

INSTRUMENT USED: SOKKIA SET 5 EDM METHOD USED: FIELD TRAVERSE

APPROXIMATE POINT ACCURACY: ±0.05'

SURVEY MEETS OR EXCEEDS STATE STANDARDS PER WAC 332-130-090.

MONUMENTS SHOWN HEREON WERE VISITED ON AUGUST 13, 2013.

THE INFORMATION SHOWN ON THIS MAP REPRESENTS THE RESULTS OF A SURVEY MADE ON THE INDICATED DATE AND CAN ONLY BE CONSIDERED AS THE GENERAL EXISTING CONDITION AT THAT TIME.

NO EASEMENTS, RESTRICTIONS OR RESERVATION OF RECORD WHICH WOULD BE DISCLOSED BY A TITLE REPORT ARE SHOWN.

VERTICAL DATUM - NAVD 88 CONTOUR INTERVAL - 2 FEET

BENCH MARK: POINT NAME: 3773-3401: 2" Brass Cap stamped City of Seattle Survey 3773-3401, set 1' N of the E conc rail of the Fremont Bridge, SE'ly of the intx. of N 34th St & Fremont Ave N. Elev: 55.574

ECA Slopes: 1,941.4± Sf

SURVEY IN THE

S.E. 1/4, S.W. 1/4 SEC. 18 TWP. 25N., RGE. 4E., W.M.



(1) View of the site looking southeast on N 35th Street



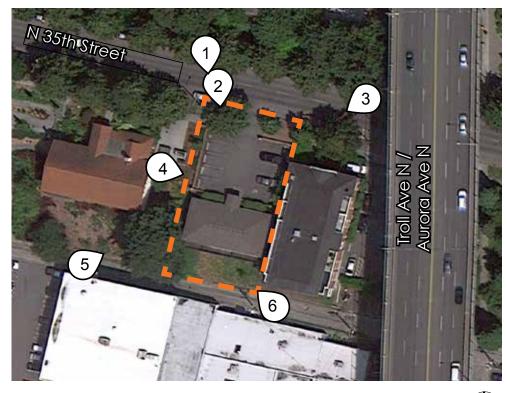
2 View of site from N 35th St

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EXISTING SITE CONDITIONS

Our site is located on the south side of N 35th Street, mid-block between Fremont Ave N and Troll Ave N. A commercial structure with a surface parking lot currently occupies the site and will be demolished. The site dimensions are approximately 120 ft. north-south and 77 ft. east-west.

The site has phenomenal access to both the Fremont neighborhood and greater Seattle. The shops and restaurants in downtown Fremont are less than a 5-minute walk. Metro bus lines numbers 5, 16, 26, 28, 31, 32, 40 and 82, serving downtown Seattle, University of Washington, Ballard, Wallingford, Greenwood, Greenlake, Lower Queen Anne, Shoreline and Northgate are also within a 5-minute walk. Access to the Burke-Gilman Trail is equally as close. For vehicular accessibility, the site is near several major east-west and north-south thoroughfares including access to Aurora Ave N.





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3 View of site looking southwest on N 35th



5 View of alley looking northeast

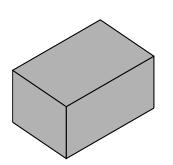


4 West elevation of existing site from Library

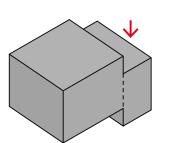


6 View of alley looking northwest

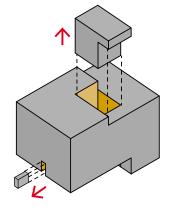
EDG DEVELOPMENT

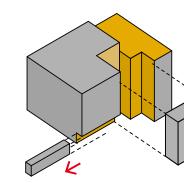


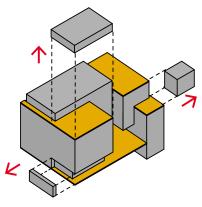




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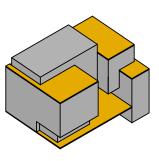
Begin with allowable zoning envelope.

Step the building down the slope to better fit the natural topography.

Hollow out the center of the proposal to create an internal courtyard.

Open up the courtyard to the neighboring structure by removing a large portion of the western facade.

Carve away additional area to reduce the building scale and to provide places for occupation within the site.



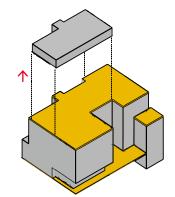
Preferred Design at Early Design Guidance

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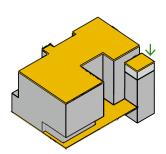
DESIGN EVOLUTION

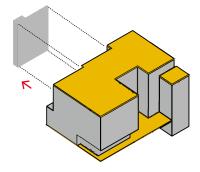
Revisions after Early Design Guidance Meeting:

- Elimination of the 6th floor
 - Reduces mass of the project at the street and to the east and west neighbors
 - Reduces the reach of shadows
- Provide a successful transition to the lower density residential units across the street
- Provide a better transition to the existing structure to the east

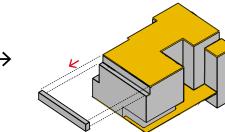




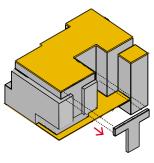












Elimination of the 6th Floor reduces the height, bulk, and scale of the building at the northern part of the site in response to Design Guidance.

One unit was added to the SW Corner of the proposal. A shadow study demonstrated that this did not impact the adjacent library structure.

The setback to the east was increased to allow for more light and air to the space between the two structures.

In order to reduce the height and bulk at the street, a portion of the 5th floor was set back from the street.

Additional mass was subtracted from the west elevation adjacent to the Library. This helps to reduced the blank wall area and add greater modulation and visual interest. This facade is clearly visible from Fremont Avenue and will draw visitors down N 35th Street.

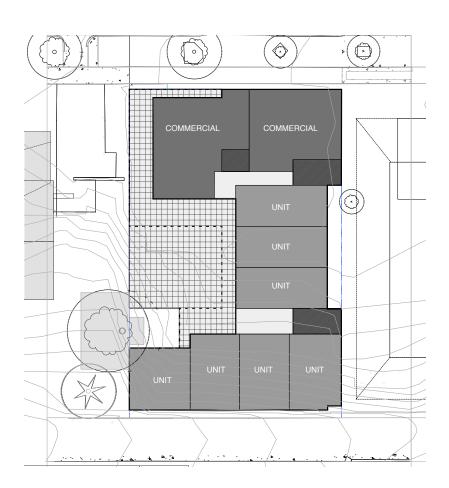
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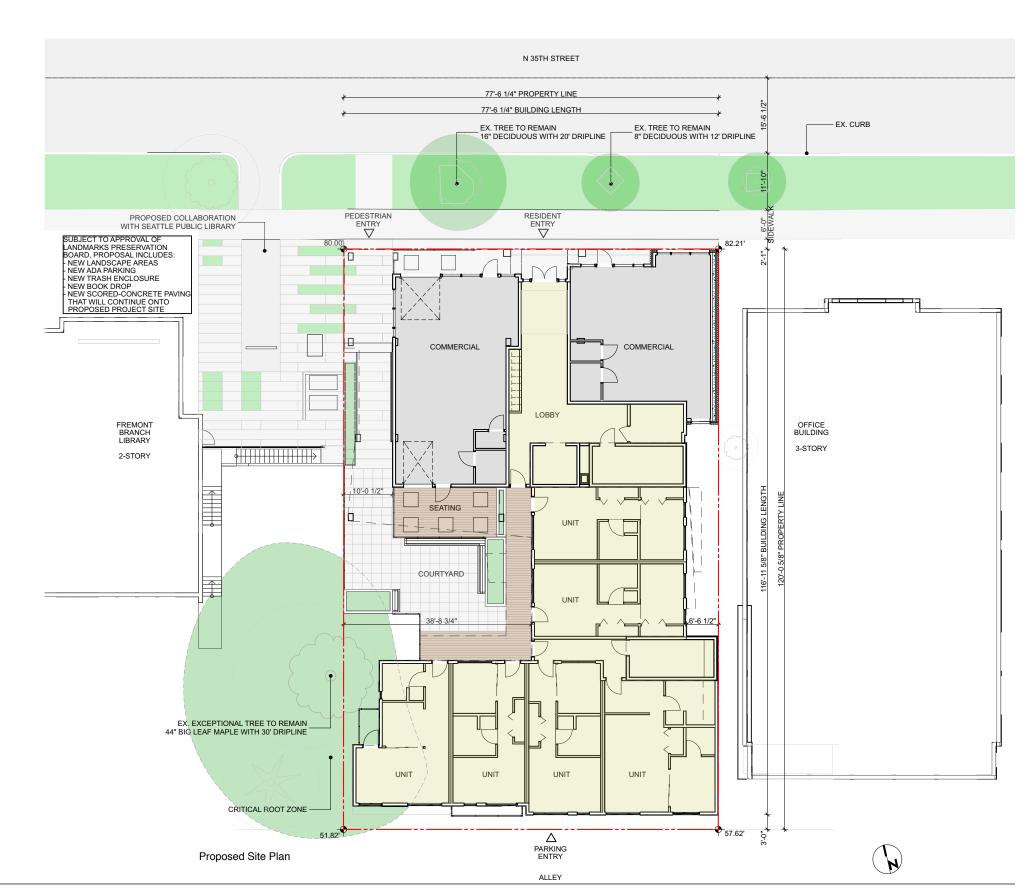
SITE PLAN

While the overall footprint of the proposal has remained similar, the spaces have been developed to create a strong connection with the courtyard and the street. The number of residential units at street level have been reduced by one, reducing the number of eyes on the structure to the east. The courtyard has been refined to include planters, benches, and public outdoor seating for the NW commercial unit. The connection to this commercial space is further enhanced with large areas of glazing and a glazed roll-up door.

A greater setback has been provided at the street and at the east property line. There is a strong residential connection to the street and a secondary connection through the courtyard to the right-of-way.

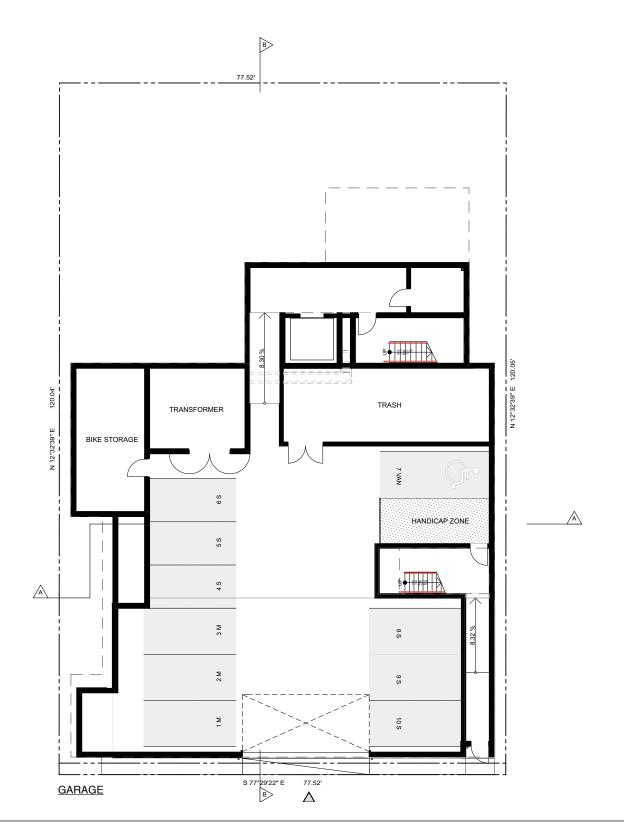


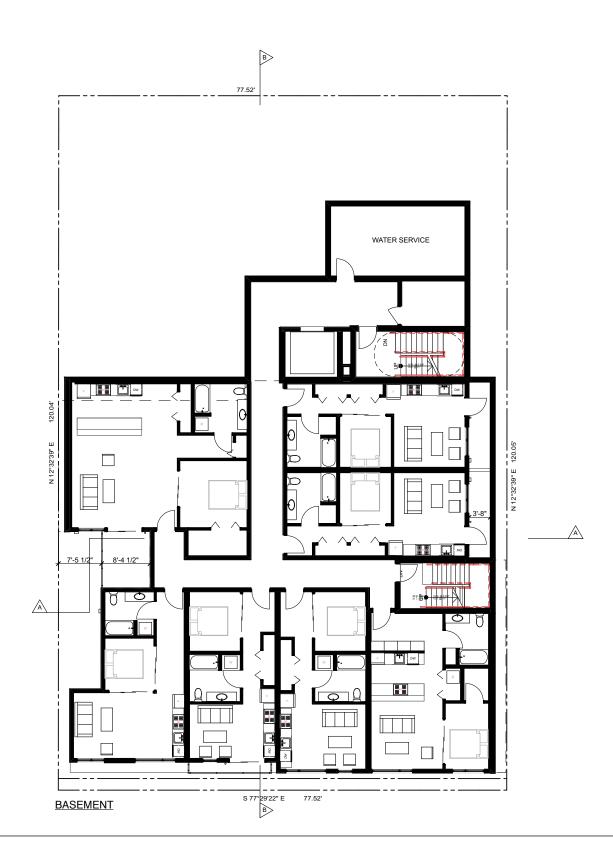




PROPOSED PLANS



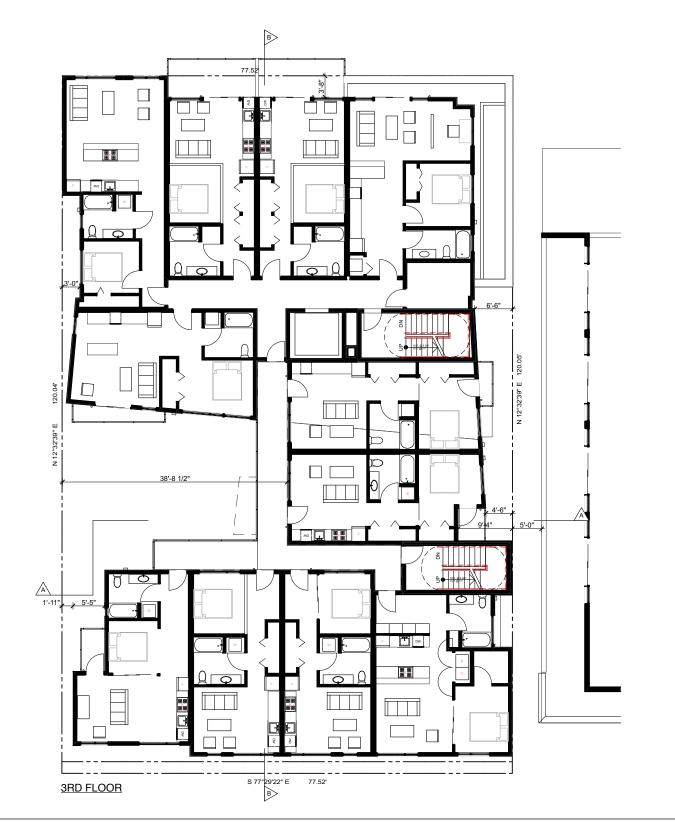






PROPOSED PLANS



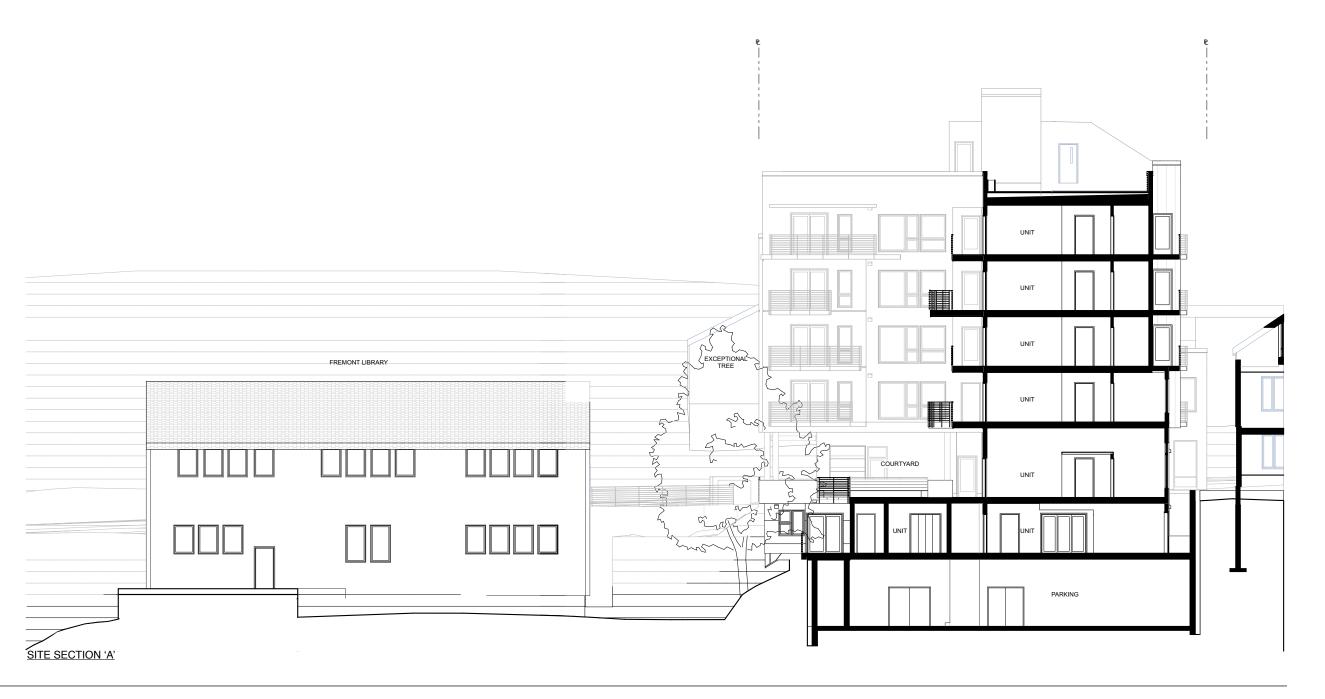




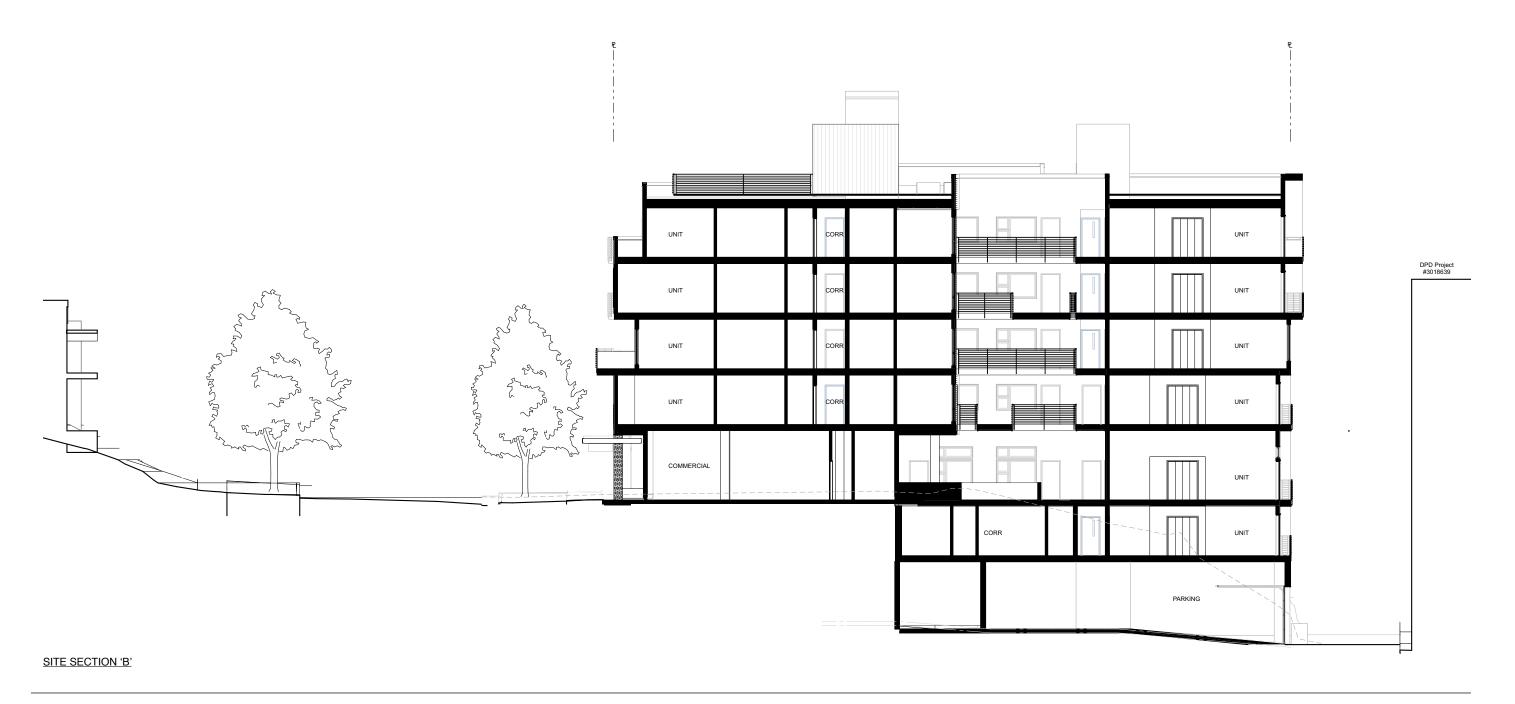


SITE SECTIONS

These site sections shows the how the proposed structure sits within the site and how it relates to its adjacent surroundings. The project was strongly influenced by these adjacencies.



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1 Wood and Concrete Bench

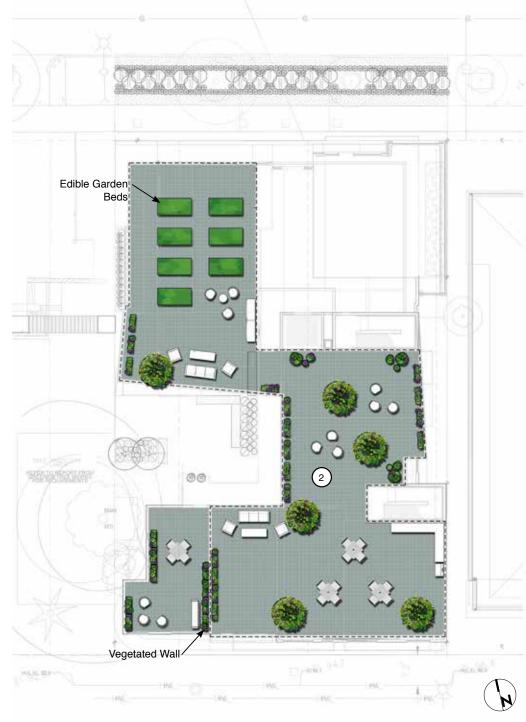


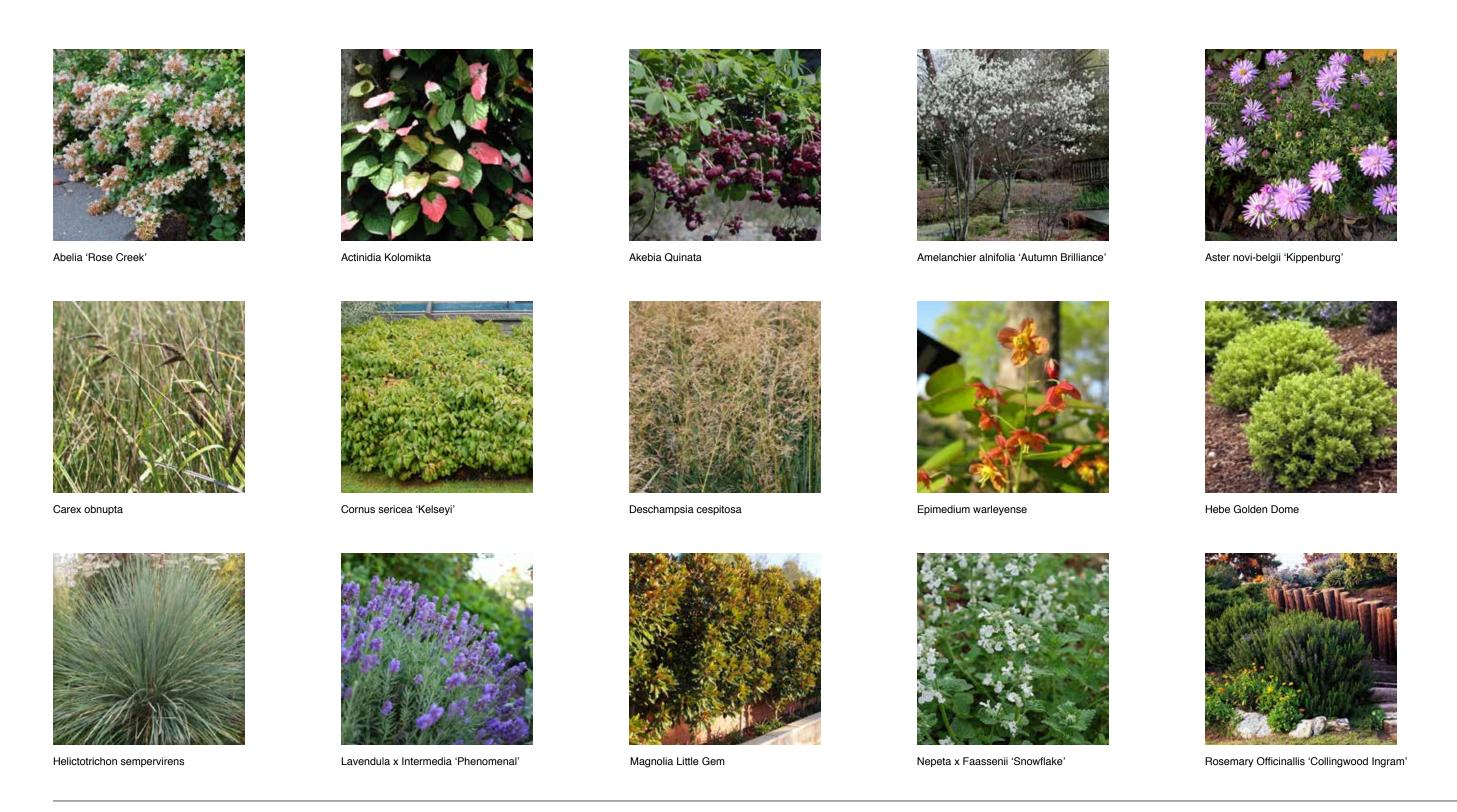
2 Concrete Pavers



3 IPE Pavers







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SUMMARY OF GUIDANCE

BOARD RECOMMENDATION N 35th Street

The Board felt Massing Option 3 provided the better design solution by providing the most successful ground plane design. The Board directed the applicant evolve the N 35th Street façade with the following guidance.

a) The Board noted the ground level setback on N 35th Street and the substantial ground level transparency represented in the design concept were positive additions to the project. At the Recommendation Meeting the Board requested details showing the right-of-way landscape improvements, additional street setback, and first floor commercial treatment, and the entry to the semi-private courtyard space contribute and enhance the existing neighborhood character (PC1-A-2, PL2-B).

b) The Board felt N 35th Street façade must evolve to provide a successful transition to the lower density lowrise residential uses across the street. The Board directed the applicant to review the adopted Design Guidelines, included CS2-D and DC-2, for direction on how to achieve an appropriate transition (CS2-D, DC2).

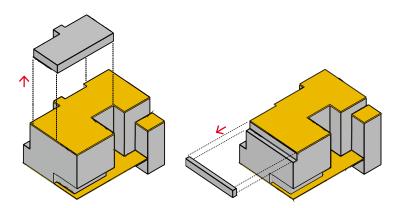
c) The Board felt strongly that the street façade must include substantial modulation on the street facade, as represented in the packet and presentation, to mitigate the uniform six story street wall (CS2-D, DC2).

SUMMARY RESPONSE

- Large areas of glazing have been retained and developed at street-level allowing for interaction with the commercial units from the sidewalk.
- The 6th floor has been eliminate and the 5th floor along N 35th Street has been setback to address the zone transition.
- The north facade has been significantly modulated to breakdown the scale of the building.



1 N 35th Street



BOARD RECOMMENDATION East Façade

The Board noted concern for the relationship of the six story building next to the existing two story office structure.

a) The Board agreed that the proposed building must provide a better transition to the massing, scale and use of the existing structure to the east. The Board directed the applicant to review Height, Bulk and Scale Guidelines CS2-D and DC-2 to develop an appropriate response to the existing context. The Board noted that the transition may be achieved in a variety of ways and felt the applicant should develop an appropriate response (CS2-D, DC-2).

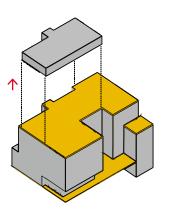
b) The Board requested a privacy study in elevation views documenting existing windows whose privacy will be impacted by proposed development. The location of existing windows should inform the location of proposed windows. (CS2-D5).

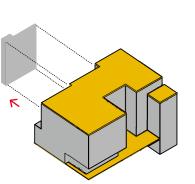
SUMMARY RESPONSE

- Additional setbacks have been added and the building has been stepped above the second floor to reduce the bulk and scale of the proposal.
- The 6th floor of the project was eliminated, reducing the overall height of the building.
- A privacy study has been completed and included (pp. 42-43). Windows have been located in a manner that reduces the privacy impact on both the neighboring building and the proposed project.



2 East Facade





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BOARD RECOMMENDATION West Façade

The Board focused guidance on the preferred massing option.

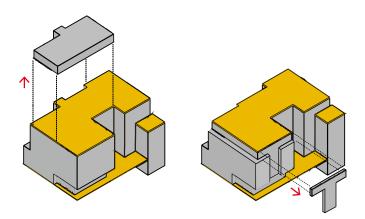
- a) The Board felt the design presented at the Recommendation meeting must have a better transition to the massing, scale and use of the existing structure to the west. The Board directed the applicant to review Height, Bulk and Scale Guidelines CS2-D and DC2 to develop an appropriate response to the existing context (CS2-D, DC-2).
- b) The Board directed the applicant to work with the Fremont Library to investigate whether the trash and recycling spaces may be treated to provide a visual extension of the plaza and public walkway on the subject lot (CS1-D, PL1-A-2, PL3-A-2).
- c) The Board would like to see a site section of showing the relationship of the proposed structure to the landmark structure and site, including the Exceptional Tree to demonstrate the relationship between the two buildings and the courtyard and the tree (CS1-C and CS1-D).
- d) The Board noted that the central courtyard space was integral to the success of the building concept. At Recommendation, the Board requested additional information about the treatment and programming of the space as a semi private space for use by residents. The Board felt the courtyard should be enlivened by the primary residential entry location and treatment (PL3-A-2).
- e) At the Recommendation Meeting the Board requested additional information and detail about the entry sequence and courtyard treatment including pavement, landscaping, lighting and signage (PL3-A-2).

SUMMARY RESPONSE

- Greater modulation and refined material application have helped reduce the scale of the building in relation to the library.
- The Design Team has collaborated with Seattle Public Libraries and have developed a plan to improve the trash, book drop, and parking space (p. 39)
- The courtyard has been developed emphasizing a strong commitment to community.



(3) West Facade



BOARD RECOMMENDATION Alley Façade

The Board felt the parking and back of house service location off the alley provided the better design solution.

- a) The Board felt the alley façade will benefit from the location of units which will bring eyes and residential life onto the alley
- b) The Board would like to see more information at the Recommendation meeting on the treatment of the alley at ground level including the garage door and lighting

SUMMARY RESPONSE

The units that face the alley have been provided with large windows to take advantage of the current view opportunities that exist south to the canal. Material variation adds scale and interest to the facade. Balconies are provided at higher units where there is no conflict with the existing power lines in the alley and add eyes and residential life to the alley.



(4) Alley Facade

BOARD RECOMMENDATION Architectural Context and Materials

The Board noted the proposed building is located within a neighborhood with a strong eclectic material and architectural character.

- a) The Board supported the proposed architectural concept which includes a more contemporary design consistent with the electric neighborhood character (CS3-A).
- b) The Board would like more information showing how the design parti and material application will reduce the scale of the building, particularly on the facades facing the north, east and west (DC2-A, B and D DC4-A).

SUMMARY RESPONSE

- The material palette proposed includes a mixture of masonry, metal panel, Ceraclad and cement panel.
- In order to provide a strong base and a transition from the structure to the east, the proposal is including brick at the 1st and 2nd floors at the NE corner to provide a consistent language between the two structures.
- Material changes emphasize modulation and add scale by breaking down the perceived mass on all sides.



(5) Architectural Context and Materials

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View from NW

N 35TH STREET

PL1-A-2 Adding to Public Life

The large areas of glazing at street level has been retained and the west exterior entrance to the shared courtyard has been widened to add to the level of transparency. This transparency is intended to draw people into the space provided at the center of the project and to allow a visual interaction with the commercial units from the sidewalk. The design team is currently collaborating with SHKS Architects and Seattle Public Libraries on a strategy for the adjacent library parking and book drop to enhance the entire public facing space between the library structure and the proposed development.

CS2-D-1 Existing Development and Zoning

CS2-D-3 Zone Transitions

The sixth floor has been removed at the northern portion of the site. The north facade has been broken down with modulation and other architectural elements like street level canopies and balcony railings. The 2nd, 3rd, and 4th floors are all heavily modulated along N 35th Street with setbacks in various locations. The setbacks are approximately 3'-0" from the north lot line. The 5th floor is setback from the north lot line 5'-0" and large areas of glazing are located along this facade to reduce the perceived mass. The proposed modulation and transparency provided, along with material changes, helps to break down the mass and scale of this facade, providing a smooth, respectful zone transition.

CS2-D-5 Respect for Adjacent Sites

As noted above, the 6th floor has been eliminated from the proposal, greatly improving the transition to the low-rise structures across the street and the adjacent Fremont Branch Library and the adjacent commercial building.



View from NW at EDG

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View to S from Adjacent LR2 Parcel



View from NE

EAST FACADE

CS2-D-1 Existing Development and Zoning

DC2-A-2 Reducing Perceived Mass

The 6th floor of the project was eliminated, reducing the overall height of the building. This provides a significant reduction in mass along the east facade of the proposal. In addition to eliminating the 6th floor, the stair penthouses located along the east facade have been tapered so that their height at the east facade has been significantly reduced.

CS2-D-5 Respect for Adjacent Sites

The number of units per floor that face the east neighbor have been reduced from 3 (proposed at EDG) to 2. The setback for these units varies, but ranges between from 4'-6" to 6'-6".

DC2-C-1 - Visual Depth and Interest

Many of the units along this facade are provided with private balconies helping to break down the overall mass of this wall and brings activity to this space.

In addition, the north egress stair has been setback from the property line by 6'-6" in order to increase air and light to this space. Based on a privacy study, windows have been located to reduce the privacy impact on both the neighboring building and the proposed project.



View from NE at EDG

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View from 3rd Floor of Fremont Professional Building Looking N

View from NE

View from W

WEST FACADE

PL3-A-2 Ensemble of Elements

The scale of the west facade has been significantly broken down through the composition and use of materials and secondary elements. The large open space at the courtyard is designed with planters and benches for public use while the railings on the balconies and the open walkways help create a spacious and vibrant atmosphere.

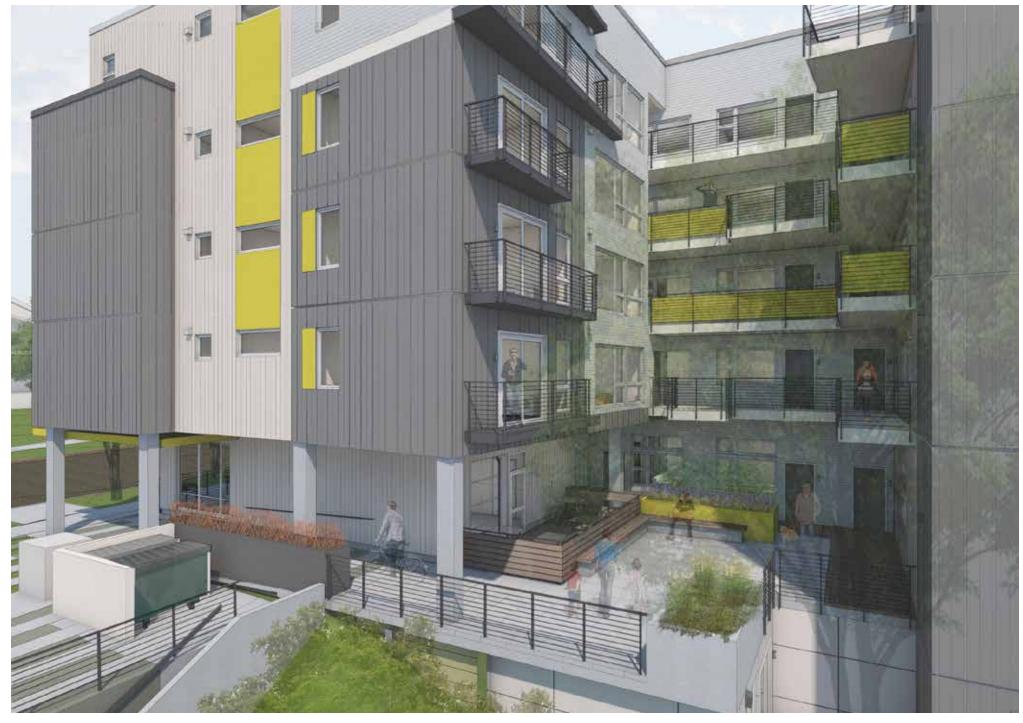
PL3-A-2 Ensemble of Elements

The modulation has been increased along the northwest portion of the west facade. Glazing has been added to the extent allowed by the building code in material changes have been proposed to breakdown the scale of the wall. In addition, the 1st and 5th floors have been setback from the west property line by an additional 1'-6" and by 3'-0" respectively.



View from W at EDG

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View from Library

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1 View Looking S from 5th Floor



2 Courtyard View from 5th Floor



2 Courtyard View from 2nd Floor

COURTYARD

PL3-A-2 Ensemble of Elements

The courtyard has been further defined, with areas distinguished for varied uses. Planters have been located strategically to separate areas of circulation from semi-public spaces. The large gathering space has a direct relationship with the corner commercial space. The courtyard is visible from upper level balconies and decks emphasizing the strong design commitment to community adjacent to the library.

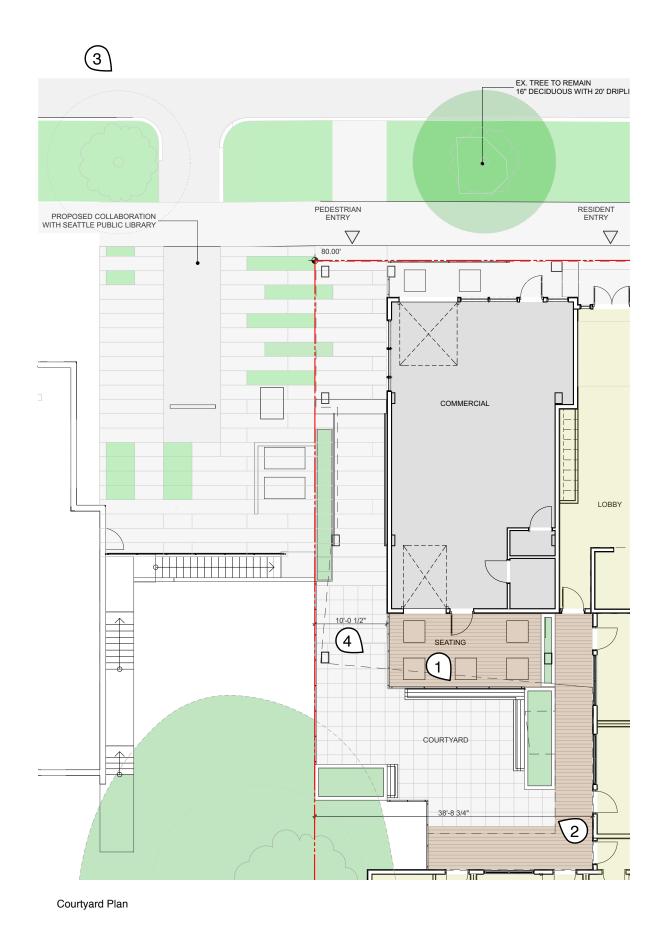
PL1-A-2 Adding to Public Life

The design team collaborated with Seattle Public Libraries and have developed a plan to improve the trash, book drop, and parking space. This plan includes developing a similar paving pattern that spans both sites, tying the two together from the street and sidewalk. A new enclosure for the trash/recycling, a new book drop, and a redesigned ADA parking space are all part of the design. Discussions have also included designing a new staircase that could connect to the alley.



2 Courtyard View from 1st Floor

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3 Entry to Courtyard from Sidewalk



4 Entry into Main Courtyard from Walkway



View from W at Alley

ALLEY FACADE

PL2-B-1 Eyes on the Street

PL2-B-2 Lighting and Safety

The units that face the alley have been provided with large windows to take advantage of the current view opportunities that exist south to the canal. Material variation adds scale and interest to the facade. Balconies are provided at higher units where there is no conflict with the existing power lines in the alley; these add eyes and activity to the alley. The alley facade will be well lit at the parking garage to provide safety and security for those entering the garage and to discourage unwanted guests.

The door for the parking garage will be a metal coiling door that will be operated by remote control. The entry to the garage will be lit with wall mounted fixtures and downlights will be located along the alley wall to provide adequate light and provide safety to residents during evening hours.

A new office building is proposed, under DPD project #3018639, shown ghosted in the renderings to the left and right.



View from W at Alley at EDG

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Outline of DPD _ Project #3018639



View from W at Alley with Proposed DPD Project #3018639

View from S at Alley with outline of Proposed Project 3018639

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MATERIALS

<u>CS3-A</u> Emphasizing Positive Neighborhood Attributes

The material palette proposed includes a mixture of masonry, metal panel, Ceraclad and cement panel. In order to provide a strong base and a transition from the structure to the east, the proposal is including brick at the 1st and 2nd floors at the NE corner to provide a consistent language between the two structures and to soften the transition from a traditional building to a modern proposal.



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DC2-A-2 Reducing Perceived Mass

Material changes emphasize modulation and add scale by breaking down the perceived mass on all sides. The 5th floor, which is set back from all edges below it, utilizes a different material to help separate it from the 4 story mass below it. This is intended to help the building read as a 4-story mass.

PROVIDE 18" CERACLAD VERTICAL PANEL -COLOR "EURO BROWN" PROVIDE 18" CERACLAD VERTICAL PANEL -COLOR "EURO BROWN" PROVIDE PAINTED PANEL COLOR "CITRON" PROVIDE 8" CERA VERTICAL PANEL COLOR "LINEN" ROVIDE HARDIE PANEL PROVIDE 4' X 8' HARDIE PROVIDE STANDIN - SEAM METAL SIDIN COLOR "STEEL GF PANEL COLOR "THUNDER CLOUD GRAY PROVIDE 2" PREFIN. STEEL ANGLE AT MATERIAL TRANSITION PROVIDE 4' X 8' HARDIE PANEL COLOR "THUNDER CLOUD GRAY" PROVIDE DARK - BRICK COLOR "EBONY" PROVIDE PAINTED PANEL COLOR "CITRON" EXISTING AND FINISHED GRADE PROFILE PROVIDE PAINTED CONCRETE, COLOR "THUNDER CLOUD GRAY" EXISTING AND FINISHED GRADE PROFILE **SOUTH ELEVATION EAST ELEVATION** Steel Guardrail Fiber Cement Siding Panel Parapet Cap, Vent Hood, Concrete Parapet Cap, Vent Hood, Accent Guardrails / Handrails / Canopies Vent Hood BM 2125-30 Gray Shower BM 2124-40 Thunder Cloud Gray BM 2124-40 Thunder Cloud Gray BM 2131-10 Black Satin

DC2-D-1 Human Scale

railings, entry canopies, and courtyard planters.

The mass of the building is further broken down by incorporating finer scale details such as balcony,

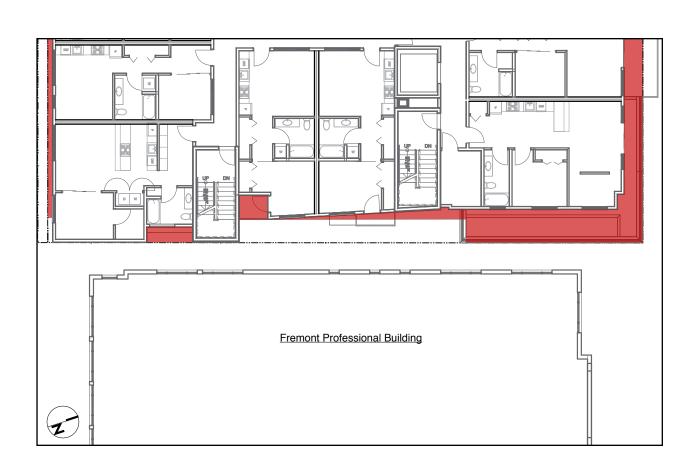
DQ architects

Color Per Elevations

ADJACENT STRUCTURES

In response to guidance, the transition to the adjacent 3-story office building was reevaluated. The diagram on this page shows the extent of the originally proposed massing in red. The proposal has been pulled back from the property line at the 3rd story and above to increase the amount of light and air to the neighboring structure. Two steps were also taken to reduce the height of the structure. The 6th story was eliminated and the roofs of the stair penthouses were tapered away from the adjacent structure to reduce the height of them at the eastern edge of the proposal.

The privacy study shows that there are very few direct privacy issues and that the windows have been located to provide a good level of privacy. It should also be noted that an office building will typically be occupied at different hours than a residential building.





MASS REDUCTION AT EAST FACADE EAST PRIVACY ELEVATION

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MASS REDUCTION AT WEST FACADE

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SIGNAGE

1 2 3 4 5 **6** 7

BUILDING NAME SIGNAGE LOCATION

BUILDING NUMBER SIGNAGE

White Vinyl Numbers Located at the Transom of the Residential Lobby Entrance

743

COMMERCIAL UNIT SIGNAGE

White Vinyl Numbers Located at the Transom of the Commercial Entries

SUITE SUITE 101 103

COMMERCIAL TENANT SIGNAGE

Steel Signs to be hung from Steel Canopy. Tenant signage to be limited to dimensions below. Window graphics/ signage to be approved by management.

4'-0" -

1'-6"



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LIGHTING





1 Recessed Wall Fixture

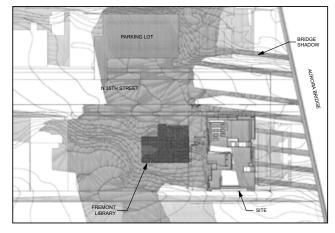


2 Sconce Fixture for Units / Penthouses

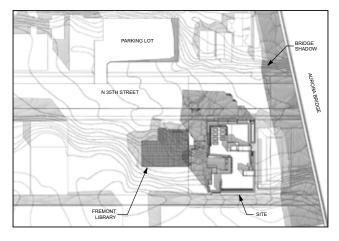


3 Recessed Exterior Can Fixtures

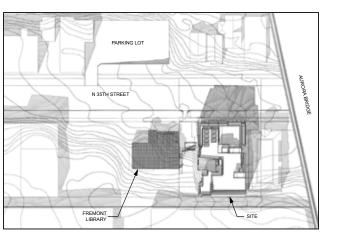
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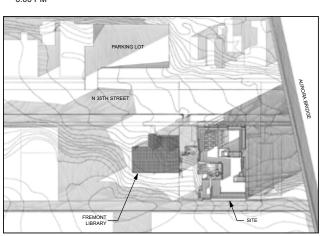


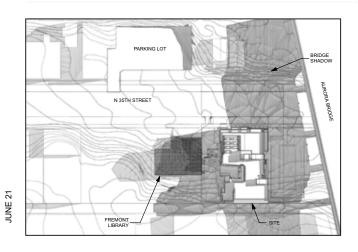
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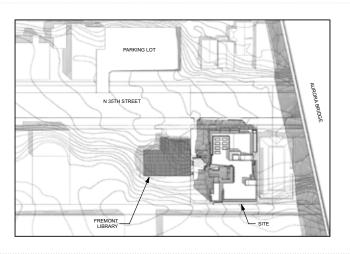


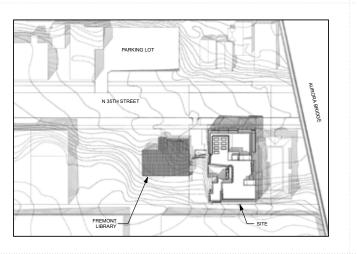
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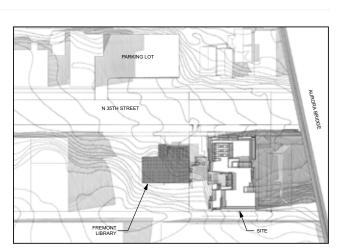


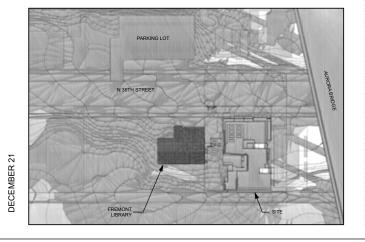


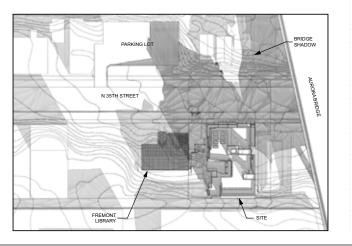


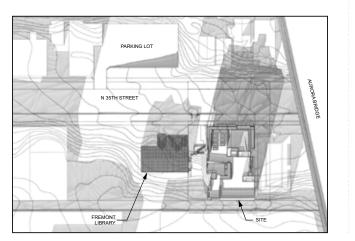


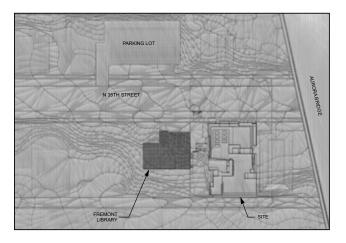






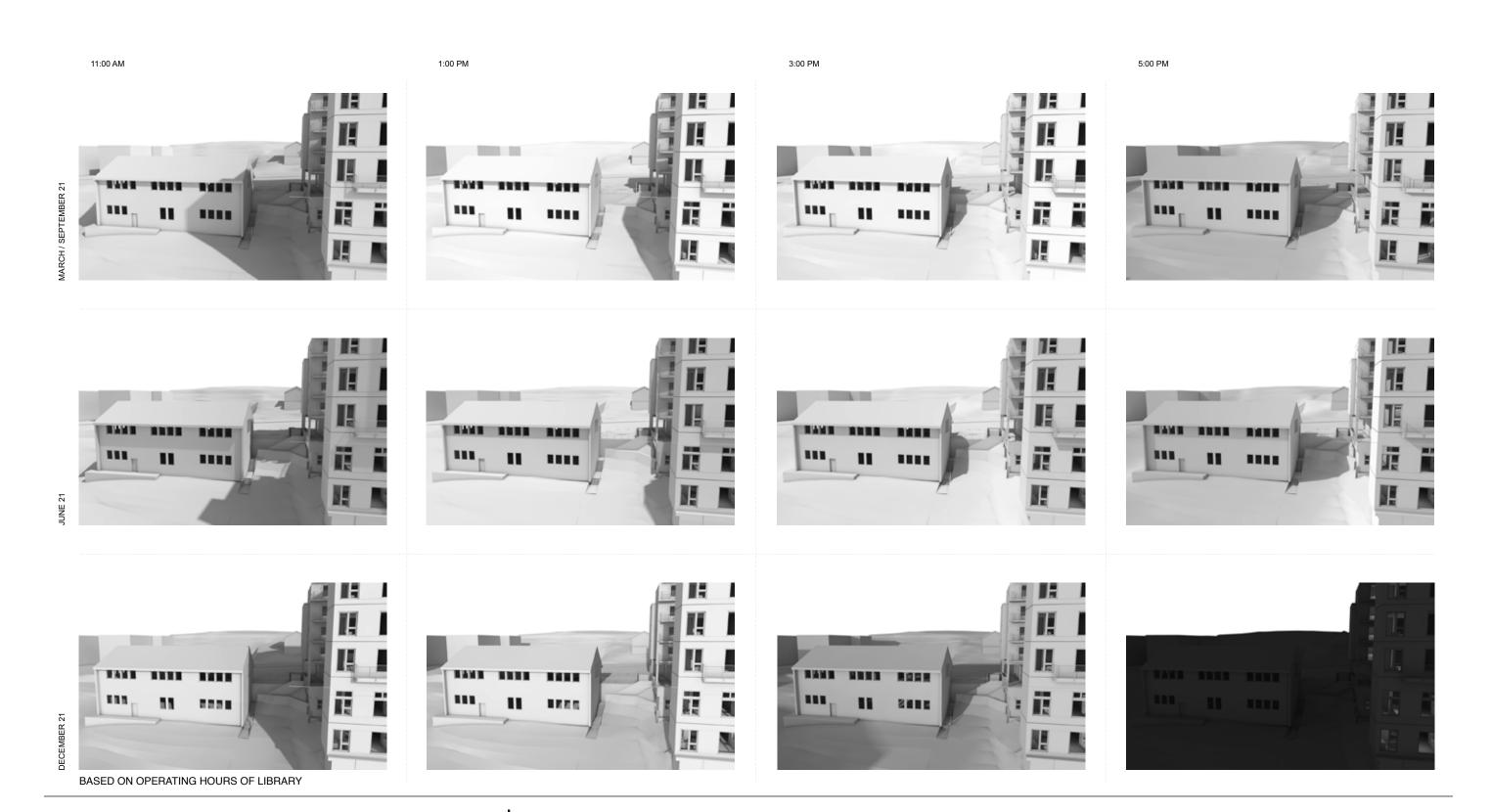






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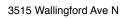
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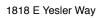
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COMPLETED WORK







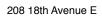




1818 E Yesler Way

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90 E Newton Street



1411 E Fir Street

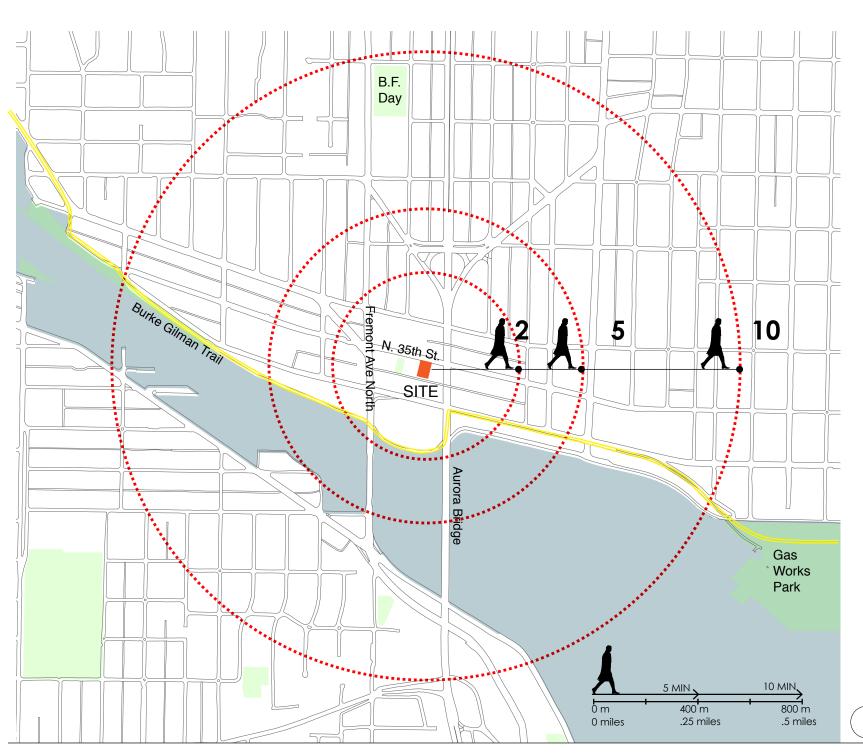
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POST EDG DESIGN EVOLUTION

WALKABILITY





Minutes

Access to Queen Anne BF Day Playground Marina Access Canal Park South Ship Canal Trail West Ewing Mini Park Gas Works Park 60+ Restaurants & Shops

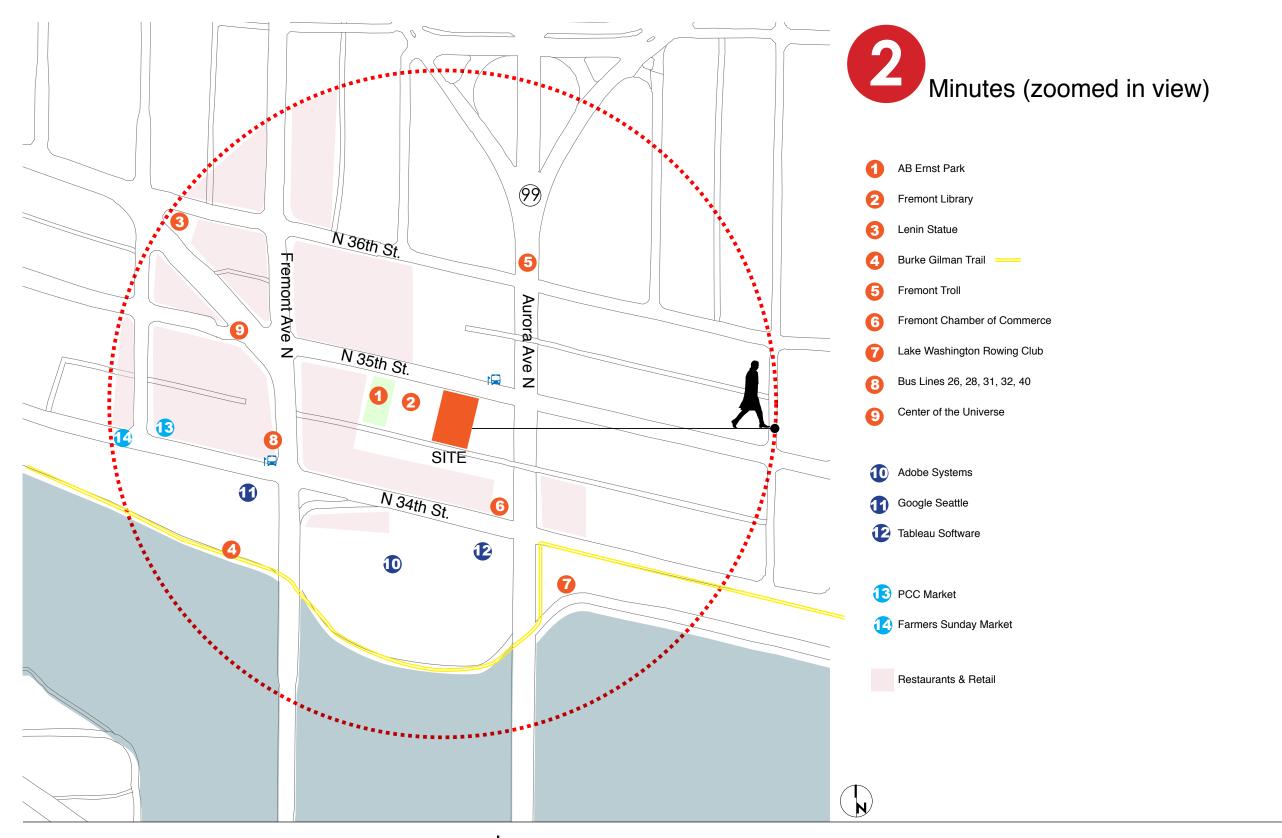
5

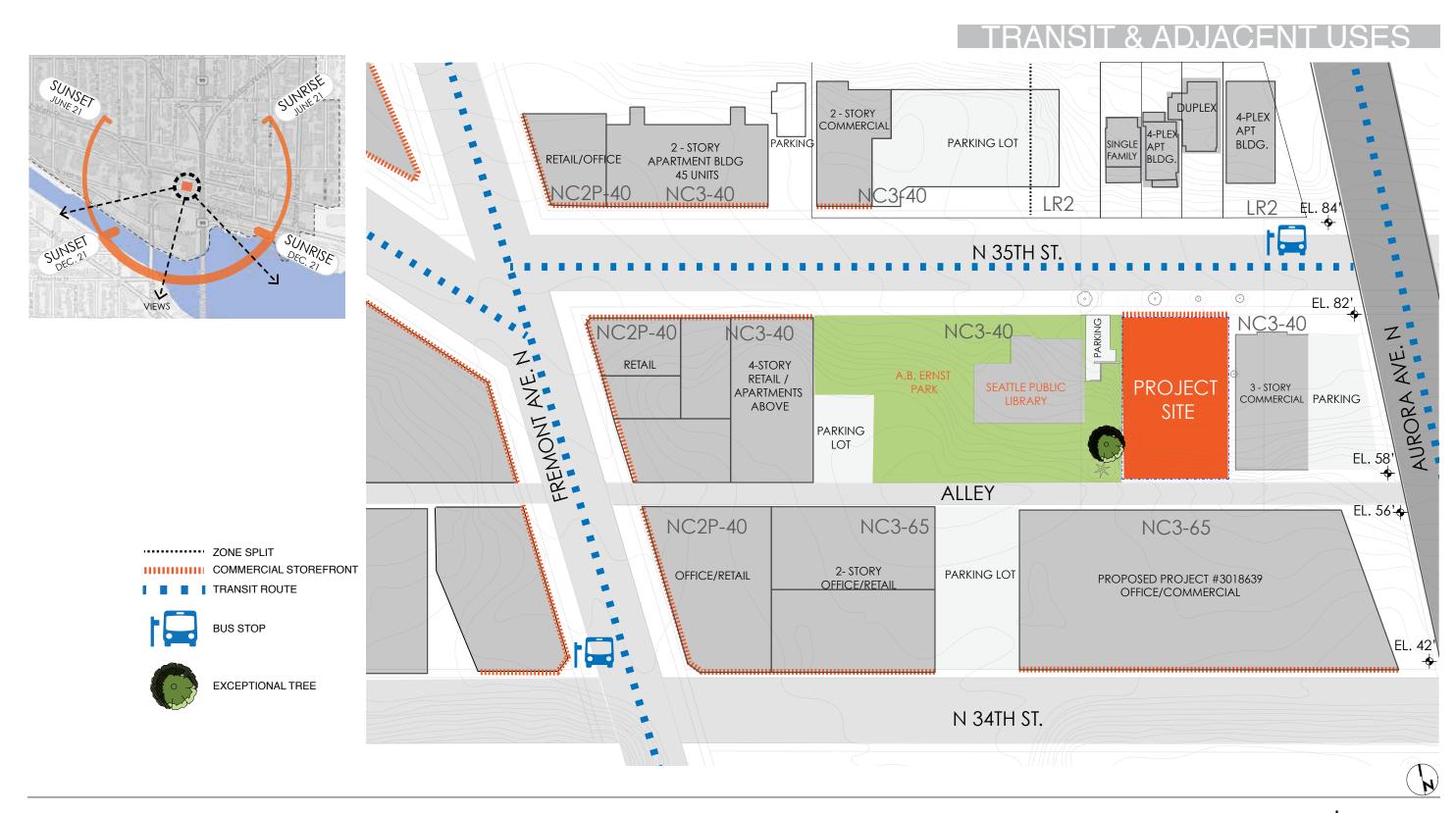
Minutes

PCC Market Farmers Sunday Market Fremont Troll Fremont Bridge AB Ernst Park Aurora Bridge Burke Gilman Trail 30+ Restaurants & Shops

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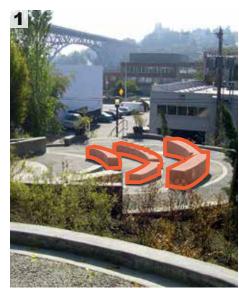
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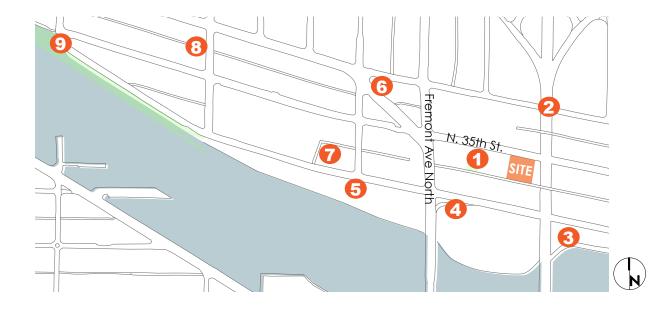
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This illustration examines some of the existing public spaces found in Fremont. The project has drawn from this pattern of open space and is proposing a shared courtyard at the center of the project. This courtyard which opens to the Library will be activated by residents, guests, and patrons of the commercial spaces. .









PUBLIC SEATING

GATHERING ADJACENT RIGHT-OF-WAY

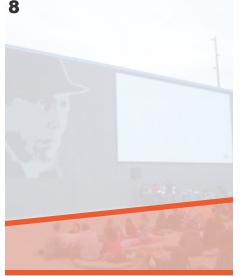
INTIMATE SCALE













LARGE SCALE PLAZA

TERRACED PUBLIC SPACE

REPURPOSED STREET

LANDMARK GATHERING SPACE

REPURPOSED EMPTY LOT

LINEAR PARK