

April 21, 2016

1606 California Ave. SW

DPD Project #3016112

Design Review Recommendation Meeting

Roger H Newell AIA Architect



PROPOSED UNITS:		
1BR W/STUDY	7	
2BR	8	
TOTAL	15	
PARKING		
GARAGE	15+5 tandem	
SURFACE	4	
TOTAL	24 (21.5 CODE)	
BICYCLES		
GARAGE	8	

- | | |
|---------------------------|---------------------------|
| 1. TH, 3-STORY, 12 UNITS | 45. APT, 2-STORY, 5 UNIT |
| 2. APT, 2-STORY, 4 UNIT | 46. APT, 3-STORY, 7 UNIT |
| 3. SF, 2-STORY, 1 UNIT | 47. APT, 3-STORY, 6 UNIT |
| 4. APT, 2-STORY, 12 UNIT | 48. TH, 4-STORY, 4 UNITS |
| 5. TH, 3-STORIES, 4 UNITS | 49. SF, 1-STORY, 1 UNIT |
| 6. SF, 1-STORY, 1 UNIT | 50. TH, 3-STORY, 12 UNITS |
| 7. SF, 1-STORY, 1 UNIT | 51. APT, 3-STORY, 6 UNIT |
| 8. SF, 1-STORY, 1 UNIT | 52. SF, 3-STORY, 1 UNIT |
| 9. SF, 3-STORY, 1 UNIT | 53. VACANT LOT |
| 10. SF, 2-STORY, 1 UNIT | 54. SF, 2-STORY, 1 UNIT |
| 11. SF, 1-STORY, 1 UNIT | 55. SF, 2-STORY, 1 UNIT |
| 12. SF, 1-STORY, 1 UNIT | 56. SF, 3-STORY, 1 UNIT |
| 13. APT, 2-STORY, 2 UNIT | 57. SF, 3-STORY, 1 UNIT |
| 14. SF, 2-STORY, 1 UNIT | 58. SF, 2-STORY, 1 UNIT |
| 15. SF, 2-STORY, 1 UNIT | 59. SF, 2-STORY, 1 UNIT |
| 16. SF, 1-STORY, 1 UNIT | 60. SF, 2-STORY, 1 UNIT |
| 17. SF, 2-STORY, 1 UNIT | 61. SF, 1-STORY, 1 UNIT |
| 18. SF, 2-STORY, 1 UNIT | 62. SF, 2-STORY, 1 UNIT |
| 19. SF, 2-STORY, 1 UNIT | 63. SF, 2-STORY, 1 UNIT |
| 20. SF, 2-STORY, 1 UNIT | 64. SF, 3-STORY, 1 UNIT |
| 21. SF, 2-STORY, 1 UNIT | 65. SF, 3-STORY, 1 UNIT |
| 22. SR HOUSING, 3-STORY | 66. SF, 1-STORY, 1 UNIT |
| 23. APT, 2-STORY, 4 UNIT | 67. SF, 2-STORY, 1 UNIT |
| 24. TH, 3-STORY, 4 UNITS | 68. SF, 2-STORY, 1 UNIT |
| 25. APT, 4-STORY, 4 UNIT | 69. SF, 1-STORY, 1 UNIT |
| 26. APT, 3-STORY, 8 UNIT | 70. SF, 2-STORY, 1 UNIT |
| 27. SF, 2-STORY, 1 UNIT | 71. TH, 2-STORY, 1 UNIT |
| 28. APT, 4-STORY, 4 UNIT | 72. SF, 3-STORY, 1 UNIT |
| 29. TH, 4-STORY, 10 UNITS | 73. SF, 2-STORY, 1 UNIT |
| 30. SF, 2-STORY, 1 UNIT | 74. SF, 2-STORY, 1 UNIT |
| 31. APT, 2-STORY, 4 UNIT | 75. SF, 2-STORY, 1 UNIT |
| 32. APT, 4-STORY, 8 UNIT | 76. SF, 2-STORY, 1 UNIT |
| 33. APT, 4-STORY, 12 UNIT | 77. SF, 2-STORY, 1 UNIT |
| 34. APT, 4-STORY, 35 UNIT | 78. SF, 2-STORY, 1 UNIT |
| 35. TH, 4-STORY, 10 UNITS | 79. SF, 2-STORY, 1 UNIT |
| 36. APT, 4-STORY, 7 UNIT | 80. SF, 1-STORY, 1 UNIT |
| 37. APT, 2-STORY, 2 UNIT | 81. SF, 1-STORY, 1 UNIT |
| 38. APT, 3-STORY, 37 UNIT | 82. SF, 1-STORY, 1 UNIT |
| 39. APT, 1-STORY, 2 UNIT | 83. SF, 1-STORY, 1 UNIT |
| 40. SF, 1-STORY, 1 UNIT | 84. SF, 1-STORY, 1 UNIT |
| 41. APT, 2-STORY, 4 UNIT | 85. SF, 2-STORY, 1 UNIT |
| 42. SF, 2-STORY, 1 UNIT | 86. SF, 3-STORY, 1 UNIT |
| 43. TH, 2-STORY, 1 UNIT | 87. SF, 2-STORY, 1 UNIT |
| 44. SF, 2-STORY, 1 UNIT | 88. SF, 2-STORY, 1 UNIT |
| 45. TH, 2-STORY, 5 UNIT | 89. SF, 2-STORY, 1 UNIT |
| | 90. SF, 2-STORY, 1 UNIT |



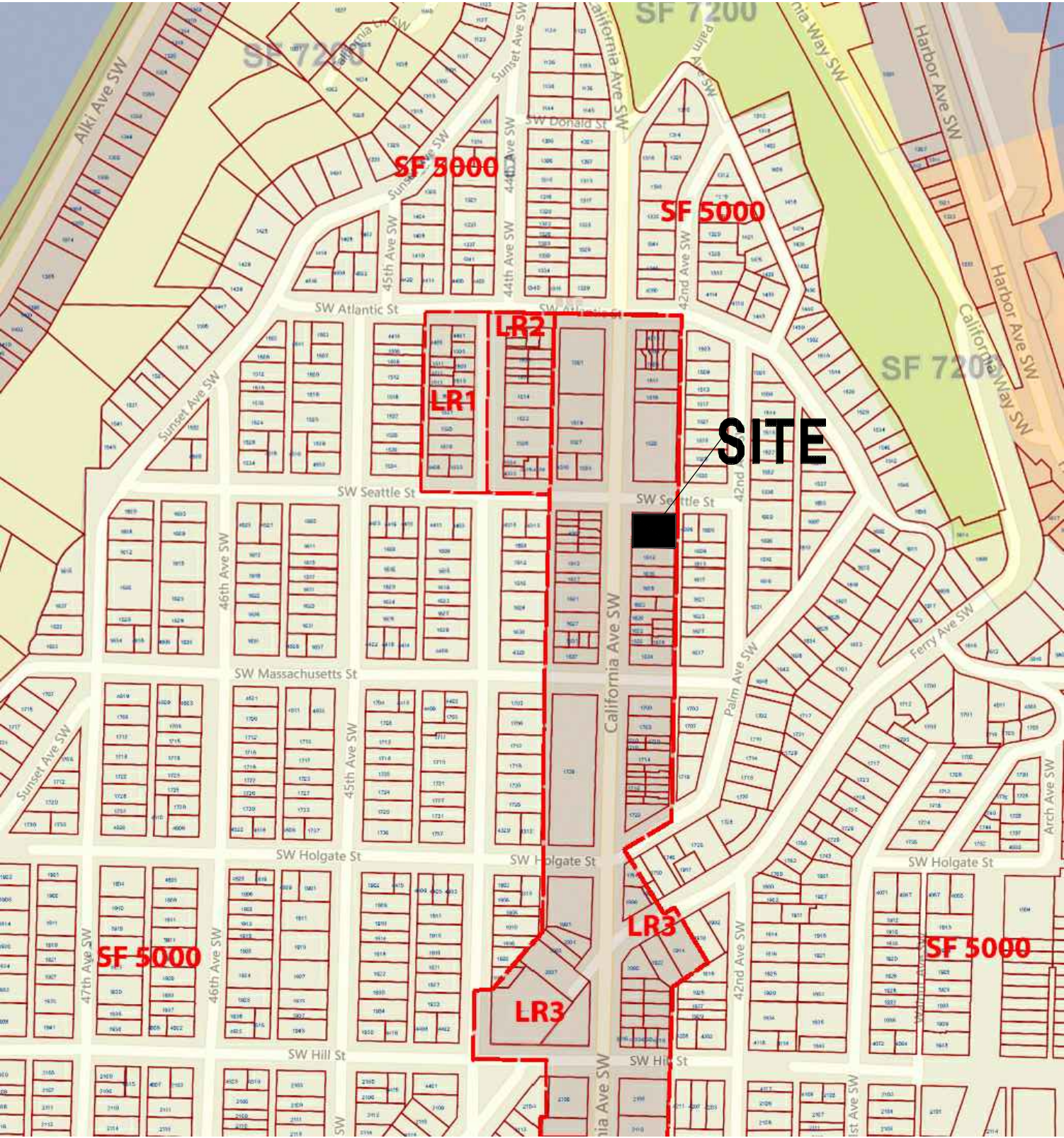
■ MULTI-FAMILY
■ SINGLE-FAMILY



Aerial / Vicinity Map

ADDRESS:	1606 California Ave SW Seattle WA 98116	STRUCTURE WIDTH:	150' max
LEGAL:	Lots 1,2 & 3, Block 12, 1st plat of West Seattle	FACADE LENGTH:	65% length of side lot line = .65 x 109.95 = 71.47'
DPD ZONING MAP:	125	STREET WIDTH:	80' existing; 52' required.
DPD PROJECT NO.:	3016122	SW SEATTLE CALIFORNIA AV SW ALLEY	80' existing; 52' required 20' existing; 16' required
PARCEL NO.:	Parcels 9272201475 & 9272201465	GARBAGE / RECYCLE	9 - 15 units; 150 SF required, 16-25 units; 225 SF required, minimum 12' dimension if exterior location 225sf provided
ZONING:	LR3	PARKING	1 stall / dwelling, alley access required 21.5 code stalls provided
OVERLAYS:	Outer Transitional Surface Airport Height Overlay; Arterial; View 250	AMENITY AREA:	Required 2,357 sf. 25% of lot area required with 50% of req'd amenity at located at ground level. 29% of lot area provided 55% at ground level
ECA:	None		
SITE AREA:	109.95 x 85.77 = 9,430.45 SF		
USES:	LR3 - Residential w/ accessory parking		
DENSITY:	1/800 SF max: 9,430 / 800 = 11.7 = 12 units max, unlimited if LEED Silver or built green 4 star.		
STRUCTURE HEIGHT:	30' Height Bonus = 10' for pitched roofs, limit of 3 floors above grade, 5' for pitched roofs + 4' for a partially below-grade floor, limit of 3 full floors above grade. 4' bonus does not apply to portions of lot within 50' of sfr zone boundary line. 3' for shed and butterfly roofs		
FLOOR AREA RATIO (FAR):	1.5 max = 9,430 x 1.5 = 14,145.6 SF. 2.0 (available for buildings meeting LEED Silver) = 9,430.4 x 2 = 18,860.8 SF. *4' partial below-grade garage is exempt from FAR only if the building qualifies for LEED Silver		
SETBACKS:			
FRONT (California)	5' min req'd. and provided		
REAR	10' min with alley required; 33'-6 1/2" provided		
SIDE	>40' facade: 7' ave, 5' min. 11.3 ave. provided at north; 7.2' provided at south.		
DESIGN STANDARDS:	20% min street facade glazed, max 750 SF street facade in one plane (18" Min offset)		
LANDSCAPING:	Green factor score of 0.6. Green Factor of 0.78 provided. Street trees required.		

Zoning Data



 Zoning Map



Existing Site Conditions

Public Life

- safety/security enhanced through building siting adjacent to west property line
- exterior lighting to provide tenant security
- uplit "beacon" element provides visual focus for pedestrians
- single egress circulation minimizes exterior doors for enhanced safety
- bicycle facility in garage with opportunity for increased quantity of bikes as demand calls for.

Context & Site

- compact footprint for energy savings
- maximum daylighting w/floor to ceiling glazing
- rough in for future solar panels at roof
- deciduous trees for summer shading
- glazing to reinforce corner location
- glazing & balconies provide building/street connection
- building bulk moved away from single family
- facade modulation to reduce building bulk
- level sidewalk/lobby connection
- lighted stair tower provides "beacon" focal point
- substantial glazing for transparent facade
- terraced top floor & increased setback buffer zoning edge condition
- units oriented to NE maintain privacy for single family residents

Design Concept

- unit plan arrangement provides maximum modulation on NW and NE corners
- units arranged to take advantage of potential views to NE
- auto vehicle access off of existing alley with under ground parking
- direct access from public sidewalk to lobby
- parking located below grade with exception of 3 stalls off alley
- refuse area enclosed with fencing & landscape
- perceived mass reduced thru terracing and modulation
- visual interest through use of facade modulation, glazing, balconies, roof overhangs and chimney elements
- contrasting facade materials and colors provide interest & texture
- human scale thru balcony elements, lowered lobby roof
- common open space at ground level w/semi private deck open space for each unit
- durable materials include brick, stucco, steel, natural wood and glass
- landscape for visual amenity, summer solar screening, year round visual screening, privacy screening

DEVELOPMENT STANDARDS

1. **Massing and Materials** The Board noted that preferred Massing Scheme Four provided the better design solution. The Board felt the massing and site design should evolve with the provided guidance.

- a) The Board liked the variation in massing on the north façade. The Board noted that the modulation in the staggered façade provides opportunities for corner windows (CS2-D Height, Bulk, and Scale). **Building massing and bulk are integrated by “stepping” the north facing units into 23 foot and 8 foot segments. Although the corner site is not considered a strong neighborhood focal point, the corner façade features substantial glazing enhancing the building corner. Cantilevered balconies provide interplay between transparent corners, horizontal linear balcony elements and solid vertical masonry elements.**
- b) The Board felt Massing Scheme Four provided the better design solution by minimizing the number of units facing single family zone across the alley (CS2-D Height, Bulk, and Scale). **The bulk of the building has been moved 5 feet west visually reinforcing the corner and providing more separation from the single family residences to the east. As an edge property between multifamily and single family zones, greater compatibility is achieved by stair stepping the upper floor and reducing apparent height and bulk of the façade facing the single family properties.**
- c) The Board felt the site design would benefit by moving the buildings to the minimum 5 foot setback along California Avenue SW. The reduced setback would provide a more substantial building presence along the street and also increase the setback along the alley across from the single family zone (PL3-B2 Residential Edges). **An increased rear yard setback provides a more compatible transition between the existing single family structures and proposed building. Privacy for single family perspective is maintained through the northeastern orientation of all but four units.**
- d) The Board noted the building exterior should be constructed of durable materials of high quality (DC4 Exterior Elements and Finishes). **Durable exterior materials include: brick, cement board, stucco and steel. Deck and roof soffits feature a stained wood facing.**

2. **California Avenue Façade and Entrance Lobby.** The preferred massing alternative located a shared entrance lobby on the SW corner of the site adjacent to California Avenue SW. The Board supported the lobby location but felt additional site design efforts were necessary to make the space successful.

- a) The Board noted that the lobby should engage the street more directly by being located closer to the street at the code required minimum setback of 5 feet (CS2-B2 Connection to the Street, PL3-A2 Common Entries, DC1-A Arrangement of Interior Uses). **The close proximity of the entrance/lobby/stairwell to the public sidewalk provides a strong connection while providing a focal point for pedestrians. A towering internally and externally lit stair beckons pedestrians to the entry.**
- b) The Board directed that the lobby should be located as close to grade as possible to remove the need for exterior ramping. If ramping is necessary, the Board felt it should be located within the structure (PL3-A2 Common Entries). **The lobby has been located at sidewalk grade and uses a two-sided elevator to handle the elevation difference between the lobby and First Floor.**

- c) The Board directed more transparency be incorporated onto the California Avenue facade to bring eyes onto the street. The Board was particularly concerned about the large blank wall facing the street (PL2-B Safety and Security). **Significant glazing on the west façade provides transparency with ambient light onto the pedestrian sidewalk. Safety and security are enhanced by locating the building within close proximity to the public sidewalk.**
- d) The Board felt the entrance lobby lighting should act as a beacon for residents and visitors to the site. The Board requested a full lighting plan at the recommendation meeting (DC4-C Lighting). **The “beacon” tower feature of up lit glazing provides an identifiable building entry. Building lights (including the stair/entry “beacon”) and pathway lighting provide nighttime security. Up lights located at the entry provide reflected light off roof overhangs. Ground level up lights at trees near the alley provide additional reflected light. See p. 20 of the DR packet for the Exterior Lighting Plan.**

3. **Subterranean Units.** The Board was concerned about the viability of the partially below grade units and felt that additional efforts should be made to maximize natural light to these spaces.

- a) The Board noted that provided window wells must be designed to maximize natural light (CS1-A2). **Daylight is made available through maximum floor to floor height with extended glazing. Terracing opens the patios to air and light.**
- b) The Board supported the terracing of the window well to provide direct access between the unit and the amenity space. The Board felt the setbacks and ground level amenity space should be developed to provide privacy and security between the ground level residential use and the street, particularly important at the corner (PL3-B Residential Edges). **Common amenity areas and open spaces are located at ground level to the north and east of the ground level units. Stair access and terracing to the ground level amenity space is provided for each ground level dwelling.**
- c) The Board discouraged the below grade decks on California Avenue SW façade (PL3-B Residential Edges). **The terrace along California Avenue was eliminated when the building side yard was reduced from 10 to 5 feet.**
- d) At the next meeting, the Board wished to see additional details for the treatment of the subterranean access and sidewalk experience. The Board requested imagery and drawings from the sidewalk and window well locations. The Board encouraged the applicant to research successful case studies and examples of similar conditions to inform the design including key architectural and landscaping features that create successful spaces (PL3-B Residential Edges). **Open space consists of public and private areas at grade and elevated on decks. Private spaces of approximately 70 square feet adjoin each unit. Ground level units are provided with 100 sq ft of landscaped patio. See the sketches for the patio units on p. 18 of the DR packet.**

4. **Corner Treatment.** The Board felt the architectural concept should be developed to provide a corner residential treatment compatible with the scale of the lowrise zoning.

- a) The Board noted that the corner was particularly visible traveling in the south bound direction on California Avenue SW. The Board felt the architectural response should include a large amount of glazing and substantial glass at the corner (CS2-C Relationship to the Block). **To reinforce the corner location, dwelling units are oriented to neighborhood and city vistas to the northwest, north and northeast. The building street/connection is enhanced through large amounts of street facing glazing intersected with exterior balconies.**
- b) The Board felt the street level corner should be activated by the subterranean units' direct access to the setback amenity spaces (CS2B Adjacent Sites, Street, and Open Spaces, CS2C Relationship to the Block). **The ground level patios have direct, terraced access to the adjacent amenity spaces at the corner.**
- c) The Board felt that both the building's architectural concept and the building's landscape and amenity design should be responsive to the corner location (CS2-C Relationship to the Block, DC3 Open Space Concept, DC4 Exterior Elements and Finishes). **Street trees on California and Seattle emphasize the corner location.**
- d) The Board noted that the decks on the north façade should be sized to be usable by residents but felt the rendering provided a balcony railing is too substantial and heavy. The Board noted the full bannister detracts from the corner treatment by locating a substantial horizontal element. The Board felt the decks should be light and airy which could be achieved by providing a glass railing (CS2-C Relationship to the Block, DC2 Architectural Concept). **The balcony railings are a mix of frosted glass at the bottom half of the rail and clear glass at the top half.**

5. **Parking and Access.** The Board agreed the parking ramp access was unresolved and needed further study.

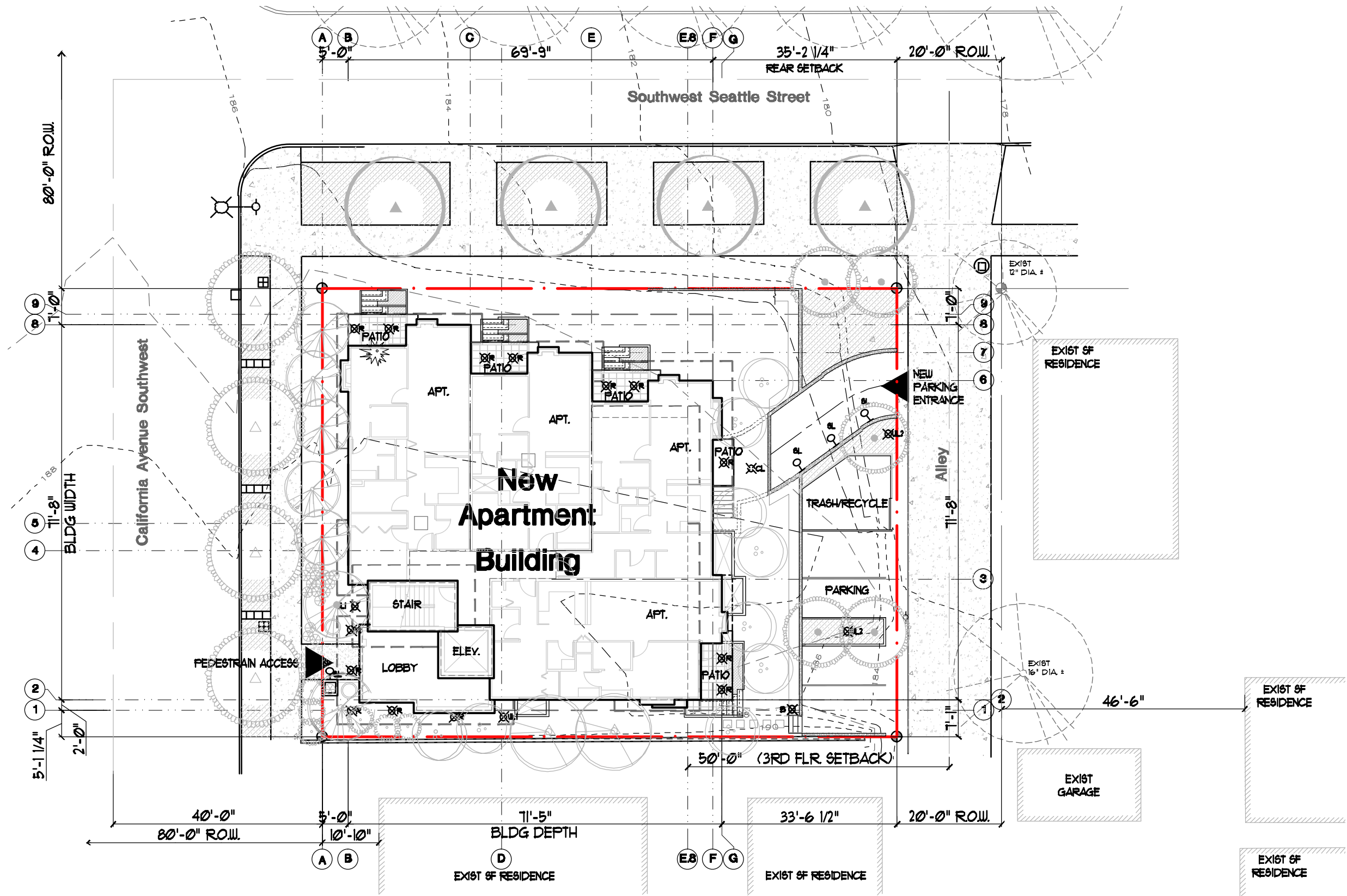
- a) The Board noted the current parking ramp begins at the low point of the site but felt the ramp location adjacent to the sidewalk provided a potential safety hazard. At the Recommendation Meeting the Board would like to see an analysis of a different access location further south on the alley and an analysis justifying proposed access point (DC1-B Vehicular Access and Circulation, DC1-C Parking and Service Uses). **The driveway entrance has been moved as far south down the alley as possible without having to eliminate unit floor area.**
- b) The Board recommended moving the building to 5' feet to the California Avenue SW property line would help resolve additional ramping needs for an alternative access location. The Board also was willing to review a design departure for a steeper ramp as necessary to facilitate a different access location on the alley (DC1-B Vehicular Access and Circulation). **A departure request has been made to have some of the ramp at 20% grade. The overall grade, including crest and sag slopes, is 17.3%. See p. 21 of the DR packet.**
- c) The Board was concerned about the treatment of walls facing the driveway access. The Board felt the retaining walls used to hold grade should be treated with scaling devices and with texture (DC2-D Scale and Texture). **The walls to the lower parking garage are textured concrete using vertical, rough planks. Trailing landscape plants will hang over the walls and soften the driveway access.**

- d) The Board agreed the ground level parking along the alley should incorporate landscaping and trees to break up the expanse of concrete, soften the hardscape, and provide a buffer between the building and the single family homes across the alley. The Board felt parking spaces should be grouped with trees, in grade, between the parking spaces (PL3-B Residential Edges) and the tree in grade (DC1-C Parking and Service Uses). **Trees and landscaping have been added along the alley to break up the paving area.**
- e) Applicant should show location and access to required bike parking at the Recommendation Meeting (PL4-B Planning for Bicyclists, DC1-B Vehicular Access and Circulation). **Parking for bicycles has been located in a secure, dry room in the Parking Garage, see p. 9 of the DR packet.**
- f) At the Recommendation Meeting the Board requested vignettes demonstrating the pedestrian experience at the alley (DC1-C Parking and Service Uses). **See the Rendering at East Façade on p. 15 of the DR packet.**

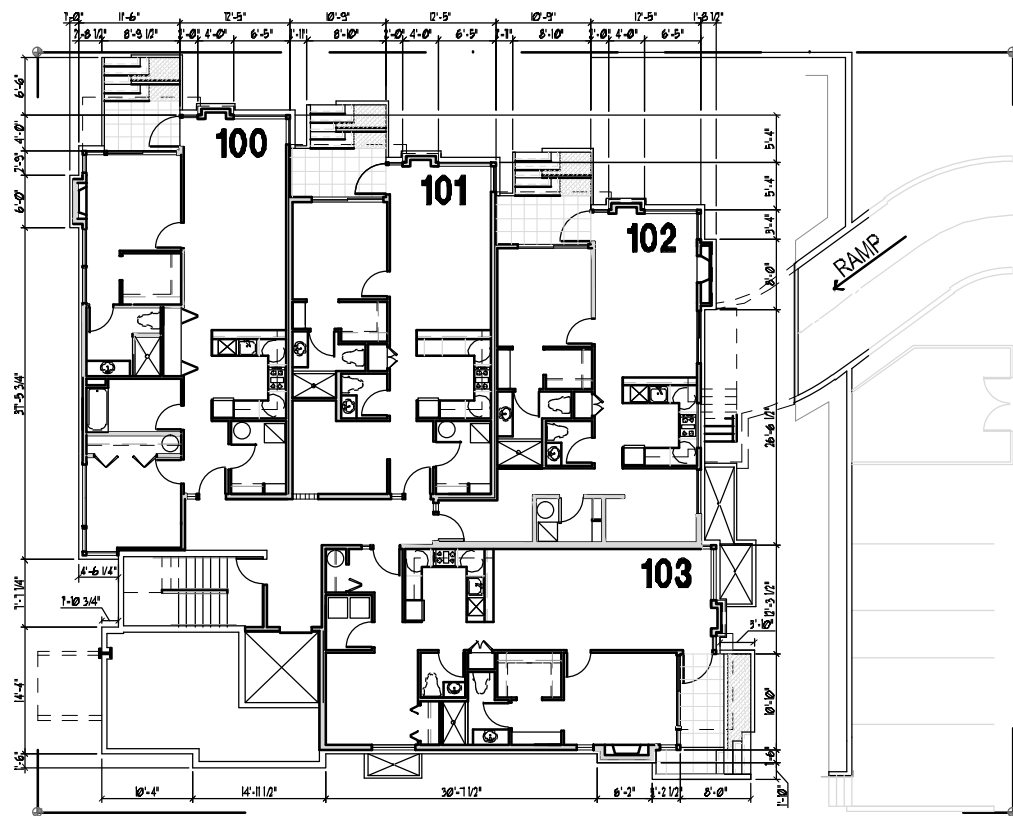
6. **Amenity Space.** The Board noted the project lacked residential amenity space.

- a) The Board would like to see further development of the amenity space as usable rooms along the alley and street property lines (DC1-A Arrangement of Interior Uses, DC3 B Open Space Uses and Activities and D). **Landscaping is clustered around decks and on-grade patios for units to provide private amenity areas.**
- b) The Board stated that the subterranean unit relationship to the sidewalk was awkward. The Board noted the ground level units should have a better spatial relationship to the exterior amenity. (DC3 Open Space Concept). **Ground level patios have been eliminated along California. Even though traffic and pedestrian use on Seattle is light, the patios there have been landscaped for privacy.**
- c) The Board noted a rooftop deck would provide substantial views (DC3-B Open Space Uses and Activities). The Board strongly encouraged incorporating a rooftop deck to maximize amenity space. **Because the single egress stair would only allow 150 SF of deck, the owner has decided not to install an additional deck at the roof.**
- d) The Board felt the landscape texture and pattern should relate directly to architectural pattern and texture. At Recommendation, the Board requested a landscape and hardscape plan, prepared by a landscape architect, with a copy of the green factor worksheet. (DC4-D Trees, Landscape, and Hardscape Materials). **Please see the Landscape Plan on p. 10 of the DR packet. The green factor worksheet is included in the appendix. The only hardscape, besides driveway or parking pavement, will be concrete pavers for the on-grade patios.**

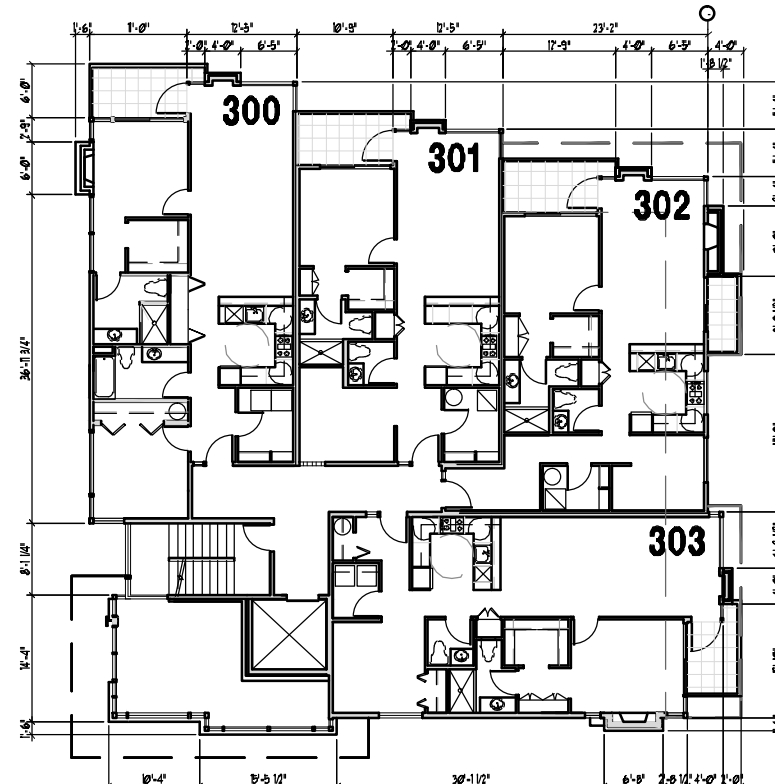
Response to EDG Recommendations



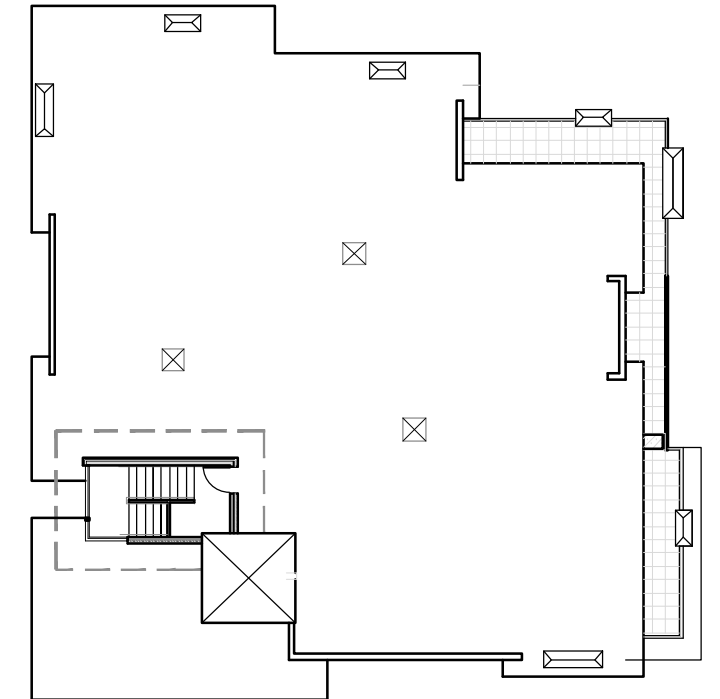
Site Plan



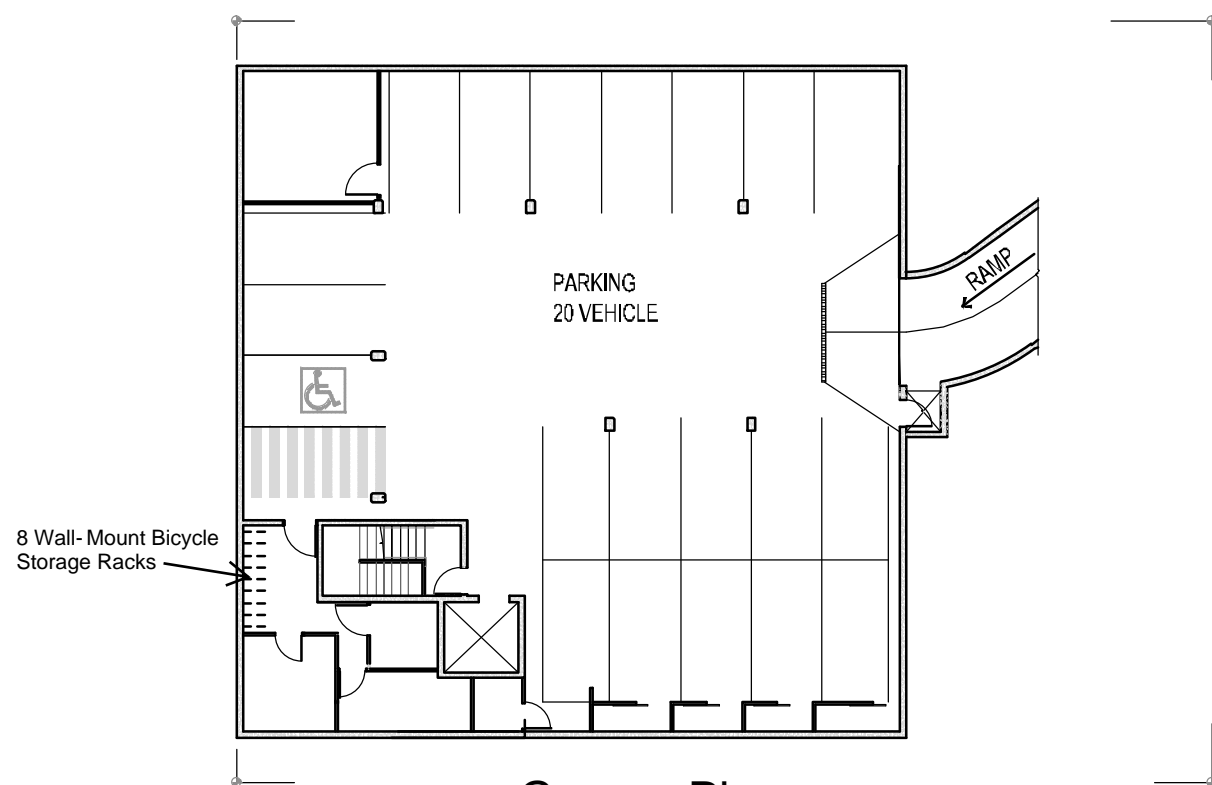
Basement Floor Plan



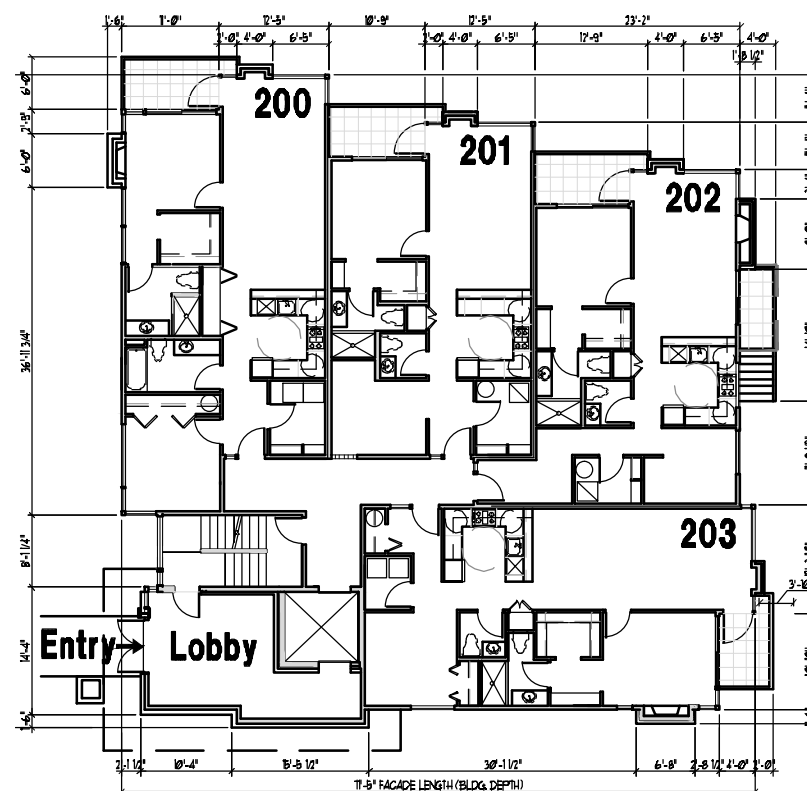
Second Floor Plan



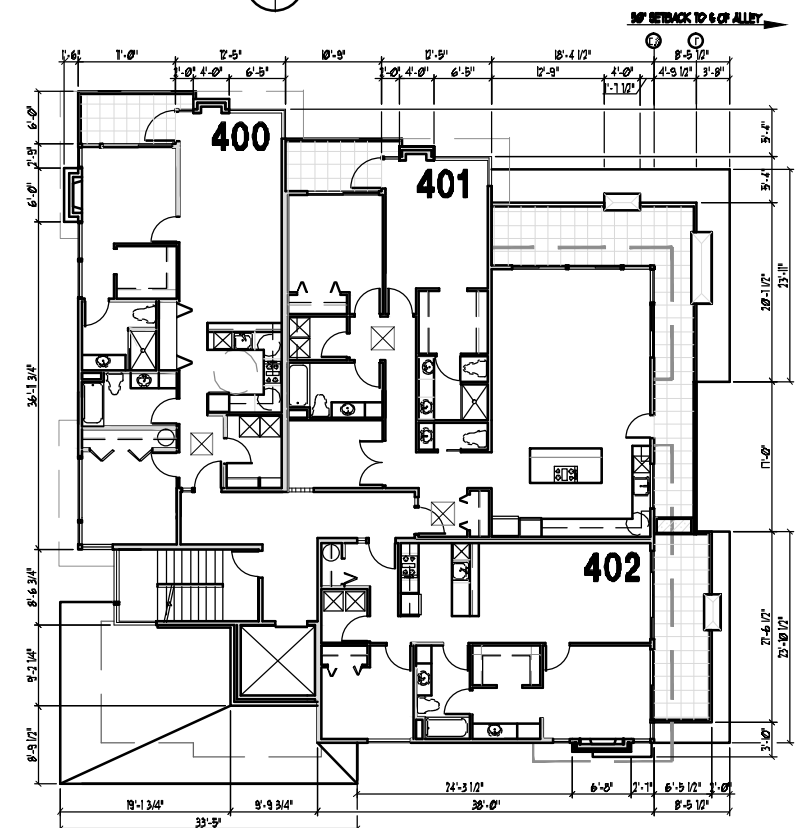
Roof Plan



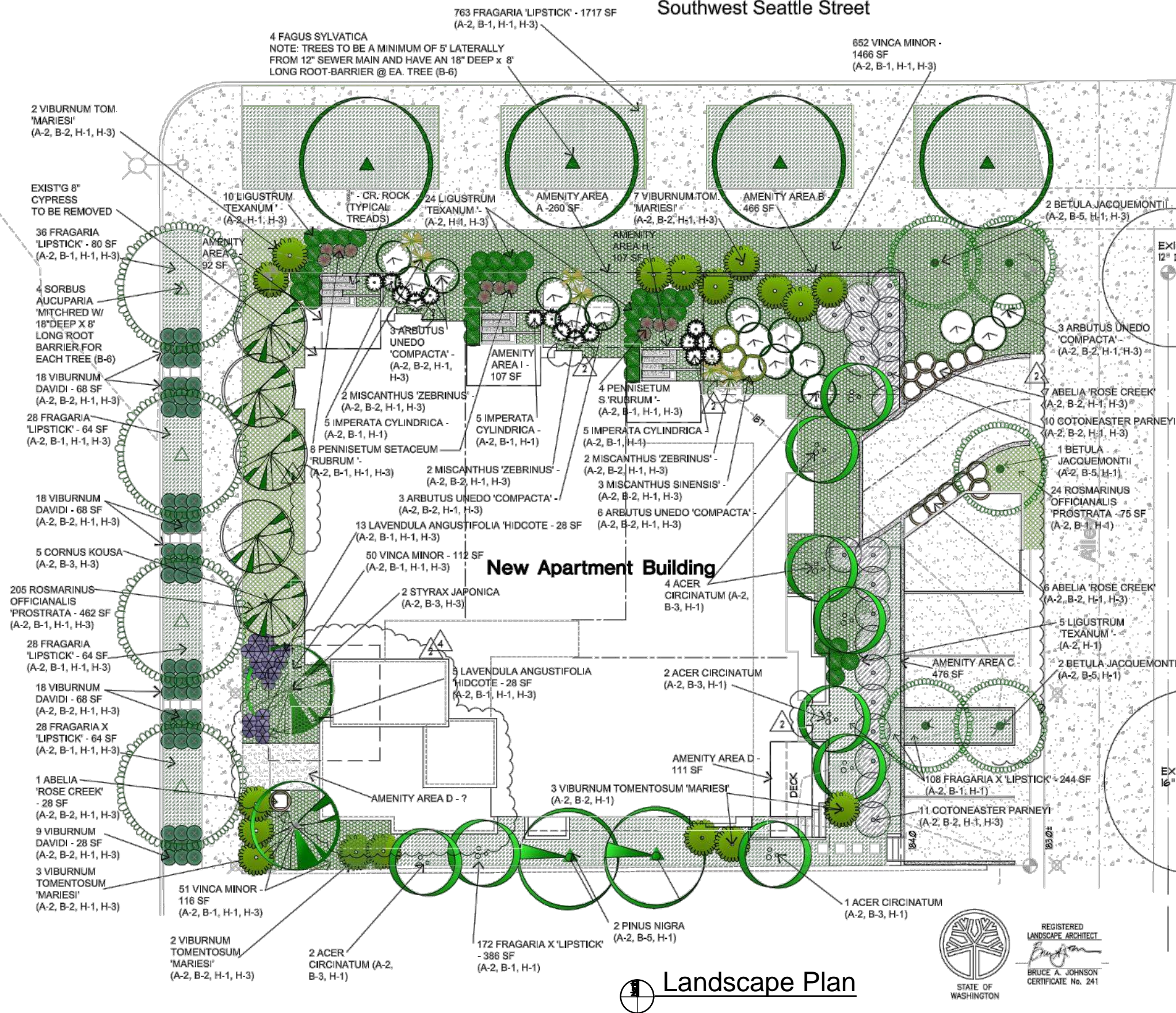
Garage Plan



First Floor Plan



Third Floor Plan



PLANT SCHEDULE

TREES

SYMBOL	BOTANICAL NAME/ COMMON NAME
	ACER CIRCINATUM
	BETULA JACQUEMONTII
	CORNUS KOUSA 'CHINENSIS'
	NYSSA SYLVATICA
	PINUS NIGRA
	SOPHORA AUCUPARIA 'MITCHRED'
	STYRAX JAPONICA
	EXISTING TREES

PLANT SCHEDULE

SHRUBS & GROUNDCOVERS

SYMBOL	BOTANICAL NAME/ COMMON NAME
	ABELIA GRANDIFLORA 'ROSE CREEK' / ROSE CREEK ABELIA
	ARBUTUS UNEDO 'COMPACTA' / COMPACT STRAWBERRY TREE
	COTONEASTER PARNEYI / PARNEY COTONEASTER
	LAVANDULA ANGUSTIFOLIA 'HIDCOTE' / HIDCOTE LAVENDER
	IMPERATA CYLINDRICA / JAPANESE BLOOD GRASS
	LIGUSTRUM JAPONICUM 'TEXANUM' / WAXLEAF PRIVET
	MISCANTHUS SINENSIS 'GRACILLIMUS' / MAIDEN GRASS
	MISCANTHUS SINENSIS 'ZEBRINUS' / ZEBRA GRASS
	PENNISETUM SETACEUM 'RUBRUM' / PURPLE FOUNTAIN GRASS
	VIBURNUM DAVIDII / DAVID'S VIBURNUM
	VIBURNUM TOMENTOSUM 'MARIESI' / MARIESI VIBURNUM
	FRAGARIA CHILOENSIS / SAND STRAWBERRY
	ROSEMARINUS OFFICINALIS 'PROSTRATA' / PROSTATE ROSMARY
	VINCA MINOR / COMMON PERIWINKLE

Landscape Plan





Vine Maple



Jacquemont Birch



Cornus Kousa 'chinensis'



Nyssa sylvatica



Austrian Pine



Mitchred Mtn. Ash



Styrax



Abelia "Rose Creek"



Compact Strawberry Bush



Parney Cotoneaster



Hidcote Lavender



Japanese Blood Grass



Waxleaf Privet



Maiden Grass



Zebra Grass



Purple Fountain Grass



David's Viburnum



Mariesi Viburnum



Sand Strawberry (groundcover)



Creeping Rosemary (groundcover)



Common Periwinkle (groundcover)

 Landscape Plants





East Elevation

SCALE: 1/16"=1'-0"



South Elevation

SCALE: 1/16"=1'-0"



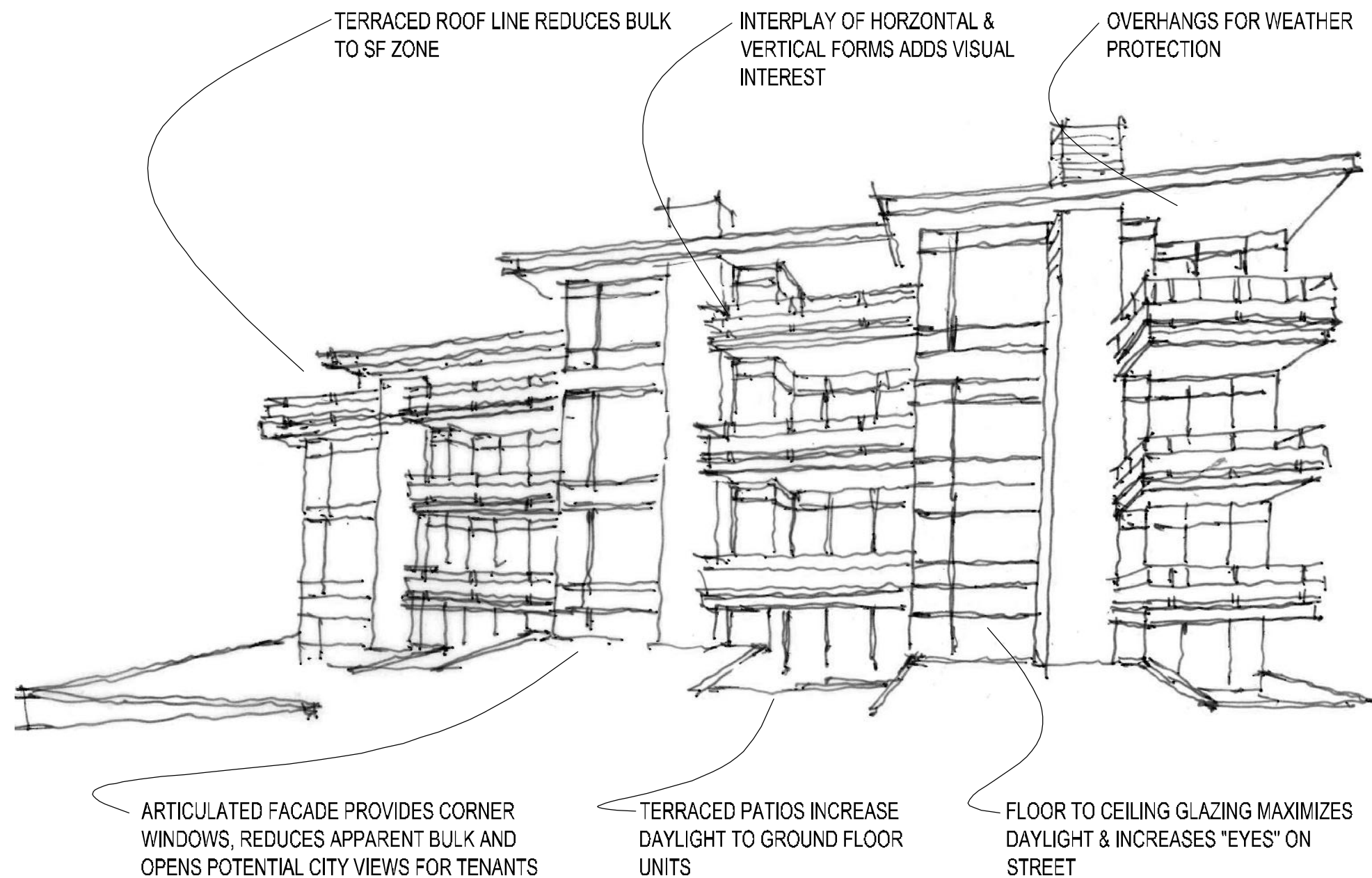
North Elevation

SCALE: 1/16"=1'-0"

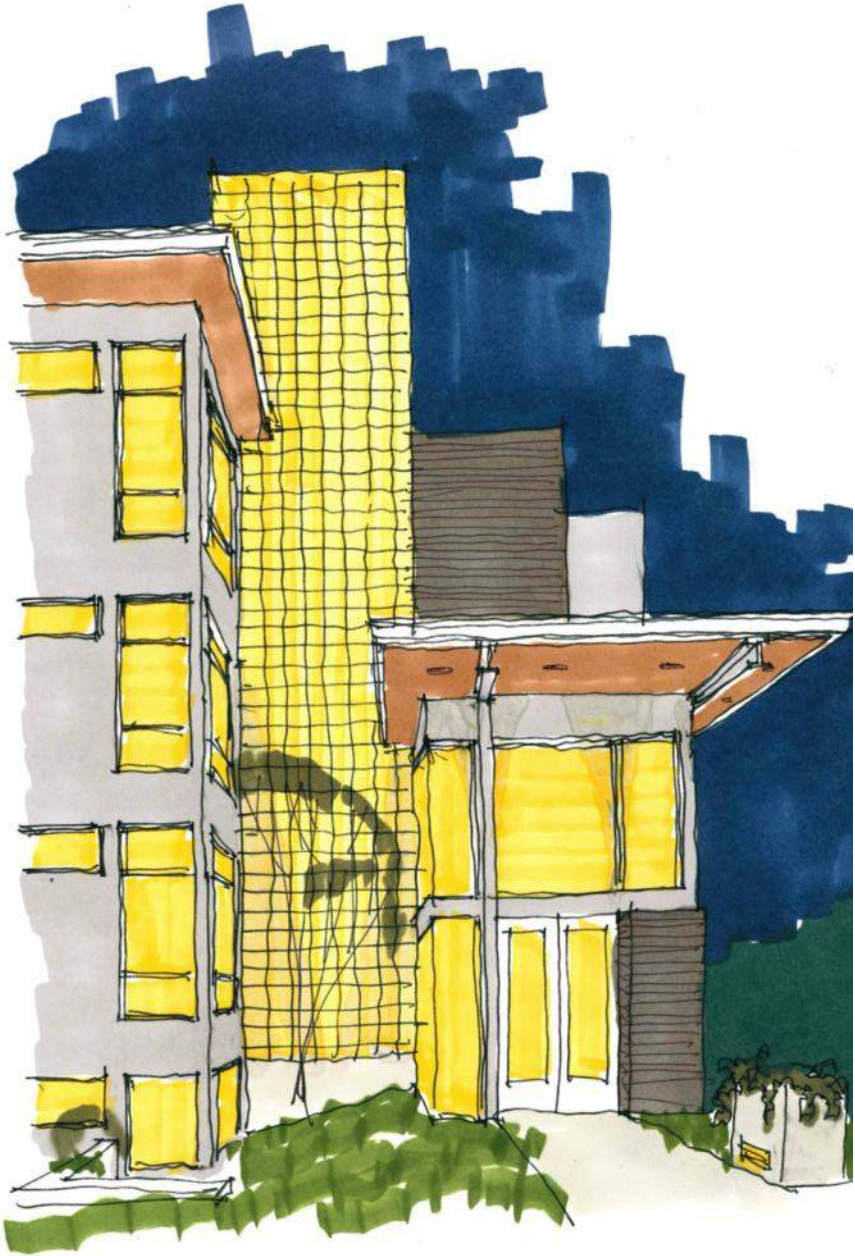


West Elevation

SCALE: 1/16"=1'-0"



Perspective Looking South



"Beacon Lantern" @ Nighttime
Option 2



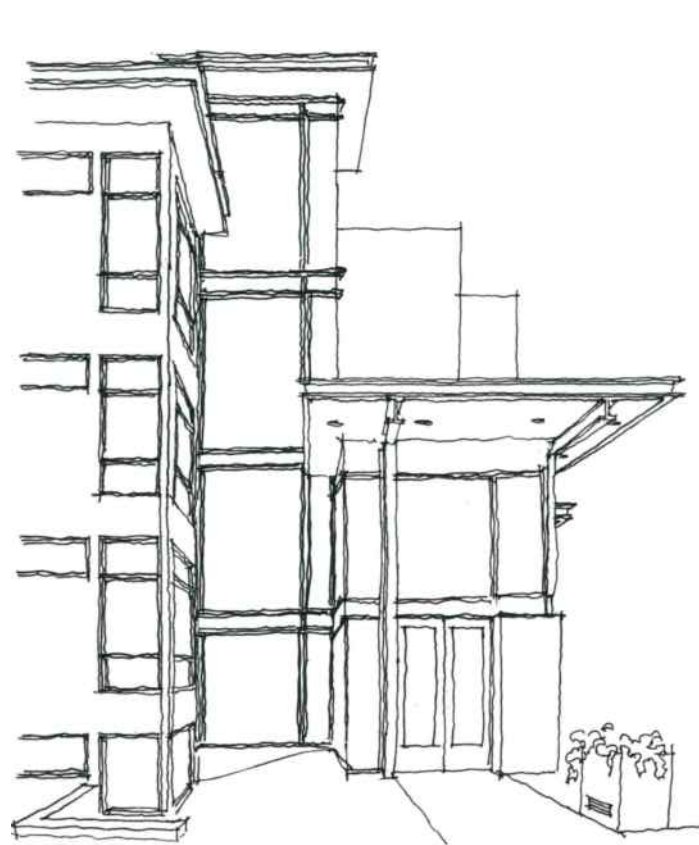
Rendering of North



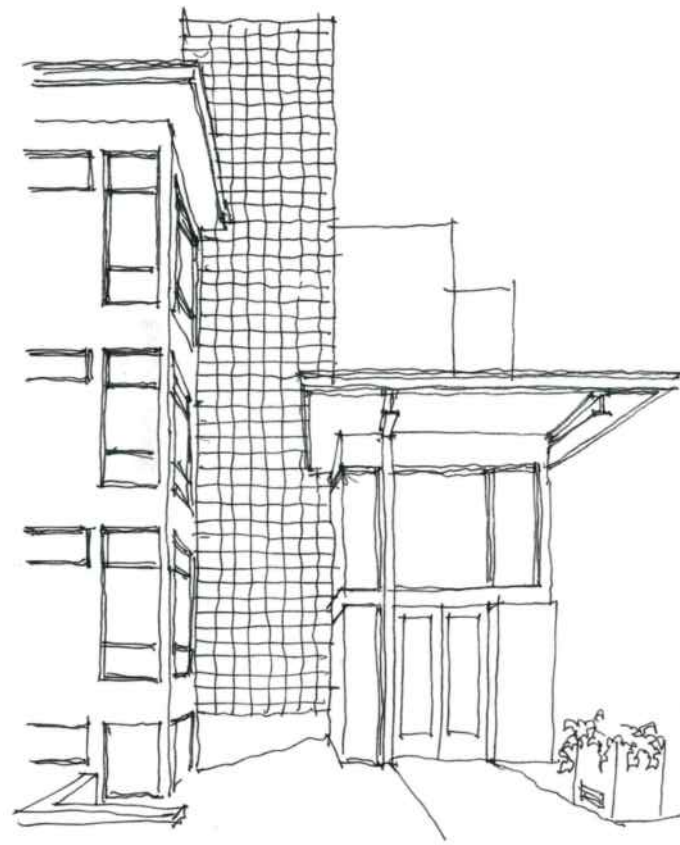
Night Rendering @ SW Corner



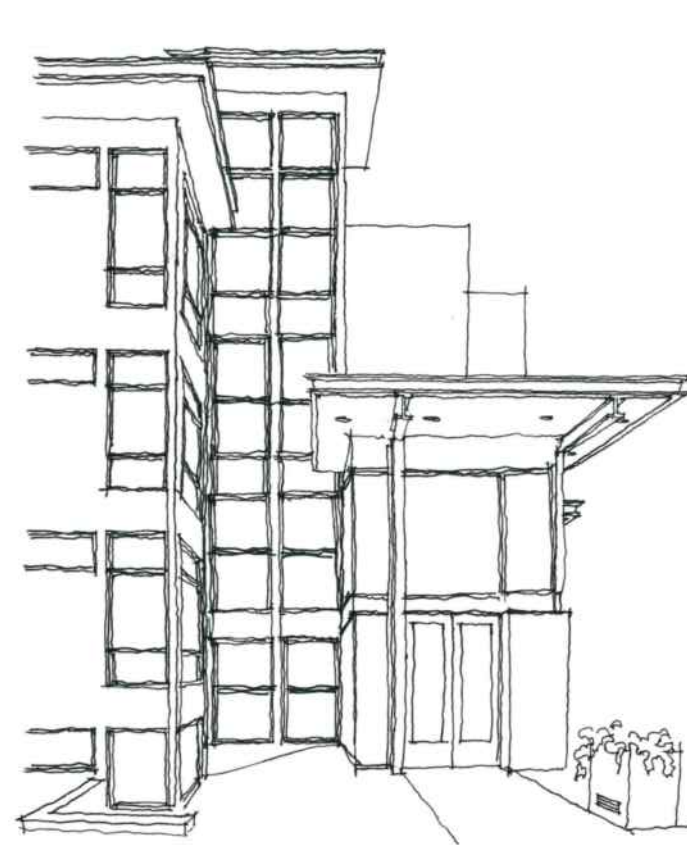
Rendering @ East Facade



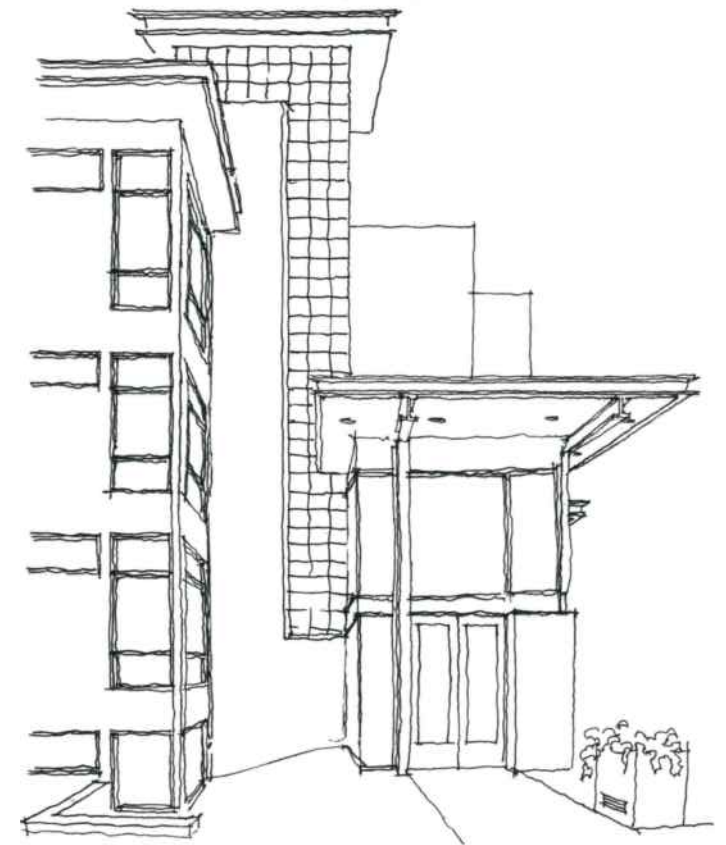
STEEL & GLASS



TOWER OF GLASS BLOCK

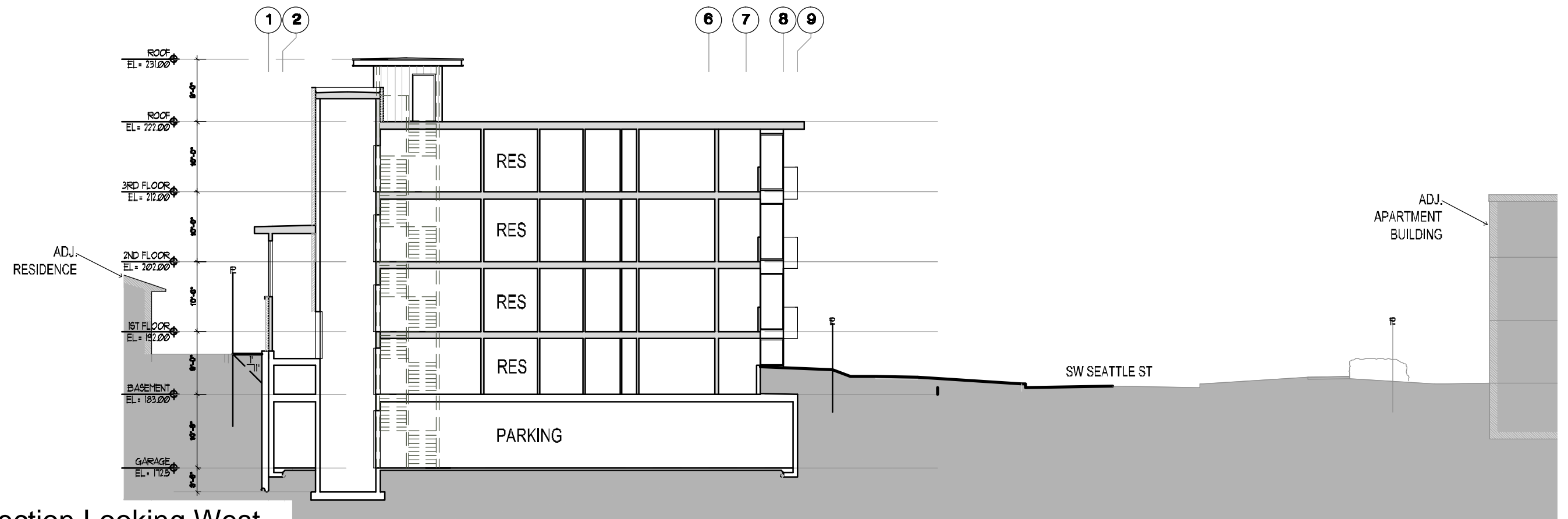


GRID OF WINDOWS

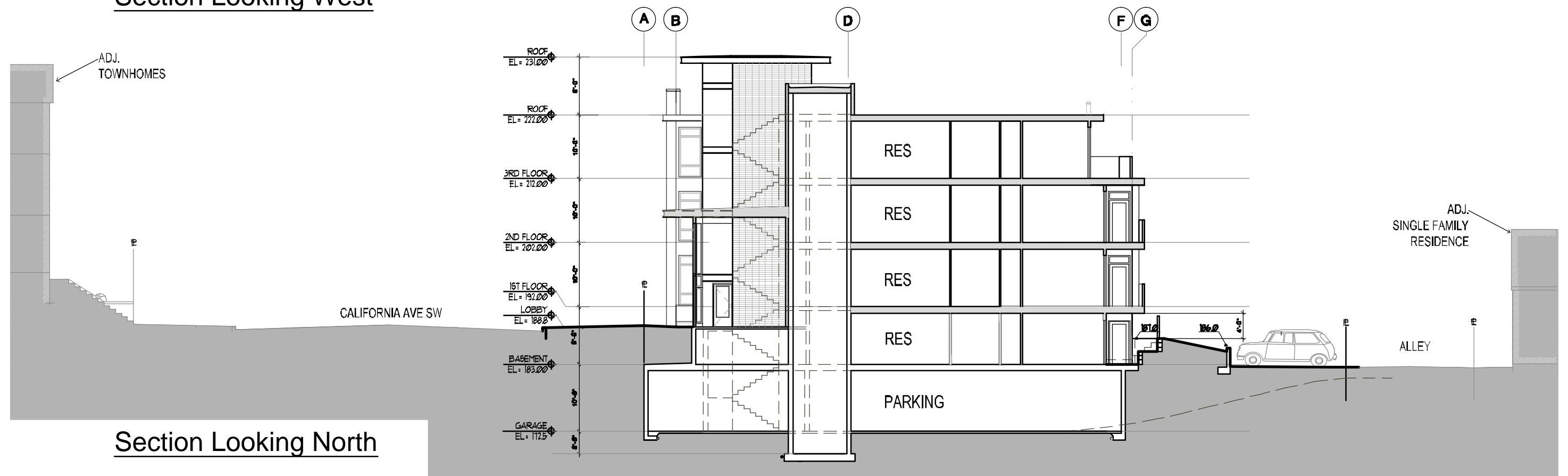


CORNER OF GLASS BLOCK

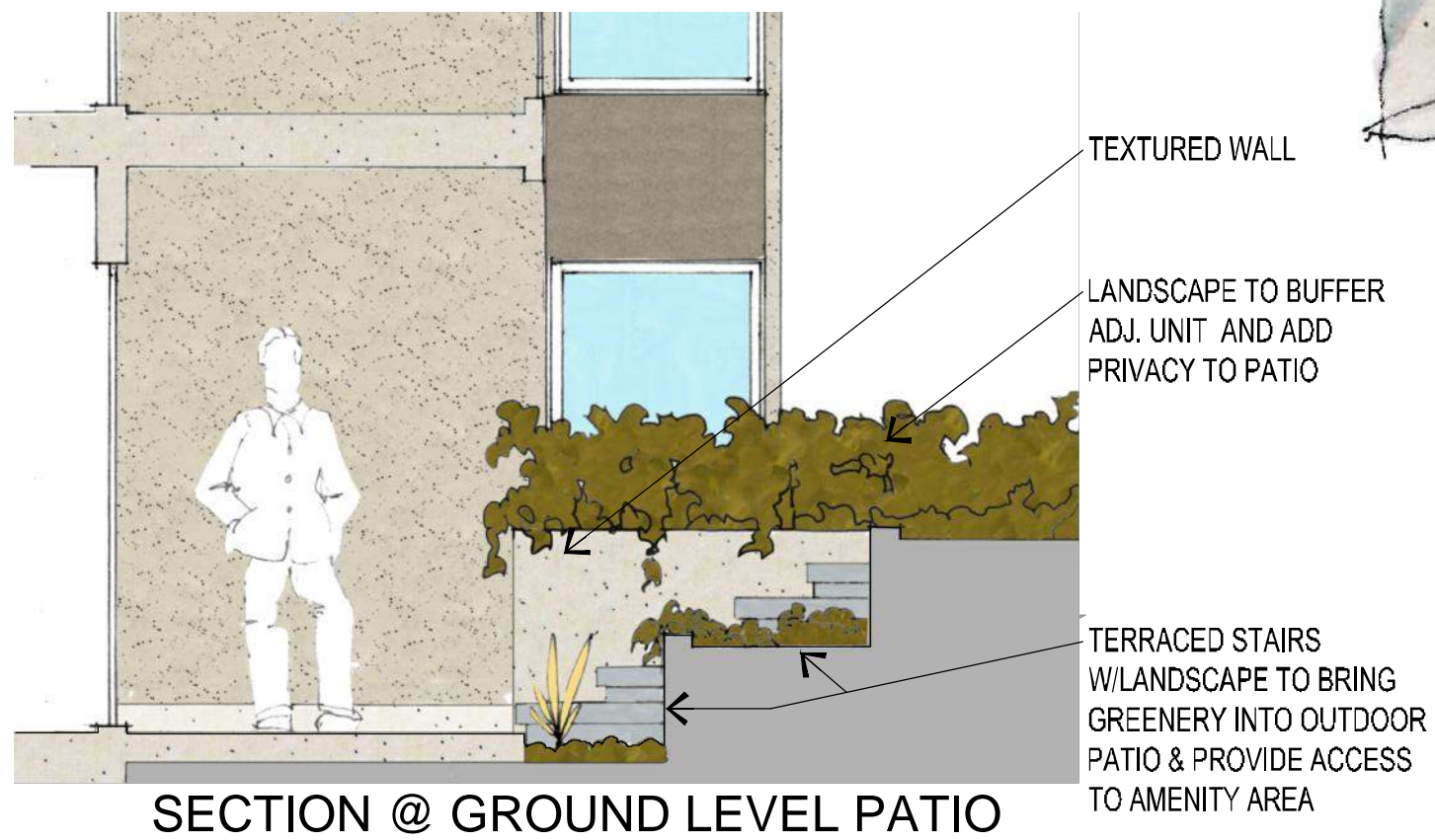
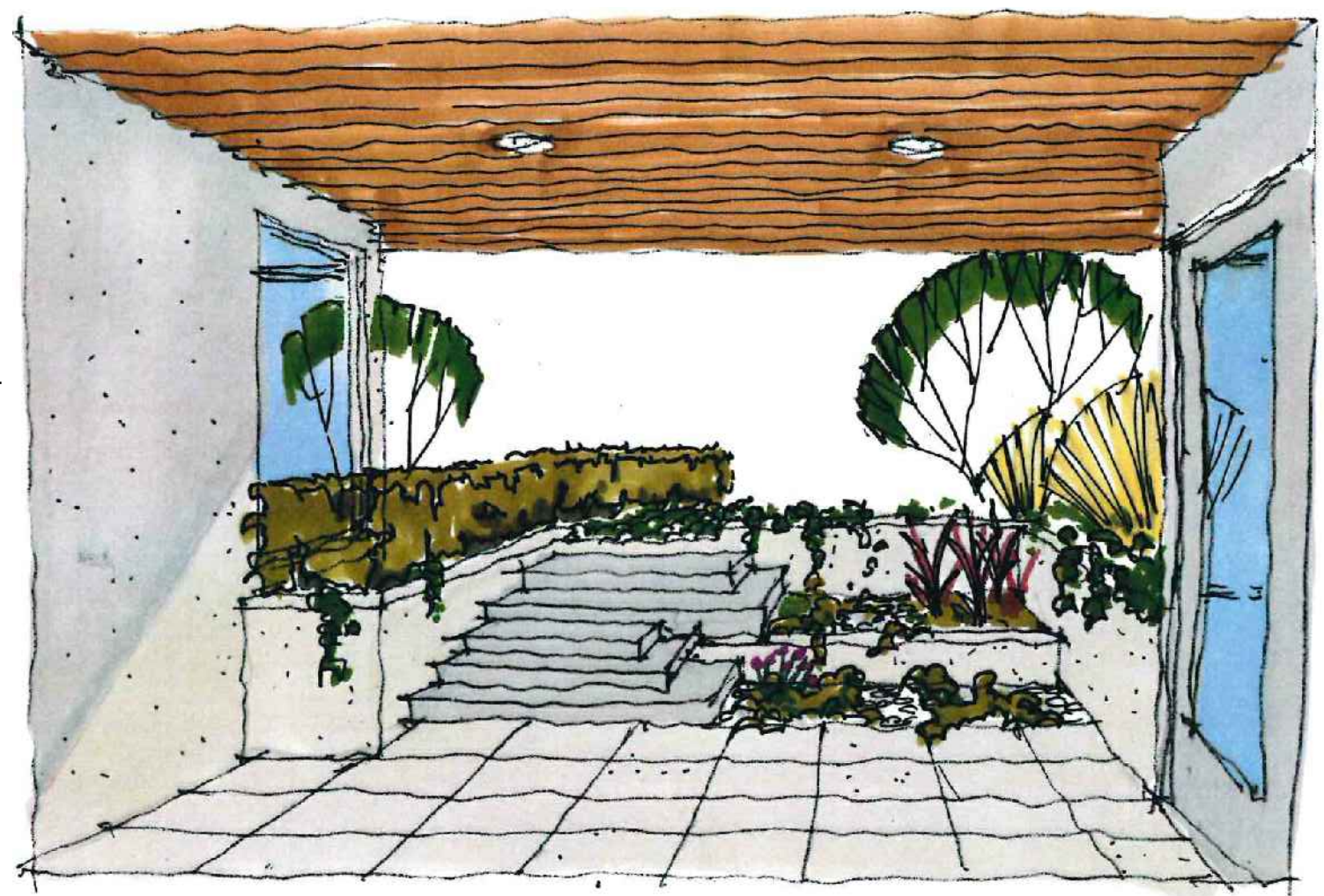
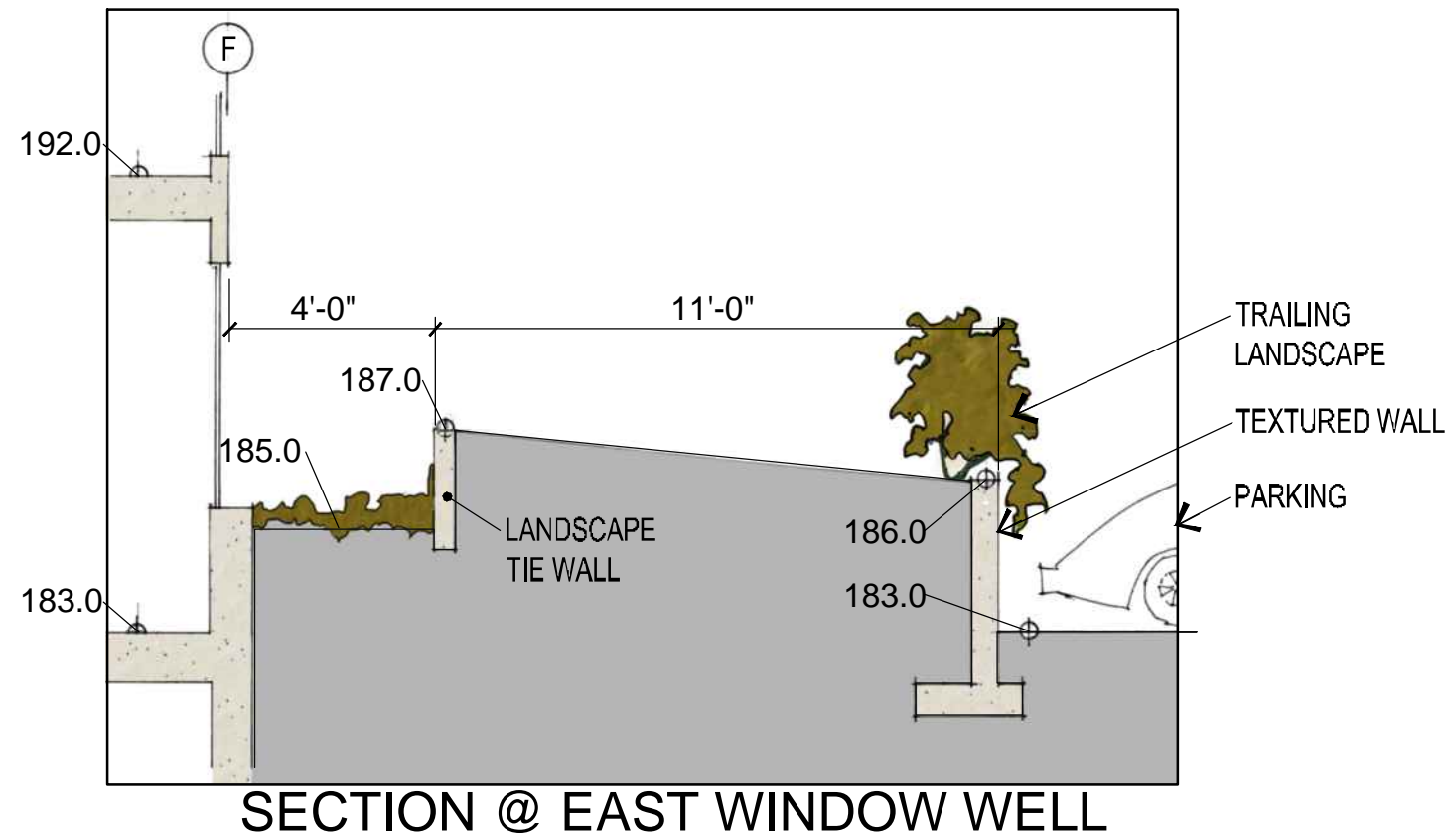
THE "BEACON" OPTIONS

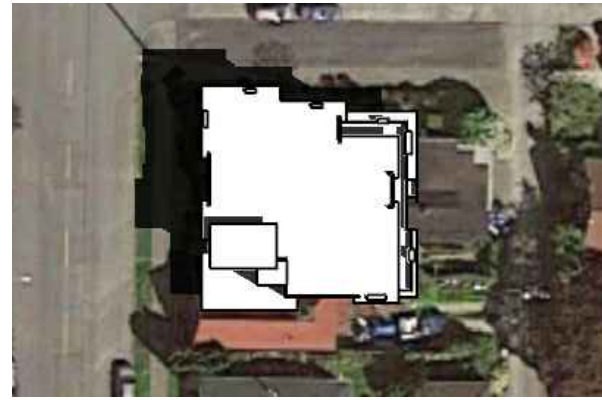


Section Looking West

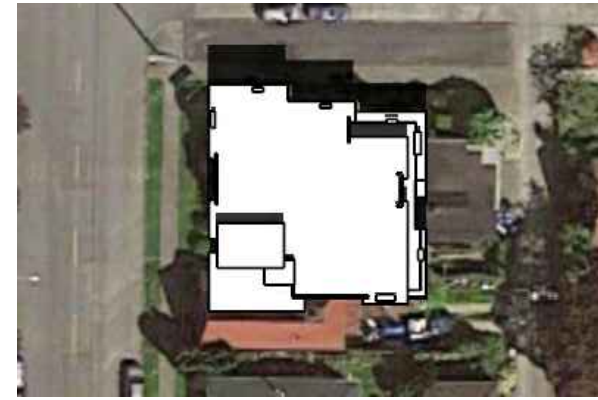


Section Looking North

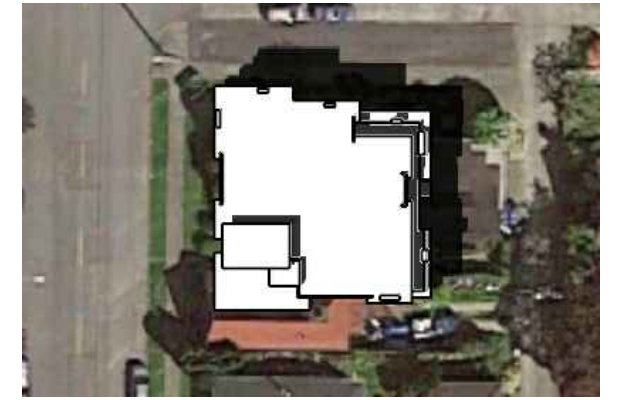




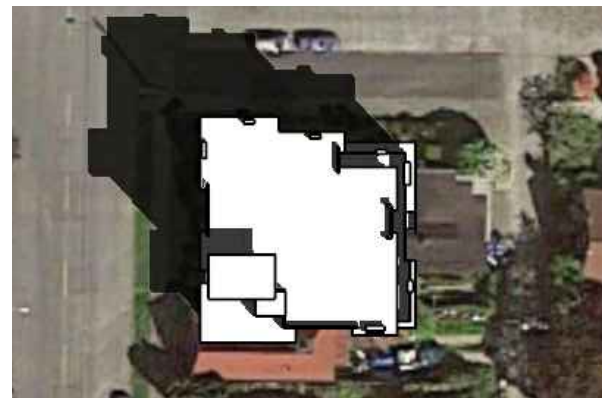
June 21st, 10:00am



June 21st, 12:00pm



June 21st, 2:00pm



March/Sept. 21st, 10:00am



March/Sept. 21st, 12:00pm



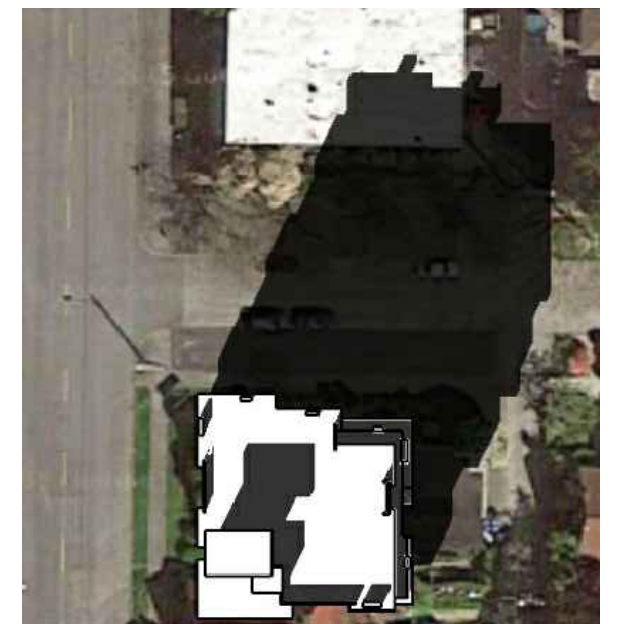
March/Sept. 21st, 2:00pm



December 21st, 10:00am

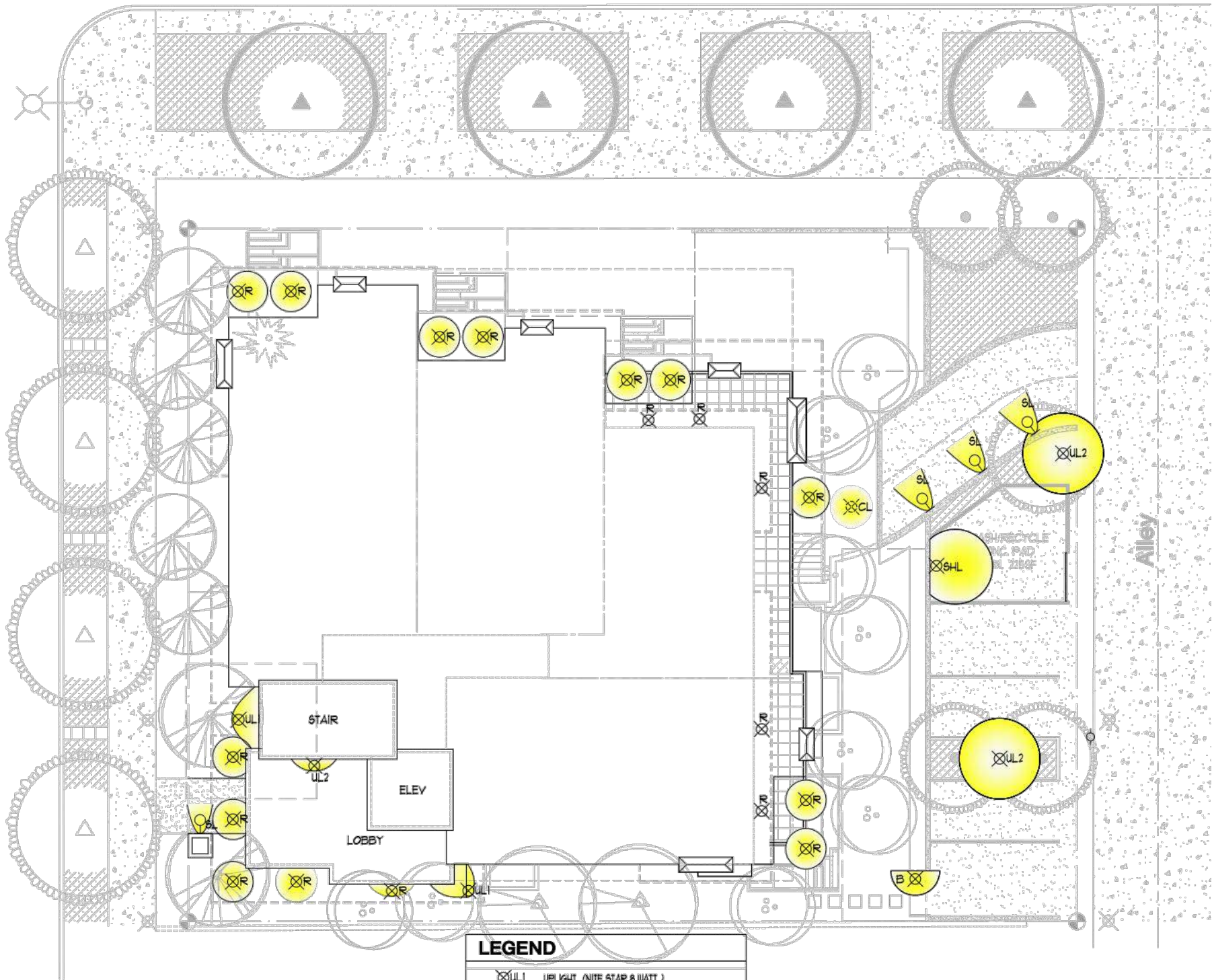


December 21st, 12:00pm



December 21st, 2:00pm

Shadow Studies



NOTE: SHIELD "BEACON" LIGHTING AT LOBBY AWAY FROM NEIGHBORING PROPERTIES

NOTE: LIGHTING FOR PROJECT WILL SHIELD EXTERIOR LIGHTING AND DIRECT IT AWAY FROM ADJACENT PROPERTIES PER SMC 23.45.534 EXCEPT FOR AMBIENT LIGHT FROM LANTERN LIKE BEACON

LEGEND	
⊗UL1	UPLIGHT (NITE STAR 8 WATT)
⊗UL2	UPLIGHT (HP2 5WATT)
⊗R	RECESSED LIGHT (LIGHTOLIER)
⊗B	BOLLARD LIGHT (LITESTICK SHIELD 1/2)
⊗CL	BOLLARD LIGHT (LITESTICK SHIELD 1/2)
⊗SHL	SHIELDED LIGHT (BASELITE L116/52/UM15/52/FR3)
⊗SL	STEP LIGHT (SQUARE STEP STAR)

North
Exterior Lighting Plan

⊗UL1



⊗UL2



⊗R



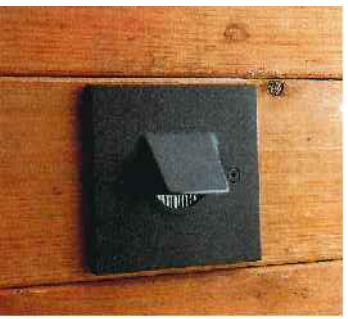
⊗B



⊗SHL



⊗SL



1. EXCEED THE MAX. ALLOWED RAMP SLOPE PER SEC. 23.54.030 D.3.
 - A. SLOPE ALLOWED: NO PORTION OF RAMP SHALL EXCEED 15%
 - B. SLOPE PROPOSED: PROPOSED DRIVEWAY SLOPE IS 20%. THE OVERALL SLOPE, INCLUDING CREST & SAG, IS 17.3%
 - C. JUSTIFICATION: THE DRIVEWAY WAS MOVED FROM THE NORTH PROPERTY LINE, ADJACENT TO THE SIDEWALK, SOUTHWARD. THIS MOVE WAS TO INCREASE SAFETY FOR PEDESTRIANS BY PREVENTING POTENTIAL CONFLICTS BETWEEN PEDESTRIANS & AUTOS AT THE INTERSECTION OF THE ALLEY AND SIDEWALK. MOVING THE DRIVEWAY FURTHER SOUTH AWAY FROM THE SIDEWALK INCREASES THE HEIGHT OF THE RAMP MUST SLOPE DUE TO RISING ALLEY GRADE.
2. ALLOW LIGHT SPILLAGE FROM "BEACON / LANTERN" ENTRY ONTO ADJACENT PROPERTIES. SMC 23.45.534.a
 - A. REQUIRED: LAND USE CODE REQUIRES EXTERIOR LIGHTING TO BE SHIELDED AND DIRECTED AWAY FROM ADJACENT PROPERTIES.
 - B. PROPOSED: MOST OF THE "BEACON" LIGHTING WILL COME FROM INTERIOR LIGHTS AT THE LOBBY AND SOUTHWEST STAIRWELL. EXTERIOR LIGHTS WILL BE DIRECTED TOWARDS THE BUILDING AND AWAY FROM ADJACENT PROPERTIES. HOWEVER, AMBIENT REFLECTED LIGHT WILL SPILL ONTO ADJACENT PROPERTIES.
 - C. JUSTIFICATION: LIGHTING AND GLAZING FOR THE LOBBY AND SOUTHWEST STAIRWELL WAS DESIGNED TO MEET THE DESIGN REVIEW BOARD'S EARLY DESIGN GUIDANCE 2.d., "THE ENTRANCE LOBBY LIGHTING SHOULD ACT AS A BEACON FOR RESIDENTS AND VISITORS TO THE SITE."

Departure Request

A, I

H

D

G

C, F,
J

E

B

K

L

MATERIAL	PRODUCT/COLOR
A-STUCCO	DRYVIT 105 SUEDE SANDBLAST
B-MASONRY	PACIFIC CLAY STERLING GREY
C-FASCIA	TAYLOR METALS DARK BRONZE
D-RAILINGS	POWDER COATED ALUMINUM TIGER DRYLAC RAL 6006
E-SPANDREL	HARDIE PANEL CEMENTITIOUS TAYLOR METAL ZINC GREY
F-FLASHING	TAYLOR METALS DARK BRONZE
G-WINDOWS	MILGARD VINYL TWILIGHT
H-SOFFIT	HEMLOCK OR CEDAR CABOTS DUNE GRAY 0361
I-CONCRETE	DRYVIT 105 SUEDE SANDBLAST
J-TRIM	TAYLOR METALS DARK BRONZE
K-GUARDS	GLASS FROSTED
L-GUARDS	GLASS CLEAR

Revised 4/8/09

SEATTLE×green factor

		Planting Area					TOTAL**
		1	2	3	keep adding columns as needed		
A1	square feet					0	
A2	square feet	4357	1536			5893	
A3	square feet					0	
B1	square feet	3284	1989			5273	
B2	# of plants	123	63			186	
B3	# of trees	17				17	
B4	# of trees		4			4	
B5	# of trees	7				7	
B6	# of trees		4			4	
B7	# of trees					0	
C1	square feet					0	
C2	square feet					0	
D	square feet					0	
E	square feet					0	
F1	square feet					0	
F2	square feet					0	
G	square feet					0	
H1	square feet	1798	1536			3334	
H2	square feet					0	
H3	square feet	2543	1536			4079	
H4	square feet					0	

AREA 1 - Street Level Landscape inside of Sidewalk
AREA 2 - Street Level Landscape outside of Sidewalk (Street ROW)

Revised 12/28/10

SEATTLE×green factor

Green Factor Score Sheet

Project title: 1601 California Avenue SW - LR3 Zone

enter sq ft of parcel

Parcel size (enter this value first) * 9,430

SCORE 0.779

Landscape Elements**

Totals from GF worksheet

Factor

Total

A Landscaped areas (select one of the following for each area)

1 Landscaped areas with a soil depth of less than 24" 0.1 -

2 Landscaped areas with a soil depth of 24" or greater 0.6 3,554.4

3 Bioretention facilities 1.0 -

B Plantings (credit for plants in landscaped areas from Section A)

1 Mulch, ground covers, or other plants less than 2' tall at maturity 0.1 527

2 Shrubs or perennials 2'+ at maturity - calculated at 12 sq ft per plant (typically planted no closer than 18" on center) 0.3 691

3 Tree canopy for "small trees" or equivalent (canopy spread 8' to 15') - calculated at 75 sq ft per tree 0.3 383

4 Tree canopy for "small/medium trees" or equivalent (canopy spread 16' to 20') - calculated at 150 sq ft per tree 0.3 180.0

5 Tree canopy for "medium/large trees" or equivalent (canopy spread of 21' to 25') - calculated at 250 sq ft per tree 0.4 700.0

6 Tree canopy for "large trees" or equivalent (canopy spread of 26' to 30') - calculated at 350 sq ft per tree 0.4 560.0

7 Tree canopy for preservation of large existing trees with trunks 6"+ in diameter - calculated at 20 sq ft per inch diameter 0.8 -

C Green roofs

1 Over at least 2" and less than 4" of growth medium 0.4 -

2 Over at least 4" of growth medium 0.7 -

D Vegetated walls 0.7 -

E Approved water features 0.7 -

F Permeable paving

1 Permeable paving over at least 6" and less than 24" of soil or gravel 0.2 -

2 Permeable paving over at least 24" of soil or gravel 0.5 -

G Structural soil systems 0.2 -

sub-total of sq ft = 18,526

H Bonuses

1 Drought-tolerant or native plant species 0.1 336.5

2 Landscaped areas where at least 50% of annual irrigation needs are met through the use of harvested rainwater 0.2 -

3 Landscaping visible to passersby from adjacent public right of way or public open spaces 0.1 411

4 Landscaping in food cultivation 0.1 -

Green Factor numerator = 7,343

* Do not count public rights-of-way in parcel size calculation.

** You may count landscape improvements in rights-of-way contiguous with the parcel. All landscaping on private and public property must comply with the Landscape Standards Director's Rule (DR 6-2009)



Site Analysis

California Ave SW

- Designated as an arterial street
- Primary vehicle access north and south
- Overhead utilities on east side of R.O.W.
- Sanitary Sewer, Water, Gas, Storm Sewer

SW Seattle Street

- Secondary vehicle access to residential properties
- Storm Sewer

Alley

- Parking access
- Overhead utilities on west side of R.O.W

Views

- Restricted water view from northwest corner of site
- City skyline view from upper floor and roof



Water Taxi



Hamilton Viewpoint Park



Admiral District

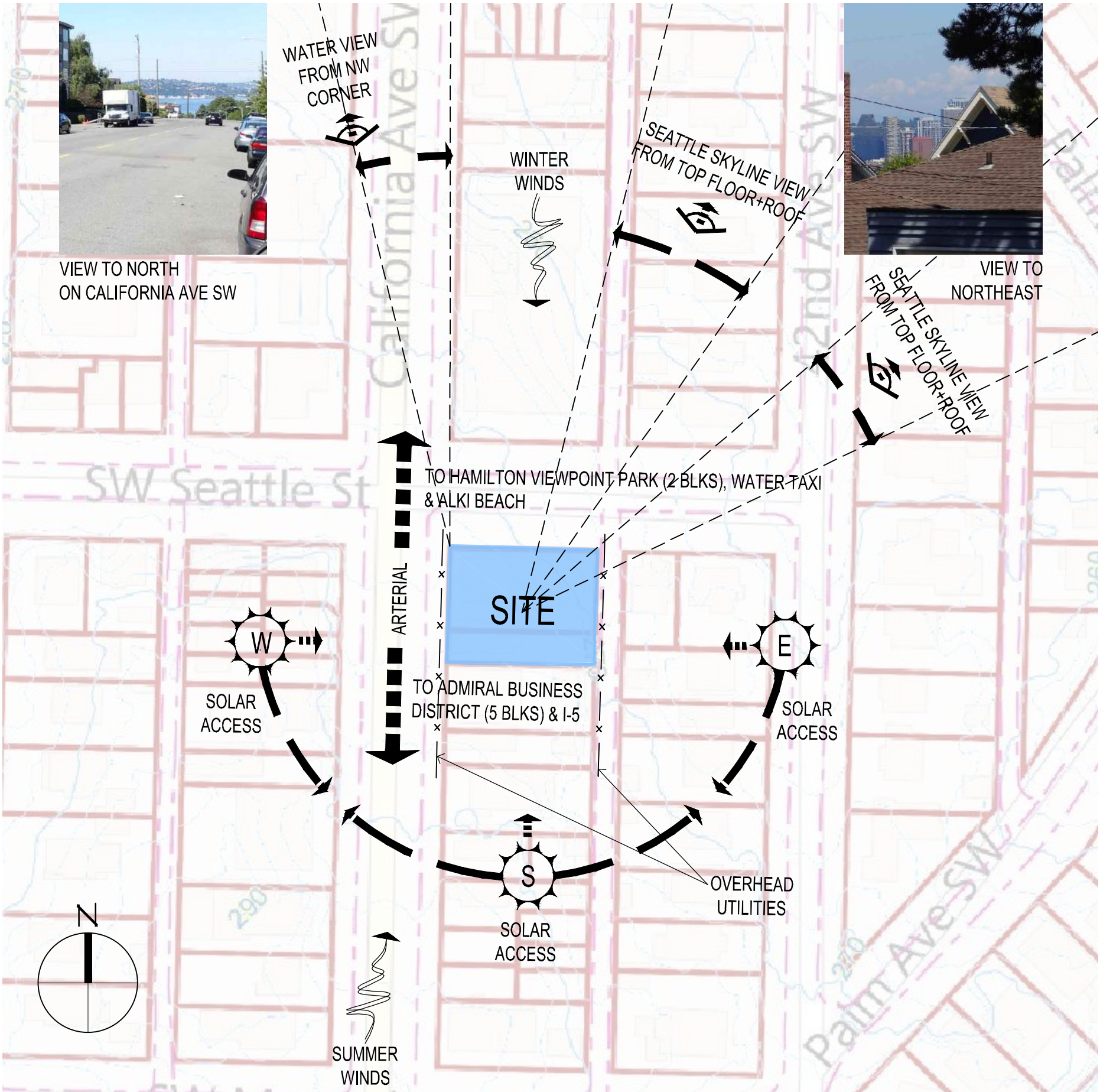


The Junction

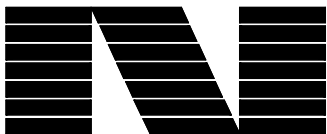
Neighborhood Qualities

The neighborhood provides a variety of housing types including single family, apartment buildings of various sizes, townhomes and condominiums. Higher density housing is primarily located along California Avenue SW. This street is also the focus of vehicle traffic in the area. The neighborhood has a quiet residential feel.

Architectural context is mixed. Single family residences are simple, modest and mostly of early to mid 20th century traditional designs. Higher density housing is a variety of contemporary styles from the mid 20th century onward. Building materials are typically wood frame with a variety of sidings including wood, stucco and masonry.



Appendix



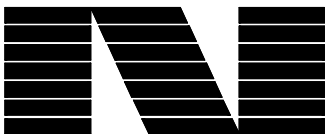
Streetscape SW Seattle St

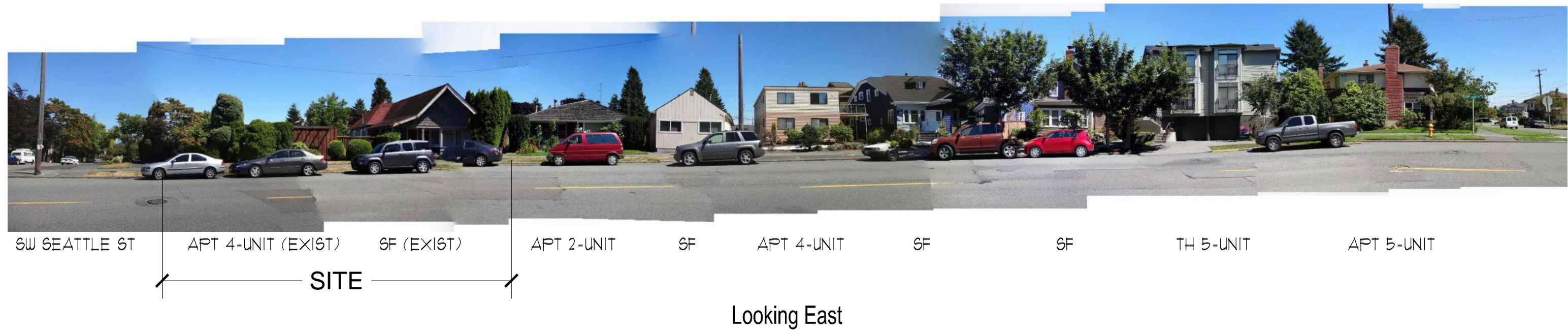


Structures Adjacent to Site @ Alley



Appendix





Neighborhood Photos



12 TH UNITS



35 UNIT APT



8 UNIT APT - 12 UNIT APT - 35 UNIT APT



37 UNIT APT



10 TH UNITS



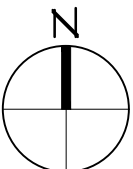
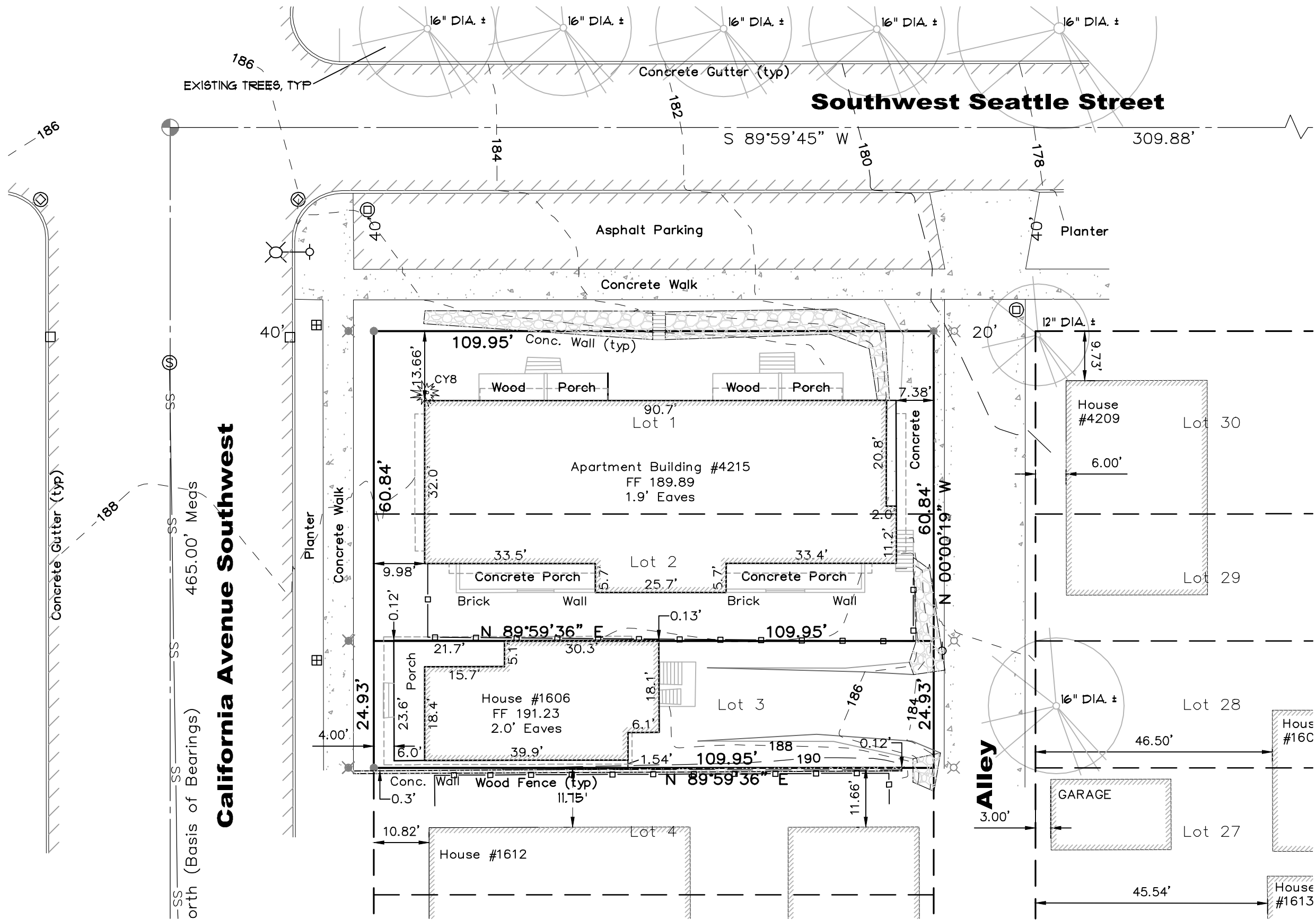
4 UNIT APT - 10 TH UNITS

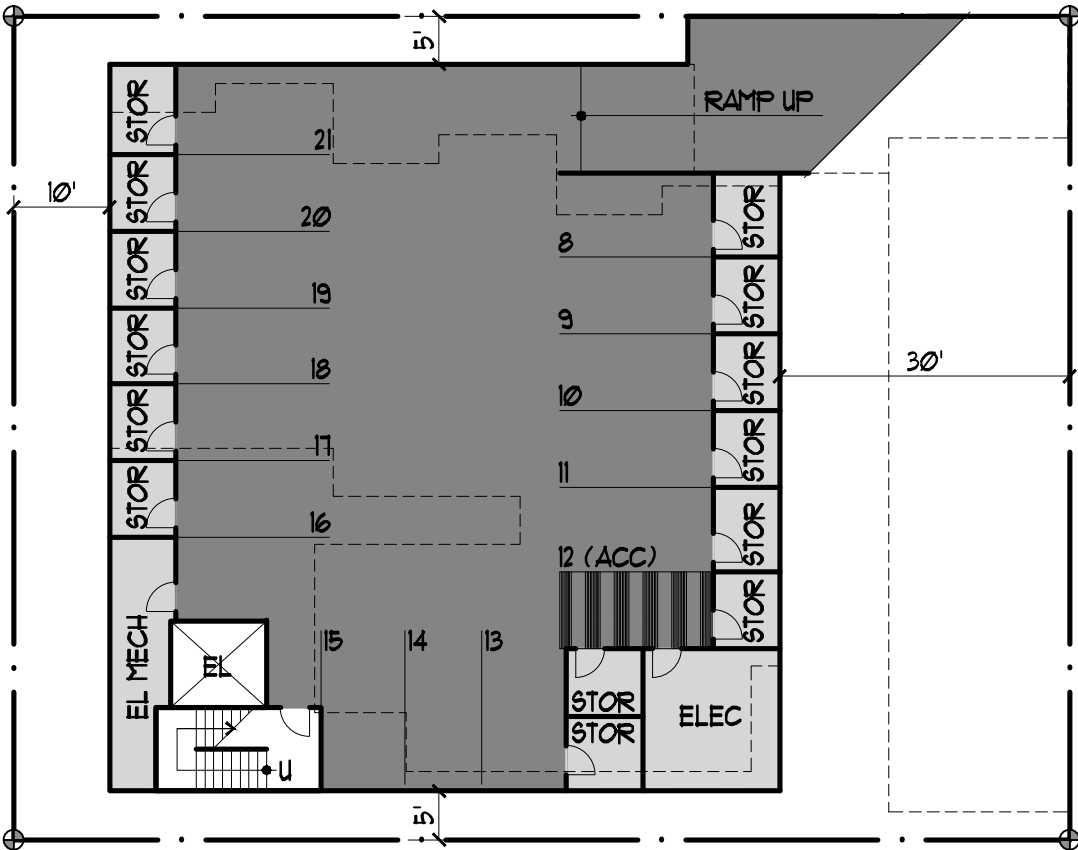


4 TH UNITS - 4 UNIT APT - 8 UNIT APT



4 TH UNITS - 3F - 12 TH UNITS



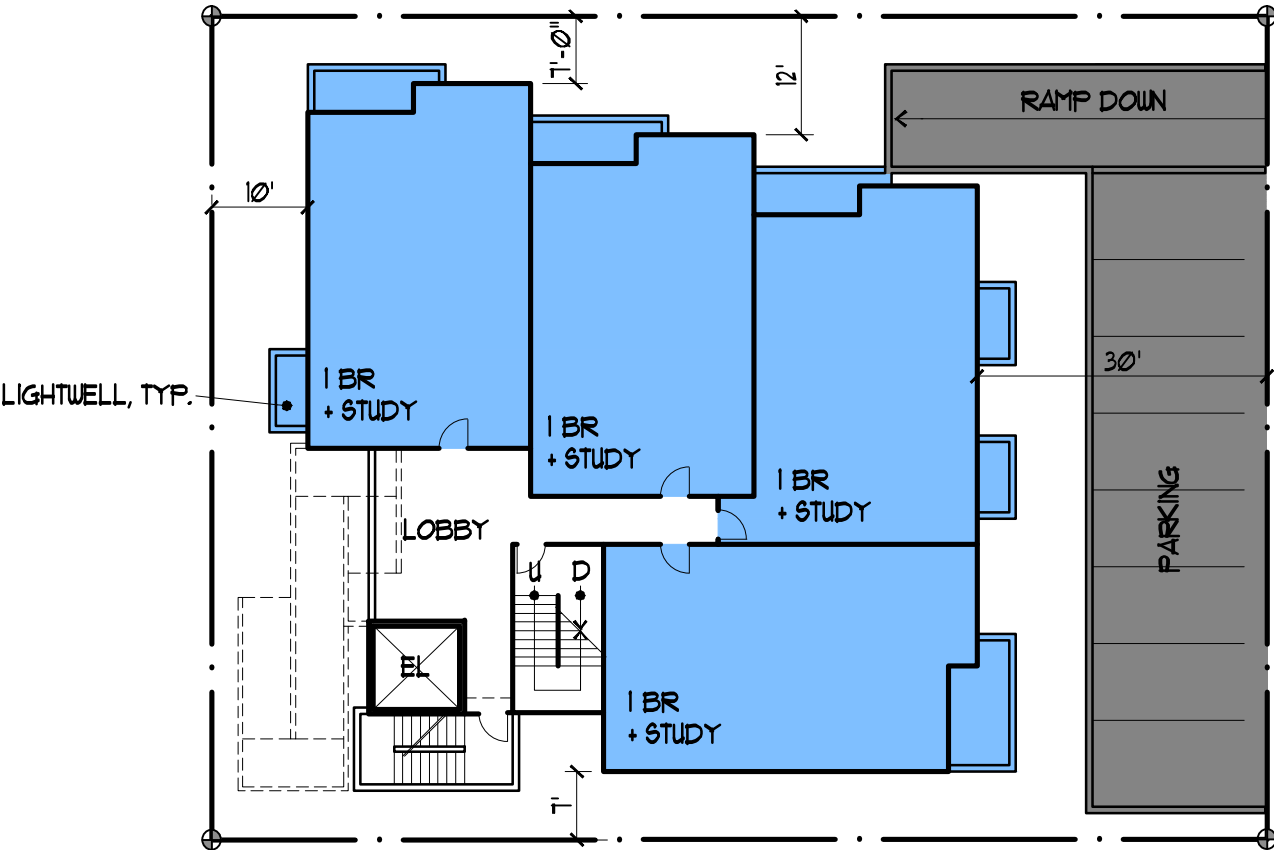


Garage
SCALE: 1"=20'-0"

- SCHEME 4
- 16 UNITS
 - 21 STALLS
 - 1 BUILDING
 - ALLEY PARKING ACCESS

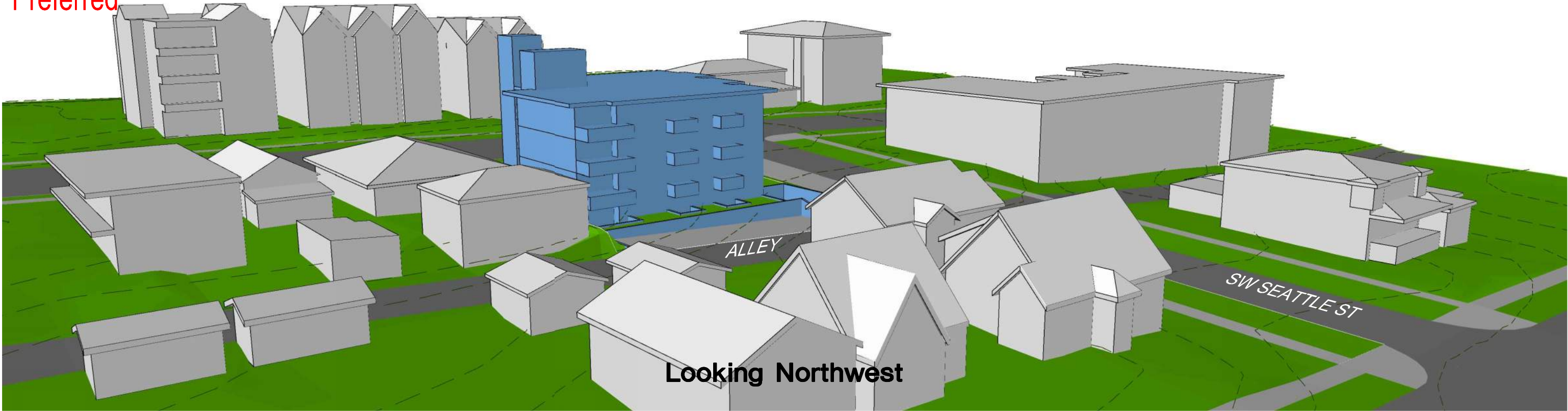
- ADVANTAGES
- LARGER UNITS
 - LESS EXTERIOR WALL = LESS ENERGY USE
 - MODULATION = LESS APPARENT BULK
 - MORE PRIVACY FOR SINGLE FAMILY RESIDENCE TO EAST
 - MORE DENSITY

- DISADVANTAGES
- LESS LIGHT TO BOTTOM LEVEL UNITS



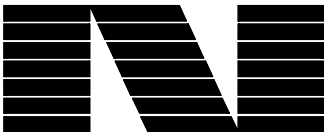
Basement Floor Plan
SCALE: 1"=20'-0"





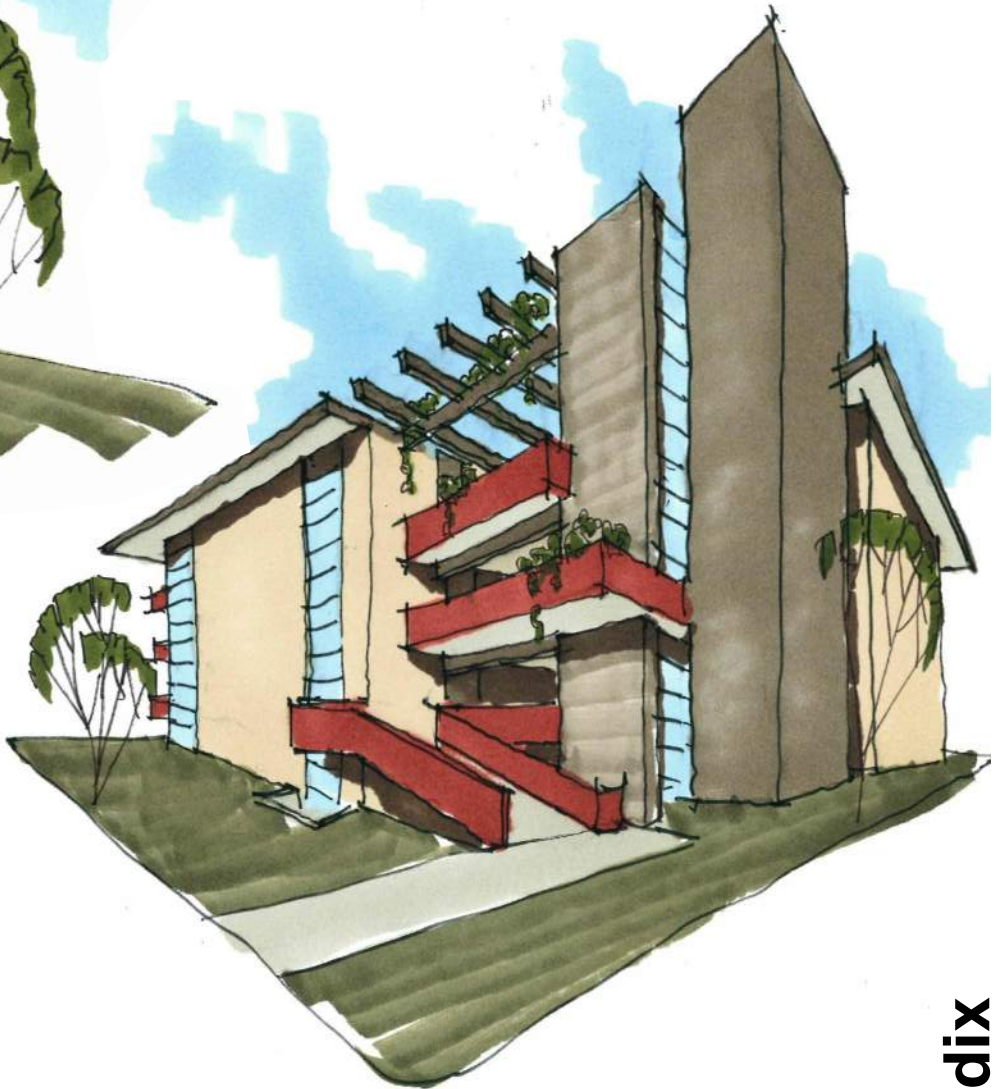


Appendix





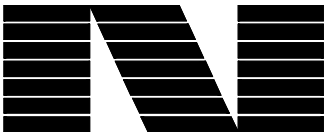
North Elevation



Southwest Entry



Typical Basement Lightwell



Architect's Project Examples



QUEEN ANNE
CONDOMINIUM



WEST SEATTLE
MIXED-USE



BALLARD
CONDOMINIUM



EAST CAPITOL HILL
CONDOMINIUM



WALLINGFORD
TOWNHOMES



CAPITOL HILL
CONDOMINIUM



CAPITOL HILL
MIXED-USE





CAPITOL HILL
MIXED-USE



WALLINGFORD
MIXED-USE



U-DISTRICT
MIXED-USE



MERCER ISLAND
MIXED-USE



MAGNOLIA
MIXED-USE



MATHEWS BEACH
MIXED-USE