

1141 MARTIN LUTHER KING WAY, SEATTLE WA 98122

PROJECT NUMBER: 3015747

DESIGN REVIEW RECOMMENDATION PROPOSAL PACKET



PROPOSAL OBJECTIVES:

Proposal Objectives:

Programatic Goal:

4 Story mixed use apartment building with :
-41 market rate dwelling units
-6091 sf of street level commercial space (no live-work units)
-3000 sf of basement office space
-27 parking stalls located below grade and at level 1.

Urban Design Goal:

Provide an attractive apartment building with attractive street level retail that is compatible with the existing commercial and residential building context. Infill a prominent undeveloped corner lot and bring urban vitality to a neglected major intersection.

Land use Zoning:

Address:

1141 MLK Jr Way

Zone: NC2-40

FAR: 3.25

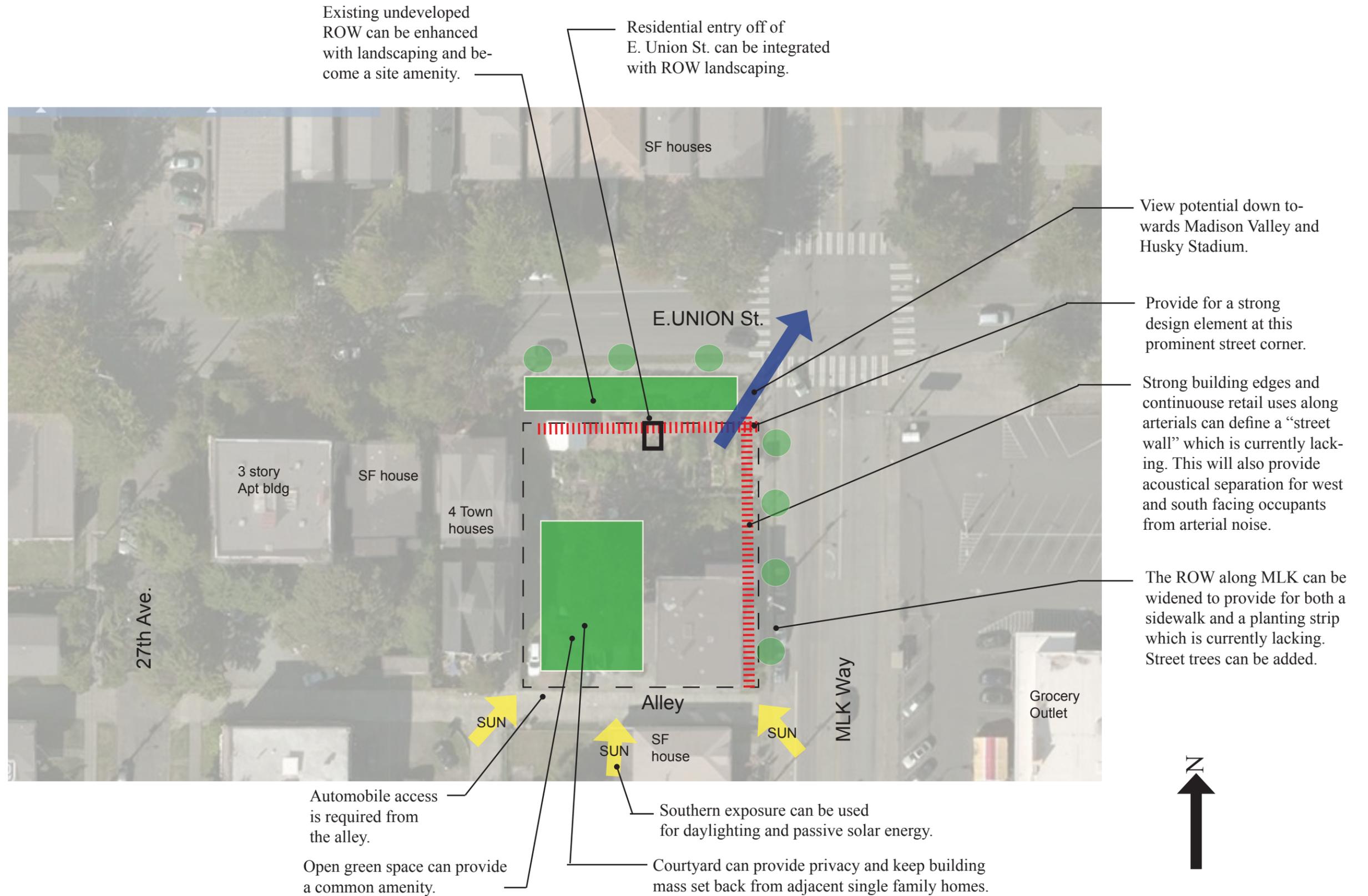
Site Area: 14309 SF

Max GSF= 46,504 SF

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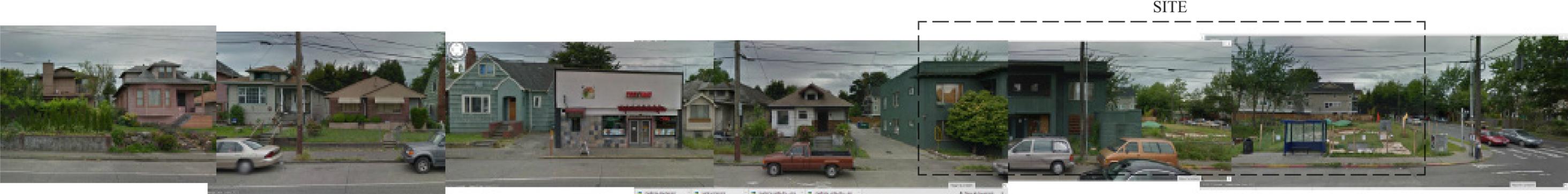
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SITE ANALYSIS





Street View: MLK Way looking East



Street View: MLK Way looking West



Street View: E. Union St. looking North

SITE



Street View: E. Union St. looking South

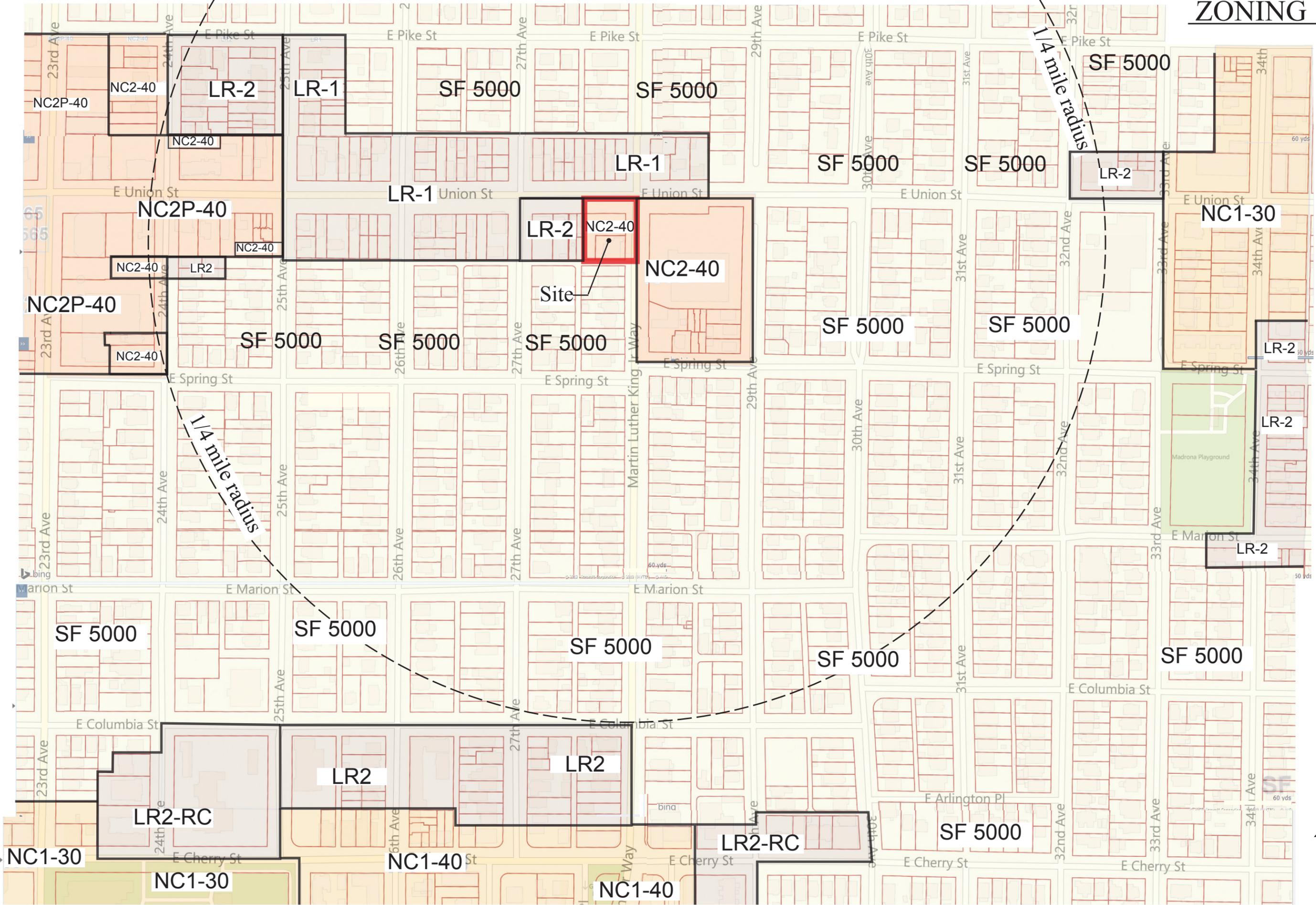
SITE
EXISTING ARCHITECTURE



Apartment Building on E. Union St.



Apartment Building on 27th Ave



23.47A.024A-Amenity Area

5% of total gross (residential) floor area req'd, to a limit of 50% of the lot area including: decks, balconies, terraces, roof gardens, courtyards. (excluding mechanical equip, accessory parking)

23.47A.024B Unenclosed spaces required: min. horiz. dimension: 10 feet; min 250 sf in size.

-27,525 SF in Residential Use x 5% =1377 SF Required Amenity Area

-1878 SF Provided at level 2 courtyard. (see level 2 Floor plan sheet A2.2)

23.47A.030-Required Parking

per 23.54.015-Required parking Tables

Commercial spaces under 2500 sf, 0 spaces required

- spaces provided commercial: 0

Table B Row I: Parking for Dwelling Units

1 space required for each unit

SMC 23.54.020.F REDUCTION 50% reduction due to frequent transit service.

-41 dwelling units proposed, (50%)=21 parking spaces required

-Parking provided: 27 spaces (10 small (37%))

-located under-ground and at grade off of alley within building.

Stall sizes for Residential Uses:

Provide min. 60% mediums. 40% of parking spaces can any size.

Table E: Bicycles

Multifamily structures: 1 per 4 units

41 dwelling units proposed = min. of 10 bicycle spaces required

ZONING/LAND USE CODE DATA

(MUP) # 3015747)

Applicable Code

Title 23 Seattle Land Use Code 2012 Edition

Existing Zoning

NC2-40 (Neighborhood Commercial 2 40 feet)

Zoning of Adjacent Properties

North: LR1, East: NC2-40, South: SF5000, West: LR2

3.47A.004-Permitted Uses

Residential, Commercial ,Parking

-none are exceeded under this project

23.47A.008-Street Level Development Standards

23.47A.008.A2-Blank Facades

20 feet in length max. (between 2 and 8 feet high)

-In compliance

Total blank façade shall not exceed 40% (Transparency 60%)

-In compliance: see elevations sheet xxx

23.47A.005.C- Min floor to floor height 13'-0"

-Departures requested-see departure list below.

23.47A.008.B3 Depth: average 30 ft., min. 15 feet

-In compliance

23.47A.012A-Structure Height

Max. height allowed: 40 ft.

23.47A.012A.1.a +4 ft. bonus for 13 ft floor-to-floor provided at non-residential at street.

-4 ft Bonus taken for this project.

Rooftop Features

23.47A.012C.4.a -Solar Collectors projecting 15'-0" above the 4'-0" bonus permitted.

-Taken this project

23.47A.012C.4.f 16-foot additional -stair and elevator penthouses allowed

-Taken this project

23.47A.012C.6 Greenhouses

15 ft. additional for-food production greenhouses

-Taken this project

-See Site plan for average grade calculation data.

23.47A.013B-Floor Area Ratio

Mixed-Use: 3.25, Lot Area: 14,339 SF

Maximum floor area allowed (excluding below grade): (46,601)sf

-Floor area proposed: 40,163 SF (=FAR of 2.8)

23.047A.014. - Setback Requirements

23.047A.014.B.1 Side Yard (abutting Residential zones)

15 ft triangle measure from the lot line of the residential zoned lot.

-Departure requested, see sheets A1.1, A1.2

2347A.014.B.2 No setback req'd up to 13 ft in height. 15 ft for portions of structure from 13 to 40 feet. Above 40 ft, provide additional 2' setback for every 10 ft.

-Departure requested, see sheet A1.2

23.47A.014.E Decks with open railings can extend into setbacks, except within 5 feet of residential zone.

23.47A.016 Required Landscaping

23.47A.016A.2 Green Factor of 0.3 or greater required

See Green Factor Work sheet, and Score sheet submitted.

23.47A.016B Street Trees Required

See landscape sheets L1.00,L1.10, L1.20, L2.00

Design Concept A (Preferred): “L-Shape”:

Pros:

- Large Courtyard amenity at level 2, area open to the south and west sun exposure.
- Minimal massing adjacent to properties at west and south.
- All units facing either a ROW or large courtyard.
- MLK facade is set back 3.5 ft from property line.

Cons:

- Smaller FAR (40163 SF)

Departures:

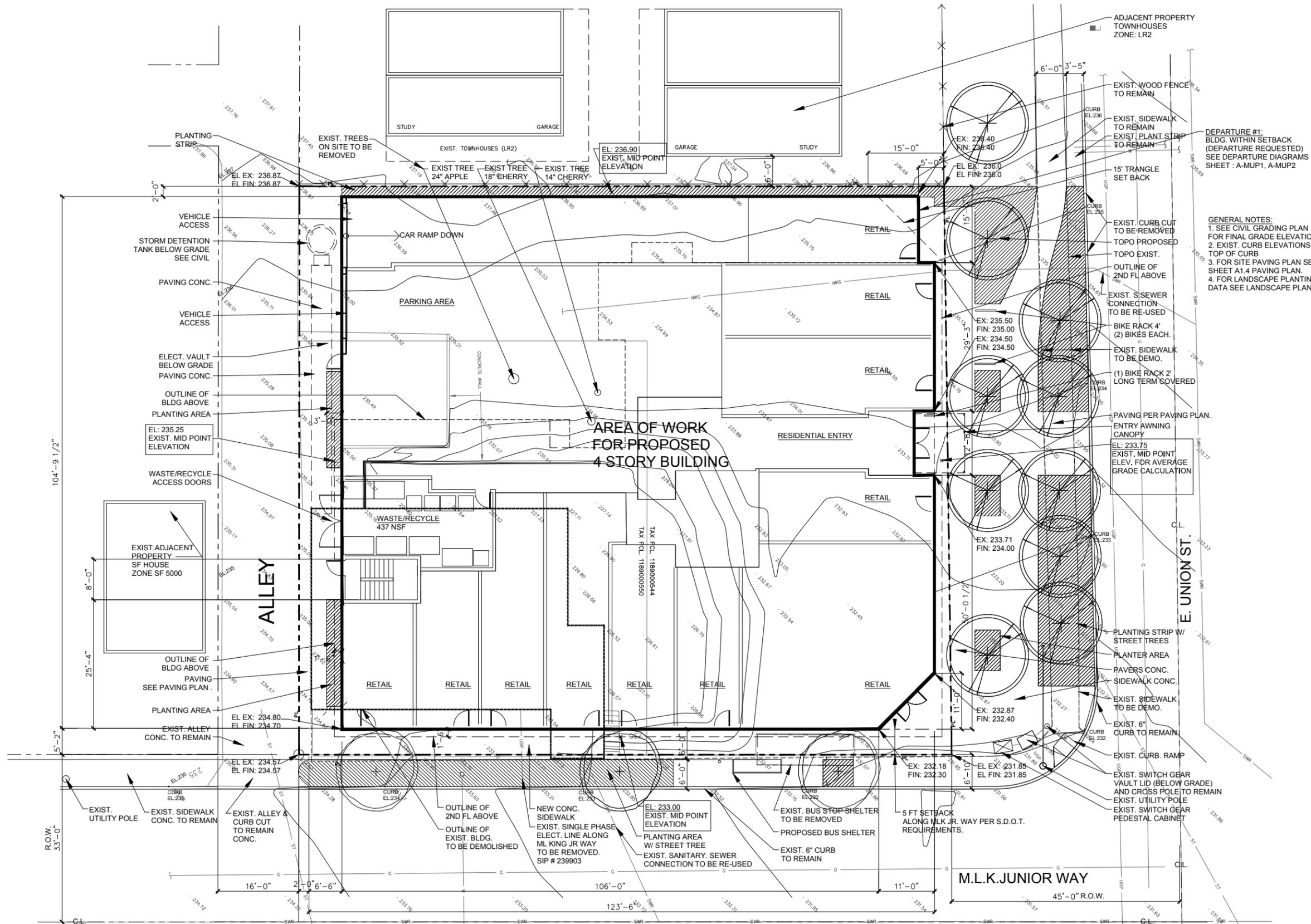
5 departures requested . See departure list.

Courtyard amenity
with landscaping



3D View bird's eye

SITE PLAN



DEPARTURE #1:
BLDG. WITHIN SETBACK
(DEPARTURE REQUESTED)
SEE DEPARTURE DIAGRAMS
SHEET : A-MUP1, A-MUP2

GENERAL NOTES:
1. SEE CIVIL GRADING PLAN C-102,
FOR FINAL GRADE ELEVATIONS
2. EXIST. CURB ELEVATIONS ARE
TOP OF CURB
3. FOR SITE PAVING PLAN SEE
SHEET A1.4 PAVING PLAN.
4. FOR LANDSCAPE PLANTING
DATA SEE LANDSCAPE PLANS

PROPERTY LEGAL DESCRIPTIONS:
ALL OF LOTS 6-9 EXCEPT THE WEST 2' OF SAID LOT 6, BLOCK 5 BUCKIUS ADDITION.
TAX PARCEL NO. 1189000550
TAX PARCEL NO. 1189000544

Project Name: MLK & Union Apartments
Site Address: 1141 Martin Luther King Jr. Way 98122
DPD Project #: 6440247, (MUP)# 3015747
Parcel #: 118900-0550, 118900-0544
PARCEL AREA: 14,339 SF

SITE PLAN
SCALE 1" = 20'-0"
SITE PLAN → NORTH

AVERAGE GRADE CALCULATION:
METHOD: RECTANGLE ENCLOSEING ENTIRE BLDG
INCLUDING OVERHANGS
 $(233.75 \times 107 \text{ FT}) + (233.0 \times 125.5 \text{ FT}) + (235.25 \times 107 \text{ FT}) + (236.9 \times 125.5 \text{ FT})$
107 FT + 125.5 FT + 107 FT + 125.5 FT

DESIGN GUIDELINES MOST RELEVANT TO THIS PROJECT

A-1 Responding to Site Characteristics

The siting of buildings should respond to specific site conditions and opportunities such as non-rectangular lots, location on prominent intersections, unusual topography, significant vegetation, and views or other natural features.

Response:

Our site is a corner lot, at the intersection of two prominent intersections, E. Union Street and Martin Luther King Way. Our design reinforces the corner of this intersection, and also takes advantage of the excellent solar orientation. We have located a large green open space on the south side of the project for the residential tenants, and also have oriented the project to the Southwest to take advantage of the prevailing winds for cooling in the summer. Our site plan also provides a large setback from the townhouses to the west so that the shading by our building on the neighbors will be minimal.

A-4 Human Activity

New development should be sited and designed to encourage human activity on the street.

Response:

Our preferred design creates a vibrant street where there currently is none. The new building shall have 100% commercial uses at grade. This includes nearly 200 L.F. of new retail storefronts with a totally transparent façade at grade. We have also provided an additional 6' setback along MLK Way to be used for a new continuous planting strip, where currently there is none. Along the North side of our property, there is an existing 30 Ft. ROW. We shall incorporate this into our design with extensive landscaping, canopied entries, and our primary residential entry. Through these newly created landscaped areas fronting both streets, we will create a vibrant pedestrian experience.

A-10 Corner Lots

Buildings on corner lots should be oriented to the corner and public street fronts.

Response:

We have chosen to build out to the corner of MLK and E. Union to provide a strong urban edge to the site. Since the site is at the intersection of several neighborhoods, a strong edge and corner will act as a "corner marker" for each of these neighborhoods.

B-1 Height, Bulk, and Scale Compatibility

Projects should be compatible with the scale of development anticipated by the applicable Land Use Policies for the surrounding area and should be sited and designed to provide a sensitive transition to nearby, less intensive zones. Projects on zone edges should be developed in a manner that creates a step in perceived height, bulk, and scale between the anticipated development potential of the adjacent zones.

Response:

Our NC2-40 site abuts adjacent zoning of LR2 and SF 5000. For this project we must assume that the small adjacent 1-story single family homes along MLK will eventually be rebuilt to the 30 Ft. height potential of that zone, or, that the adjacent SF5000 zone will be rezoned to better complement the existing zoning of our site and also of the NC2-40 zoned property directly across MLK Way. In order to moderate the scale of our new building, we have chosen to emphasize the horizontal massing of our 2nd and 3rd residential floors. We shall also focus on small design features, both at street level and in other building elements, to lessen the perceived bulk of our building. Additionally, we

have provided setbacks from our property lines along the South and West sides of our property on the upper floors. These setbacks along with the existing alley setback to the South, and our large courtyard setback to the West provides for these zone transitions.

C2- Architectural Concept and Consistency

Building design elements, details, and massing should create a well-proportioned and unified building form and exhibit an overall architectural concept. Buildings should exhibit form and features identifying the functions within the building. In general, the roofline or top of the structure should be clearly distinguished from its façade walls.

Response:

The overall architectural concept is to fully define both arterial street edges along MLK Jr. Way and E. Union St, and at the same time provide 2 large shared open spaces- one for the residential users in a courtyard on level 2, and another for the public along E. Union Street. The building is then divided into 2 horizontal bands- a recessed transparent retail base, and a residential block above, made up of the 2nd, 3rd and 4th floors above. The building's internal functions are visible from the exterior- the transparent retail façade, and the punched windows for the residential floors. Finally, industrial cladding materials like painted steel siding, concrete, and aluminum, as well as wood siding, provides color, texture and durability to the architecture. These cladding materials have been chosen for their distinct abilities to deal with the different weathering effects of each of the 4 building exposures.

D1- Pedestrian Open Space and Entrances

Convenient and attractive access to the building's entry should be provided. To ensure comfort and security, paths and entry areas should be sufficiently lighted and entry areas should be protected from the weather. Opportunities for creating lively, pedestrianoriented open spaces should be considered.

Response:

The second and third floors of our building along MLK overhang the storefronts below at grade to protect pedestrians from the weather. The E. Union retail façade and residential entry shall have canopies to also provide pedestrians with weather protection. The building residential entry shall be heavily landscaped, and utilize an interesting paving material incorporating texture, color, and pattern. A lively pedestrian open space will be developed in the E. Union St. ROW to the North.

D7- Personal Safety and Security

Project design should consider opportunities for enhancing personal safety and security in the environment under review.

Response:

We have placed the residential building entry at the center of the building façade along E. Union St.- this will increase pedestrian flow along this facade and activate the Union Street pedestrian corridor- thus making the street safer. To provide more activity along the alley, we have placed the garage entry, garbage/recycling area, and an entry to the building lower level offices. Since we anticipate some problems with graffiti along the alley façade, we have located many residential units above, with a clear view of the alley, which will also be well lit. In Addition, we shall provide vine plantings on the alley façade at grade to discourage graffiti.

D-8- Treatment of Alleys

The design of alley entrances should enhance the pedestrian street front.

Response:

We shall activate the alley entry at MLK by extending the street front fenestration into the alley, and provide extensive alley lighting.

D12.2- Residential Entries and Transitions- Multi-Family and Mixed-Use

Main entrances of multi-family mixed-use buildings should be located on the “primary pedestrian corridor” within commercial areas and should be clearly identifiable. Entries should be inviting to pedestrians while also providing adequate transitions between public and private space.

Response:

The 30 Ft. deep undeveloped ROW which abuts our residential building entry on E. Union St. provides us an extraordinary space for lush landscaping, extensive, well lit, safe and interesting paved areas, and the possible incorporation of public art work. An outdoor canopy over the residential entry shall further distinguish this entry location from storefronts along the same building façade.

E2- Landscaping to Enhance the Building and/or the Site

Landscaping, including living plant material, special pavements, trellises, screen walls, planters, site furniture and similar features should be appropriately incorporated into the design to enhance the project.

Response:

Through our site planning, we have created 3 new, different, and large landscaped spaces. The first is the MLK street front where we have set back the base of the building an additional 6 Ft. from the property line to create a new 6 ft. deep planting strip the length of this façade. The second landscaped space is the 32 ft. deep undeveloped E. Union St. ROW. We shall develop this area as a major public open space. The third new open space is the Southwest courtyard on the second floor of the building, which shall be visible to adjacent neighbors, and used by the building tenants

Attachement B

Response to Guidelines: MUP Application for Design Review
DPD Project # 3015747

1. Please describe the proposal in detail, including types of uses; size of structure(s), location of structure(s), amount, location and access to parking; special design treatment of any particular physical site features (e.g., vegetation, watercourses, slopes), etc.

-A 4-story plus basement 54,362 S.F. mixed use building with one level of below grade parking and office space. 28,267 SF of Residential apartments on 3 floors sits over 5885 SF of commercial space at street level. Parking is located below grade and also at grade below a courtyard deck and is accessed from the existing alley. This L shape building fronts onto the two arterial streets and has a courtyard at the 2nd fl level, as well as a roof deck amenity. An existing 32 ft wide Right-of-Way along E. Union St. is heavily landscaped to provide an attractive public space.

2. Please indicate in text and on plans any specific requests for development standard departures, including specific rationale(s) and a quantitative comparison to a code-complying scheme. Include in the MUP plan set initial design response drawings with at least four (4) colored and shadowed elevation drawings and site/landscape plan.

-Five (5) design departures are requested.

Departure #1: (SMC 23.47A.014.B.1) 15' triangle at side yard abutting a residential zone.

The proposed design encroaches into this triangle in order to provide street facing commercial frontage space. Diagrams show that code compliant frontage would create either a 15' recessed retail which is too far back to engage the street or an angled frontage which faces the adjacent townhouse fence and has an awkward relationship to the street. Our proposed solution reinforces and complements the rest of the commercial street frontage along MLK and E. Union St. See departure diagram on sheet A1.1

Departure #2: (SMC 23.47A.014.B.3a) 15' Setback at side yard abutting a residential zone.

The proposed design proposes pop-out privacy bays that encroach 4' into this setback. These bays have either no windows or narrow windows facing the adjacent townhouses. Rather than large windows facing directly opposite the townhouse which would be permitted with a 15 foot setback, our proposed bay have limited openings which helps preserve the privacy of our neighbors to the West. See departure diagram on Sheets A1.1 and A1.2 and section A-6 "Respect for adjacent sites".

Departure #3: (SMC 23.47A.014.B.3b) For structures above 40 feet, an additional setback at the rate of 2 feet of setback for every 10 feet by which the height of such portion exceeds 40 feet.

Our proposed building is allowed a building height to 44 feet, based on the commercial level on grade being 13 feet in height. The 4 foot in height above 40 feet triggers this section of the code. We want to keep our building's West wall aligned and straight, and unfortunately, this code section would require us to set back the top 4 feet of our building an extra nine inches. We are asking a departure for this extra nine inch required setback. See departure diagram on Sheet A1.3.

Departure #4: (SMC 23.47A.014.E.1.a) Decks with guard railing are not permitted within 5 Ft of a lot line. The Proposed guard rail is 2 ft from prop. Line. The guard rail with adjacent landscape planters will provide privacy screening for adjacent neighbors. Guard rail extends vertically 2' above the 13 ft limit from grade. We are requesting a departure. See departure diagram on Sheet A1.3.

Departure #5: (SMC23.47A.012.A.1.a) 13 FT floor to floor street level commercial is required.

Our proposed design shows 13 Ft. to 15 Ft. floor to floor heights at all commercial street fronts except at the Northwest corner of our building. In this location, the existing street grades do not allow for both a continuous commercial street façade and a 13 ft. floor to floor height. Instead, a 12 ft floor to floor height is proposed in this NW corner. We've tried to meet the intent of the Code by our 15 foot floor to floor heights in some locations like at the large Northeast corner retail space. We are requesting this exception to the 13 foot floor to floor height required in this Northwest location.

3. Please describe how the proposed design responds to the early design guidance provided by the Design Review Board.

See attached DRB guidance Items below followed by our response.

A. Site Planning

A-1 Responding to Site Characteristics. The siting of buildings should respond to specific site conditions and opportunities such as non-rectangular lots, location on prominent intersections, unusual topography, significant vegetation and views or other natural features.

The "L-shape" option with its southwest facing courtyard and street wall received Board commendation. The other schemes appeared less suitable for the site. The courtyard also gets sun all day long, and enjoys acoustical separation from the street by having the building mass screen the street noise from tenants.

A-2 Streetscape Compatibility. The siting of buildings should acknowledge and reinforce the existing desirable spatial characteristics of the right-of-way.

Attributes of the facades facing the two streets should include generous amounts of transparency and building form that engages the pedestrian.

Response:

We have defined and aligned the street front by and with our building. Additionally, we have located the residential building entry on E. Union St., the street side with the largest right-of-way.

-See building elevations and the Site Plan which show our storefront design in relation to the street.

A-3 Entrances Visible from the Street. Entries should be clearly identifiable and visible from the street.

Response:

-See elevations drawings showing residential entry off of E. Union St. Residential entry is highlighted by a façade recess, a cladding material change, and a color change. Additionally, a unique arched canopy with signage is proposed for this residential entry.

A-4 Human Activity. New development should be sited and designed to encourage human activity on the street.

The storefront and landscape design along the rights of way, especially along E. Union, should serve to enhance the pedestrian sphere: large storefront windows, a welcoming residential entrance, space for congregating, and a visible and functional corner.

Response:

-See elevations drawings showing storefront design and residential entrance.

-See landscape drawings showing intensive landscaping to create an attractive pedestrian friendly space. We have provided everything the DRB requested.

A-5 Respect for Adjacent Sites. Buildings should respect adjacent properties by being located on their sites to minimize disruption of the privacy and outdoor activities of residents in adjacent buildings.

Two of the departure requests impact the adjacent townhouses. Discussed in guidance B-1 below and in the departure section near the end of this report, the requests, if the applicant continues to pursue, should be further analyzed for the Board.

Response:

-See departure diagrams and item #2 of Attachment B above. Additionally, the code would allow us to build our building along the entire West side of the site with a 15 foot setback. Instead, we have chosen to set back the Southern 56 feet of the West side of our building 45 feet from the West property line rather than the permitted 15 feet. This Southern setback is designed as a landscaped courtyard buffer, affording privacy to both our building occupants as well as the townhouse occupants to the West. While this elective setback cost our project 4,870 Net S.F. of allowable buildable area, it greatly enhanced the relationship with the townhouses to the West.

A-6 Transition Between Residence and Street. For residential projects, the space between the building and the sidewalk should provide security and privacy for residents and encourage social interaction among residents and neighbors.

Response:

We have provided a new planting strip along MLK Jr. Way where there is none currently by providing a 5' planting easement along the entire East property line of our site. This planting strip will act as a safety buffer between pedestrians and vehicular traffic. Additionally, this new buffer will make the pedestrian experience more enjoyable making more pedestrians likely to use this street and hence making it safer. The same is true for our new landscaped right of way enhancements along East Union Street to the North. Benches and landscaping as well as wide sidewalks will make this area safer and more enjoyable as well, and promote social interaction among residents and neighbors since the building's residential entry is along E. Union St.

A-7 Residential Open Space. Residential projects should be sited to maximize opportunities for creating usable, attractive, well-integrated open space.

As the design for the courtyard evolves, consider accessibility issues as the steps may prohibit use of portions of the garden. Also, decide whether the ground floor units directly facing the courtyard have private gardens associated with the entries.

Response:

-We have eliminated the steps in the courtyard so that it is now fully accessible.

-The Courtyard is now proposed on the 2nd floor, rather than at grade, to create more privacy from the alley, and to locate this amenity adjacent to the residences rather than the commercial spaces. In this location, the 2nd floor apartment units face directly onto the courtyard that is accessed by each apartment unit through private patio doors. Small private garden spaces associated with individual residences buffer these apartments from the central common courtyard amenity space. A continuous landscaped edge along the West side buffers the courtyard from the adjacent townhouses.

A-8 Parking and Vehicle Access. Siting should minimize the impact of automobile parking and driveways on the pedestrian environment, adjacent properties, and pedestrian safety.

A-10 Corner Lots. Building on corner lots should be oriented to the corner and public street fronts. Parking and automobile access should be located away from corners.

Enhance the corner, especially at the ground level, to create a pleasing environment for pedestrians and to anchor this visible intersection.

Response:

The building is sited to enhance the site corner at MLK Jr. Way and E. Union Street. A large diagonal entry to the retail space at the corner eases the pedestrian route around the corner. A columnless building corner above this diagonal retail entry also provides shelter for pedestrians at the corner. The well landscaped new park we've created along the E. Union Street ROW promotes pedestrian safety and interactions. In this way we've reserved the streets as entirely pedestrian zones, and we have allocated the vehicle entries to the alley side of our building to the South.

B. Height, Bulk and Scale

B-1 Height, Bulk, and Scale Compatibility. Projects should be compatible with the scale of development anticipated by the applicable Land Use Policies for the surrounding area and should be sited and designed to provide a sensitive transition to near-by, less intensive zones. Projects on zone edges should be developed in a manner that creates a step in perceived height, bulk, and scale between anticipated development potential of the adjacent zones.

The Board endorsed the "L-shape" scheme after questioning the applicant. Two of the four requested departures (extending the massing) at the proposal's northwest corner may impact the adjacent townhouses. The building's relationship to these townhouses may be improved if the south elevation and southwest corner of the northern leg of the "L" were set back at level four to allow greater solar exposure from the south. At present the floor plans project toward the courtyard, or south, as the building rises. The Board asked for more analysis of the relationship between the two departures and the townhouses to justify the requests. Provide realistic sections, an overlay of window placement and diagrams to assist in explaining the need for the departures.

Response:

- As suggested, a new recessed step is proposed at the 4th floor south facing façade to increase solar exposure for the adjacent townhouse.

- See departure response above in Attachment B item #2, as well as response to A-5.

- As requested, window placement overlays are provided in departure diagrams on sheets A1.2.

C. Architectural Elements and Materials

C-1 Architectural Context. New buildings proposed for existing neighborhoods with a well defined and desirable character should be compatible with or complement the architectural character and siting pattern of neighboring buildings.

Discussion focused on building styles given the plethora of early 20th century homes and modest walkup townhouses and apartment buildings nearby. The Board did not choose to convey opinions about roof forms and potential material choices. As one citizen stated at the meeting, the building should fit gracefully into the neighborhood. The Board came to understand that the images in the EDG packet (pp. 18-19) represent an extension of the massing studies and not necessarily the character of the materials, color or detailing of the cornice and projecting bays.

Response:

-See new, colored elevations. Our building façade hugs and defines the streetfronts. The use of metal and wood cladding materials, color, setbacks, landscaping, and modulation of massing all help the building to relate to its neighbors. We need to remember that we are building in the 21st century and with modern materials and methods. There is no need to mimic or duplicate the shapes and forms from the past. This is a modern building, scaled to relate to its neighbors, with massing that provides and allows for both buffering and screening. Think of our building as a theater proscenium, where the stage is a warm red backdrop to the textures of the adjacent facades of the past, and in front of this stage set, the human activity on the street is celebrated. Our building is colorful but common. It looks like it was built 100 years ago, but has been recently renovated into cool affordable housing where everyone feels at home, and the bones of the building have not been compromised.

C-2 Architectural Concept and Consistency. Building design elements, details and massing should create a well-proportioned and unified building form and exhibit an overall architectural concept. Buildings should exhibit form and features identifying the functions within the building. In general, the roofline or top of the structure should be clearly distinguished from its facade walls.

As the building design evolves, this guideline increases in importance. The Board will focus closely on project compliance.

Response:

As suggested by DPD staff, we have developed an architectural concept that breaks up the building exterior into 2 separate geometric areas, both horizontally and vertically. Horizontally, the building is separated into 2 parts by a 12'-8" recessed vertical gap at the residential entry on the North, and a similar 8'-0" gap at the south stair tower. Vertically, the building is separated into 2 distinct areas (Residential, and Retail/Parking) through the use of materials, color, and overhangs.

The lower grade level element is set back from the property and is constructed of concrete, glass, wood storefront framing and aluminum glazing sections and louvers. This lower section is broken up into distinctly unique storefronts similar to our Bowling Green Apt building. Each storefront will be a different color selected by each tenant with an operable canvas awning whose fabric color and pattern is also selected by the tenant. To distinguish the primary residential entry on E. Union St., we have marked this entry with a curved green canvas canopy, similar to old buildings in urban cities.

The upper 3 levels of the building are all residential and we have distinguished these from the commercial below through the use of several elements. This includes brick red corrugated metal siding, and uniformly distributed large white vinyl windows. The use of the red cladding and large operable modular white windows is intended to be visually friendly and familiar, and reference back to the old brick apartments and simple metal industrial warehouses of the past. This upper area is also set forward from the podium below by 15" to 18", enhancing the visual separation between the concrete base and the upper 3 floors of the building.

Our windows tell a story of how the internal parts of the building function- Single-hung 3-bay window units denote living rooms and studios, while bedrooms and dining areas are denoted by single hung 2-bay window units. We have framed these white vinyl windows using 4" white metal trim that matches the sash color. This enhances the scale of the modular windows, provides greater contrasts to the red siding, and brightens the overall look.

The building top requires no frills since the 3-floor red corrugated residential volume is the top. A box with a frilly top is a frilly box. Our building is a simple structure with a base and a top. If we wanted to say the building had a base middle and top, then the rooftop features would be the top. However we have chosen to discretely hide this "top" to give the building occupants a secret private space.

C-3 Human Scale. The design of new buildings should incorporate architectural features, elements, and details to achieve a good human scale.

The photos in the back of the packet illustrating mixed use and townhouse projects completed by The Madrona Co. convey a cognizance of providing human scale and detail at the ground level.

Response:

On this building, the retail storefronts are well articulated, the exterior cladding materials chosen for their texture and color, and the windows chosen to recall the single-hung windows of older buildings. At ground level, the landscaping, selection of paving material, and board-formed concrete columns and pilasters are all selected to break down the building components to achieve a good human scale. Canvas canopies with color, fabric design, and signage selected by the tenants will add weather protection and further visual interest for the pedestrian. To add detail at the street level, we've framed the storefronts with wood, which can be personalized through the simple addition of color. Finally, we've articulated the paving, both at grade and within the right-of-way, using color, texture and landscaping to enhance the pedestrian experience.

C-4 Exterior Finish Materials. Building exteriors should be constructed of durable and maintainable materials that are attractive even when viewed up close. Materials that have texture, pattern, or lend themselves to a high quality of detailing are encouraged.

Response:

Our cladding materials- concrete, corrugated metal panels, stained cedar, aluminum framed doors at grade, and painted wood storefronts all represent materials which are durable, maintainable, and attractive. Additionally, see guidance for C-1, 2, and 3.

D. Pedestrian Environment

D-1 Pedestrian Open Spaces and Entrances. Convenient and attractive access to the building's entry should be provided. To ensure comfort and security, paths and entry areas should be sufficiently lighted and entry areas should be protected from the weather. Opportunities for creating lively, pedestrian-oriented open space should be considered.

At the meeting, the nature of the E. Union and MLK corner open space and its relationship to the building lacked design exploration. A well-designed corner and its capacious conterminous E. Union right of way will contribute to the future success of the building and the intersection.

Response:

-See A-4 above

-Our landscape design incorporates a grove of 10 large Birch trees along the E. Union St. Right of Way to provide for a unique visual pedestrian experience and space. Our building is oriented not only to the corner, but also to the East Union St. residential building entry where we have created a new Seattle mini-park. A curved fabric entry canopy at the residential entry is the focus of this North façade. Building overhangs and individual canvas awnings along both the East and North facades provide weather protection and an enhanced pedestrian experience.

D-5 Visual Impacts of Parking Structures. The visibility of all at-grade parking structures or accessory parking garages should be minimized. The parking portion of a structure should be architecturally compatible with the rest of the structure and streetscape. Open parking spaces and carports should be screened from the street and adjacent properties.

Response:

All parking is located within the building and accessed by large garage doors located on the alley.

D-6 Screening of Dumpsters, Utilities, and Service Areas. Building sites should locate service elements like trash dumpsters, loading docks and mechanical equipment away from the street front where possible. When elements such as dumpsters, utility meters, mechanical units and service areas cannot be located away from the street front, they should be situated and screened from view and should not be located in the pedestrian right-of-way.

The location of the solid waste storage area directly off the alley appears appropriate. Ensure that the west wall facing the courtyard visually complements the communal courtyard.

D-7 Personal Safety and Security. Project design should consider opportunities for enhancing personal safety and security in the environment under review.

Response:

Our design incorporates an elaborate security system throughout, with the use of access entry fobs, and a network of closed circuit cameras. The alley stair tower door shall be a primary entry to the office spaces below grade, thus making this location extremely secure. Safety lighting of all public areas shall be provided to enhance the safety and security of the public. Landscaping plant selection and design has also been done with public personal safety and security of highest concern.

D-9 Commercial Signage. Signs should add interest to the street front environment and should be appropriate for the scale and character desired in the area.

By the Recommendation meeting, provide a concept signage plan for the commercial uses.

Response:

-See attached proposed Commercial signage guidelines and example photos.

D-10 Commercial Lighting. Appropriate levels of lighting should be provided in order to promote visual interest and a sense of security for people in commercial districts during evening hours. Lighting may be provided by incorporation into the building façade, the underside of overhead weather protection, on and around street furniture, in merchandising display windows, in landscaped areas, and/or on signage.

Provide exterior lighting along the street frontages and within the courtyard to ensure safety and to enhance the pedestrian realm. Provide a concept lighting plan by the Recommendation meeting.

Response:

-We shall provide an exterior conceptual lighting plan by the date of the Recommendation meeting.

D-11 Commercial Transparency. Commercial storefronts should be transparent, allowing for a direct visual connection between pedestrians on the sidewalk and the activities occurring on the interior of a building. Blank walls should be avoided.

Design the live/work units to possess the storefront characteristics of commercial uses. The storefront assemblages for the commercial use and the live/work ought to appear seamless.

Response:

-There are no live/work spaces proposed. All commercial street facing windows are transparent, with highly transparent glazing.

D-12 Residential Entries and Transitions. For residential projects in commercial zones, the space between the residential entry and the sidewalk should provide security and privacy for residents and a visually interesting street front for pedestrians. Residential buildings should enhance the character of the streetscape with small gardens, stoops and other elements that work to create a transition between the public sidewalk and private entry.

Create a clear relationship between the primary residential entrance on E. Union and the broad sidewalk and planting strip.

Response:

A wide area of textured paving connects the street to the primary residential entrance that is separately aligned with E. Union St. and includes enhanced landscaping. We feel benches at the residential entry and along the E. Union Street right-of-way would enliven this public thoroughfare. However, since this is publically owned property, we have applied for a City grant to install and maintain them. A curved canvas awning similar to those seen on older buildings is also incorporated. The residential entry aligns with a new 30 minute loading zone at E. Union St. affording occupant drop-offs in a safe and visible location.

E. Landscaping

E-1 Landscaping to Reinforce Design Continuity with Adjacent Sites. Where possible, and where there is not another overriding concern, landscaping should reinforce the character of neighboring properties and abutting streetscape.

In the concept drawing for the landscaping, the sidewalks do not directly adjoin the properties to the west and south across the alley. The transition between the properties will need to be obvious and serviceable to ensure pedestrian ease.

Response:

We have met with the townhouse neighbors to the West and they have agreed to allow us to landscape their portion of the right-of-way so that theirs and ours will complement each other. Our enhanced landscaped right-of-way proposal to SDOT reinforces the varied pedestrian friendly sidewalk designs already occurring West of our site along E. Union St. Additionally, we have landscaped the South side of our building that abuts the alley, affording a nice pedestrian

experience. We have gridded the concrete sidewalk paving to provide a smooth transition between our site design and the existing paved area to the south and west of our property.

E-2 Landscaping to Enhance the Building and/or Site. Landscaping, including living plant material, special pavements, trellises, screen walls, planters, site furniture, and similar features should be appropriately incorporated into the design to enhance the project.

By the Recommendation meeting, provide sections and elevations of the courtyard particularly of the terracing above the garage ramp. The garden has three elements the pathway circumnavigating it, the seating area and the terrace above the garage ramp. Illustrate the terrace walls and the how the courtyard functions.

Response:

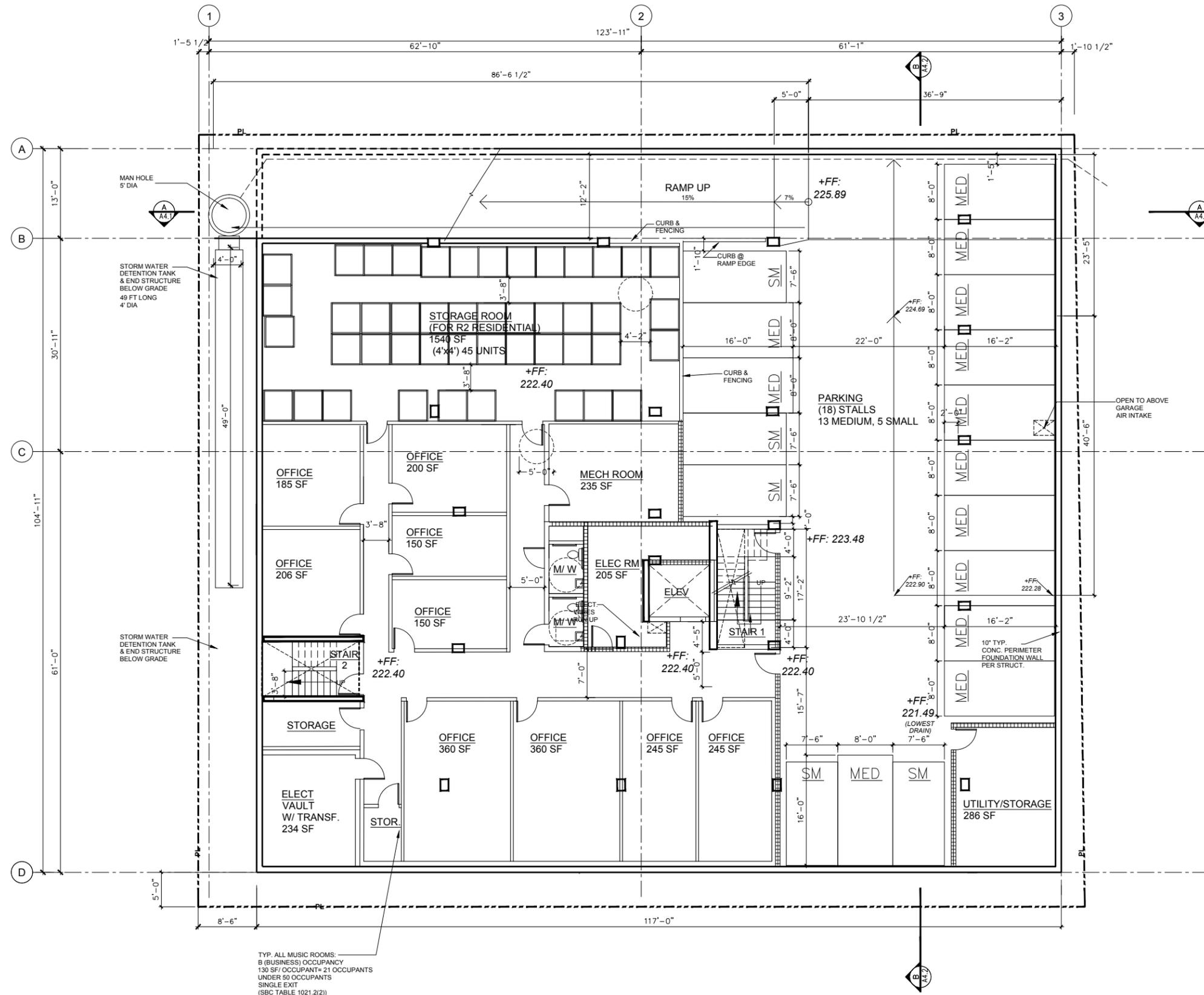
-See landscape drawings. We have eliminated the terraced landscaped areas above the garage ramp. The courtyard has moved to the residential level of our building. The new courtyard design delineates public and private resident zones- with the private ones abutting residential units on the 2nd level, and the central courtyard being used by all residents. Because of the simplicity of the new courtyard location, no sections and elevations are required.

E-3 Landscape Design to Address Special Site Conditions. The landscape design should take advantage of special on-site conditions such as high-bank front yards, steep slopes, view corridors, or existing significant trees and off-site conditions such as greenbelts, ravines, natural areas, and boulevards.

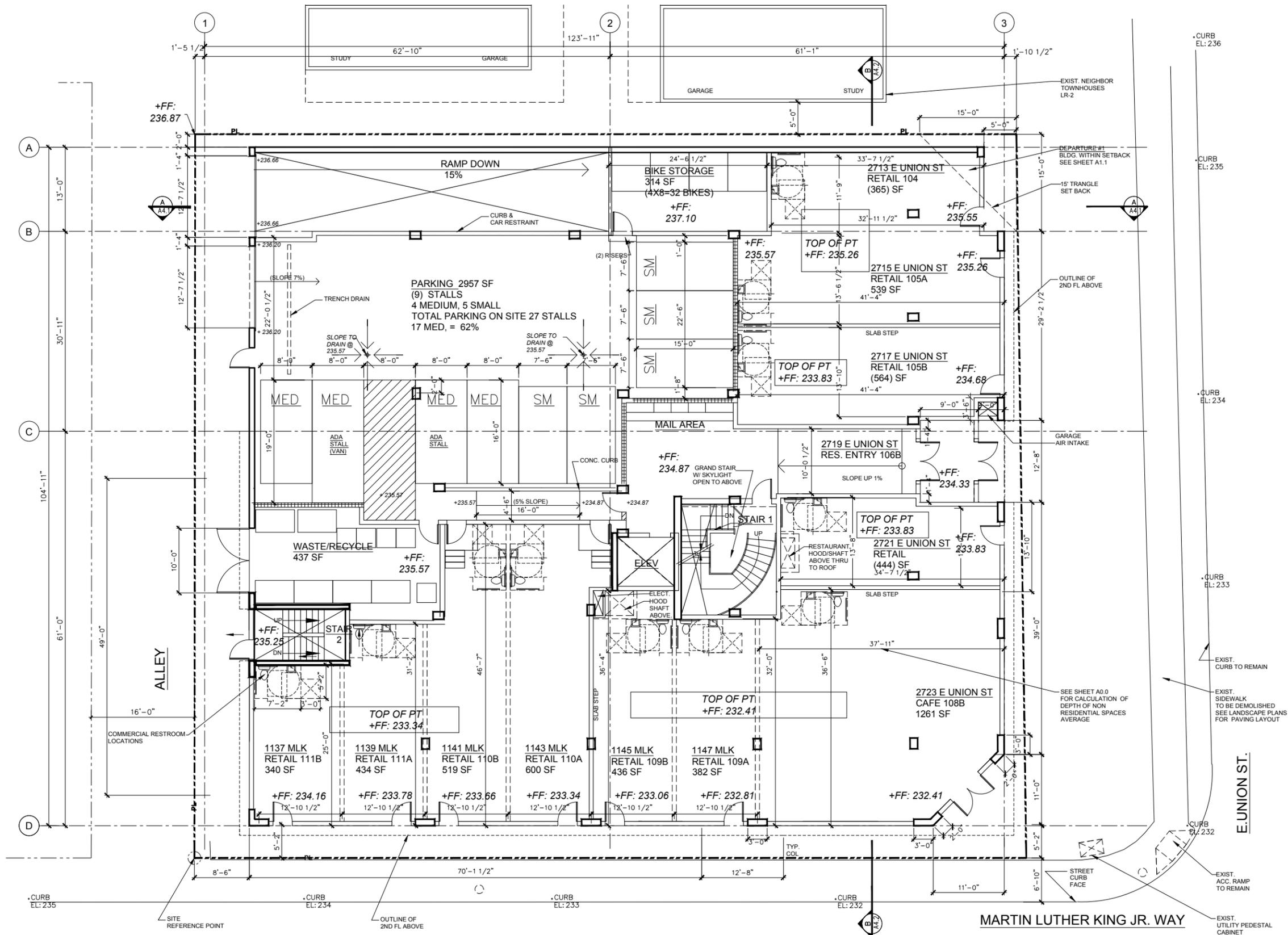
The wide right-of-way along E. Union St possess great potential for creating public space and developing a garden that complements the building and its functions along the street frontage. The concept design appears, at least in two-dimensions, more static than the Board's aspirations. As noted by the landscape architect, Union St. contains signs of an emerging (and interesting) landscape corridor. The Chloe on the corner of 14th Ave owns a relatively sophisticated court anchored by restaurants; the small commercial node at 21st Ave has playful sculptures and landscape furniture in the right of way endowing the intersection with personality. The design of the subject corner and the E. Union right of way in front of the building ought to further enhance the E. Union renaissance.

Response:

-Our landscape design concept is that of a lush valley floor, containing a grove of 10 large birch trees and a variety of edible, drought tolerant and native plants. Our plants have been selected for their beautiful and large tree canopy, their uniqueness, beauty, and ability to survive with vigor in an urban environment. While our original landscape plan submitted for approval to SDOT was a bit more whimsical, it was not accepted. Subsequently, we have worked with them to explore other landscape design options, and are pleased with our current design, includes very large planting beds that can hold large specimen trees- something unique in the urban environment, and desirable to SDOT arborists. This current design is 60% approved by SDOT.

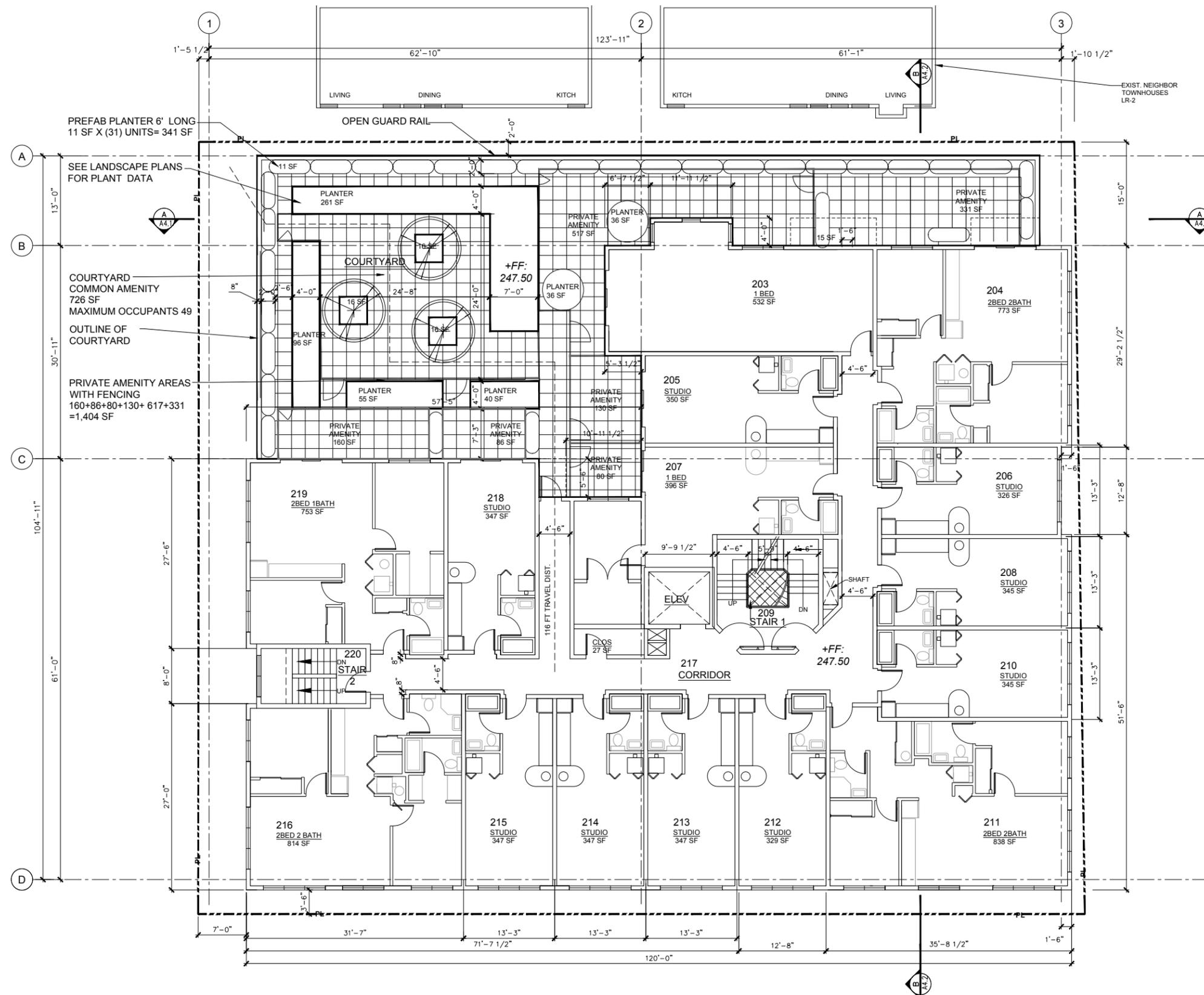


BASEMENT FLOOR PLAN → NORTH
 SCALE 1/8"=1'-0"



LEVEL 1 FLOOR PLAN (GROUND) → NORTH

SCALE 1/8"=1'-0"

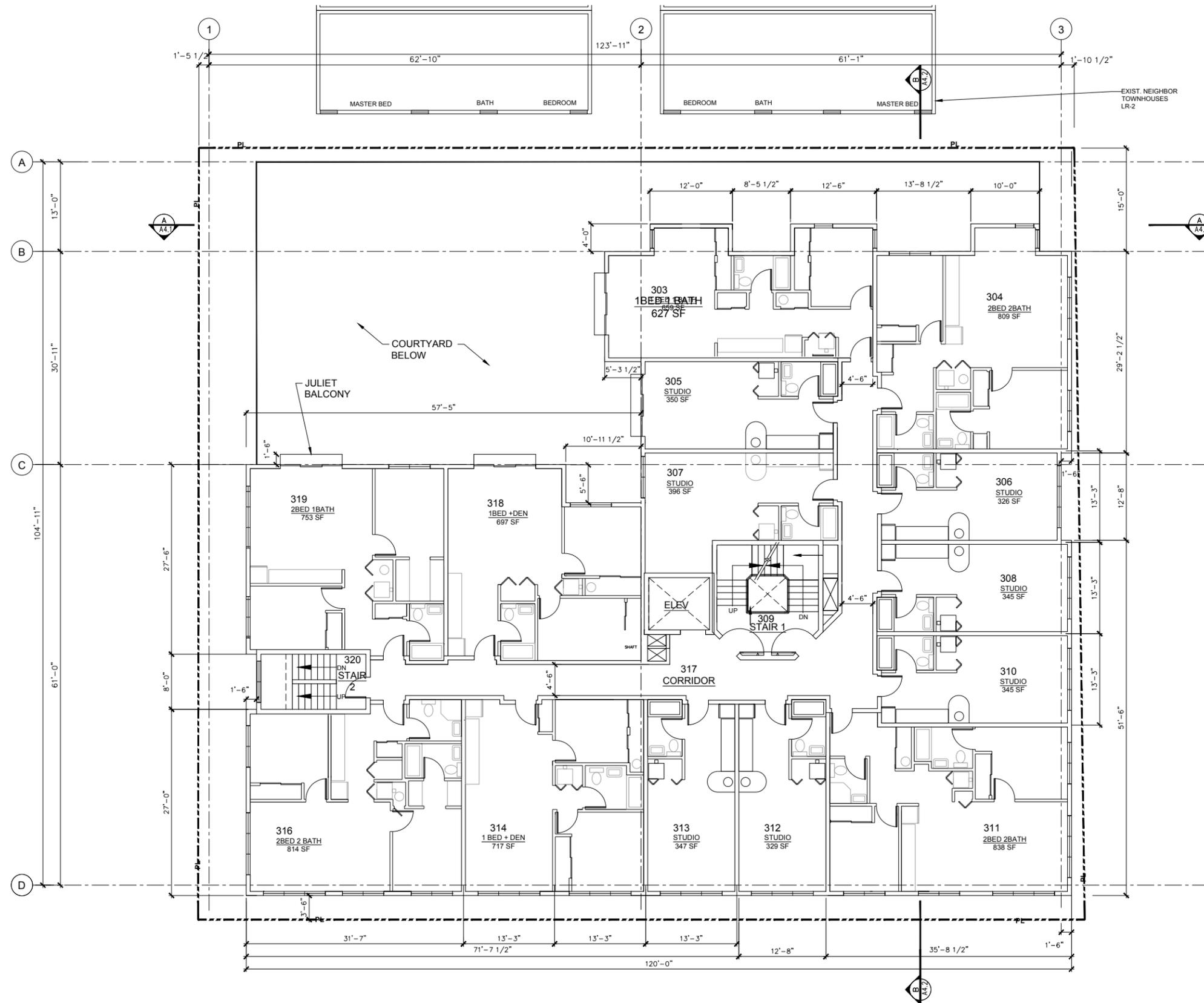


LEVEL 2 FLOOR PLAN

→ NORTH

SCALE 1/8"=1'-0"

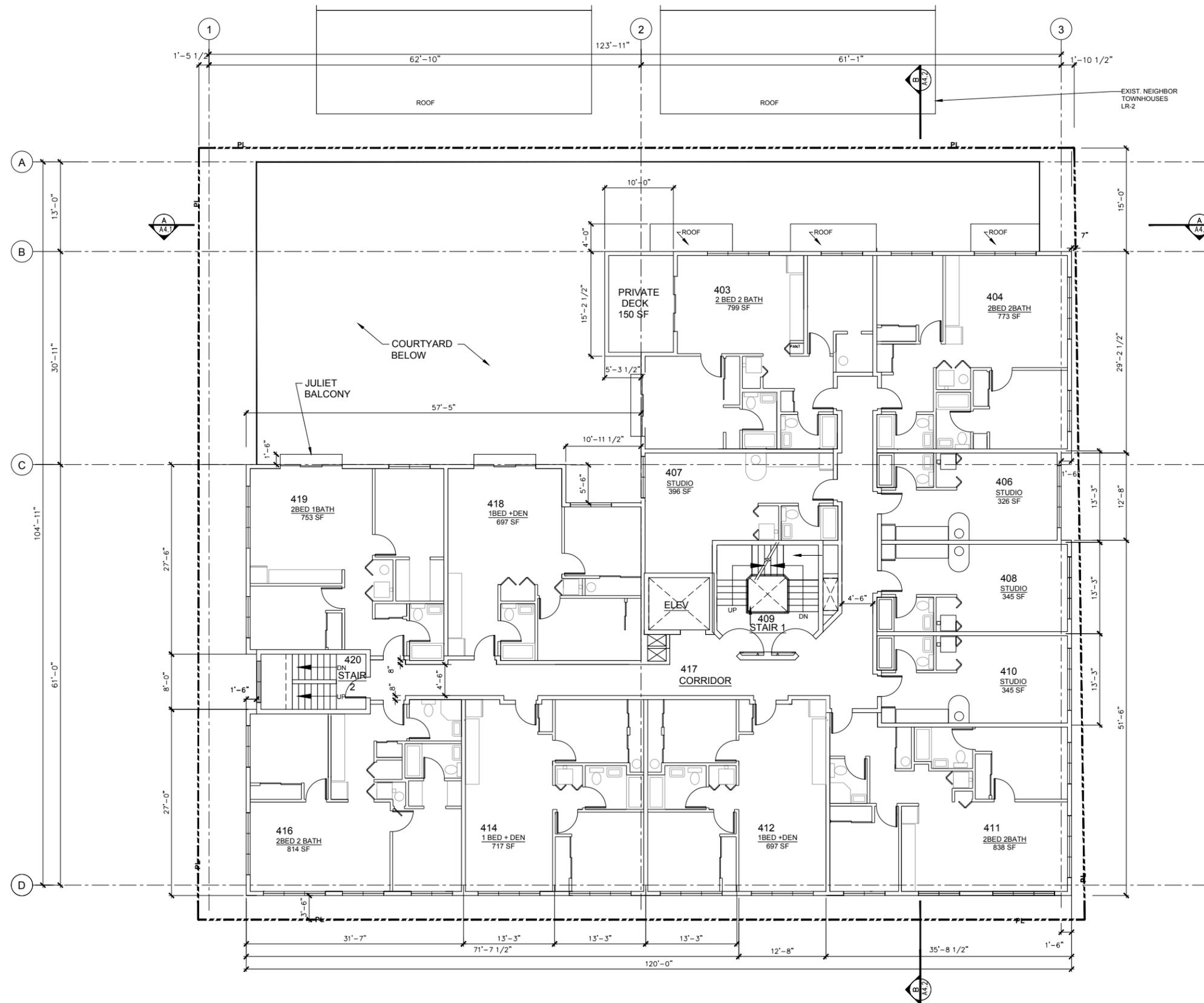
LEVEL 2 BLDG. AREAS:
 G.S.F. 9468 SF
 F.A.R. 9200 SF (RESIDENTIAL)
 COURTYARD ROOF: 3535 SF



LEVEL 3 FLOOR PLAN

→ NORTH

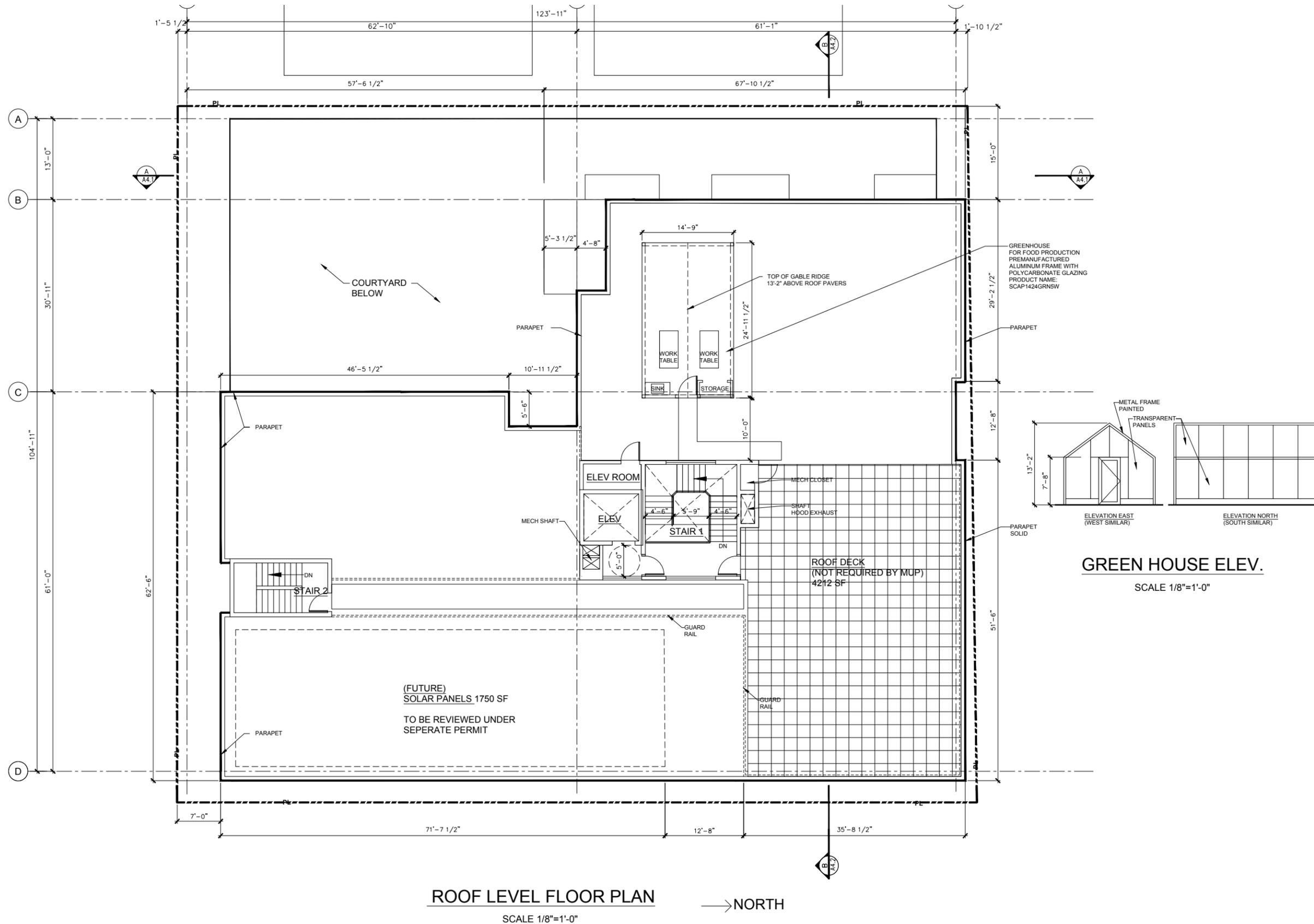
SCALE 1/8"=1'-0"

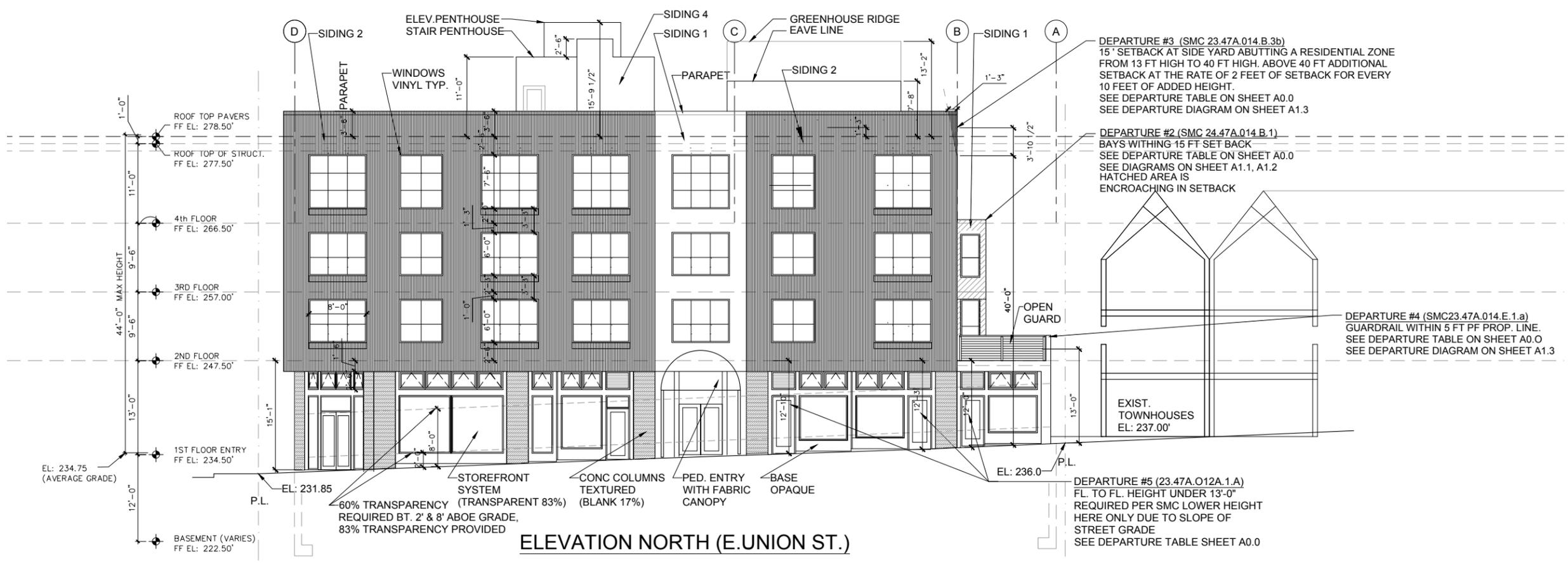


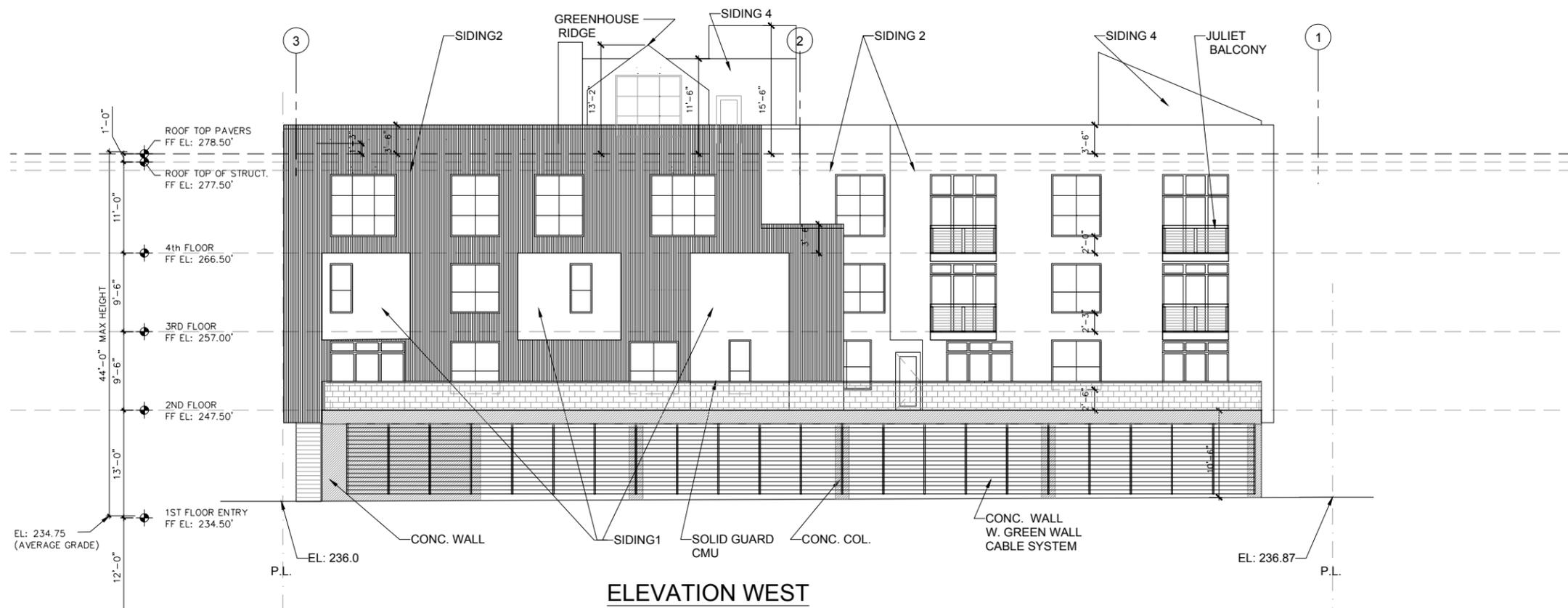
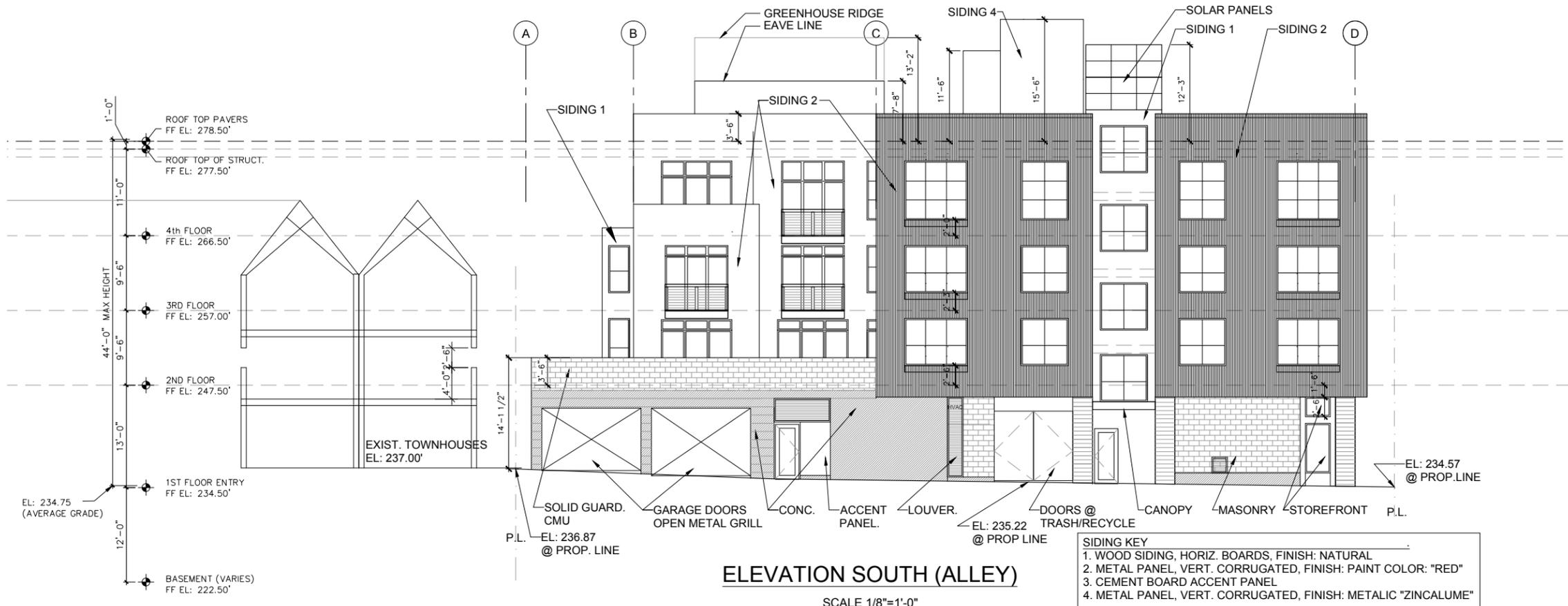
LEVEL 4 FLOOR PLAN

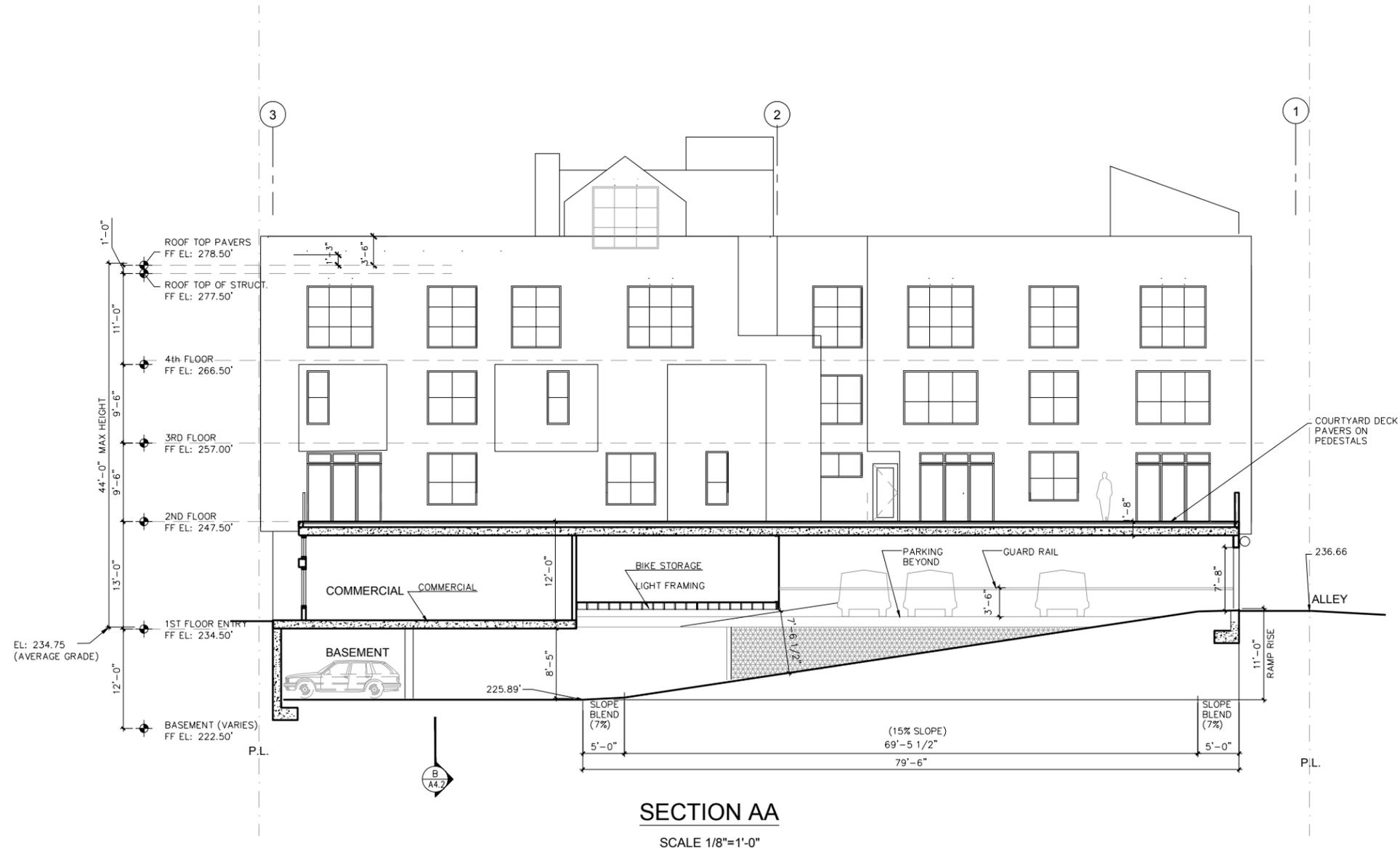
→ NORTH

SCALE 1/8"=1'-0"











ELEVATION NORTH (E. UNION ST.)



ELEVATION EAST (MLK WAY.)



ELEVATION SOUTH (ALLEY)



ELEVATION WEST



3D VIEW FROM STREET INTERSECTION



3D VIEW FROM E. UNION ST.



3D VIEW OF LANDSCAPE ON E. UNION ST.



3D VIEW OF LANDSCAPE ON COURTYARD



CORNER ON E. UNION ST.



CORNER ON MLK WAY



3D VIEW OF CORNER SHOP



3D VIEW OF RESIDENTIAL ENTRY



3D VIEW BIRD'S EYE



3D VIEW FROM ALLEY



3D VIEW LOOKING EAST ON E. UNION ST.



3D VIEW DRIVING NORTH ON MLK WAY

MATERIALS



MATERIALS

Example buildings with similar metal panel and trim materials



Mount Baket Lofts, Seattle WA
Red metal panel siding, vertical corrugated.
with white vinyl windows



Dusty Strings building, Seattle WA
Dark metal panel siding, vertical corrugated
with white accent metal trim approx 4" wide.

CANOPY & SIGNAGE



RETRACTABLE AWNING
IN OPEN POSITION
WITH SIGNAGE LETTERING
ON 14" TALL FRONT PANEL



RETRACTABLE AWNING
IN CLOSED POSITION



BLADE SIGN
MOUNTED TO WALL



SPECIAL
CORNER STORE
SIGN
LIGHTED



CUSTOM SIGNAGE ON
STOREFRONT BASE PANEL



RESIDENTIAL ENTRY
CUSTOM CANOPY WITH
LETTERING SIGNAGE ON
SIDES AND FRONT

CONCEPT:
We will use the same canopies used on our Bowling Green Apartments project. this is a retractable fabric canopy. approx 12 ft. wide, extending outward up to 7.5 ft. Each tenant will get a canopy with color and signage of their choice. manufacturer: "Raineer".

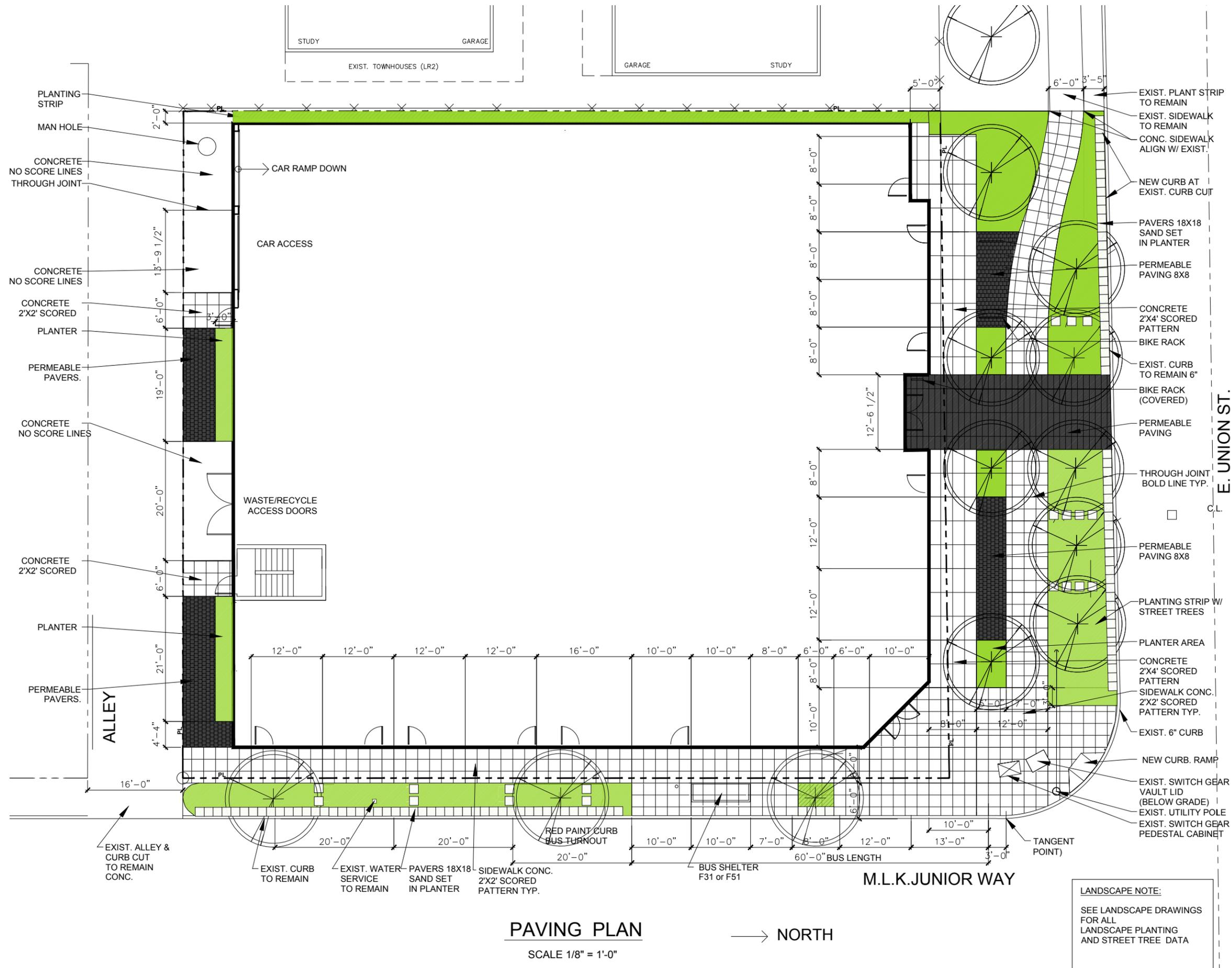
Additional signage will be in the form of blade signs connected to the building wall or soffit. Signs will be similar to these examples from our Bowling Green Apartments. At the corner retail, a special custom lighted sign will be mounted to the building corner. At the residential entry the canopy will be a traditional vaulted fabric canopy with metal framing and metal posts.

CANOPY & SIGNAGE

Business Signage and Commercial Storefront Plan For Building Located at MLK Jr. Way & E. Union St. 1/26/15

The purpose of this document is to specify the conditions under which Tenants can attach business signage and paint the exterior of their spaces.

1. Signs shall be affixed only in the locations noted on the attached elevations.
2. Signs shall be no larger than that indicated on the attached elevations.
3. Signs can also be affixed to front of optional retractable awning. In such cases where awning is used, then Rainier Industries awning shall be used. (Rainier Industries- 425-251-1800)
4. Signs shall be constructed of weather resistant materials. Signs which show signs of decay, rust, peeling paint or general deterioration shall be removed or fixed by Lessee within 30 days of notification by lessor.
5. Front windows of unit may contain either vinyl signage or hand painted signage applied directly to glass.
6. No store bought "open/closed" neon sign shall be permitted in windows.
7. Illumination for signs shall be provided by the Lessee. Proposed illumination type and electrical connections must be approved by Lessor prior installation.
8. The attachment of signs to the building shall be done in a workmanlike manner using accepted standards and practices. Lessor may immediately remove loose or poorly attached signs which are deemed to constitute a potential safety hazard.
9. Lessee shall be responsible for all structural design, permits, fees and approvals required by City of Seattle. Nonconforming signs shall be removed or repaired within 10 days by the Lessee. After 10 days, Lessor may remove nonconforming signs at Lessee's expense.
10. All signage shall conform to City codes and guidelines. Nothing in this document constitutes acceptance by the City of Seattle or compliance with regulations governing the placement of signage.
11. At termination of lease, Lessee shall remove all signage and attachments, repairing all damage to the building incidental to the attachment of signage.
12. Lessee will not place signs on sidewalks, public right of ways, walkways or landscaped areas.
13. Shop drawings for all signage must be submitted by Lessee to Lessor for review and approval prior to fabrication or installation.
14. Landlord reserves the right to change the signage conditions.
15. Storefront tenants may paint the exterior of their spaces, with colors selected by Tenants and approved by Landlord. Painting is limited to the horizontal and vertical trim and infill panels on each space exterior.



E. UNION ST.

C.L.

M.L.K.JUNIOR WAY

NOTES:

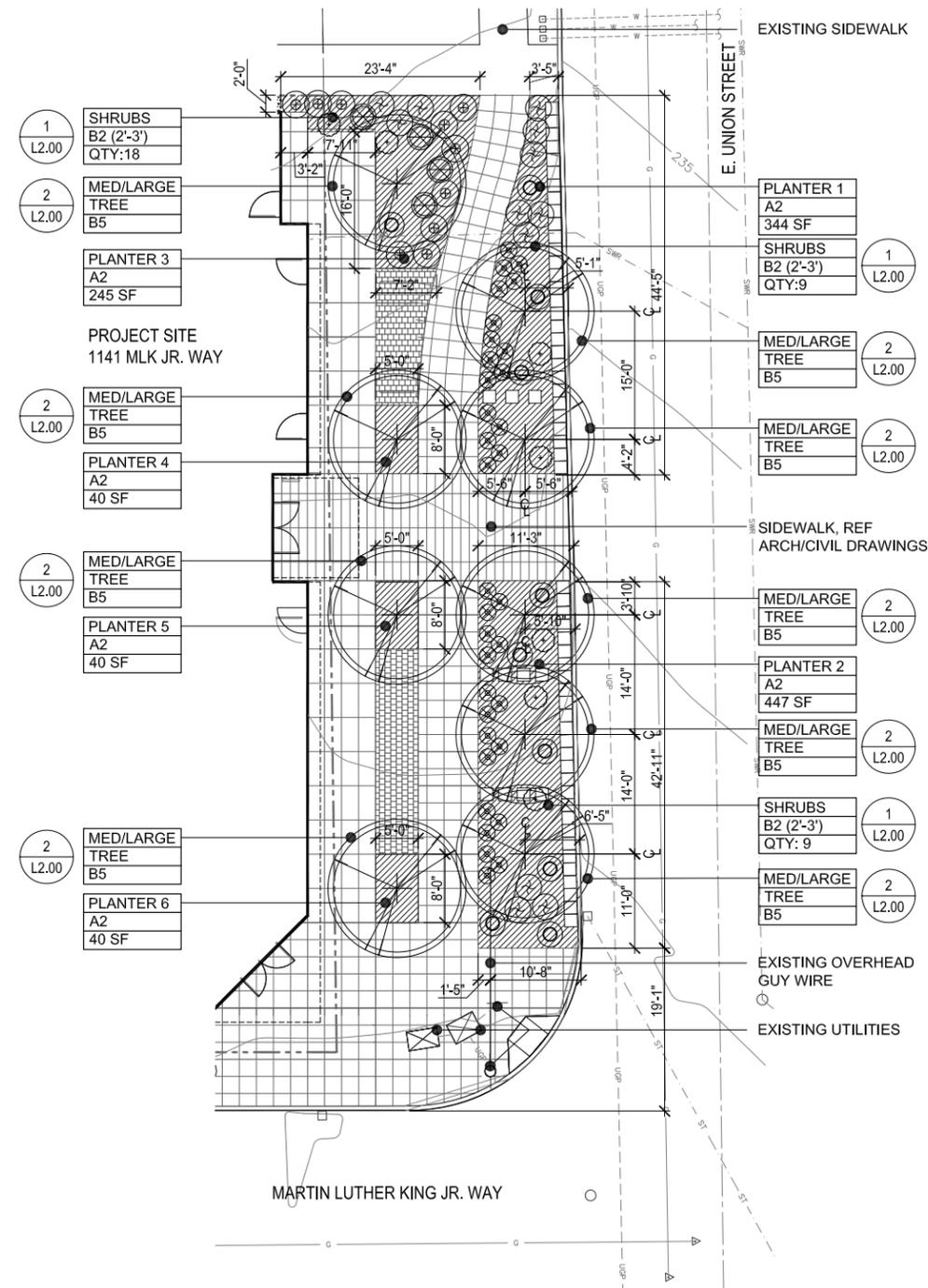
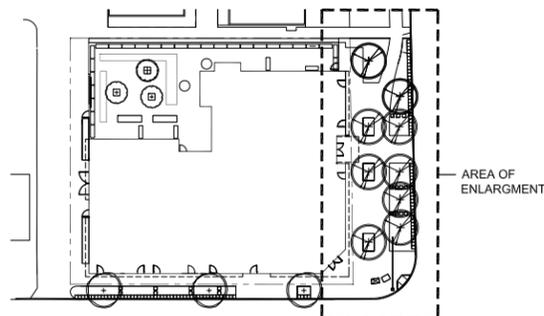
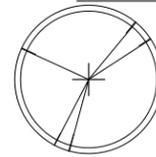
- SEE SITE SURVEY FOR EXISTING CONDITIONS.
 - FOR SIDEWALK IMPROVEMENTS, REF ARCH.
 - FOR COURTYARD DETAILS, INCLUDING PLANTERS AND PAVING, REF ARCH.
 - FOR LOT DIMENSIONS AND SIZE, REF ARCH.
 - PROPOSED STREET TREES SPECIES AND LOCATION TO BE COORDINATED WITH SDOT ARBORIST.
 - FOR SEATTLE GREEN FACTOR CALCULATIONS, REF ARCH.
 - ALL LANDSCAPE AREAS TO RECEIVE MINIMUM THREE INCHES OF MULCH.
 - ALL ON GRADE PLANTERS HAVE OVER 25 INCHES OF SOIL UNLESS OTHERWISE INDICATED.
 - SOIL ON GRADE SHALL BE CEDAR GROVE PLANTING TOPSOIL OR EQUAL. SOIL IN PLANTERS SHALL BE CEDAR GROVE LIGHTWEIGHT SOIL OR EQUAL.
 - PLANTS TRANSPLANTED FROM 4-INCH POTS SHALL BE SPACED NO MORE THAN 12 INCHES APART ON CENTER; PLANTS TRANSPLANTED FROM 1-GAL. POTS SHALL BE SPACED NO MORE THAN 24 INCHES APART ON CENTER.
 - ALL SOIL PREPARATION SHALL BE AT MIN. CITY OF SEATTLE STANDARD SPECIFICATIONS.
 - CONTRACTOR IS REQUIRED TO VERIFY UTILITY LOCATIONS PRIOR TO CONSTRUCTION.
 - PLANT MATERIAL SHALL MEET STANDARDS SET FORTH IN THE LATEST EDITION OF THE AMERICAN STANDARDS FOR NURSERY STOCK (ANSI-Z60.1) AND WASHINGTON STATE STANDARDS FOR NURSERY STOCK, ORDER NO. 1627. ALL PLANT MATERIAL SHALL HAVE SUFFICIENT ROOT DEVELOPMENT TO ASSURE SURVIVAL AND HEALTHY GROWTH. CONTAINER GROWN PLANT MATERIALS ARE REQUIRED TO HAVE SUFFICIENT ROOT GROWTH TO HOLD THE SOIL INTACT WHEN REMOVED FROM THE CONTAINER, BUT SHALL NOT BE ROOT BOUND.
 - PLANT QUANTITIES DO NOT INCLUDE STREET IMPROVEMENTS TO THE WEST OF PROJECT.
- IRRIGATION NOTES:**
- ALL NEW PLANTING AREAS SHALL HAVE A FULLY AUTOMATIC, UNDERGROUND IRRIGATION SYSTEM TO BE USED DURING ESTABLISHMENT PERIOD FOR 3 YEARS MIN.
 - IRRIGATION SYSTEM SHALL USE DRIP LINES WHERE FEASIBLE AND HIGH EFFICIENCY SPRAY HEADS FOR ALL OTHER AREAS.

UNION STREET PLANT SCHEDULE

| TREES | | | | | | |
|---------|------|---------------------------------|-----------------------------|--------|----------|--|
| SYMBOLS | QTY. | BOTANICAL NAME | COMMON NAME | SIZE | SPACING | |
| | 9 | BETULA UTILIS VAR. JACQUEMONTII | WHITEBARKED HIMALAYAN BIRCH | 3" CAL | AS SHOWN | |

| SHRUBS AND VINES | | | | | | |
|------------------|------|------------------------------|--------------------------|-------|----------|------------------|
| SYMBOLS | QTY. | BOTANICAL NAME | COMMON NAME | SIZE | SPACING | DROUGHT TOLERANT |
| | 7 | BLECHNUM SPICANT | DEER FERN | 1 GAL | AS SHOWN | YES |
| | 12 | GAULTHERIA SHALLON | SALAL | 2 GAL | AS SHOWN | YES |
| | 34 | IRIS 'PACIFIC COAST HYBRIDS' | PACIFIC COAST IRIS | 2 GAL | AS SHOWN | YES |
| | 4 | PIERIS JAPONICA 'CAVATINE' | DWARF LILY OF THE VALLEY | 3 GAL | AS SHOWN | YES |
| | 10 | POLYSTICHUM MUNITUM | SWORD FERN | 2 GAL | AS SHOWN | YES |
| | 10 | VIBURNUM DAVIDII | DAVID VIBURNUM | 2 GAL | AS SHOWN | YES |

| GROUNDCOVERS | | | | | | |
|--------------|------|-------------------------------------|-------------------------|--------|----------|------------------|
| SYMBOLS | QTY. | BOTANICAL NAME | COMMON NAME | SIZE | SPACING | DROUGHT TOLERANT |
| | 160 | ARCTOSTAPHYLOS UVA-URSI | KINNIKINNICK | 4" POT | 12" O.C. | YES |
| | 160 | EUONYMUS FORTUNEI 'COLORATA' | WINTERCREEPER EUONYMOUS | 4" POT | 12" O.C. | YES |
| | 160 | GERANIUM X CANTABRIGIENSE 'BIOKOVO' | BIOKOVO GERANIUM | 1 GAL | 15" O.C. | YES |
| | 160 | LIRIOPE MUSCARI | LILY TURF | 1 GAL | 15" O.C. | YES |
| | 160 | THYMUS SERPYLLUM 'COCCINEUS' | RED THYME | 4" POT | 12" O.C. | YES |



1 LANDSCAPE PLAN: UNION STREET
SCALE: 1" = 10'-0"



NOTES:

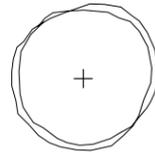
- SEE SITE SURVEY FOR EXISTING CONDITIONS.
- FOR SIDEWALK IMPROVEMENTS, REF ARCH.
- FOR COURTYARD DETAILS, INCLUDING PLANTERS AND PAVING, REF ARCH.
- FOR LOT DIMENSIONS AND SIZE, REF ARCH.
- PROPOSED STREET TREES SPECIES AND LOCATION TO BE COORDINATED WITH SDOT ARBORIST.
- FOR SEATTLE GREEN FACTOR CALCULATIONS, REF ARCH.
- ALL LANDSCAPE AREAS TO RECEIVE MINIMUM THREE INCHES OF MULCH.
- ALL ON GRADE PLANTERS HAVE OVER 25 INCHES OF SOIL UNLESS OTHERWISE INDICATED.
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- PLANT QUANTITIES DO NOT INCLUDE STREET IMPROVEMENTS TO THE WEST OF PROJECT.

IRRIGATION NOTES:

- ALL NEW PLANTING AREAS SHALL HAVE A FULLY AUTOMATIC, UNDERGROUND IRRIGATION SYSTEM TO BE USED DURING ESTABLISHMENT PERIOD FOR 3 YEARS MIN.
- IRRIGATION SYSTEM SHALL USE DRIP LINES WHERE FEASIBLE AND HIGH EFFICIENCY SPRAY HEADS FOR ALL OTHER AREAS.

MLK WAY AND ALLEY PLANT SCHEDULE

| TREES | | | | | |
|---------|------|----------------|-------------|------|---------|
| SYMBOLS | QTY. | BOTANICAL NAME | COMMON NAME | SIZE | SPACING |



Firestarter Tupelo / *Nyssa Sylvatica* 3-4" CAL AS SHOWN
(confirmed with SDOT)

| SHRUBS AND VINES | | | | | | |
|------------------|------|----------------|-------------|------|---------|------------------|
| SYMBOLS | QTY. | BOTANICAL NAME | COMMON NAME | SIZE | SPACING | DROUGHT TOLERANT |

| | | | | | | |
|---|---|----------------------------|--------------------------|-------|----------|-----|
| ⊗ | 8 | PIERIS JAPONICA 'CAVATINE' | DWARF LILY OF THE VALLEY | 3 GAL | AS SHOWN | YES |
|---|---|----------------------------|--------------------------|-------|----------|-----|

| | | | | | | |
|---|----|------------------|----------------|-------|----------|-----|
| ⊕ | 11 | VIBURNUM DAVIDII | DAVID VIBURNUM | 2 GAL | AS SHOWN | YES |
|---|----|------------------|----------------|-------|----------|-----|

| VINES | | | | | | |
|---------|------|----------------|-------------|------|---------|------------------|
| SYMBOLS | QTY. | BOTANICAL NAME | COMMON NAME | SIZE | SPACING | DROUGHT TOLERANT |

| | | | | | | |
|---|---|------------------------------|--------------------|-------|----------|-----|
| ⊕ | 6 | HYDRANGEA ANOMALA PETIOLARIS | CLIMBING HYDRANGEA | 1 GAL | AS SHOWN | YES |
|---|---|------------------------------|--------------------|-------|----------|-----|

| | | | | | | |
|--|----|-------------------------|---------------------|-------|----------|-----|
| | 24 | PARTHENOCESSUS HENRYANA | SILVER VEIN CREEPER | 1 GAL | AS SHOWN | YES |
|--|----|-------------------------|---------------------|-------|----------|-----|

| | | | | | | |
|--|----|-----------------------------|------------------|-------|----------|-----|
| | 24 | PARTHENOCESSUS QUINQUEFOLIA | VIRGINIA CREEPER | 1 GAL | AS SHOWN | YES |
|--|----|-----------------------------|------------------|-------|----------|-----|

| | | | | | | |
|--|----|-----------------------------|------------|-------|----------|-----|
| | 24 | PARTHENOCESSUS TRICUSPIDATA | BOSTON IVY | 1 GAL | AS SHOWN | YES |
|--|----|-----------------------------|------------|-------|----------|-----|

| GROUNDCOVERS | | | | | | |
|--------------|------|----------------|-------------|------|---------|------------------|
| SYMBOLS | QTY. | BOTANICAL NAME | COMMON NAME | SIZE | SPACING | DROUGHT TOLERANT |

| | | | | | | |
|---|-----|-------------------------|-------------|--------|----------|-----|
| ▨ | 150 | ARCTOSTAPHYLOS UVA-URSI | KINNIKINICK | 4" POT | 12" O.C. | YES |
|---|-----|-------------------------|-------------|--------|----------|-----|

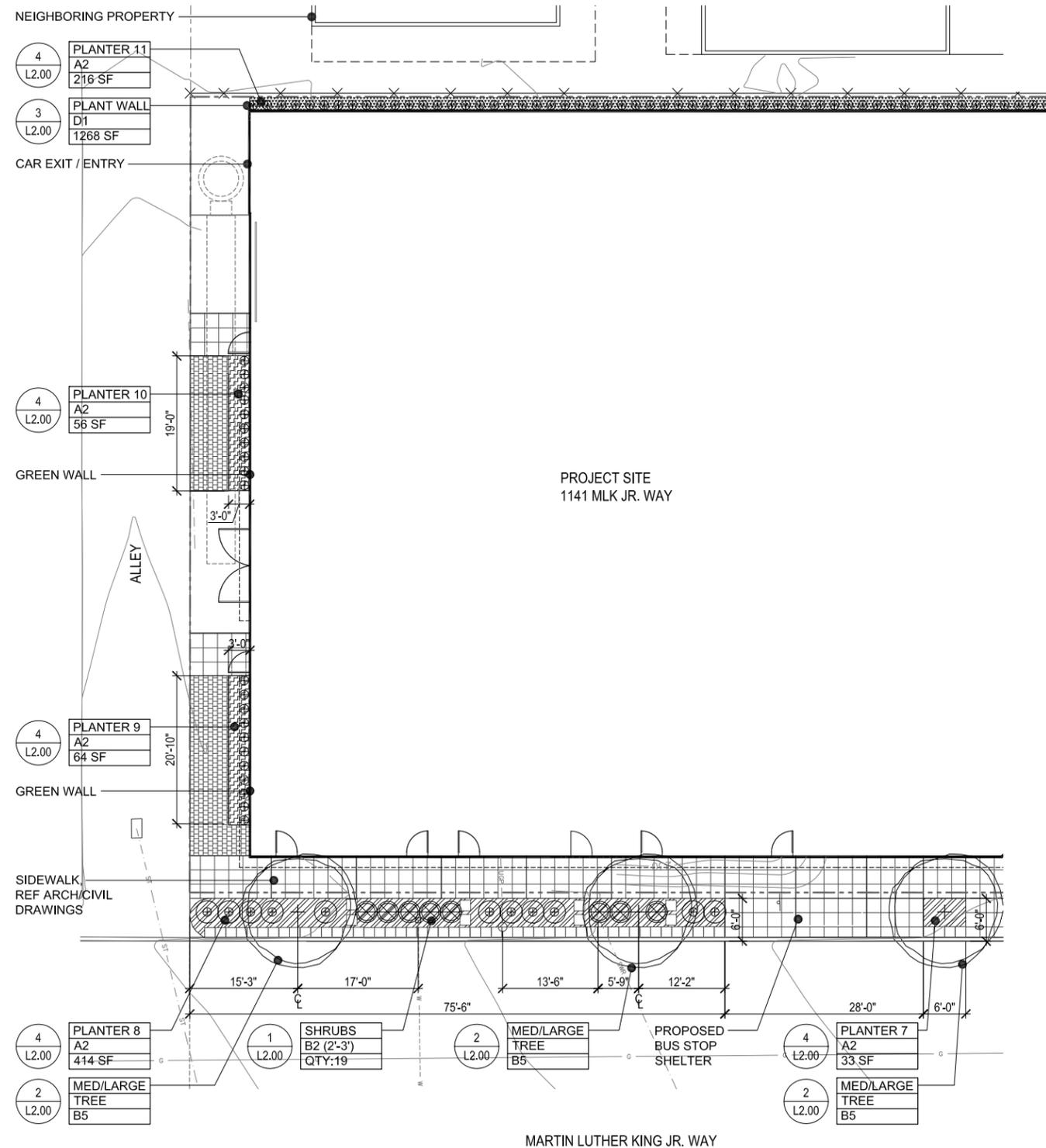
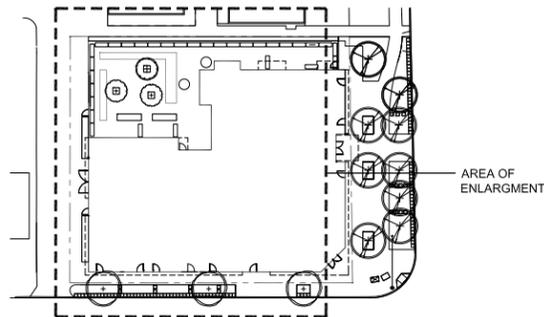
| | | | | | | |
|--|-----|------------------------------|-------------------------|--------|----------|-----|
| | 150 | EUONYMUS FORTUNEI 'COLORATA' | WINTERCREEPER EUONYMOUS | 4" POT | 12" O.C. | YES |
|--|-----|------------------------------|-------------------------|--------|----------|-----|

| | | | | | | |
|--|----|-------------------------------------|------------------|-------|----------|-----|
| | 92 | GERANIUM X CANTABRIGIENSE 'BIOKOVO' | BIOKOVO GERANIUM | 1 GAL | 15" O.C. | YES |
|--|----|-------------------------------------|------------------|-------|----------|-----|

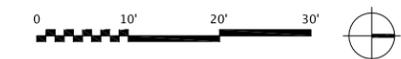
| | | | | | | |
|--|-----|------------------------------|-----------|--------|----------|-----|
| | 150 | THYMUS SERPYLLUM 'COCCINEUS' | RED THYME | 4" POT | 12" O.C. | YES |
|--|-----|------------------------------|-----------|--------|----------|-----|

| | | | | | | |
|---|-----|------------------------------|-------------------------|--------|----------|-----|
| ▨ | 100 | EUONYMUS FORTUNEI 'COLORATA' | WINTERCREEPER EUONYMOUS | 4" POT | 12" O.C. | YES |
|---|-----|------------------------------|-------------------------|--------|----------|-----|

| | | | | | | |
|---|----|-----------------|-----------|-------|----------|-----|
| ▨ | 75 | LIRIOPE MUSCARI | LILY TURF | 1 GAL | 18" O.C. | YES |
|---|----|-----------------|-----------|-------|----------|-----|



1 LANDSCAPE PLAN: MLK WAY AND ALLEY
SCALE: 1" = 10'-0"

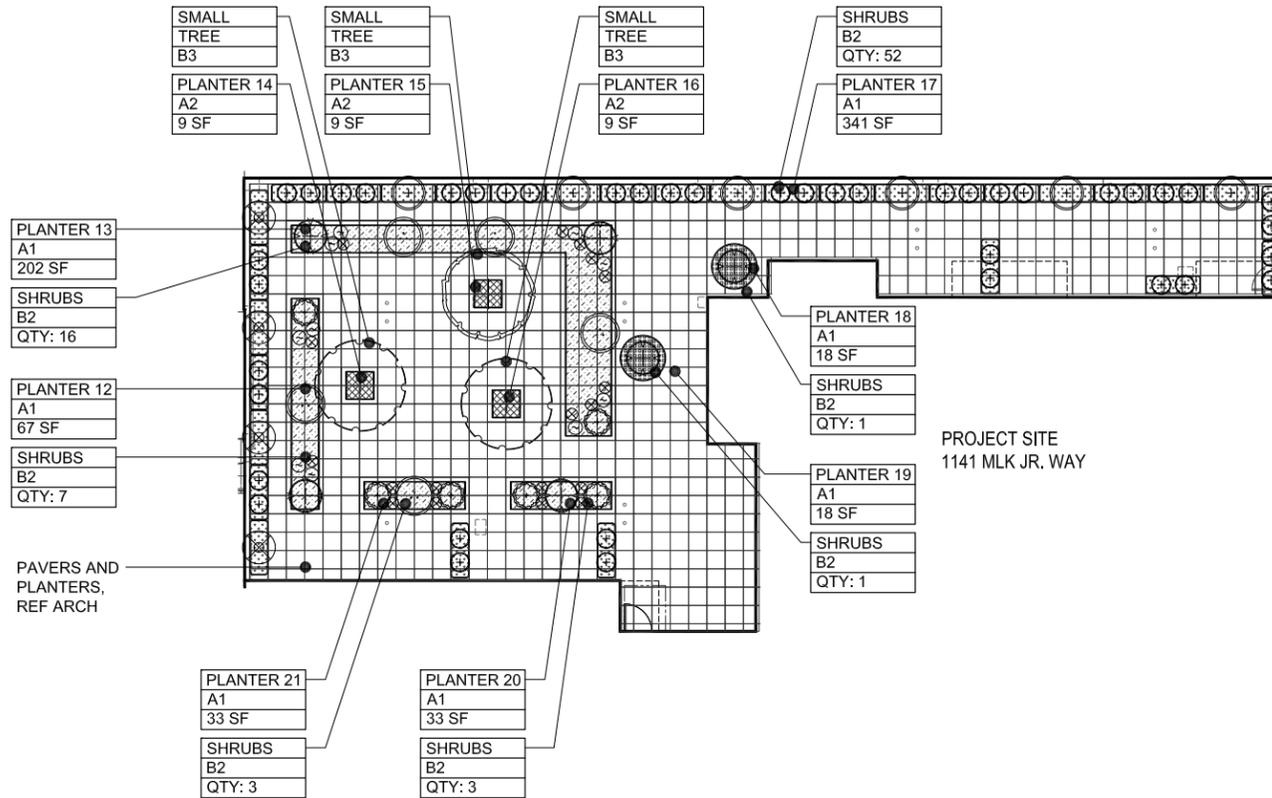


NOTES:

- FOR COURTYARD DETAILS, INCLUDING PLANTERS AND PAVING, REF ARCH.
- FOR SEATTLE GREEN FACTOR CALCULATIONS, REF ARCH.
- ALL LANDSCAPE AREAS TO RECEIVE MINIMUM THREE INCHES OF MULCH.
- SOIL IN PLANTERS SHALL BE CEDAR GROVE LIGHTWEIGHT SOIL OR EQUAL.
- PLANTS TRANSPLANTED FROM 4-INCH POTS SHALL BE SPACED NO MORE THAN 12 INCHES APART ON CENTER; PLANTS TRANSPLANTED FROM 1-GAL. POTS SHALL BE SPACED NO MORE THAN 24 INCHES APART ON CENTER.
- ALL SOIL PREPARATION SHALL BE AT MIN. CITY OF SEATTLE STANDARD SPECIFICATIONS.
- CONTRACTOR IS REQUIRED TO VERIFY UTILITY LOCATIONS PRIOR TO CONSTRUCTION.
- PLANT MATERIAL SHALL MEET STANDARDS SET FORTH IN THE LATEST EDITION OF THE AMERICAN STANDARDS FOR NURSERY STOCK (ANSI-Z60.1) AND WASHINGTON STATE STANDARDS FOR NURSERY STOCK, ORDER NO. 1627. ALL PLANT MATERIAL SHALL HAVE SUFFICIENT ROOT DEVELOPMENT TO ASSURE SURVIVAL AND HEALTHY GROWTH. CONTAINER GROWN PLANT MATERIALS ARE REQUIRED TO HAVE SUFFICIENT ROOT GROWTH TO HOLD THE SOIL INTACT WHEN REMOVED FROM THE CONTAINER, BUT SHALL NOT BE ROOT BOUND.
- PLANTER 17 SQUARE FOOTAGE REFERS TO ALL TROUGH PLANTERS.

IRRIGATION NOTES:

- ALL NEW PLANTING AREAS SHALL HAVE A FULLY AUTOMATIC, UNDERGROUND IRRIGATION SYSTEM TO BE USED DURING ESTABLISHMENT PERIOD FOR 3 YEARS MIN.
- IRRIGATION SYSTEM SHALL USE DRIP LINES WHERE FEASIBLE AND HIGH EFFICIENCY SPRAY HEADS FOR ALL OTHER AREAS.



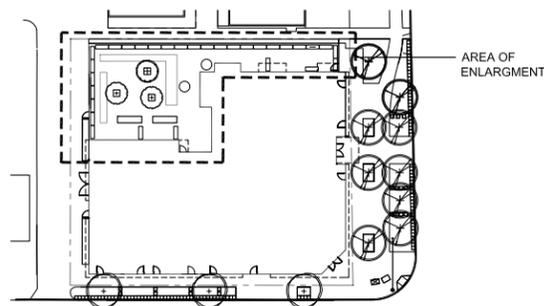
ROOF COURTYARD PLANT SCHEDULE

| TREES | | | | | |
|---------|------|-------------------------------|-----------------|-----------|----------|
| SYMBOLS | QTY. | BOTANICAL NAME | COMMON NAME | SIZE | SPACING |
| | 2 | PRUNUS DOMESTICA | ITALIAN PLUM | BARE ROOT | AS SHOWN |
| | 1 | PRUNUS DOMESTICA 'GOLDEN EGG' | GOLDEN EGG PLUM | BARE ROOT | AS SHOWN |

| EDIBLE GARDEN (455 SF) | | | | | | |
|------------------------|------|---------------------------------------|---------------------------------|--------|----------|------------------|
| SYMBOLS | QTY. | BOTANICAL NAME | COMMON NAME | SIZE | SPACING | DROUGHT TOLERANT |
| | 200 | FRAGARIA X 'LIPSTICK' | PINK-FLOWERED BARREN STRAWBERRY | 4" POT | 18" O.C. | YES |
| | 10 | LAVANDULA ANGUSTIFOLIA 'MUNSTEAD' | MUNSTEAD LAVENDER | 1 GAL | 24" O.C. | YES |
| | 6 | ROSEMARINUS OFFICINALIS 'TUSCAN BLUE' | TUSCAN BLUE ROSEMARY | 5 GAL | 24" O.C. | YES |
| | 18 | SALVIA OFFICINALIS 'PURPURASCENS' | PURPLE SAGE | 1 GAL | 24" O.C. | YES |

| SHRUBS AND GROUNDCOVERS | | | | | | |
|-------------------------|------|----------------------------------|-----------------------|-----------|----------|------------------|
| SYMBOLS | QTY. | BOTANICAL NAME | COMMON NAME | SIZE | SPACING | DROUGHT TOLERANT |
| | 6 | CAMELLIA SASANQUA 'SETSUGEKKA' | AUTUMN CAMELLIA | 5 GAL | AS SHOWN | NO |
| | 42 | EUONYMUS JAPONICUS 'GREEN SPIRE' | GREEN SPIRE EUONYMUS | 5 GAL | AS SHOWN | NO |
| | 6 | LAURUS NOBILIS | SWEET BAY LAUREL | 5 GAL | AS SHOWN | YES |
| | 5 | MALUS DOMESTICA (ESPALIER) | APPLE TREE (ESPALIER) | BARE ROOT | AS SHOWN | NO |
| | 4 | VIBURNUM TINUS 'SPRING BOUQUET' | LAURUSTINUS | 2 GAL | AS SHOWN | YES |

| GROUNDCOVERS | | | | | | |
|--------------|------|----------------------------|---------------------------------|--------|----------|------------------|
| SYMBOLS | QTY. | BOTANICAL NAME | COMMON NAME | SIZE | SPACING | DROUGHT TOLERANT |
| | 360 | ARCTOSTAPHYLOS UVA-URSI | KINKINICK 'VANCOUVER JADE' | 4" POT | 12" O.C. | YES |
| | 35 | FRAGARIA X 'LIPSTICK' | PINK-FLOWERED BARREN STRAWBERRY | 4" POT | 12" O.C. | YES |
| | 30 | SEDUM ACRE 'GOLDEN CARPET' | GOLDEN CARPET STONECROP | 4" POT | 9" O.C. | YES |
| | 30 | SEDUM MAKINOI 'OGON' | JAPANESE GOLD SEDUM | 4" POT | 9" O.C. | YES |



1 LANDSCAPE PLAN: LEVEL 2 COURTYARD
SCALE: 1" = 10'-0"



3



1



2



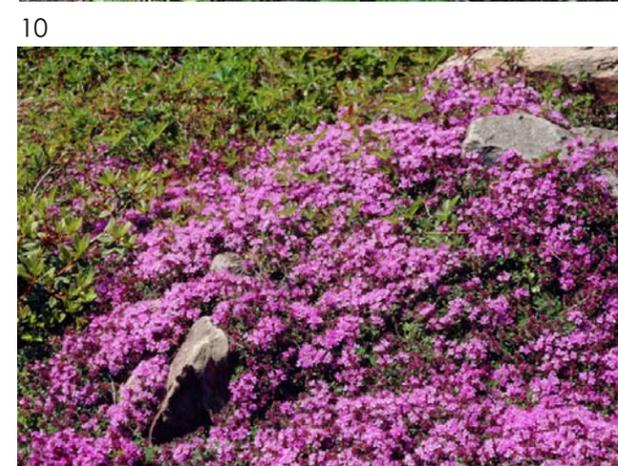
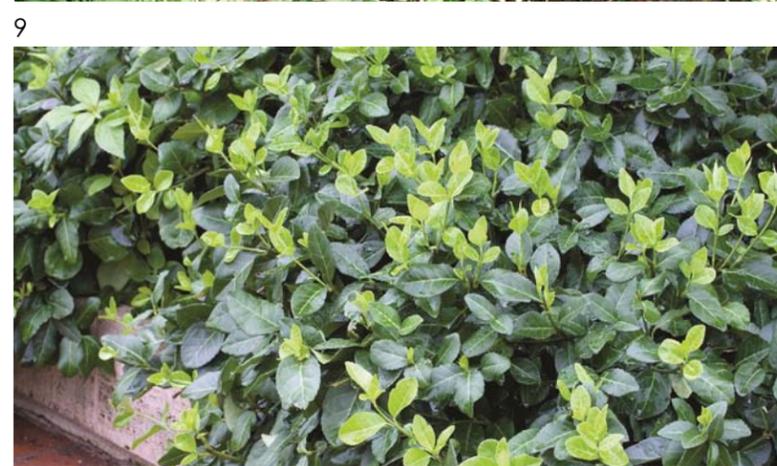
1. Firestarter Tupelo / *Nyssa Sylvatica* 'jfs-red'
2. Whitebarked Himalayan Birch / *Betula jacquemontii* - not approved under wires
3. Permeable pavers

STREET SHRUBS, PERENNIALS, AND GROUNDCOVERS



These plants are on the Seattle Green Factor List and are 3 ft. or shorter.

1. Biokovo Geranium
2. Douglas Iris
3. Liriope
4. Bleeding Heart
5. Sword Fern
6. Alaskan Fern
7. Deer Fern
8. David Viburnum
9. Wintercreeper Euonymus
10. Creeping Thyme
11. Kinnikinnick



TERRACE TREES

1



2



3



- 1. Green-Leaf Japanese Maple / *Acer palmatum*
- 2. Italian Plum / *Prunus domestica*
- 3. Autumn Brilliance Serviceberry / *Amelanchier x grandiflora* 'Autumn Brilliance'

3



3

TERRACE SCREENING AND VINES

1



2



3



4

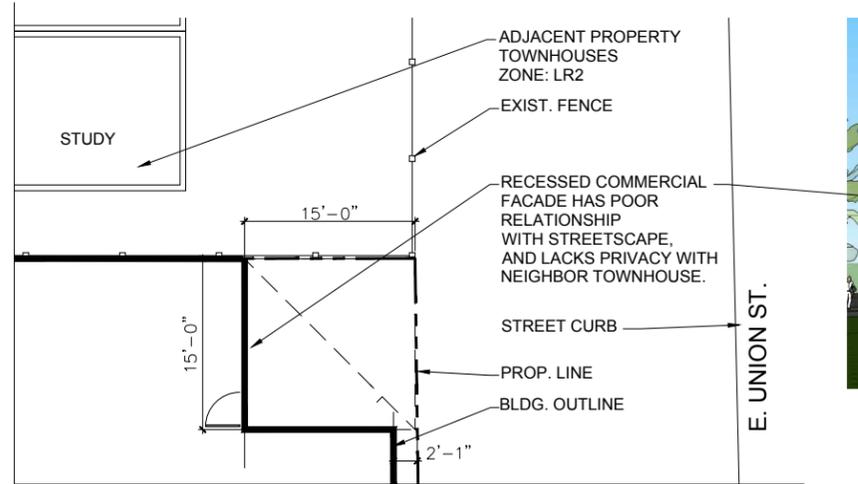
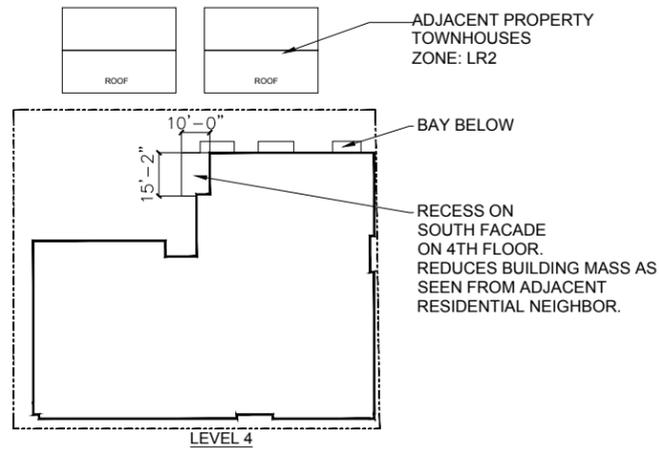


5



1. Heavenly Bamboo / *Nandina domestica* (4 - 6 ft tall x 3 ft. wide)
2. Sky Pencil Japanese Holly / *Ilex crenata* 'Sky Pencil' (6 - 8 ft tall x 2 - 3 ft. wide)
3. Emerald Green Arborvitae / *Thuja occidentalis* 'Emerald Green' (12 - 14 ft tall x 3 - 4 ft. wide)
4. Boston Ivy / *Parthenocissus tricuspidata*
5. Creeping Fig / *Ficus pumila* (This may be hard to grow, but if it takes off, its a nice vine.)

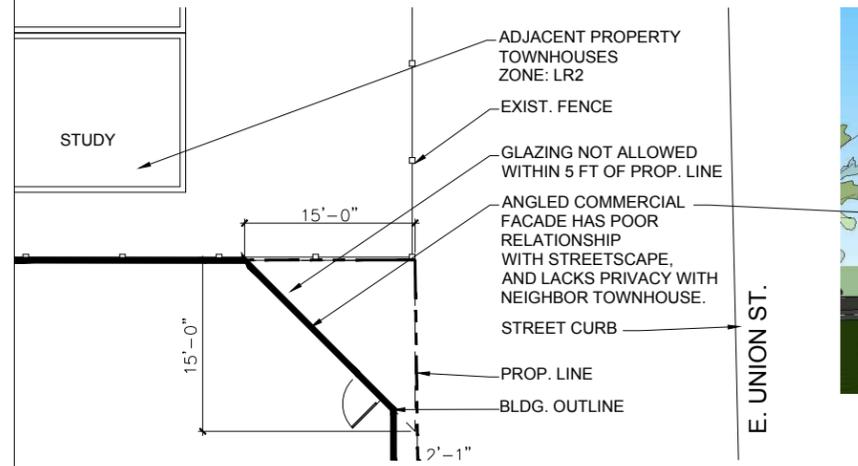
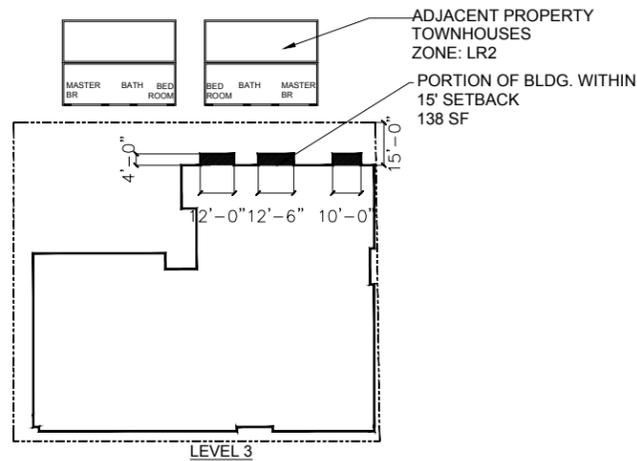
| MLK MIXED-USE BUILDING | | | | | |
|-------------------------------|------------------|---|--|--|---|
| Departures | | | | | |
| # | SMC Code | Description of code requirement | Departure sought | Rationale | Amount of Area encroached |
| #1 | 23.47A.014.B.1 | 15x 15 ft triangle setback at side yard abutting a residential zone | Proposal encroaches into the setback triangle. | This parallel storefront facade provides a better relationship with adjacent streetscape and better privacy for the adjacent neighbor | 31 SF |
| #2 | 23.47A.014.B.3a | 15 ft setback at side yard abutting a residential zone | Proposal of (3) bays which encroaches 4 ft into the setback. | Bays allow windows to face the street rather than face frontally to the adjacent townhouses for better privacy. | 186 SF |
| #3 | 23.47A.014.B.3b | For structures above 40 ft an additional setback at the rate of 2 ft of setback for every 10 ft by which the height of such portion exceeds 40 ft. | Proposal encroaches 15 inches into the setback at the roof level. | This allows the building's west wall to be aligned and straight. | 9 ½ inches |
| #4 | 23.47A.014.E.1.a | Decks with open railings may extend into the required setback, but are not permitted within five (5) feet of a lot in a residential zone, except as provided in subsection E1b. | Proposed parapet guard is 2 feet from prop. Line. | The parapet guard with adjacent landscape will provide privacy screening for adjacent neighbors. | Parapet guard extends 2 ft above the allowed 13 ft height. |
| #5 | 23.47A.012.A.1.a | 13 ft floor to floor height at street level commercial | At the NE corner of the building where the last three (3) retail units have between 12 and 12.8 ft floor to floor heights. | Due to the rising street grade at the Northwest corner the floor to floor heights are less than 13 ft. Rather than reduce the number of retail doorways, we propose to activate the street with many doorways that meet existing street grade elevations. All other storefronts have 13 to 15 ft floor to floor heights. | Unit 2713: 12 ft FL to FL Unit 2715: 12.24 ft FL to FL Unit 2717: 12.82 ft FL to FL |



OPTION (NO DEPARTURE)
1/8"=1'-0" → N



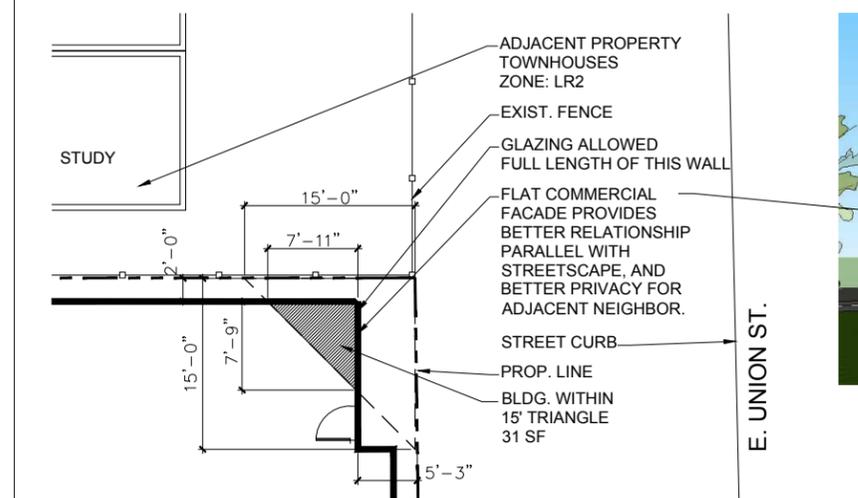
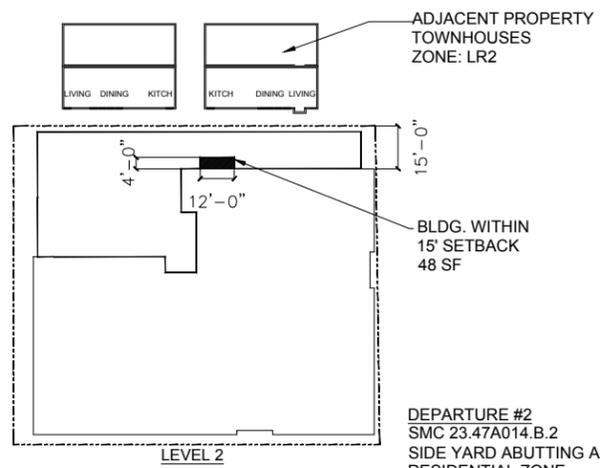
3D VIEW



OPTION (NO DEPARTURE)
1/8"=1'-0" → N



3D VIEW



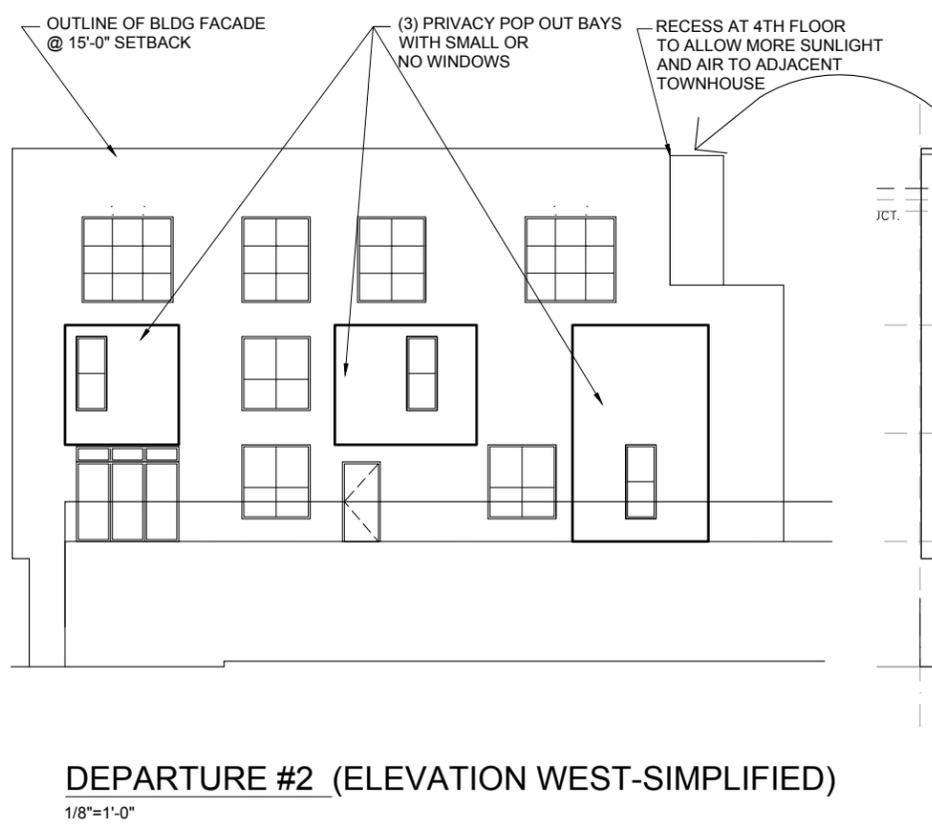
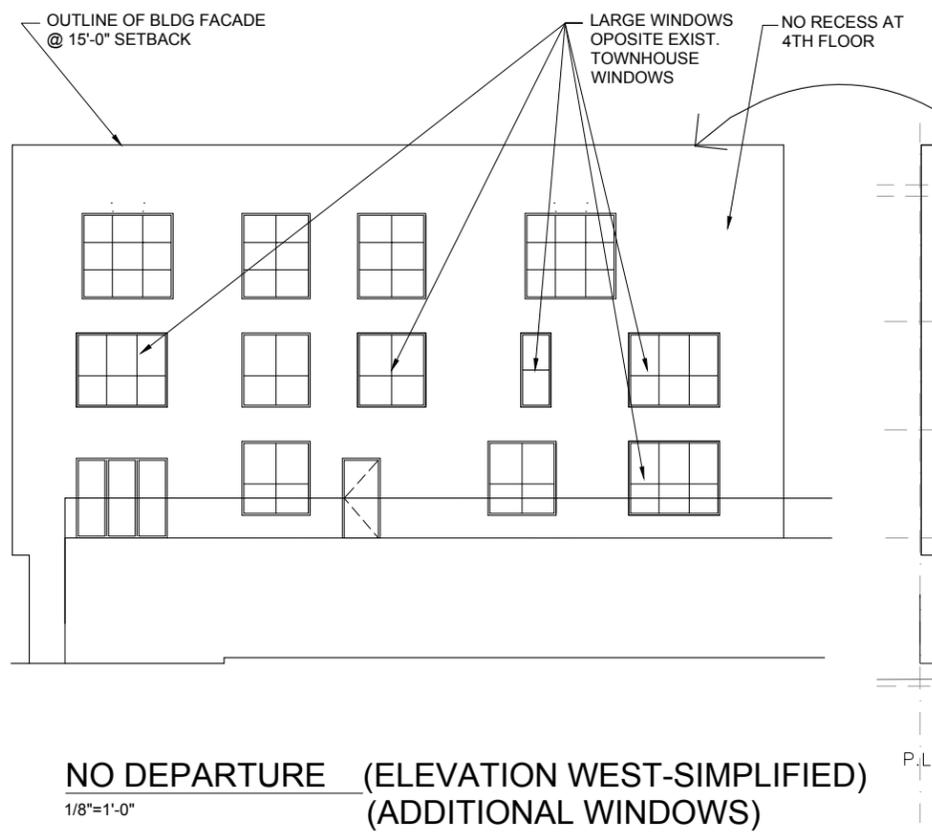
DEPARTURE #1 (AS PROPOSED)
1/8"=1'-0" → N

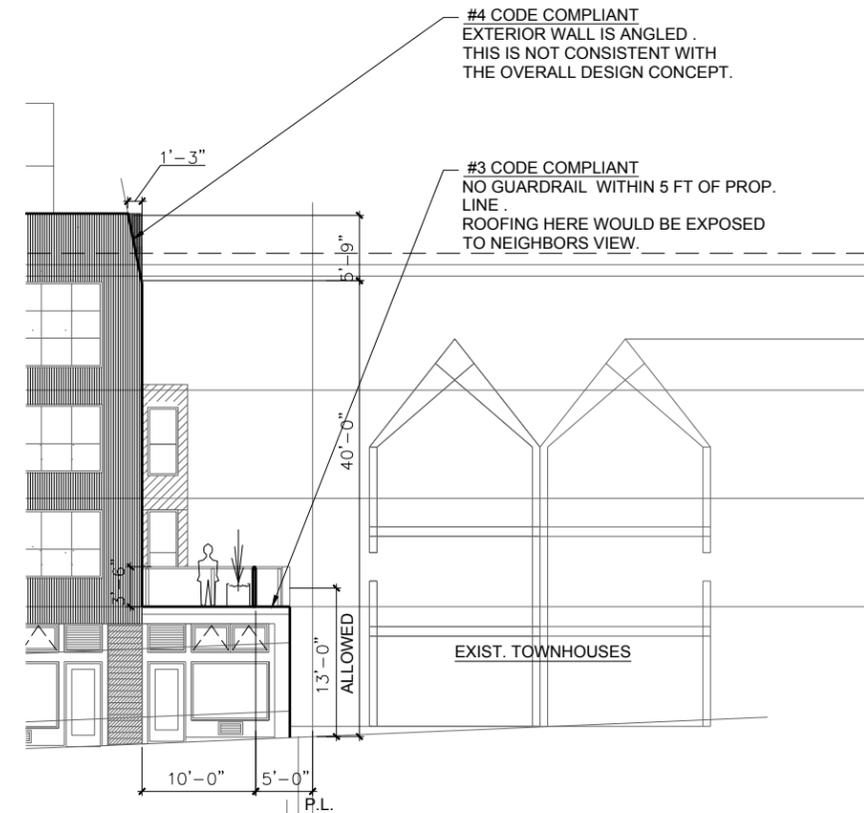


3D VIEW

DEPARTURE #2
1/32"=1'-0" → N
SMC 23.47A014.B.3a
SIDE YARD ABUTTING A RESIDENTIAL ZONE

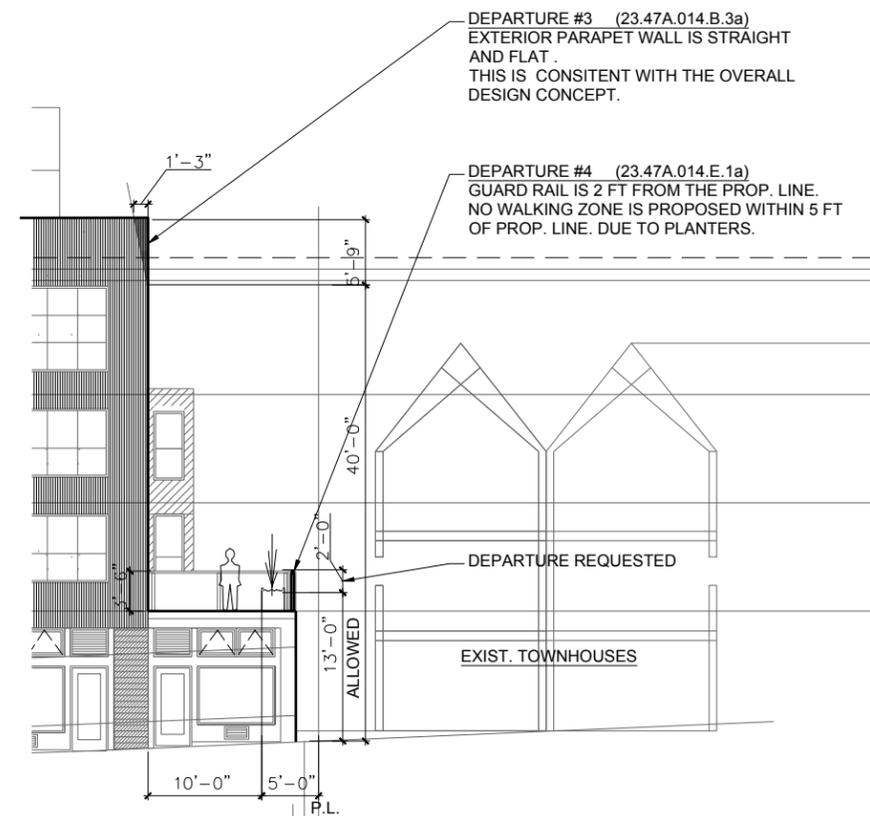
SMC 23.47A014.B.1
SIDE YARD ABUTTING A RESIDENTIAL ZONE





#3 AND #4 CODE COMPLIANT DIAGRAM

1/8"=1'-0"



DEPARTURE #3 AND DEPARTURE #4

1/8"=1'-0"

PORTFOLIO

Example buildings completed by
The Madrona Company



Bowling Green Apartments Madrona, Seattle
3-story, 36 apartment units over street level retail.
Below grade parking garage.

PORTFOLIO

Townhouse projects
by The Madrona company



Secret Garden



Miller Mews



Yesler Mews



Tempus Fugit



Marion Mews