



**Savanna Apartments**

4710 11th Ave NE  
DPD Project #3015550



**CITY OF SEATTLE DESIGN REVIEW RECOMMENDATION MEETING**  
**March 17th, 2014**

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Project Information

Property Address

4710 11th Ave NE

Owner

Money Grass, Inc.  
Cheng-Nan Lin

Architect

d/Arch LLC  
Matt Driscoll, AIA  
p/ 206.547.1761

Program

The proposed development includes approximately 40 units of apartment housing above 1,300 square feet of ground level retail with 4 on-grade parking spaces.

Site area

6,000 sf (per survey)  
\*3' Easement for R.O.W. at 11th Ave NE  
\*5' dedication at alley

Number of dwelling Units (40)

- (4) One Bedroom / One Bath
- (29) Two Bedroom / One Bath
- (7) Three Bedroom / Two Bath

Number of parking stalls (4)

- (4) Stalls accessed off alley

Non-Residential Space

1,300 sf +/- at ground floor, 11th Ave. NE

Total Gross floor area

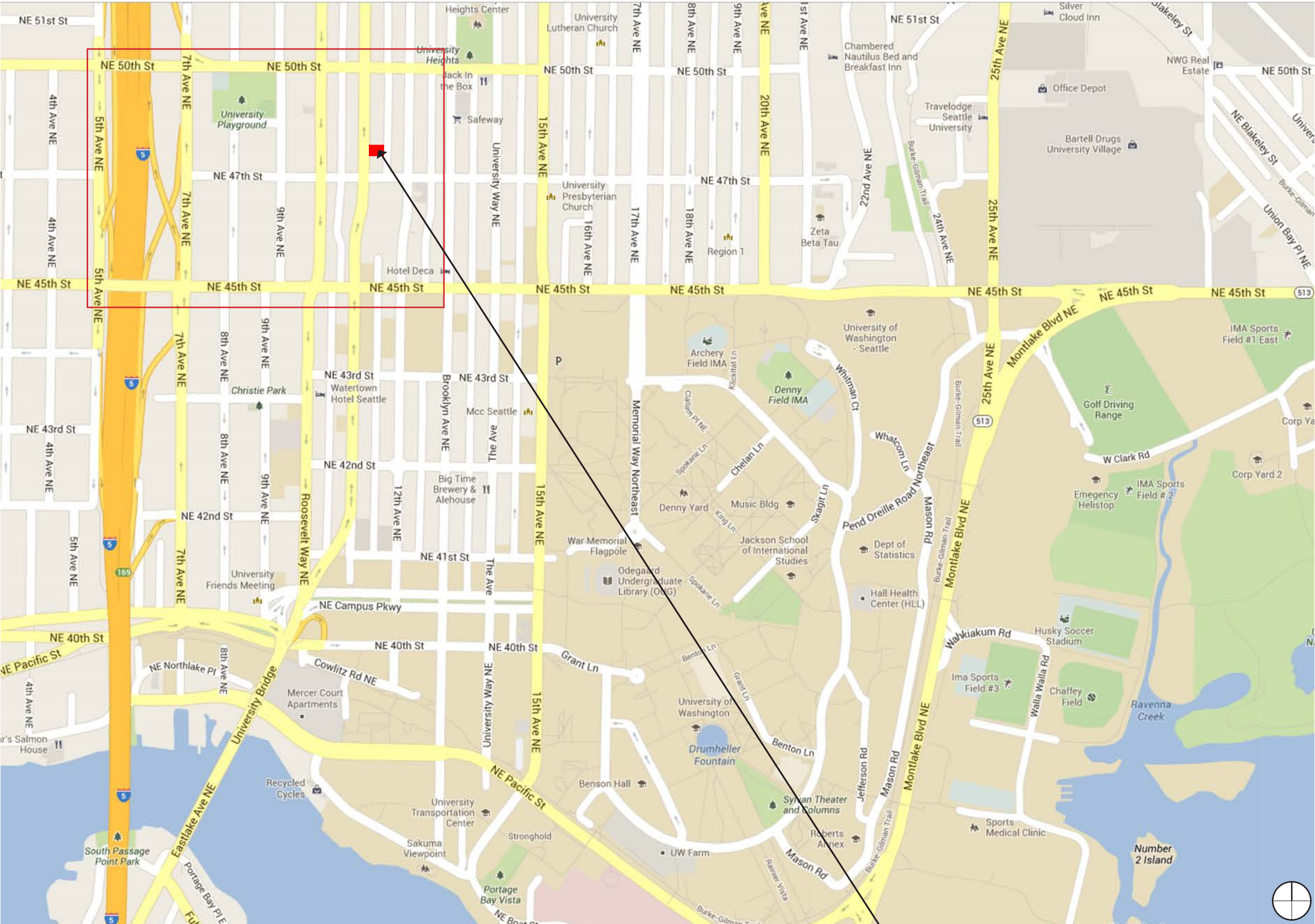
31,921 sf

Number of Stories

6 + Mezzanine

Building Height

65' + parapet and stair/elevator penthouses



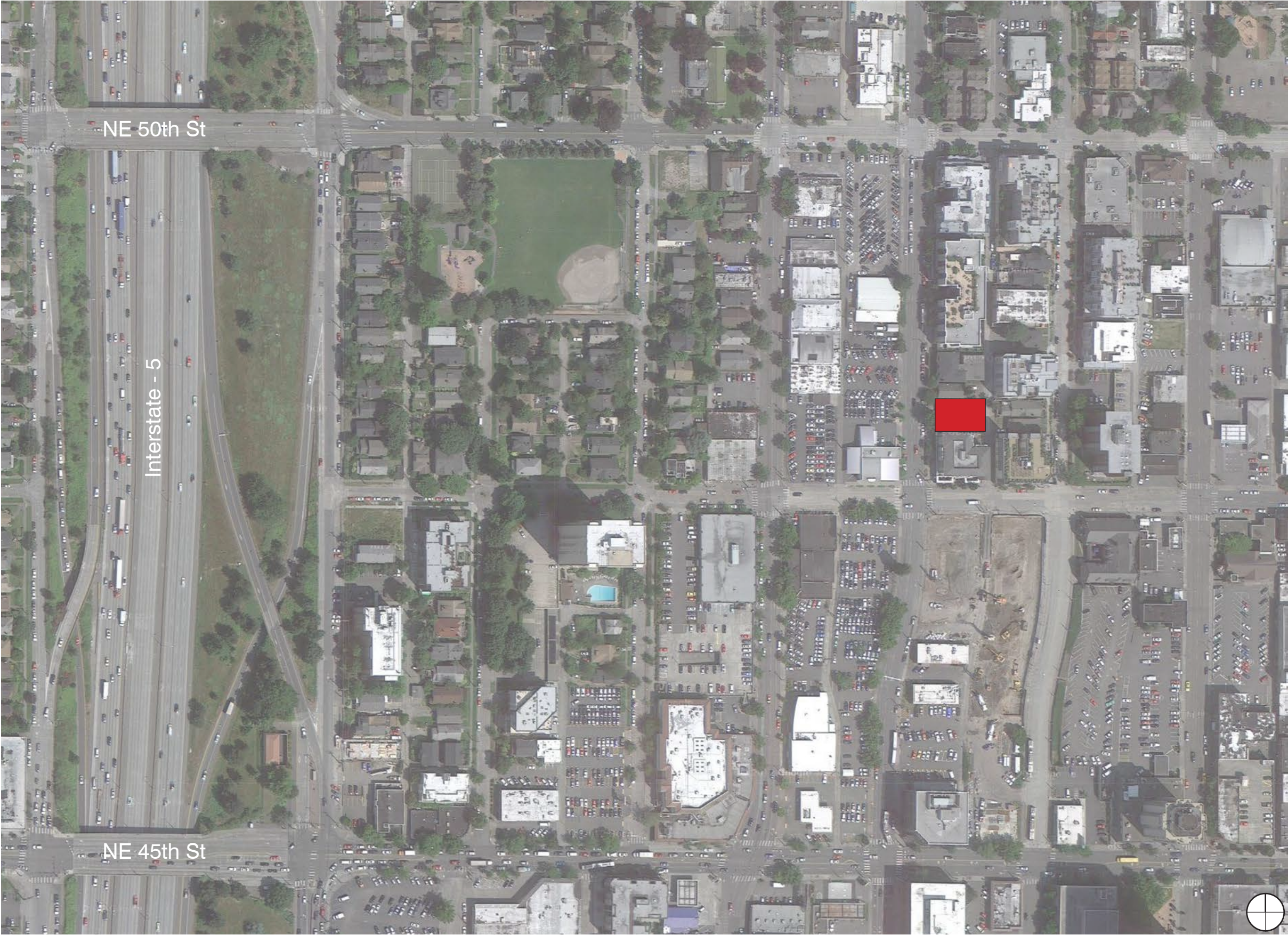
VICINITY MAP

Project Site

4710 11th Ave NE

DPD# 3015550

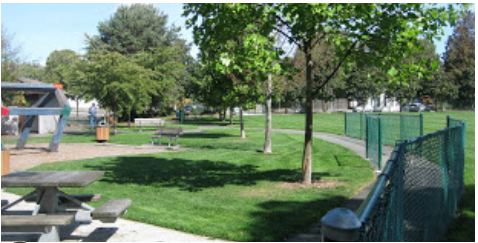




**Location**

The proposed site is located within the University District, which is largely comprised of single-family homes, townhouses and mid-size to large apartment/condominium buildings. Additionally, there are several commercial pockets and streets located throughout the District. The project is located in between two major arterials, NE 45th Street one block to the South and NE 50th Street to the North, Interstate 5, the main North-South transportation route/corridor through Washington State, is located four blocks to the West of the project site. The project site is within walking distance of the University of Washington, and is in a pedestrian friendly neighborhood.









Ⓐ Looking East on 11th Ave NE



Ⓑ Looking SW from alley



Ⓒ Looking East on 11th Ave NE

**Surrounding Landmarks**

Several new projects are being constructed in the immediate vicinity of this project. Two large residential projects immediately to the South and a large garage for an automobile dealer will be constructed across the street.

**Existing Uses & Structures**

The project site is comprised of two parcels under single ownership. Each parcel is occupied by one wood-framed single family residence, each accessed by surface parking along the improved alley between 11th and 12th Ave NE. The combined lot measures approximately 60 feet wide by 100 feet deep.

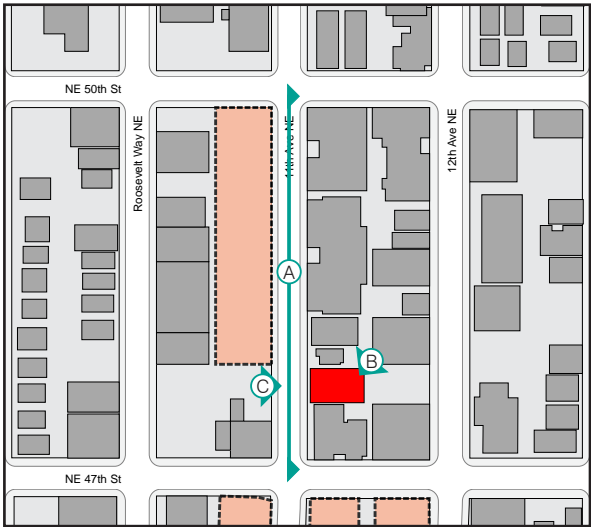
All existing structures and paved surfaces located on the project site are proposed to be demolished with the new project occupying the entirety of the site.

**Physical Features**

The site is characterized by a slight grade change -- 3' from the high NE corner to the low SW corner.

**Adjacencies**

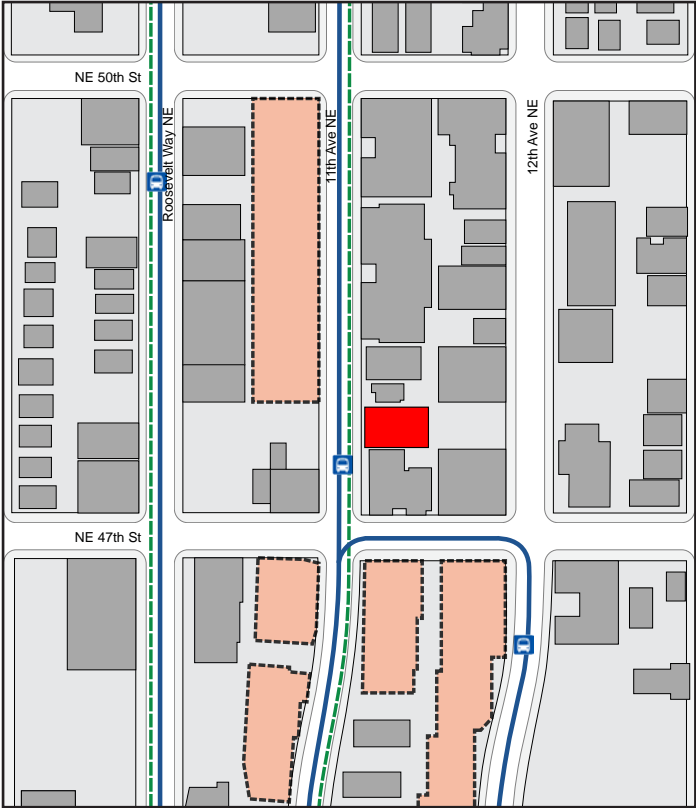
Interstate 5, University Playgrounds, Seattle Public Library, University of Washington.



Design Review Recommendation

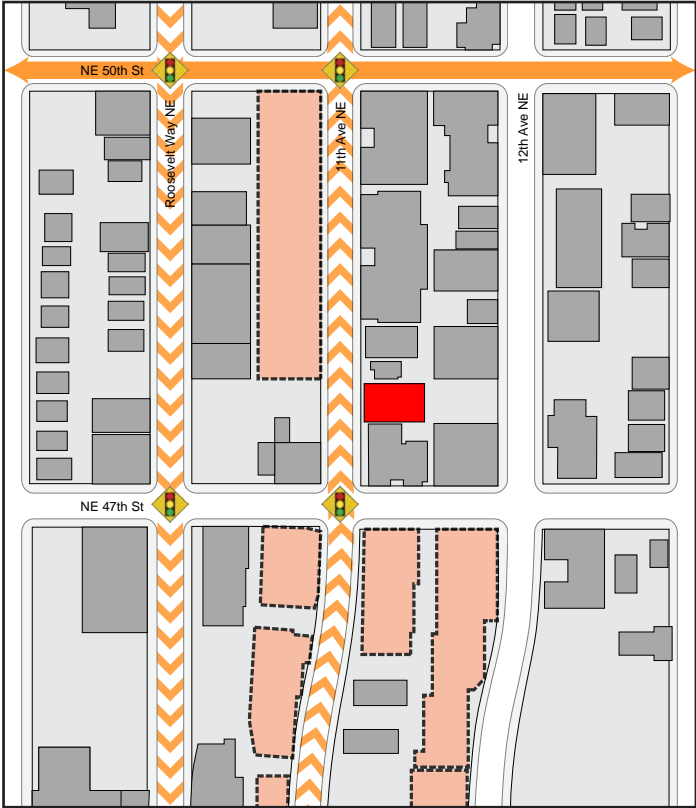
March 17th, 2014





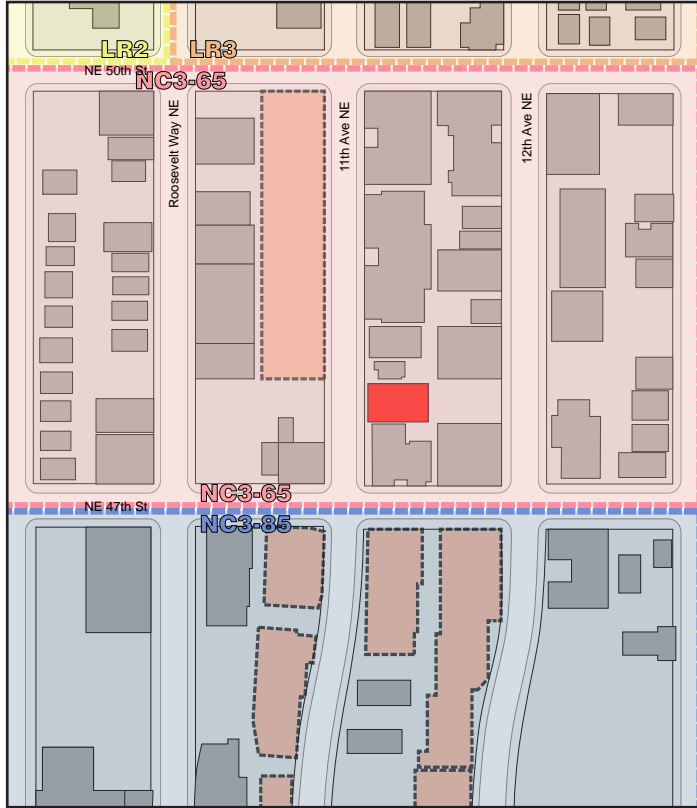
**Transit and Bike Routes**

- Transit Route
- Designated On-Street Bicycle Lane

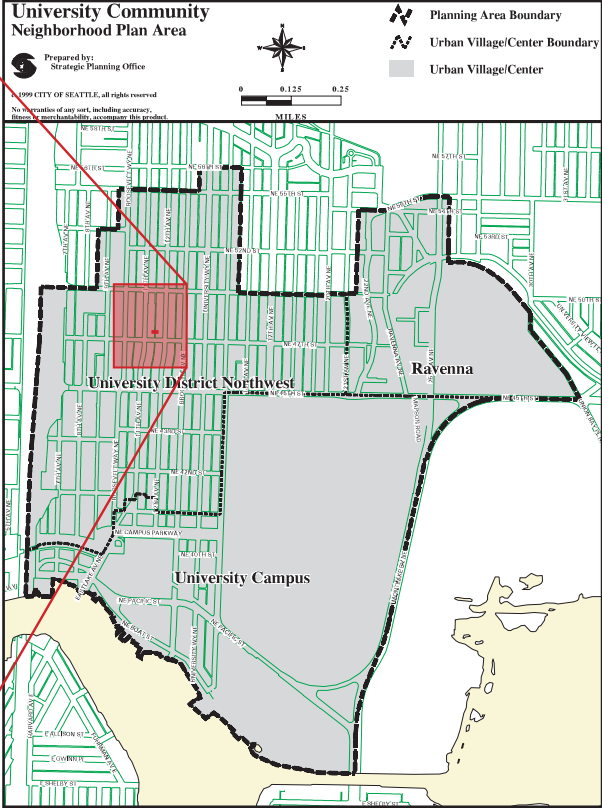


**SDOT Street Classifications**

- Major Arterial (One Way)
- Major Arterial



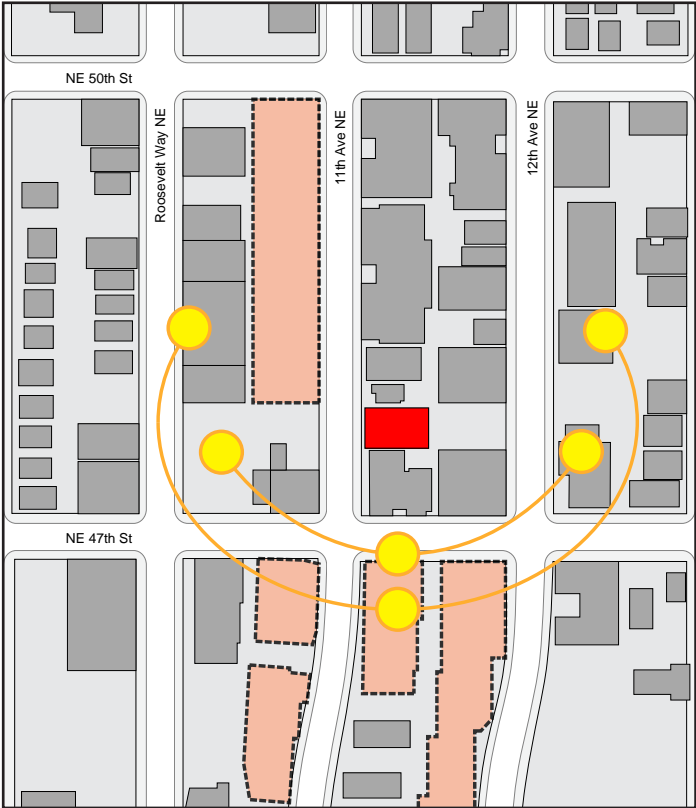
**Zoning Map**



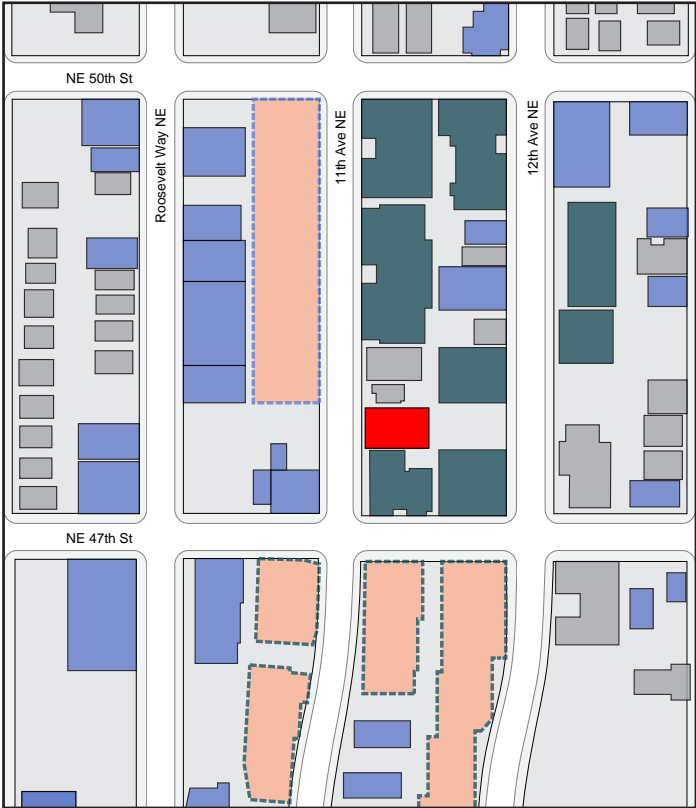
**University District Plan**

This project is in the heart of the University District Northwest area of the Neighborhood Plan. It's designed to be supportive and responsive to the Neighborhood Plan goals for this site.

- Provide housing to serve a broad spectrum of life styles and affordability levels
- Provide more intensive, pedestrian-oriented, mixed use complexes
- Upgrade sidewalks and street tree
- Consolidate under-utilized sites for new residential development
- Ensure attractive, high quality housing that is compatible with neighborhood conditions



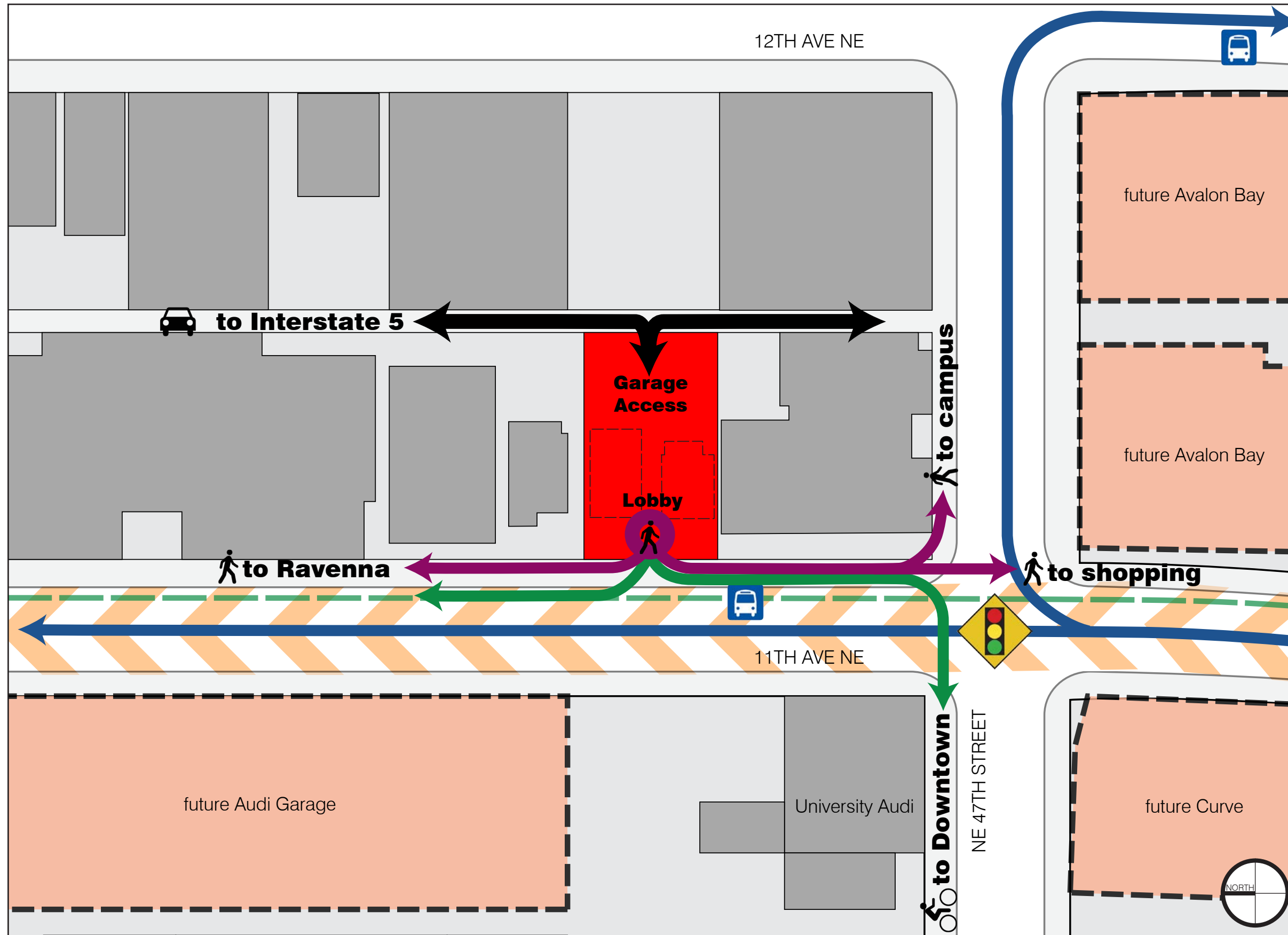
**Solar Exposure**



**Surrounding Building Types**

- Residential
- Mixed-Use
- Commercial
- Under Construction (Mixed-Use)
- Under Construction (Commercial)
- Project Site





This development has an opportunity to connect its occupants with the U of W, offices, and other businesses that surround this site. Pedestrian, bus, and bicycle routes link the site to the surrounding neighborhood and the rest of the City.

The site is largely bound by major arterials. Major streets include Interstate-5 four blocks to the west, NE 45th Street to the South, NE 50th Street to the North, as well as 11th Ave NE in which the site is located on. Interstate 5 is the main north-south transportation corridor throughout Washington State and NE 45th Street and NE 50th Street provide direct access to both Interstate 5 and the University of Washington. 11th Ave NE is a major North-South bus route, with a bus stop located directly in front of this site.

The site is located within walking distance of the University of Washington, as well as numerous commercial districts, parks and trails. The University District is a pedestrian friendly neighborhood.

#### Development Objectives

- Provide an attractive building that fits into the neighborhood and relates to the new buildings that are currently being constructed within the immediate vicinity and in the future.
- Provide small, efficient, 2-bedroom units to match the local demographic which is oriented towards students and young professionals.
- Provide affordable housing through economies of scale, efficient design and construction, and the provision of minimal common amenity
- Discourage the use of automobiles as a means of transportation by not providing parking, but instead accomodate space for bicycles
- Enhance the pedestrian experience along 11th Ave NE

## Design Review Recommendation

March 17th, 2014





Aerial View from Southwest





① View from 11th Ave NE, looking SE



② View from 11th Ave NE, looking East

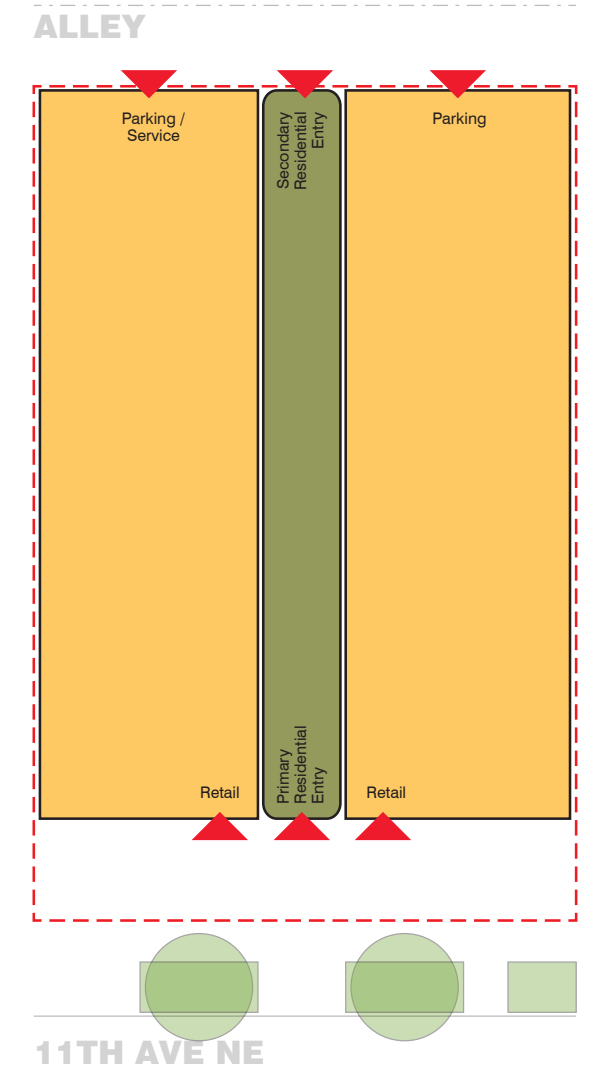


③ View from top of Audi Parking Garage, looking SE



④ View from corner of NE 47th St and 11th Ave NE, looking NE

Design Alternate 2 is the preferred scheme due to unit layout efficiencies, access to light and air for all residents, and urban response to the developing neighborhood context.

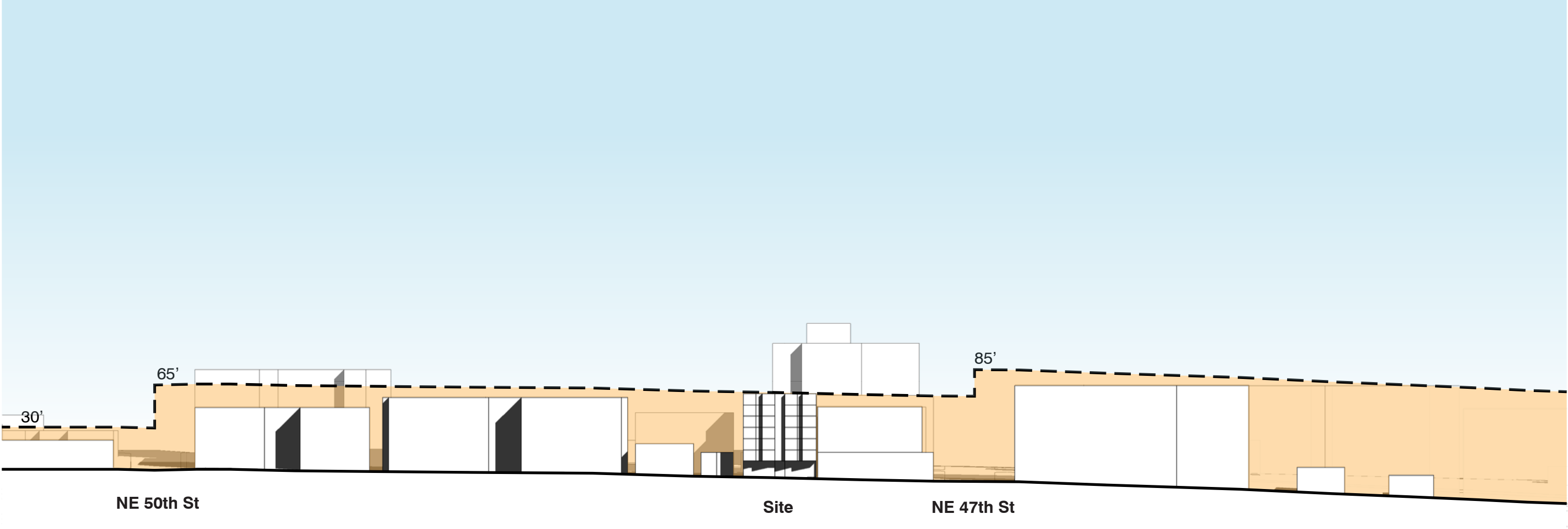


Plan Parti-Diagram

## Design Review Recommendation

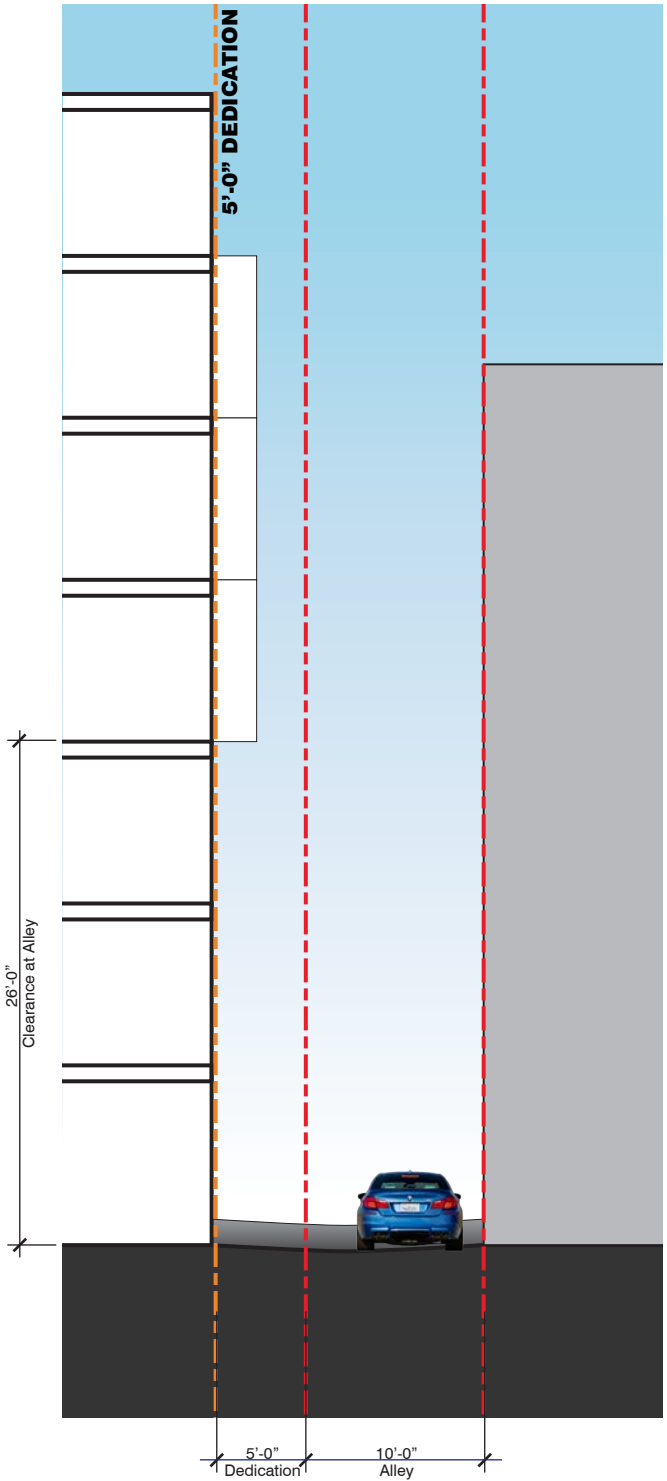
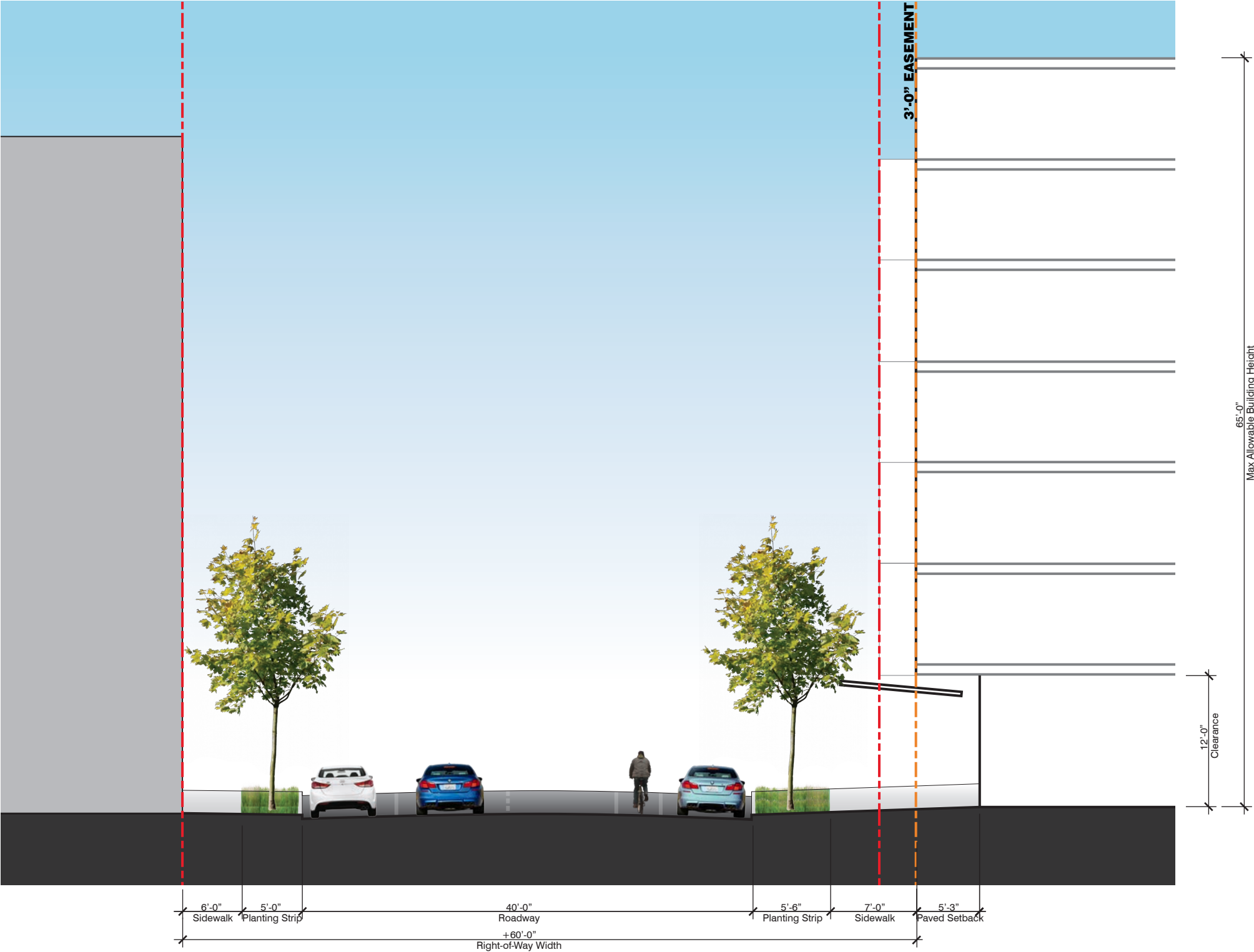
March 17th, 2014





*Allowed Building Heights - 11th Ave NE (looking East)*







GUIDELINE		EARLY DESIGN GUIDANCE	RESPONSE TO GUIDANCE
B-1	<b>Height Bulk and Scale</b> Projects should be compatible with the scale of development anticipated by the applicable Land Use Policies for the surrounding area.	<i>The Board responded well to the serrated elevations. In order to distinguish a base, middle and top for the structure and to produce a scale in keeping with the structure to the south, the height of the sawtooth bays should end at a floor level that relates to the lower height of this adjacent building.</i>	The sawtooth bays on 11th Ave. NE and the alley end at the mezzanine level floor line. This height is closer to the height of the mixed-use building to the South of the project. The step down is similar to a step down in that adjacent building, ties the buildings, and leads visually to the street level
C-1	<b>Architectural Context</b> New buildings proposed for existing neighborhoods with a well-defined and desirable character should be compatible with or complement the architectural character and siting pattern of neighboring buildings.	<i>Noting the emerging context from new construction (many of which the NE Board has reviewed) in this portion of the University District, the Board encouraged the modern or contemporary vocabulary proposed by the architect. Emphasize both the openness of the structure and the extensive glazing.</i>	The open stair, which is continually lit a night, and darker then the adjacent units during the day, acts as a lantern, or central focus and organizing element. The fully glazed bays, and the partially glazed bays to either side strengthen this character. Setting back the commercial space at the base creates transparency and openness that distinguishes from the two upper building masses and relates to the open stair and glass bays
C-2	<b>Architectural Concept and Consistancy</b> Building design elements, details and massing should create a well-proportioned and unified building form and exhibit an overall architectural concept. Buildings should exhibit form and features identifying the functions within the building. In general, the roofline or top of the structure should be clearly distinguished from its facade walls.	<i>Discussion focused on the merits of the three options, in particular, the variations in the partis. The Board recognized the efficiencies inherit in Option # 2, the bilaterally symmetric scheme, due to the proposal’s relatively small size and compact site. The quality of the light wells and the inability to combine the commercial spaces concerned the Board members.</i>  <i>The image or diagram produced on p. 14 (of the EDG packet) communicates a strong central organizing element, the vertical circulation expressed on the exterior. With later images (pages 18-19) this organizing idea appears diminished. Detailing of such elements as the upper floor railings should relate to the building elements at the storefront level.</i>	The strong organizational symmetry of the floor plans and central vertical circulation are reflected in the 11th Ave. NE façade. The “solid” projecting bays and upper floor contrast with the void of the open stair and the setback at Level 1. The building design elements and massing are urbane and inclusive
C-3	<b>Human Scale</b> The design of new buildings should incorporate architectural features, elements, and details to achieve a good human scale.	<i>Ensure that the residential entrance is clearly defined. Other elements along the street edge need to be clearly shown in the Recommendation meeting drawings.</i>	The residential entry on 11th Ave. NE ties into the vertical circulation and is open and visibly distinct. The metal fencing and gate match the mesh screen at the bottom of the stair and the railings. The canopy at the entry is raised and glazed, differentiating itself with the lower, solid, commercial canopies to the N. and S. A large banner sign projects out from the building at the entry and a metal building sign is mounted to the fencing. The canopies, paving to the building face, fence/gates, and lighting create an inviting and active street level.
C-4	<b>Exterior Finish Materials</b> Building exteriors should be constructed of durable and maintainable materials that are attractive even when viewed up close.	<i>Given that the proposal has one major elevation, 11th Avenue, the Board expects the specification of higher quality materials for this façade.</i>	The façade materials on 11th Ave. include floor to ceiling glass bays, preformed fiber cement and “rusted” metal panels, small metal mesh decks, storefront glazing and glass and metal canopies. All are modern in character and durable high quality materials and systems. The gate, fence, railings and the canopies are detailed and complement the simpler planer face elements.



	GUIDELINE	EARLY DESIGN GUIDANCE	RESPONSE TO GUIDANCE
D-1	<b>Pedestrian Open Spaces and Entrances</b> <i>Convenient and attractive access to the building's entry should be provided. To ensure comfort and security, paths and entry areas should be sufficiently lighted and entry areas should be protected from the weather. Opportunities for creating lively, pedestrian-oriented open space should be considered.</i>	<i>Ensure that security concerns are addressed at the alley. This elevation must be clearly delineated in the Recommendation meeting packet.</i>	<p>The building is accessed at both 11th Ave. NE and the alley. Both entrances have secure gates and are well lit. The open stair and units just above the entry level provide overview. The open stair and corridor link to the alley visually and aurally making the alley less isolated.</p>
D-6	<b>Screening of Dumpsters, Utilities, Service Areas</b> <i>Building sites should locate service elements like trash dumpsters, loading docks and mechanical equipment away from the street front where possible.</i>	<i>Show the solid waste storage area and explain how it functions for the Recommendation meeting.</i>	<p>The solid waste room is located in the interior of the building below the centrally located trash chute. Management will bring the trash and recyclables to the alley for pickup.</p>
D-7	<b>Personal Safety Security</b> <i>Project design should consider opportunities for enhancing personal safety and security in the environment under review.</i>	<i>The Board emphasized the importance of this guideline.</i>	<p>The solid waste room is located in the interior of the building below the centrally located trash chute. Management will bring the trash and recyclables to the alley for pickup.</p>
D-10	<b>Commercial Lighting</b> <i>Appropriate levels of lighting should be provided in order to promote visual interest and a sense of security for people in commercial districts during evening hours. Lighting may be provided by incorporation into the building façade, the underside of overhead weather protection, on and around street furniture, in merchandising display windows, in landscaped areas, and/or on signage.</i>	<i>Include a concept lighting plan to the Recommendation booklet.</i>	<p>At 11th Ave NE, lighting is provided underneath the canopies. Interior lighting at the residential entry and the stair will increase the ambient light at the sidewalk. Light from the commercial spaces will add to the ambient lighting at the sidewalk. Lighting will activate and enhance the visibility of the ground floor entry and commercial spaces, facilitating wayfinding, and enhancing</p>
D-11	<b>Commercial Transparency</b> <i>Commercial storefronts should be transparent, allowing for a direct visual connection between pedestrians on the sidewalk and the activities occurring on the interior of a building. Blank walls should be avoided.</i>	<i>The extensive use of glazing at the storefront received praise.</i>	<p>The commercial storefronts to the N. and S. of the open residential entry are almost 100% of the commercial facades.</p>
E-2	<b>Landscaping to Enhance the Building and/or Site</b> <i>Landscaping should be appropriately incorporated into the design to enhance the project</i>	<i>The applicant must provide drawings and information detailing how plantings will flourish on the green screens that grace the light wells</i>	<p>Street trees and a partially landscaped parking strip are provided at 11th Ave. A 3'-0" street setback allows the sidewalk to be brought in towards the building and to align with the sidewalk to the South. The area in front of the commercial spaces and residential entry is paved to effectively widen the sidewalk and provides opportunity for pedestrian engagement with the building. Planters at the Level 2 courts are used to provide visual interest from the adjacent units, partially screen the courtyard from view, and soften the North and South facades where visible. Planting has been chosen that will grow at these locations. The roof top terrace is extensively landscaped with opportunity for seating and enjoyment of the landscaping and views.</p>





① View from 11th Ave NE, looking SE

4710 11th Ave NE

DPD# 3015550





② View from 11th Ave NE, looking East

Design Review Recommendation

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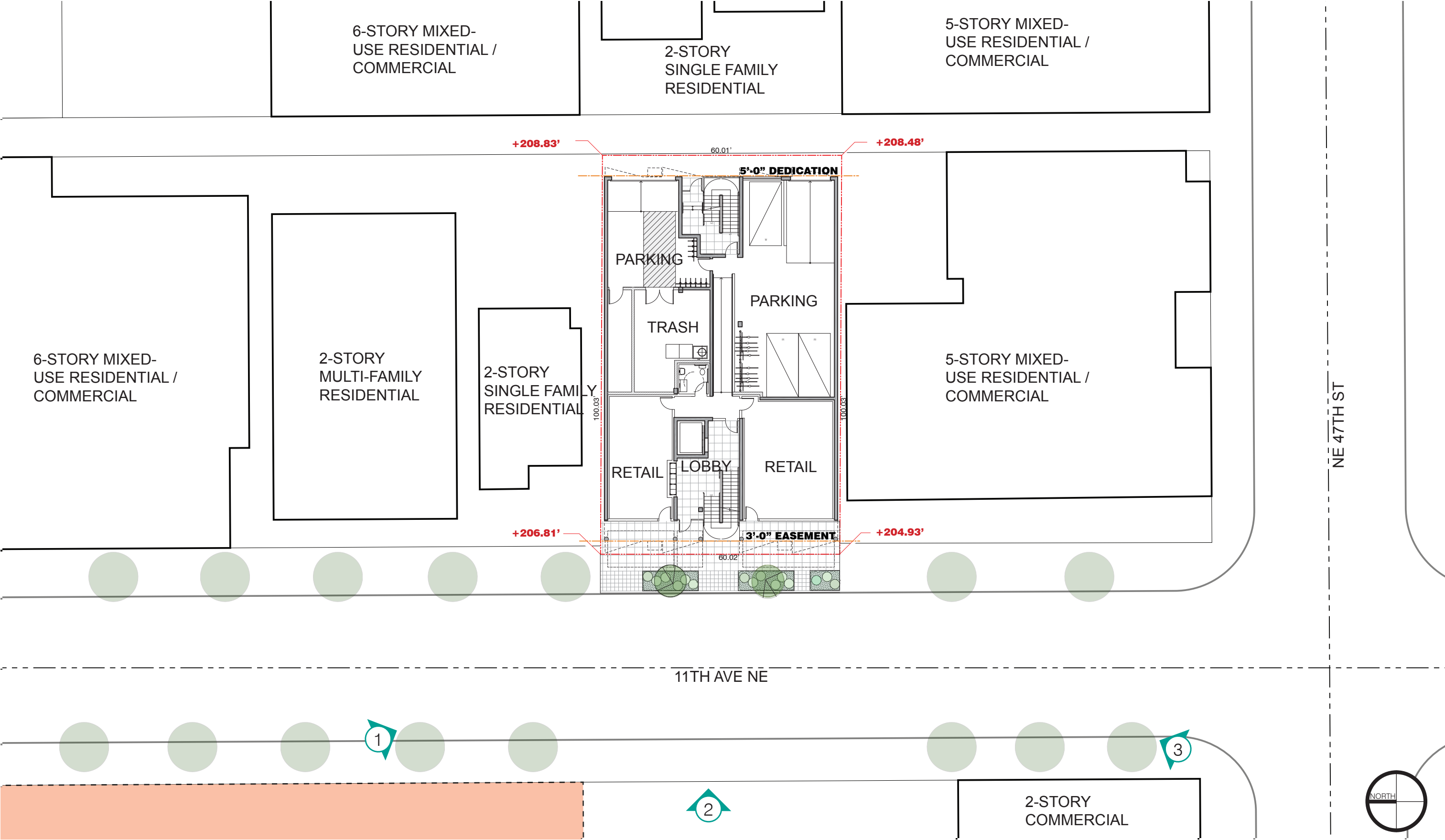


③ View from corner of NE 47th St and 11th Ave NE, looking NE

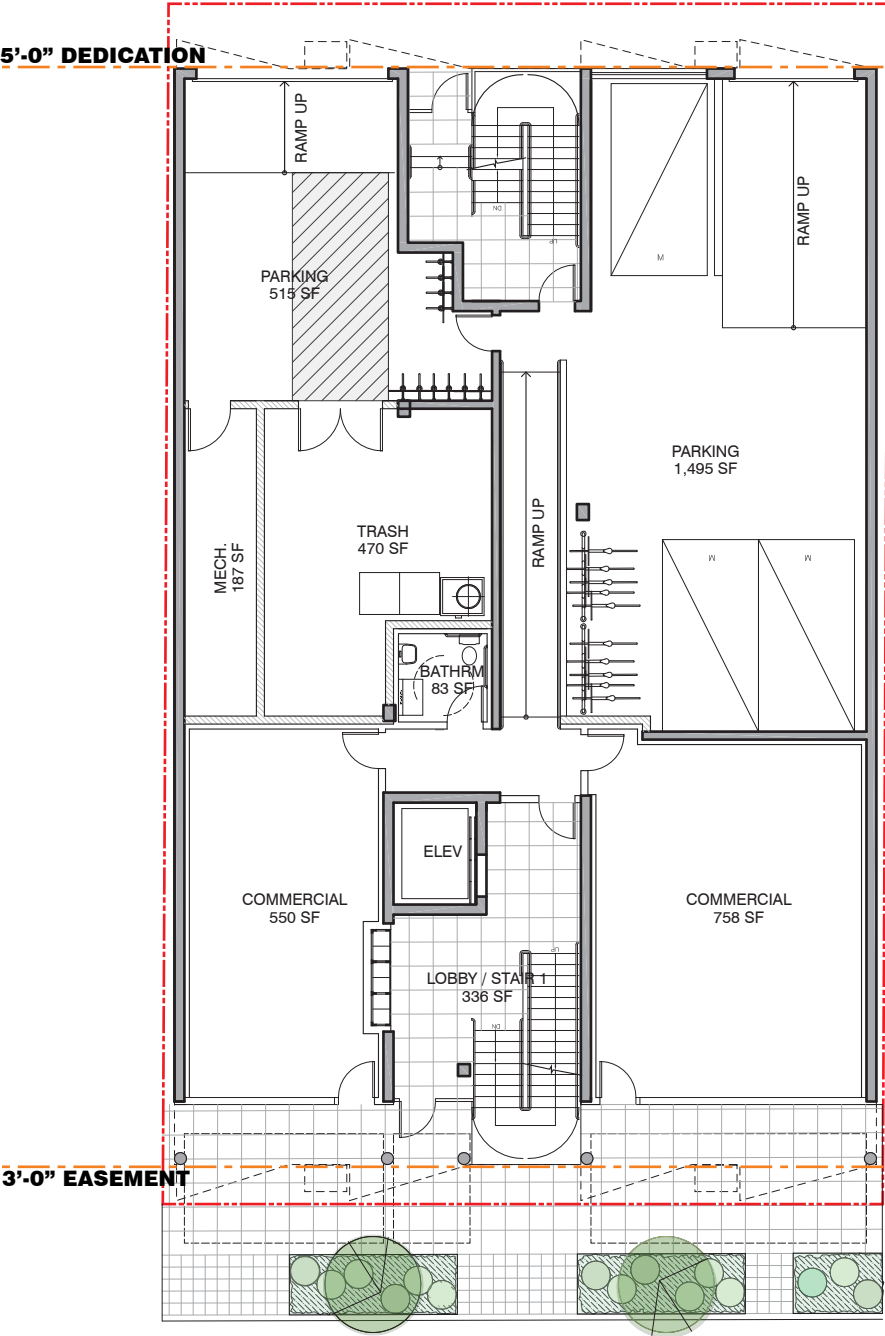
4710 11th Ave NE

DPD# 3015550

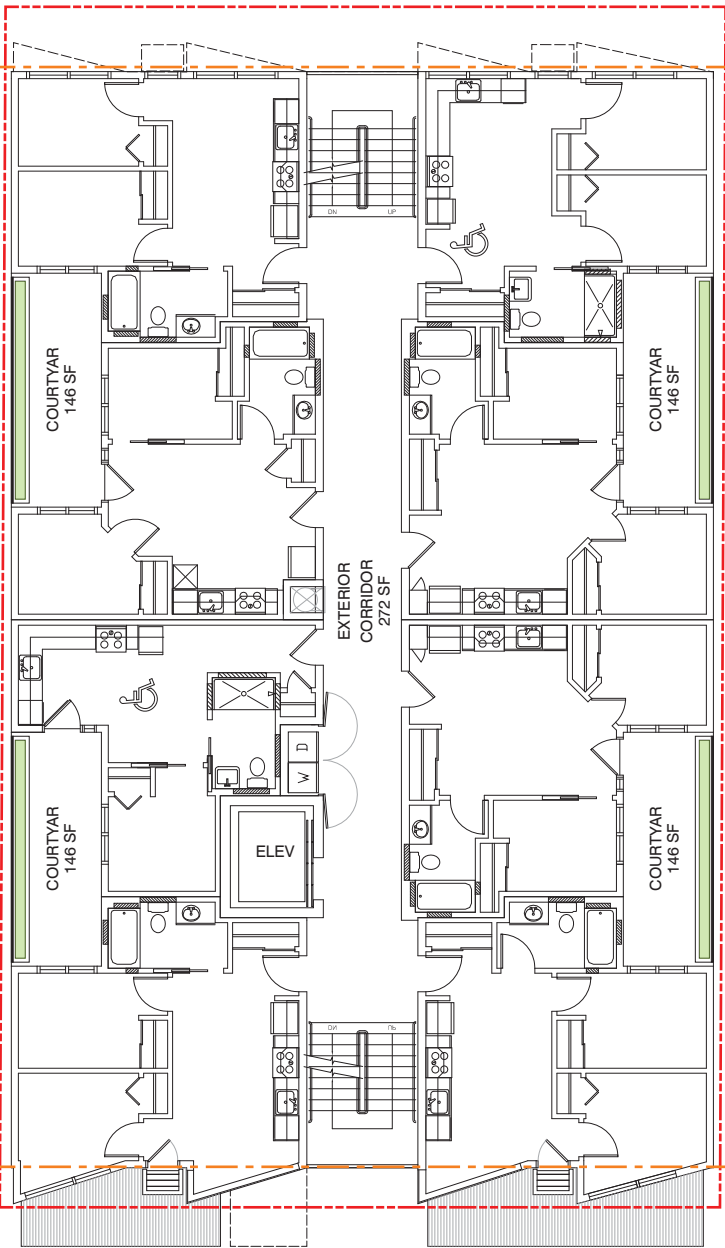




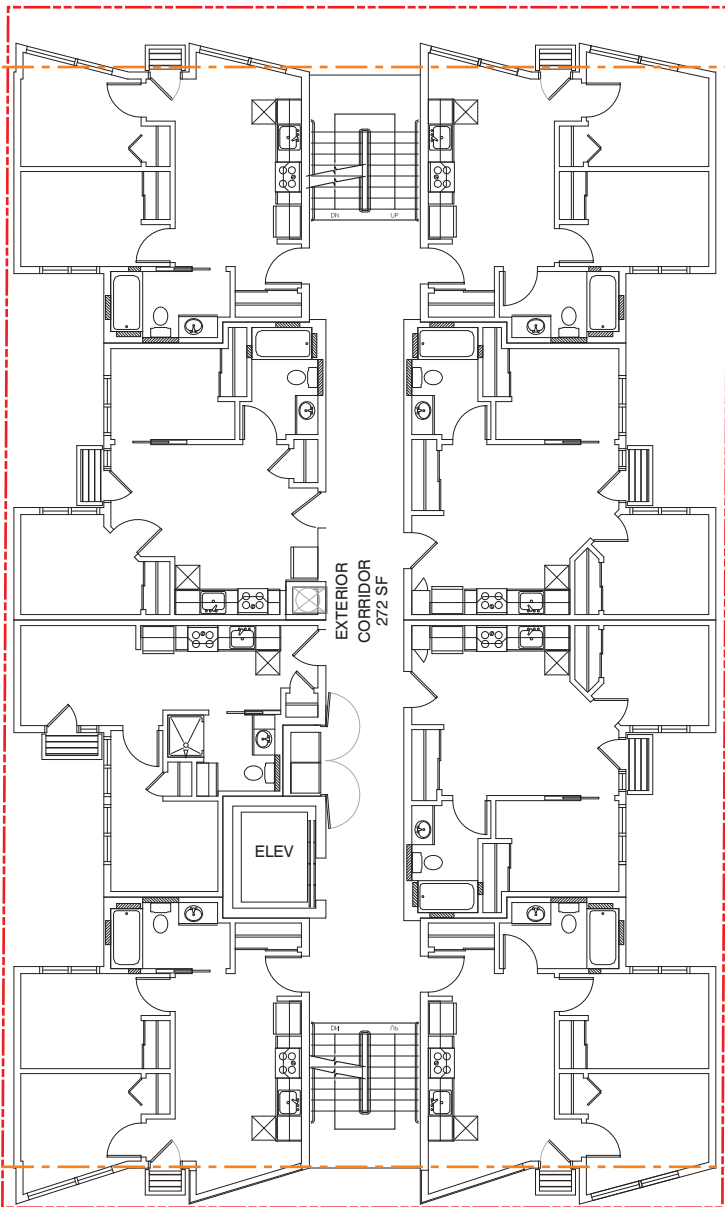




First Floor Plan



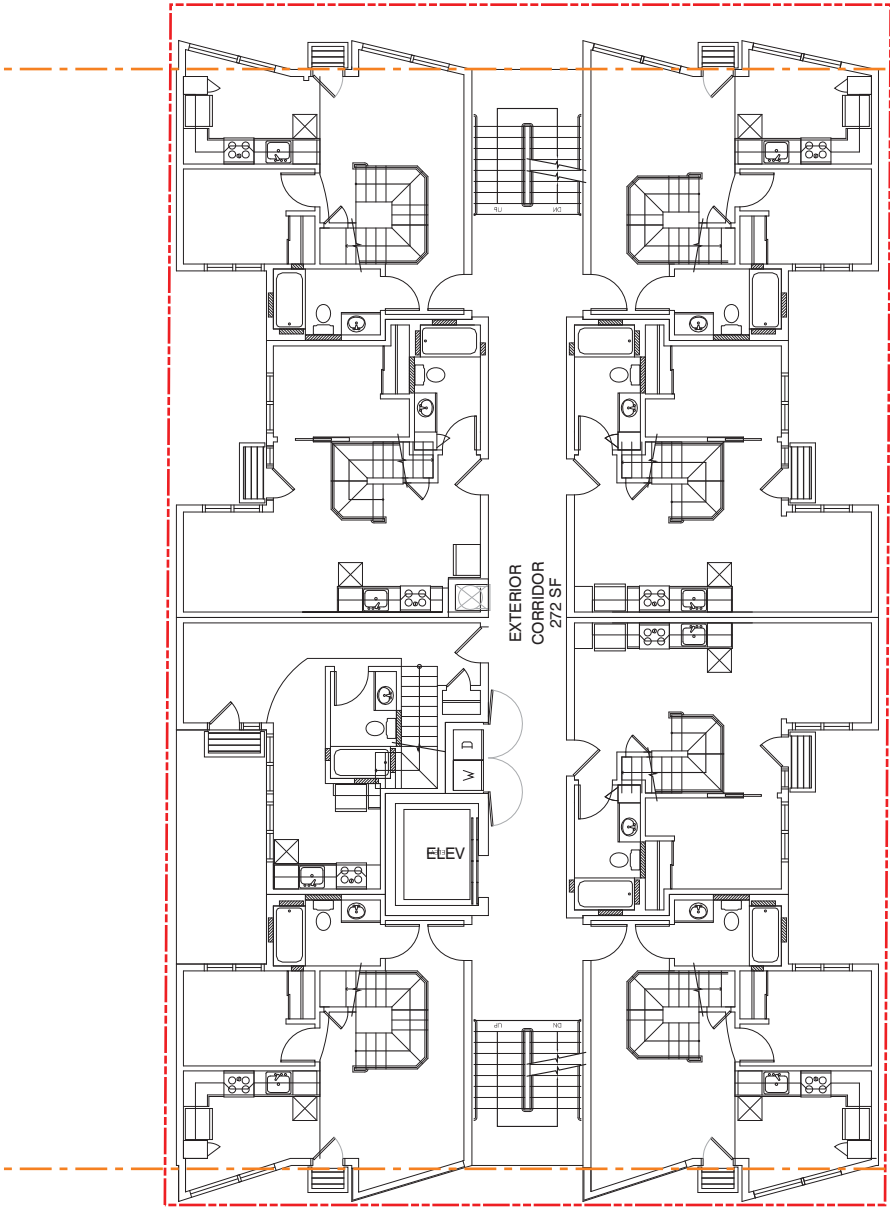
Second / Third Floor Plan



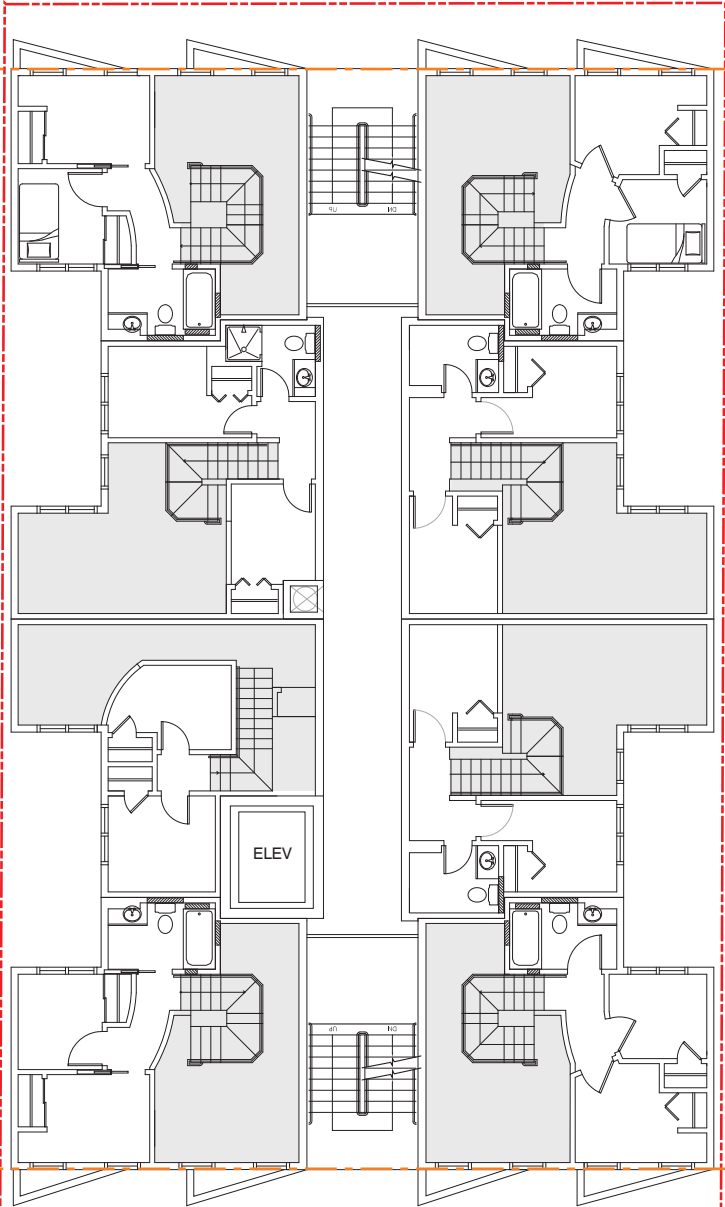
Fourth / Fifth Floor Plan



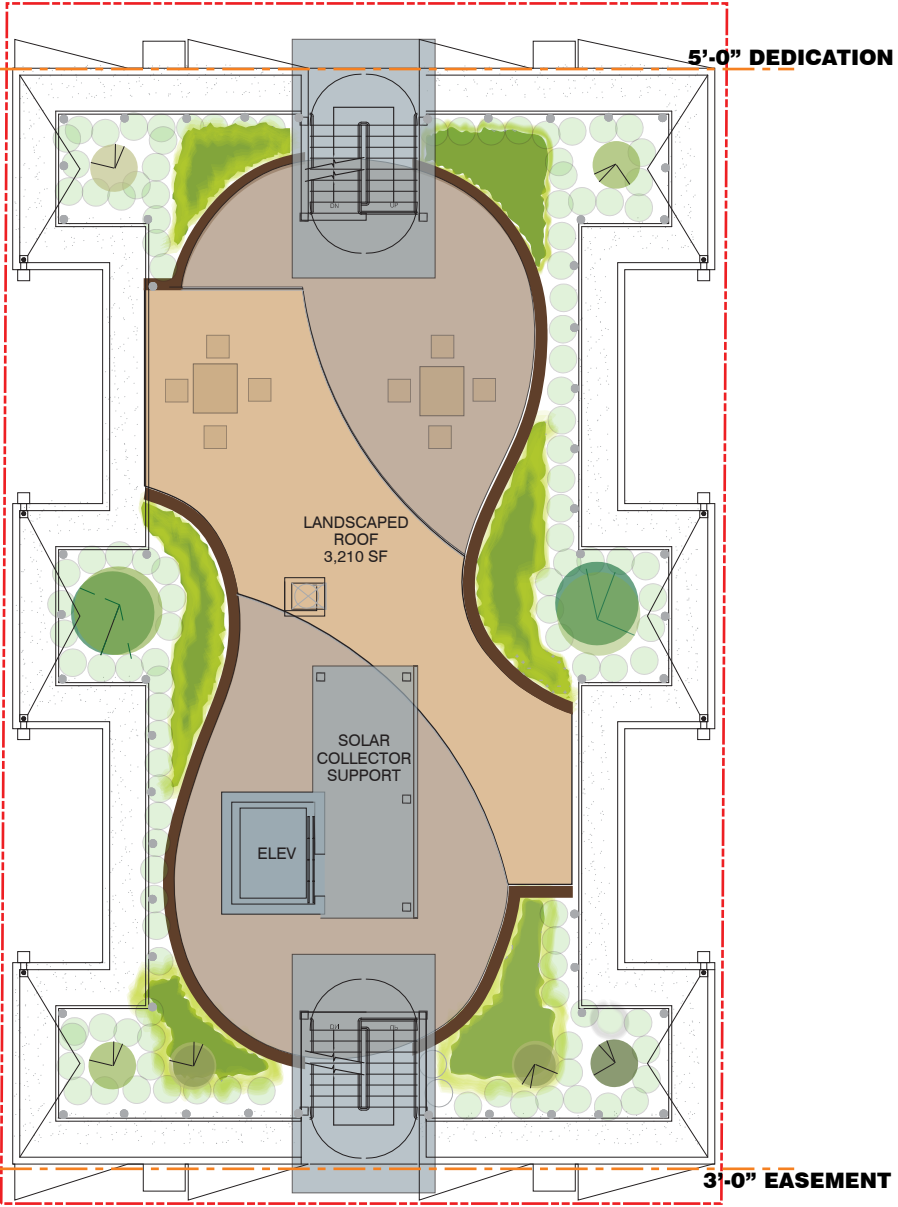




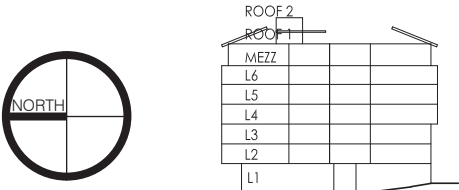
Sixth Floor Plan



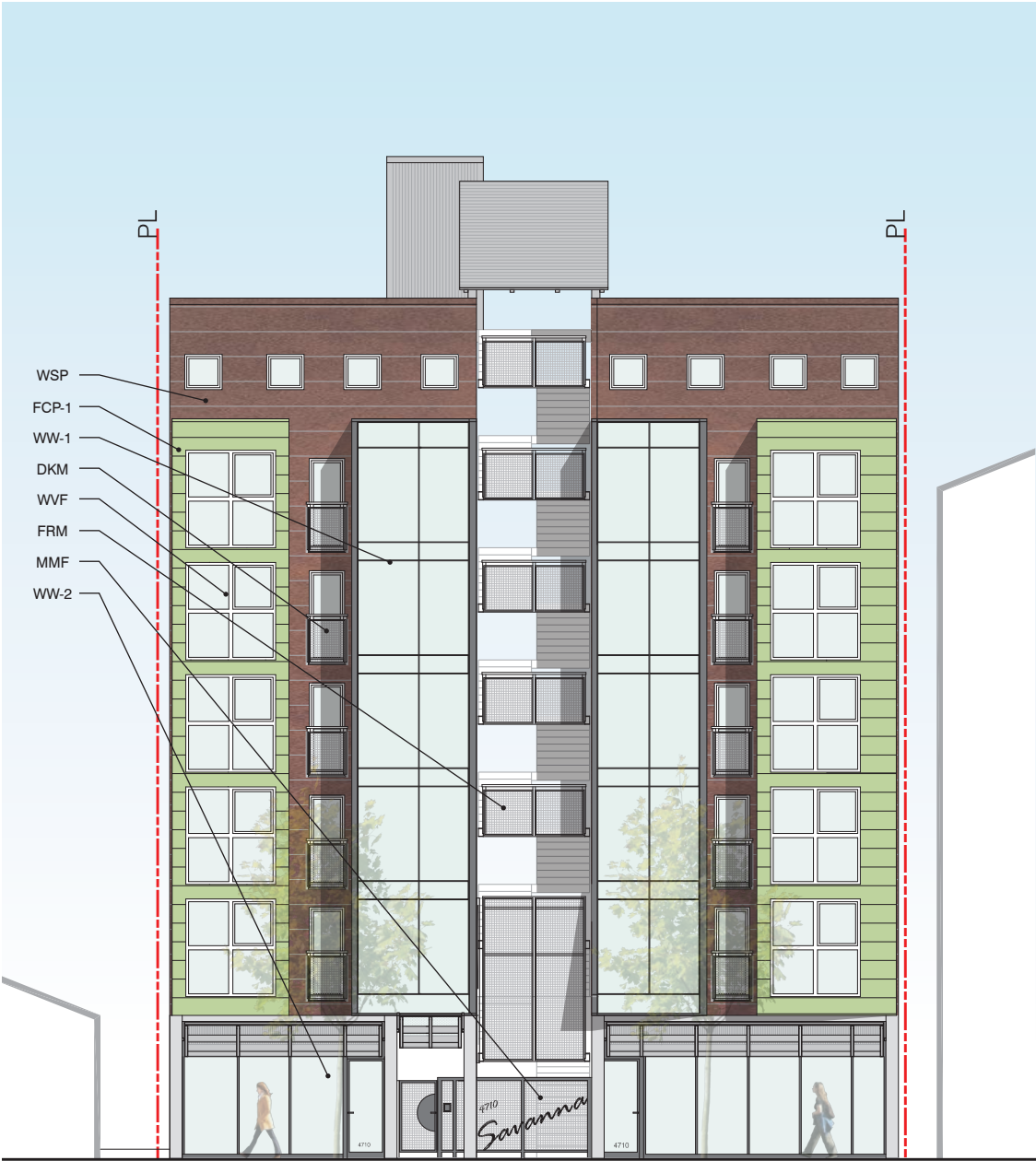
Mezzanine Floor Plan



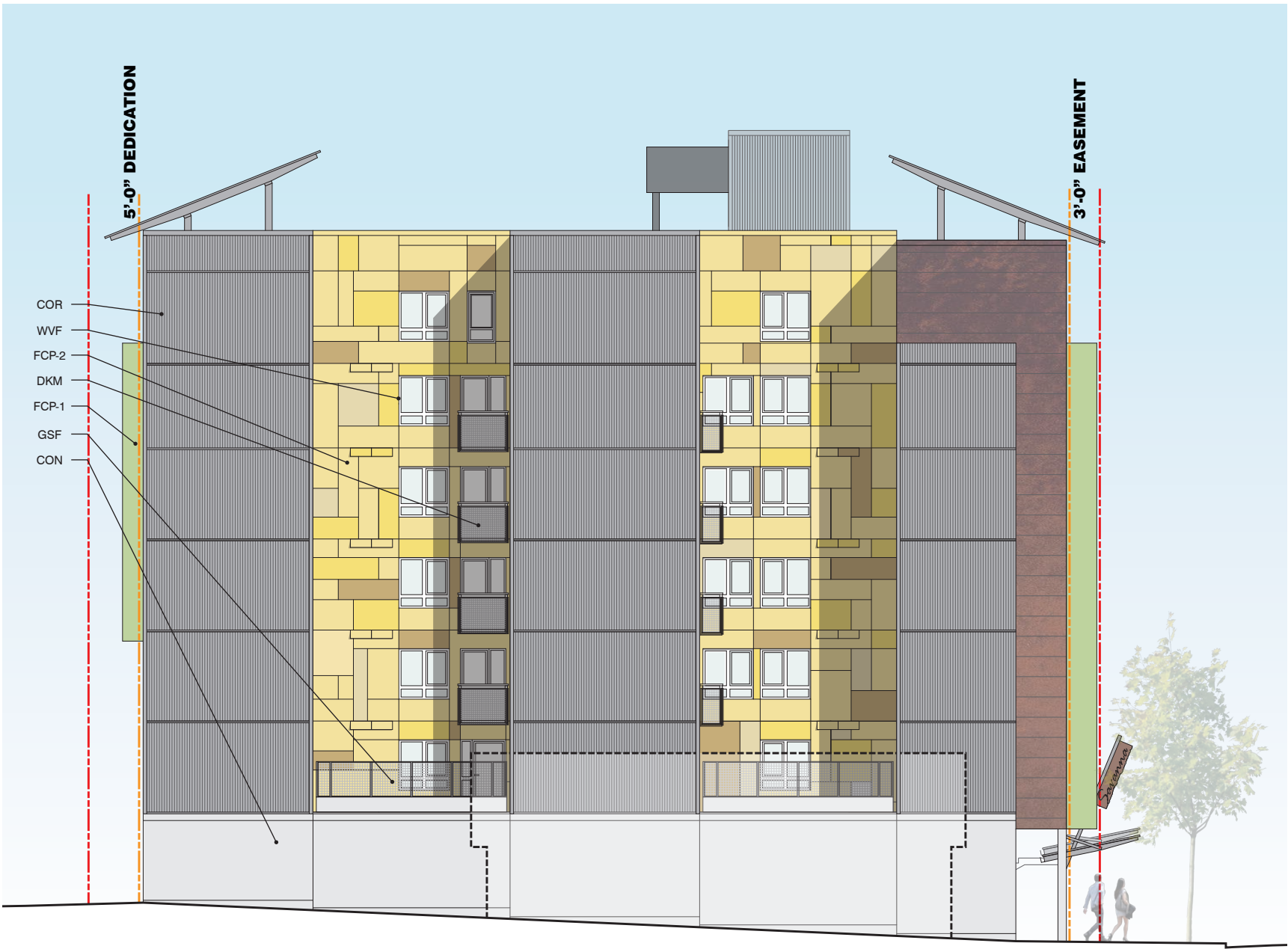
Roof Plan







Elevation: West



Elevation: North

Exterior Materials Legend (see pg. 27 for Materials Board)

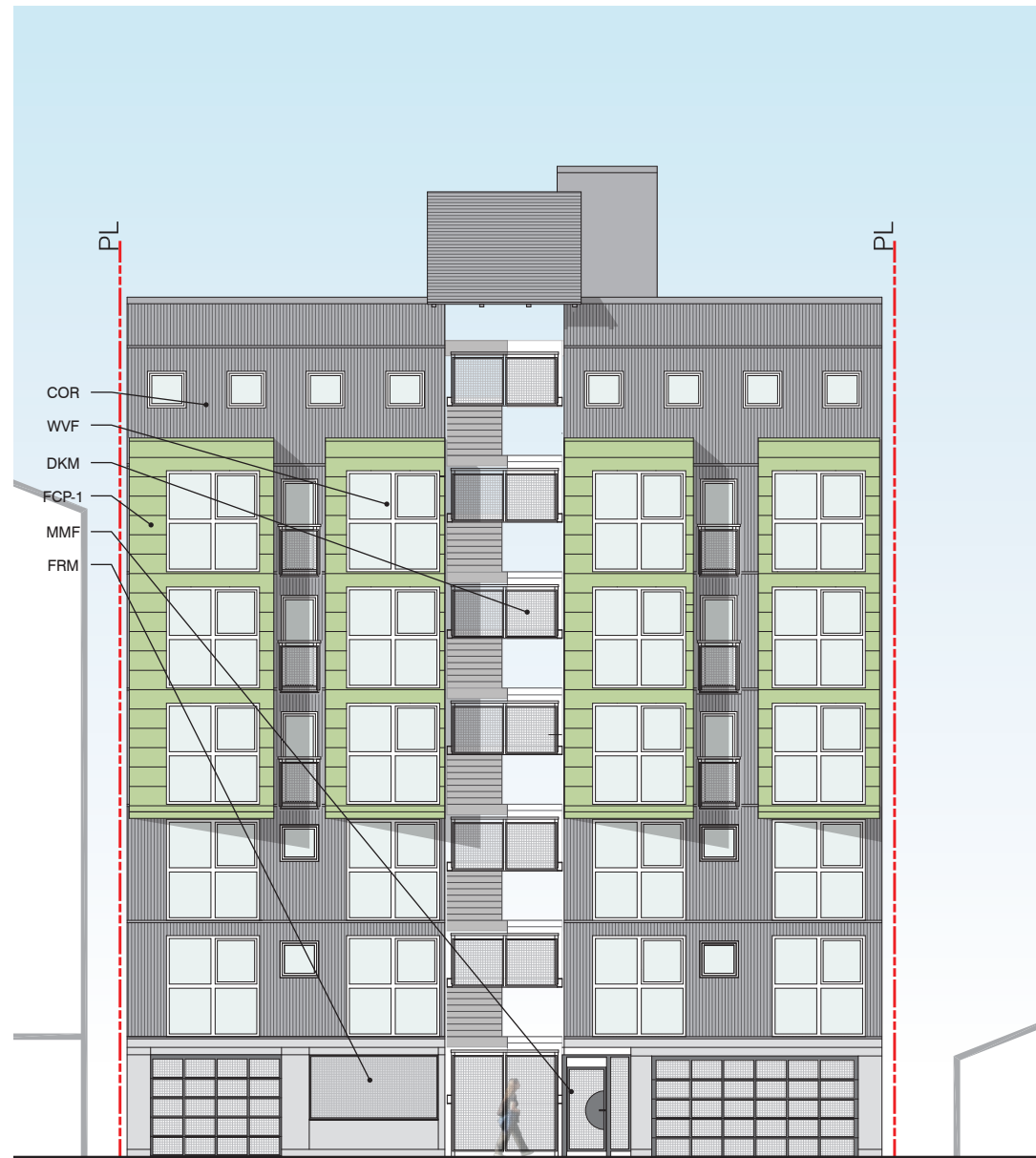
WSP	Weather Steel Panel
FCP-1	Fiber Cement Panel (Nichiha)
FCP-2	Fiber Cement Panel (Hardie)
COR	Corrugated Metal
WW-1	Window Wall, Aluminum & Glass, Thermal Frame
WW-2	Window Wall, Aluminum & Glass, Storefront
WVF	Window, Vinyl/Fiberglass

DKM	Deck, Prefab Metal, Open Mesh Screen
FRM	Frame & Open Mesh Screen
MGF	Metal Mesh Gate & Fence
MMG	Metal Mesh Garage Door
CON	Cast-in-place Concrete
GSF	Green Screen Fence
SGN	Building Sign

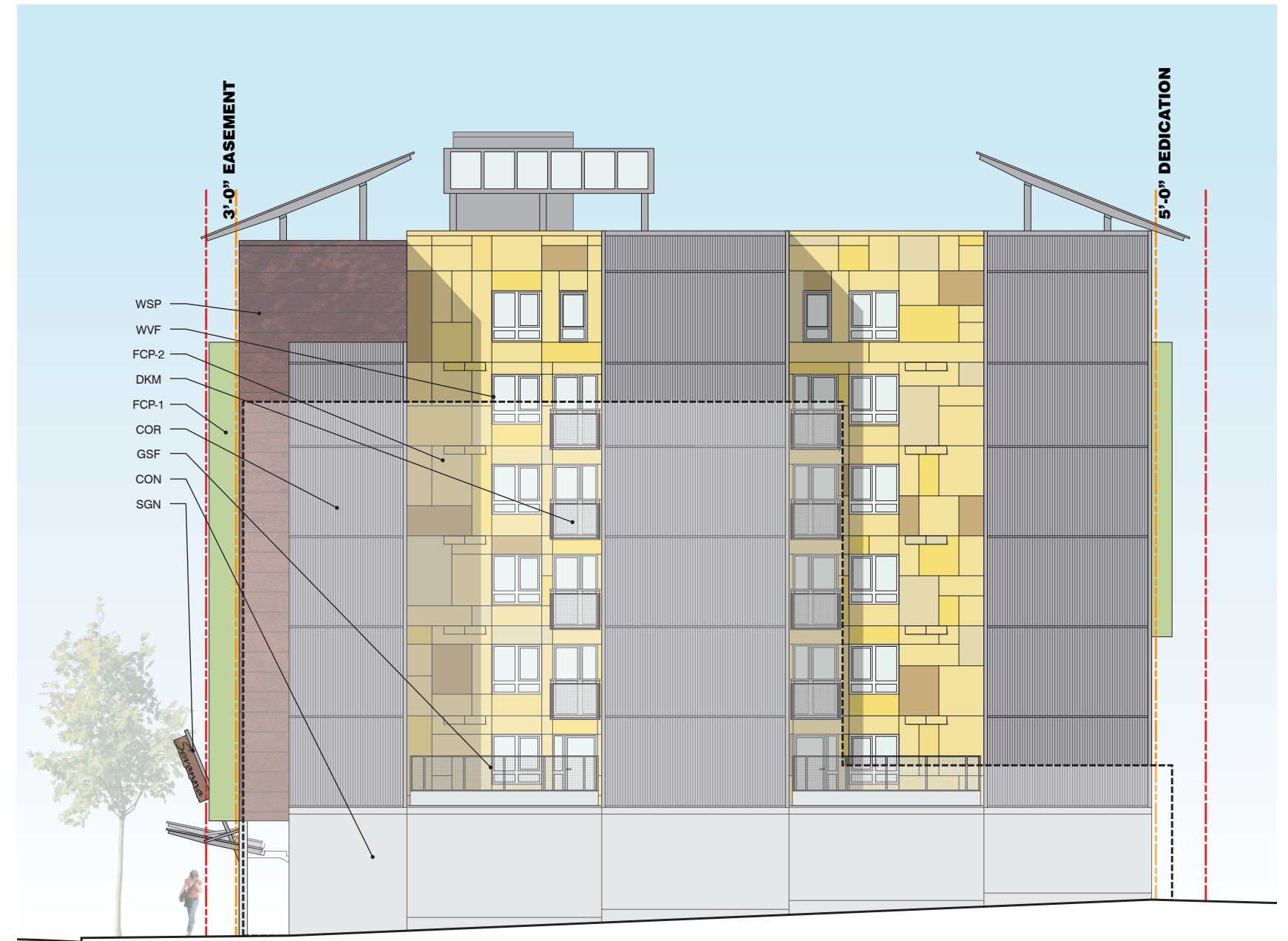
4710 11th Ave NE

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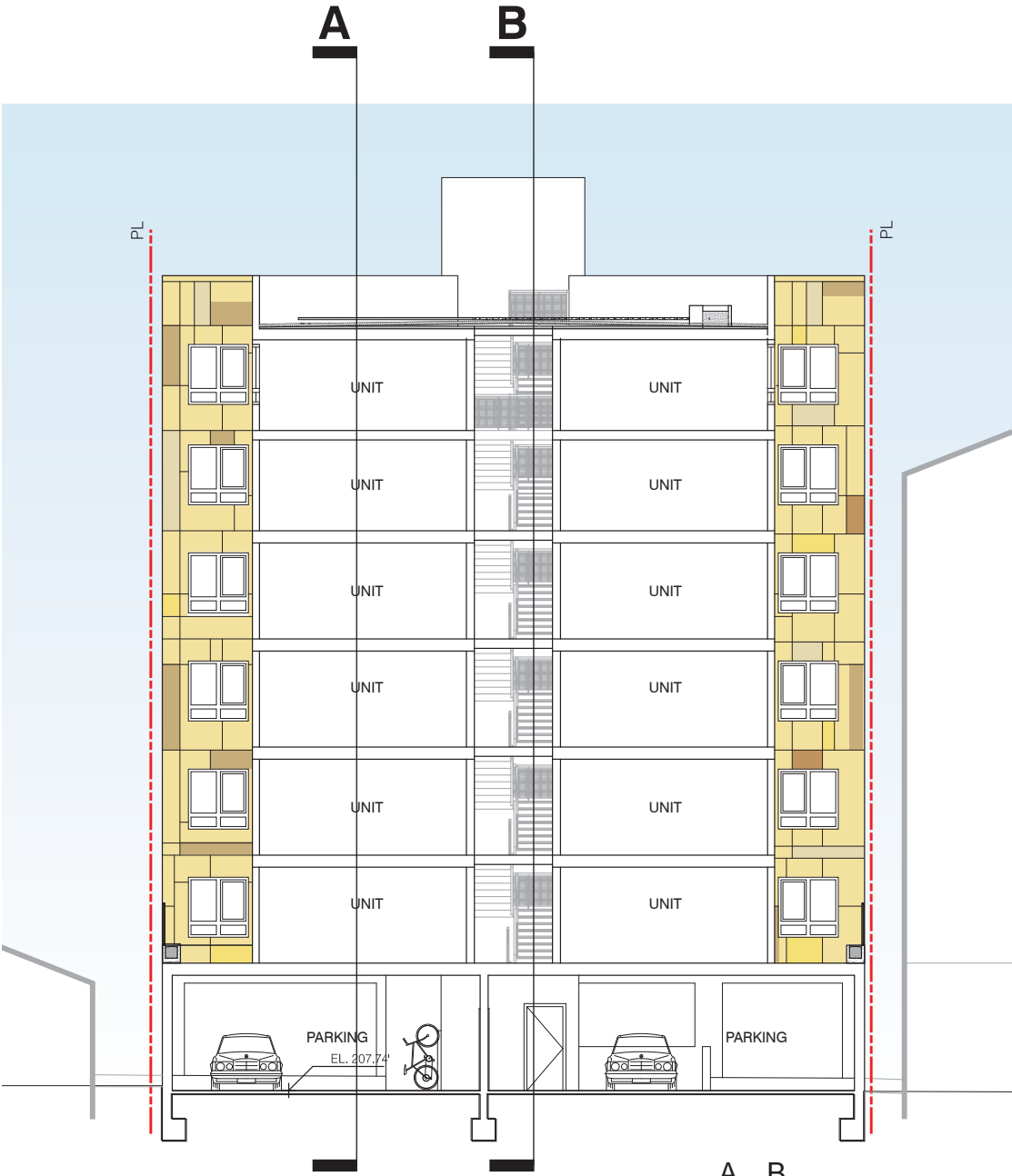


Elevation: East

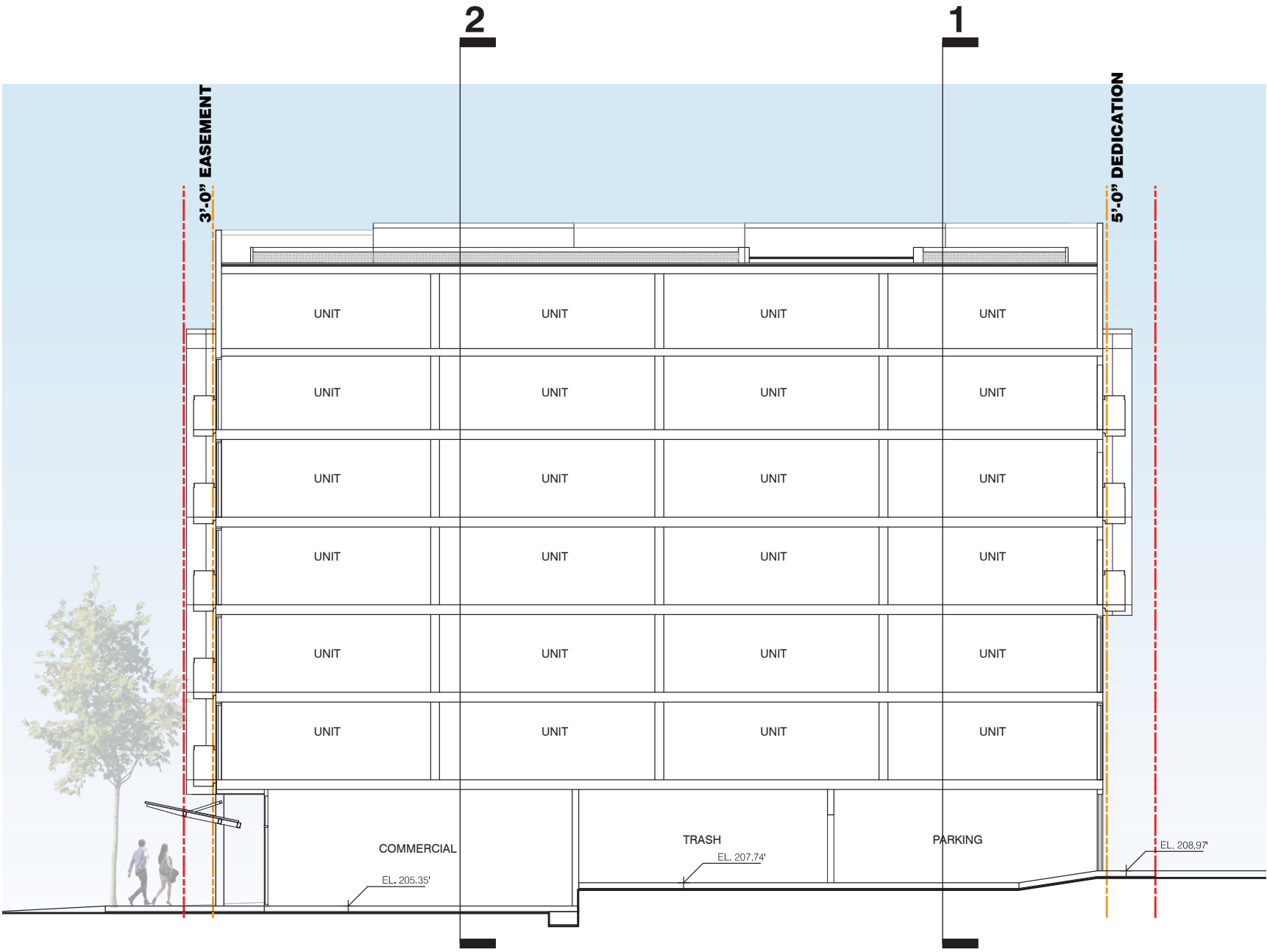
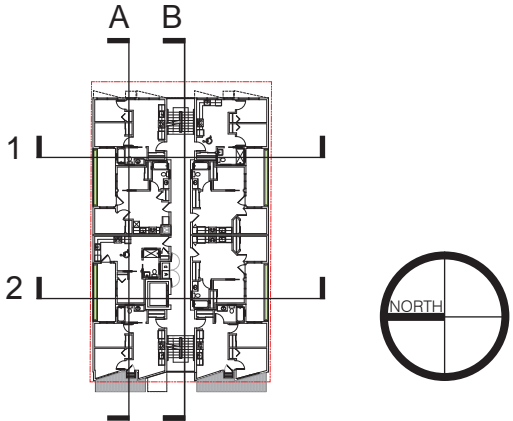


Elevation: South



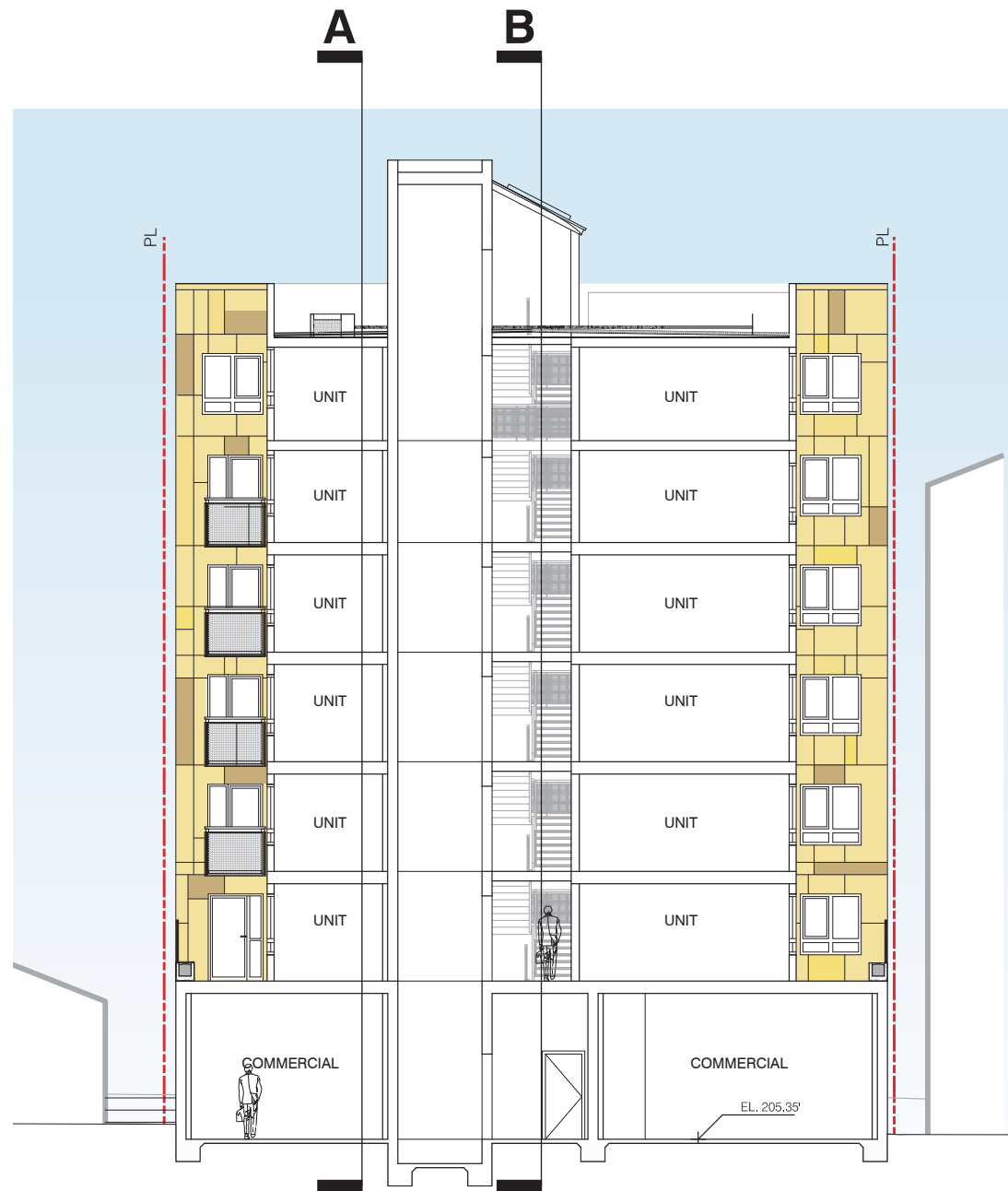


Building Section 1

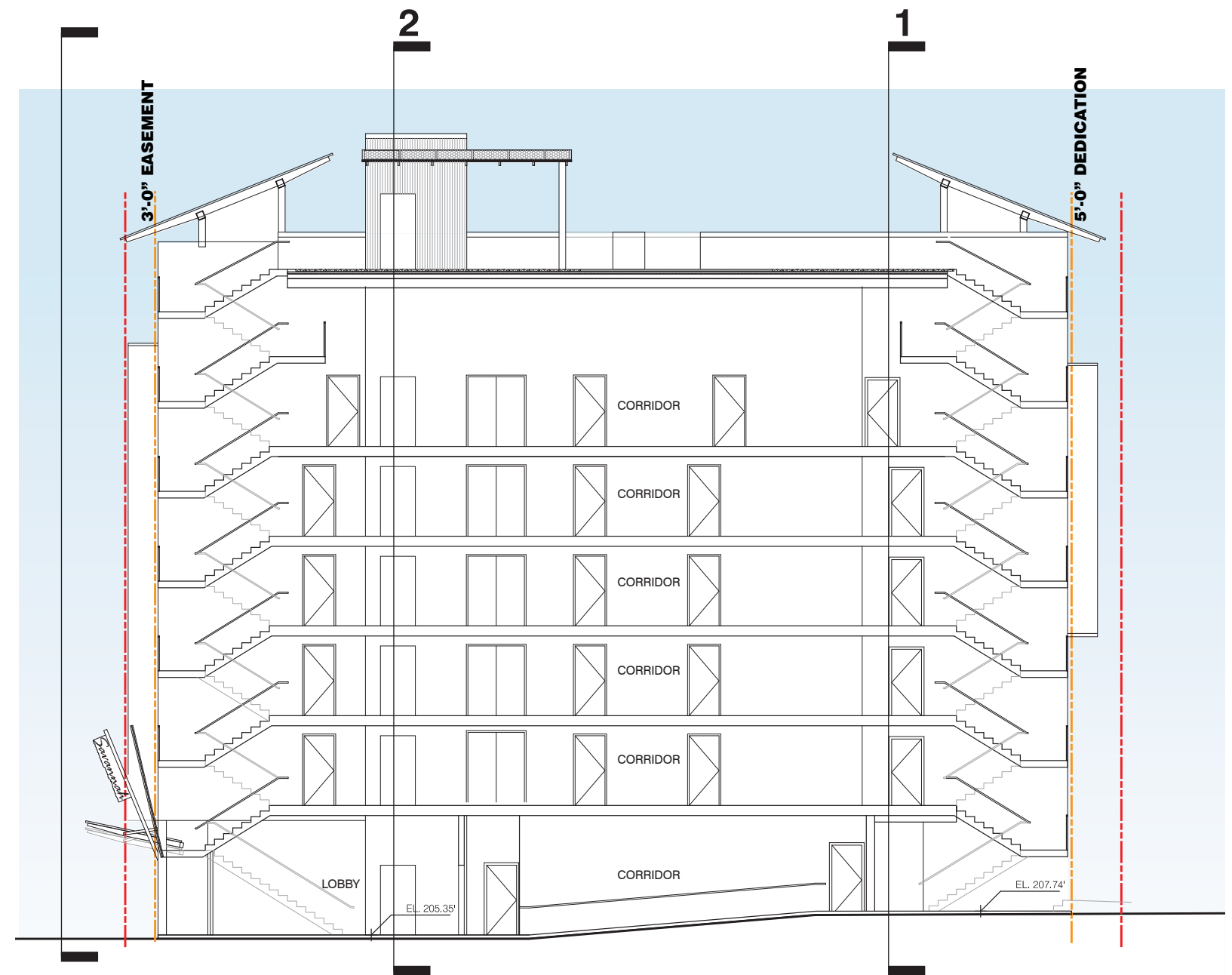


Building Section A





Building Section 2

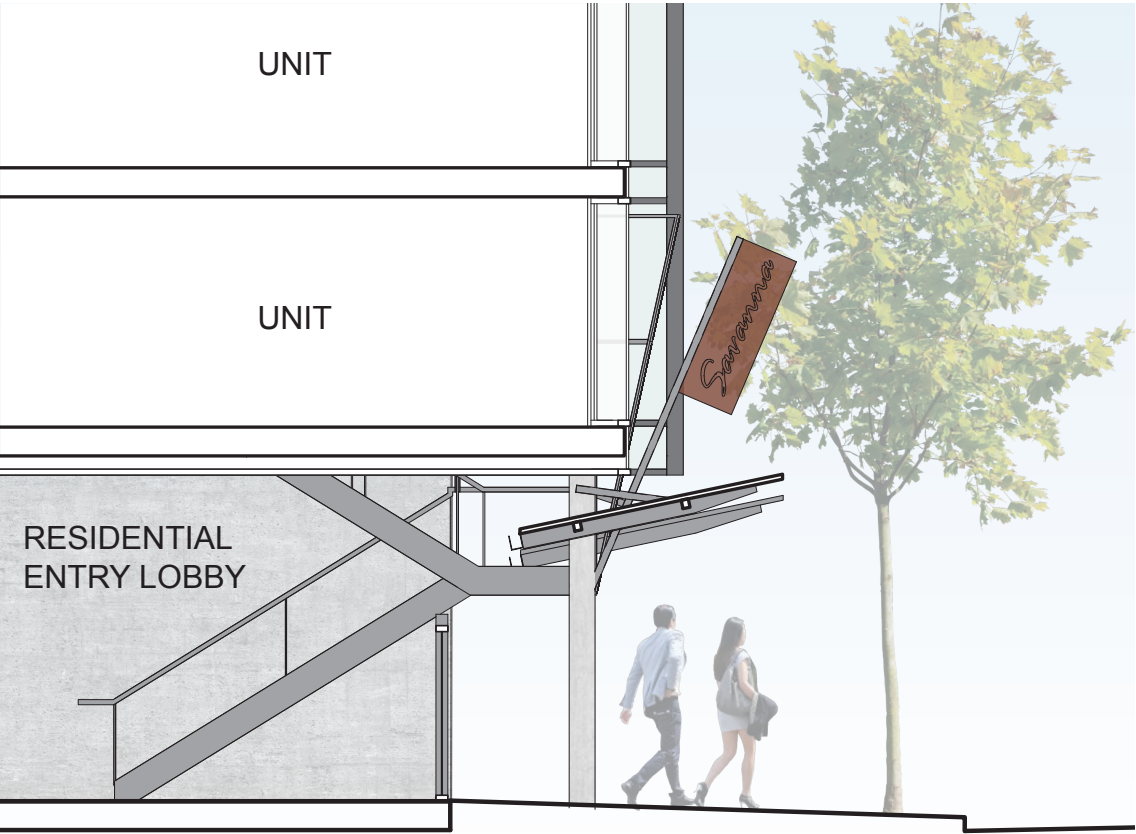


Building Section B

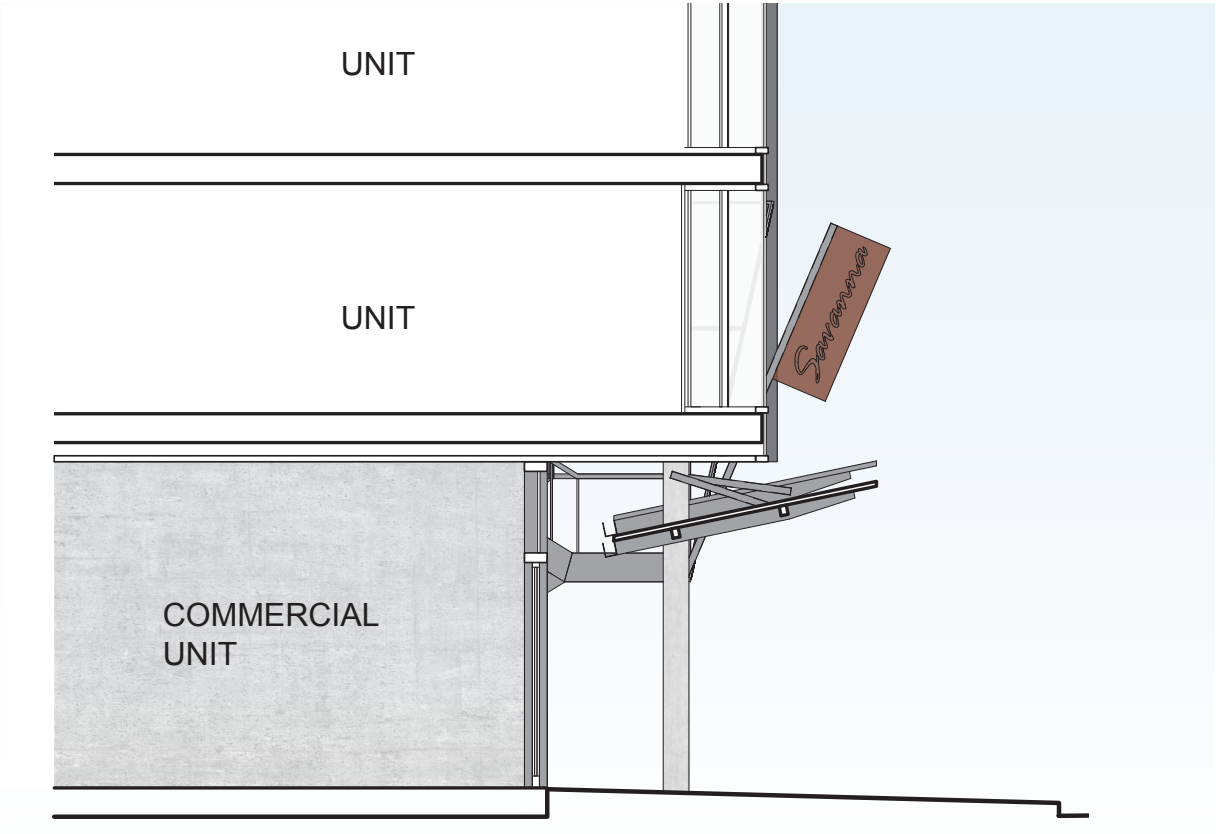




Partial Elevation: West



A: Partial Section of Residential Entry



B: Partial Section of Commercial Entry

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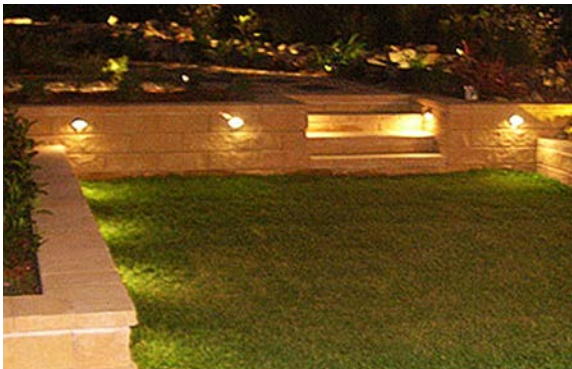
*Perspective: Residential Entry*

## Design Review Recommendation

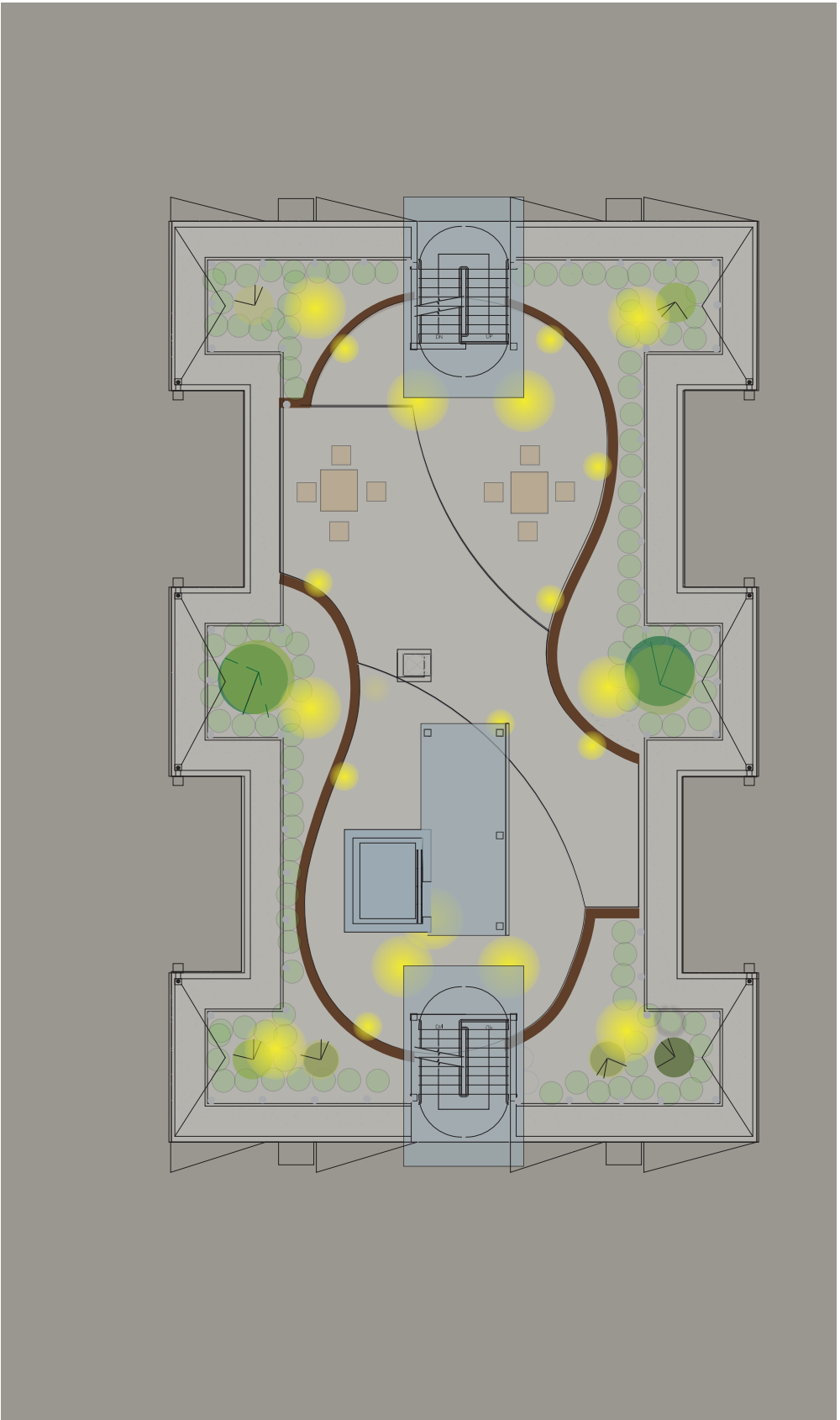
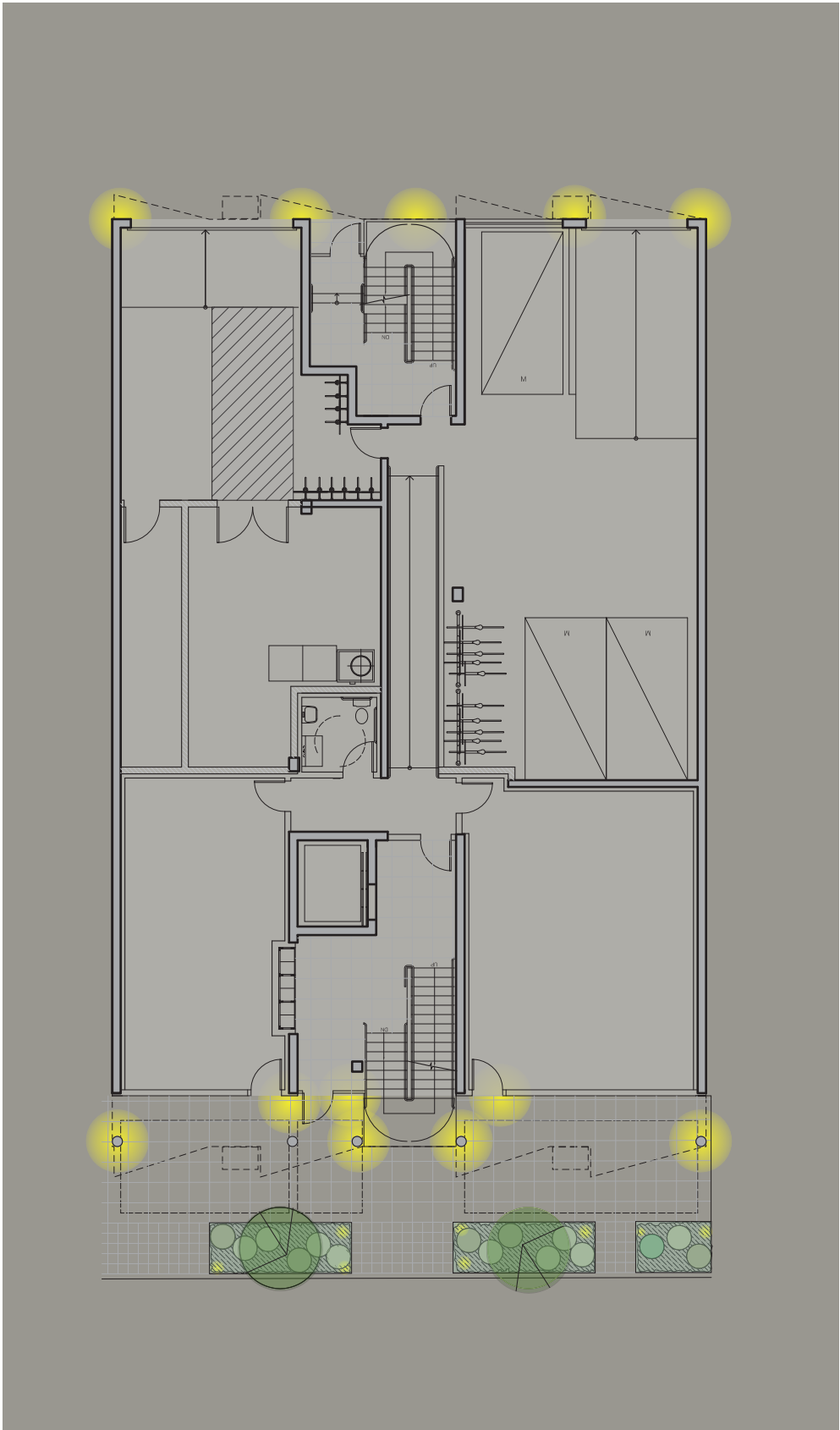
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AMBIENT WALL MOUNT LIGHTS



DIRECTIONAL SPOT LIGHTS





## FIBER CEMENT PANELS

FCP-1, Nichiha - Illumination Series



SW 6716  
Dancing Green

FCP-2, Hardie Panel



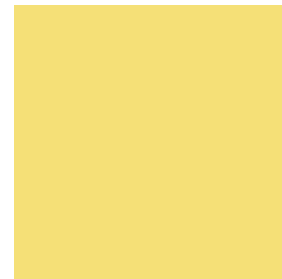
SW 6688  
Solaria



SW 6896  
Sole\*



SW 2813  
Downing Straw



SW 6901  
Daffodil

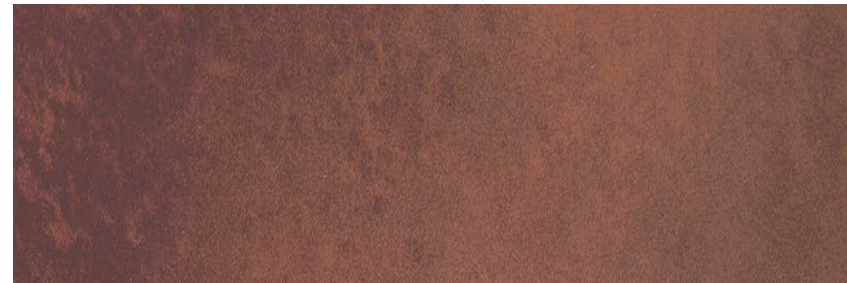


SW 6393  
Design Review Recommendation

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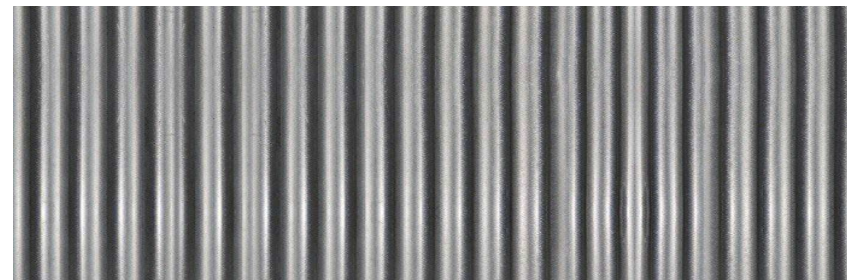
## METAL PANELS

WSP - WEATHERED STEEL PANEL



Dri-Design  
Pre-Weathered Steel Panel

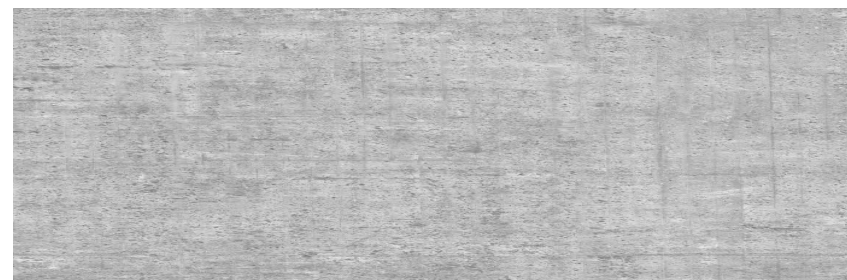
COR - CORRUGATED METAL



AEP Span - NuWave Corrugated  
Vintage

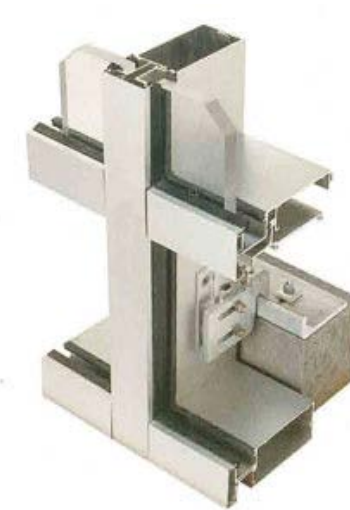
## MASONRY

CON - CAST-IN-PLACE CONCRETE



## WINDOWS

WW-1, WW-2 - WINDOW WALL



Wausau  
Aluminum Frame

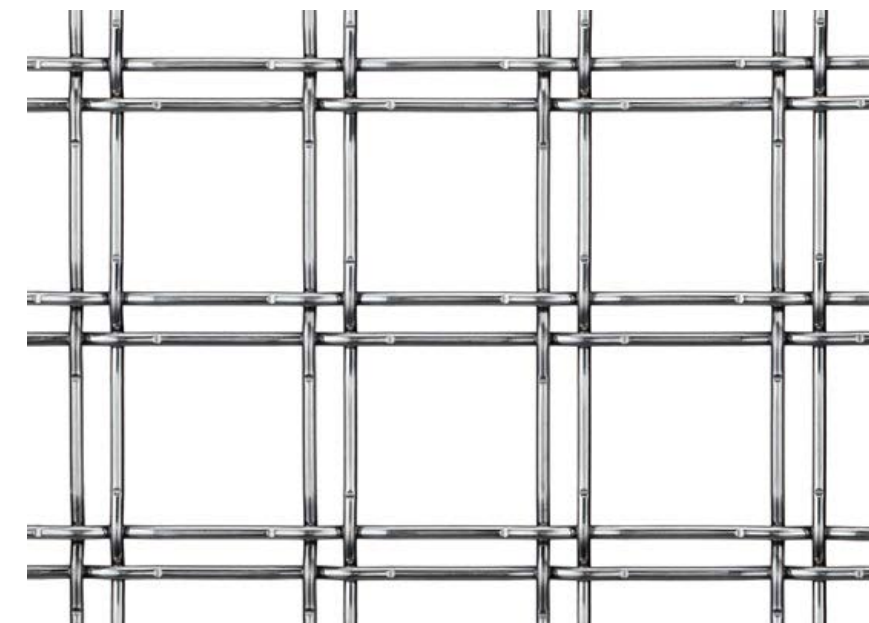
WVF - VINYL / FIBER GLASS WINDOWS



MikronBlend  
Adobe

METAL MESH FENCE / GATE

DKM, FRM, MMF



Banker Wire Architectural Mesh





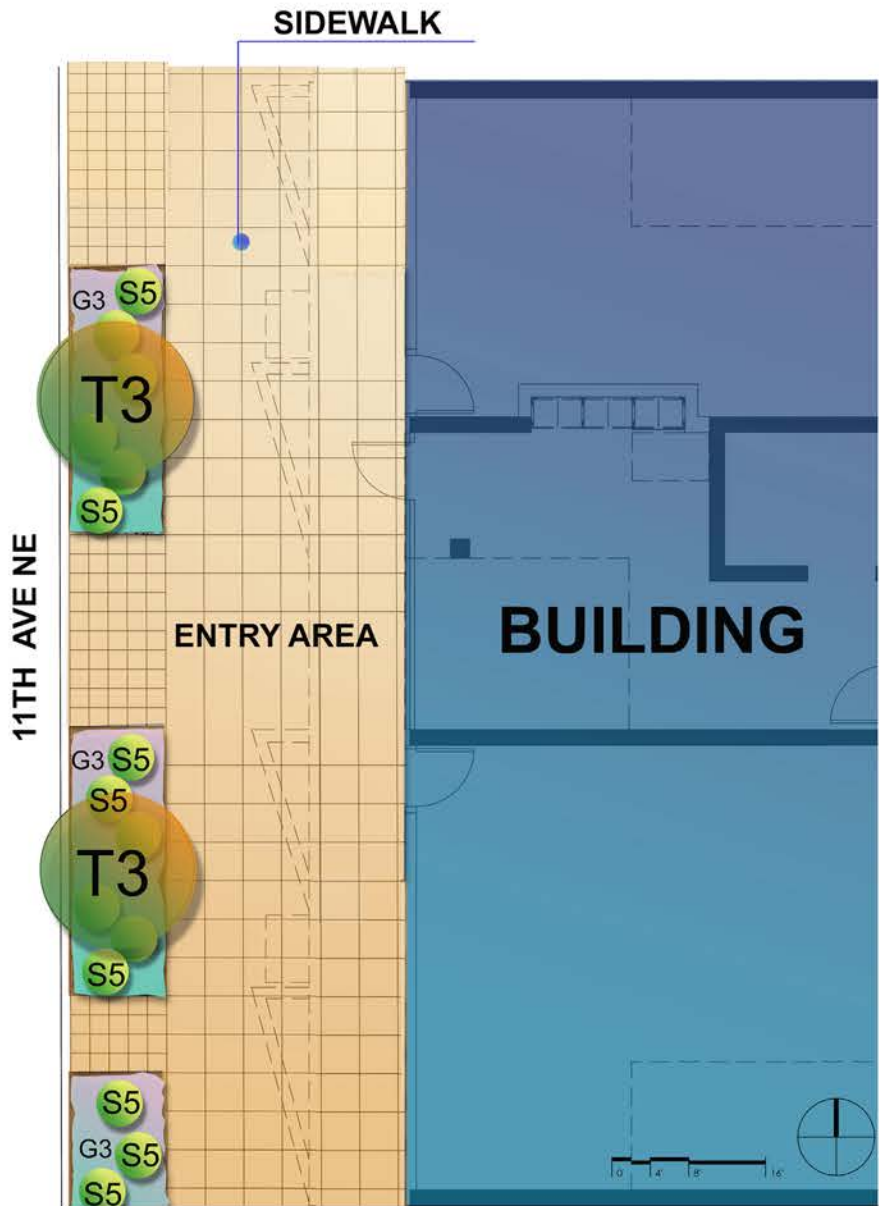
T3: NATIVE FLAME  
AMERICAN HORNBEAM



S5: CAVATINE ANDROMEDA



G3: BLUE FESCUE



STREETSCAPE DESIGN & PLANTING PLAN



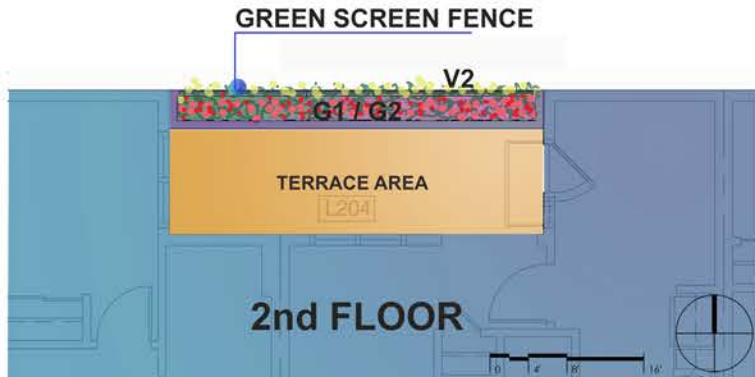
G1: PINK HEATH



G2: CORAL BELLS



V2: CLIMBING JASMINE



GREEN SCREEN FENCE

TERRACE PLANTER PLANTING PLAN

Green Factor Worksheet*		Planting Area		TOTAL**
	Streetscape Area	Roof Garden Area		
A1	square feet	0	0	0
A2	square feet	128	0	128
A3	square feet	0	0	0
B1	square feet	128	0	128
B2	# of plants	15	119	134
B3	# of trees	0	2	2
B4	# of trees	2	0	2
B5	# of trees	0	0	0
B6	# of trees	0	0	0
B7	# of trees	0	0	0
C1	square feet	0	0	0
C2	square feet	0	1228	1228
D	square feet	0	892	892
E	square feet	0	0	0
F1	square feet	0	0	0
F2	square feet	0	0	0
G	square feet	0	0	0
H1	square feet	480	1428	1908
H2	square feet	0	0	0
H3	square feet	480	0	480
H4	square feet	0	0	0

Green Factor Score Sheet		SEATTLE green factor	
Project title:	enter sq ft of parcel	6,000	0.405
Parcel size (enter this value first):	enter sq ft of parcel	6,000	0.405
Landscape Elements**			
Totals from GF worksheet:		Factor	Total
A. Landscaped areas (select one of the following for each area)			
1. Landscaped areas with a soil depth of less than 24"	enter sq ft	0.1	-
2. Landscaped areas with a soil depth of 24" or greater	enter sq ft	0.6	76.8
3. Bioretention facilities	enter sq ft	1.0	-
B. Plantings (credit for plants in landscaped areas from Section A)			
1. Mulch, ground covers, or other plants less than 2' tall at maturity	enter number of plants	0.1	13
2. Shrubs or perennials 2'-at maturity - calculated at 12 sq ft per plant (typically planted no closer than 18" on center)	enter number of plants	0.3	402
3. Tree canopy for "small trees" or equivalent (canopy spread 8' to 12') - calculated at 75 sq ft per tree	enter number of plants	0.3	45
4. Tree canopy for "medium trees" or equivalent (canopy spread 12' to 20') - calculated at 150 sq ft per tree	enter number of plants	0.3	90.0
5. Tree canopy for "large trees" or equivalent (canopy spread 20' to 30') - calculated at 250 sq ft per tree	enter number of plants	0.4	-
6. Tree canopy for "very large trees" or equivalent (canopy spread 30' to 40') - calculated at 350 sq ft per tree	enter number of plants	0.4	-
7. Tree canopy for preservation of large existing trees with trunks 6" or more in diameter - calculated at 200 sq ft per tree	enter number of plants	0.8	-
C. Green roofs			
1. Over at least 2" and less than 4" of growth medium	enter sq ft	0.4	-
2. Over at least 4" of growth medium	enter sq ft	0.7	858.6
D. Vegetated walls			
1. Vegetated walls	enter sq ft	0.7	624.4
E. Approved water features			
1. Permeable paving	enter sq ft	0.7	-
2. Permeable paving over at least 24" of soil or gravel	enter sq ft	0.5	-
F. Structural soil systems			
1. Structural soil systems	enter sq ft	0.2	-
G. Bonuses			
1. Drought-tolerant or native plant species	enter sq ft	0.1	190.8
2. Landscaped areas where at least 50% of annual irrigation needs are met through the use of harvested rainwater	enter sq ft	0.2	-
3. Landscaping visible to passersby from adjacent public right of way or public open spaces	enter sq ft	0.1	45
4. Landscaping in food cultivation	enter sq ft	0.1	-
Green Factor worksheet total:			2.405

GREEN FACTOR CREDITS (0.405 > 0.3)



LOTUS LANDSCAPE DESIGN





G1: PINK HEATH



S2: PURPLE GEM RHODODENDRON



T1: LACELEAF JAPANESE MAPLE



S5: YUCCA



S4: HEBE 'MOKEAN'



G2: CORAL BELLS



CURVE PLANTER IMAGE



ROOF GARDEN IMAGE



CURVE DECK IMAGE



FENCE WITH CLEMATICS



S3: RHODODENDRON 'PJM'



S1: DWARF HEAVENLY BAMBOO

ROOF GARDEN DESIGN & PLANTING PLAN





Seattle Municipal Code, Land Use Regulations:  
(The following are applicable to all three alternative schemes)

Chapter 23.41 Early Project Implementation

012.B Development Standard Departures

- Departures may be granted from any Land Use Code standard or requirement, except for the following: resid. density limits, Floor Area Ratios, max. size of use, structure height, storage of solid waste containers, noise and odor stds., reqs. For streets, alleys, and easements per . 23.53, definitions, and measurements.  
*NO DEPARTURES REQUESTED.*

Chapter 23.47A Commercial

004 Permitted and Prohibited Uses

- Residential uses in mixed use development permitted outright  
*UPPER FLOOR RESIDENTIAL AND GROUND FLOOR NON-RESIDENTIAL (11TH AVE. NE) PROPOSED*

005 Street Level Uses

- C.2. Residential Uses may not occupy more than 20% of the street-level street facing facades when facing an arterial  
*NO RESIDENTIAL USES AT GROUND FLOOR*

008 Street-Level Development Standards

- A.1. Applies to structures that contain residential uses in C zones.
- A.2.b. Blank segments of the street-facing façade between 2’ & 8’ above the sidewalk may not exceed 20’ wide  
*NO BLANK FACADES*
- A.2.c. The total blank façade segments may not exceed 40% of the width of the façade of the structure along the street
- A.3 Street-level facing facades must be located within 10’ of the property line, unless as otherwise approved  
*STREET-LEVEL FACING FAÇADE IS 6’ BACK FROM STREET LOT LINE*
- B.2 60% of the street facing façade between 2’ & 8’ shall be transparent ; view into space, or in live work units into 30” deep display windows  
*CONTINUOUS STOREFRONT, EXCEPT AT STAIR, APPROX. 80-85% TRANSPARENT*
- B.3 Nonresidential uses must extend an average of at least 30’ and a minimum of 15’ except if the depth requirements would result in a space greater than 50% of the structures footprint  
*30’ AVERAGE AND 15’ MINIMUM PROVIDED*
- B.3.b Street level non residential uses shall have a floor to floor height of at least 13’  
*13’ FLR TO FLR PROPOSED*
- D.1 At least one residential use shall have a visually prominent pedestrian entry  
*MAIN RESIDENTIAL ENTRY IS VISUALLY PROMINENT*

012 Structure Height:

- A.1 The maximum height is 65' per Land Use Map
- C.2 ...open railings, parapets, and fire walls may extend up to 4’-0” above the maximum height.  
*PARAPETS PROPOSED TO EXTEND ABOVE MAX. HEIGHT*
- C.4 Rooftop features including elevator and stair penthouses & mechanical equipment may not exceed 25% of the roof area.

- C.4.F Rooftop features including elevator and stair penthouses & mechanical equipment may extend up to 16’ above applicable height limit

013 Floor Area Ratio

- A.3 Above grade parking within or covered by a structure must be included in FAR calculations.
- C. Maximum FAR within SAOD: Mixed-use residential and non-residential structure: 5.75  
*3.75 – 4.25 FAR PROPOSED*
- D. Gross floor area below grade not counted against FAR

014 Setbacks:

*NONE REQUIRED*

016 Landscaping and Screening Standards

- A.2 Landscaping must achieve a Green Factor of .30 for any new structure over 4 units
- B.1 Street trees are required per SDOT, existing trees count toward the requirement

018 Noise Standards:

*NOT APPLICABLE*

020 Odor Standards:

- A. Venting of odors, vapors, smoke, etc. shall be 10’-0” above the finished sidewalk grade, and shall be directed away to the extent possible from residential uses within 50’-0”.

022 Light and Glare Standards:

- A. Exterior lighting shall be shielded from adjacent uses.
- B. Interior lighting in parking garages shall be shielded.

024 Amenity Areas

- A. Residential amenity areas of 5% of the total gross residential floor area including, but not limited to, decks, balconies, terraces, roof gardens, plazas, courtyards, play areas, or sports courts
- B.1 All residents must have access to at least one amenity space
- B.2 Amenity spaces may not be enclosed
- B.4 Common amenity areas must have a minimum horizontal dimension of 10’ and be a minimum of 250 sq. Ft.
- B.6 Private balconies must have a minimum horizontal dimension of 6’ and be a minimum if 60 sq. ft.  
*ALL COMMON AMENITY AREA PROVIDED AT ROOF TERRACE: 1,000 TO 1,150 SF REQUIRED; SOME PVT. PATIO AREAS PROVIDED ON L2*

030 Required Parking and Loading

- A. Parking required per 23.54.015
- B. Loading berths may be required per 23.54.035

032 Parking Location and Access

- A. Access to parking  
*PARKING ACCESSED FROM ALLEY*
- 033 Transportation Concurrency
- All uses shall meet the transportation concurrency level-of-service per chapter 23.52

Chapter 23.53 Requirements for Streets, Alleys, and Easements

015 Improvement Requirements for Existing Streets in Residential and Commercial Zones

- Street improvements required per SDOT standards

015 Alley Improvements in all zones

- Alley improvements required per SDOT standards  
*2’ DEDICATION PROVIDED AT ALLEY*

035 Structural Building Overhangs

- A.1 8’ vertical from sidewalk min.
- A.2 1’ horiz, 2’-6” ht., projection for architectural , or decorative features – eaves, etc.
- A.4 window bays/balconies – 8’ above sidewalk, max. 3’ horiz. Projection, 50% open area, 15’ max. length, 2’ separation (see additional specific requirements)  
*STRUCTURAL BUILDING OVERHANGS PROPOSED ON 11TH AVE. NE AND AT ALLEY*

Chapter 23.54 Quantity and Design Standards for Off Street Parking

015 Required Parking

- A. Min. parking per SLUC 23.54.015,, Tables A and B, except as modified in this section
- K. Bicycle parking required at 1 stall per 4 units for multi-family structures'
- Table A, PARKING FOR NONRESIDENTIAL USES:  
*NONE REQUIRED IN SAOD*
- Table B, PARKING FOR RESIDENTIAL USES:  
*NONE REQUIRED IN SAOD*
- Table E, PARKING FOR BICYCLES:
- General Sales and Services and Eating and Drinking Establishments – 1/12,000 sf long term,1 /4,000 sf short term; Multi-family – 1 /4 units

030 Parking Space Standards

- B.1A minimum medium stalls for residential use (<5 stalls provided))
- B.2 75% large stalls for nonresidential (<10 stalls provided)

040 Solid waste and recyclable materials storage and access

- Table A – 26-50 units - 375 square feet; 0-5,000 sf non-residential – 82 sf  
*40 RESIDENTIAL UNITS PROPOSED PLUS < 5,000 SF OF NON-RESIDENTIAL USE – 457 SF PROVIDED*



