

QA 14



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PROJECT SUMMARY

Address: 2249 / 2253 14th Ave W.
 Seattle, WA 98112
 DPD Project Number: Land Use #: 3015546
 Construction #: 6366942
 Developer: New Core Development
 Applicant: Workshop AD
 Contact: Steve Bull, Workshop AD
 Zoning: Lowrise 3 LR-3

Project Description:

QA 14 is a five unit townhouse development located at 2249 / 2253 – 14th Avenue West. The site is zoned LR-3 and fronts 14th Ave W along its eastern property line. The site slopes steeply from the street down to the western rear property line with an approximate drop of 24 feet in 105 feet. To the west is a C1-40 zone along the main north-south running arterial 15th Ave W. Across 14th Ave W is a continuation of the LR-3 zone. As the zoning reflects, the project is situated in a context that is varied in development scale, use, and density. Development on 14th Ave W ranges from modest bungalows to three story multi-family buildings to a large six story apartment building directly across the street from the subject property. To the west and downhill are residential, commercial, and low hazard industrial buildings accessed from 15th Ave W. These buildings also have a large range of scale. It is likely that future development to the current development standards along 14th Ave W and 15th Ave W will transform the adjacencies of this proposed project.

DEVELOPMENT STATISTICS SUMMARY

Lot Size 6565 SF
 FAR 1.3* Meeting 23.45.510.C.
 Allowable GFA 8535 SF
 Proposed GFA 8530 SF
 Parking Stalls 5

The adjacent properties are: a two story residential building to the south; a one story residential building to the north; one and two story commercial / residential buildings to the west and a six story apartment building across 14th Ave W.

Lower Level GFA 1477 SF (Rear Units)
 Parking Level GFA 1751 SF (Rear Units)
 754 SF (Front Units)
 Street Level GFA 1812 SF (Rear Units)
 1180 SF (Front Units)
 Upper Level GFA 1504 SF (Front Units)
 Stair Penthouse Landings 39 SF (Rear Units)
 Stair Penthouse Landings 13 SF (Front Units)
 Total GFA 8530 SF

The design proposal responds to four primary considerations.

1. Provide two street facing townhomes that reflect the scale and development patterns of the pedestrian scaled 14th Ave W. This is achieved with a clear delineation of unit massing, connection and transparency between the primary living levels to front patios along the sidewalk edge, and a clear front porch entry for each townhome.
2. Provide an elevated courtyard that is shared by all townhomes, provides access to the main entries of the three townhomes on the western side of the property, and provides a central identity to the project. This outdoor room partially screens the drive aisle and parking garages below.
3. Create a strong visual connection between the sidewalk and the courtyard by consolidating pedestrian and vehicular movement into one volume carved through the middle of the building.
4. Take advantage of expansive western views with strategically placed window openings and allow access to roof top patios through stair penthouses.

Other project features include:

- Private roof top patios for all dwelling units.
- Highly developed native landscape.
- Concealed parking within each townhouse.
- Concealed and easily accessible screened trash/compost/recycling.

DESIGN GUIDELINES

		ANNOTATIONS	RESPONSE
A-1	Respond to Site Characteristics	Site slopes steeply downward to the west where views can be maximized. Structure should be stepped down to the west to avoid unnecessary bulk toward the street. Site may contain existing mature trees. Please research size, genus and species of tree to verify if tree is considered exceptional per SMC 25.11 and DR 16-2008.	Building massing complies with height limit requirements and steps down slope towards western edge. No exceptional trees identified per DR 16-2008.
A-2	Streetscape Compatibility	Streetscape includes a mix of large and small multi-family structures with few remaining single family residences.	Existing context includes a number of different street edge conditions. Given the topography of the area, structures on the opposite side of the street are above street level and structures on the same side of the street are often below sidewalk level. The proposed project creates a street front massing consistent with the newer development along this street edge.
A-3	Entrances Visible from the Street	Units facing each street front should have an entrance facing the street. All other units not facing a street front should be accessed by a clearly identifiable path from the street right-of-way.	The two street facing units have a front porch and entry facing the street. A well defined elevated walkway leads from the street to an interior courtyard elevated above the drive aisle below. This common exterior space provides access to the units at the western side of the property. This courtyard is just slightly above the sidewalk level. The walkway will incorporate a lighted address marker with units numbers for all courtyard townhouses. The street fronting townhouses are setback seven feet from the property line to provide a wide walkway with adjacent private patio for each townhouse. The facade of the townhouses are clad in cement board lap siding and board on board siding with substantial transparent window openings facing the street per 23.45.529 Design Standards.
A-4	Human Activity		
A-5	Respect for Adjacent Sites	Particularly important, great care should be exercised in building design and orientation to minimize disruption of the privacy and outdoor activities of residents in adjacent buildings (existing and proposed). Primary buildings of concern include the existing structure to the north and south. Consideration should be given to placement of building windows and open spaces to minimize intrusion on existing windows and open spaces	The main levels of the existing buildings to the south and north sit below the sidewalk level due to the steeply sloping existing topography. Thus, these buildings sit below much of the proposed development. The proposed development breaks the massing of the front and rear townhouses to allow for ample solar access and mitigate privacy issues between side yard facades. The majority of the window openings and the central courtyard space look over the rooflines of the south and north neighboring buildings to the western view.
A-6	Transition Between Residence and Street	Consider use of terraced retaining walls and native vegetation within the street setback to create semi-private space for the residences facing the arterial.	The residences at the street will use changes in grade, low concrete retaining walls, vegetation of various heights, porches, and patios to define a semi-private space between the street and the the residence.
A-7	Residential Open Space		The central courtyard is conceived as the heart of the project. It covers the drive aisle below. As a common amenity area all residences will have access to this space as it provides clear walkways to unit entries. The courtyard is configured to open to the south and north to provide solar access and will be connected to the street with a well defined walkway that is partially covered. The courtyard will be landscaped to provide hardscaped use areas, soft scape, and ornamental landscaping. This elevated platform also covers the drive aisle below and mitigates the impact of this ubiquitous condition. Each townhouse unit has access to roof top private open space. The two townhouses at the street have access to front patios that will be mainly hardscape with soft perimeter plantings. The three western townhouses will have access to the rear yard at grade. Both the south and north side yards will be landscaped with low ground cover and shrubs. All plantings will be native species.
A-8	Parking and Vehicle Access	Parking access will be a challenge in the steeply sloped site.	Parking will be provided within each townhouse. The drive aisle is accessed by a sloping ramp from the street. The ramp is proposed to be 16% with top and bottom transitions. The greater than 15% ramp slope is needed to deal with the steeply sloping site, hit economical floor levels that respond to the existing topography and height limits and establish an adequate main floor level just above sidewalk elevation.
A-9	Location of Parking on Commercial Street Fronts		NA
A-10	Corner Lots		NA

DESIGN GUIDELINES

B-1	Height, Bulk, and Scale Compatibility		The street facing townhomes have been clearly accentuated to identity each unit. The main floor level of these units has been positioned just above the sidewalk level to promote a positive unit to street edge connection. The parapet at the central massing portion of the street front facade, which partially covers the drive ramp and rear unit pedestrian access walkway, has been kept low with respect to the adjacent higher parapet walls used as roof top deck guardrails. The courtyard space of the project creates a clear massing separation between the front and rear units, while maintaining an appropriate scale as a common amenity area with slatted side walls. This space is intended to be an outdoor room and will create greater emphasis on a shared and cohesive project. Further, the courtyard covers and mitigates the impact of the drive aisle below. The individual entries of each townhome will be clearly articulated with entry canopies. The overall building massing, bulk, and scale of the proposed development is driven by the challenging steeply sloping site, general parking and access requirements, and a
C-1	Architectural Context		See SDR document
C-2	Architectural Concept and Consistency		See SDR doc - page 1 for design concept and intent.
C-3	Human Scale		
C-4	Exterior Finish Materials	High quality durable materials should be utilized on facades facing pedestrian environments and adjacent residential structures. Where possible incorporate materials found within the neighborhood context.	Painted cement board siding, typical to contemporary development in the neighborhood, is the primary material for the project. Cast in place concrete retaining walls mitigate the steeply sloping site and help to define street front landscaped areas. Metal and wood decking are proposed for the pedestrian walkway and elevated courtyard space. Metal and wood guardrails and screen walls thread through the development for consistency in material and spatial language.
D-1	Pedestrian Open Spaces and Entrances		A partially covered generous walkway is provided from the sidewalk to the courtyard. This walkway and drive ramp overall width creates an 14 foot 8 inch wide void through the center of the street front massing that provides visual continuity to the courtyard from the street. The street front townhouse unit entries have cast in place concrete steps and pathway to provide access from sidewalk direct to front door. Each townhouse has a steel canopy at the entry door to provide coverage and unit articulation.
D-2	Blank Walls		Landscaping and regular window openings mitigate any affects of blank wall surfaces.
D-3	Retaining Walls	If retaining walls are used, consider multiple low level retaining wall terraces to complete grade transition.	Low cast in place concrete retaining walls provide a transition from sidewalk to street front townhouses and establish defined front patios. Other walls are cast in place concrete structural foundation walls along the side yard and rear yard setback lines. Because of the steeply sloping site, these side yard concrete walls are up to 10 feet tall along the north edge. This wall height is mitigated by combining cement board siding transitions with landscaping in the side yard.
D-5	Visual Impacts of Parking Structures		Parking is located entirely within each townhouse. Central raised courtyard space partially covers drive aisle.
D-6	Screening of Dumpsters, Utilities and Services Areas	Incorporate solid waste and recycling storage space into overall design. Space should be located off the street front and screened.	Trash and recycling will be located adjacent to the drive interior drive aisle, 12 sf for each townhouse per code. This is off the street and fully screened.
D-7	Pedestrian Safety	Lighting will be important on stairway access from the front and along the edges.	Walkway and building lighting will provide illumination at all pedestrian walkways and open spaces. Refer to lighting plans in SDR document.
D-8	Treatment of Alley		NA
D-9	Commercial Signage		NA
D-10	Commercial Lighting		NA
D-11	Commercial Transparency		NA
D-12	Residential Entries and Transitions		All residential entries are clearly identified.
E-1	Landscaping to Reinforce Design Continuity with Adjacent Sites	Retain existing mature landscaping where possible on perimeter of site to maintain privacy for adjacent sites.	Landscaping at the sidewalk edge and front yards follows typical types and scale found at adjacent properties. Sideyards will be landscaped with ground cover and shrubs.
E-2	Landscaping to Enhance the Building and/or Site	Utilize landscaping green factor zoning requirements to enhance the building and or site by creating visual barriers to adjacent structures or creating inviting usable spaces in the front setback and in the interior separation.	Proposed development to comply with required green factor score. A elevated landscaped courtyard is provided in the center of the project and is connected to all townhouses. The street front townhouses have front yard patios.
E-3	Landscape Design to Address Special Site Conditions	Please incorporate lighting plan into proposed landscape plans.	See SDR Doc for lighting and landscape plans.

LAND USE CODE SUMMARY

LAND USE CODE SUMMARY	
Site Location	2249 - 2253 14th Ave W
DPD Project Number	
Parcel Numbers	2771601330 2771601335
Lot Area	6565.0
Zoning	LR3
Overlays	Airport Outer Approach Surface
ECA	Potential Slide Area, Known Slide Area, Abandoned Landfill
SEPA	Yes
Frequent Transit	Yes

MULTIFAMILY CODE SECTION	COMMENTS
23.45.504 Permitted and prohibited uses	Proposed: Residential Use permitted outright
23.45.510 Floor area ratio (FAR) limits Per Table A 23.45.510 FAR limit for Townhouses in LR3 Zone Outside Urban Centers is 1.1 or 1.3 if the project meets standards of subsection 23.45.510.C. Allowable GFA 8535	Proposed: Project will apply standards of 23.45.510.C and utilize an FAR of 1.3. FAR within allowable limits. Total GFA is 8530 and is conforming.
23.45.510.C 1. Applicants shall make a commitment that the structure will meet green building performance standards by earning a Leadership in Energy and Environmental Design (LEED) Silver rating or a Built Green 4-star rating of the Master Builders Association of King and Snohomish Counties, except that an applicant who is applying for funding from the Washington State Housing Trust Fund and/or the Seattle Office of Housing to develop new affordable housing, may elect to meet green building performance standards by meeting the Washington Evergreen Sustainable Development Standards (ESDS). The standards referred to in this subsection 23.45.510.C.1 are those identified in Section 23.45.526, and that section shall apply as if the application were for new development gaining extra residential floor area. 3. Parking location if parking is provided. a. For rowhouse and townhouse developments, parking shall be totally enclosed within the same structure as the residential use, located in a structure or portion of a structure that meets the requirements of subsection 23.45.510.E.5, or located in a parking area or structure at the rear of the lot.	Proposed: Project to meet Built Green 4- Star Proposed: Parking completely enclosed within same structure as residential use.
23.45.512 Density limits—Lowrise zones Per Table A 23.45.512 Density Limits in Lowrise Zones, Townhouses in LR3 Zones are limited to 1 unit per 1,600 sf lot area.	Proposed: 5 Dwelling units. Project will apply standars of 23.45.510.C which allows unlimited density.
23.45.514 Structure height Per Table A 23.45.514 Structure Height for Lowrise Zones, Townhouses in LR3 Zones are limited to 30'. D. Exceptions for pitched roofs in LR zones that are not shed or butterfly roofs. Pitched roofs that are not shed or butterfly roofs may extend above the height limits set in Table A for 23.45.514 subject to the following limits, provided that all parts of the roofs above the height limit have a minimum slope of 6:12, except as provided in subsection 23.45.514.D.5 3. In LR3 zones, for structures subject to a 30 foot height limit, the ridge of pitched roofs on principal structures may either: a. extend up to 10 feet above the height limit, if the height exception provided in 23.45.514.F is not used, and the number of full stories above grade is limited to three; or b. extend up to 5 feet above the height limit, if the height exception provided in 23.45.514.F is used.	Proposed: Structure is conforming for height with the allowed exceptions for parapets, guardrail, and stair penthouses.

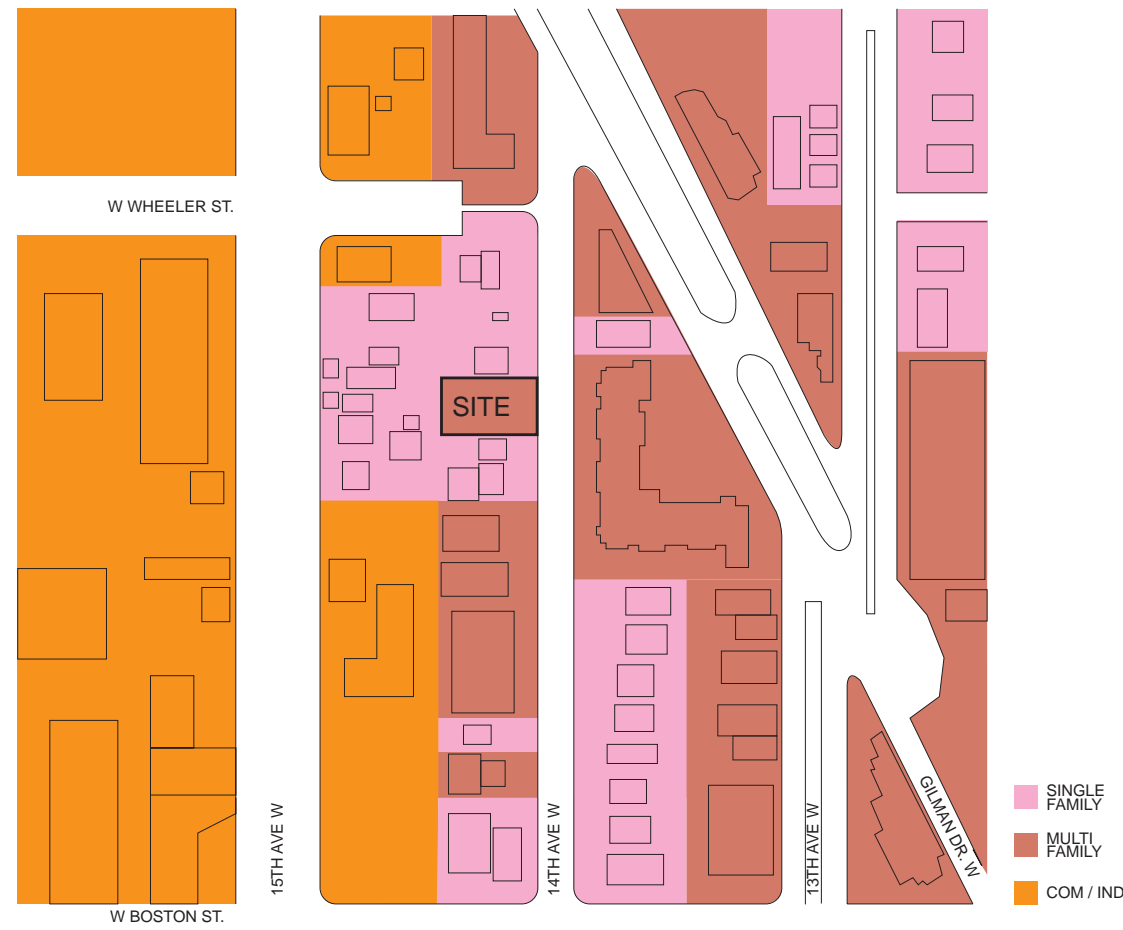
LAND USE CODE SUMMARY

<p>23.45.518 Setbacks and Separations Per Table A 23.45.518 Setbacks in LR Zones, Townhouses in LR3 Zones are required to have the following setbacks. Front: 5' min, 7' average Rear: 5' min, 7' average Side: 5' for facades less than 40ft in length Side: 7' average, 5' min. for facades greater than 40 ft in length</p>	<p>Proposed: Front setback to conform. Rear setback to conform. Side setback to conform.</p>
<p>F. Separations between multiple structures 10 feet interior facades of principal structures separated by driveway or parking aisle. Separation of principal structures separated by a driveway or parking aisle is 2 feet greater than required width of driveway or parking aisle, provided separation is not required to be any greater than 24 feet. If principal structures are separated by a driveway or parking aisle, projections that enclose floor area may extend a maximum of 3 feet into the required separation if they are at least 8 feet above finished grade.</p>	<p>Single structure - not applicable Single structure - not applicable *see email from Naomi Henri</p>
<p>H. Projection permitted in all required setbacks and separations 1. Cornices, eaves, gutters, roofs and other forms of weather protection may project into required setbacks and separations a maximum of 4 feet if they are no closer than 3 feet to any lot line.</p>	<p>Proposed: Roof and canopy projections to conform.</p>
<p>3. Bay windows and other features that provide floor area may project a maximum of 2 feet into required setbacks and separations if they are: no closer than 5 feet to any lot line; no more than 10 feet in width; and combined with garden windows and other features included in subsection 23.45.518.H.2., make up no more than 30% of the area of the facade.</p>	<p>Proposed: No bay window or garden window projections</p>
<p>J. Structures in required setbacks or separations 7. Fences. a. Fences no greater than 6 feet in height are permitted in any required setback or separation, except that fences in the required front setback extended to side lot lines or in street side setbacks extended to the front and rear lot lines may not exceed 4 feet in height. Fences located on top of a bulkhead or retaining wall are also limited to 4 feet. If a fence is placed on top of a new bulkhead or retaining wall used to raise grade, the maximum combined height is limited</p>	<p>Proposed: Fence 5 feet in rear yard + 2 ft retaining wall = 7 feet total.</p>
<p>8. Bulkheads and retaining walls. a. Bulkheads and retaining walls used to raise grade may be placed in each required setback if they are limited to 6 feet in height, measured above existing grade.</p>	<p>Proposed: Free standing site retaining walls within setback areas maximum 6 feet high.</p>
<p>23.45.522 Amenity area A. Amount of amenity area required for rowhouse and townhouse developments and apartments in LR zones. 1. The required amount of amenity area for rowhouse and townhouse developments and apartments in LR zones is equal to 25 percent of the lot area. 2. A minimum of 50 percent of the required amenity area shall be provided at ground level, except that amenity area provided on the roof of a structure that meets the provisions of subsection 23.45.510.E.5 may be counted as amenity area provided at ground level. 3. For rowhouse and townhouse developments, amenity area required at ground level may be provided as either private or common space.</p>	<p>Proposed: 3679 SF of amenity area provided. 838 sf private ground level 2321 sf private above ground 520 sf common above ground</p>
<p>Required Amenity Area 1641.25</p>	
<p>23.45.524 Landscaping standards a. Landscaping that achieves a Green Factor score of 0.6 or greater, determined as set forth in Section 23.86.019, is required for any lot with development containing more than one dwelling unit in Lowrise zones. Vegetated walls may not count towards more than 25 percent of a lot's Green Factor score.</p>	<p>Proposed: Project to conform with landscape standards / green factor.</p>
<p>23.45.526 LEED, Built Green, and Evergreen Sustainable Development Standards</p>	<p>Proposed: Project to meet Built Green 4- Star</p>
<p>23.45.527 Structure width and facade length limits in LR zones Per table A 23.45.527 Maximum Structure Width townhouses outside Urban Centers are limited to 120' B. Maximum facade length in Lowrise zones: 1.The maximum combined length of all portions of facades within 15 feet of a lot line that is neither a rear lot line nor a street or alley lot line shall not exceed 65 percent of the length of that lot line, except as specified in subsection 23.45.527.B.2</p>	<p>Proposed: Structure is conforming for structure width and length Façade length allowed: 68.2 feet' Proposed: Façade length =68.0 feet</p>
<p>23.45.529 Design standards</p>	
<p>C. Treatment of street-facing facades. C.1. Facade openings. a. At least 20 percent of the area of each street-facing facade shall consist of windows and/or doors. b. Only transparent windows count toward the requirement for facade openings in this subsection 23.45.529.C.1. Windows composed of glass blocks or opaque glass, garage doors, and doors to utility and service areas, do not count.</p>	<p>Proposed: 1110 sf street facing façade / 278 sf transparent window = 25.05% transparency</p>

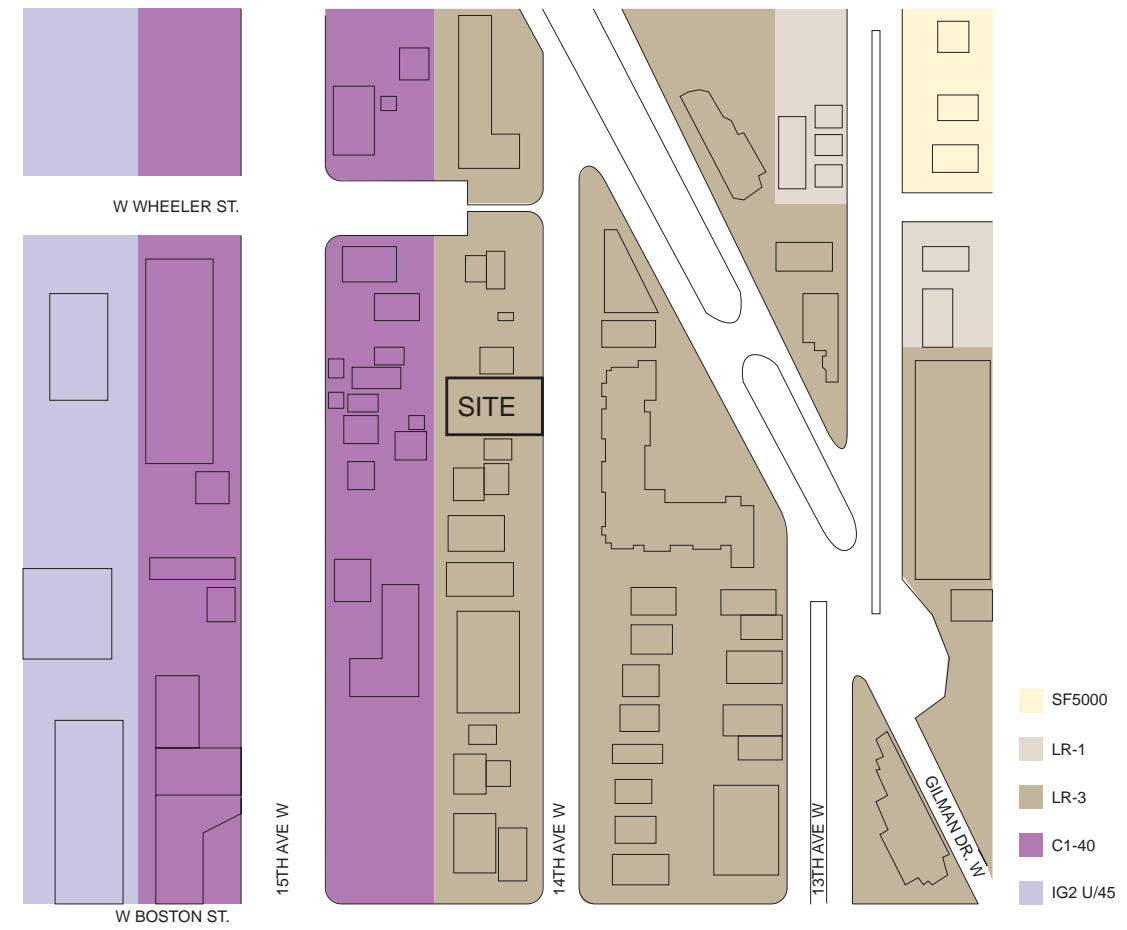
LAND USE CODE SUMMARY

<p>C.2. Facade articulation. a. If a street-facing facade or portion of a street-facing facade is not vertical, the Director shall determine whether the facade is substantially vertical and required to comply with this subsection 23.45.529.C. b. If the street-facing facade of a structure exceeds 750 square feet in area, division of the facade into separate facade planes is required (see Exhibit B for 23.45.529). c. In order to be considered a separate facade plane for the purposes of this subsection 23.45.529.C.2, a portion of the street-facing facade shall have a minimum area of 150 square feet and a maximum area of 500 square feet, and shall project or be recessed from abutting facade planes by a minimum depth of 18 inches. d. Trim that is a minimum of 0.75 inches deep and 3.5 inches wide is required to mark roof lines, porches, windows and doors on all street-facing facades. e. The Director may allow exceptions to the facade articulation requirements in this subsection 23.45.529.C.2, if the Director determines that the street-facing facade will meet the intent of subsection 23.45.529.A.1, and the intent of subsections 23.45.529.D.2, E.3, and F.4 for cottage housing developments, rowhouse developments, and townhouse developments, respectively, through one or</p>	<p>Proposed: 5 primary street facing façade planes: 2 @ 419 sf, 2 @ 39 sf (recessed 24" from front facade), 1 @ 194 sf (recessed 24" from front facade). <i>Request Director's exceptions for trim requirements through façade articulation, variation in building materials, incorporation of entry canopies, increase in quantity of windows, and interior connection to front yard patios.</i></p>
<p>F. Design Standards for townhouse developments.</p>	
<p>F.1. Building orientation. Townhouse developments shall maximize the orientation of individual units to the street by complying with one of the following conditions: a. At least 50 percent of the townhouse units shall be located so that there is no intervening principal structure between the unit and the street, unless the intervening principal structure was established under permit as of October 31, 2001, or was granted a permit on October 31, 2001 and the permit has not expired; or b. All townhouse units shall have direct access to a common amenity area meeting the requirements of Section 23.45.522 that either abuts the street or is visible and accessible from the street by a clear pedestrian pathway.</p>	<p>Proposed: Street front units are accessed directly from sidewalk. 3 units at rear of property have direct access to common amenity area accessible to all units and visible and accessible from the street by a clear pedestrian pathway.</p>
<p>F.2. A clear pedestrian pathway from the street to the entrance of each townhouse unit shall be provided. The pedestrian pathway may be part of a driveway, provided that the pathway is differentiated from the driveway by pavement color, texture, or similar technique. Signage identifying townhouse unit addresses and the directions to the unit entrance(s) from the street shall be provided.</p>	<p>Proposed: clear pathway from street to each unit provided. Signage provided.</p>
<p>F.3. Each townhouse unit, with a street-facing facade shall have a pedestrian entry on the street-facing facade that is designed to be visually prominent feature through the use of covered stoops, porches, or other architectural entry features. For townhouse units on corner lots, a visually prominent pedestrian entry is required on only one of the street-facing facades.</p>	<p>Proposed: street facing façade unit entries incorporate covered porch.</p>
<p>F.4. Architectural expression. Architectural detail or composition shall be provided to visually identify each individual townhouse unit, as seen from the public street. Design elements such as trim or molding, modulation, massing, color and material variation or other similar features may be used to achieve visual identification of individual units. Rooftop features such as dormers or clerestories, or roofline variation may be used to visually identify individual townhouse units.</p>	<p>Proposed: each unit is clearly identified.</p>
<p>23.45.536 Parking location, access, and screening</p>	
<p>A. Off-street parking spaces are required to the extent provided in Chapter 23.54, Quantity and design standards for access and off-street parking.</p>	<p>Proposed: Single curb cut to access drive ramp and parking garages enclosed within each building structure.</p>
<p>ECA - SEPA:</p>	
<p>25.09.080 Landslide-prone critical areas: geotech soils report required. Director may require adequate bonds and/or insurance and letter of certification from geotech (60 days preceding submittal) 25.09.220 Abandoned Landfill: subject to Seattle-King County Health Dept requirements (excavation and development work plan prepared by licensed engineer) to prevent damage from methane gas buildup, subsidence, and earthquake induced ground shaking.</p>	<p>Proposed: Pursuing ECA exemption with Geotechnical Engineering recommendations and over sight.</p>

ZONING & USE



Vicinity Map



Zoning Map



CONTEXT PHOTOS



multi family SF ACROSS SITE multi family SF SF SF SF SF SF SF SF

14TH AVE W - LOOKING EAST



SF multi family multi family multi family multi family SF SF SITE SF SF

14TH AVE W - LOOKING WEST

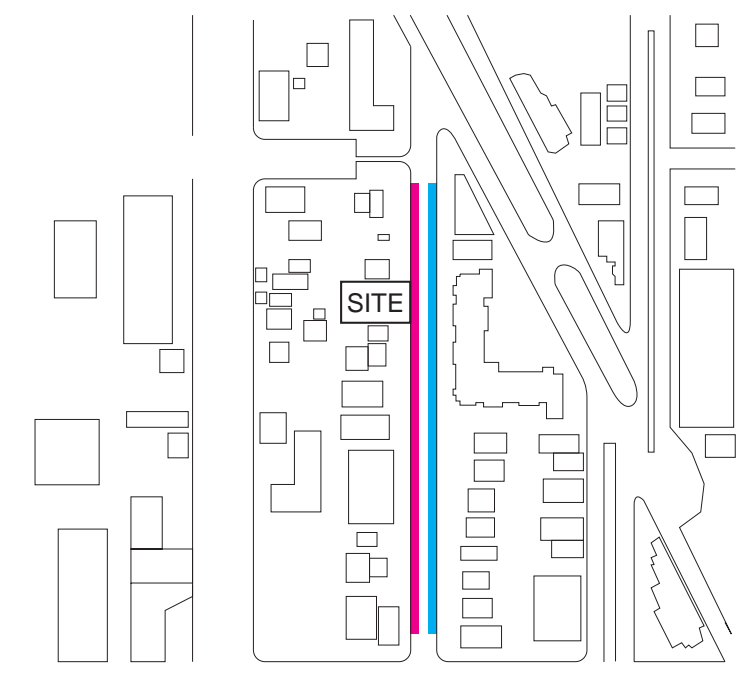
14th Avenue West

Predominate scale of buildings on east side of 14th is six story apartment building, with smaller two to three story single family and multi-family residential buildings on both the north and south ends of the street. Buildings typically are set back from the street and main floor levels are located above street level.

Predominate scale of buildings on west side of 16th is one to two story single family residences, with 3 story townhomes and apartment buildings beginning just to the south of the site. Most of these buildings are set back from the street and main floor levels are located below street level.



SITE



SITE VIEWS
CONTEXT PHOTOS

SITE

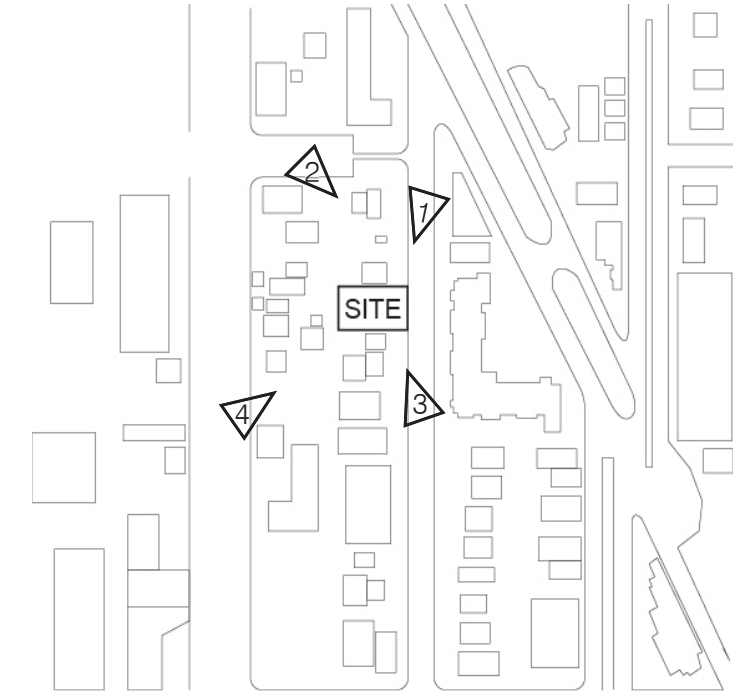


1. 14th Ave. Looking South

SITE



2. W. Wheeler St. - Looking South



3. 14th Ave. Looking North

SITE



4. 15th Ave W. _ Looking North

SITE

AERIAL VIEWS



North East Aerial



South East Aerial

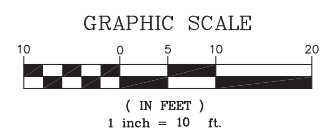
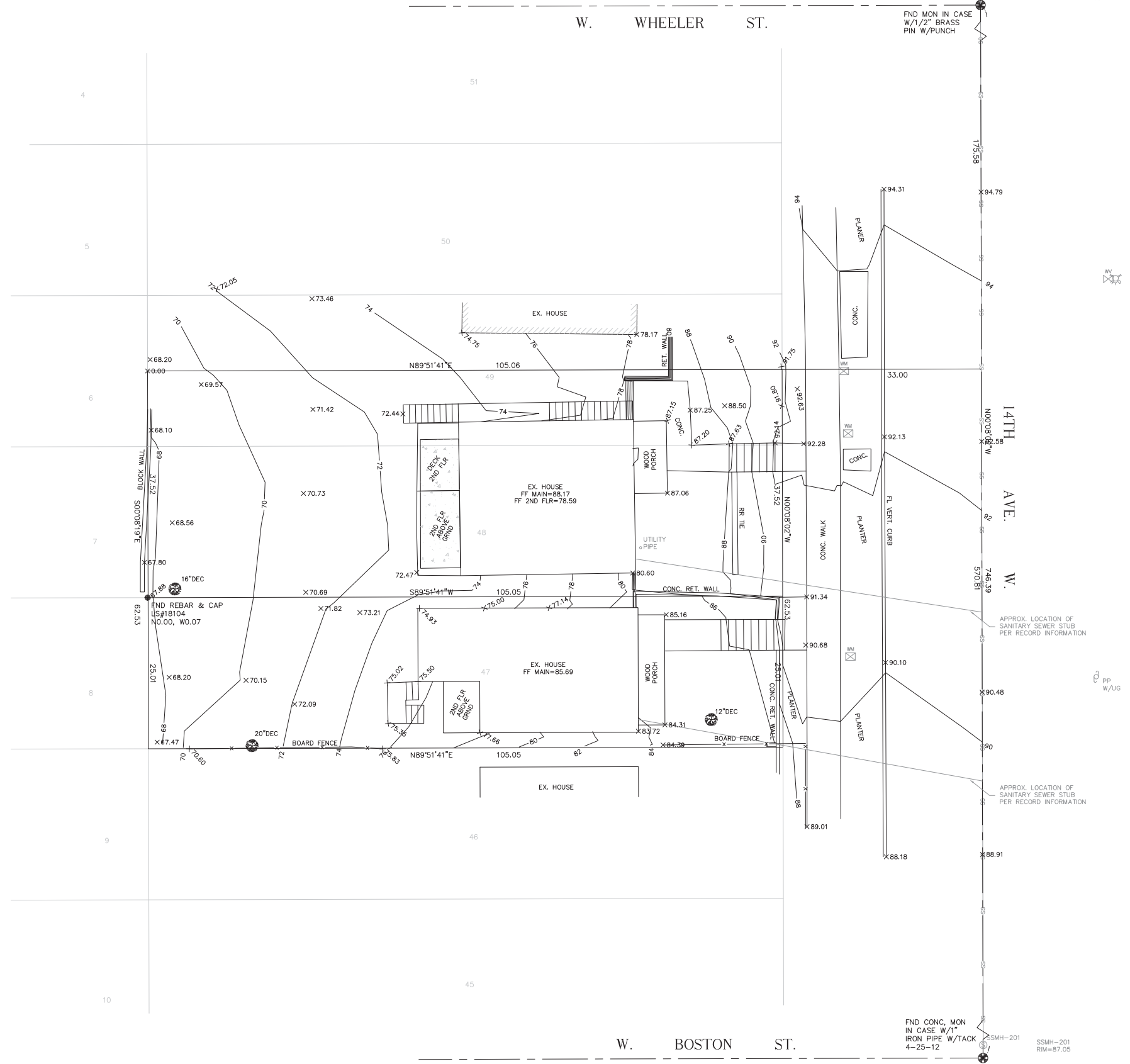
AERIAL VIEWS



North West Aerial



South West Aerial



SURVEY

TOPOGRAPHIC SURVEY
 for
DAN JENKINS

A Portion of the S.W. 1/4 of the N.W. 1/4 of
 Section 24, Township 25 North, Range 3 East, W.M.
 King County, Washington

LEGAL DESCRIPTION:

LOT 47, 48 AND THE SOUTH HALF OF LOT 49, BLOCK
 166, GILMANS ADDITION TO THE CITY OF SEATTLE, AS
 RECORDED IN VOLUME 5 OF PLATS, PAGE 93, RECORDS
 OF KING COUNTY, WASHINGTON.

SITUATE IN THE COUNTY OF KING, STATE OF
 WASHINGTON

SUBJECT TO CONDITIONS, RESTRICTIONS AND
 EASEMENTS OF RECORD IF ANY.

BENCH MARK - DATUM (NAVD 88)

2" BRASS CAP LOCATED IN THE CONCRETE SIDEWALK
 AT THE SOUTHEAST QUADRANT OF W. WHEELER ST.
 AND 15TH AVE. W.
 ELEV. = 48.89

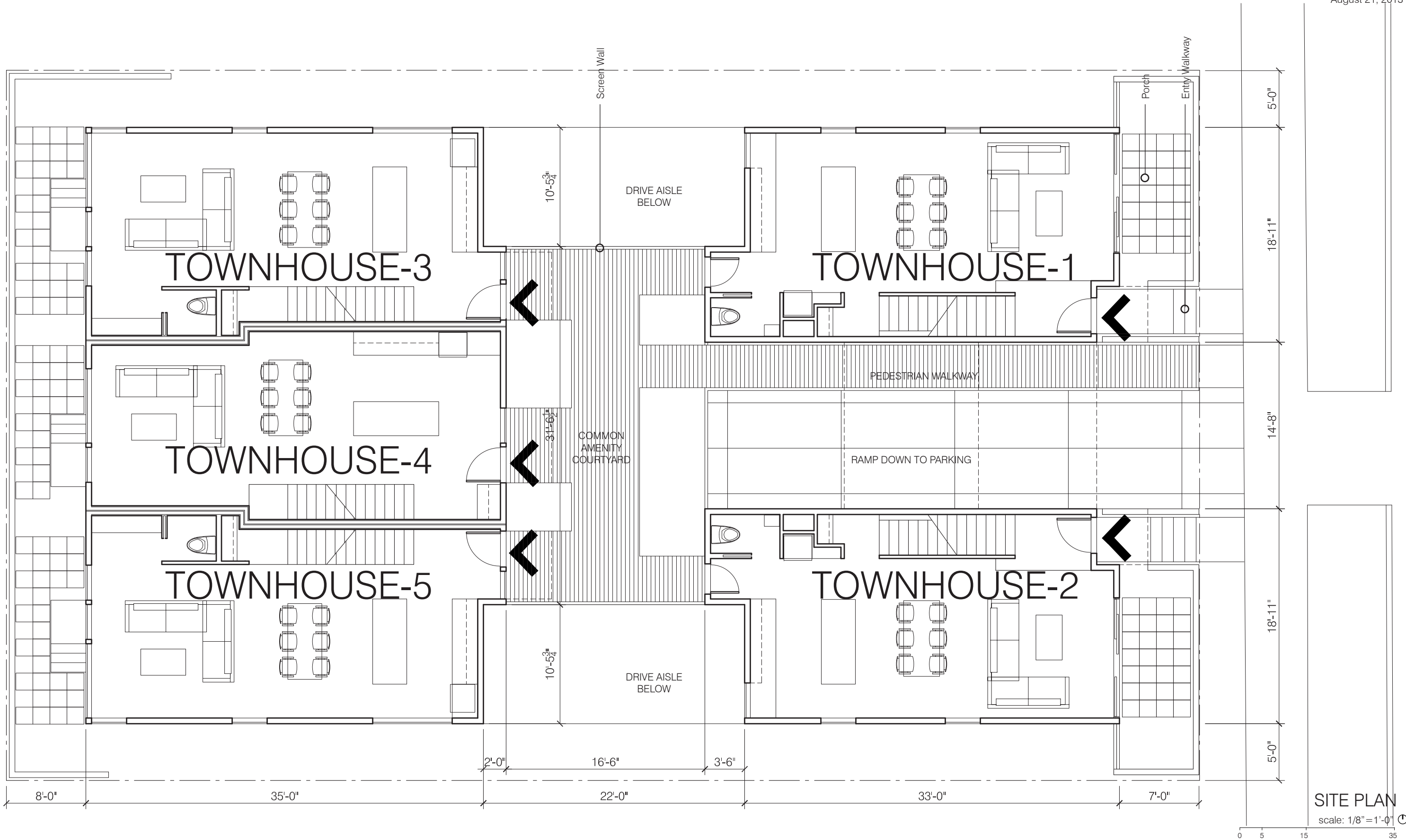
LEGEND

- FOUND PROPERTY CORNER AS DESCRIBED
- ⊙ SANITARY SEWER MANHOLE
- ⊕ WATER VALVE
- ⊗ WATER METER
- ⊕ FIRE HYDRANT
- ⊕ POWER POLE
- ⊕ GAS METER



**Tri-County
 Land Surveying Company**
 4610 200th St. S.W. Suite A
 Lynnwood, Wa. 98036 (425)776-2926 Fax: 776-2850

DRAWN BY B.H.	DATE APRIL, 2013	JOB NO. 13-032
CHECKED BY R.S.	SCALE 1" = 10'	SHEET 1 OF 1



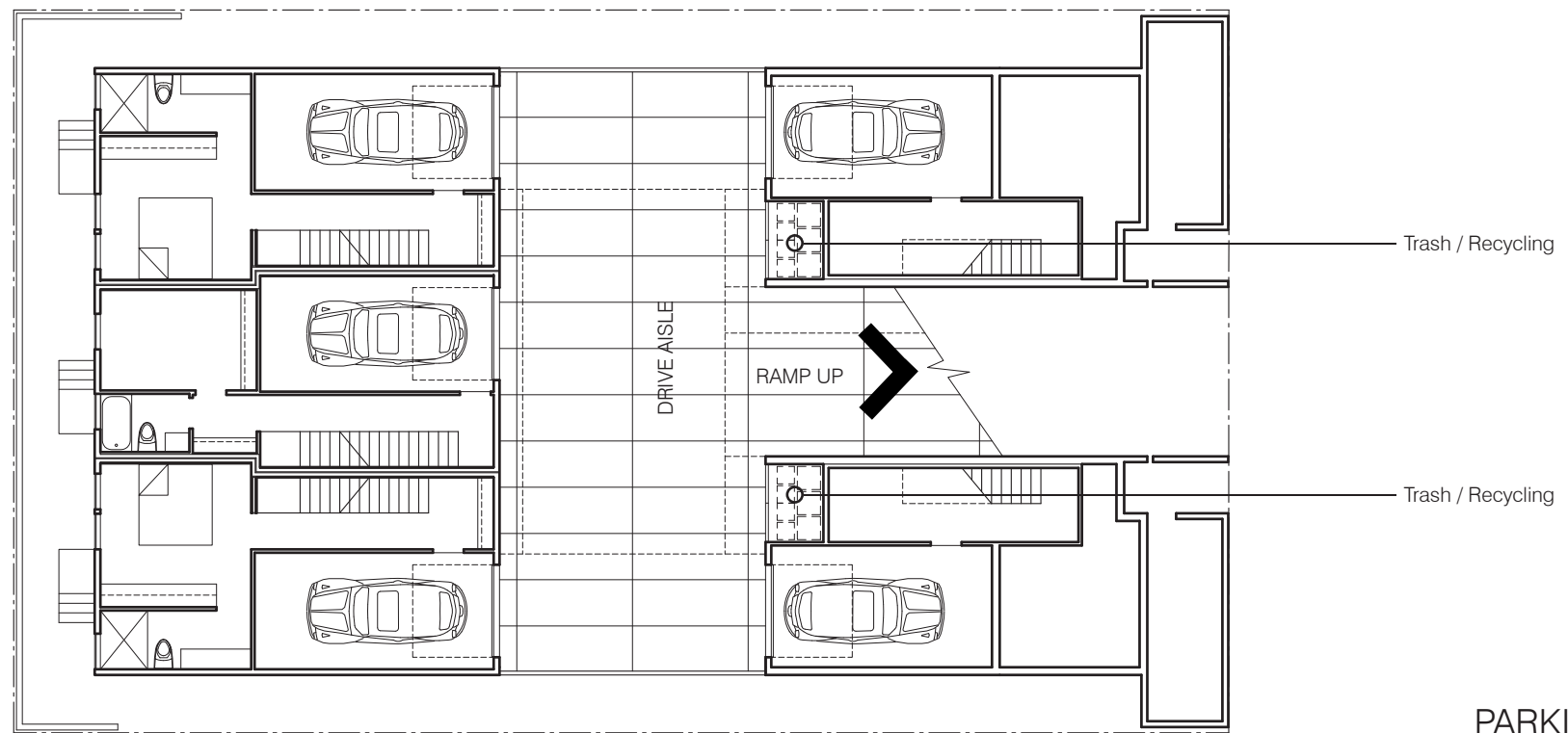
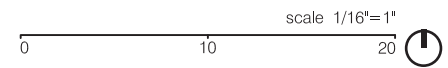
SITE PLAN
scale: 1/8" = 1'-0"



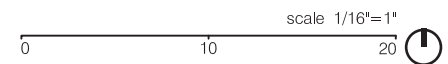
14TH AVENUE W

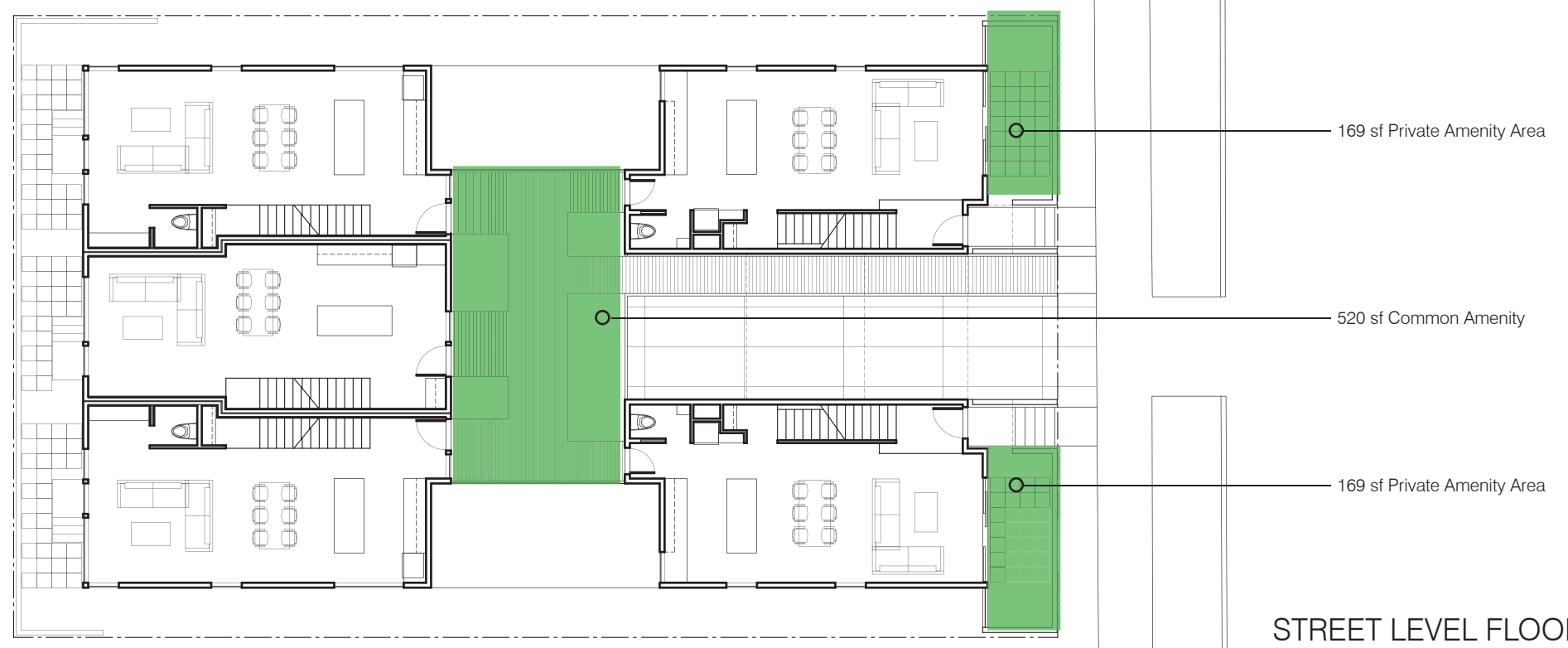


LOWER LEVEL FLOOR PLAN

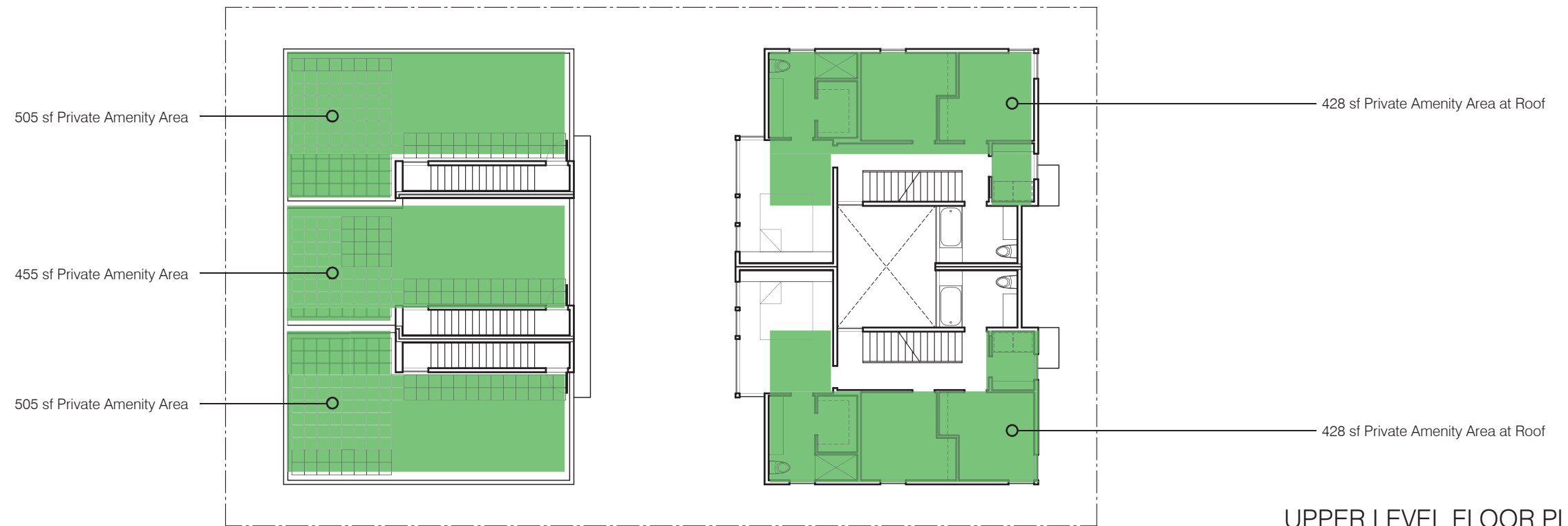


PARKING LEVEL FLOOR PLAN

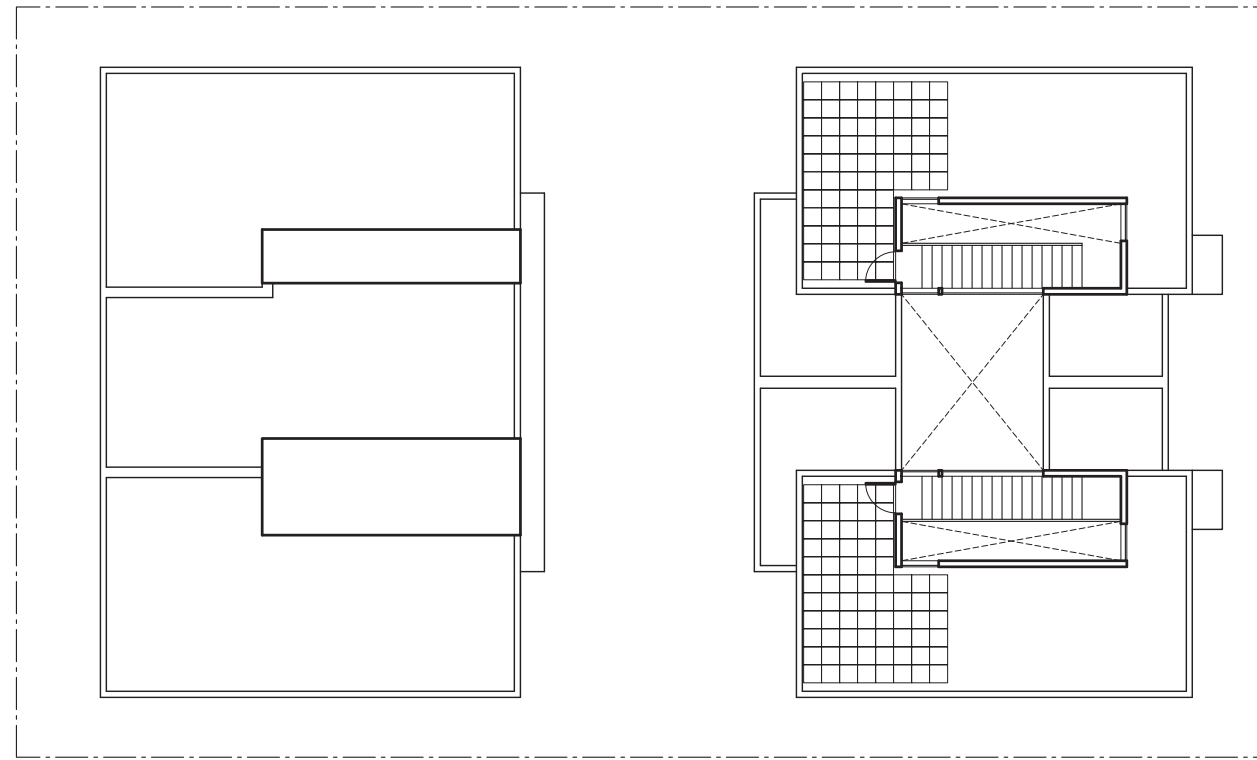




STREET LEVEL FLOOR PLAN
scale 1/16"=1"
0 10 20

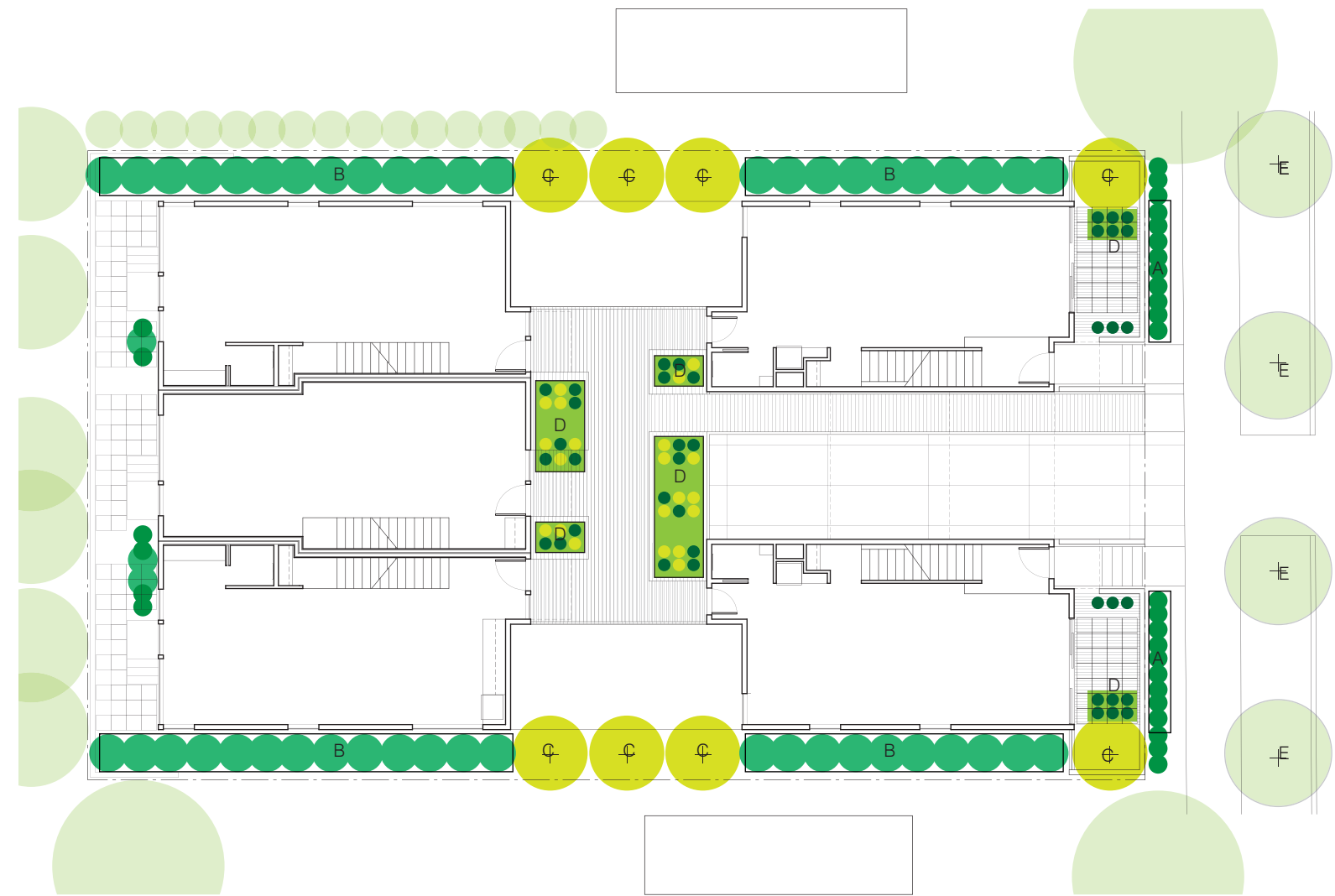


UPPER LEVEL FLOOR PLAN
scale 1/16"=1"
0 10 20



ROOF LEVEL FLOOR PLAN

scale 1/16"=1"
 0 10 20

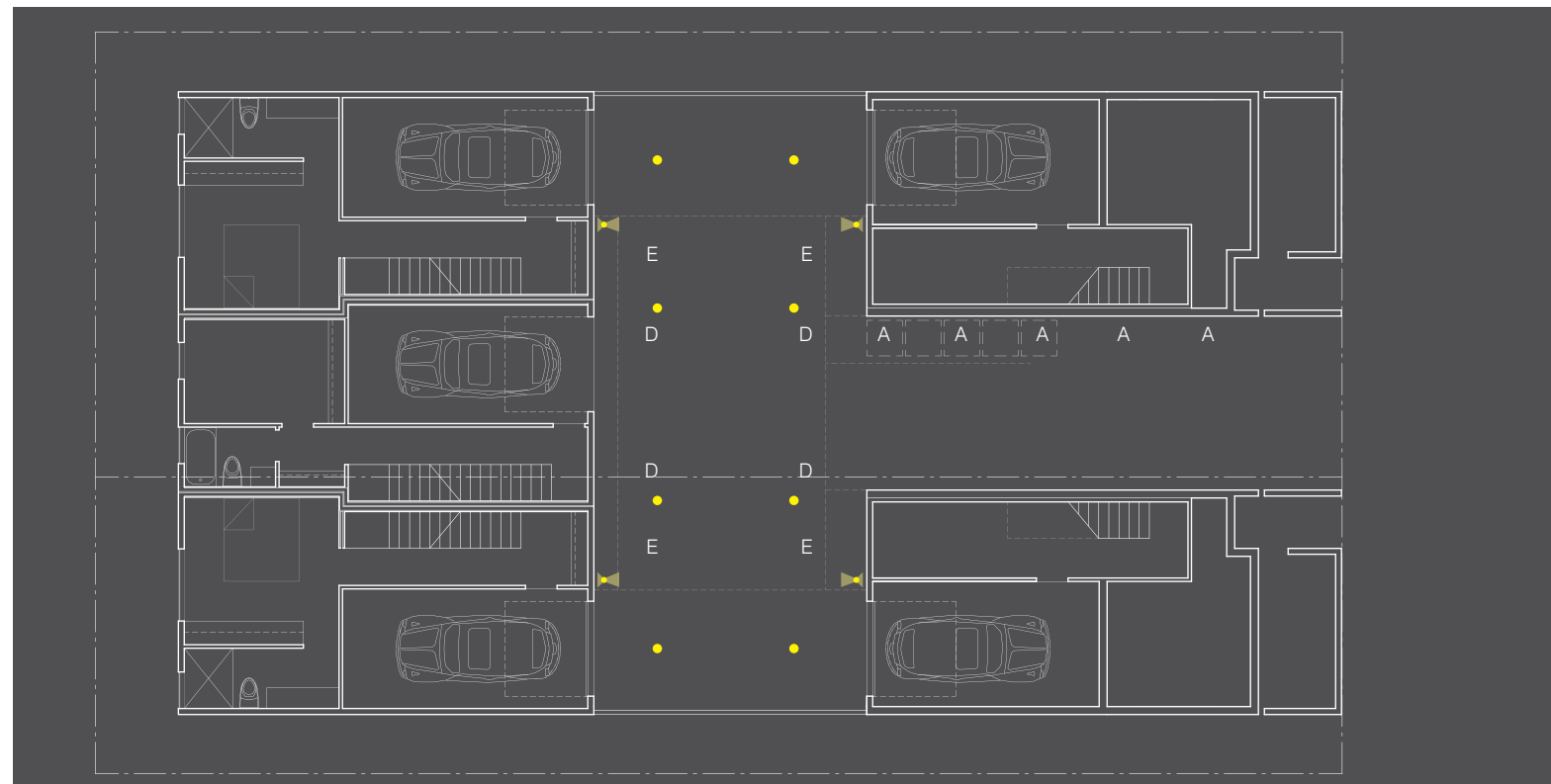


- A. NATIVE GRASSES
12"-24"
- B. GROUND COVER WITH SHRUBS
36"-48"
- C. ORNAMENTAL TREE
16'-20'
- D. PLANTER BOX
*varies
- E. STREET TREE

GENERAL NOTE:
 The project provides a Green Factor
 score 0.6 as required by SMC
 23.45.524

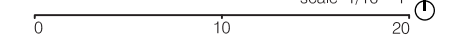
LANDSCAPE PLAN

scale 1/16"=1"
 0 10 20



- A. Ground Pathway Light
- B. Entry Down Light
- C. Direct / Indirect Light
- D. Down Light
- E. Directional Down Light

LIGHTING PLAN
scale 1/16"=1'





EAST ELEVATION

0 5 10 15
scale 1/8"=1'-0"



WEST ELEVATION

0 5 10 15
scale 1/8"=1'-0"



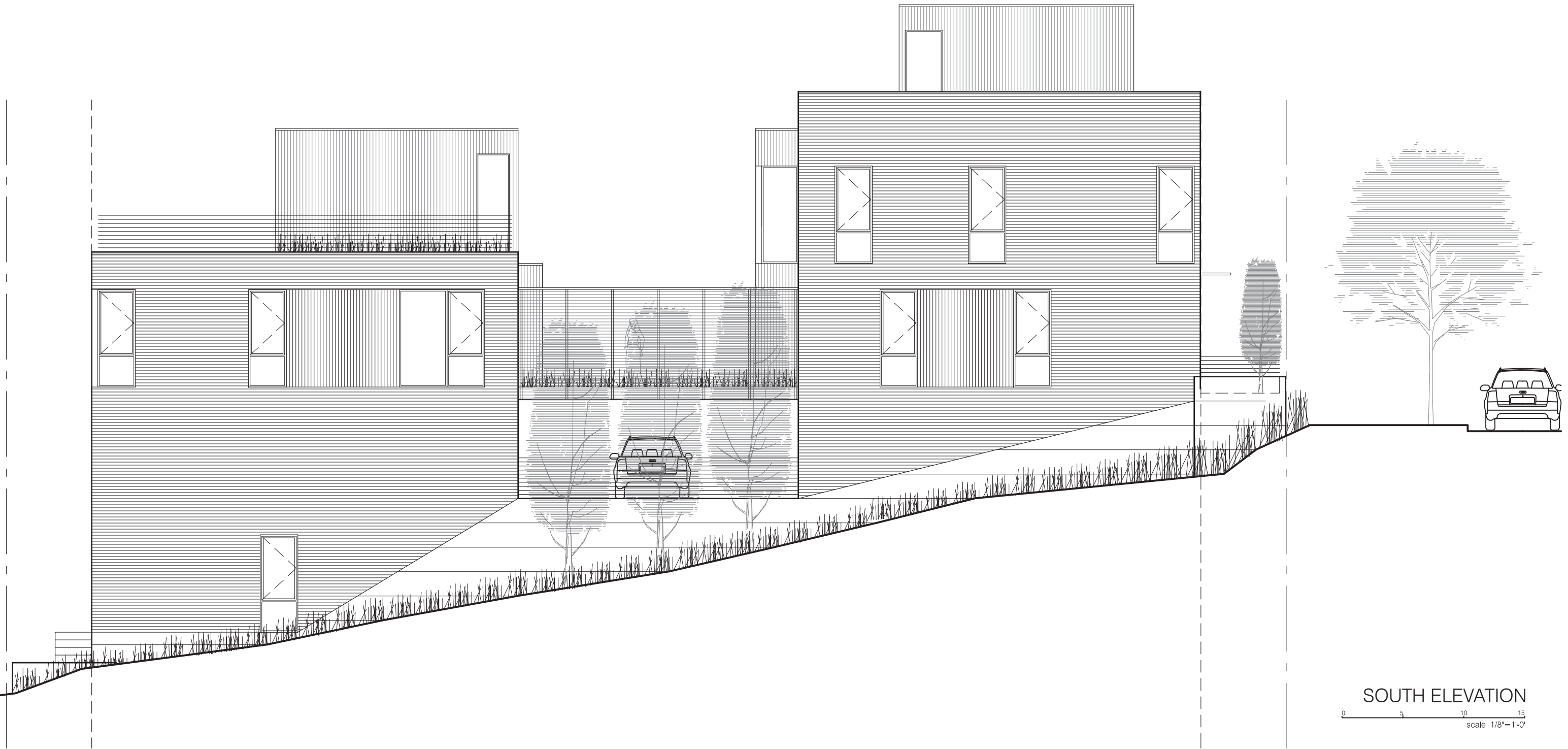
EAST COURTYARD ELEVATION

0 5 10 15
scale 1/8" = 1'-0"



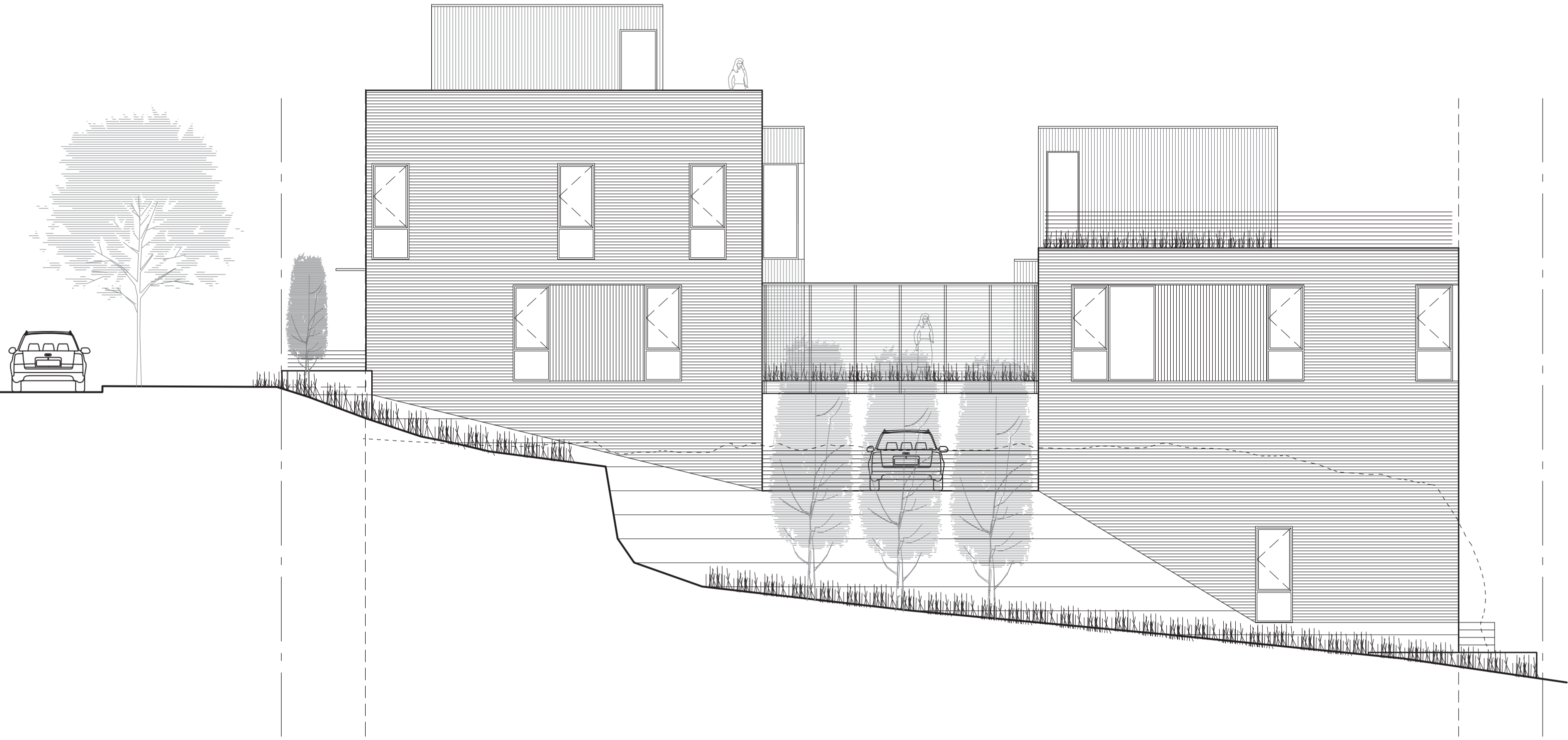
WEST COURTYARD ELEVATION

0 5 10 15
scale 1/8"=1'-0"



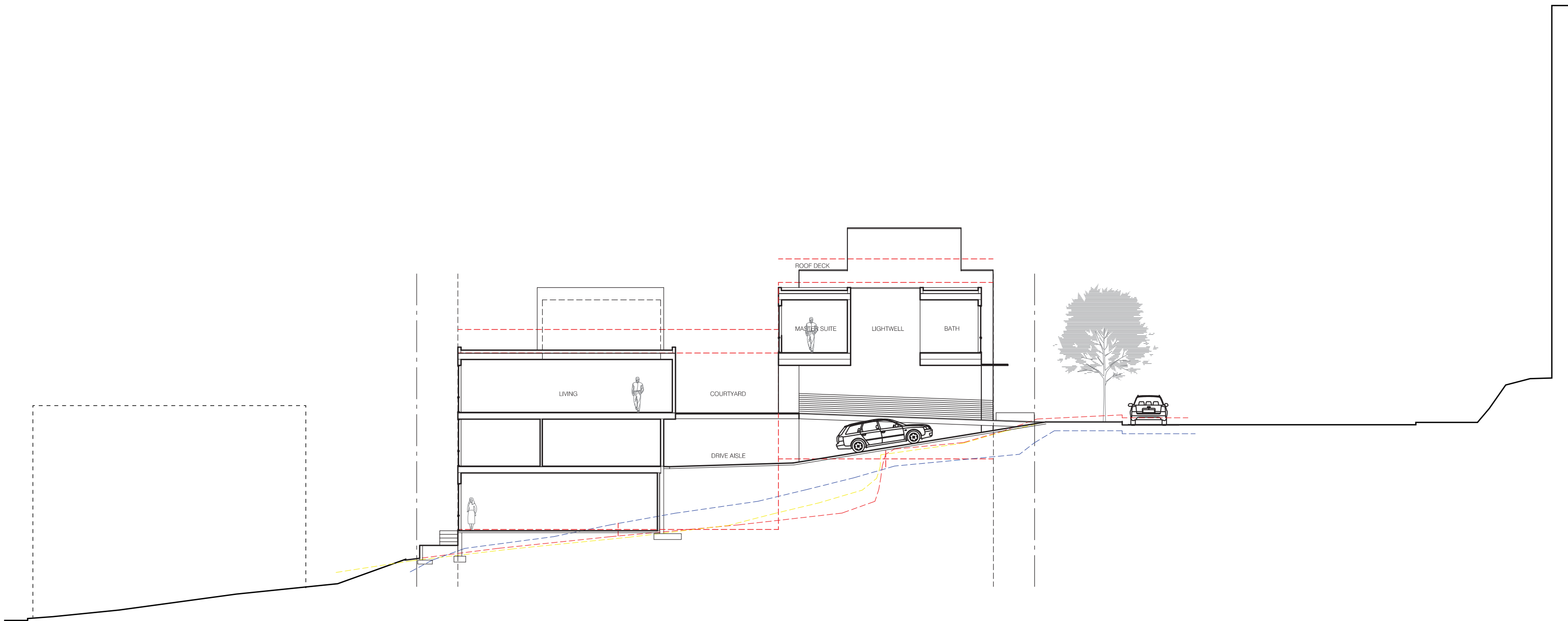
SOUTH ELEVATION

0 5 10 15
scale 1/8"=1'-0"



NORTH ELEVATION

0 5 10 15
scale 1/8"=1'-0"



PROJECT SECTION

scale 1/16"=1"
0 10 20

EXTERIOR MATERIALS



- 1 Fiber Cement Siding SW7674 Peppercorn
- 2 Fiber Cement Siding SW7003 Toque White
- 3 Powder Coated Metals White
- 4 Vinyl Windows White
- 5 Vinyl Windows White
- 6 Concrete Natural
- 7 Cabled Green Wall Various Plants
- 8 Unit Accents Final Colors TBD

VIEWS FROM STREET

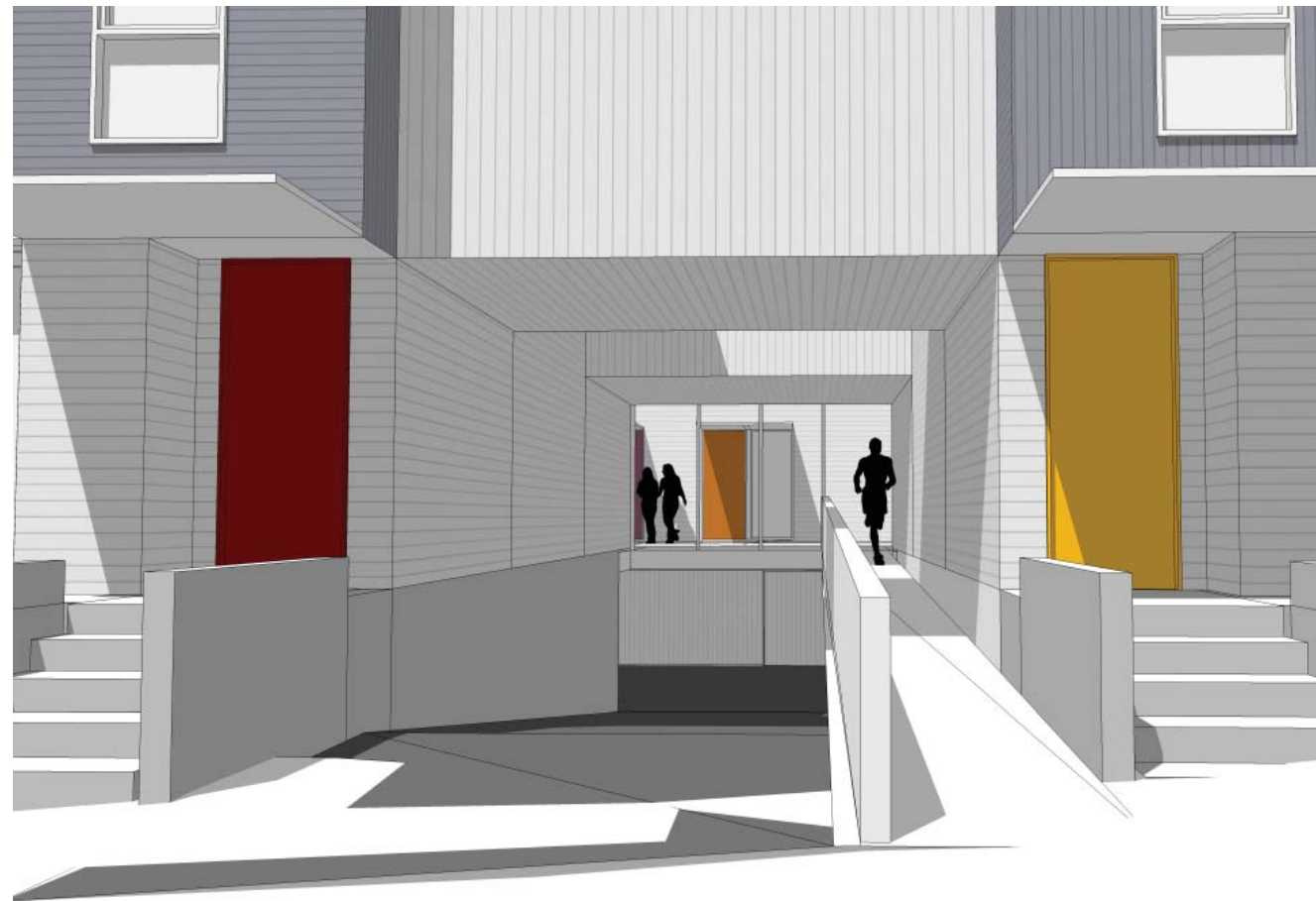


Looking South Down 14th



Looking North Up 14th

COURTYARD VIEW



Looking Into Courtyard

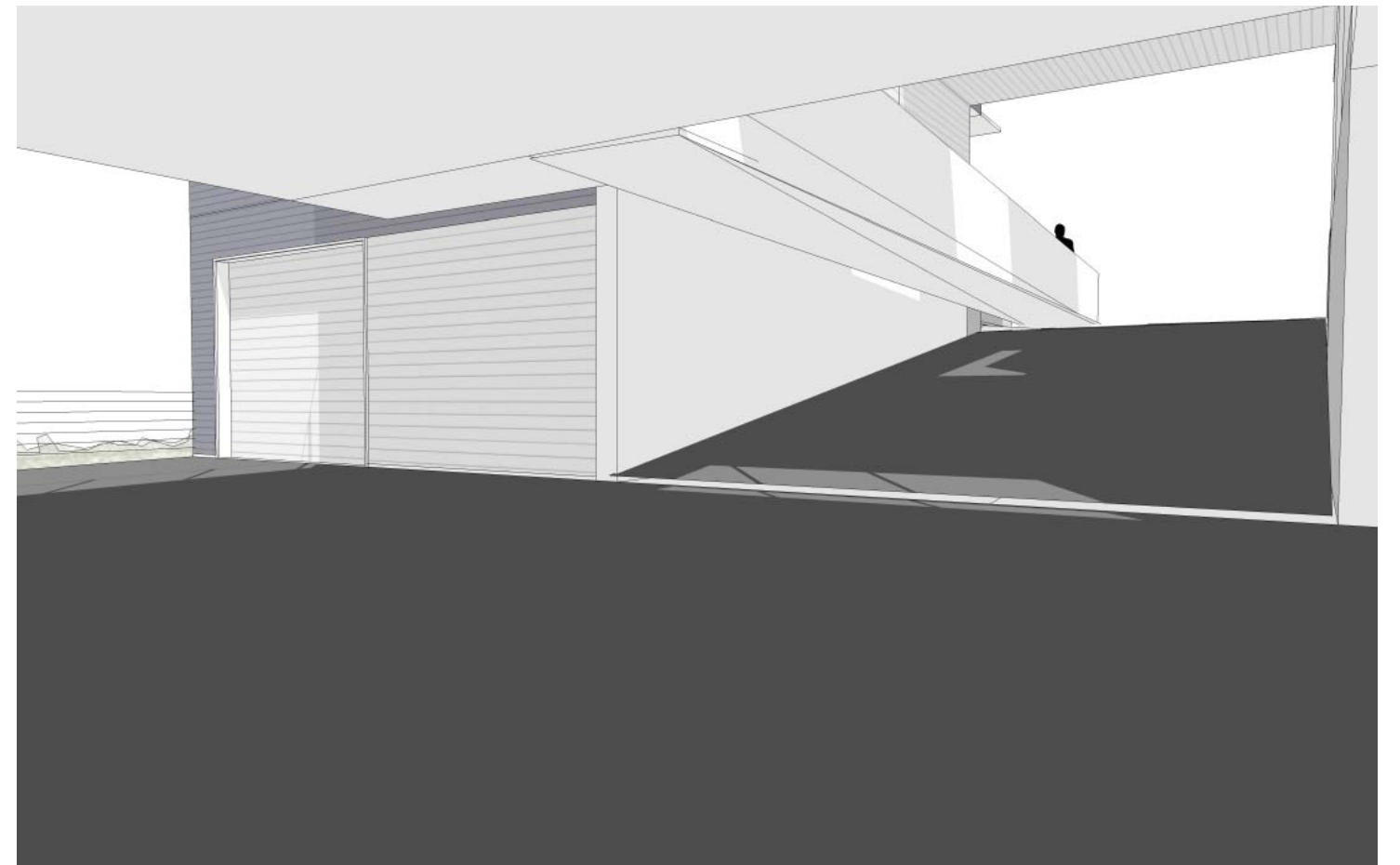


Looking North from Courtyard

GARAGE LEVEL VIEW



Looking North Into Garage Level



Looking South from Garage Level

COURTYARD VIEWS



Looking North



Looking South