

SDR
Packet
18. July. 2013

208 25th Ave E.

PROJECT #
3015430

25th east

SDR PACKET 208 25TH AVE EAST



CASCADE BUILT
good living™

206.297.1284 p
206.284.7572 f
www.b9architects.com

b9 architects

INFORMATION

Address

208 25th Avenue E

Lot Size

4800 square feet

Zoning

Lowrise LR-3

SEPA Review

Required - project site is in a potential slide area

DESCRIPTION

The site, approximately 4800 square feet of L3 zoned property, is located at mid-block between East John Street and East Madison Street on 25th Ave. East in Madison Valley. The site's current use is a single family home. The project proposes to deconstruct the existing structure and construct five new townhouses. The structures will be three stories tall with 3-4 parking spaces located at the east side alley.

GOALS

Sustainability

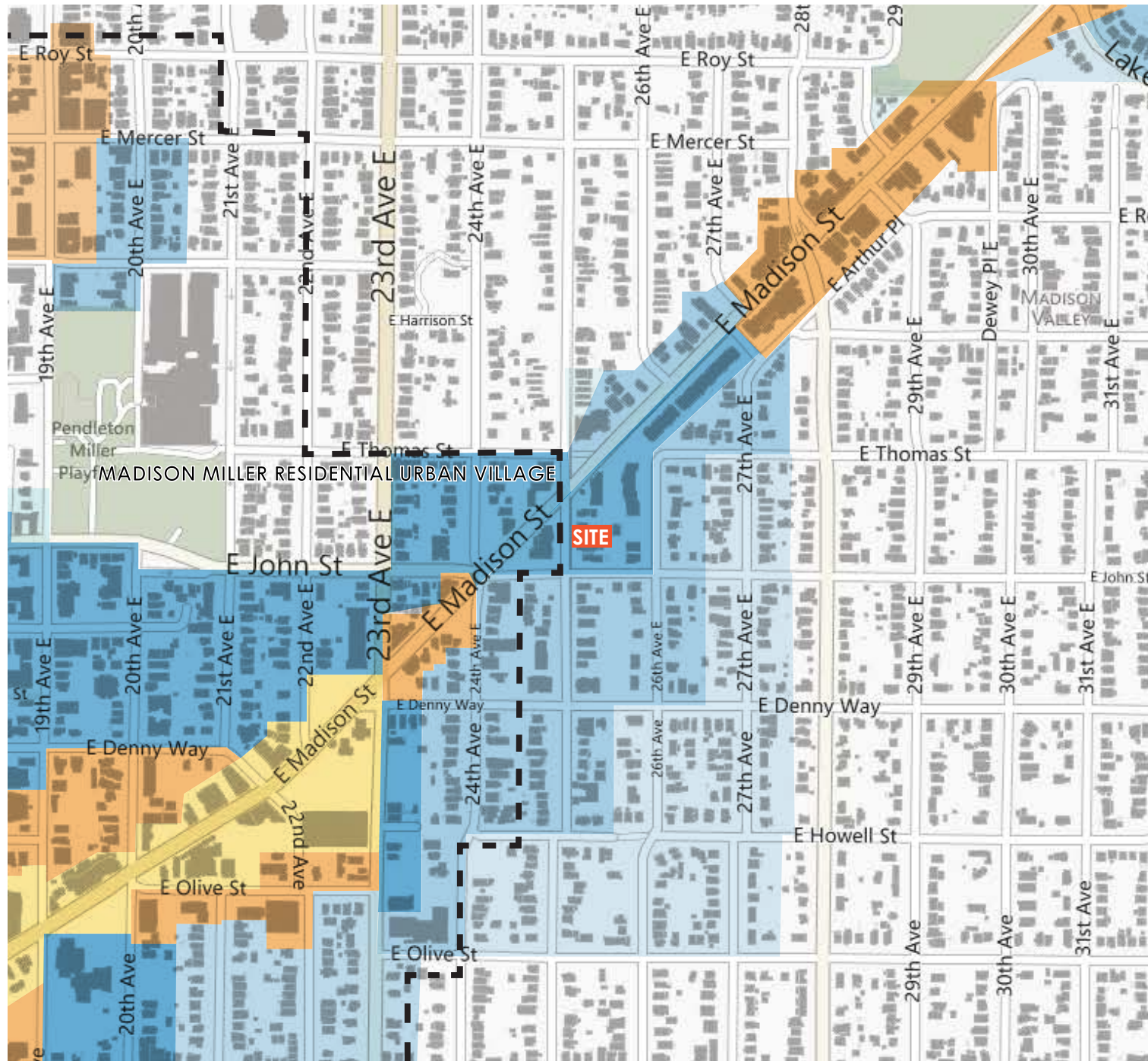
Achieve a minimum of 4-Star Built Green certification while targeting Passivhaus. Maximize building performance and utilize reclaimed materials.

Community

The proposal will be designed around a central courtyard at the center of the site. A walkway on the south side of the property connects the courtyard and homes to the 25th Avenue E to the east and the alley to the west.



Project Site, existing structure to be deconstructed



- NC2 - 40
- NC3P - 40
- LR3
- LR2
- LR1

Zoning

The site is surrounded by multifamily zoned land. The zoning ranges from LR1 to LR3 and extends several blocks in all directions. Along E Madison St, a diagonal cutting through the city grid, the zoning transitions to Neighborhood Commercial. Single family zoning is the remainder of the map. The site is located across the street from the boundary to the Madison Miller Residential Urban Village.



Context Map

Arterial

SITE ANALYSIS

Site Analysis

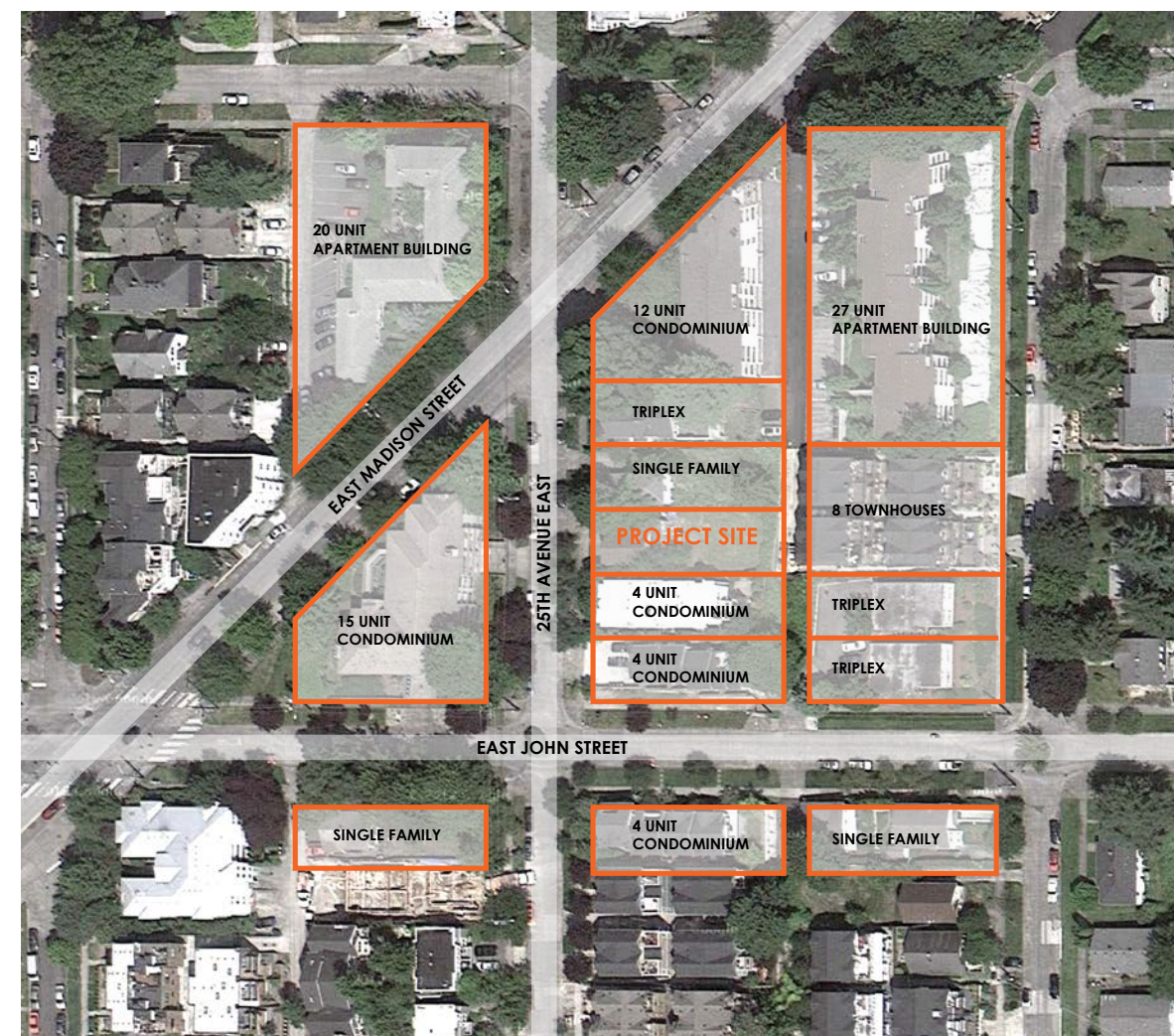
The site's dimensions are 40 feet north-south and 120 feet east-west. It fronts 25th Avenue E with alley access from the east. The alley terminates at our south property line due to natural conditions. The immediate uses surrounding the site are nearly exclusively multifamily structures including recent townhouses and more established apartment and condominium buildings.

The site has great access to bus transit as well as city arterials. E Madison Street is less than one block north with 23rd Avenue E two blocks to the east. Bus stops at E Madison and 25th Ave E (.06 mile walk) and 23rd Ave E and E John Street provide access to bus routes 11, 8, 84, 984, and 48.

The site is located just outside the Madison Miller Residential Urban Village. It is considered within the city's frequent transit zone and qualifies for a 50% reduction in the parking requirement.

25th Avenue E slopes slightly to the south while the site slopes approximately 16 feet downhill from west to east. The project will respond to the topography in order to respect adjacent properties.

Our solution seeks to address Design Guidelines A-1, Respond to Site Characteristics, A-2 Streetscape Compatibility, A-3 Entrances Visible from the Street, A-7 Residential Open Space, A-8 Parking and Vehicle Access, C-1 Architectural Context, C-2 Architectural Concept and Consistency, C-4 Exterior Finish Materials, D-3 Retaining Walls, D-6 Screening of Dumpsters, Utilities and Service Areas, D-7 Pedestrian Safety, E-2 Landscape to Enhance the Building and/or Site and E-3 Landscape Design to Address Special Site Conditions.



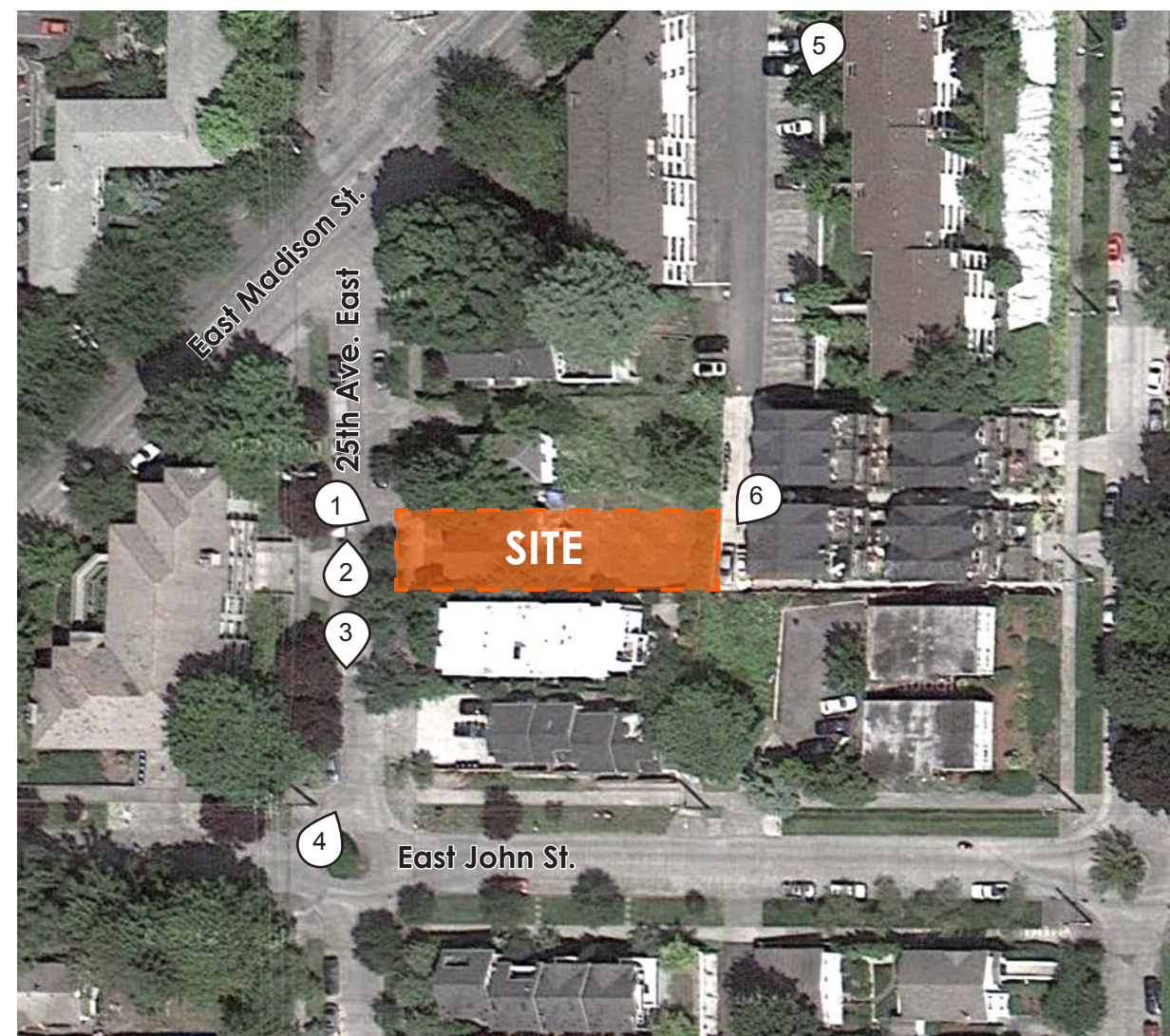
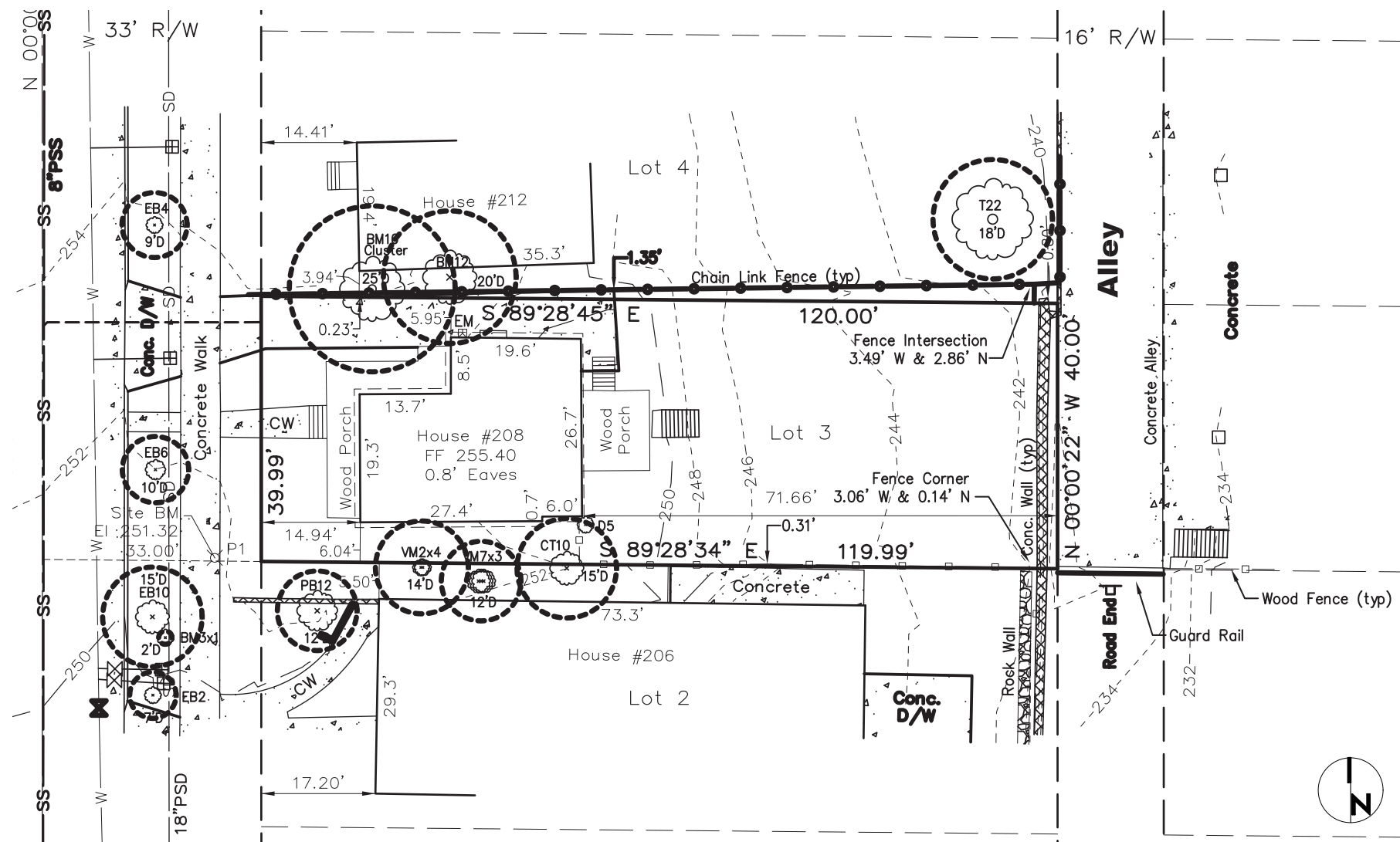
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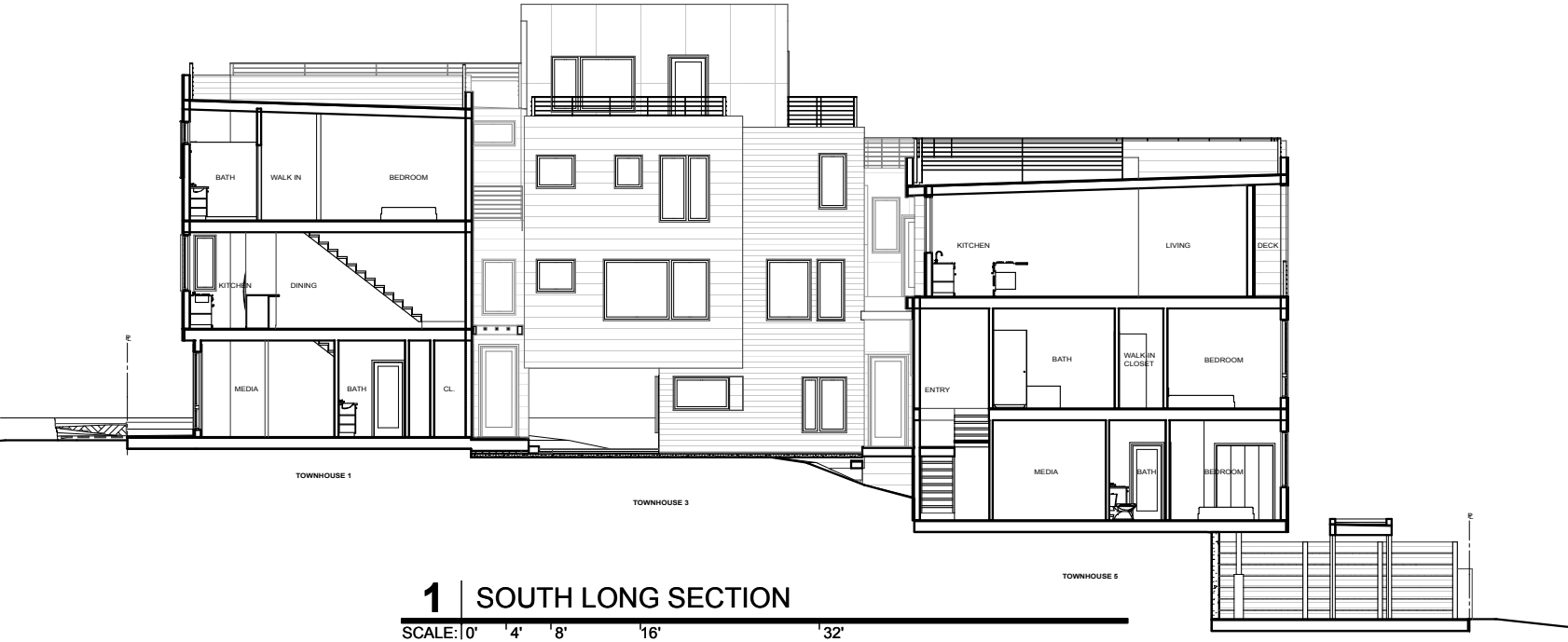
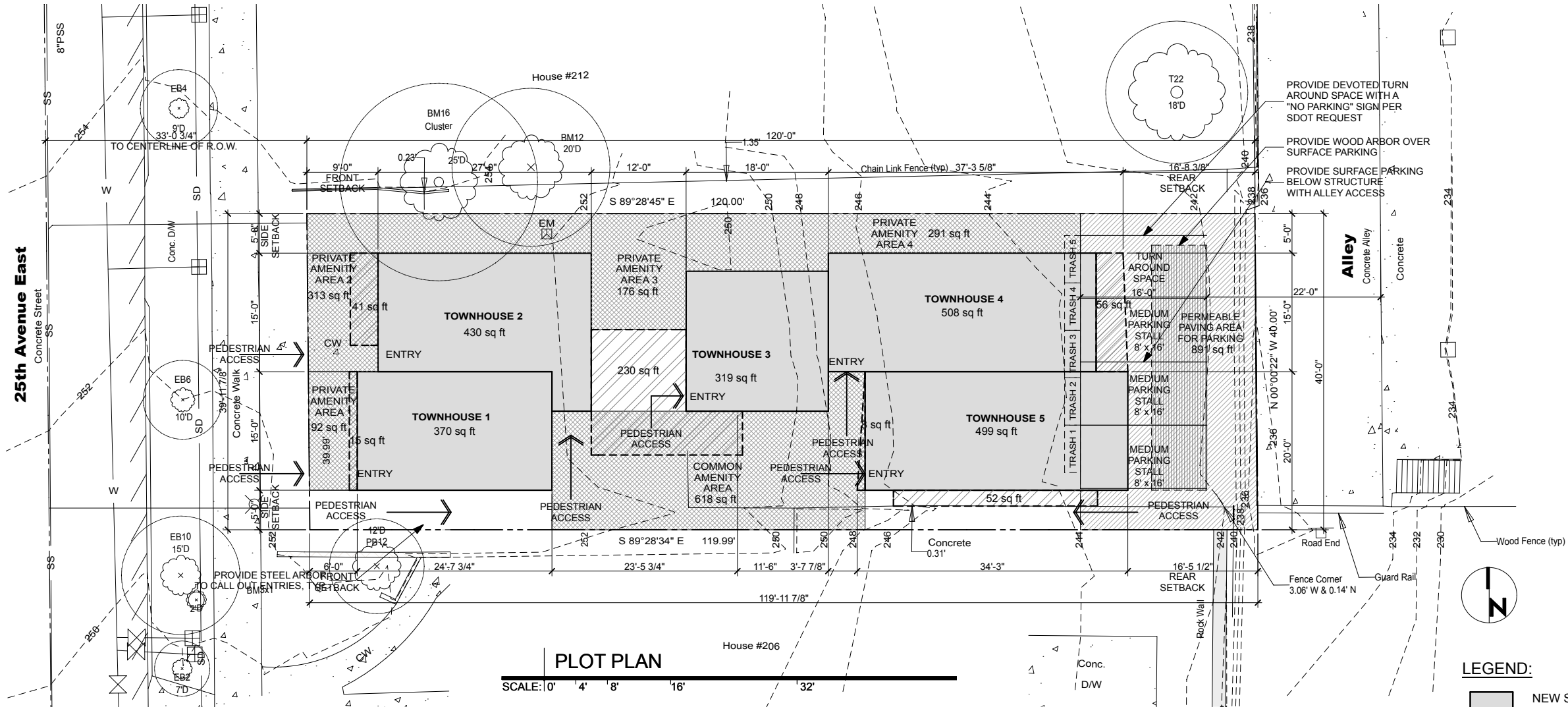


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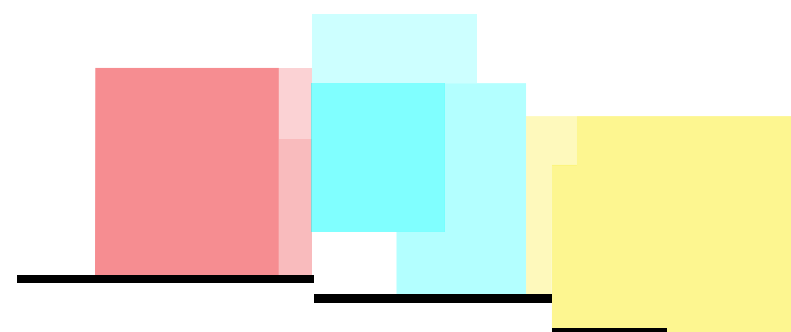


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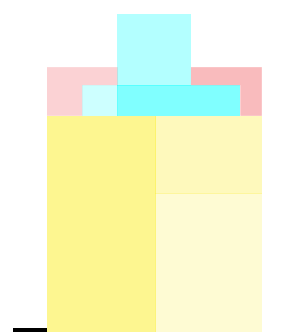




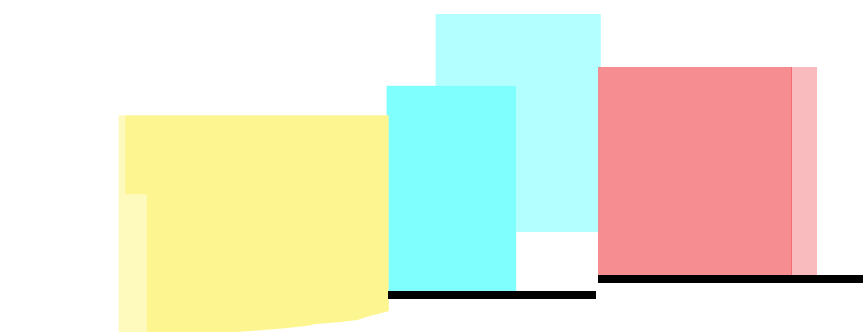
- LEGEND:**
- NEW STRUCTURE FOOTPRINT AT GRADE
 - ARBOR LESS THAN 8 FEET ABOVE GRADE
 - AMENITY AREA AT GRADE
 - CANTILEVERED FLOOR SPACE ABOVE GRADE
 - DETACHED CARPORT OVER PARKING
 - PERMEABLE DRIVEWAY/PARKING SURFACE
 - ROOF OUTLINE



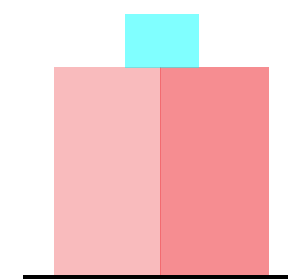
— south



— east

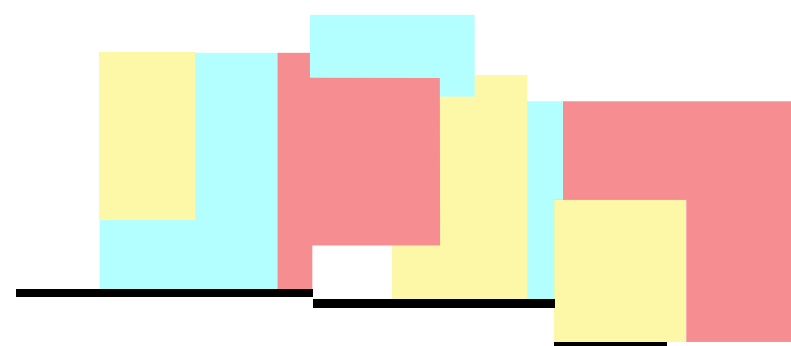


— north

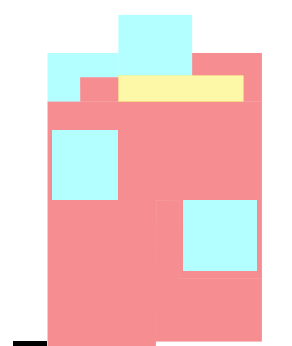


— west

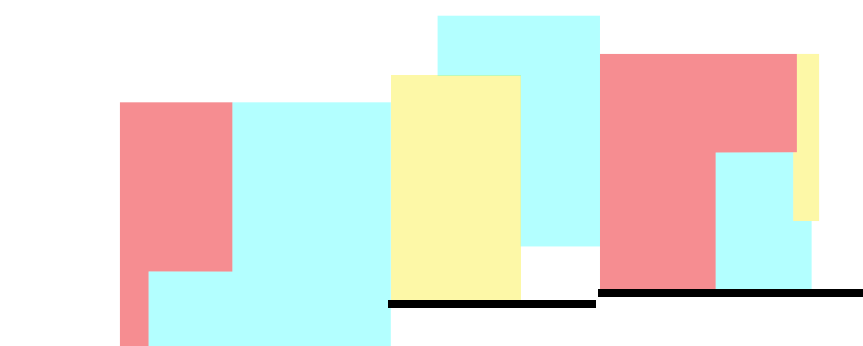
MASSING STUDY:
Initial design approach
based on unit expression



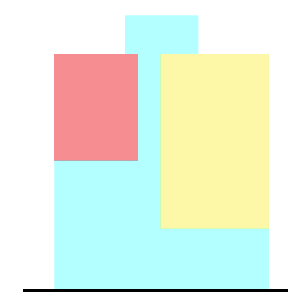
— south



— east

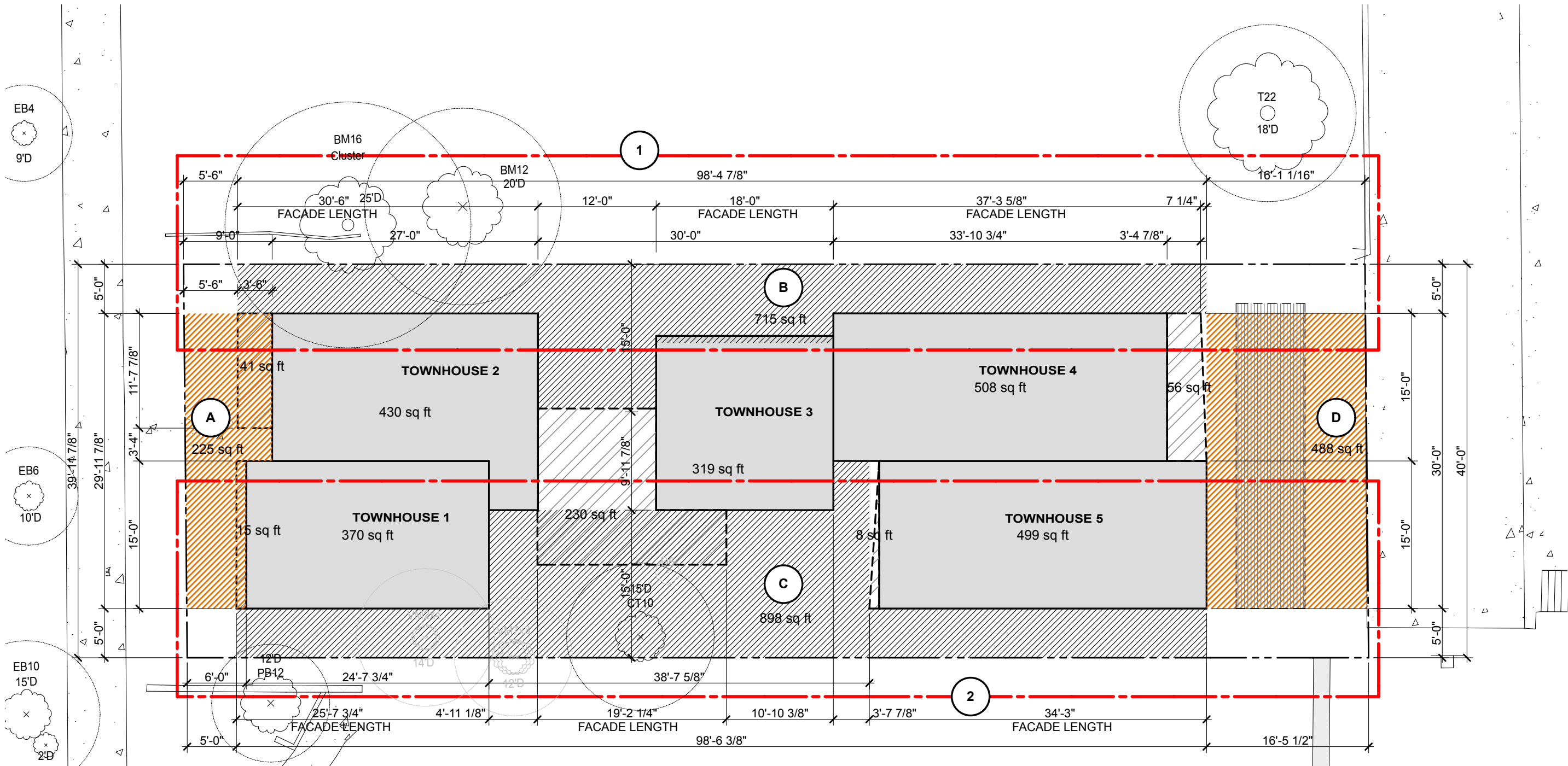


— north



— west

SCALE AND MASSING DEVELOPMENT:
Evolution of facade treatment and
volumetric expression



1 | ADJUSTMENT PLAN

SCALE: 0' 4' 8' 16' 32'

- LEGEND:
- NEW STRUCTURE FOOTPRINT AT GRADE
 - ARBOR LESS THAN 8 FEET ABOVE GRADE
 - AMENITY AREA AT GRADE
 - CANTILEVERED FLOOR SPACE ABOVE GRADE
 - DETACHED CARPORT OVER PARKING
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 - ROOF OUTLINE



SETBACK CALCULATIONS:

PER 23.86.012.AC, SETBACKS ARE MEASURED HORIZONTALLY FROM THE LOT LINE TO THE FACADE OF THE STRUCTURE, AT THE POINT THAT THE STRUCTURE MEETS THE GROUND.

A

FRONT SETBACK: (7' AVERAGE, 5' MIN. REQUIRED)

225 SF/30'-0" = 7'-6" AVERAGE, 5'-0" MIN.
FLOOR PROJECTS ABOVE GRADE TO 5'-0" MIN.

B

SIDE SETBACK NORTH: (7' AVERAGE, 5' MIN. REQUIRED)

779 SF/98'-4 7/8" = 7'-11" AVERAGE, 5'-0" MIN. PROPOSED
FLOOR PROJECTS ABOVE GRADE TO 5'-0" MIN.

C

SIDE SETBACK SOUTH: (7' AVERAGE, 5' MIN. REQUIRED)

898 SF/98'-6 3/8" = 9'-1 3/8" AVERAGE, 5'-0" MIN. PROPOSED

D

REAR SETBACK: (7' AVERAGE, 5' MIN. REQUIRED)

488 SF/30'-0" = 16'-3 1/4" AVERAGE, 16'-1" MIN.

FACADE LENGTH CALCULATION:

LOT DEPTH: 112'

65% x 99'-0" = 72'-9 5/8" Maximum limit 65% per SMC 23.45.527.B.1

WEST PROPERTY LINE:

STREET FACING FACADE HAS NO LIMIT PER SMC 23.45.527.B.1

EAST PROPERTY LINE:

ALLEY FACING FACADE HAS NO LIMIT PER SMC 23.45.527.B.1

NORTH PROPERTY LINE: ADJUSTMENT REQUESTED

1

WITHOUT FLOOR PROJECTIONS:

$$\frac{27'-0" + 18'-0" + 33'-10 \frac{3}{4}"}{120'} = \frac{78'-10 \frac{3}{4}"}{120'} = 0.657$$

FACADE LENGTH 65.7%

WITH FLOOR PROJECTIONS:

$$\frac{3'-6" + 27'-0" + 18'-0" + 37'-3 \frac{5}{8}"}{120'} = \frac{85'-9 \frac{5}{8}"}{120'} = 0.715$$

FACADE LENGTH 71.5%

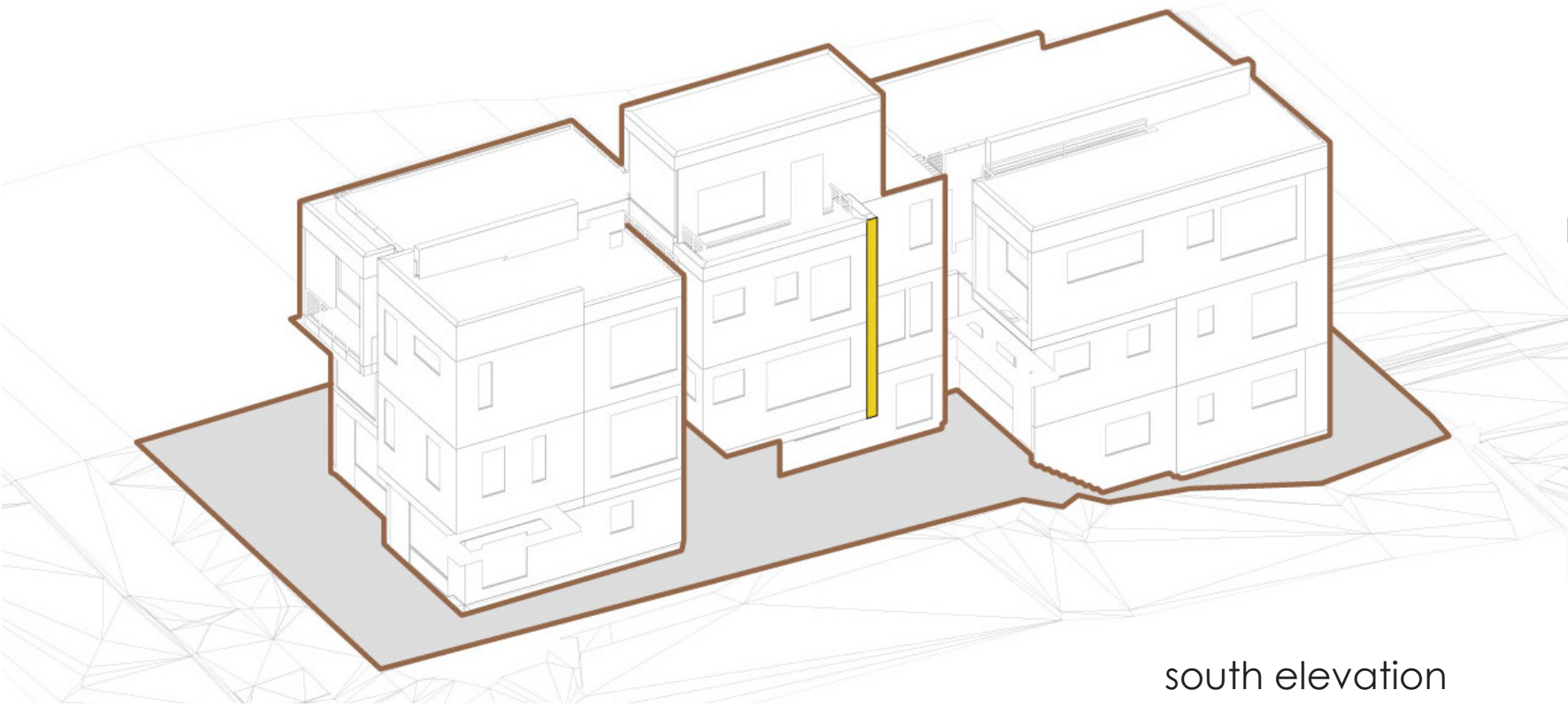
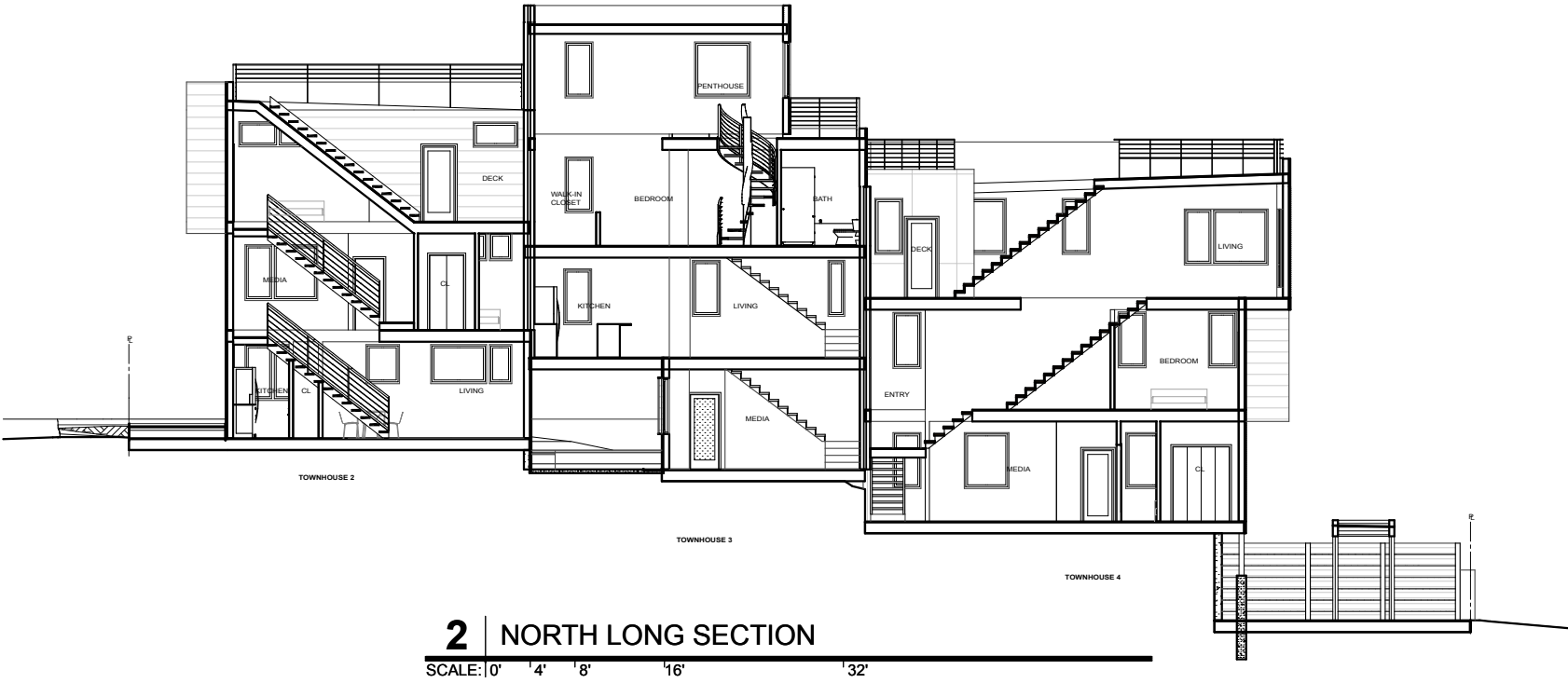
2

SOUTH PROPERTY LINE: ADJUSTMENT REQUESTED

$$\frac{25'-7 \frac{3}{4}" + 19'-2 \frac{1}{4}" + 33'-3"}{120'} = \frac{79'-1"}{120'} = 0.659$$

FACADE LENGTH 65.9%

Development Standard	Required	Proposed	Design Guidelines Supported by Anticipated Adjustment	Comment / Rationale by Architect.
1. Façade Length 23.45.527.B	The maximum combined length of all portions of facades within 15 feet of a lot line that is neither a rear lot line nor a street or alley lot line shall not exceed 65 percent of the length of that lot line.	North side façade length is 85'-9 5/8" or 71.5% of the lot length at the second and third floors, and 78'-10 3/4" or 65.7% at the first floor.	A-1, A-5, B-1,	The north façade is greatly modulated with visual interest and variation in massing as well as material. The ground floor is minimized with most of its living space on the second and third floors to free up space in the shared central courtyard and create smaller private amenity areas. The massing is modulated to reduce impact on adjacent sites with large areas of glazing oriented primarily to the east and west, responding to Design Guideline A-5, Respect for Adjacent Sites. The first floor steps in at both east and west edges, and pulls up off the ground in the center, reducing the scale and responding to Design Guideline B-1, Height, Bulk and Scale. The structure also steps down with grade towards the east, responding to Design Guideline A-1, Response to Site Characteristics. The adjustment requested is primarily for the modulation on second and third floors, which increases the visual interest at both the street and alley facades. The first floor façade is only 10 3/4" over the 65% limit and contributes to the importance and quality of the central courtyard space in the proposal.
2. Façade Length 23.45.527.B	The maximum combined length of all portions of facades within 15 feet of a lot line that is neither a rear lot line nor a street or alley lot line shall not exceed 65 percent of the length of that lot line.	South side façade length is 79'-1" or 65.9% of the lot length.	A-7, B-1, C-2	The massing of the structure is organized around a central common courtyard with two smaller homes oriented to the street to the west and two larger homes oriented to the views to the east. In the center the fifth home is shaped to specifically to its position in the courtyard, by pulling up from the ground. This reduces the scale of the structure, responding to Design Guideline B-1, Height, Bulk and Scale. All townhouses have direct access to the common courtyard at the center of the site. The importance of the shared courtyard in the proposal directly responds to Design Guideline A-7, Residential Open Space. Modulation in massing as well as material creates visual interest and variation, further reinforcing the spatial quality of the courtyard and continuing for the entire south facade. The south side façade adjustment for 65.9% is only 1'-1" over the 65% limit and occurs in the central space. It contributes to the interesting spatial quality of the courtyard and responds to Design Guideline, C-2, Architectural Concept and Consistency.



area of facade
contributing
to requested
adjustment

south elevation

PRIVACY ELEVATION LOOKING AT
NEIGHBORING PARCEL TO THE SOUTH
WITH PROPOSAL SHOWN IN FRONT

LEGEND:

5'-10' FROM PROPERTY LINE

15' FROM PROPERTY LINE

15'-20' FROM PROPERTY LINE



1 | SOUTH PRIVACY ELEVATION

SCALE: 0' 2' 4' 8' 16'

Design Guidelines Response

A-1 Respond to Site
Characteristics

The design should respond to specific site conditions and opportunities.

RESPONSE

The design proposes to terrace the townhouses in a single structure in reponse the site's topography. A common walkway connects the site from 25th Avenue E to the alley widening at the center of the site to form a common courtyard. The walkway and courtyard follow grade conditions.

A-2 Streetscape
Compatibility:

The siting of buildings should acknowledge and reinforce the existing desirable characteristics of the right-of-way.

RESPONSE

The streetscape is a variety of single family, apartments, condominiums and townhouses. While the proposal intends to be scaled to fit within this mix of housing typologies it does not seek to imitate them. Instead it will be designed and constructed to the highest green standards and technologies.

A-3 Entrances Visible from
the Street:

Entries should be clearly identifiable and visible from the street.

RESPONSE

The two street-facing townhouses have doors and patios that directly engage the street. A common pathway along the south property line covered with an arbor abutting the right of way provide a visual link to the courtyard and townhouses behind.

A-5 Respect for Adjacent
Sites:

Buildings should respect adjacent properties by being located on their sites to minimize disruption of the privacy and outdoor activities of residents in adjacent buildings.

RESPONSE

The windows have been located to minimize privacy intrusion. An analysis of adjacent building facades documents the relationship between structures.

A-7 Residential Open
Spaces:

The siting of buildings should acknowledge and reinforce the existing desirable characteristics of the right-of-way.

RESPONSE

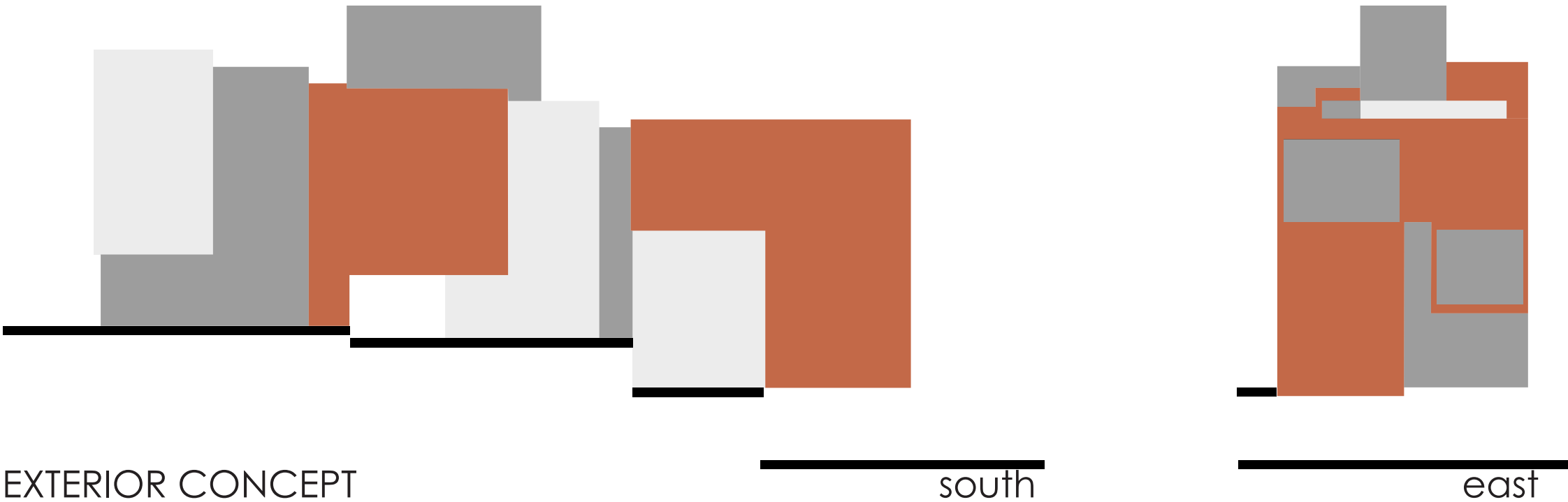
All townhouses have direct access to a common courtyard at the center of the site. All homes have doors to engage in the activities of the common space. Private roof decks are provided with small decks at upper floors to engage the courtyard and provide access to terretorial views. All but one of the townhouses have access to private open space at grade.

A-8 Parking and Vehicle
Access

Entries should be clearly identifiable and visible from the street.

RESPONSE

Vehicular access will be from the alley that terminates at the south property line of the site. A turnaround has been provided across the alley abuting our site. The design proposes shoring adjacent to the alley to maximize the number of parking spaces provided. Located in a frequent transit area, the project qualifies for a 50% reduction in the parking requirement. There will be between 3 to 4 parking spaces provided for the 5 townhouses.



EXTERIOR CONCEPT

south

east

C-1 Architectural Context

New buildings proposed for existing neighborhoods with a well-defined and desirable character should be compatible with the neighborhood buildings.

RESPONSE
The streetfront facade is scaled to compatible with existing structures and to express the individual homes abutting 25th Avenue E. Large windows connect to private patios and decks providing a strong connection to the pedestrian environment.

C-2 Architectural Concept and Consistency

Building design elements, details and massing should create a well-proportioned and unified building form and exhibit an overall architectural concept.

RESPONSE
The project proposes an innovative approach to infill development on such a narrow site. Parking is minimized accessed from the alley below the structure. hIts ground floor is minimized with most of its living space on the second and third floors to free up space in the courtyard and create smaller private amenity areas. The massing is modulated to reduce impact on adjacent sites with large areas of glazing oriented primarily to the east and west.

C-4 Exterior Finishes and Materials

Building exteriors should ne constructed of durable and maintainable materials that are attractive even when viewed up close.

RESPONSE
The project will make use of durable and sustainable materials. Reclaimed brick is planned for the open central courtyard and for some of the private patios. Siding will consist of natural cement board and painted materials.

D-3 Retaining Walls:

Retaining walls near a public sidewalk that extend higher than eye level should be avoided where possible.

RESPONSE
Retaining walls are minimized for the project with shoring required at the parking abutting the alley. We intend to expose the shoring walls permanently to show their texture.

D-6 Screening Dumpsters, Utilities and Services Areas:

Building sites should locate service elements like trash dumpsters, loading docks and mechanical equipment away from the street front where possible.

RESPONSE
Trash storage will be located at the rear of the site close to the alley for pick up.

D-7 Pedestrian Safety:

Project should consider opportunities for enhancing personal safety and security in the environment under review

RESPONSE
Exterior lighting will be designed to focus downward directed to pathways as well as private and communal open spaces. Lighting will also help orient visitors to front doors. The pathway, home entries, courtyard design and window placement all enhance pedestrian safety, providign multiple opportunities for natural surveillance.

E-2 Landscaping to Enhance Building and/or Site:

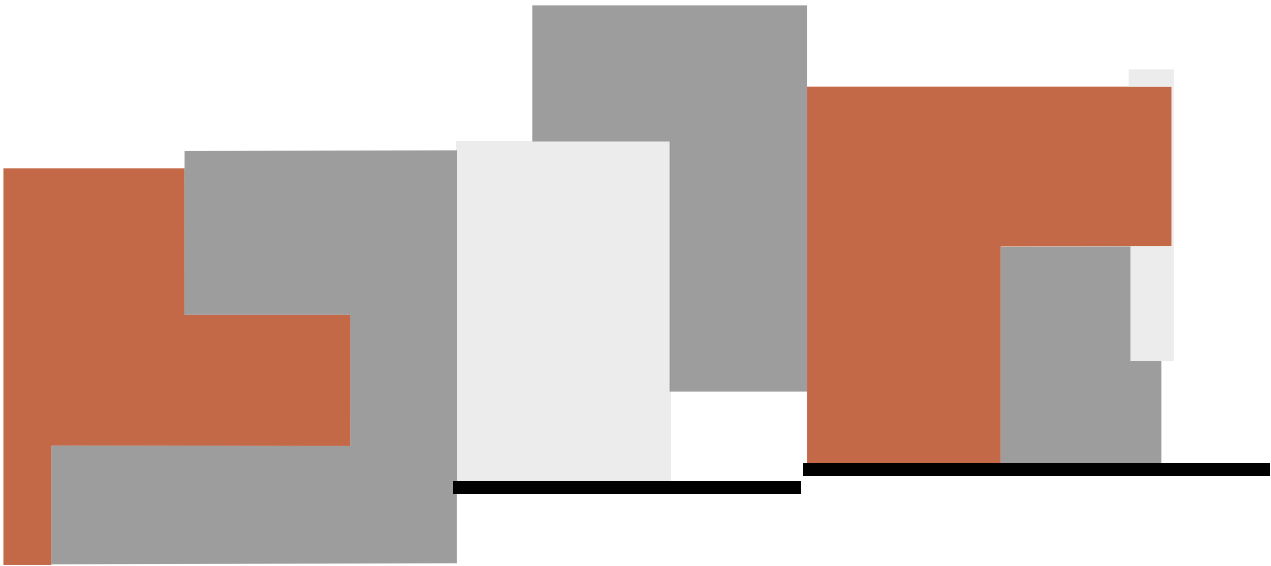
Landscaping should be appropriately incorporated into the design to enhance the project.

RESPONSE
The central courtyard and setbacks will be the focus of our landscaping design to enhance the character of the site and structure. We will create inviting usable spaces in the for residents and visitors.

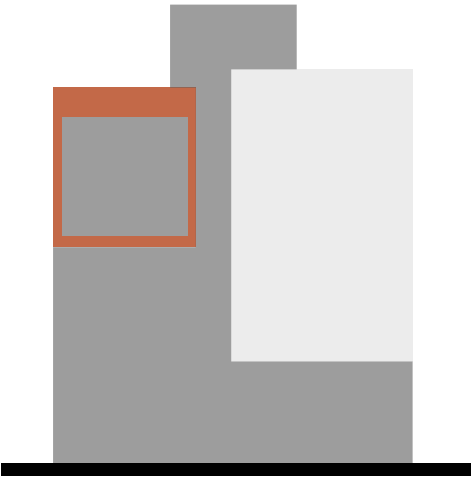
E-3 Landscape Design to Address Special Site Conditions:

The landscape design should take advantage of special on-site conditions.

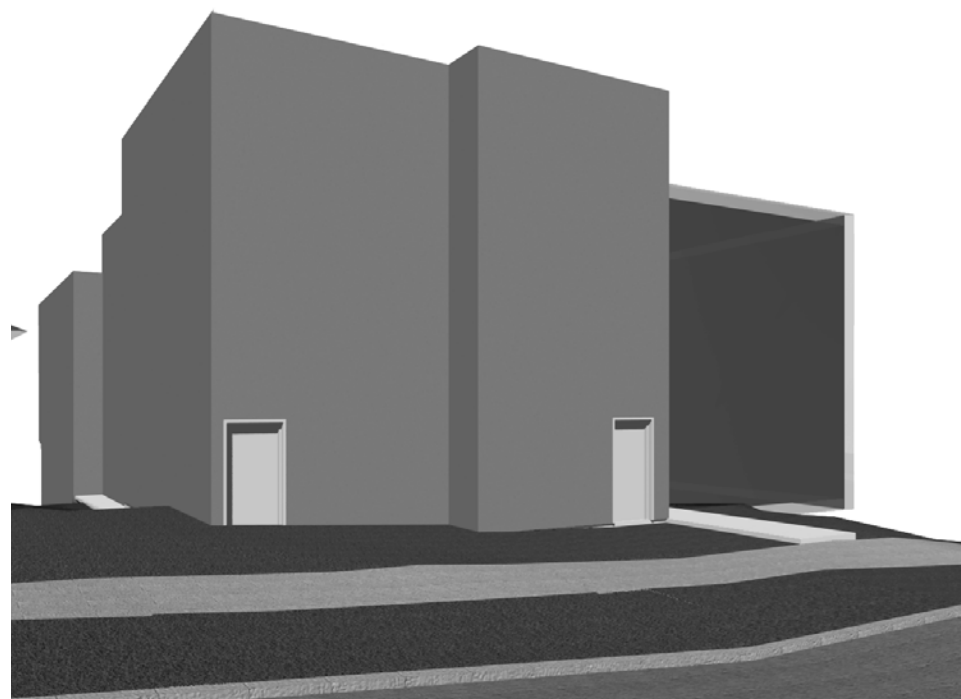
RESPONSE
The courtyard is terraced to separate home entries in section from the surface of the courtyard. Decks created to be similar to front porches border the courtyard along with thoughtful landscaping. Green roofs may be used throughout the project.



north



west



Early Design Massing



Design Evolution

- Deck projection counts toward facade length
- Awning at ground level for interest and scale



1

SDR Proposal

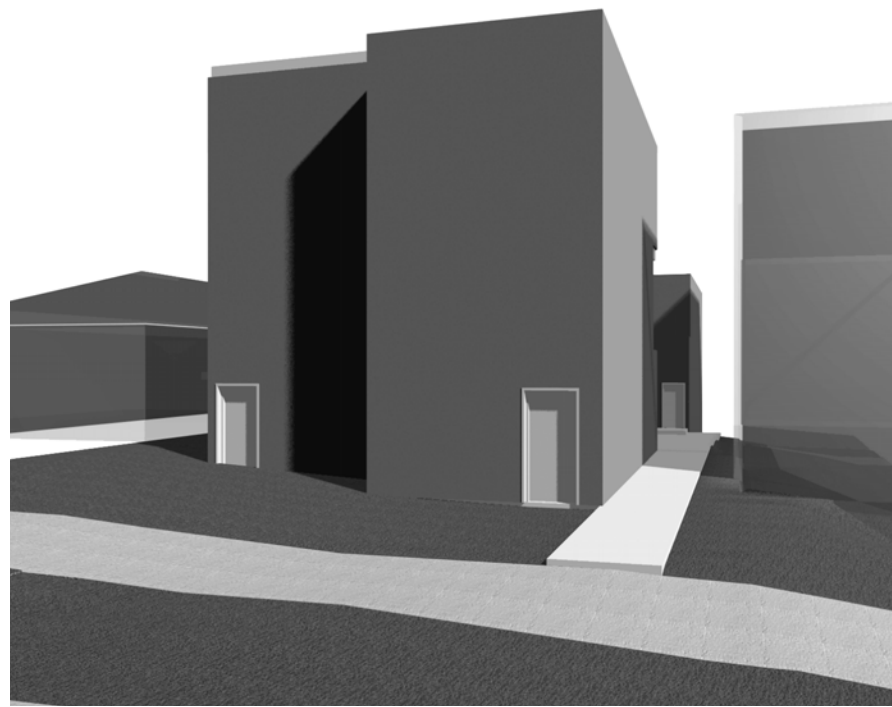
- Facade projections to create visual interest and scale

1

2

1





Early Design Massing



Design Evolution

- Deck projection counts toward facade length
- Awning at ground level for interest and scale



2

SDR Proposal

- Facade projections to create visual interest and scale



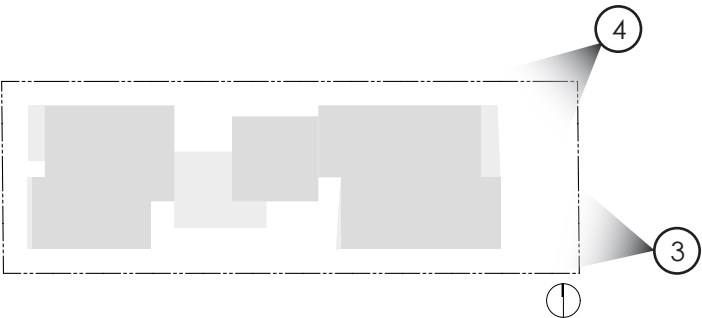
3

east alley rendering



4

east alley rendering





5
courtyard rendering looking northwest



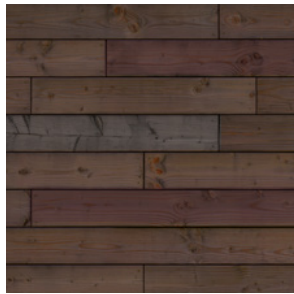
courtyard rendering looking southeast



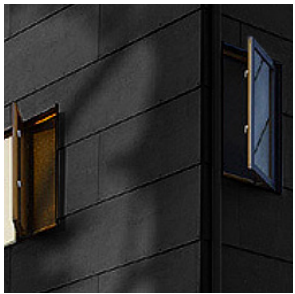
aerial rendering from northwest corner



West Elevation



reclaimed fir or
cedar siding



1 x 8 hardie panel
or similar, painted
horizontal siding
dark gray



4 x 8 hardie panel
painted siding
light gray



East Elevation



North Elevation



South Elevation



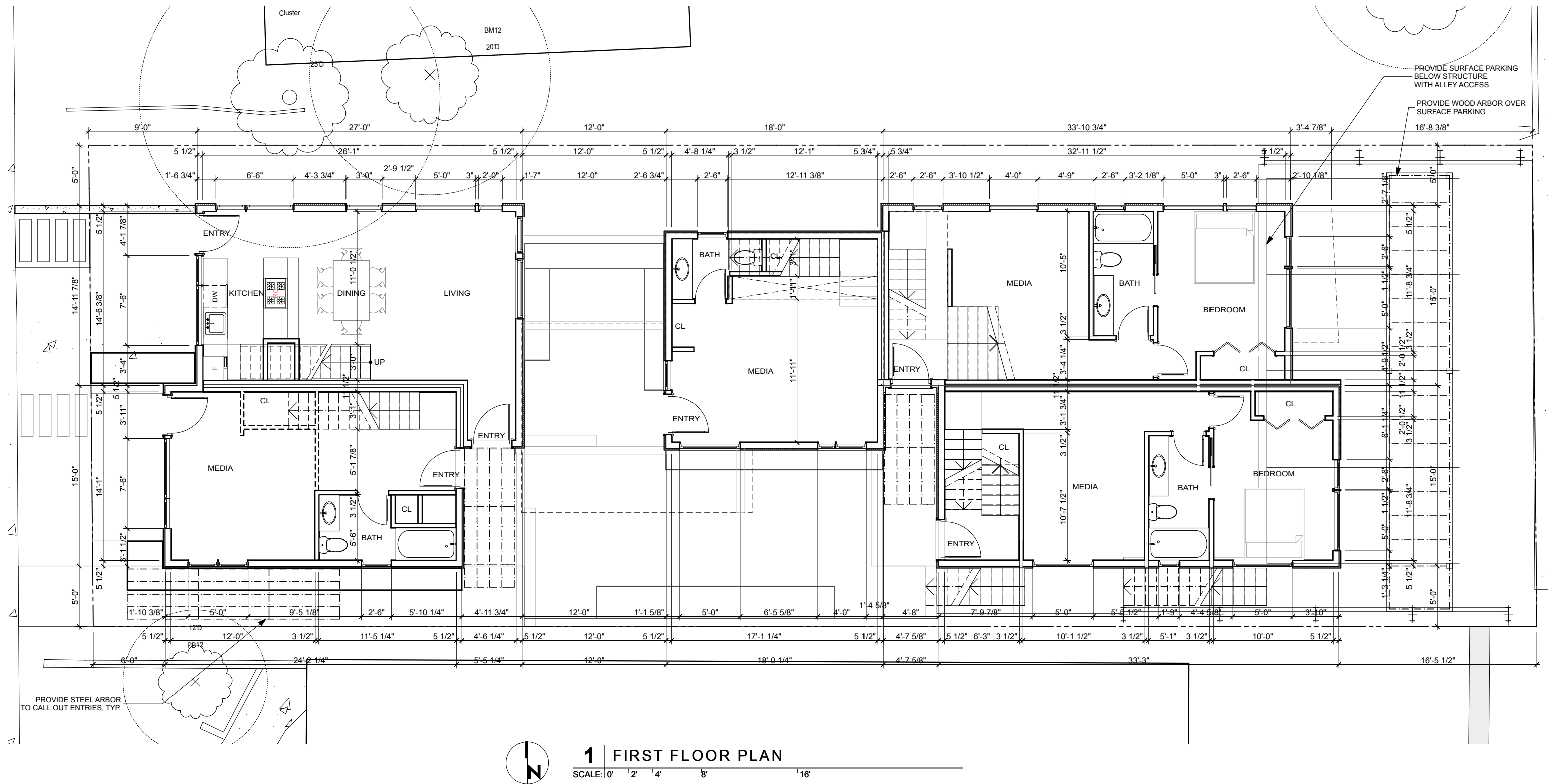
natural cedar
decking

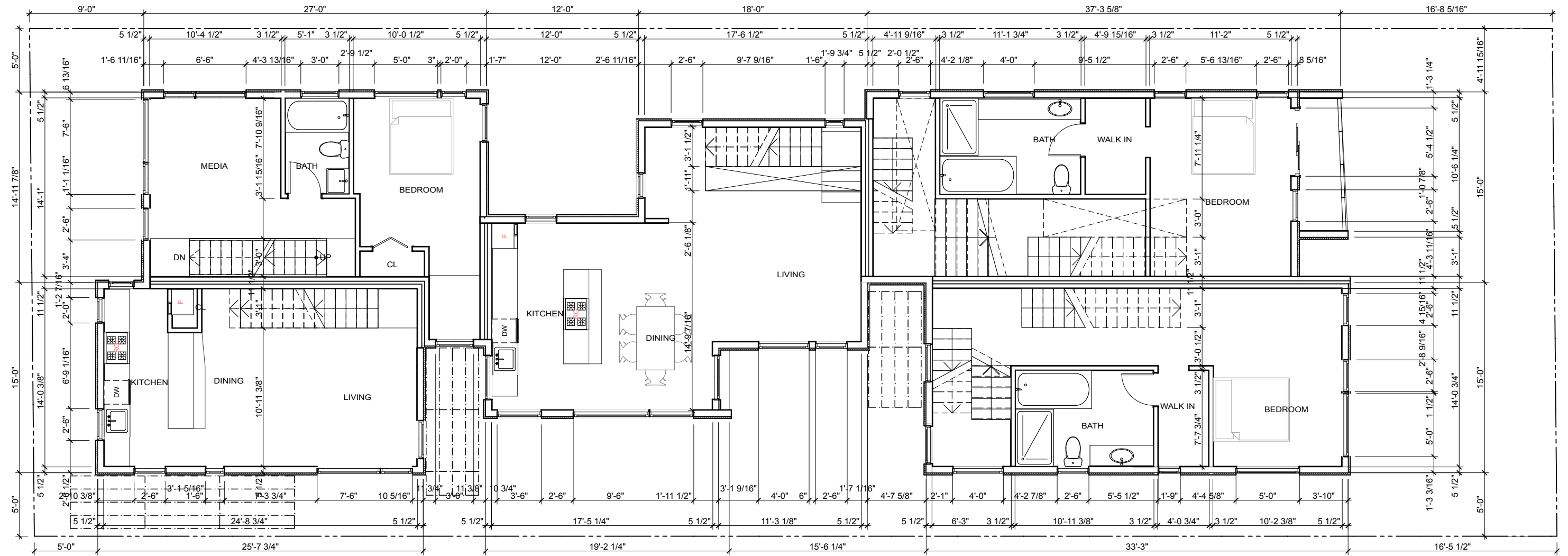


reclaimed brick
pavers



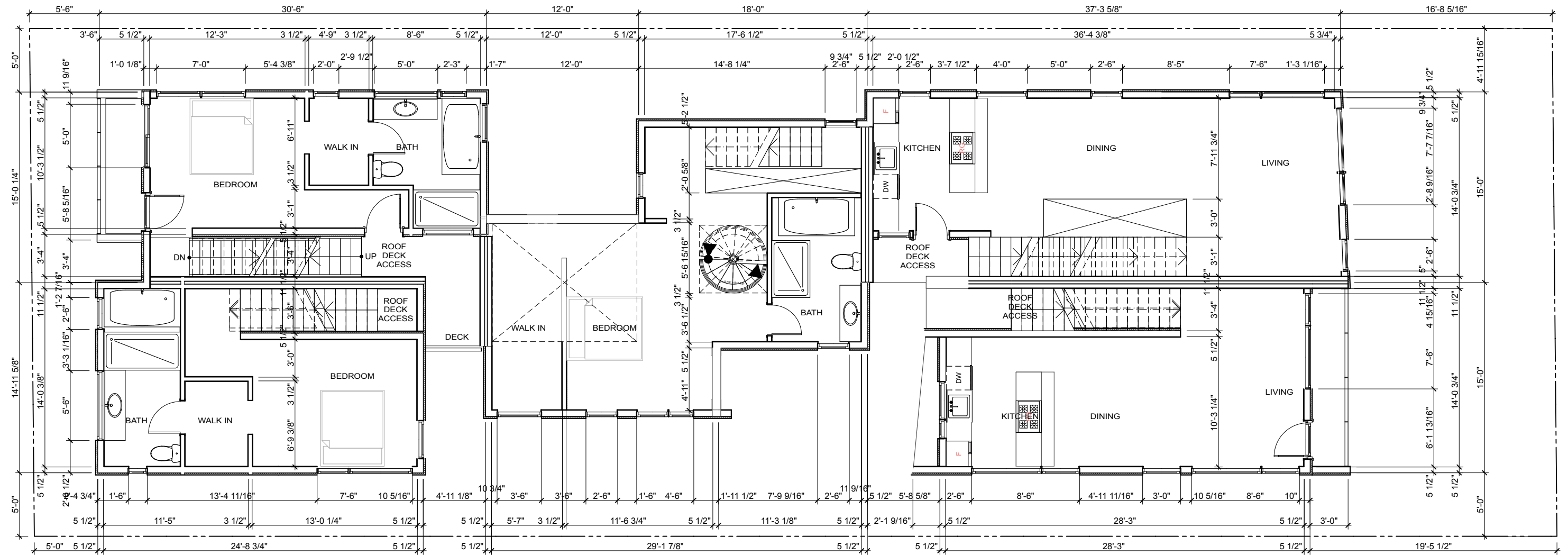
corten planters





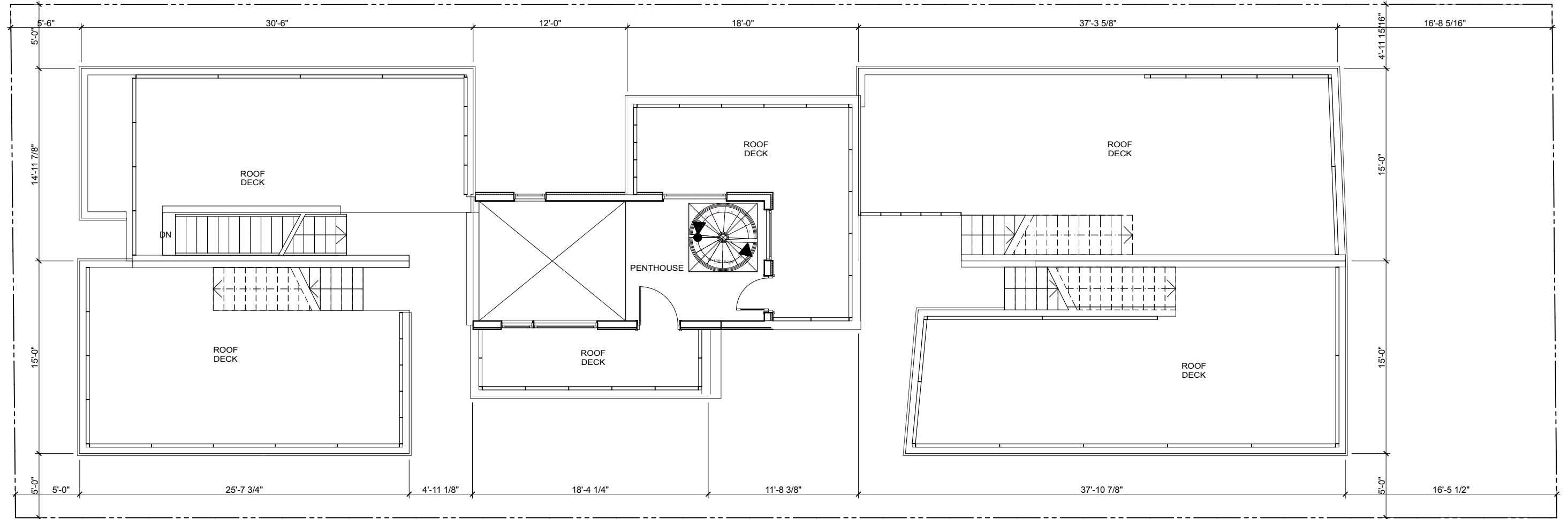
1 SECOND FLOOR PLAN

SCALE: 0' 2' 4' 8' 16'



1 | THIRD FLOOR PLAN

SCALE: 0' 2' 4' 8' 16'

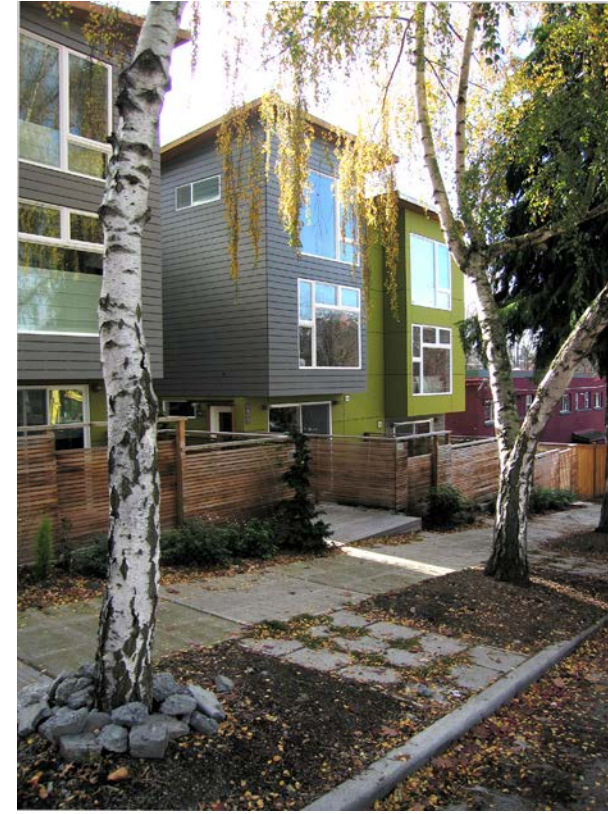




① 208 18th Ave. E. exterior view from street



② 1504 19th Avenue Duplex behind SF House



③ 1411 E. Fir St. exterior view from street

⑦ 1411 E. Fir St. interior boardwalk view

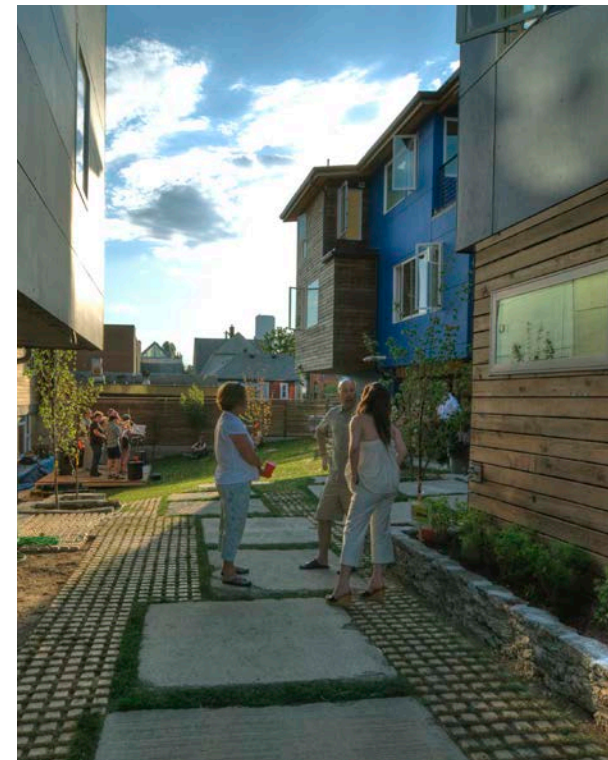


④ 1911 E. Pine St. courtyard view from a deck

⑧ 1911 E. Pine St. view from street



⑥ 1818 E Yesler Way. view of a woonerf



completed work samples

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