



# Merrill Gardens at Ballard

5601 24th Avenue NW, Seattle, WA 98107

Design Review | May 19, 2014

DPD #3015428

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PROJECT DATA	
Building Name	Merrill Gardens at Ballard
Client:	R.D. Merrill Co.
Address/Location:	5601 24th Ave NW
Site Area:	24,998 sf
Zone:	NC3P-65, NC3-65, MR-RC
Building Code:	2012 Seattle Building Code
Proposed Use:	Mixed-Use/Assisted Living

PROJECT GROSS FLOOR AREA: (in Square Feet)

Floor Level	parking	retail	residential	leasable storage	common amenity	circulation	mech/elec	TOTAL	outdoor decks
P1	19,452					467	1,474	21,393	
L1		3,526			10,996	1,699	1,641	17,862	2745
L2			3,657		3,915	3,761		11,333	273
L3			13,420			2,327		15,747	3337
L4			13,420			2,327		15,747	
L5			13,420			2,327		15,747	
L6			13,420			2,327		15,747	
L7			8,990			1,675		10,665	5,083
TOTAL	19,452	3,526	66,327	0	14,911	16,910	3,115	124,241	11,438

UNIT INFORMATION

Unit Distribution

	MC Single	studio	1 br/1 ba	2 bd/2 ba	TOTAL
L2	11				11
L3		6	11	3	20
L4		6	11	3	20
L5		6	11	3	20
L6		6	11	3	20
L7		2	10	1	13
TOTAL	11	26	54	13	104

Unit Mix

Unit Type	# of Units	%
MC Single	11	10.6%
studio	26	25.0%
1 br/1 ba	54	51.9%
2 bd/2 ba	13	12.5%
Totals	104	100%

Average Unit Size

Res	# of Units	Avg. GSF
66,327	104	638

PARKING INFORMATION

	Commercial Parking					Residential Parking				
Parking Level	small	medium	large	ADA	ADA-Van	small	medium	large	ADA	ADA-van
P1						12	49		2	1
TOTALS	0	0	0	0	0	12	49	0	2	1
total commercial parking					0	total residential parking				64
total parking										64

PROJECT OVERVIEW | MERRILL GARDENS AT BALLARD

NUMBER OF STORIES: 07 Stories Above Grade, 1 Level of Parking Below Grade

TOTAL GROSS FLOOR AREA: 126,187 sf

NUMBER OF UNITS: 105 Assisted Living Units

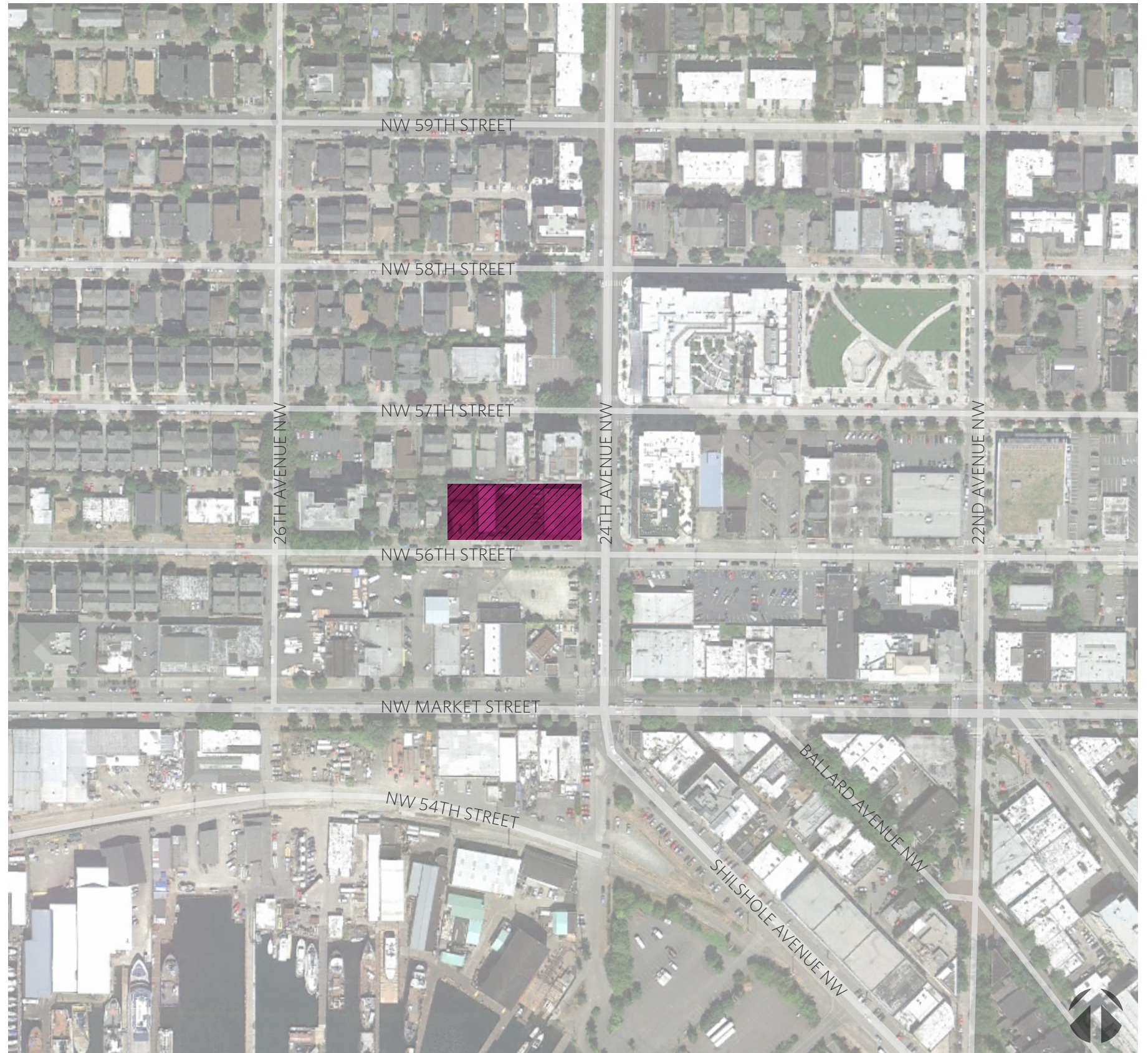
RETAIL FLOOR AREA: 3,696 sf along 24th Ave NW

NUMBER OF PARKING SPACES: 65 (Residential Parking located on P1)



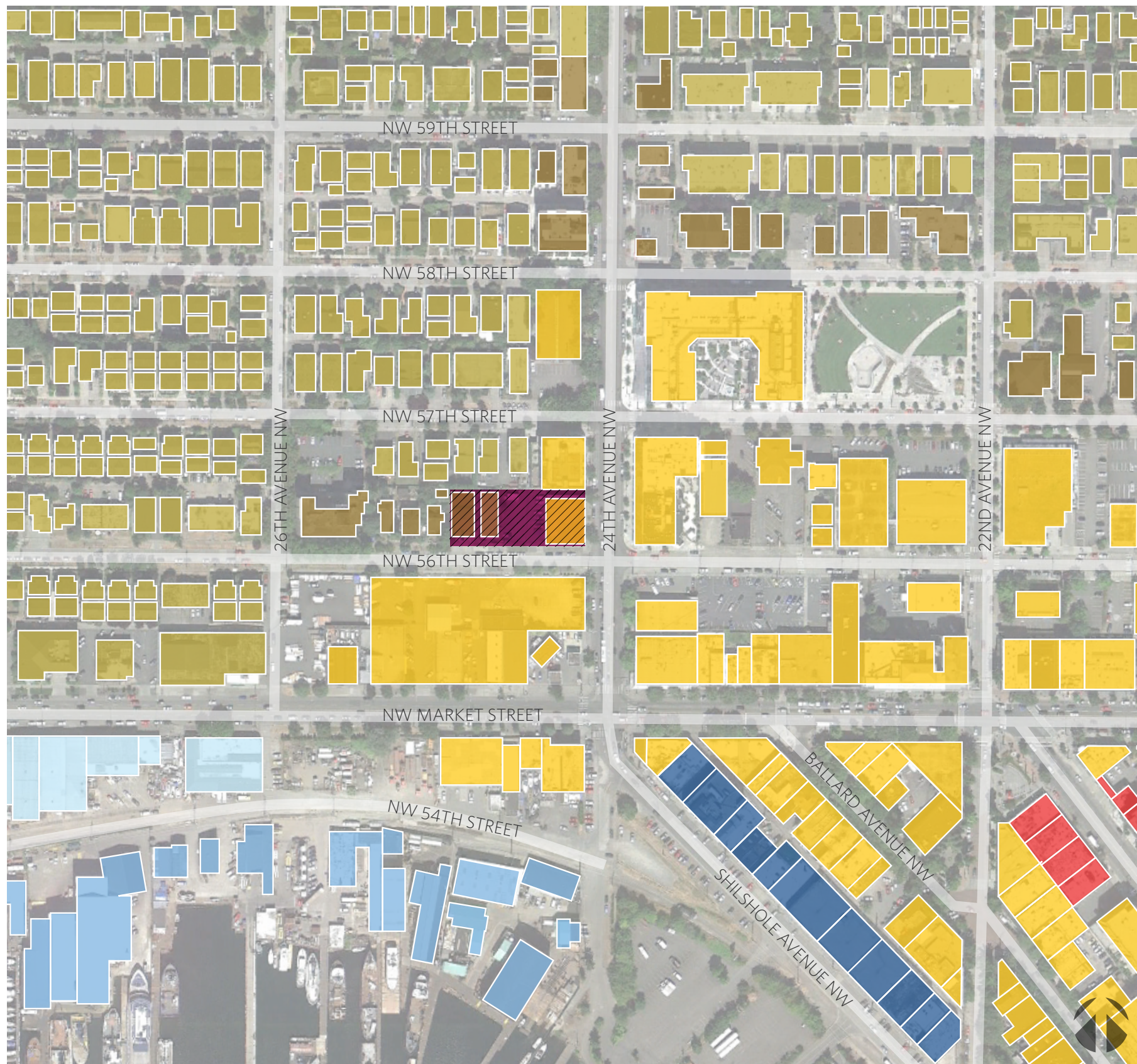


CONTEXT MAP | PROJECT SITE



AERIAL | PROJECT SITE



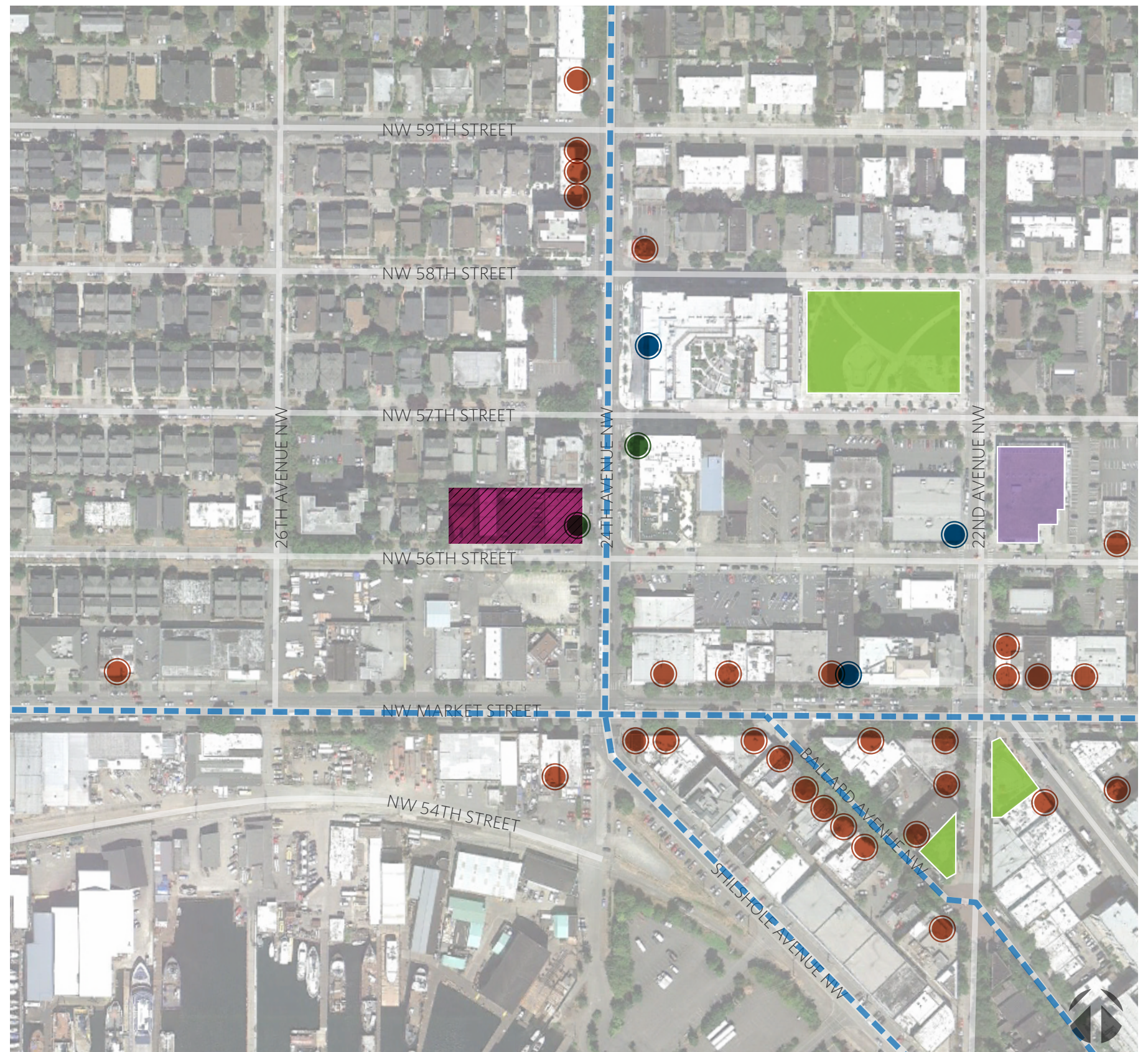


- PROJECT SITE | 5601 24th Ave. NW
- LR3 | Residential Multifamily Low-rise
- MR | Residential Multifamily Mid-rise
- NC3 | Neighborhood Commercial
- C1 | Commercial
- IG1 | General Industrial
- IC | Industrial Commercial
- IB | Industrial Buffer

AERIAL MAP | ZONING AND EXISTING STRUCTURE MAP

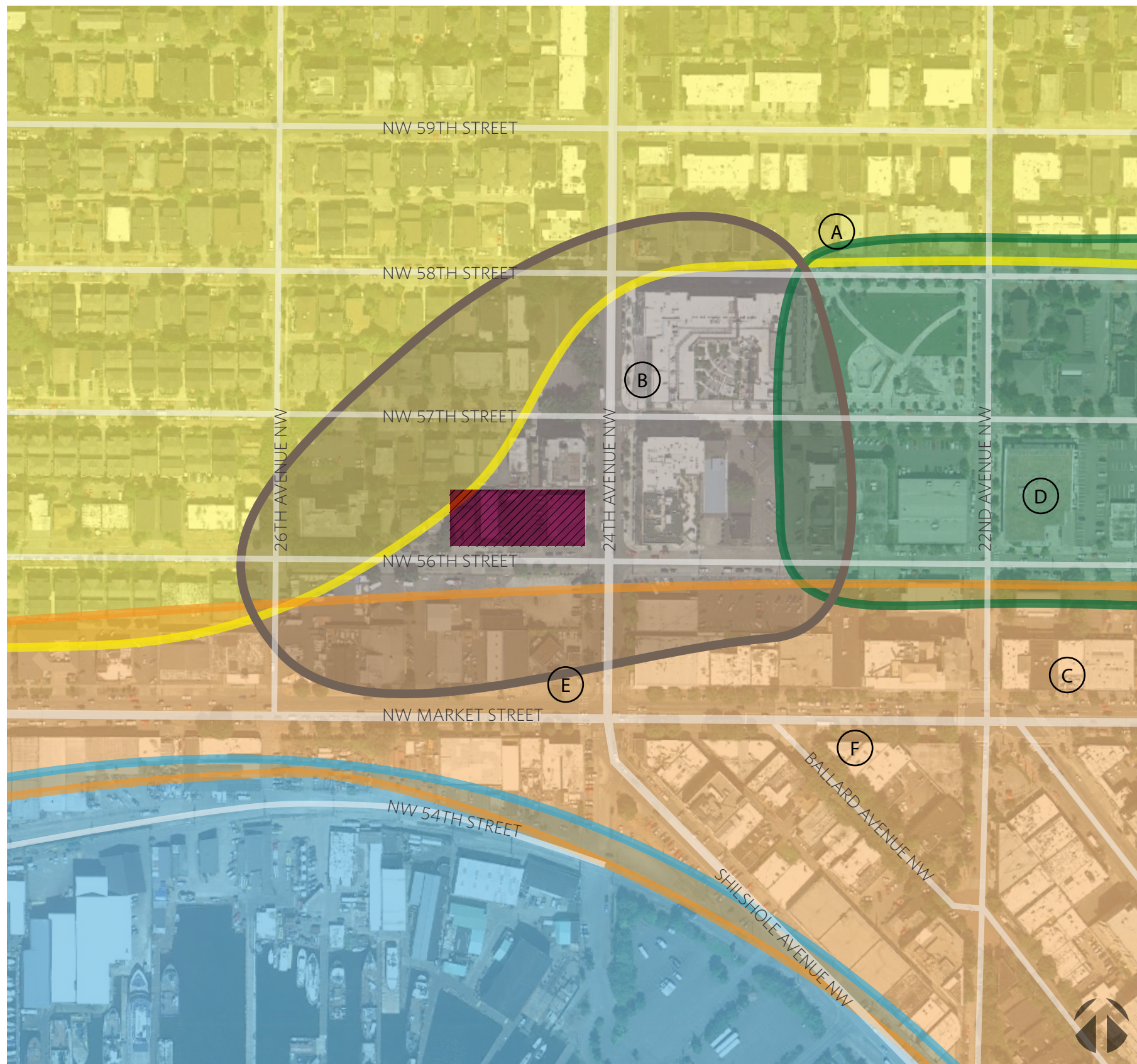


- PROJECT SITE | 5601 24th Ave. NW
- Green Space
- Library
- Eat & Drink
- Shopping
- Lifestyle
- Access to Bus Routes  
17 | 18 | 29 | 40 | 44 | 61 | 62



AERIAL MAP | NEARBY AMENITIES





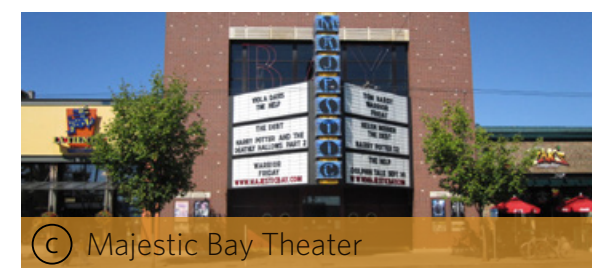
AERIAL MAP | SURROUNDING USES



(A) Ballard Commons Park | Skate Park



(B) QFC Grocery Store



(C) Majestic Bay Theater



(D) Ballard Library



(E) Gas Station



(F) Matador Restaurant & Bar

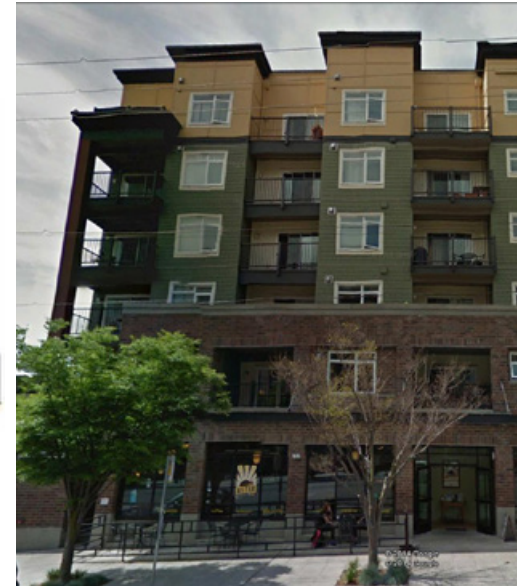
The project site is located in the middle of a transitional area, between the mixed-use/retail core of Ballard to the southeast, and the predominantly low-rise, residential neighborhood to the north and west. The preferred massing option responds to this existing character by transitioning from a zero-lot-line urban massing along 24th Ave NW to a more residential character along 56th st. by setting back and stepping down the massing.

- PROJECT SITE | 5601 24th Ave. NW
- Mixed Use
- Public Amenity
- Commercial
- Industrial
- Residential

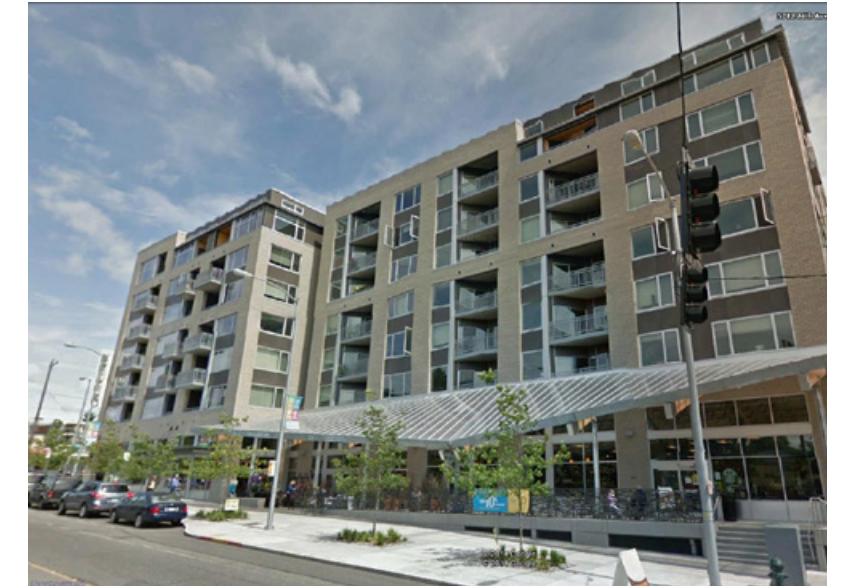




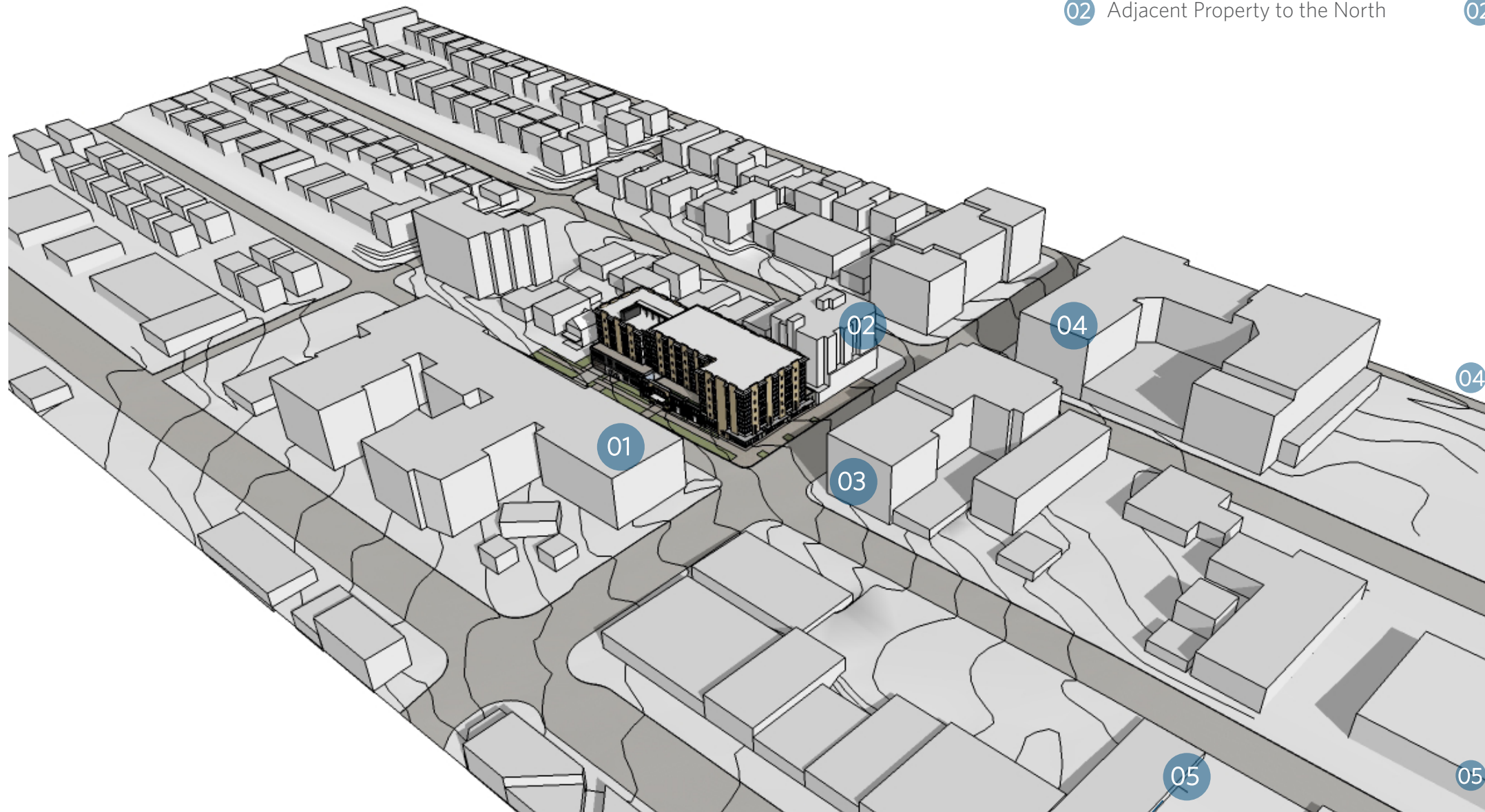
01 2428 NW Market Street (Under Construction)



02 Adjacent Property to the North



02 Ballard On the Park



04 NOMA (Across From Site)



05 LEVA on Market Street

9-BLOCK AREA SURROUNDING SITE



Project Site

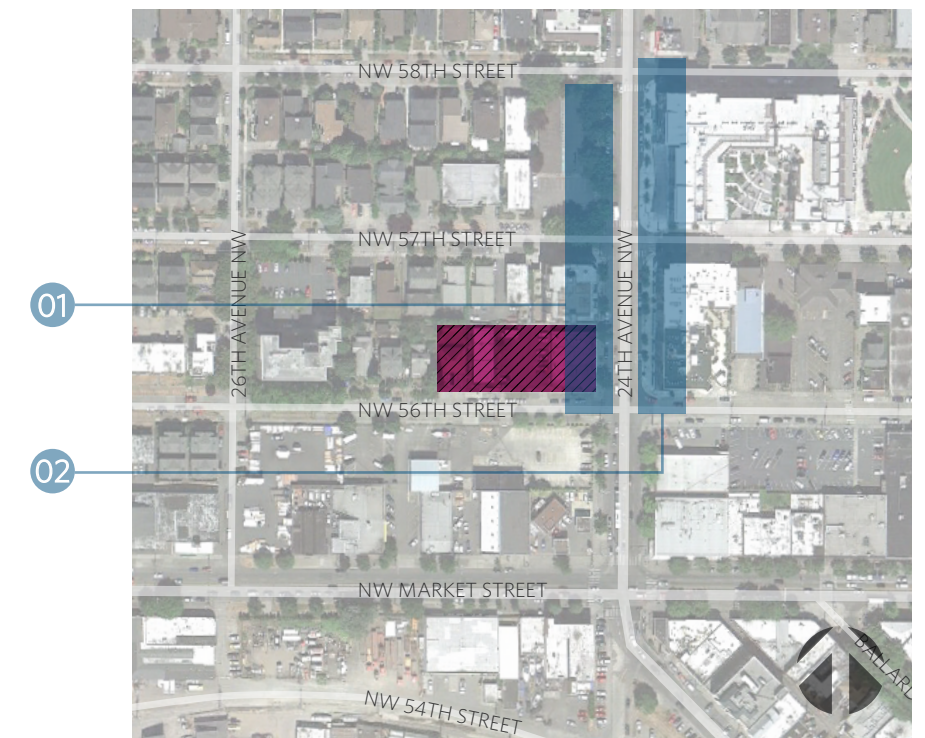


01 24TH AVENUE NW | Looking West



Across from Project Site

02 24TH AVENUE NW | Looking East



SITE CONDITIONS | EXISTING STRUCTURES AND CONDITIONS





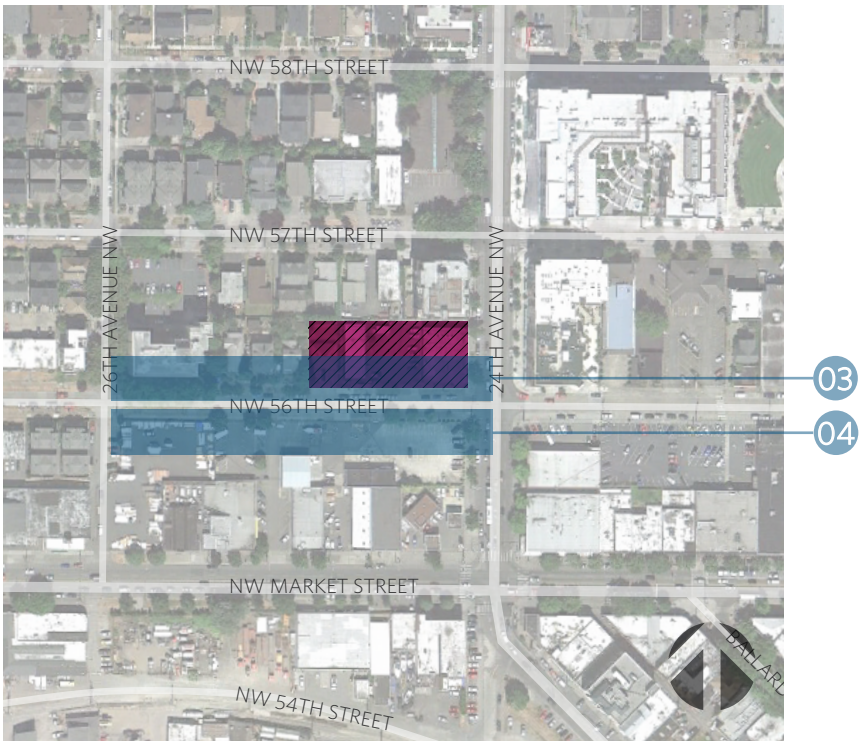
03 NW 56TH STREET | Looking North



Across from Project Site



04 NW 56TH STREET | Looking South



SITE CONDITIONS | EXISTING STRUCTURES AND CONDITIONS



Project Site



01 PROJECT SITE | Along NW 56th Street



Project Site

02 PROJECT SITE | Along 24th Avenue NW





ZONING OVERVIEW | MERRILL GARDENS AT BALLARD

SITE ADDRESS: 5601 24th Ave. NW | Seattle, WA 98107

PROJECT ZONE: NC3P-65, NC3-65, MR-RC

ZONING OVERLAYS: Ballard Hub Urban Village, Frequent Transit Service Area, Pedestrian Overlay (24th Ave. NW)

LOT AREA: 24,998 sf

NC3-65/NC3-65P Zone:		
Code Standard	Code Description	Proposed:
Permitted Uses: SMC 23.47A.004	Uses Permitted Outright: Residential (Assisted Living), Retail	Residential (Assisted Living), Retail
Street Level Uses: SMC 23.47A.005	Residential Uses may not occupy more than 20% of the street-level façade facing a Pedestrian Street. Residential Uses may occupy 100% of the street-level where not facing a pedestrian street.	Compliant (100% Non-residential facing 24th Ave.) Compliant
Street-Level Transparency: SMC 23.47A.008.B.2	60% of façade between 2' and 8' above the sidewalk shall be transparent for non-residential uses.	Compliant (see diagram)
Street-Level Depth & Height: SMC 23.47A.008.B.3	Depth of non-residential use: 30' avg., 15' min. Height of non-residential use: 13' min. floor-to-floor	37'-1" Depth 16'-0" Flr-to-Flr Height
Structure Height: SMC 23.47A.012	Maximum Height: 65' above average grade plane	64'-6"
FAR: SMC 23.47A.013	Maximum FAR for all uses in a mixed-use building: 4.75	4.03 (see project data table)
Setback Requirements: SMC 23.47A.014	At rear lot line abutting a residential zone: 15' setback for portions of the structure 13'-40' in height. Additional 2' setback for every 10' above 40' height.	Compliant Departure Requested for portion of upper level setback
Landscaping and Screening: SMC 23.47A.016	Minimum green factor score: 0.30 Street trees required.	See Landscape Plans
Amenity Areas: SMC 23.47A.024	Minimum 5% of gross residential floor area. Amenity areas shall be accessible to all residents and shall not be enclosed.	Compliant (Roof deck - See Landscape Plans)
Required Parking: SMC 23.54.015 Table B	Residential uses: no parking required within an urban village and within a frequent transit service area Non-residential uses: 1 space per 500 sf. No parking required for first 5,000 sf of each business in a pedestrian zone	64 Residential Parking Spaces
Bicycle Parking: SMC 23.54.015 Table E	Residential: 1 per 4 dwelling units (long-term) Retail: 1 per 12,000 sf (long-term) and 1 per 4,000 sf (short-term)	26 long-term spaces (in parking garage) See landscape plans for short-term
Parking Location and Access SMC 23.47A.032	Parking shall not be located between the structure and the street. Parking within the structure at street level must be separated from the street by another use.	Compliant
Solid Waste and Recycling Storage: SMC 23.54.040	Residential: 575 sf for 100 units + 4 sf per each additional unit Retail: 82 sf for <5,000 sf of retail (-50% in mixed-use development)	609 sf trash/recycle room

MR-RC Zone:		
Code Standard	Code Description	Provided:
Permitted Uses: SMC 23.45.504 SMC 23.46.004	Uses Permitted Outright: Residential (Assisted Living), Retail	Assisted Living
FAR: SMC 23.45.510	Base FAR: 3.2	3.08 (see project data table)
Structure Height: SMC 23.45.514	Maximum Height: 60' above average grade plane Height limit may be increased to 65' when lot is split between an MR and NC zone and the structure does not exceed 6 stories above grade.	64'-6"
Setbacks: SMC 23.45.518	Front Setback: 5' minimum, 7' average Side Setbacks: Below 42' height - 5' minimum, 7' average Above 42' height - 7' minimum, 10' average Rear Setback: 15'	Front: 7'-5" Side: 18'-11" Rear: 15'-11"
Amenity Area: SMC 23.45.522	Minimum 5% of gross residential floor area. All residents must have access to a public or private amenity area. Up to 50% of amenity area may be enclosed.	Compliant (Roof Deck - See Landscape Plans)
Landscaping Standards: SMC 23.45.524	Minimum green factor score: 0.50 Street trees required.	See Landscape Plans
Parking Location and Access SMC 23.45.536	Parking shall not be located between the principal structure and the street. Parking shall not be located in a front or side setback or within 7' of a street lot line. Above-grade parking within a structure shall not extend closer to the street lot line than any portion of the first story of the structure. Parking Access may be from the street where the lot does not abut an alley.	Compliant
Required Parking: SMC 23.54.015 Table B	See required parking and bicycle parking in table above.	See above





PROJECT SITE | EXISTING SITE PLAN







**A-1 Responding to Site Characteristics:** The siting of buildings should respond to specific site conditions and opportunities such as non-rectangular lots, location on prominent intersections, unusual topography, significant vegetation and views or other natural features.

*The board felt that the relationship to the neighboring house to the west was important, particularly in the treatment of the landscaping. The building is set back farther than required, and the upper levels are also set back to the north to minimizing over-shadowing of the neighbor's property. The landscaping on the west side of the property has been designed to provide visual privacy and screen the parking and utility access entries on that side of the building. Smaller trees and plantings have been selected to minimize overshadowing.*

**A-2 Streetscape Compatibility:** The siting of buildings should acknowledge and reinforce the existing desirable spatial characteristics of the right-of-way.

*The massing places the bulk of the building toward the corner of 24th and 56th, providing larger setbacks and more open space next to lower-density adjacent properties. The massing creates a strong street wall on 24th Ave. NW, consistent with existing and planned mixed-use buildings on the street. The massing is set back and stepped down along 56th moving away from 24th to be more in keeping with the character of the residential street.*

**A-4 Human Activity:** New development should be sited and designed to encourage human activity on the street.

*The streetscape along 24th is a highly-transparent façade of retail storefronts. Overhead weather protection and appropriate landscaping will be provided to encourage activity on the sidewalk. Along 56th St, the most active common amenity spaces have been located along the street. The façade at these locations is highly glazed with large operable openings that will create an active façade.*

**A-5 Respect for Adjacent Sites:** Buildings should respect adjacent properties by being located on their sites to minimize disruption of the privacy and outdoor activities of residents in adjacent buildings.

*The building responds to the adjacent duplexes and low-rise apartments by providing larger-than-required setbacks and additional landscaping, which will mitigate the massing of the building and protect the neighbors' privacy. The building is also set back from the adjacent mixed-use building to the north to protect the neighbors' daylight access and privacy. The west end of the building is set back and stepped down to reduce the apparent massing facing the neighboring house. Windows directly facing neighboring buildings have been limited and arranged to protect privacy. Substantial landscaping is provided to the north and west setbacks to provide a buffer between neighboring buildings.*

**A-10 Corner Lots:** Buildings on corner lots should be oriented toward the corner and public street fronts. Parking and automobile access should be located away from corners.

*The uses within the building are organized to focus activities at the corner. The retail entries are located near the corner where pedestrian traffic is heaviest. A wider sidewalk is provided near the corner to allow for more pedestrian activity at the corner. Parking access is located away from the corner at the west end of the site. The massing is pushed toward the corner to create a strong urban edge. The elevations are designed with large corner windows which emphasize the building corners.*

**B-1 Height, Bulk & Scale:** Projects should be compatible with the scale of development anticipated by the applicable land use policies for the surrounding area and should be sited and designed to provide a sensitive transition to near-by, less-intensive zones.

*The massing of the building is concentrated toward 24th Ave, allowing for more generous setbacks from the adjacent zones, and softening the transition to the low-rise zone. The massing creates a street wall which is consistent with the commercial character of 24th Ave. On 56th St. the massing is set back from the street and stepped down to create a transition to the mid-rise and low-rise zones.*

**C-1 Architectural Context:** New buildings proposed for existing neighborhoods with a well-defined and desirable character should be compatible with or complement the architectural character and siting pattern of neighboring buildings.

*The massing of the building reinforces the existing desirable characteristics of the two fronting streets as described in B-1 above. The materials and articulation of the building break down the massing into a scale that is similar to the surrounding structures while maintaining a cohesive design. The materials chosen, particularly at street level, are highly detailed and textured, similar to many neighboring structures.*

**C-2 Architectural Concept and Consistency:** Building design elements, detail and massing should create a well-proportioned and unified building form and exhibit an overall architectural concept.

*The massing is a cohesive building with a minimal material palate and subtle articulation. Articulation and material variations are limited to locations where they will best respond to the character of each streetscape.*



**C-4 Exterior Finish Materials:** Building exterior should be constructed of durable and maintainable materials that are attractive even when view up close. Materials that have texture, pattern, or lend themselves to a high quality of detailing are encouraged.

*Durable, high-quality materials are used throughout the project, particularly at the street level. Materials that used include brick, concrete, fiber cement and metal.*

**C-5 Structured Parking Entrances:** The presence and appearance of garage entrances should be minimized so that they do not dominate the street frontage of a building.

*The parking garage entry is located at the far west end of the building on 56th St, where it will least interfere with pedestrian traffic and its appearance in the design of the facade will be minimized. This location is consistent with the neighborhood design guidelines, which prefer parking entries on east-west streets.*

**D-1 Pedestrian Open Spaces and Entrances:** Convenient and attractive access to the building's entry should be provided. To ensure comfort and security, paths and entry areas should be sufficiently lighted and entry areas should be protected from the weather. Opportunities for creating lively, pedestrian-oriented open space should be considered.

*The retail and residential entries are visually prominent and located directly on the sidewalk of 24th Ave NW and 56th st. respectively. The retail streetscape has a wide paved area and overhead weather protection, providing space for retail activities to spill out onto the sidewalk. The 56th st. streetscape is a lower traffic area, so more landscaping is provided, and streetscape activity is focused around the residential entry.*

**D-2 Blank Walls:** Buildings should avoid large blank walls facing the street, especially near sidewalks. Where blank walls are unavoidable they should receive design treatment to increase pedestrian comfort and interest.

*Blank walls have been minimized facing the street and sidewalks. The locations where most segments of blank walls will occur are behind landscape/planting areas which will provide some screening of blank walls.*

**D-6 Screening of Dumpsters, Utilities and Service Areas:** Building sites should locate service elements like trash dumpsters, loading docks and mechanical equipment away from the street front where possible. When it is not possible to locate these elements away from the street front they should be screened from view using high quality and compatible materials and should not be located in the pedestrian right-of-way.

*Building service elements have to be accessed from the street front as the site is not served by an alley. All service areas are fully enclosed inside the building, with openings limited to those required for access. These areas are set back from the sidewalk and screened by landscaping areas to soften their impact on the streetscape.*

**D-9 Commercial Signage:** Signs should add interest to the street front environment and should be appropriate for the scale and character desired in the area.

*Appropriately scaled commercial signage will be integrated into the elevation design of the retail façade and residential entry. Signage will be pedestrian oriented and unique to each retail establishment.*

**D-10 Commercial Lighting:** Appropriate levels of lighting should be provided in order to promote visual interest and a sense of security for people in commercial districts during evening hours. Lighting may be provided by incorporation into the building façade, the underside of overhead weather protection, on and around street furniture, in merchandising display windows, in landscaped areas, and/or on signage.

*Commercial lighting is designed to highlight retail facades and the residential entry, and to accent the street facades of the building. The lighting will be designed to enhance the human scale of the streetscape and minimize glare and light trespass on to neighboring properties.*

**D-11 Commercial Transparency:** Commercial storefronts should be transparent, allowing for a direct visual connection between pedestrians on the sidewalk and the activities occurring on the interior of a building. Blank walls should be avoided.

*The commercial storefronts are highly glazed and transparent, with only small segments of blank wall between individual storefronts. The frontage of the residential common areas facing 56th st. has been designed similar to the retail to be highly transparent and active.*

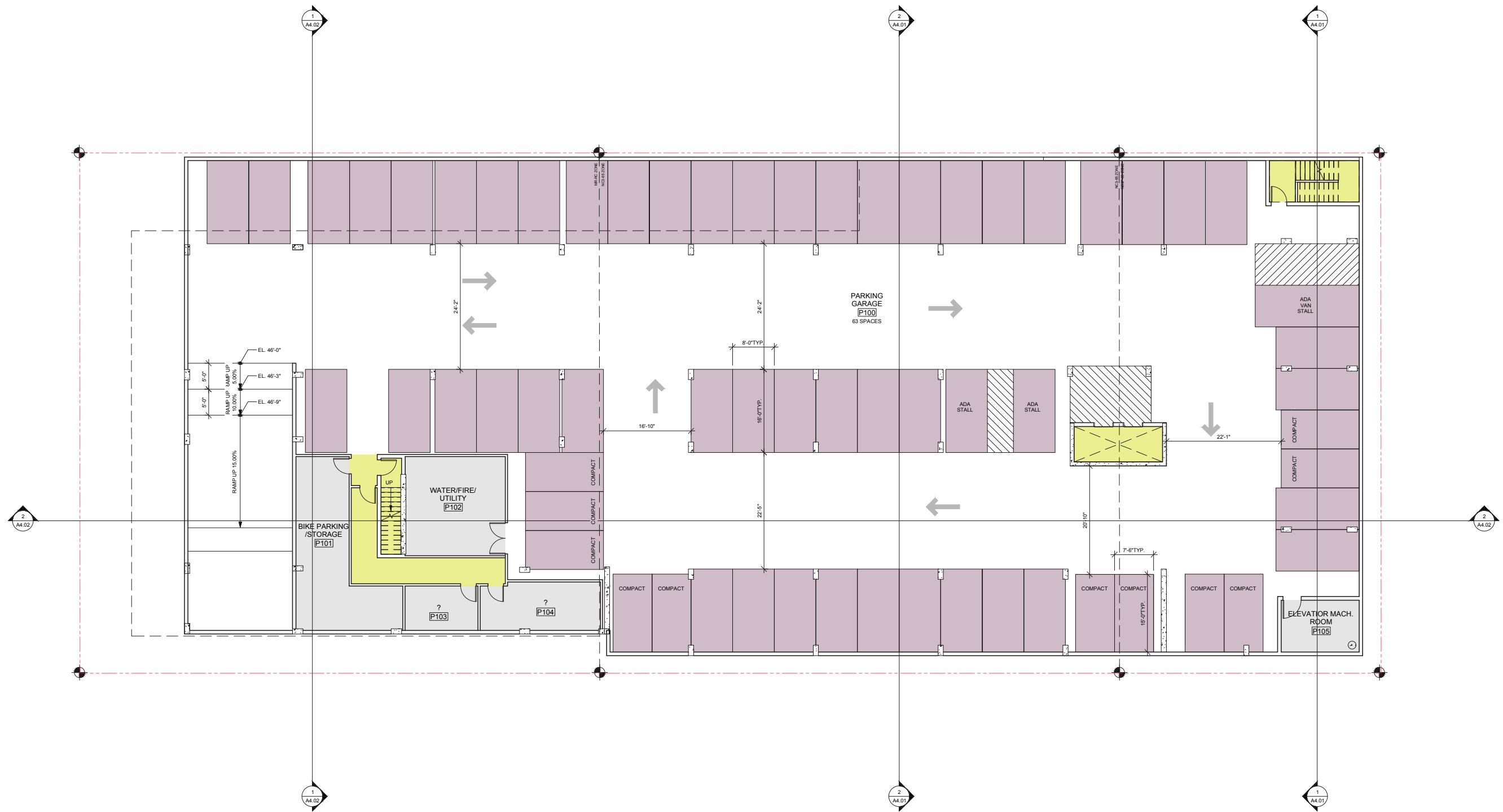
**E-1 Landscaping to Reinforce Design Continuity with Adjacent Sites:** Where possible, and where there is not another overriding concern, landscaping should reinforce the character of neighboring properties and abutting streetscape.

*The landscaping of the streetscapes reinforces the differing character of the two streetscapes, as described in E-2 below. Landscaping will also create a transition to the neighboring properties as described in A-1 and A-5 above.*

**E-2 Landscaping to Enhance the Building and/or Site:** Landscaping, including living plant material, special pavements, trellises, screen walls, planters, site furniture and similar features should be appropriately incorporated into the design to enhance the project.

*Landscaping will be used throughout the project to enhance the quality of the site. On the west edge of the building, a landscaped buffer will soften the edge of the building and protect the privacy of the adjacent house. Landscaping will be used along 56th St. to create a more residential streetscape and transition to the smaller-scale residential uses to the west of the site.*





- Service Area & Storage
- Circulation & Common Amenity
- Parking Stalls

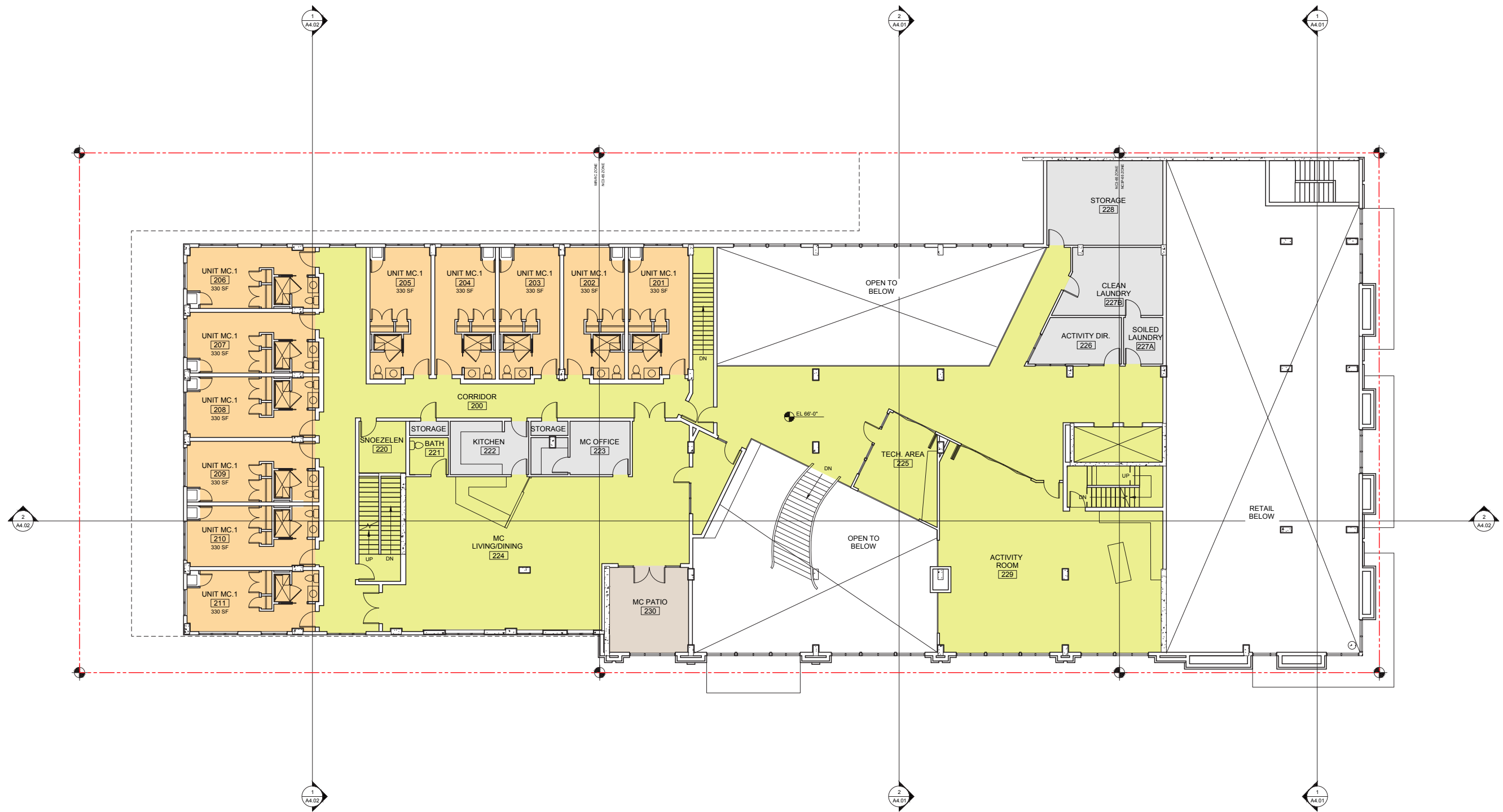


SECOND FLOOR PLAN







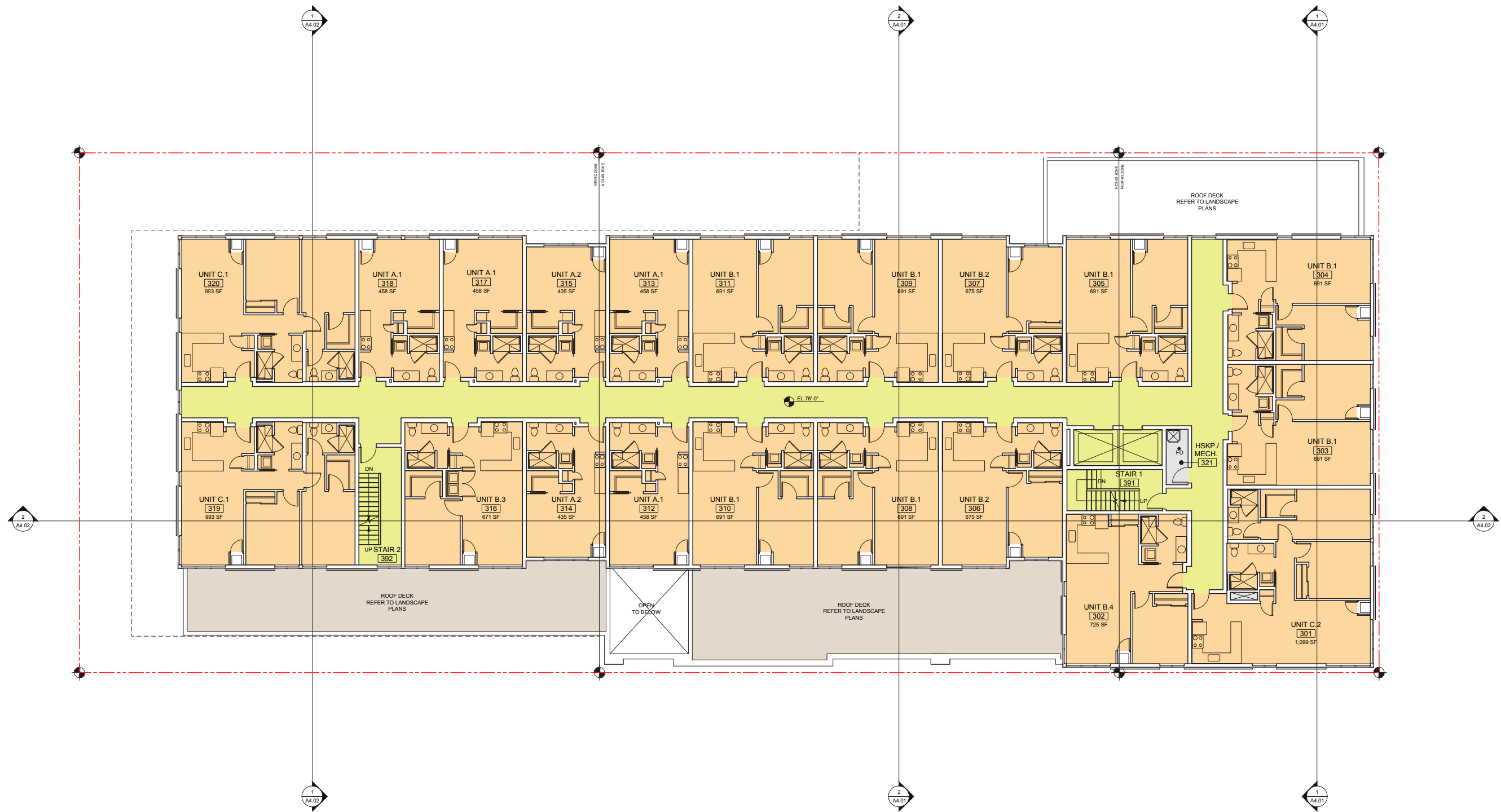


- Service Area & Storage
- Circulation & Common Amenity
- Residential Units
- Exterior Space



SECOND FLOOR PLAN



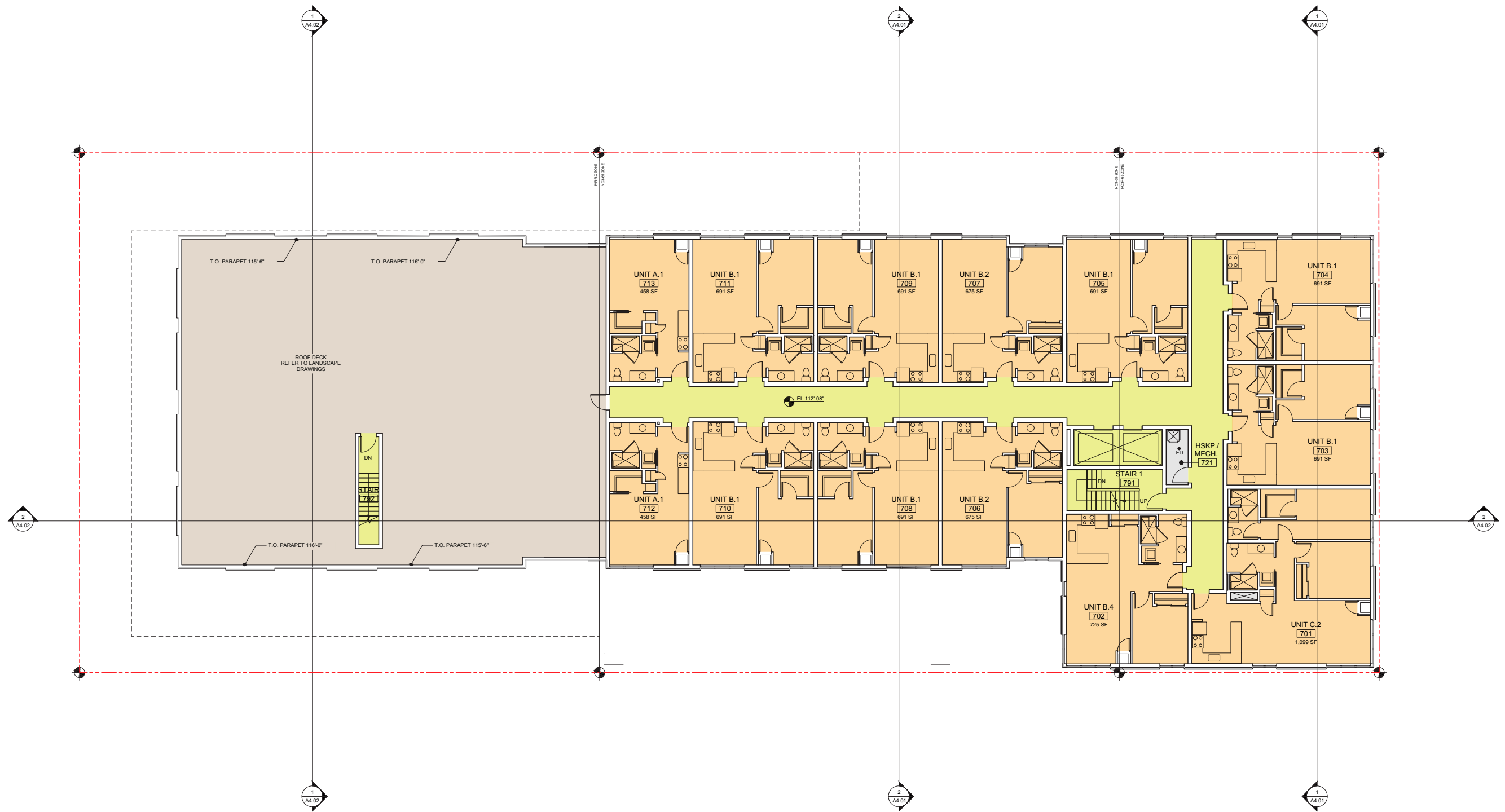


- Service Area & Storage
- Circulation & Common Amenity
- Residential Units
- Exterior Amenity Space / Private Patio



TYPICAL UPPER LEVEL PLAN





- Service Area & Storage
- Circulation & Common Amenity
- Residential Units
- Exterior Amenity Space / Private Patio



LEVEL SEVEN PLAN | ROOF DECK





COMPOSITE LANDSCAPE/HARDSCAPE PLAN | NTS



Planting Schedule			
Symbol	Qty.	Type	Size/Comments
<b>Existing Trees to Remain</b>			
<b>Street Trees</b>			
		Acer truncatum x A. platanoides 'Warrenred' / Pacific Sunset Maple	2 1/2" cal., B&B
<b>Deciduous Trees</b>			
		Acer circinatum / Vine Maple	1" cal., B&B
		Acer palmatum 'Bloodgood' / Japanese Maple 'Bloodgood'	1" cal., B&B
		Acer palmatum 'Dissectum' / Laceleaf Japanese Maple	1" cal., B&B
		Amelanchier canadensis / Serviceberry	1" cal., B&B
		Cotinus coggygria / Smoke Tree	1" cal., B&B
		Magnolia x 'Galaxy' / Galaxy Magnolia	1" cal., B&B
<b>Coniferous Trees</b>			
		Abies concolor / White Fir	6' min. ht.
		Pinus contorta / Shore Pine	6' min. ht.
<b>Large-Medium-Small Shrubs</b>			
		Bamboo multiplex 'Golden Goddess' / Golden Goddess Bamboo	30" min. ht., clump
		Blechnum spicant / Deer Fern	18" min. ht.
		Buxus microphylla japonica 'Green Beauty' / Japanese Boxwood 'Green Beauty'	18" min. ht.
		Cornus stolonifera 'Kelsey' / Kelsey Dogwood	18" min. ht.
		Euonymus alata / Winged Euonymous	30" min. ht.
		Hydrangea macrophylla / Bigleaf Hydrangea	30" min. ht.
		Lavandula angustifolia / English Lavender	18" min. ht.
		Nandina domestica / Heavenly Bamboo	24" min. ht.
		Spiraea japonica 'Shirobana' / Spiraea 'Shirobana'	18" min. ht.
		Viburnum davidii / David's Viburnum	18" min. ht.
<b>Groundcovers and Vines</b>			
		Carex obnupta / Slough Sedge (GC, Bio Planters)	1 gal. @12" O.C.
		Mahonia repens / Creeping Mahonia (GC)	1 gal. @12" O.C.
		Vinca minor / Dwarf Periwinkle (GC)	1 gal. @12" O.C.
		4 1/2" Greenroof Tray System; by LIVEROOF	
		Clematis armandii / Evergreen Clematis	
<b>Site Elements</b>			
		6" Site Bench	
		30" Raised Planter; 4' x 4'	
		24" Raised Planter; 2' x 6'	
		24" Raised Planter; 4' x 6', Tenant Garden Area	
		Pergola Structure on Roof Deck Level	
		2" SS Bike Loops	



Wood Bench



Fire Pit



Bike Rack



Pedestal Pavers



Outdoor BBQ Kitchen



Roof Decking



Overhead String Lighting



Overhead String Lighting

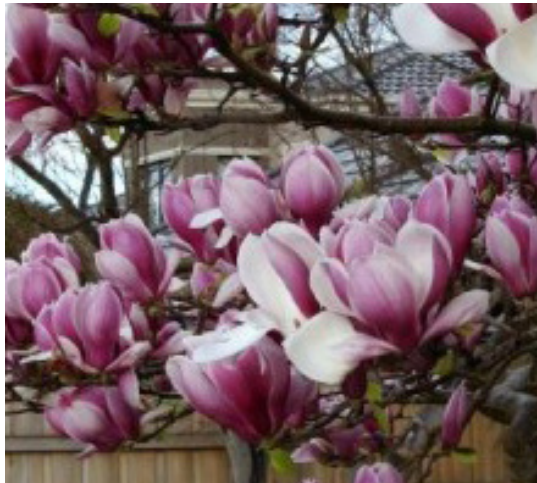


Patio with Bioplanter





David's Viburnum



Galaxy Magnolia



Kelsey Dogwood



Wild Lavender



Green Roof Xeriscaping



Pacific Sunset Maple



Shore Pine



Japanese Maple



Smoke Tree



Heavenly Bamboo



Boxwood



Yew Hedge



Vine Maple



Steel or Wood Pergola



Metal Planters

COMPOSITE LANDSCAPE/HARDSCAPE PLAN | PLANTING PHOTOS





# SOUTH ELEVATION

- 01. FIBRE C OKO SKIN SLAT WALL PANEL
- 02. VINYL WINDOWS
- 03. FIBER CEMENT PANEL
- 04. FIBER CEMENT LAP SIDING
- 05. CONCRETE
- 06. BRICK
- 07. METAL CANOPY
- 08. ALUMINUM STOREFRONT WINDOW
- 09. RETAIL BLADE SIGNAGE, TYP.









NORTH ELEVATION

- 01. FIBRE C OKO SKIN SLAT WALL PANEL
- 02. VINYL WINDOWS
- 03. FIBER CEMENT PANEL
- 04. FIBER CEMENT LAP SIDING
- 05. CONCRETE
- 07. METAL CANOPY
- 09. RETAIL BLADE SIGNAGE, TYP.





EAST ELEVATION

- 01. FIBRE C OKO SKIN SLAT WALL PANEL
- 02. VINYL WINDOWS
- 03. FIBER CEMENT PANEL
- 06. BRICK
- 07. METAL CANOPY
- 08. ALUMINUM STOREFRONT WINDOW
- 09. RETAIL BLADE SIGNAGE, TYP.



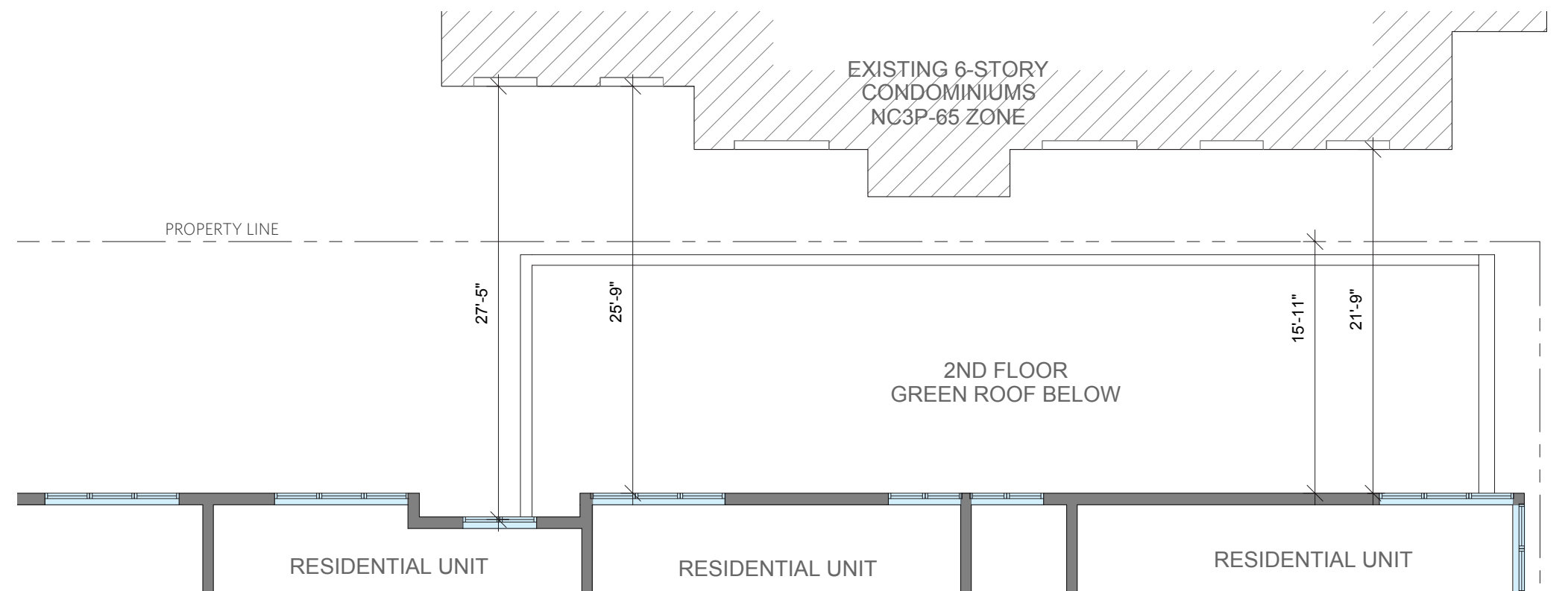


NORTH ELEVATION | FENESTRATION SLIGHTLINE ALIGNMENT

- EXISTING 6-STORY CONDO BUILDING
- EXISTING 6-STORY CONDO BUILDING WINDOWS
- POTENTIAL SIGHTLINE OVERLAP

*"5b. Design and locate the fenestration to respect sightlines, especially in the NC zone (A-5)"*

With respect to the north edge of the adjacent existing 6-story Condominium building in the NC zone (which has a 0' setback minimum), the building pushes almost 16' back from the property line, allowing for some preservation of the existing sightlines, and minimizing the impact as much as feasible. The minimum distance between finish face of the window ranges from 21'-9", and a maximum of 27'-5". The units in the neighboring buildings that are impacted from this sightline change also have balconies that face perpendicular to the building facade which are not impacted by the new construction.



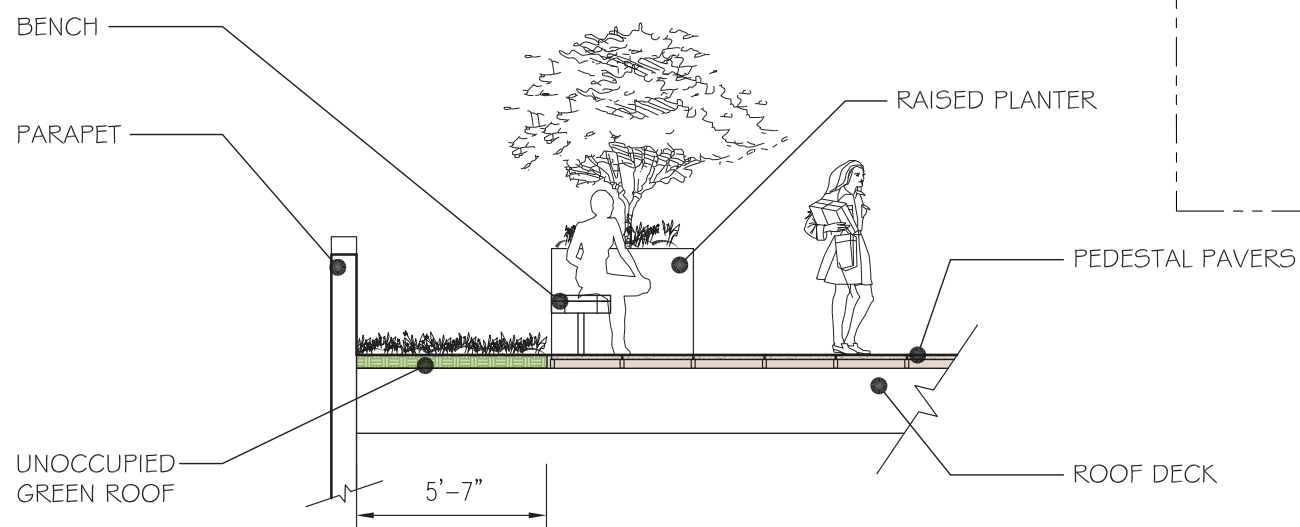
RELATIONSHIP TO ADJACENT STRUCTURE | CONDO TO THE NORTH

NORTH FACADE | FENESTRATION SLIGHTLINE ALIGNMENT

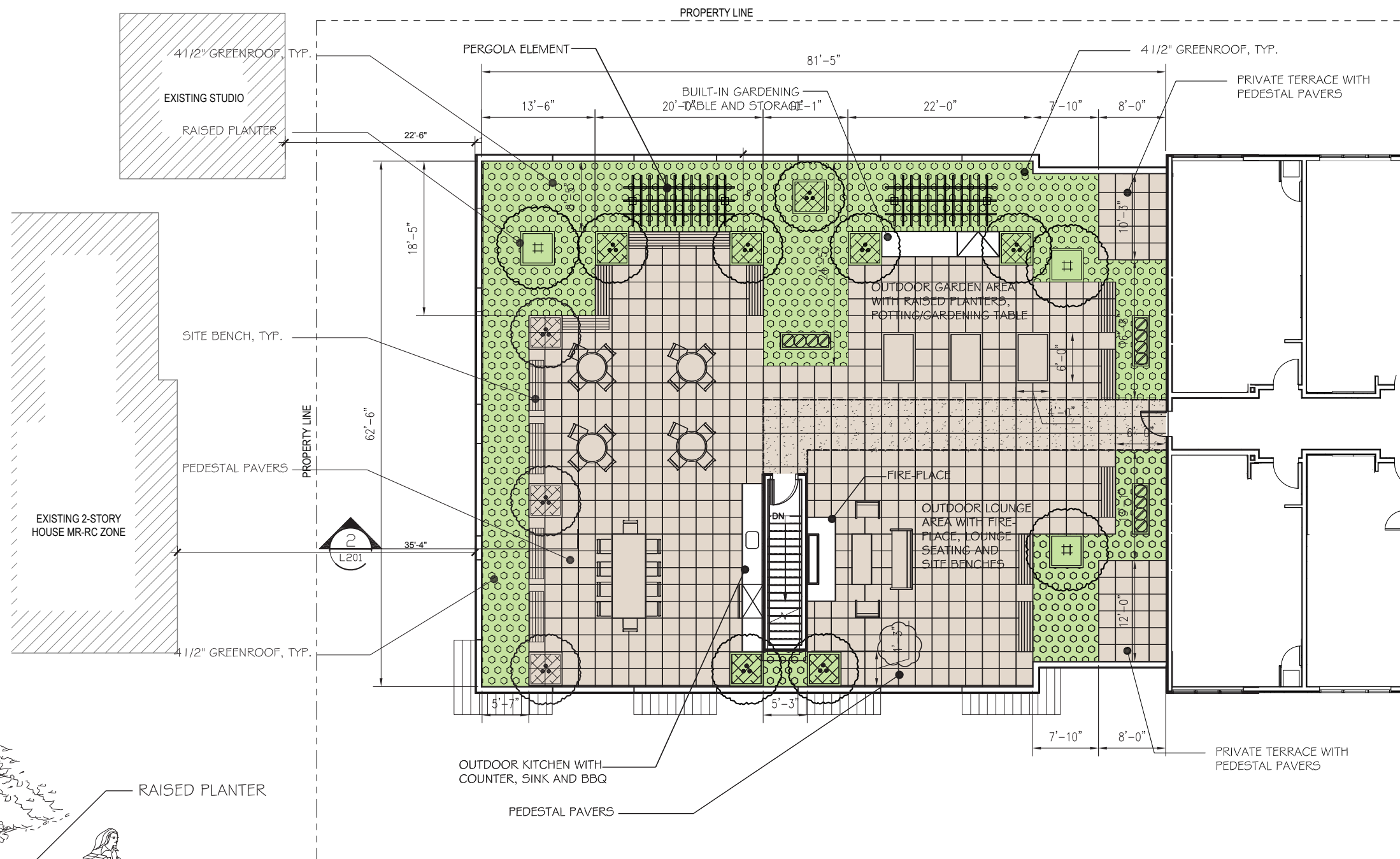


"5C. Locate the proposed roof deck back from the west and north building edges to protect privacy (A-5)"

With respect to the north edge of the adjacent existing 2-Story residential home, the roof deck's physically accessible space is set back 5'-07" from the interior face of the roof parapet, and 8' from the northern edge. In addition to the setbacks, planters along these areas help to protect privacy for both properties and add a more enjoyable environment.



ROOF DECK SECTION | PRIVACY SETBACK AT WEST EDGE



- DECK SPACE FOR RESIDENTS
- GREEN ROOF AND LANDSCAPED PLANTING AREA (INACCESSIBLE)

RELATIONSHIP TO ADJACENT STRUCTURE | ROOF DECK PRIVACY





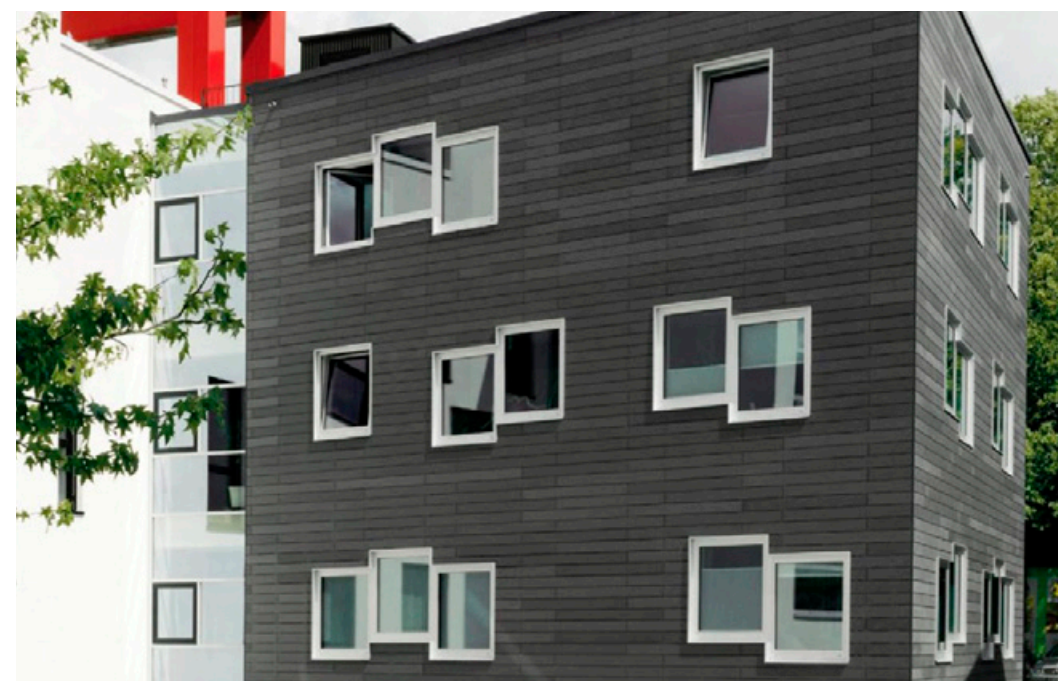
OKO SKIN SLAT WALL PANELS: APPLICATION EXAMPLE



OKO SKIN SLAT PANEL:  
SANDSTONE FE FERRO  
LIGHT SANDBLAST



OKO SKIN SLAT PANEL:  
SANDSTONE FE FERRO



In many regions wood is an important design element of both traditional and modern architecture. The main disadvantages of wood are its high maintenance requirements and the fact that it does not retain its attractive appearance in the long term, particularly if the facade is strongly weather-exposed. Rieder Oko Skin offers an ideal alternative: the slender glassfibre concrete panels neither have to be sanded nor painted. Another substantial advantage over wood is the fact that Oko Skin meets fire protection class A1 and is noncombustible. Oko Skin allows Rieder to capture regions and building types previously reserved to traditional building materials such as wood. Oko skin is as beautiful as wood and as sustainable as concrete.





02 VINYL WINDOWS



05 CONCRETE



07 METAL CANOPY



03 FIBER CEMENT PANEL



06 BRICK | ROUGH FACE MONA LOA



08 ALUMINUM STOREFRONT WINDOWS



04 FIBER CEMENT LAP SIDING



06 BRICK | ROUGH FACE REDONDO GRAY

MATERIAL AND COLOR BOARD





SE CORNER | RETAIL SPACE AT STREET LEVEL ALONG 24TH AVE





SW CORNER | RESIDENTIAL GARAGE ENTRY AND SERVICE AREA





MAIN ENTRANCE, MERRILL GARDENS





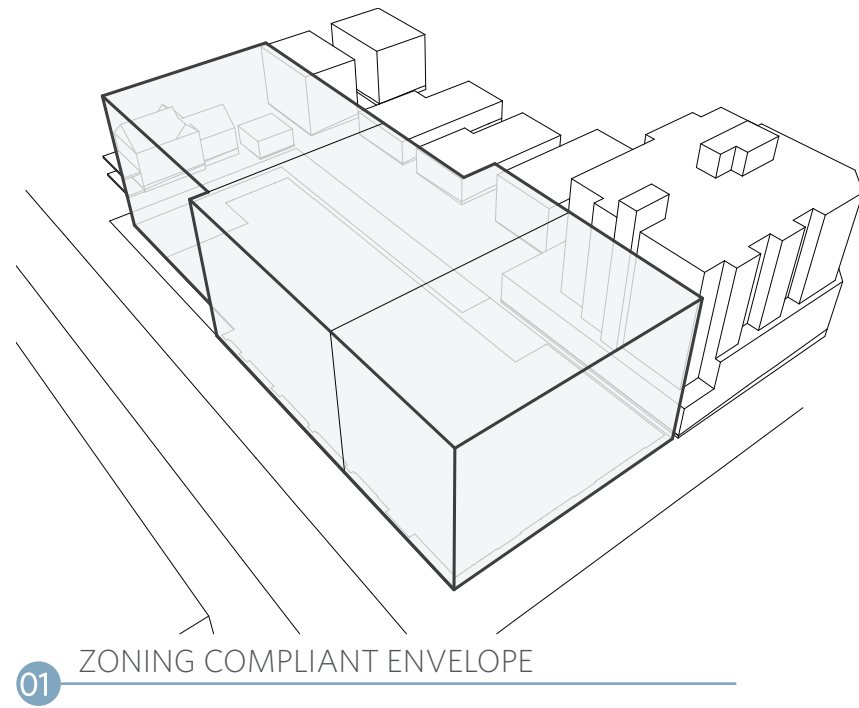
PEDESTRIAN ENVIRONMENT ALONG 56TH STREET



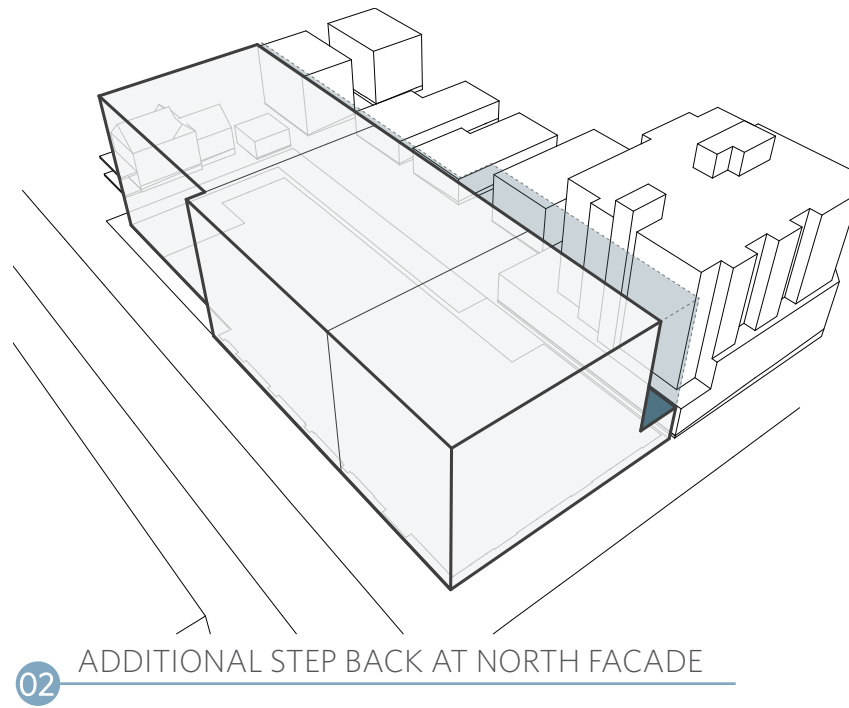


COMMERCIAL TRANSPARENCY ALONG 24TH AVE.

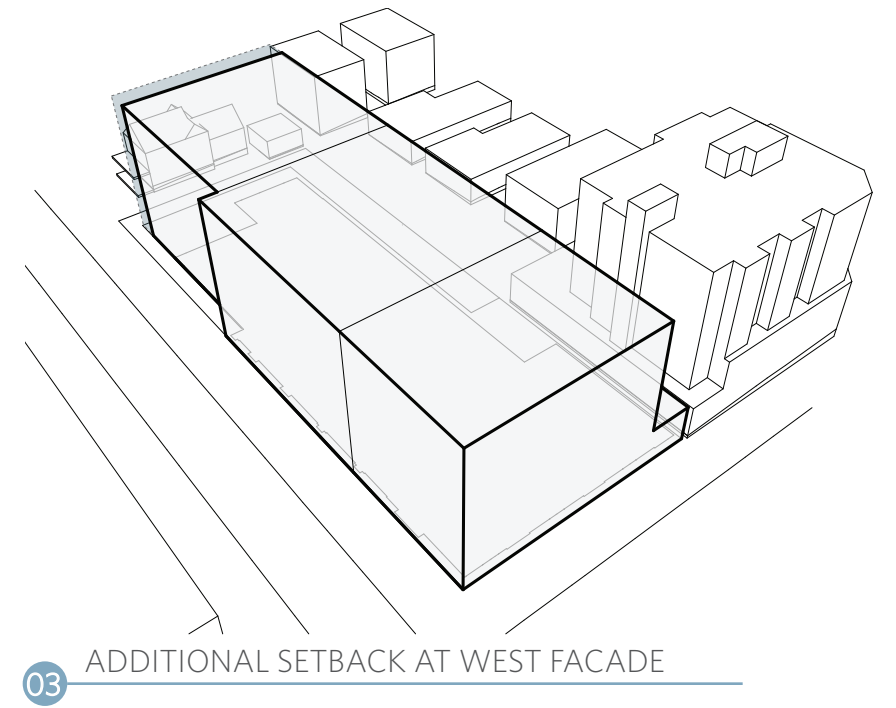




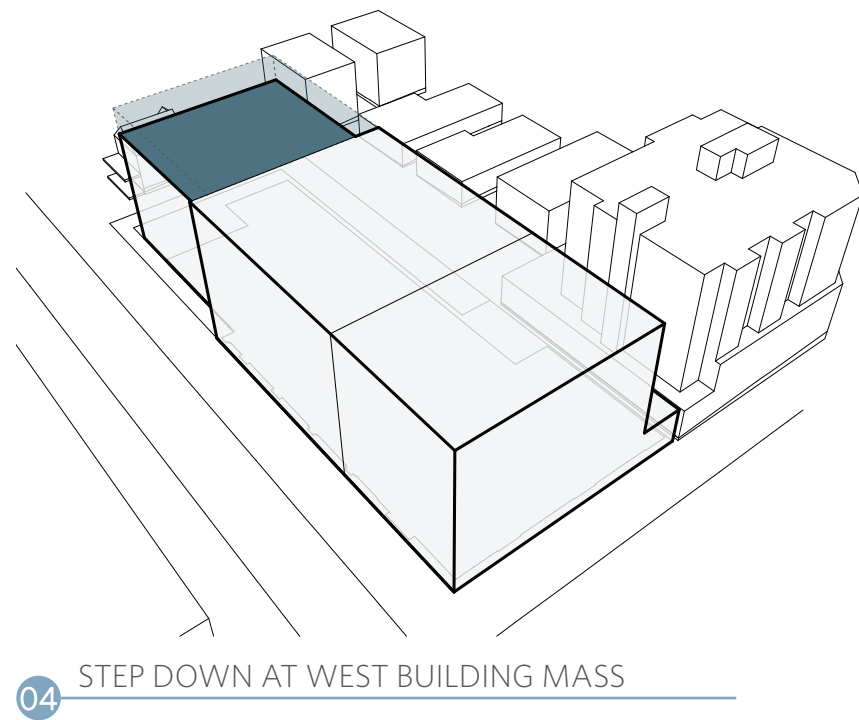
01 ZONING COMPLIANT ENVELOPE



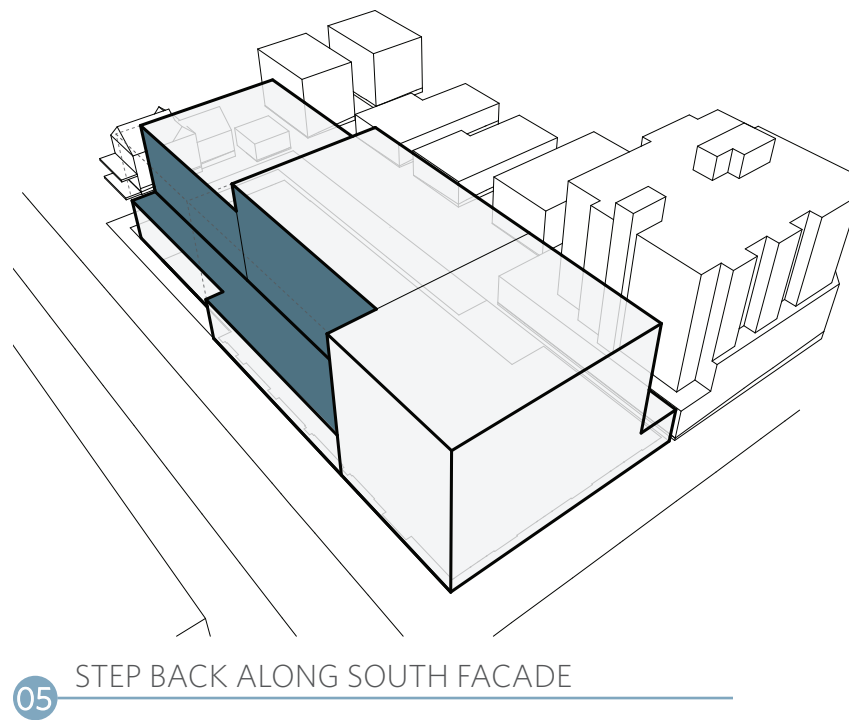
02 ADDITIONAL STEP BACK AT NORTH FACADE



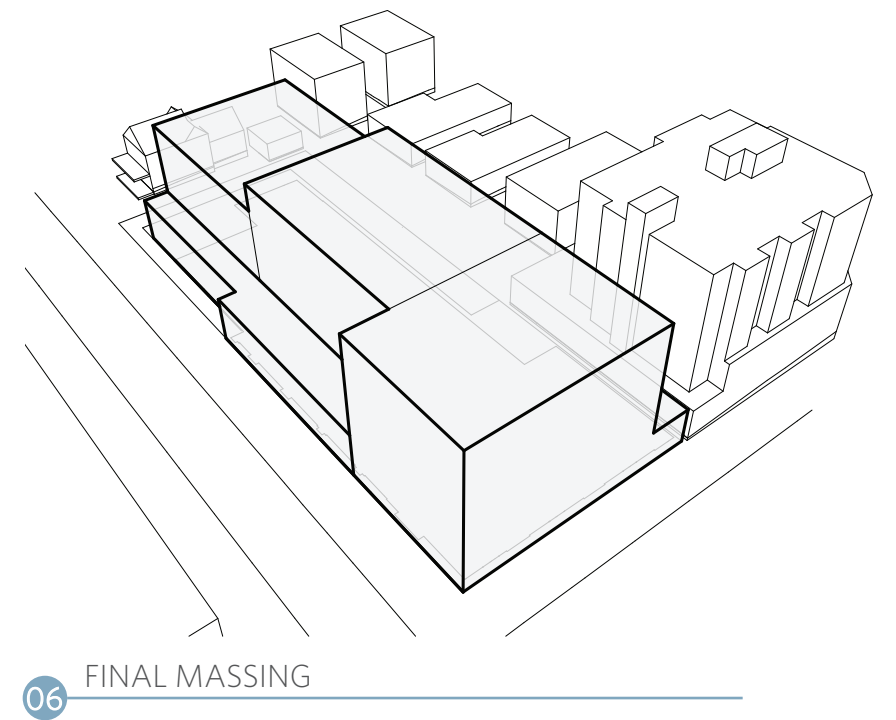
03 ADDITIONAL SETBACK AT WEST FACADE



04 STEP DOWN AT WEST BUILDING MASS

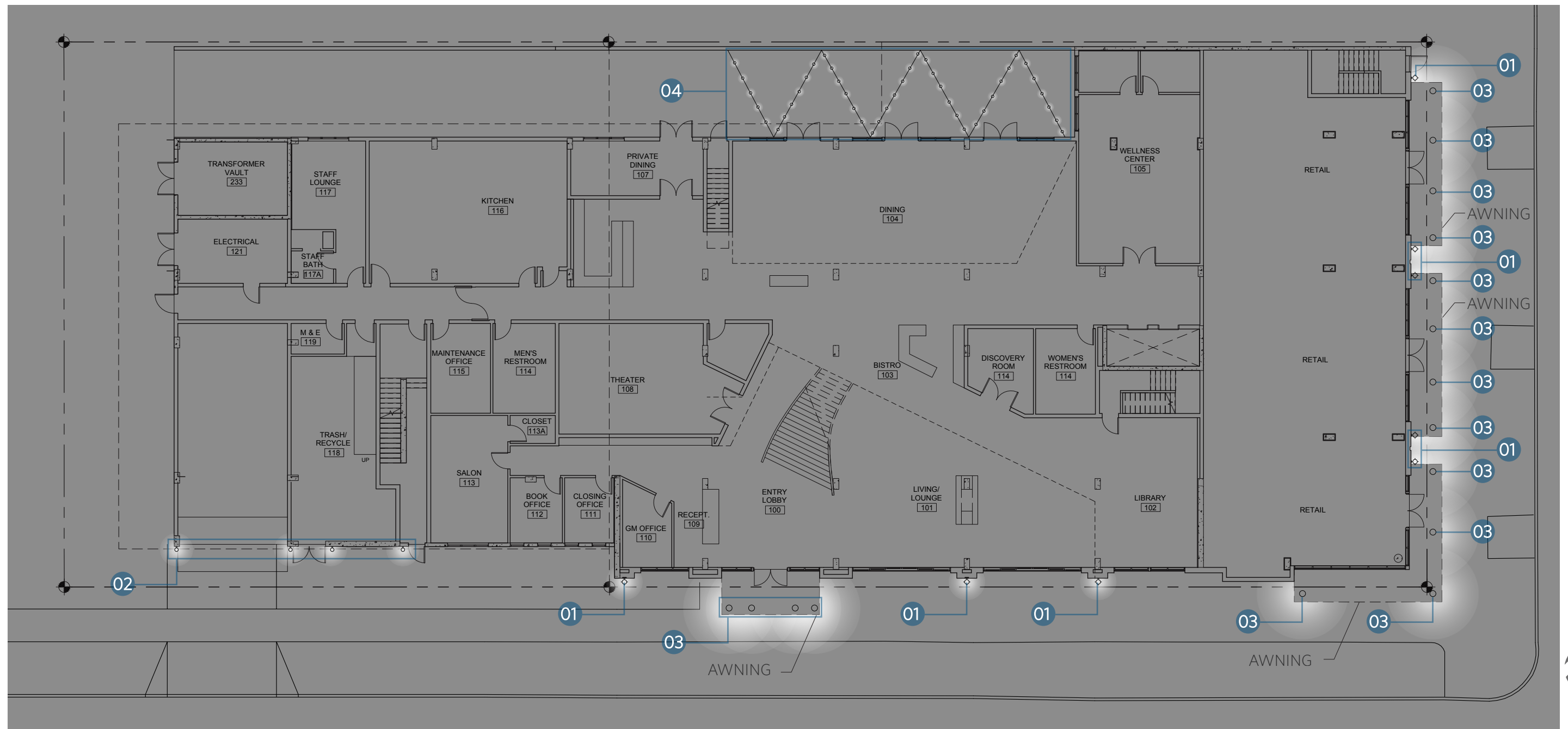


05 STEP BACK ALONG SOUTH FACADE



06 FINAL MASSING

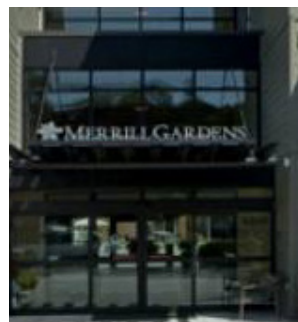
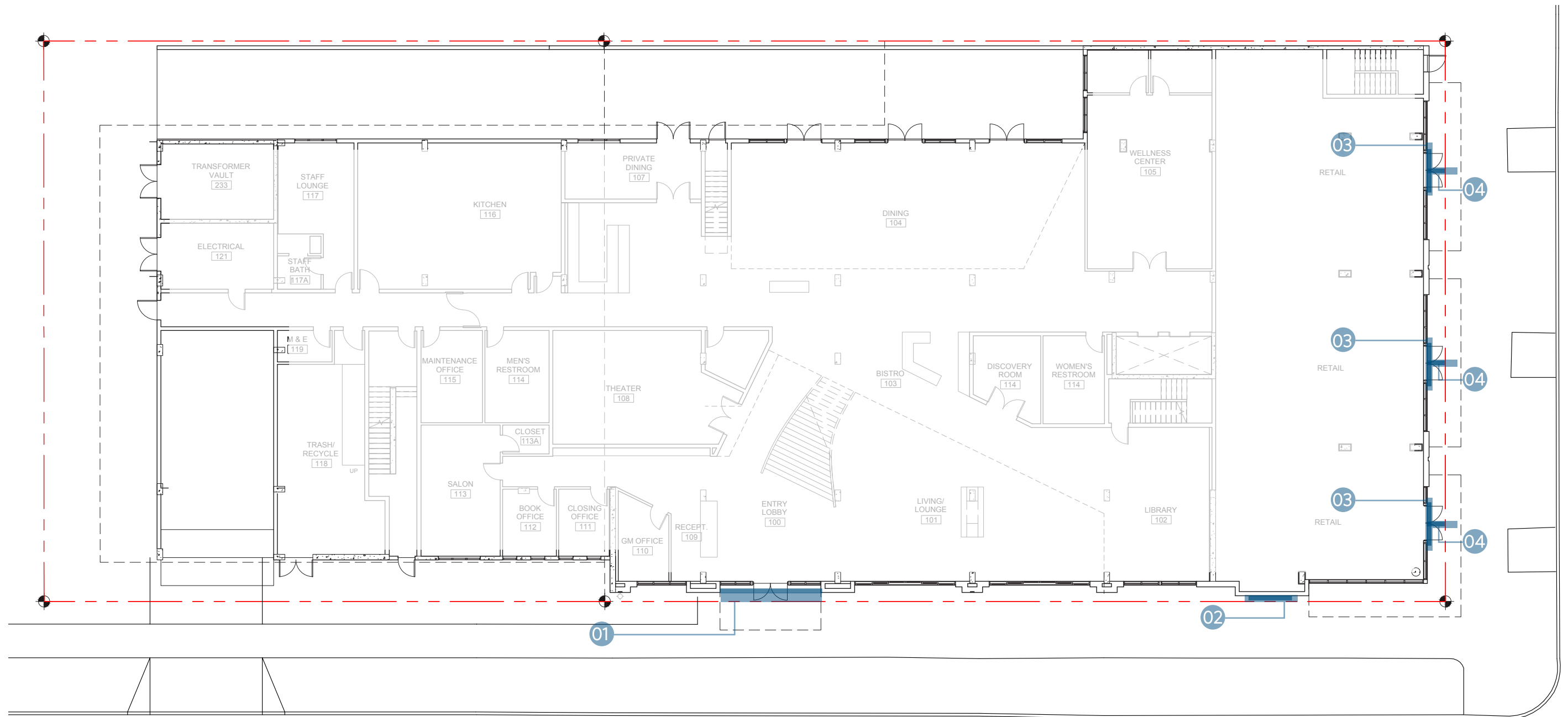




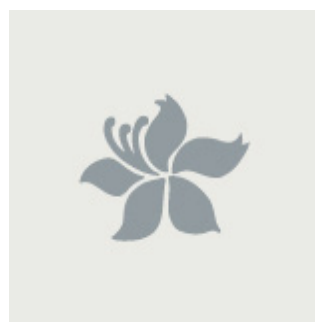
- 01 DECORATIVE WALL SCONCE 02 SERVICE AREA DOWN LIGHTS 03 SURFACE MOUNT DOWN LIGHTS 04 GLOBE STRING LIGHTS

LEVEL 1 | LIGHTING CONCEPT PLAN





01 MAIN ENTRY SIGNAGE



02 MERRILL GARDENS SIGNAGE



03 SIGNAGE ABOVE DOORS

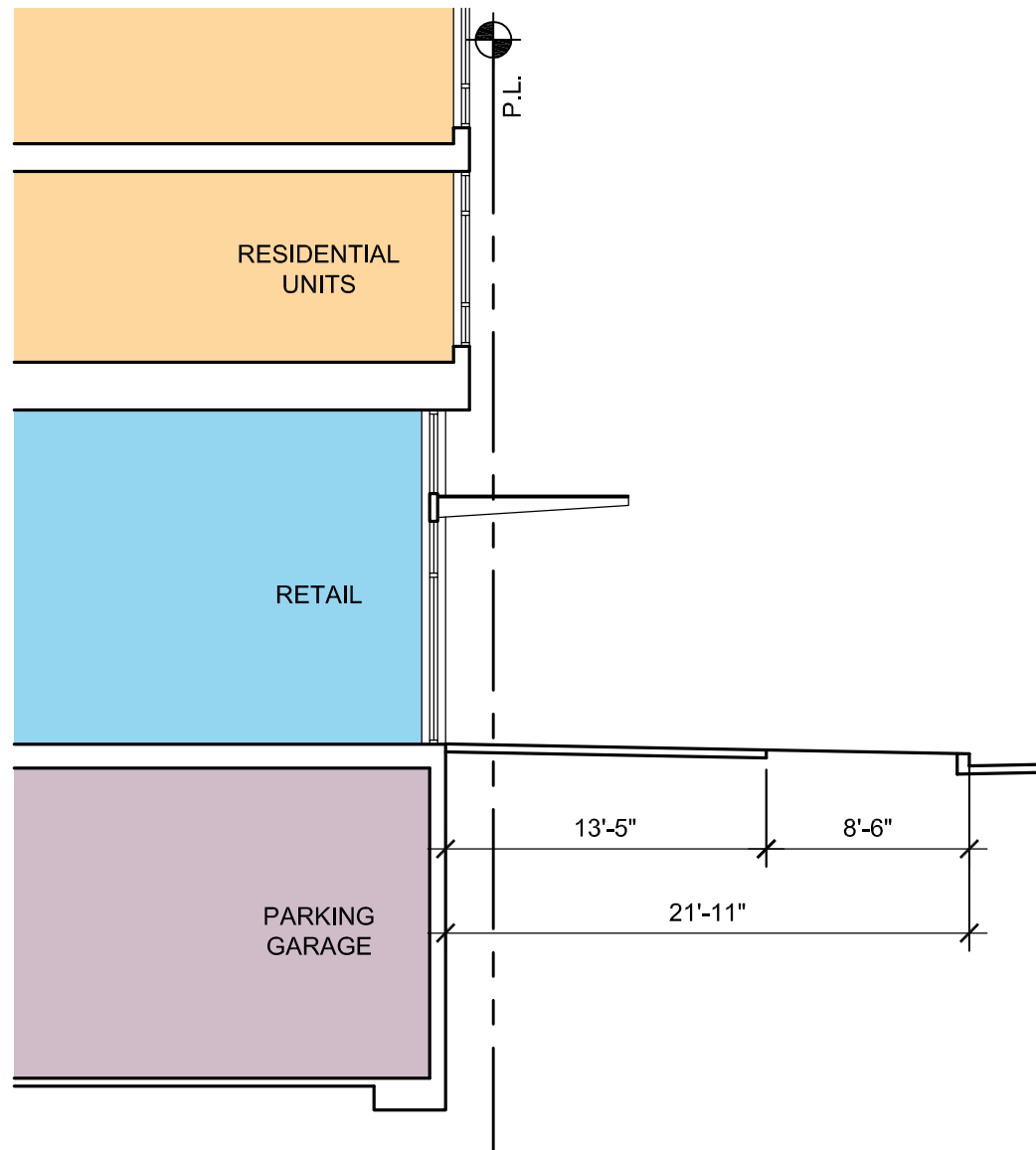


04 BLADE SIGNAGE ABOVE CANOPY

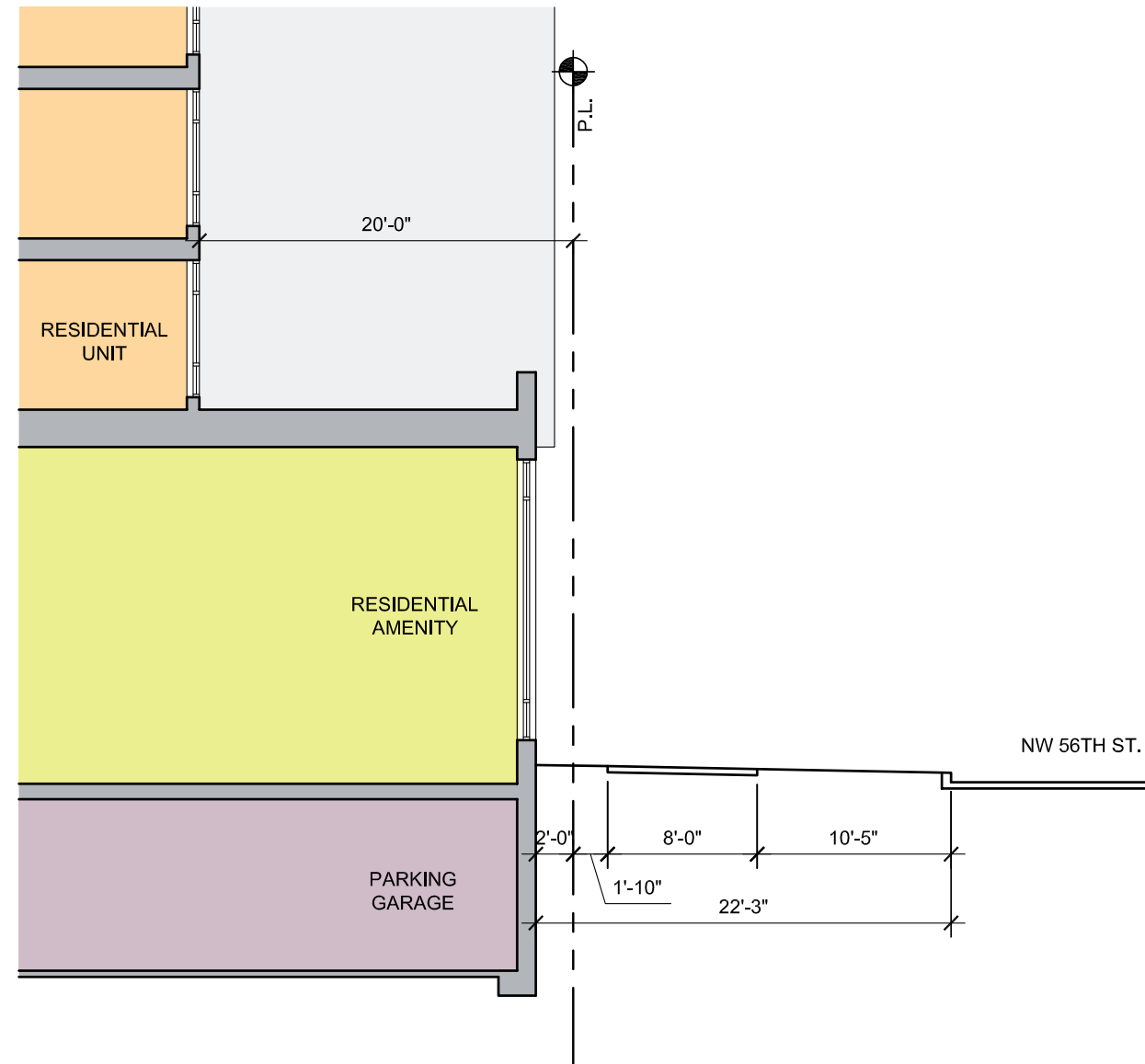


LEVEL 1 | SIGNAGE CONCEPT PLAN



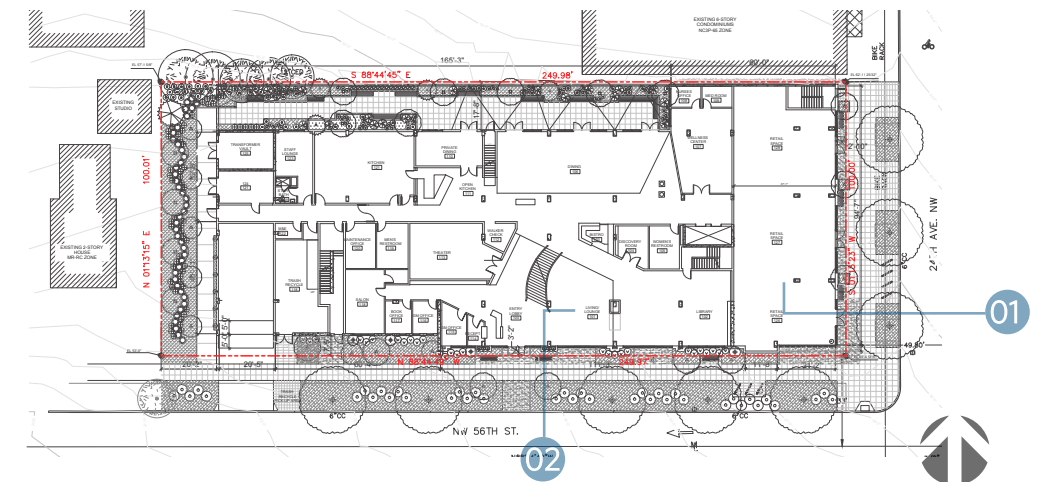


01 STREETScape SECTION: EAST

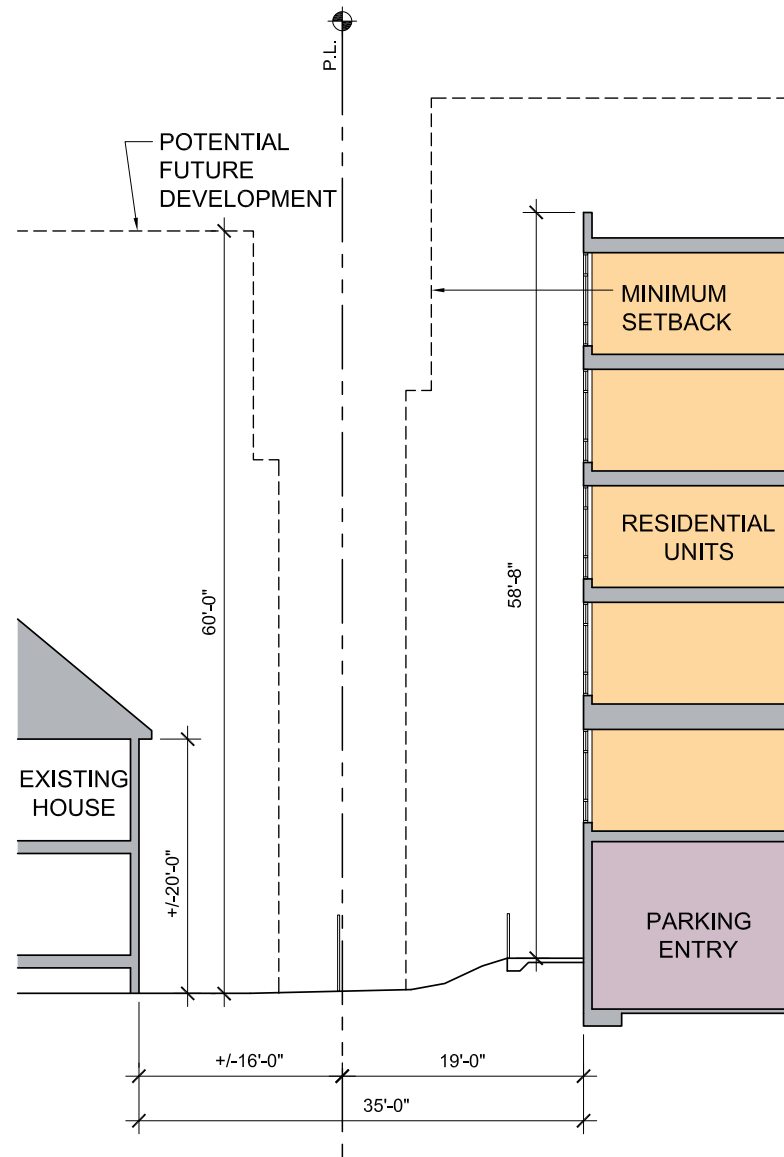


02 STREETScape SECTION: SOUTH

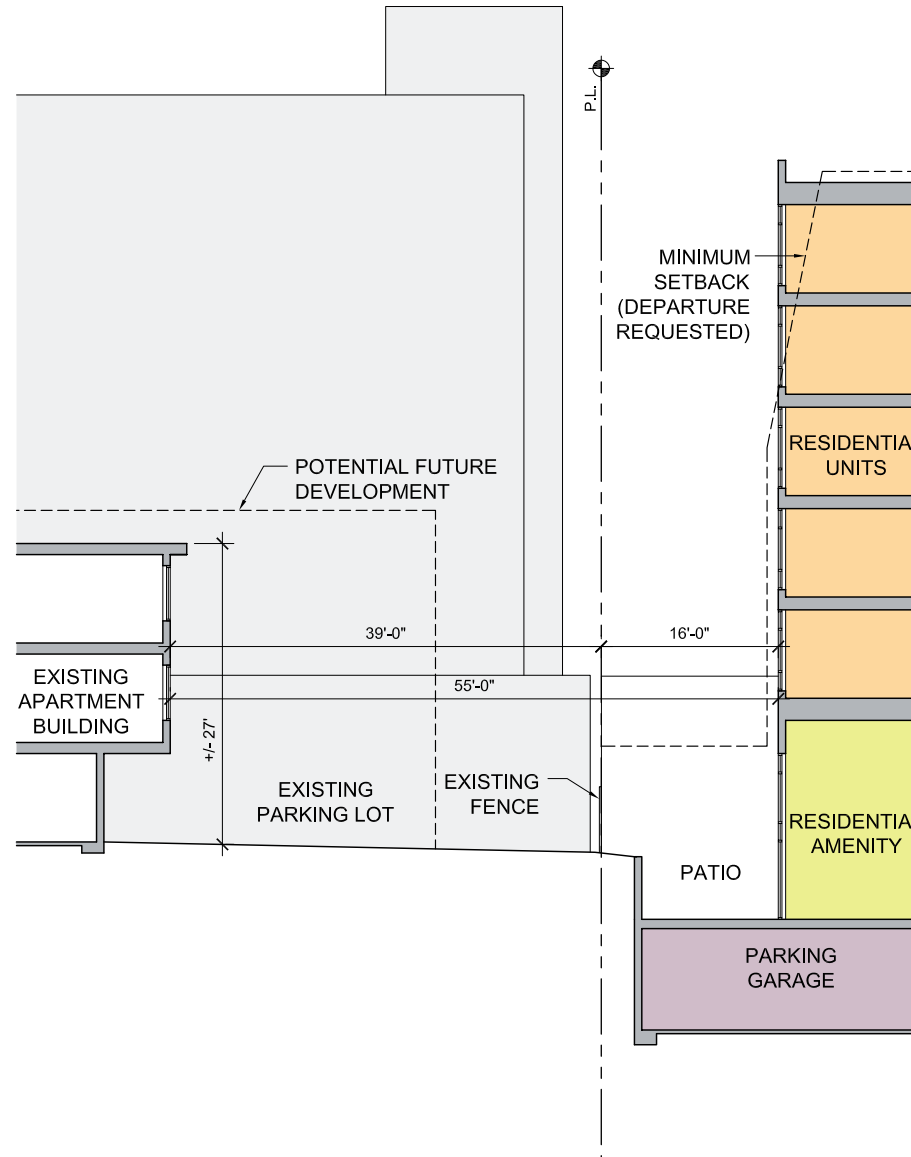
BUILDING SECTION 01 | NTS



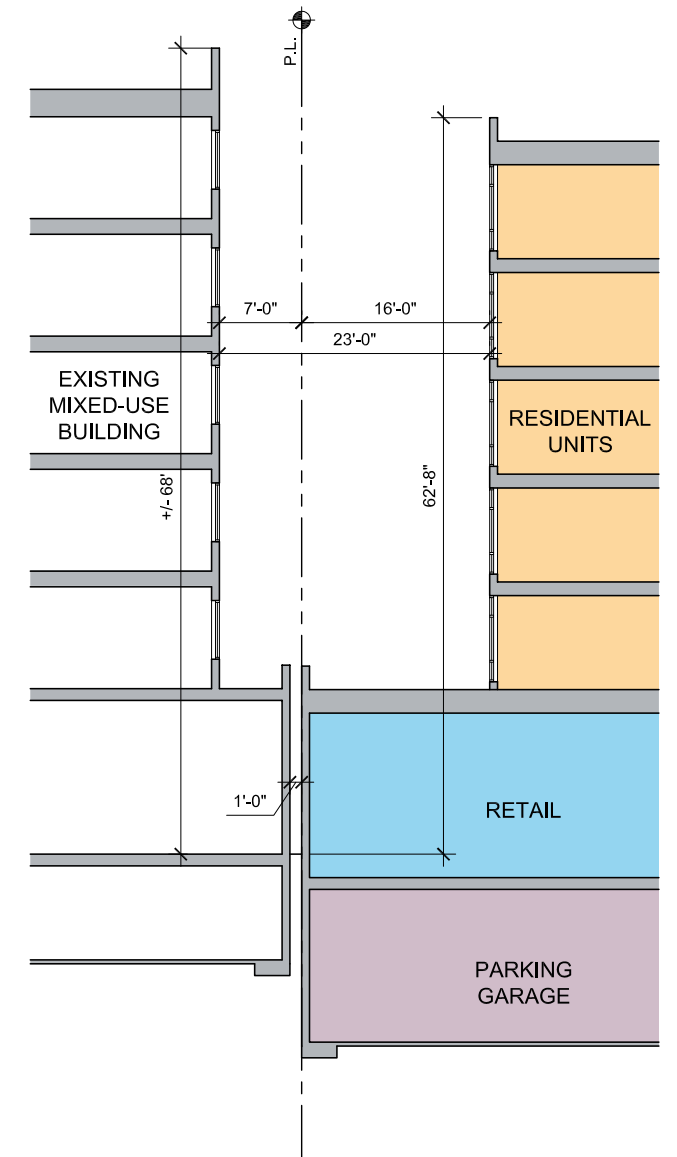




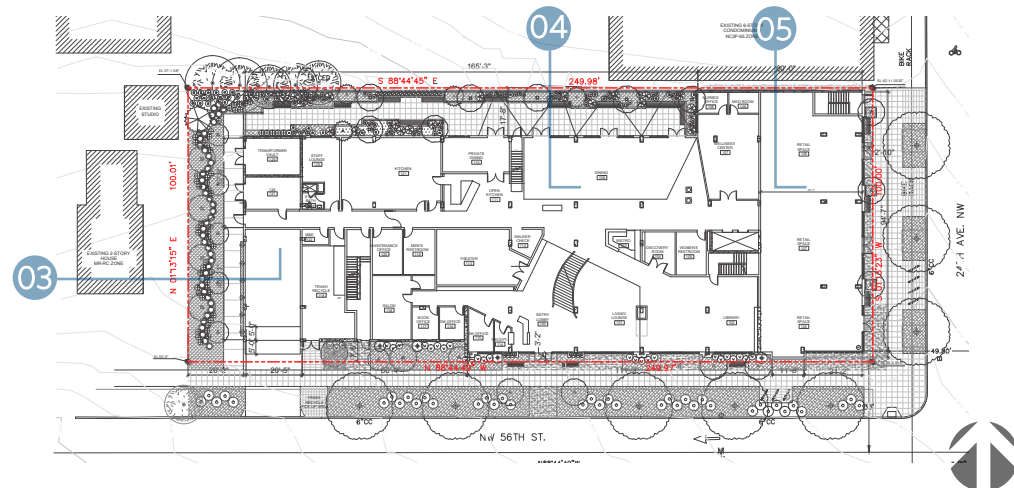
03 SECTION: WEST



04 SECTION: NORTH 1



05 SECTION: NORTH 2

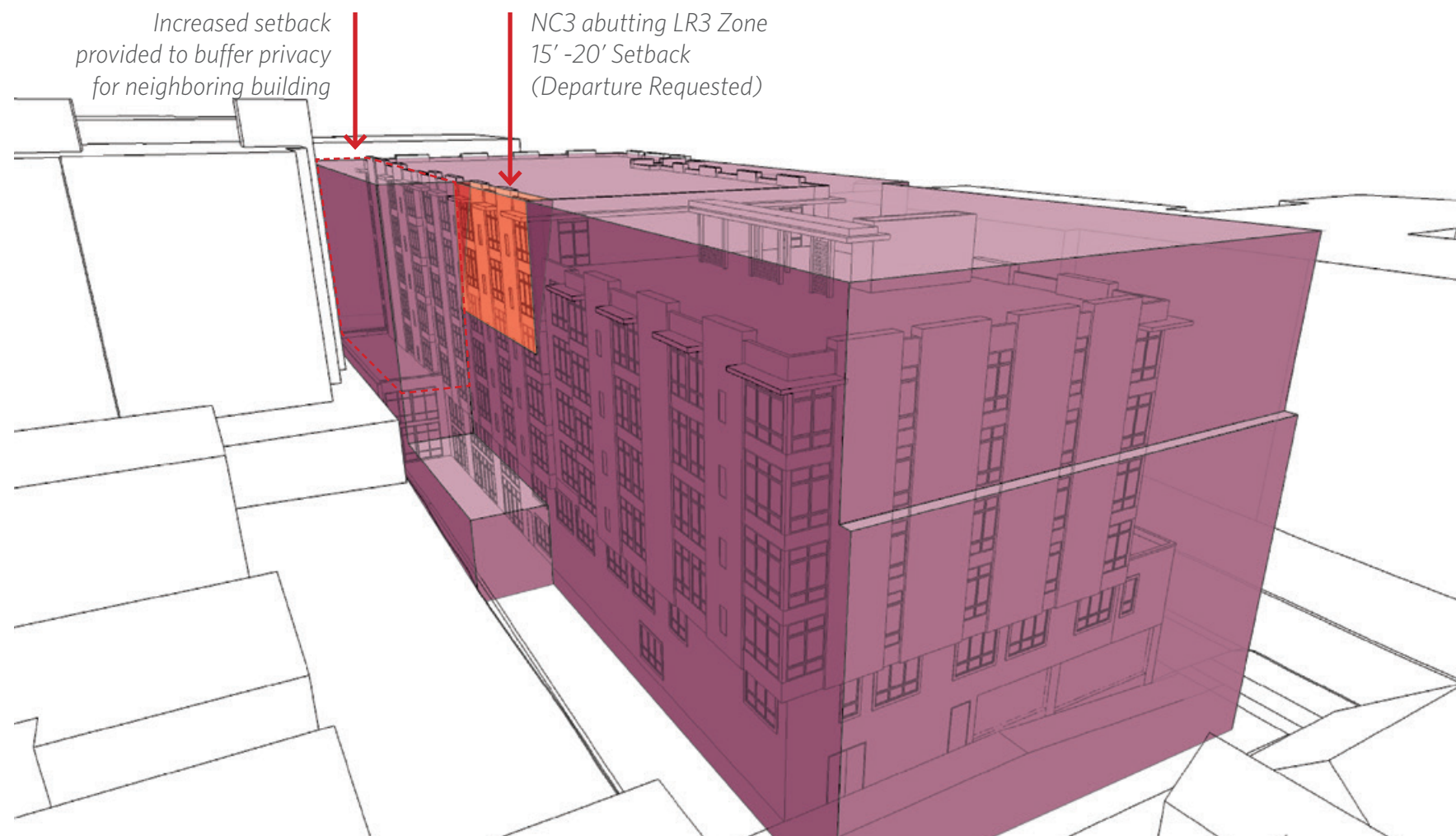


BUILDING SECTION 05 | NTS

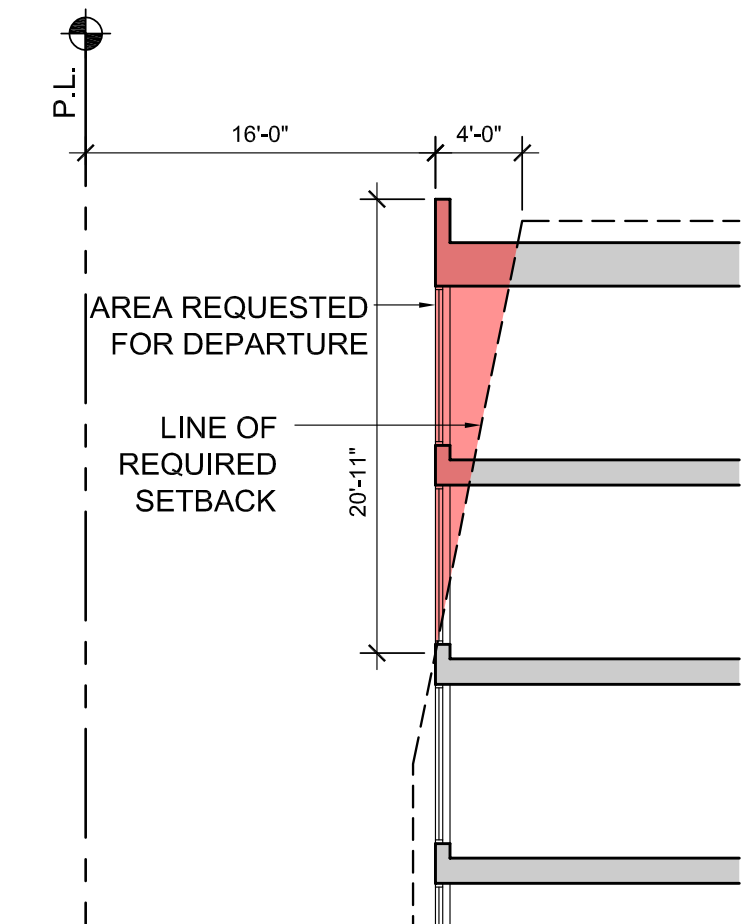


<i>Departure</i>	<i>Code Requirement</i>	<i>Requested Departure</i>	<i>Justification</i>
1. Rear Setback	<p>SMC 23.47A.014.B.3: For a structure containing a residential use, a setback is required along any side or rear lot line that abuts a lot in a residential zone or that is across an alley from a lot in a residential zone, as follows:</p> <p>a. Fifteen feet for portions of structures above 13 feet in height to a maximum of 40 feet; and</p> <p>b. For each portion of a structure above 40 feet in height, additional setback at the rate of 2 feet of setback for every 10 feet by which the height of such portion exceeds 40 feet.</p>	Allow a portion of the building to encroach up to 5' into the required setback above 40' in height.	<p>The site has three different setback requirements along the north property line (see diagram on facing page). Where the NC3 zone abuts another NC3 zone, no setback is required. Where the NC3 zone abuts the LR3 zone, a setback is required as described in SMC 23.47A.014B.3. At the MR-RC zone, the setback is 15'.</p> <p>The preferred massing scheme provides a consistent 15' setback from the north property line. The consistent setback will allow for a more orderly and clear building design, better meeting design guideline C-2, Architectural Concept and Consistency. The consistent setback also creates a better response to the adjacent buildings by providing a substantial setback where none is required facing the NC3 zone, consistent with design guideline A-5, Respect for Adjacent Sites. An alternative massing would decrease the setback along the existing mixed-use building, and would negatively impacting the existing residential units to the North of the site.</p>

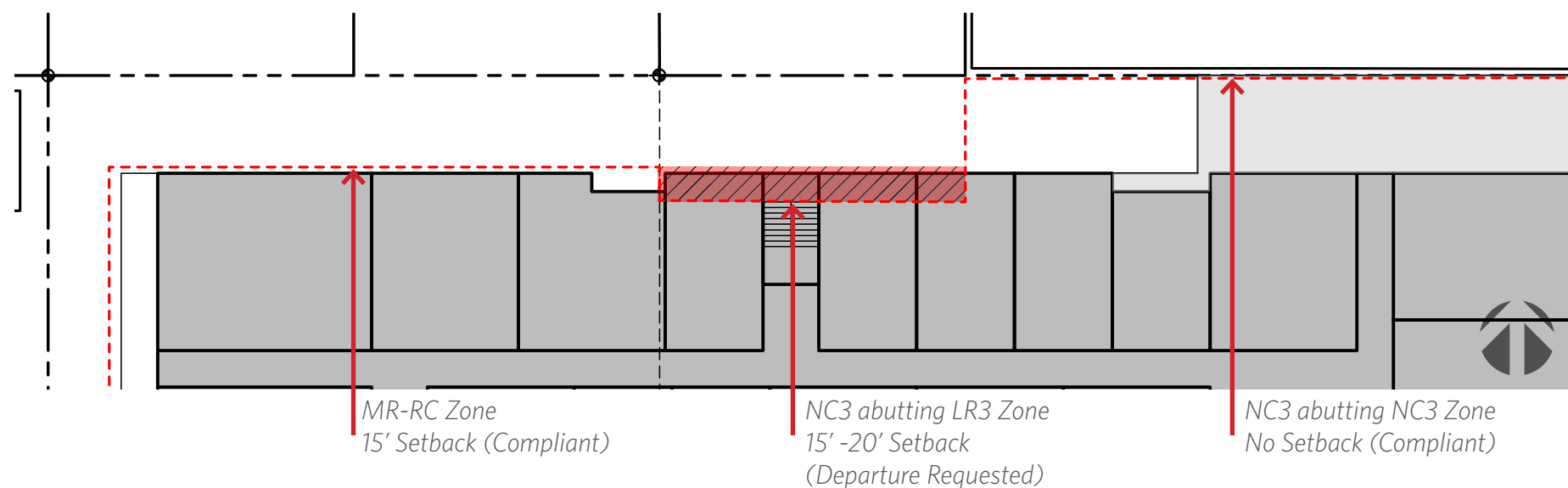




ZONING ENVELOPE | AREA OF REQUESTED DEPARTURE



NORTH FACADE SECTION | AREA OF REQUESTED DEPARTURE



SETBACK CONDITIONS AT NORTH PROPERTY LINE | AREA OF REQUESTED DEPARTURE