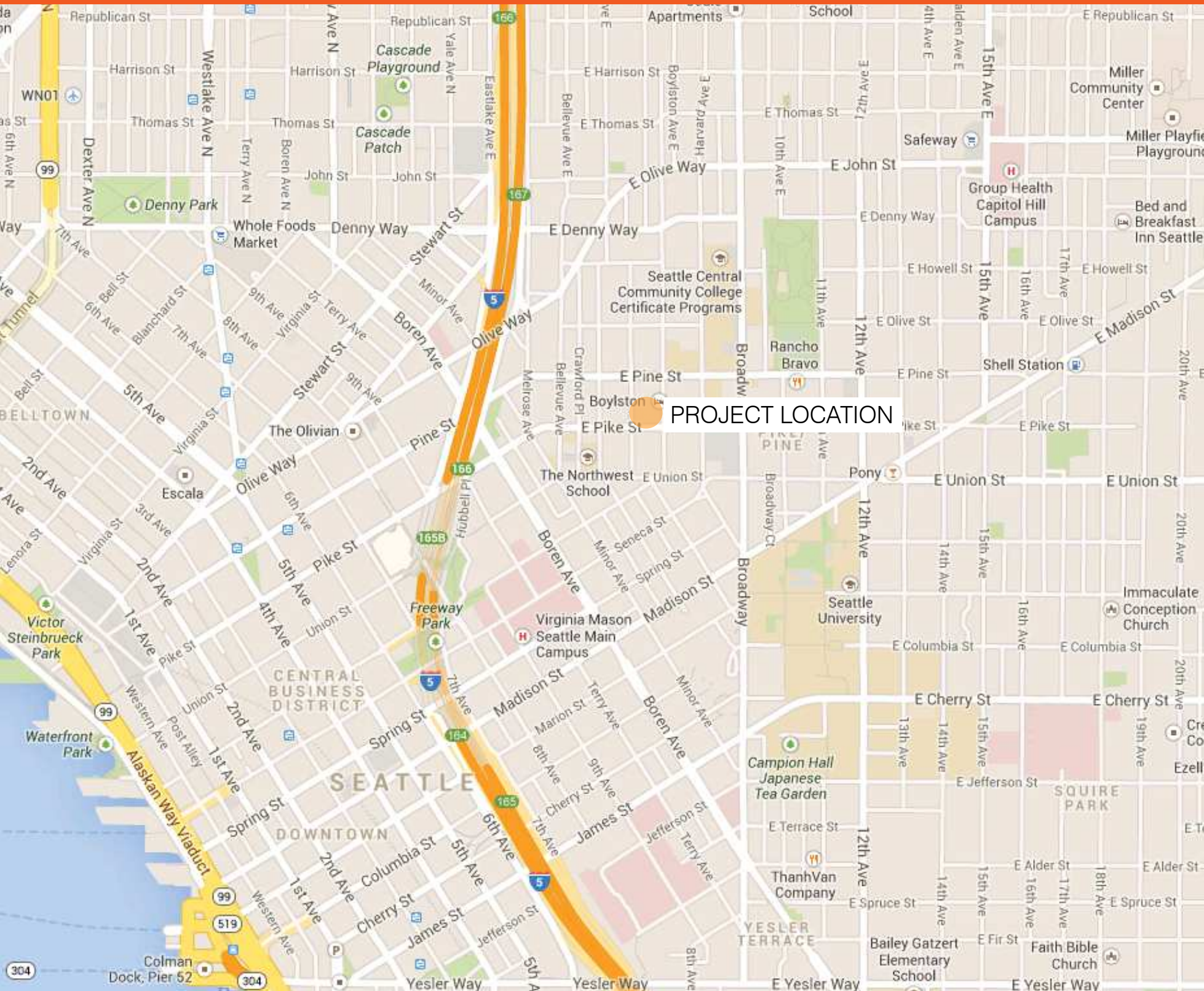


# 601 East Pike Street

CITY OF SEATTLE DESIGN REVIEW

EARLY DESIGN GUIDANCE  
DPD PROJECT #3015370  
DECEMBER 4TH, 2013



## INDEX

### SITE ANALYSIS

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### DESIGN REVIEW CRITERIA

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### PRELIMINARY DESIGN CONCEPTS

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### ZONING CODE

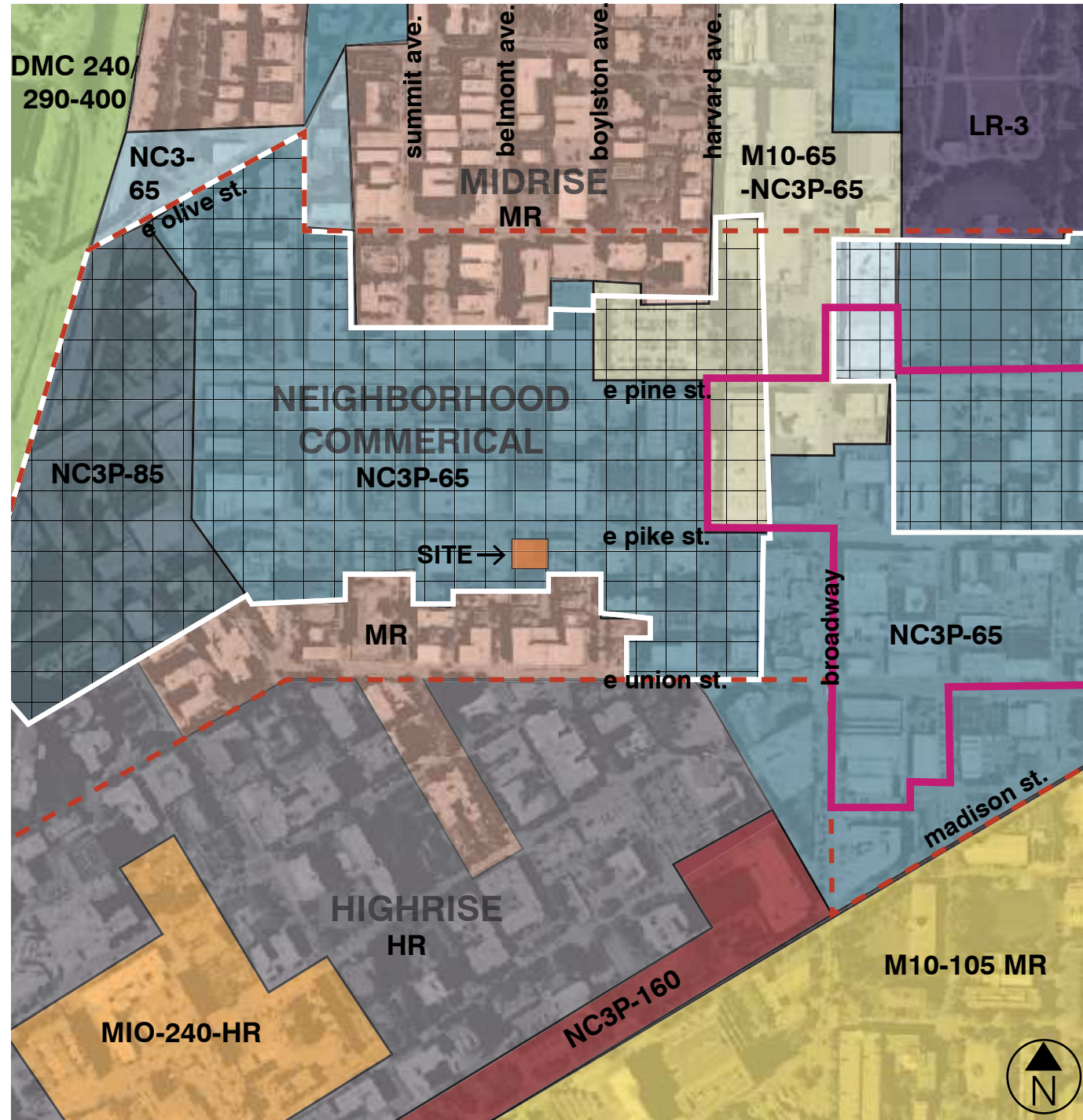
|                     |    |
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### PREFERRED SCHEME

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# SITE & DEVELOPMENT INFORMATION

601 EAST PIKE STREET



- Key
- Pike / Pine Urban Center Village
  - Pike / Pine Overlay District
  - Conservation Core
  - Site

## SITE AND DEVELOPMENT INFORMATION

1. Please describe the existing site, including location, existing uses and/or structures, topographical or other physical features, etc.

The site is located at the southeast corner of East Pike Street and Belmont Ave. The existing structure was once an auxiliary Mercedes-Benz showroom and is now vacant. The existing building is of masonry and consists of five bays. The center bay has a garage door and a driveway accessing the street. There is a moderate slope along Belmont Ave. A Green Ash Tree with an 18 inch diameter is located on East Pike near the northwest corner of the site on the north side of the sidewalk.

2. Please indicate the site's zoning and any other overlay designations, including applicable Neighborhood-Specific Guidelines.

The site is zoned NC3P-65 and is in the Pike / Pine Urban Center Village and Pike / Pine Overlay District. The applicable guidelines include the Pike / Pine Urban Center Village Design Guidelines and the Seattle Citywide Guidelines.

3. Please describe neighboring development and uses, including adjacent zoning, physical features, existing architectural and siting patterns, views, community landmarks, etc.

There is a new six-story (75 feet tall) development planned for the property directly across the street at East Pike and Belmont Ave., which plans to maintain the character structure on site. The block directly east, currently the BMW building, is also being developed as a seven story structure. All abutting properties are in the NC3P-65 zone, with the MR - Mixed Residential to the south. Along East Pike and directly north is an area once full of automobile showrooms, warehouses, and other light-industrial buildings with some residential. The area south of E. Pike is mostly residential with some commercial spaces. Adjacent to the site is 615 E. Pike, a six story mixed-use building built in 1998. Directly south along Belmont Ave. are three Victorian 3-story residences that have been converted into a complex of condominium buildings. Neighboring buildings along E. Pike are mostly low-rise commercial buildings and those to the south consist of apartments and condominiums.

4. Please describe the applicant's development objectives, indicating types of desired uses, structure height, (approx), number of residential units (approx), amount of commercial square footage (approx), and number of parking stalls (approx). Please also indicate potential requests for departure from development standards.

The applicant proposes a mixed-use building that provides quality housing and small-scale retail in a growing Capitol Hill neighborhood. The proposed project is a 6-story building with 55-65 apartment units and approximately 2,600-3,000 square feet of commercial space. 25 to 30 parking spaces are provided two levels of parking. There are also 16 long-term and one short-term bicycle spaces.

Request for departures may include SMC 23.53.035A.4.c stating the maximum length of a bay window is 15 feet where it meets the building and 9 feet at its front face, with its side wall angled at 45 degrees. The maximum projection is 3 feet. The departure would be the maximum length of 12 feet with 90 degree side walls projecting 2 feet to fit with the proposed building's contemporary character. The second departure is from SMC 23.54.030.G.1, a Sight Triangle is required on both sides for a two-way driveway less than 22 feet wide. The departure request would ask to provide mirrors or other safety measures instead of the sight triangles, thus minimizing the appearance of the driveways.

### Proposed Building Summary:

- Proposed Uses: retail, residential, and ancillary parking
- Structure Height: 69'-0"
- Number of Residential Units: 55-65
- Building Area: 50,850 SF
- Residential Area: 40,500 SF
- Retail Area: 3,000 SF
- Number of Parking Stalls: 25-30
- Number of Bicycle Spaces: 17

# SITE CONNECTIVITY & FUTURE DEVELOPMENTS



FUTURE SOUND  
TRANSIT LINK  
LIGHT RAIL

## Key

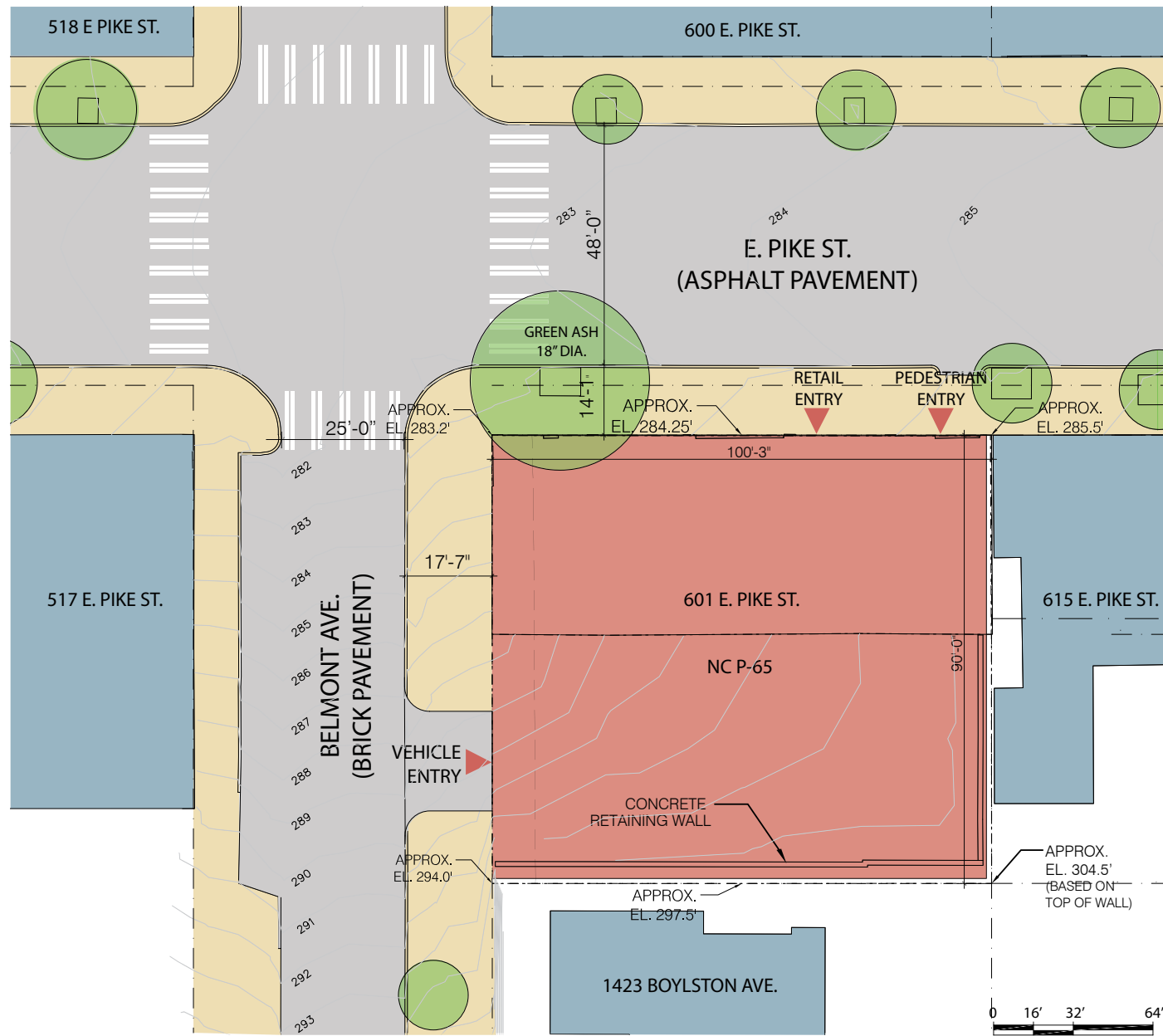
- Principal Pedestrian Street
- Bus Transportation
- First Hill Streetcar
- Dedicated Bicycle Lanes
- - - Bicycle Trails
- Proposed Developments
- - - Site
- Character Structure in Director's Rule



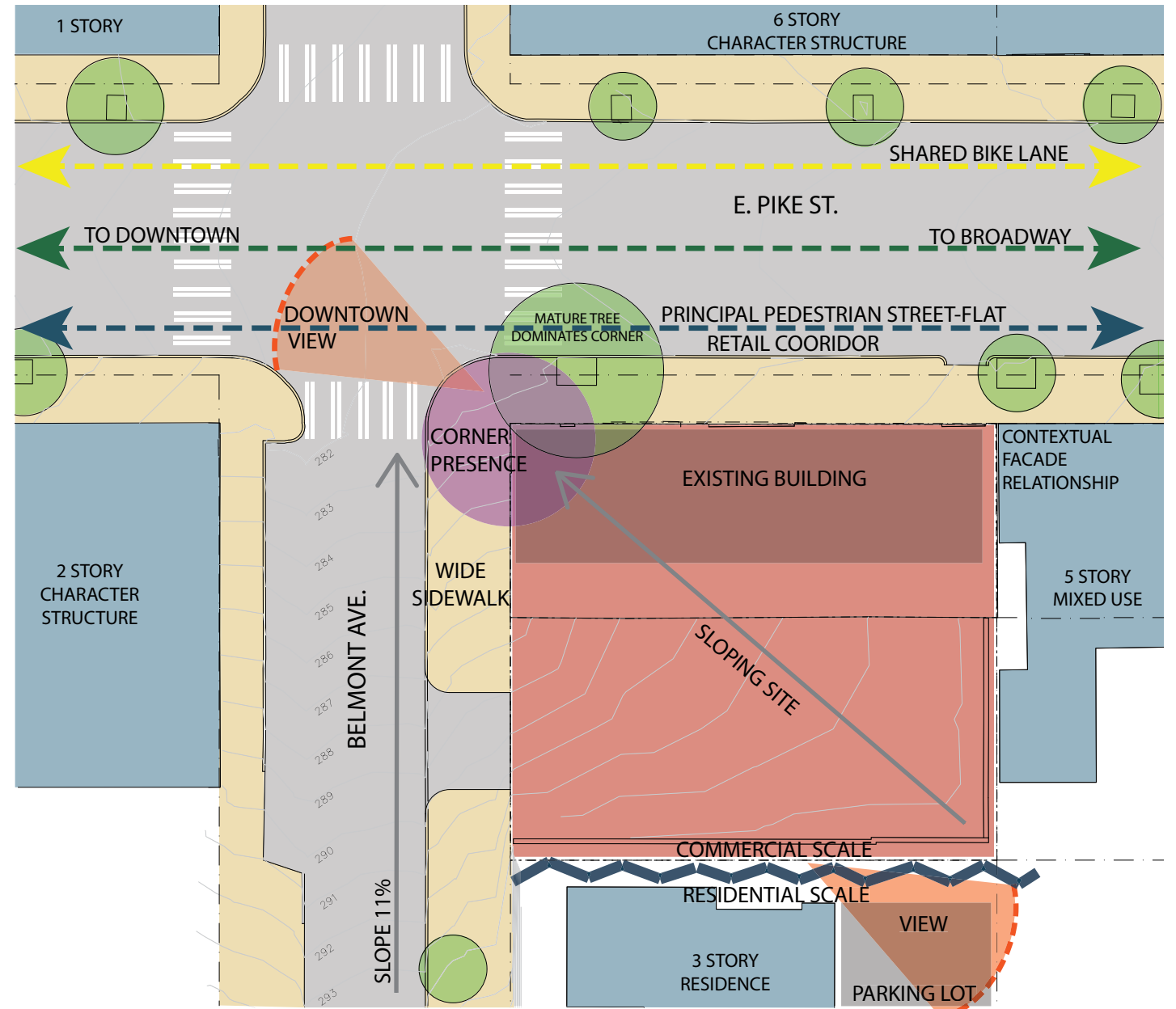
601 EAST PIKE STREET

# SITE ANALYSIS - OPPORTUNITIES & CONSTRAINTS

601 EAST PIKE STREET



SITE PLAN



OPPORTUNITIES & CONSTRAINTS

**OPPORTUNITIES:**

- Develop site to full potential
- Create a pedestrian - oriented scale
- Sensitively transition to residential neighborhood
- Contribute to the diverse character of the neighborhood

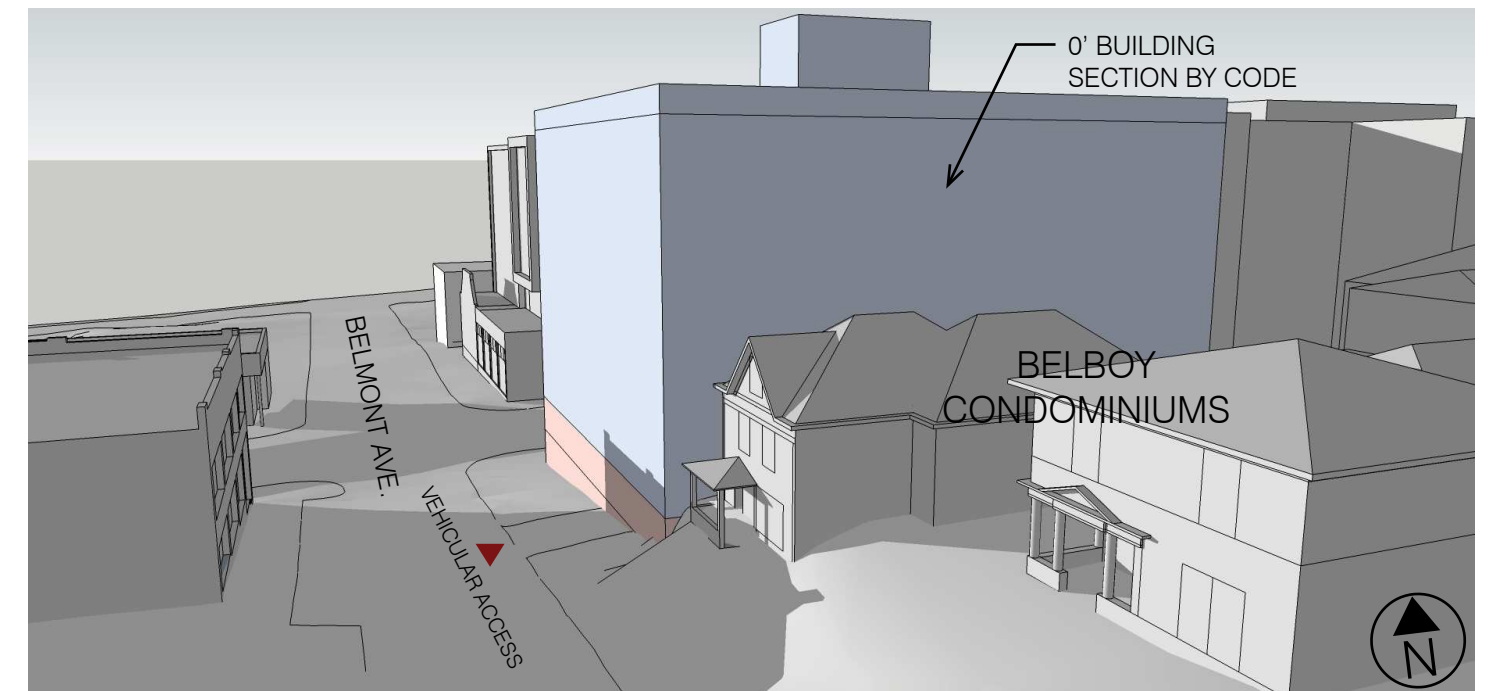
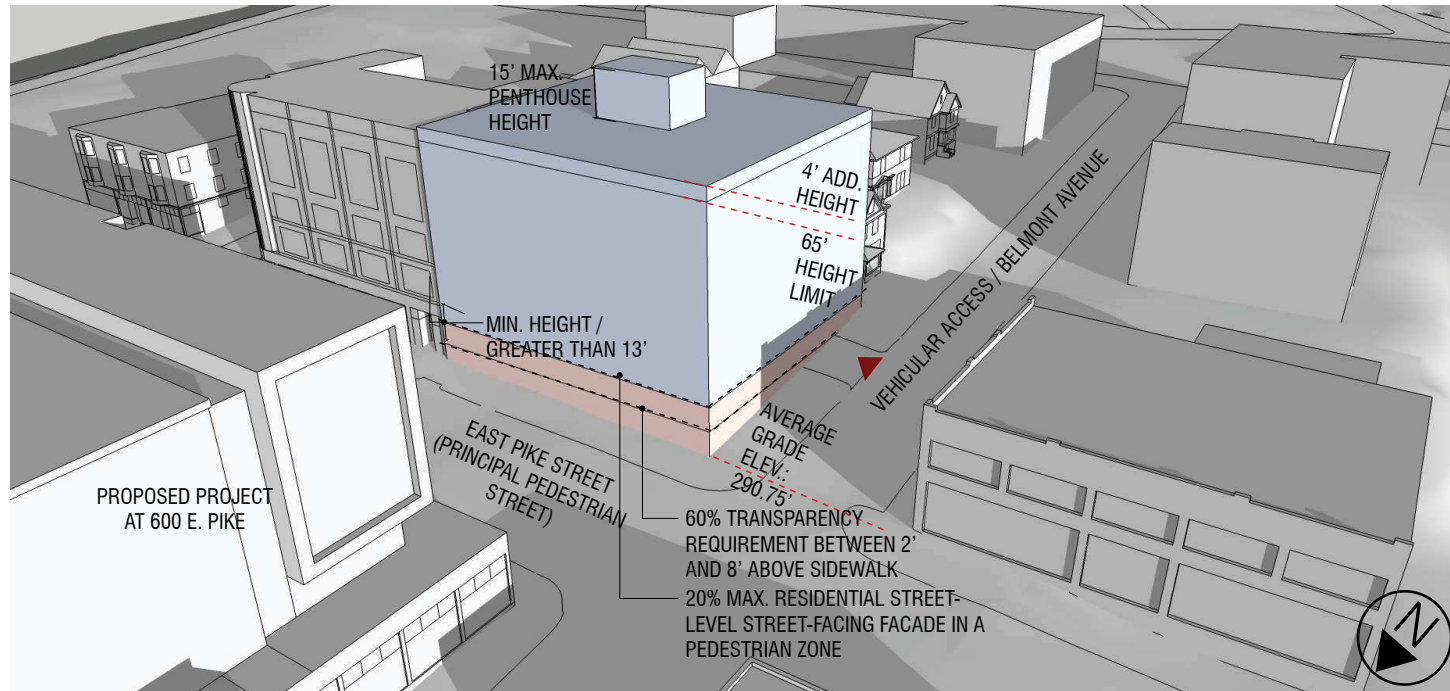
**CONSTRAINTS:**

- Sloped site
- Cobblestone roadway
- Small plot limits opportunities for open space
- Small scale residential building next door
- Parking access restricted to Belmont at a high point



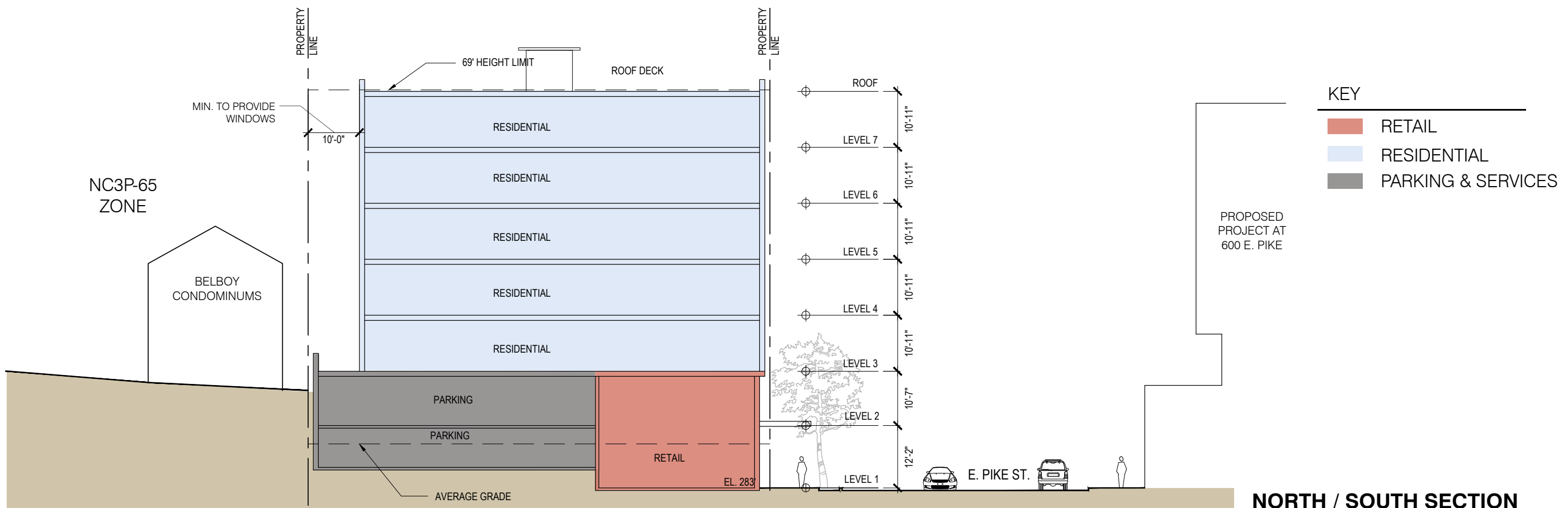
# ZONING ENVELOPE DIAGRAM

601 EAST PIKE STREET



ZONING ENVELOPE DIAGRAM: NC3P-65 PEDESTRIAN DESIGNATED ZONE

ZONING ENVELOPE DIAGRAM: VIEW ALONG BELMONT AVE.



NORTH / SOUTH SECTION

TISCARENO ASSOCIATES  
ARCHITECTURE + URBAN DESIGN

# SITE ANALYSIS - EXISTING BUILDING

601 EAST PIKE STREET



Historic parapet details and awnings have been removed

Windows & doors have been added in openings



Vacant lot with sloped site and existing driveway next door

Existing retaining wall along neighbor's property

Cobble stone street



Masonry facade

Sloped site



Rhythm and continuity of bays and columns

Large bays and openings designed to accommodate automobiles for original use



Limited ceiling height varies from 8' to 11'.

Steel columns

Interior looking west

ANALYSIS OF EXISTING BUILDING

The existing one-story concrete and brick structure was built in 1908 and qualifies as a character structure per SMC 23.84A.006. It is not listed in Director's Rule 3-2012 as a building that must be retained. Over time the exterior has been altered drastically so that almost none of its original character remains. The interior has low ceiling heights and a very utilitarian structure. The project team has concluded that the design intent could be achieved better with new construction than by retaining the existing structure.



Concrete beams and pilasters.

Asphalt floor

Interior looking east

DESIGN CUES SUMMARY

There are design cues that can be derived from the original building and utilized in the new, including:

- Continuity and rhythm of bays
- Masonry structure
- Large storefront windows
- Architectural details, such as articulation of the awning

# SITE PHOTOS

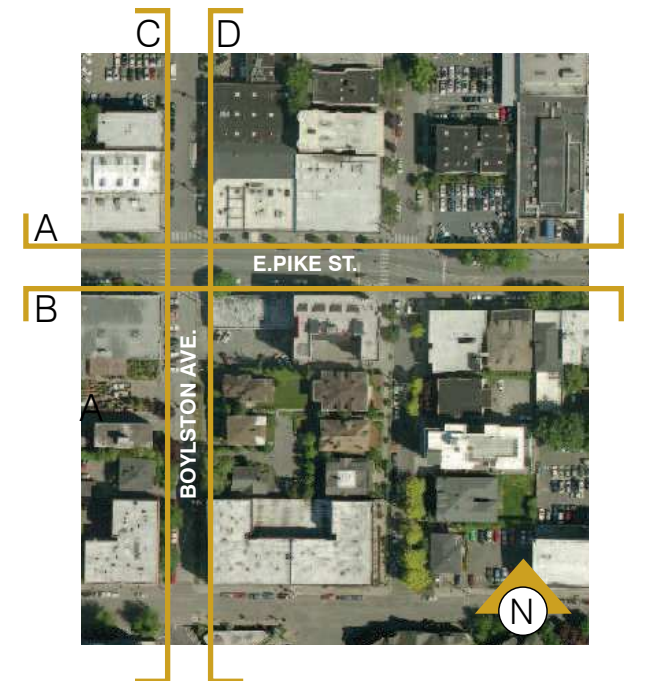
601 EAST PIKE STREET



A E. PIKE STREET - LOOKING NORTH



B E. PIKE STREET - LOOKING SOUTH







C BELMONT AVE. - LOOKING WEST



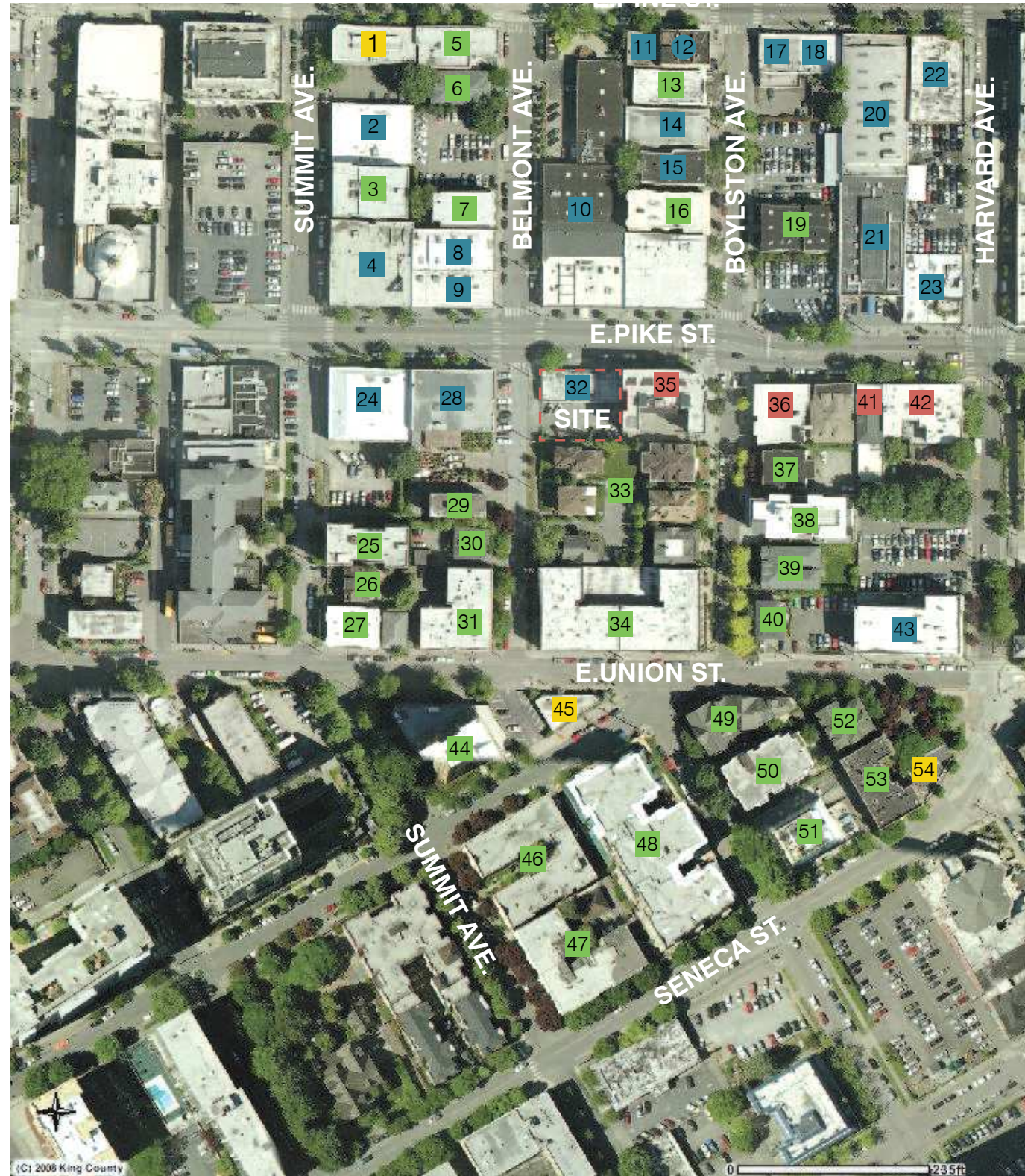
D BELMONT AVE. - LOOKING EAST

# SURROUNDING USES

601 EAST PIKE STREET

## Key

- 1 Mixed Use
- 1 Residential
- 1 Commercial
- 1 Office



1. 501 East Pine St. – Office Building
2. 1520 Summit Ave. – Club Seattle - Retail Store
3. 1512 Summit Ave. – Summit Arms – Apartment
4. 1500 Summit Ave. – Studio 8 Yoga
5. 1531 Belmont Ave., 519 E. Pine St. – Annapolis Apartments
6. 1527 Belmont Ave. – Apartments
7. 1515 Belmont Ave. – Winslow Apartments
8. 1507, 1509 Belmont Ave. – Fugio Furniture Gallery, Retail Store
9. 512 E. Pike St. – Retail Store
10. 600 E. Pike – Phil Smart Mercedes Benz – Auto Showroom and Lot
11. 611 E. Pine – Retail
12. 1533 Boylston Ave. – R Place A Pub – Retail Store
13. 1529 Boylston Ave. – The Recherche – Apartment
14. 1525 Boylston Ave. – Garage Service Building
15. 1517 Boylston Ave. – Boylston Hotel
16. 1511 Boylston Ave. – Glencoe Apartments
17. 701 E. Pine St. – Grocery Store
18. 705 E. Pine St. – Linda’s Retail Store
19. 1512 Boylston Ave. – Starbird Apartments
20. 715 E. Pine St. – BMW Seattle – Service Building
21. 714 E. Pike St. – BMW Seattle – Auto Showroom and Lot
22. 721 E. Pine St. – Bill’s off Broadway – Retail Store
23. 1501 Harvard Ave. – Retail
24. 501 E. Pike – CK Graphics –Industrial (Heavy)
25. 1412 Summit Ave. - Manchester Arms – Apartment
26. 1406 Summit Ave. – Single Family
27. 1400 Summit Ave. – Apartment
28. 517 E. Pike St. – Kaladi Coffee
29. 1417 Belmont Ave. – Apartments
30. 1411 Belmont Ave. – Triplex
31. 1405 Belmont Ave. – Belmont Apartments
32. 609 E. Pike St. – Bayside Motor Sports – Service Building
33. 1423 Boylston Ave. – Fourplex – Historic Property (Residence)
34. 604 E. Union St. / 1405 Boylston Ave. – Union Manor – Apartment
35. 615 E. Pike St. – Condominium
36. 701 E. Pike St. – Apartment (Mixed Use)
37. 1420 Boylston Ave. – Miller Apartments
38. 1422 Boylston Ave. - Montage Condominiums
39. 1404 Boylston Ave. – Emerald City Manor – Apartments
40. 702 E. Union St. – Fourplex
41. 709 E. Pike St. – Neal Apartments & Store
42. 725 E. Pike St. – St. John’s Apartments & Store
43. 722 E. Union St. – Knight’s of Columbus Building - Club
44. 1300 University St. – Condominiums
45. 1320 University St. – 1320 Professional Center - Medical / Dental Office
46. 1300 Seneca St. / 1222 Summit Ave. – Arcadia Apartments
47. 1206 Summit Ave. – St. Paul Apartments
48. 1201 Boylston Ave. – Charbonneau Condominiums
49. 1220 Boylston Ave. – Shannon Apartments
50. 1214 Boylston Ave. – The Seneca Apartments (subsidized)
51. 1200 Boylston Ave. – Manhattan Condominium
52. 713 E. Union St. – Phillips Apartments (Subsidized) – Historic
53. 1414 Seneca St. – Maxmillian Apartments
54. 1422 Seneca St. - Office Building

SURROUNDING USES

601 EAST PIKE STREET



5 ANNAPOLIS APARTMENTS



24 CK GRAPHICS



33 1423 BOYLSTON AVE. - CONDOMINIUM



28 KALADI COFFEE



33



4 1500 SUMMIT AVE.



35 615 E. PIKE - CONDOS & RETAIL



24 R PLACE



10 MERCEDES BENZ SHOWROOM



16 GLENCOE APARTMENTS



22 BILL'S ON BROADWAY

# ARCHITECTURAL CONTEXT

601 EAST PIKE STREET



- Large windows
- Modern industrial loft spaces
- Bright accent colors
- Change in material
- Articulated retail
- Recessed residential entry

35 615 E. PIKE - CONDOS & RETAIL



- Decorative Retail Blade Signs
- Strong geometry and simple industrial lines
- Large storefront windows
- Sunken ground floor to accommodate sloped site

28 517 E. PIKE - KALADI COFFEE



- Historic warehouse character
- Masonry details
- Rhythm of bays and columns
- Painted brick
- Articulated retail
- Entry

4 1500 SUMMIT AVE. - COMMERCIAL



- Simple form and detailing
- Recessed corner with column
- Large storefront and strong retail presence

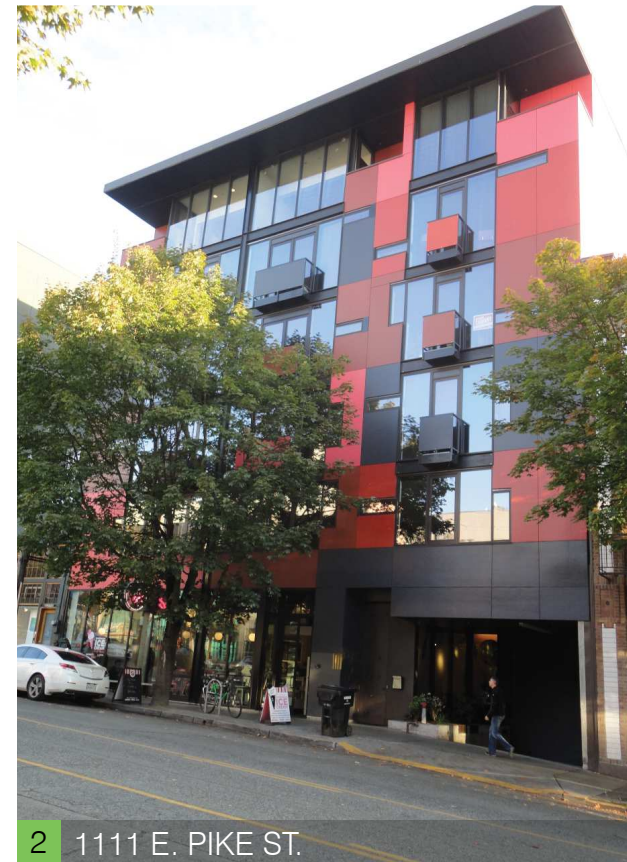
9 512 E. PIKE - PET PROVISIONS

1. The Glencoe Apartment building is a historic structure of solid brick with a red-tiled pent roof. Its ornamentation includes a centrally located Romanesque arch and red stone lintels. These details and its strong symmetry lends character and diversity to the unique Pike/Pine neighborhood.



1 GLENCOE APARTMENTS - 1511 BOYLSTON AVE.

2. 1111 E. Pike is a modern interpretation of the Pike/Pine architectural context. The design utilizes tall, wide windows and high ceilings influenced by the auto row vernacular. The bright color and composition of the facade speaks to the vibrant artistic culture of the area. and pedestrian relationships created through composition and pattern, strong street relationship. It provides ground level retail with five floors of condos.



2 1111 E. PIKE ST.



3 AGNES LOFTS - 1429 12TH AVENUE

3. The Agnes Lofts creates a continuous street wall to create a pedestrian friendly streetscape. Its design optimizes a small corner and creates a sophisticated composition of large windows contributing to the loft aesthetic.



4 1101 E. PIKE



5 ELYSIAN BREWERY - 1221 E. PIKE ST.

4. This iconic structure reinforces the corner with an inviting pedestrian entrance. The continuity of the facade, the rhythm of the bays and the rich materiality of the masonry is an elegant design.

5. The Elysian Brewery is an example of the vernacular architecture in the Pike / Pine area with large windows and loft spaces.

## A-1 RESPONDING TO SITE CHARACTERISTICS

*Characteristics and opportunities to consider in Pike/Pine include both views and other neighborhood features.*

Along Belmont Ave. the site slopes steeply. This will result in a partially sunken ground floor. Uses at street level step up the slope and the retail has extra height so that it isn't buried completely.

## A-6 TRANSITION BETWEEN RESIDENCE AND STREET

*Residential entry ways that feature heavy or contrasting trim, distinctive materials and a link to the surrounding street scape are encouraged.*

The residential entry is located midway along E. Pike at the east end of the building. It is slightly recessed to create a protected point of entry and to differentiate itself from the retail streetscape and to follow the pattern set by 615 E. Pike.

## A-10 CORNER LOTS

*Buildings in corner lots should reinforce the street corner. To help celebrate the corner, pedestrian entrances and other design features that lend to Pike/Pine's character may be incorporated. These features include architectural detailing, cornice work or frieze designs.*

The building holds the corner of the site; moreover, architectural details and glazing will differentiate the corner.

## B-1 HEIGHT, BULK, AND SCALE COMPATIBILITY

*New buildings should, in general, appear similar in height, mass, and scale to other buildings to maintain the area's visual integrity and unique character. Although current zoning permits structures to exceed the prevailing height and width of existing buildings in the area, structures that introduce increased heights, width and scale should be designed so their perceived scale is compatible with the existing neighborhood character.*

The design is consistent with proposed zoning in the neighborhood. Its height, scale and mass has a direct relationship with its immediate neighbor, 615 E. Pike, similar in height and size. It is also directly located across from a proposed 75'-0" development on Pike and Belmont. The scale and density of the Pike/Pine area is growing and 601 E. Pike is part of this growth.

## B-2 PIKE / PINE NEIGHBORHOOD SCALE AND PROPORTION (PART OF B-1)

To create a compatible scale, design cues are taken directly from the warehouse vernacular that defines many of the historic buildings in the Pike/ Pine area. The design respects the rhythm established by the traditional facades, which break up the scale of the ground floor. An awning further differentiates the ground floor from the floors above. On the south side, the building is set back to create a transition from the smaller scale of the residential neighborhood.



B-4 SMALL LOT DEVELOPMENT

*While the scale of development on small lots is compatible with the existing developed context, such projects may still present design challenges that require attention to ensure the best fit between the new and the old at any given site. New structures on small lots should maintain the character of the Pike/Pine neighborhood, and not use the small size of the lot as a reason to compromise maintaining compatibility with the character of the area.*

Given the small lot size, the building maintains the massing of the street wall, prioritizing pedestrian activity by placing the retail and the residential entry along this side.

C-1 ARCHITECTURAL CONTEXT

*The Pike/Pine “vernacular” architecture is characterized by the historic auto row and warehouse industrial buildings featuring high ground-floor ceilings, articulated ground-floor commercial space, display windows, detailed cornice and frieze work, and trim detailing.*

The design works within the “vernacular” architecture of Pike/Pine historic auto row and warehouse industrial buildings by featuring high ground-floor ceilings, articulating ground-floor commercial space, display windows, and creating opportunities for detailing.

C-3 HUMAN SCALE

*In order to achieve good human scale, the existing neighborhood context encourages building entrances in proportion with neighboring storefront developments. In addition to the Citywide Design Guidelines, developments should successfully contribute to the vitality of the street level and pedestrian scale relationships to the right-of-way.*

Building entrances are created in proportion to the existing neighborhood context and to a pedestrian oriented scale, particularly along E. Pike St.

C-4 EXTERIOR FINISH MATERIALS

*New development should complement the neighborhood’s light-industrial vernacular through type and arrangement of exterior building materials.*

The exterior material palette will reflect the surrounding neighborhood, possibly including masonry, metal or other panel materials, and large mullions.

D-5 VISUAL IMPACT OF PARKING STRUCTURES

*Parking structures should provide commercial or other pedestrian-oriented uses at street level.*

For the most part, the parking is underground or hidden within the building. The entry is on Belmont Ave. located away from the main pedestrian street.

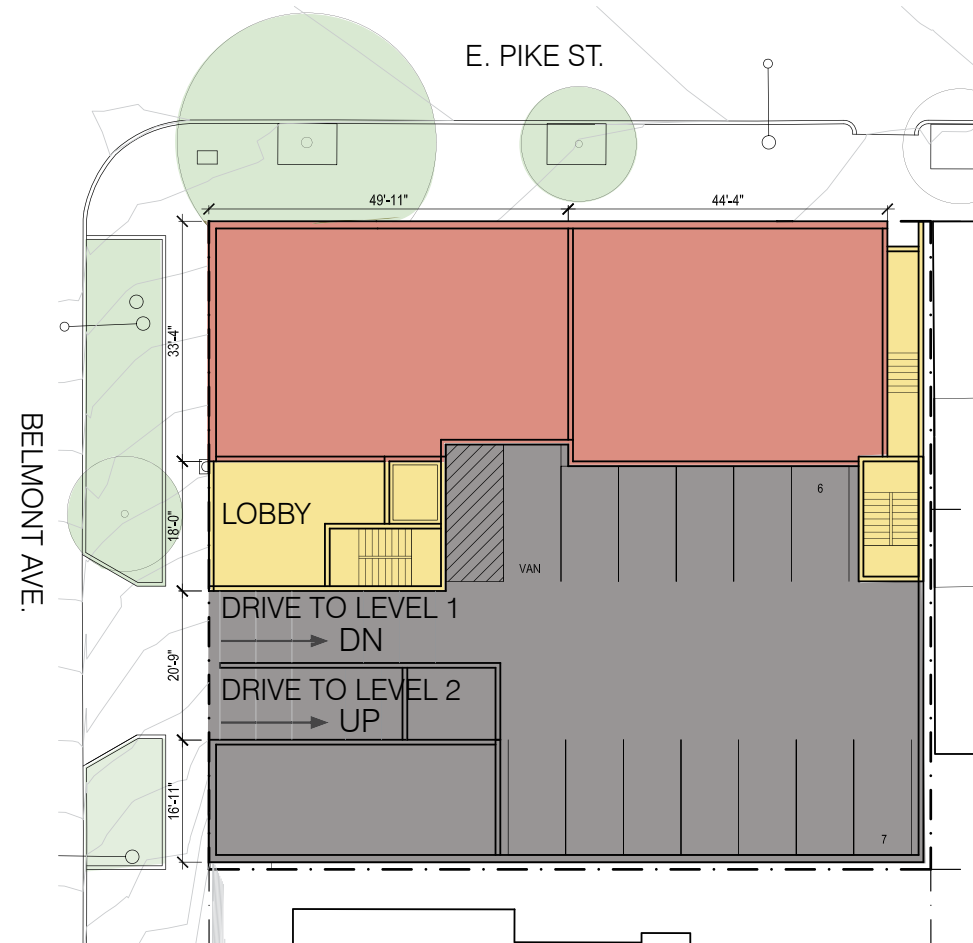
D-7 PERSONAL SAFETY AND SECURITY

*Lighting installed for pedestrians should be hooded or directed to pathways leading towards buildings.*

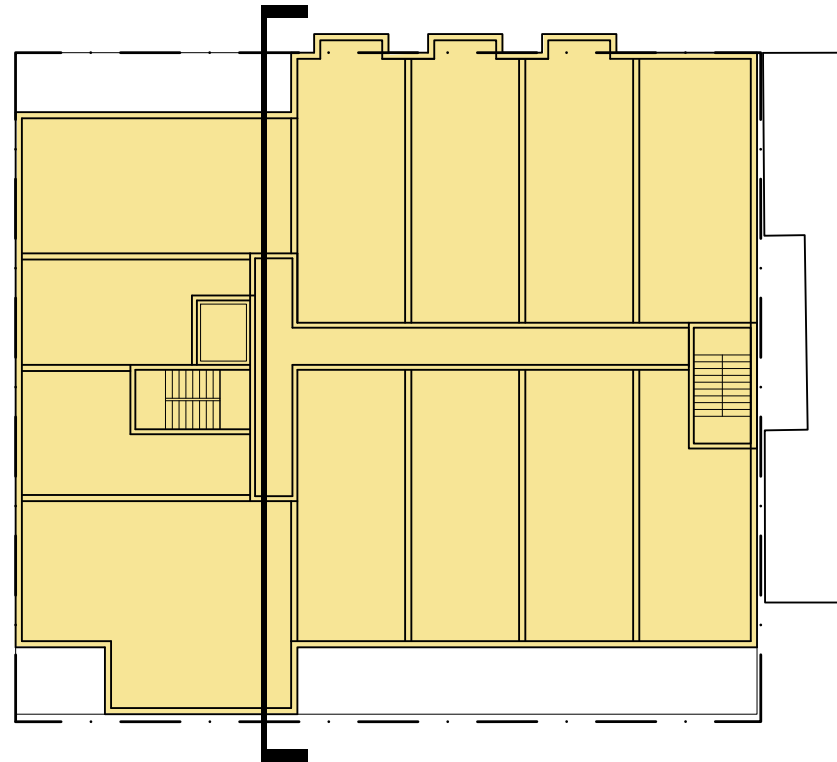
A lighting scheme will be developed to provide a well-lit walkway for pedestrians along both E. Pike and Belmont. Secured entrances will also be provided.

# SCHEME A

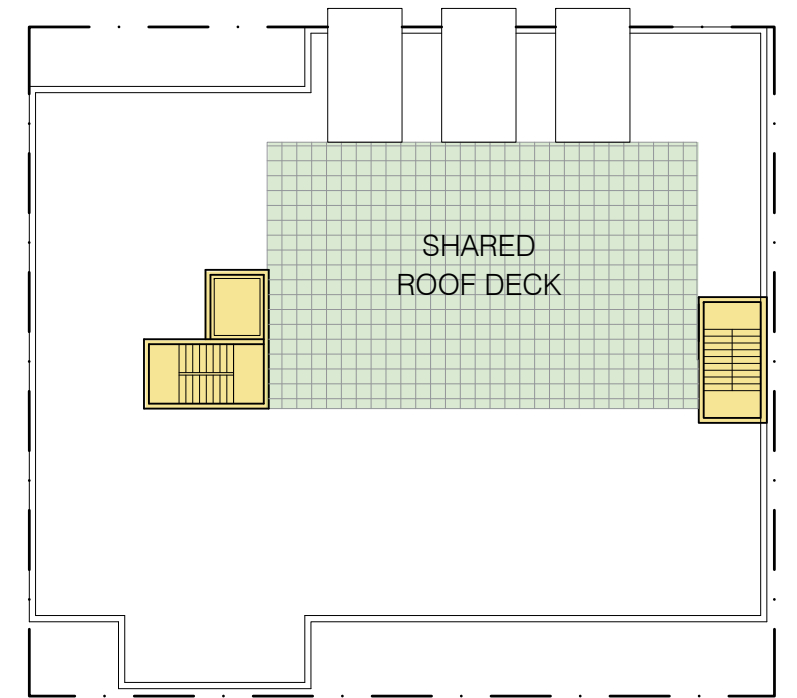
601 EAST PIKE STREET



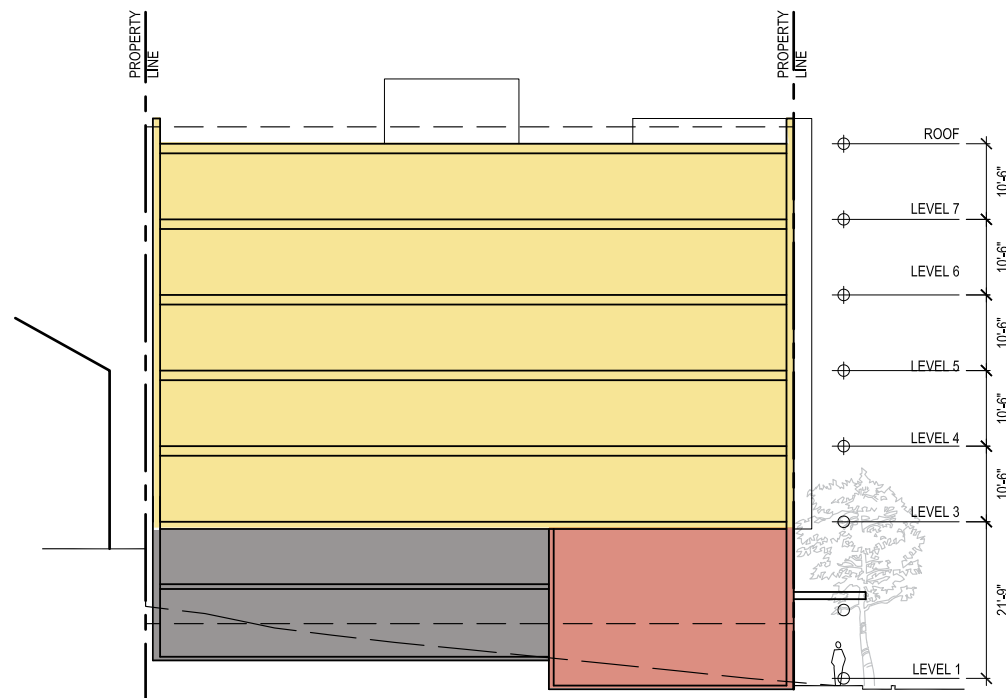
LEVEL 1: RETAIL



LEVEL 3 - 7: RESIDENTIAL



ROOF PLAN



NORTH - SOUTH SECTION



- KEY
- RETAIL
  - RESIDENTIAL
  - PARKING & SERVICES





**AERIAL VIEW**

**DESCRIPTION**

At street level, Scheme A creates continuous retail along E. Pike. At the upper floors a portion of the facade steps back 10'-0". A series of articulated bays, breaks up the scale of the building and the roof line generating a point of visual interest. The location of the parking entry and the residential entry is along Belmont Ave. A large courtyard defines the back of the building.

**PROS**

- Strong corner presence
- Maximizes retail frontage
- Sets back from existing tree to better expose the corner
- Pattern of bays recalls wood apartments at Boylston and Pike Streets
- Generous courtyard at the back of the building

**CONS**

- Poor relationship with three-story residence next to site on Belmont Ave (Blank Facade)
- Does not transition well to the residential neighborhood in general
- Residential lobby is on Belmont Ave. instead of the pedestrian oriented E. Pike St.
- Parking access is at a high point limiting potential garage layouts

# SCHEME A

601 EAST PIKE STREET



AERIAL VIEW FROM BELMONT AVE.



LOOKING EAST ON PIKE



LOOKING WEST ON PIKE

SUN / SHADOW STUDIES: SCHEME A

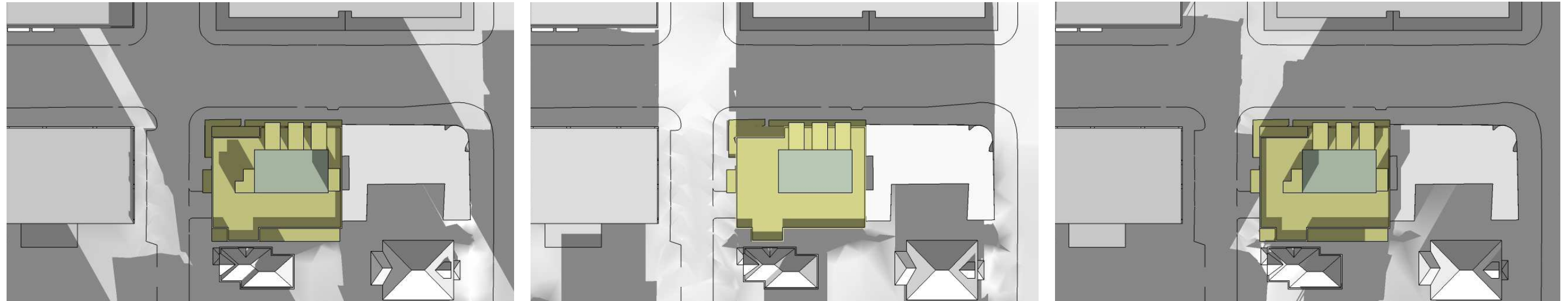
601 EAST PIKE STREET

10:00 am

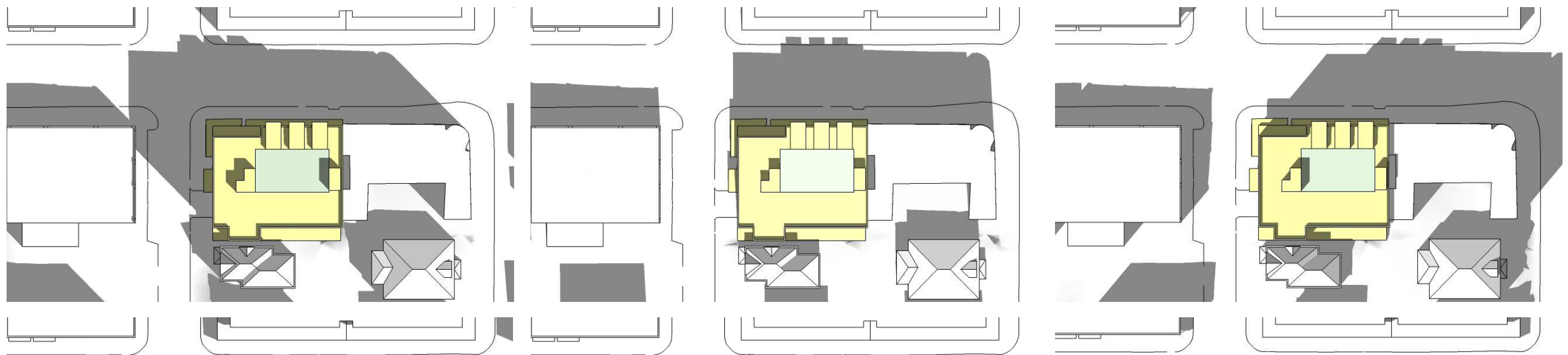
12:00 pm

2:00 pm

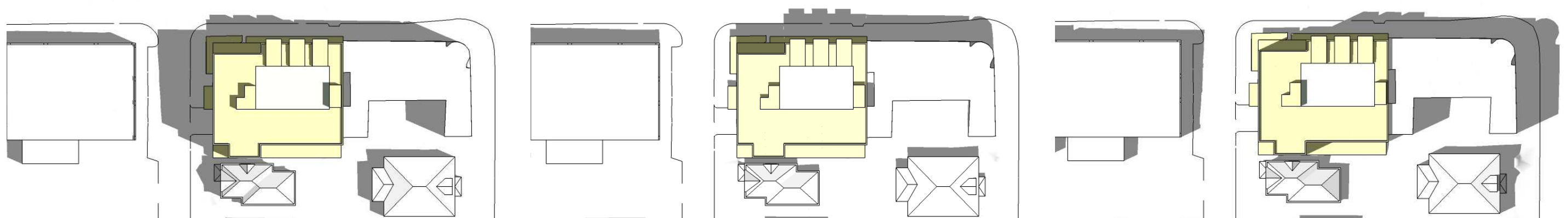
WINTER SOLSTICE



EQUINOX

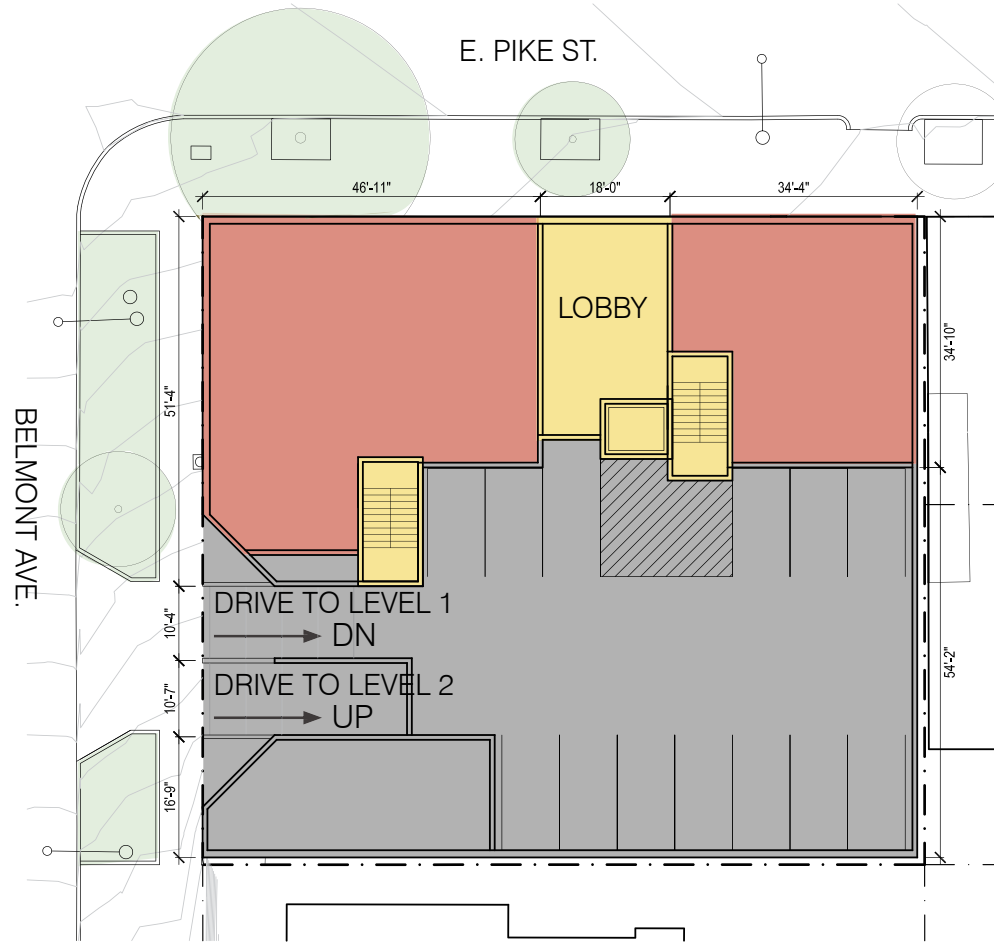


SUMMER SOLSTICE

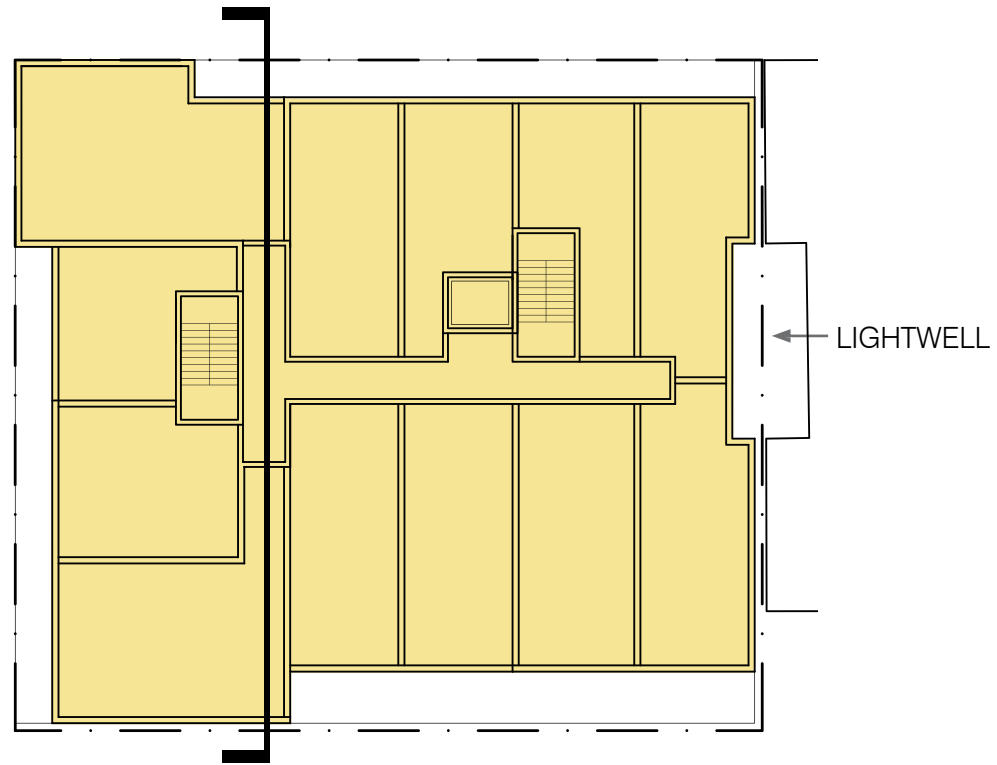


# SCHEME B - CODE COMPLIANT

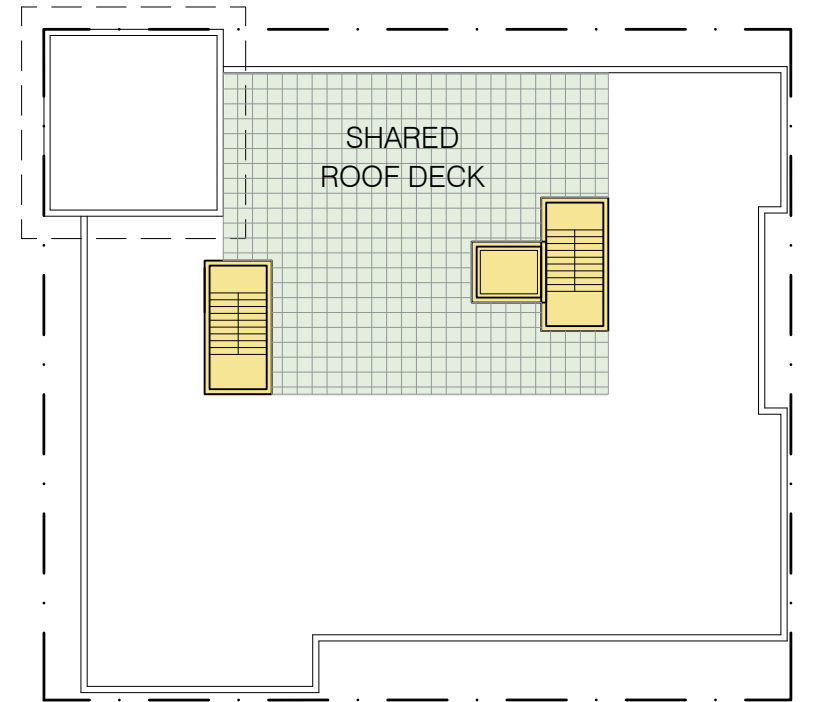
601 EAST PIKE STREET



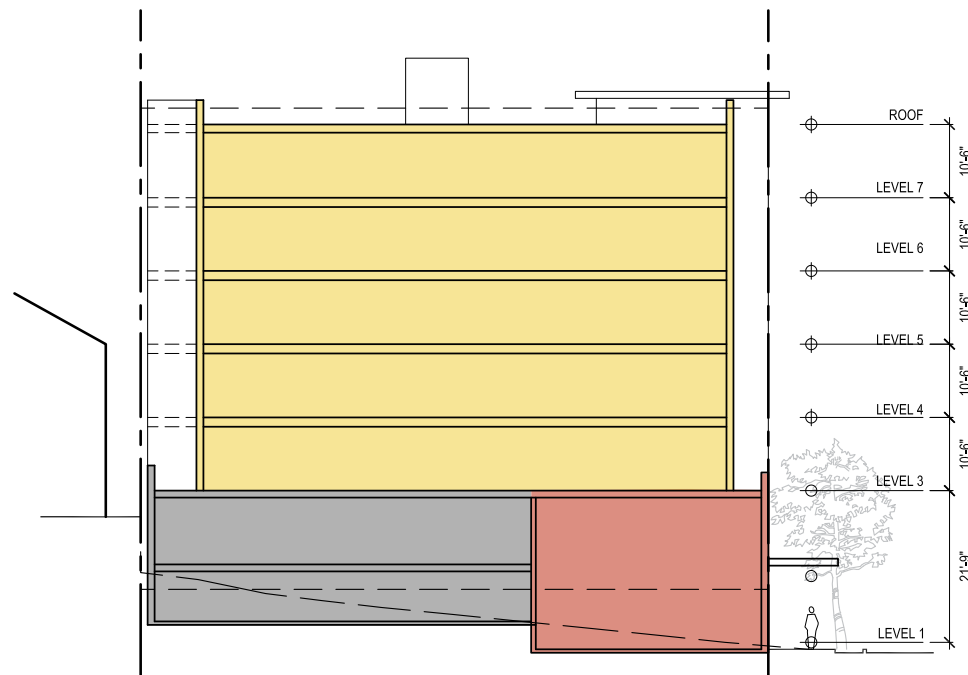
LEVEL 1: RETAIL



LEVEL 3 - 7: RESIDENTIAL



ROOF PLAN

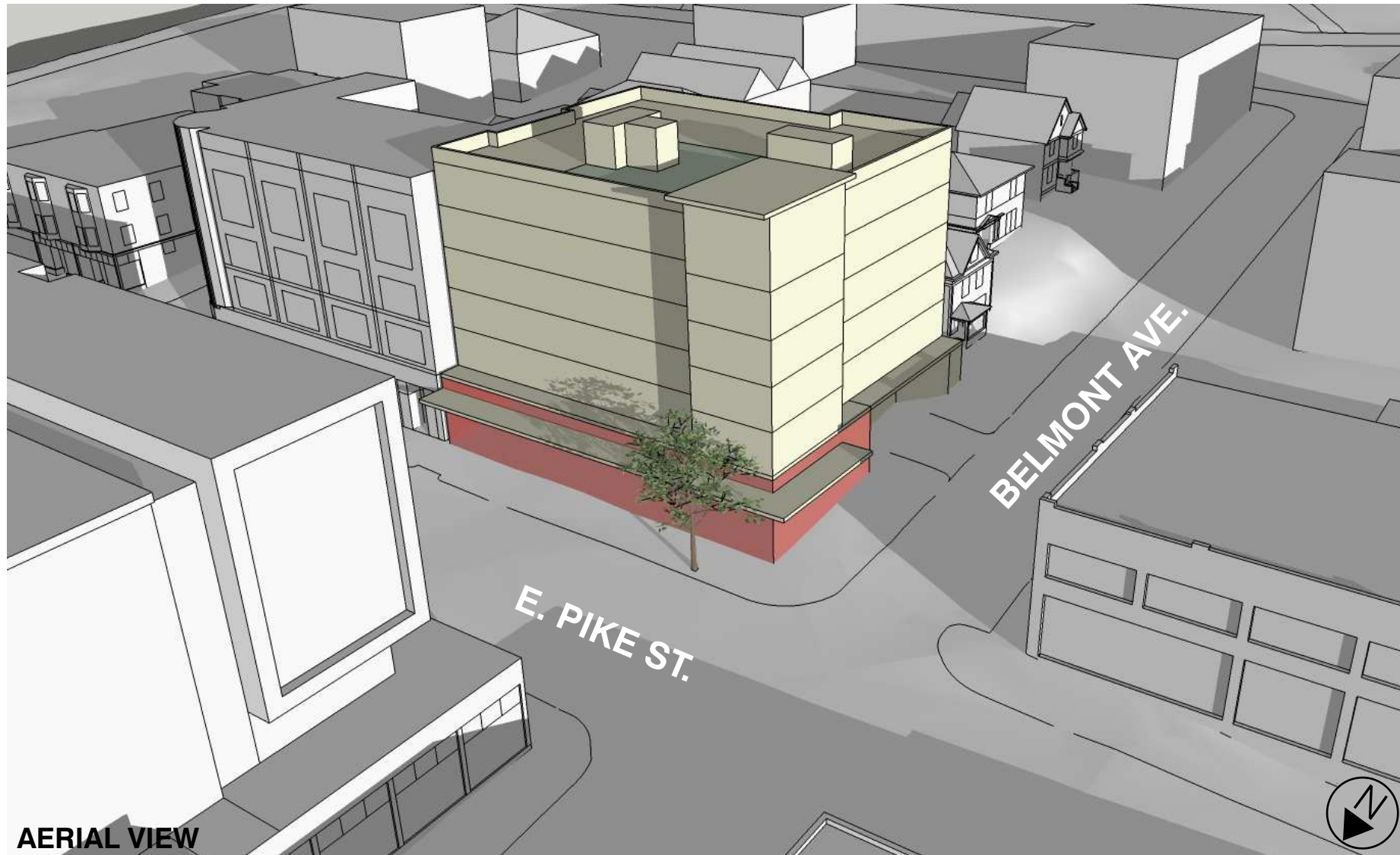


NORTH - SOUTH SECTION



KEY

- RETAIL
- RESIDENTIAL
- PARKING & SERVICES



**AERIAL VIEW**

**DESCRIPTION**

Scheme B emphasizes the corner with a tower and a raised roof line. The plan places the residential lobby along E. Pike St. near the center of the building, dividing the retail space into two smaller areas. Above the ground floor, the facade is modulated with a recess between 615 E. Pike building and a new corner tower. The parking entry is on Belmont Ave. At the rear, the building is set back along a portion of the south side of the building. There is a light well at the upper floor facing the existing one at the neighboring building.

**PROS**

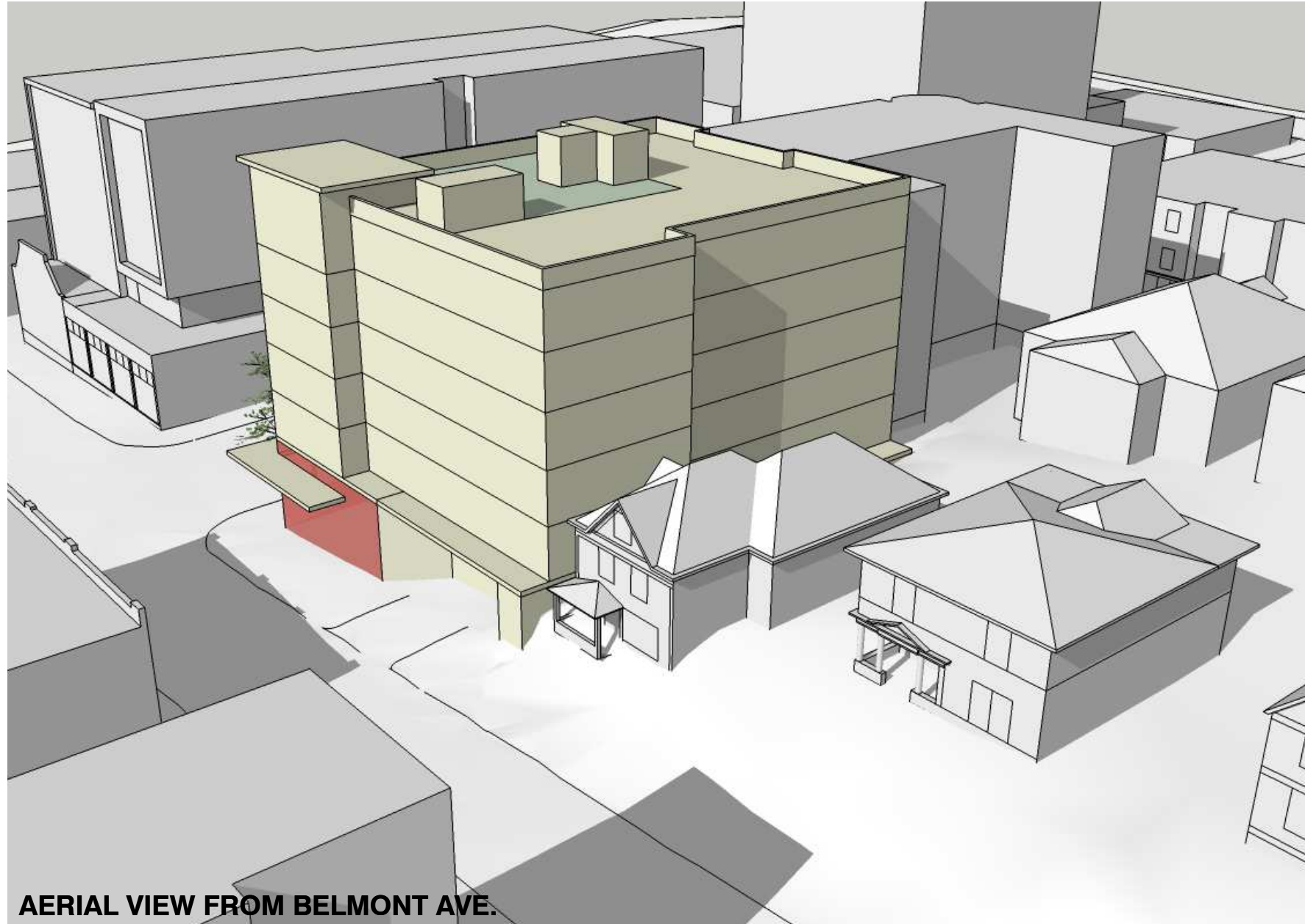
- Strong corner presence with clearly defined tower
- Residential lobby is prominent
- Setbacks create a stronger relationship with residential building on Belmont
- More facade modulation reduces scale
- Setback at first floor emphasizes retail level

**CONS**

- Setbacks are inconsistent with traditional Pike/Pine district building character
- Reduced setback limits window openings on south side units
- Retail spaces are less flexible
- Central circulation core forms awkward residential spaces
- Parking access is at a high point limiting potential garage layouts
- Tower blocks best views from roof deck

**SCHEME B - CODE COMPLIANT**

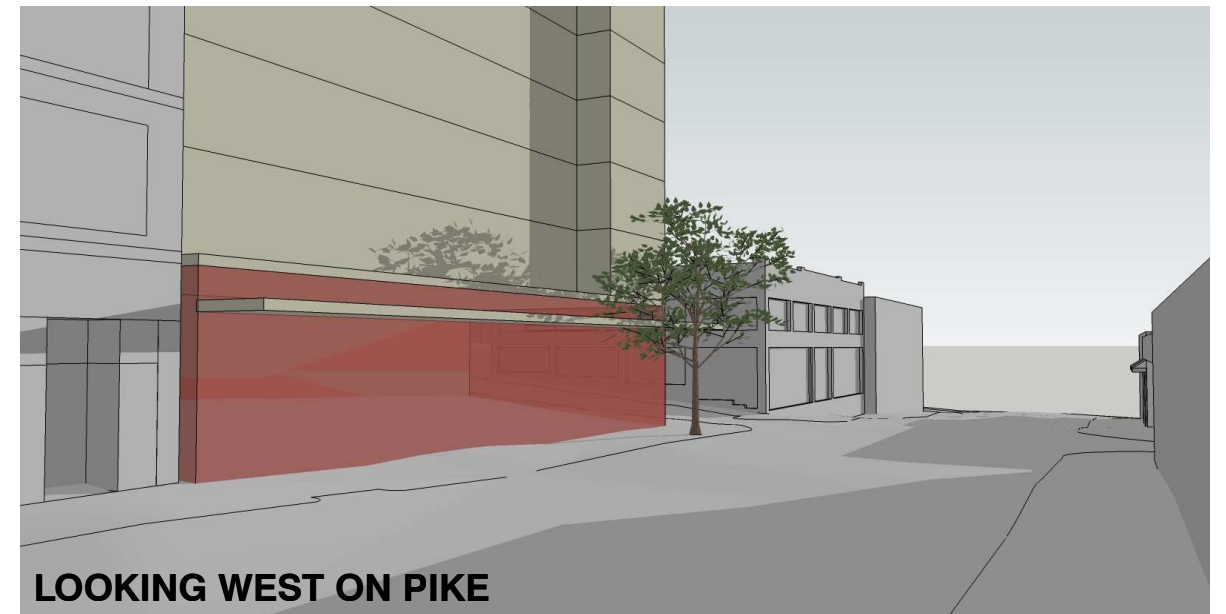
601 EAST PIKE STREET



**AERIAL VIEW FROM BELMONT AVE.**



**LOOKING EAST ON PIKE**



**LOOKING WEST ON PIKE**

# SUN / SHADOW STUDIES: SCHEME B

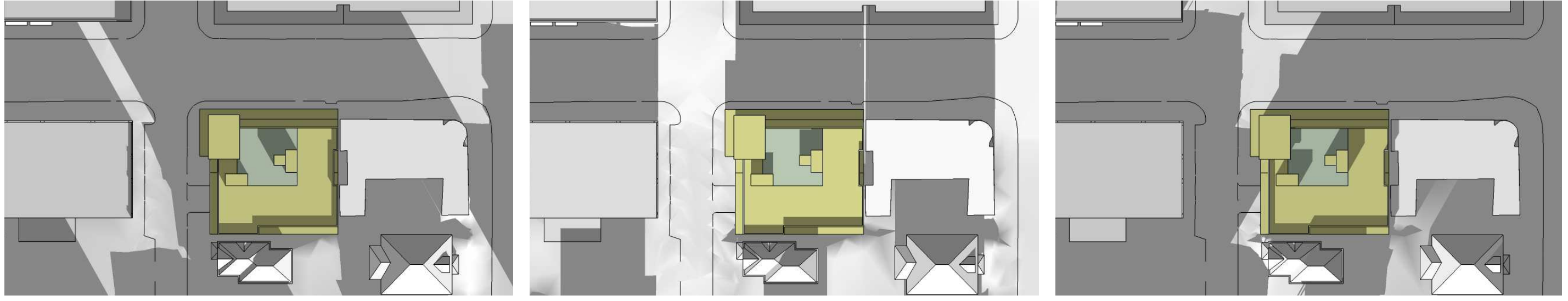
601 EAST PIKE STREET

10:00 am

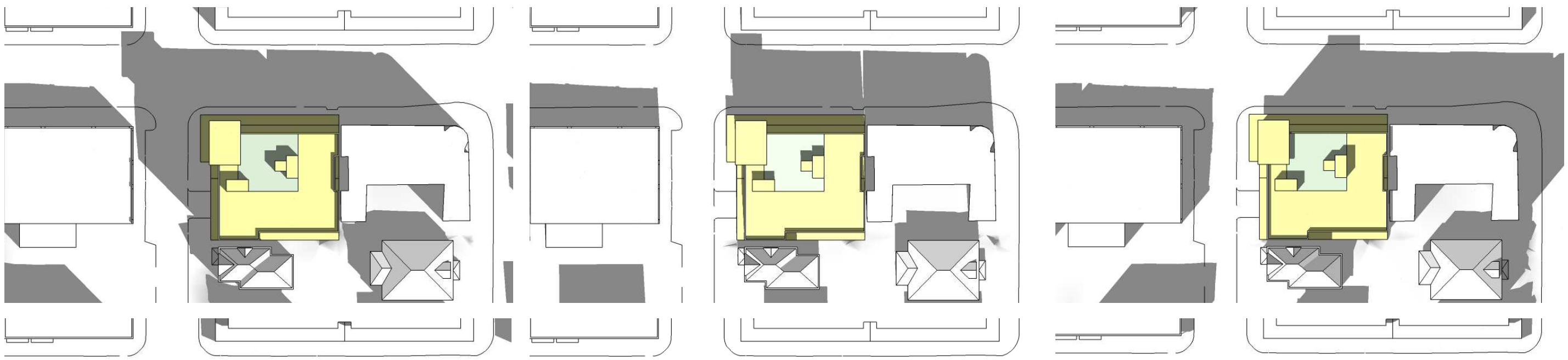
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2:00 pm

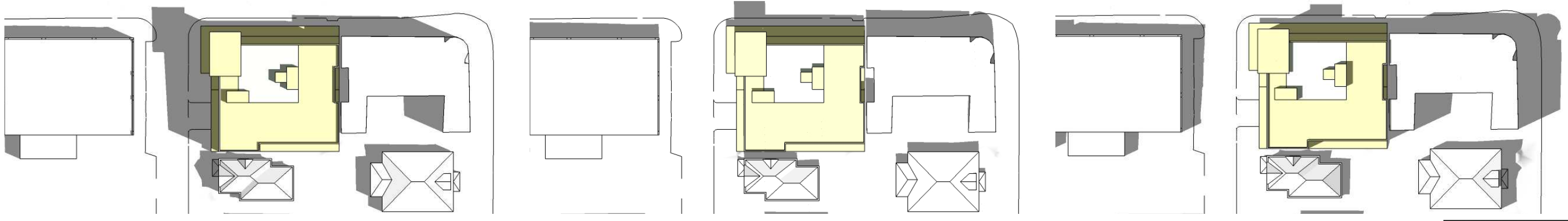
WINTER SOLSTICE



EQUINOX



SUMMER SOLSTICE

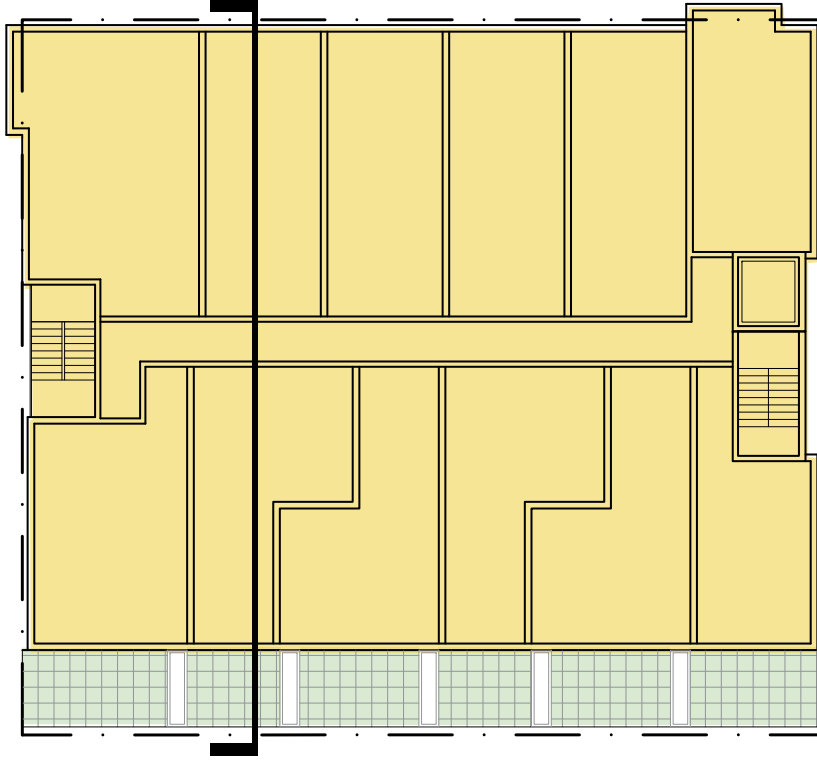


# SCHEME C-PREFERRED

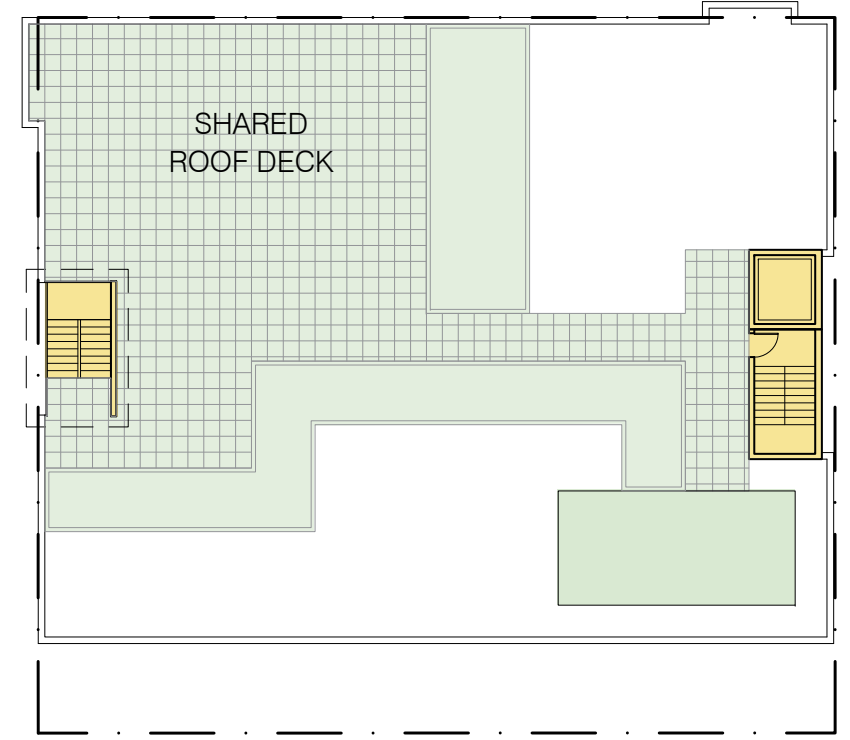
601 EAST PIKE STREET



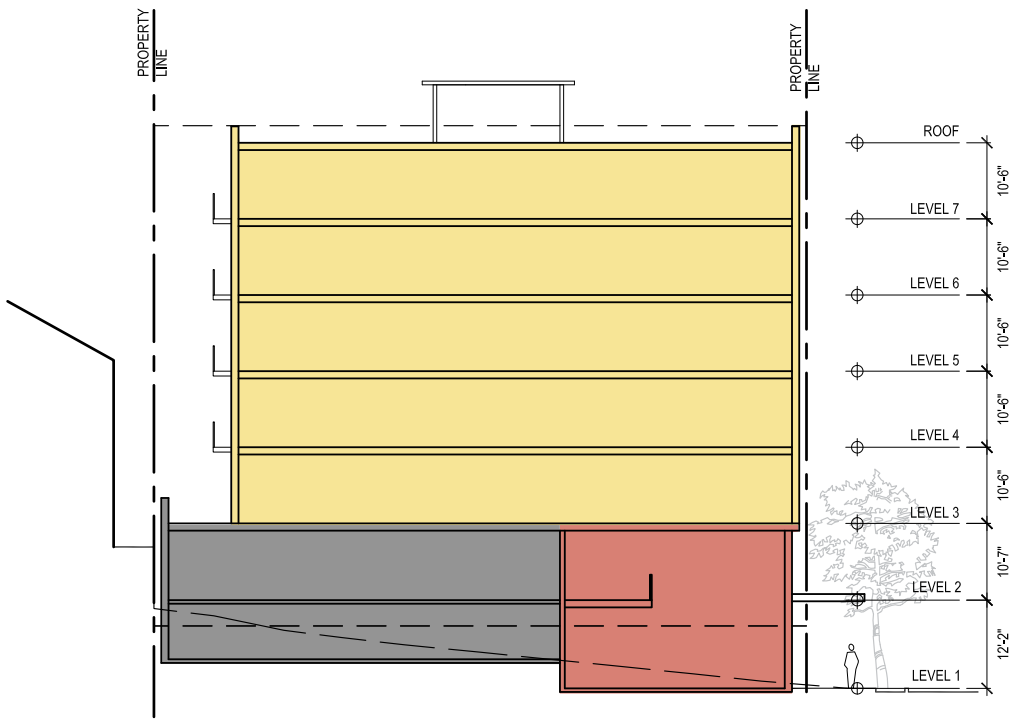
LEVEL 1: RETAIL



LEVEL 3 - 7: RESIDENTIAL



ROOF PLAN

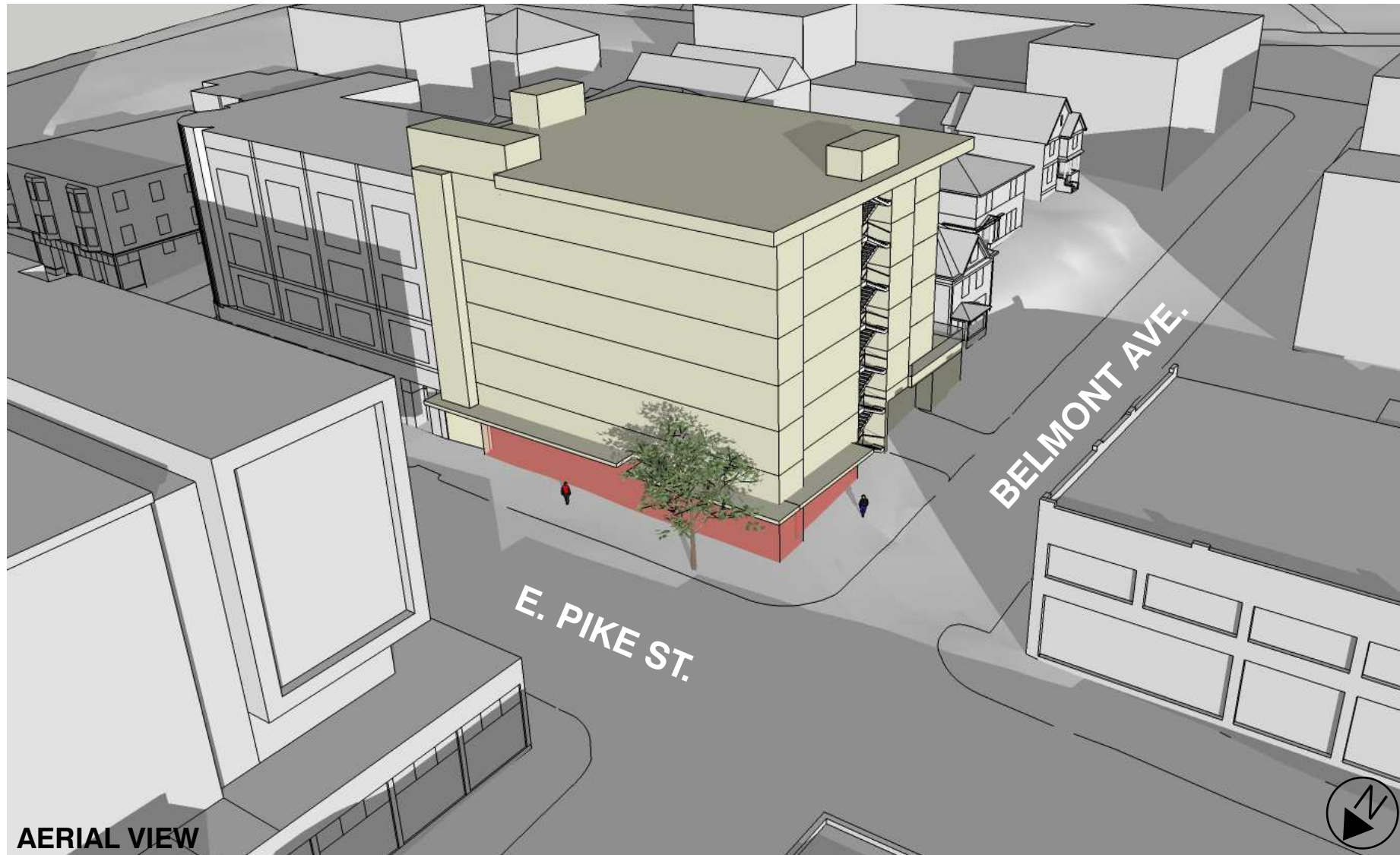


NORTH - SOUTH SECTION



- KEY
- RETAIL
  - RESIDENTIAL
  - PARKING & SERVICES





**AERIAL VIEW**

**DESCRIPTION**

Scheme C is the preferred scheme. It places the residential entry along E. Pike St. at the northeast corner and the retail space stretches continuously to the corner. Along Belmont Ave. there is an exposed stair and the parking entrance. There is a clearly expressed ground floor level, middle level, and top floor. Large windows and bays are an integral part of the design, creating relationships with neighboring buildings. The rear of the site is set back to strengthen the relationship with the neighboring buildings. The circulation is very efficient, making the most of a small site.

**PROS**

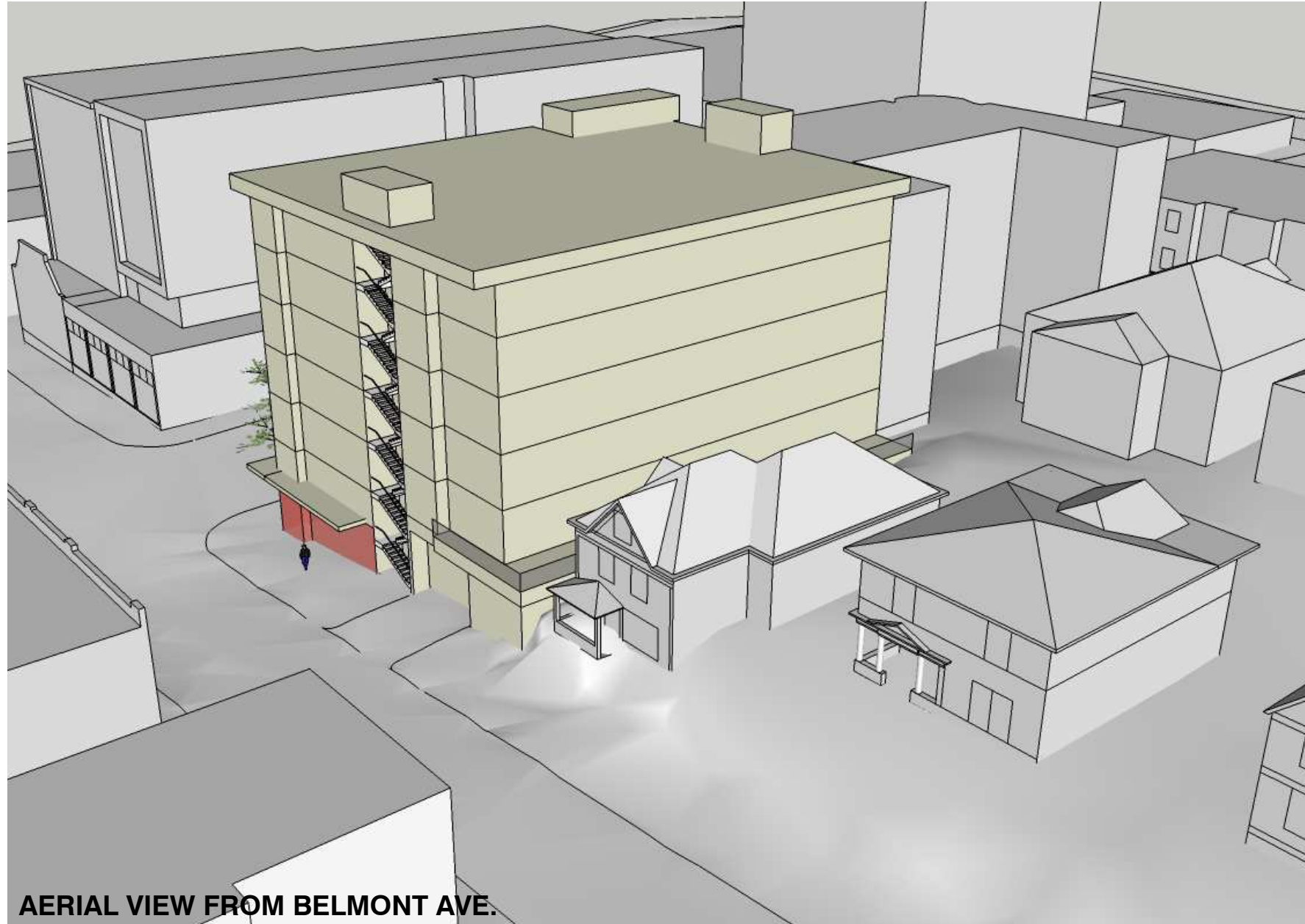
- Residential entry along E. Pike St. serves as a transition with 615 E. Pike
- Continuous retail space allows flexibility in use
- Rear setback creates sensitive transition with neighboring residential buildings
- Rear setback opens up view corridor to units on south side
- General facade treatment and scale of openings creates strong relationship with character of neighborhood
- Open stair creates architectural interest

**CONS**

- Parking access is at a high point limiting potential garage layouts

# SCHEME C - PREFERRED SCHEME

601 EAST PIKE STREET



SUN / SHADOW STUDIES: SCHEME C PREFERRED-

601 EAST PIKE STREET

10:00 am

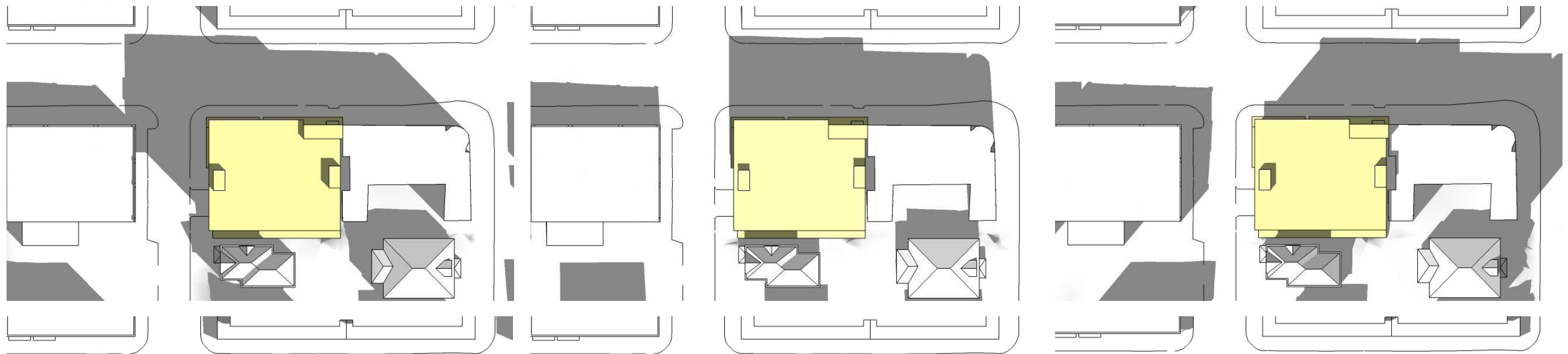
12:00 pm

2:00 pm

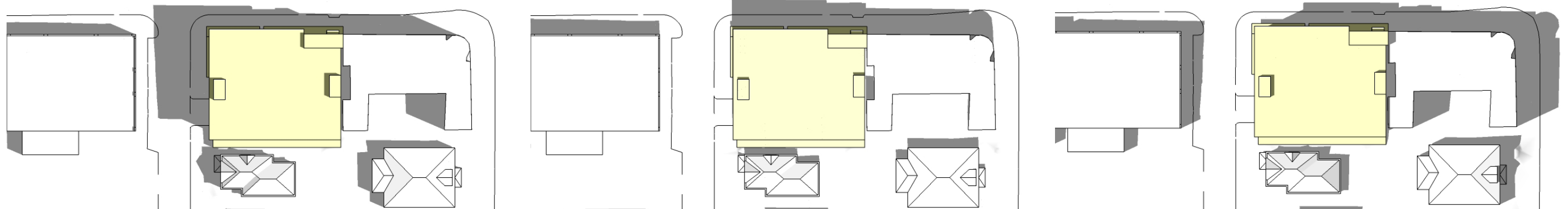
WINTER  
SOLSTICE



EQUINOX

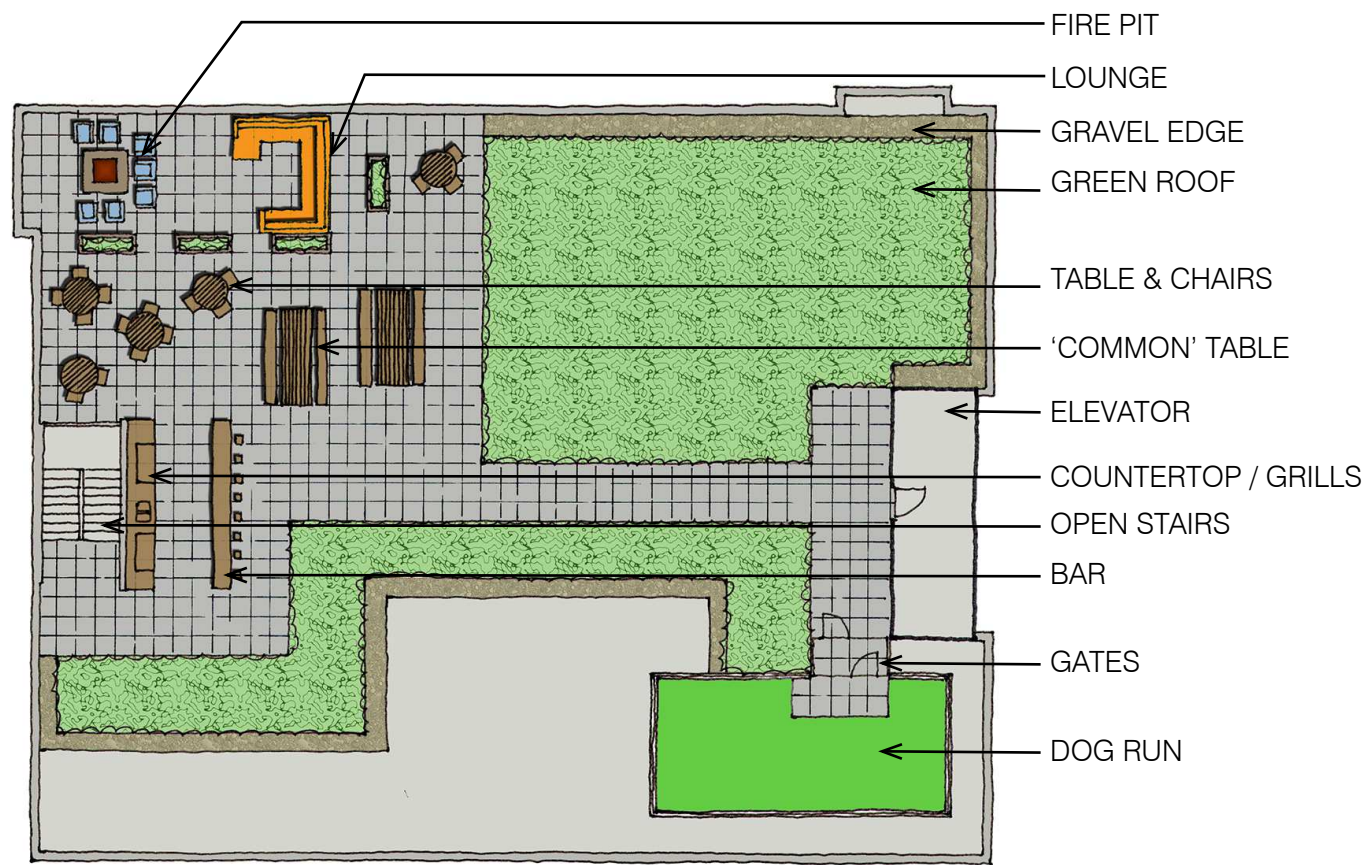


SUMMER  
SOLSTICE

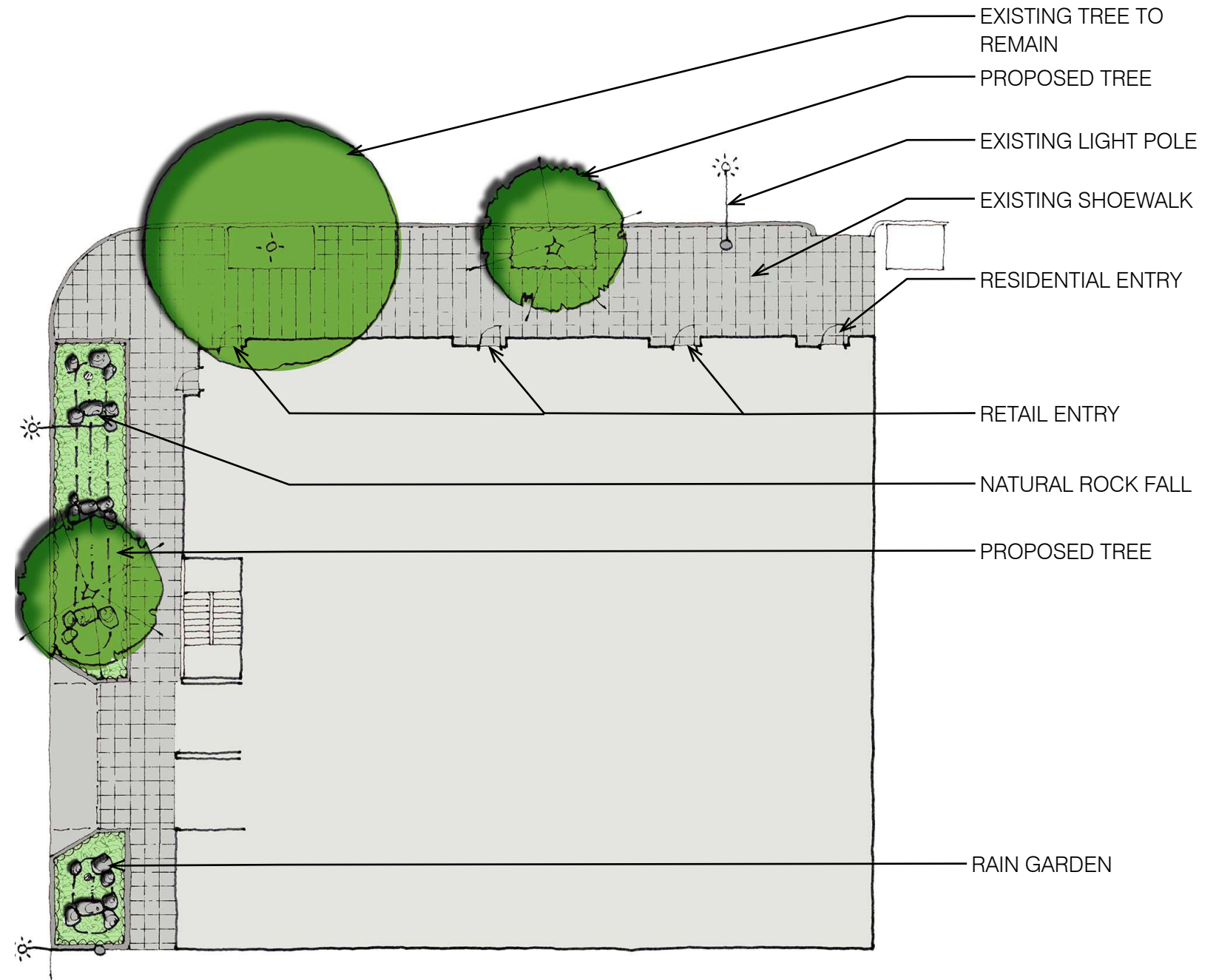


# LANDSCAPE DESIGN

601 EAST PIKE STREET



SITE LANDSCAPE PLAN



ROOF LANDSCAPE PLAN



EVERGREEN HUCKLEBERRY



PINK BARREN STRAWBERRY



GRASSES - GREEN ROOF



ORANGE SEDGE



SALAL



SEDUM - GREEN ROOF



DWARF HEAVENLY BAMBOO



MONDO GRASS



MAGIC CARPET SPIRAEA



YELLOW SEDUM



JAPANESE FOREST GRASS



SWEET BOX

**Zoning Code Requirements**

Address 601 & 609 E Pike  
Seattle, WA 98122  
Parcel Number 880490-0340 & 880490-0335  
Zoning NC3P-65  
Pedestrian-Designated Zone  
Pike/Pine Urban Center Village  
Pike/Pine Conservation Overlay District  
Site Area 9,000 sf  
R.O.W. Characteristics E. Pike: Minor arterial, principal pedestrian street, asphalt paving, sidewalk width = 13'-6"  
Belmont Ave: brick paving, sidewalk width = 17'-0"

**Commercial Zone (Pike/Pine Overlay in its.)**

Permitted Uses (partial list) SMC 23.47A.004  
Eating and drinking establishments, lodging, offices, general sales and services, residential

Street-Level Uses SMC 23.47A.005  
Residential uses 20% max of street-level street-facing facade facing a principal pedestrian street.  
Required street-level uses on principal pedestrian streets in pedestrian zone for total of 80% of street-facing facade (partial list): general sales and services, eating and drinking establishments  
Street frontage for each ground-floor business: max. 50' (does not apply to character structures) (SMC23.73.008.C)

Street-Level Standards SMC 23.47A.008  
Blank facades: may not exceed 20 ft in width and 40% of facade (between 2' & 8' above sidewalk)  
Transparency: 60% required between 2' & 8' above sidewalk  
Height and Depth: Nonresidential uses shall extend an avg. of at least 30 ft and a min. of 15 ft in depth from the street-level street-facing facade.  
Nonresidential uses at street level shall have a floor-to-floor height of at least 13 feet.  
Lot Line: Street-level street-facing facades shall be located within 10 ft. of the street lot line, unless wider sidewalks, plazas, or approved landscaped or open spaces are provided. (SMC 23.47A.008 A3)  
Residential uses: At least one of the street-level street-facing facades containing a residential use shall have a visually prominent pedestrian entry. (SMC 23.47A.008 D2)

Structure Height SMC 23.47A.012  
Height Allowed: 65 feet  
Additional Height: 4 ft. where street level commercial is > 13' FTF, height does not allow an additional story, & transparency req's are met between 2 and 12 ft. above the sidewalk. (SMC 23.73.014.A)  
Character Structure: 10 feet above the 65-foot height limit where a character structure is retained per 23.73.105B and additional height is residential area. (SMC 23.73.014.B)  
The maximum height shall be the height permitted by the exception allowing the greatest height increase. (SMC 23.73.014.D)  
Rooftop features: Open railings, planters, skylights, clerestories, greenhouses, solariums, parapets and firewalls may extend up to 4 feet above the otherwise applicable height limit.  
Mechanical equipment may extend up to 15 feet above the applicable height limit.  
Stair and elevator penthouses may extend above the applicable height limit up to 16 feet or 25 feet for energy-efficient elevators.

Floor Area Ratio SMC 23.47A.013  
Allowed FAR: 4.75 = total of residential and non-residential 4.25 = max. residential  
2 = max. non-residential for structure greater than 30' in height (SMC23.73.009 B.1)  
Gross floor area not counted toward FAR:  
• Gross floor area below grade.  
• Street-level commercial complying with 23.47A.008 & 23.73.008.B (SMC23.73.009.C.3)  
• Residential use in a development that retains a character structure per 23.73.010.B.2 (see below)

Setbacks SMC 23.47A.014  
Front/Back/Side: None

Landscaping SMC 23.47A.016  
Green Factor .30 or greater.  
Street Trees Required on E Pike and Belmont Ave

Amenity Area SMC 23.47A.024  
5% of total gross residential floor area.  
Standards: All residents shall have access to at least one common or private amenity area  
Amenity areas shall not be enclosed  
Common amenity areas shall have a minimum horizontal dimension of 10 feet, and no common amenity area shall be less than 250 square feet in size  
Private balconies and decks shall have a minimum area of 60 square feet, and no horizontal dimension shall be less than 6 feet

Bicycle parking  
Residential: Long term: 1 spot per 4 units  
Sales & Services: Long term: 1 spot / 12,000 sf; Short term: 1 spot / 2,000 sf or Eating/Drinking Est.

Parking Location & Access SMC 23.47A.032  
Access: Parking access shall be from a street that is not a principal pedestrian street.  
Location: In NC zones, within a structure, street level parking shall be separated from street-facing facades by another permitted use.

Required Parking SMC 23.47A.030 / 23.54.015  
Non-Residential: no minimum required in urban center (Table A, section II, line I)  
Residential: no minimum required in urban center (Table B, section II, line M)

Parking Standards SMC 23.54.030  
Parking Spaces Min. 60% medium spaces (8'x16')  
Driveway Width: 10' min. for residential drive < 100' long and serving 30 or fewer spaces  
Parking Aisle Width: 22' min.  
Curb Cuts: (2) 10' curb cuts or one 20' curb cut allowed on Belmont  
Sight Triangle: 10' sight triangle required on each side of driveway

Loading Berths SMC 23.54.035  
May be waived for uses less than 16,000 gross square feet that provide a loading space on a street or alley.

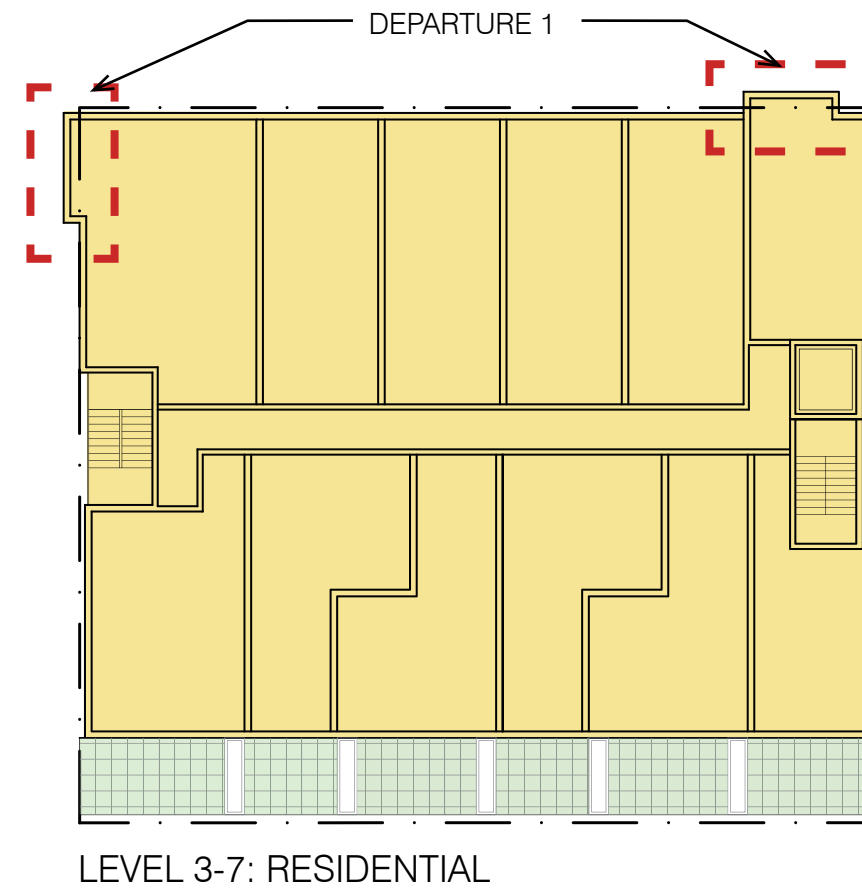
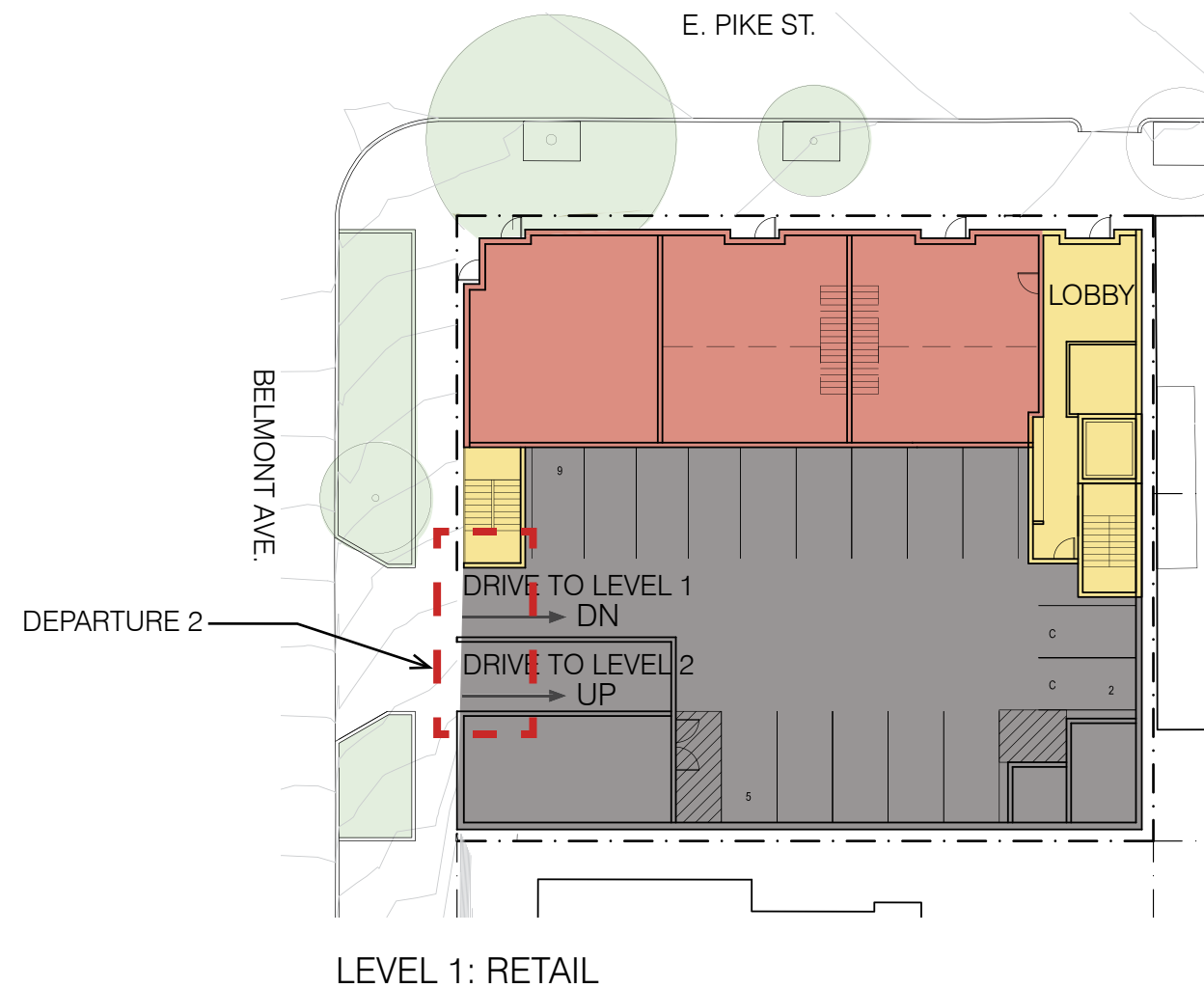
Solid Waste & Recycling Storage SMC 23.54.040  
Min. Area non-residential: 82 sf  
Min. Area, 51-100 res.units: 375 sf + 4 sf/unit above 50  
Standards: 12' min horizontal dimension  
If 20' min horizontal dimension then reduce required size by 15%  
10' wide and 21' overhead clearance required

Retention of Character Structures SMC 23.73.010.B.2  
Requirements where retaining a portion of a character structure:  
1. All street-facing facades of the character structure are maintained  
2. All portions of the new structure above the character structure facades are set back a minimum of 15  
3. The original floor-to-ceiling height of the ground story is maintained

# DEPARTURES

## POTENTIAL DEPARTURES

| # | Code Requirement   | Departure Requested  | Explanation of Request  |
|---|--|--|---|
| 1 | SMC 23.53.035.A.4.c <b>The maximum length of a bay window</b> is 15 feet where it meets the building and 9 feet at its front face, with its side walls angled at 45 degrees. The maximum projection is 3 feet. | Maximum length of 12 feet with 90 degree side walls with a projection of 2'-6" feet. | Bay windows with angled side walls are very traditional in appearance and would conflict with the proposed building's contemporary character. The enclosed area of each proposed bay is less than that allowed in a code-compliant bay. |
| 2 | SMC 23.54.030.G.1 <b>Sight Triangle</b> is required on both sides for a two-way driveway less than 22 feet wide.   | Provide mirrors or other safety measures instead of the sight triangles              | Eliminating the sight triangles minimizes the appearance of the driveways, which would otherwise dominate the street-level façade on Belmont Street.  |



# SCHEME C - PREFERRED

601 EAST PIKE STREET



**AERIAL VIEW AT CORNER OF PIKE & BELMONT**



**AERIAL VIEW ALONG BELMONT**





**LOOKING WEST DOWN PIKE ST.**