



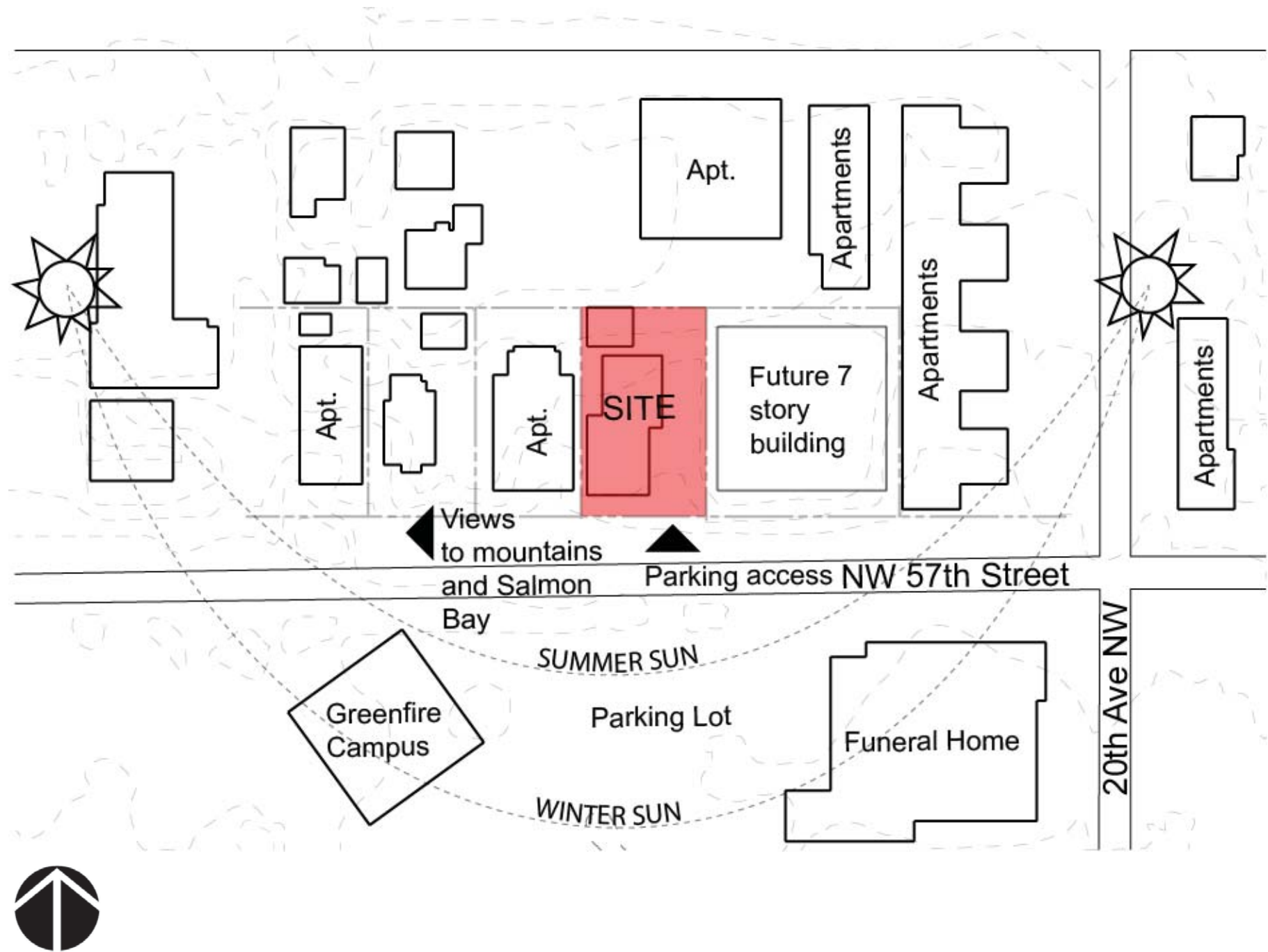
**2018 NW 57th Street
Seattle Washington 98107**

DPD Project No.: 3015305
Date: 06.19.13

Developer:
Inhaus Development LTD

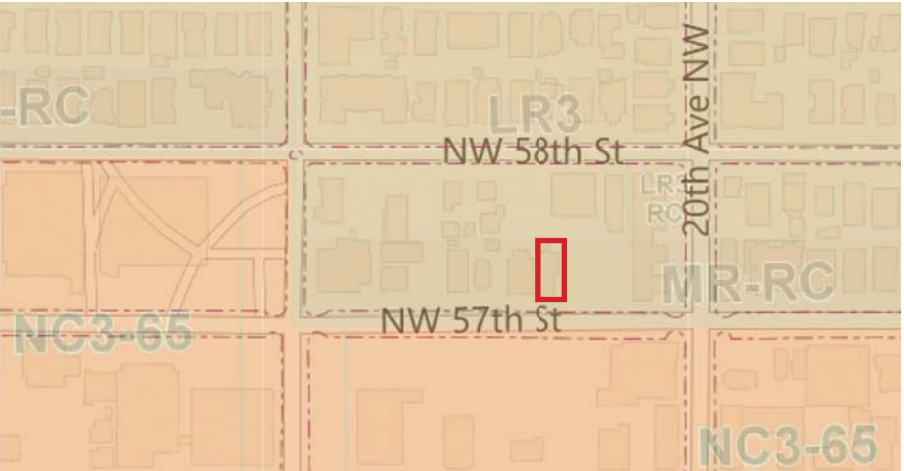


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Seattle WA 98122
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malboeuf@elementalarchitecture.com



Site Analysis Summary:

- Views: Territorial, possible Salmon Bay and mountain from upper floors.
- Current use: Wood framed duplex constructed in the 1960s.
- Proposed use: 5 to 6 floor condominium over enclosed parking.
- Topography: Site rises approximately 4 feet from south to north.
- Amenities:
 - Ballard on the Park at the corner of NW 57th St and 21st Ave NW
 - Seattle Public Library - Ballard
 - Walk to Ballard shopping / restaurant area.
- Parking access: Only possible from NW 57th street.

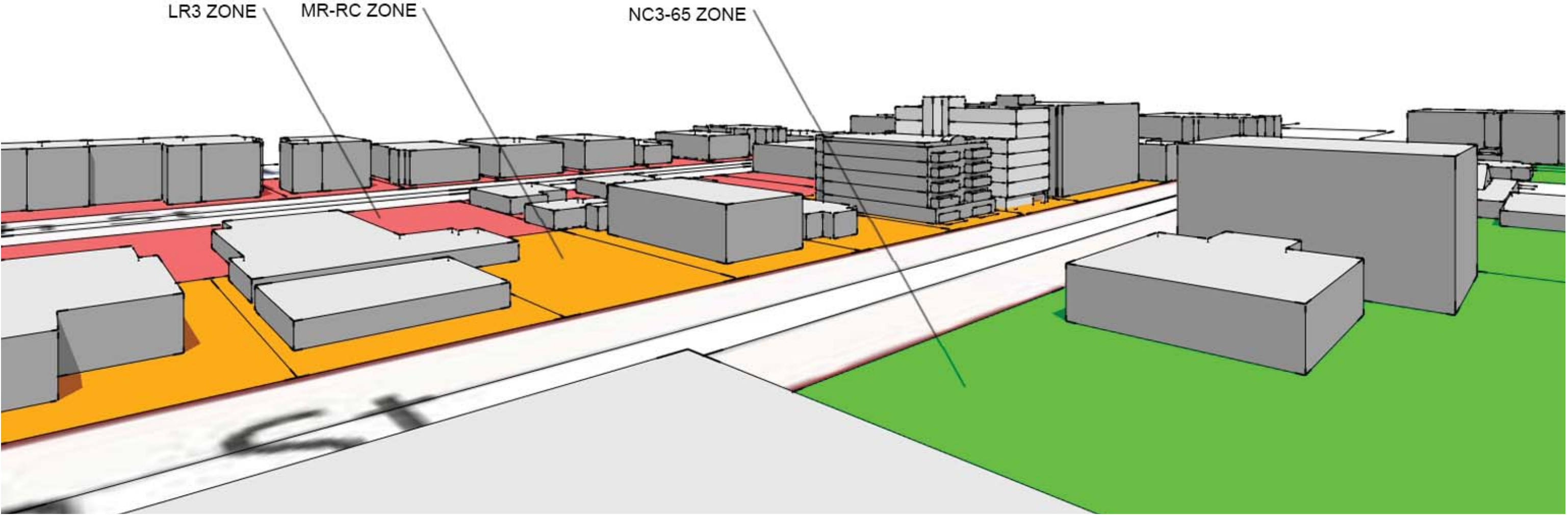


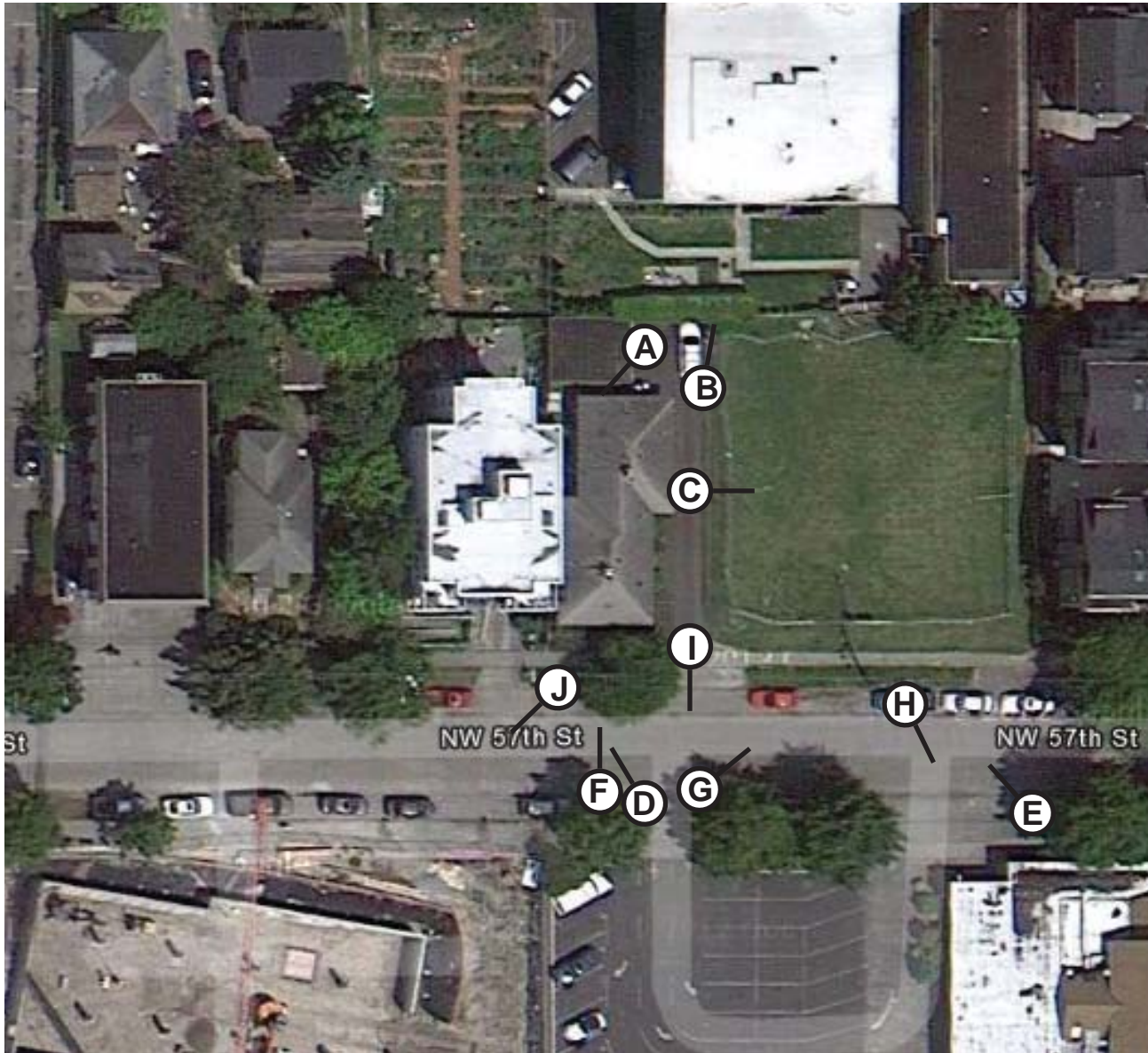
Area zoning map

Zoning & Zoning Code Summary

Early Design Guidance - 2018 NW 57th Street

Subject property				
Address: 2018 NW 57th Street Site area: 5000 SF Dimensions: 50X100 Zone: MR-RC Overlay: Ballard (Hub Urban Village) Access: Street Parcel: 2767604925				
Land Use code summary				
23.45 Multi-Family				
23.45.502 Midrise (MR-RC)				
23.45.504 Permitted and prohibited uses.				
Table AResidential use is permitted outright subject to provisions of this title.				
23.45.508 General Provisions.				
23.54.015 Parking				
Table B Section II., line M. (Urban Village, not in a Station overlay) No minimum requirement.				
23.45.510 Floor area (FAR) limits.				
Table B MR				
3.2 Base FAR				
4.25 Maximum FAR				
pursuant to				
23.58A				
and				
23.45.516				
23.58AIncentive provisions				
Subchapter II Extra Residential Floor Area				
23.58A.012 Methods to achieve extra residential floor area				
A. If ithe maximum height 85 feet or lower, all extra residential area shall be housing bonus residential floor area.				
Subchapter II Extra Residential Floor Area				
23.58A.012 Methods to achieve extra residential floor area				
A. If ithe maximum height 85 feet or lower, all extra residential area shall be housing bonus residential floor area.				
	23.58A.014 Bonus residential floor area for affordable housing. A. ...However, where the maximum allowable height under the applicable provisions of the zone is 85 feet or less, the applicant may only use the performance option. B. Performance option. 1. An applicant using the performance option shall provide low-income housing with a gross floor areaat leat equal to the greatest of (a) 17.5 percent of the net bonus residential floor area obtained through the performance option, except that an applicant may elect to provide low-income housing equal to 10 percent of the net bonus residential floor area obtained through the performance option if the (income restrictions and conditions outlined in detail)... -and- (parking inside building and/or one row in Alley) (If parking is provided.) -and-	23.45.516 Additional height and extra residential floor area in Midrise and Highrise zones A.1 In MR , MR85, and HR zones, extra floor area may be permitted up to the maximum limits allowed by Section 23.45.510; and 2. In MR and HR zones, additional height, above the base height limit, is permitted for structures that qualify for extra residential floor area, up to the maximum limits allowed by Sections 23.45.514. B. Eligible lots. The following lots are eligible for extra residential floor area and, except for MR/85 zones, extra height. 1. Lots in MR and HR zones in urban villages, urban centers, and the Station Overlay District: and....	1. The FAR exemption provided in Section 23.45.510.E.4 is used: 2. All stories in the structure, except stories used only for parking, have floor to ceiling heights of 9 feet or more; or For information only. Exhibit B Additional height allowed for sloped roof concealed by parapet. Exhibit C Add 2'-0' to allowable height for Green Roof if over 50% of roof. F. 1-4. Add 4'-0" to allowable height for partially below grade floor if all conditions are met. J.2. Roof top features. Add 4'-0" for parapets, open railings, planters, etc. J.4. Roof top features. Add 10'-0" for stair towers, elevators, etc. 23.45.518 Setbacks and separations. Table B MR setbacks Front 5'-0" minimum (Street setback) 7'-0" average Rear 15'-0" from a rear lot lone that does not abut an alley Side 10'-0" from a rear lot line abutting an alley 5'-0" minimum (Interior lot line) 7'-0" average for portions 42 feet in height or less Side 7'-0" minimum (Interior lot line) 10'-0" averagefor portions greater than 42 feet in height. 23.45.522 Amenity area. Varies by use, for example. C. Amount of amenity area required in MR and HR zones. The required amount of amenity area in MR and HR zones is equal to 5 percent of the total gross floor area of the structure in residential use, except that cottage housing developments shall meet the standards in subsection B of this section 23.45.522. D1. All units shall have access to a common or private amenity area. 2. Enclosed amenity area.	b. In MR and HR zones, except for cottage housing, no more than 50 percent of the amenity area may be enclosed, and this enclosed area shall be provided as common amenity area. 23.45.524 Landscaping standards. A.2.b. Green Factor of 0.5 or greater required in MR and HR zones. B.1. Street trees required. 23.45.526 LEED, BuiltGreen and Evergreen sustainable development standards. A. Applicants for all new development gaining extra residential floor area, pursuant to the Chapter 23.45, or seeking to qualify for the higher FAR limit in Table A for 23.45.510 shall make a commitment that the structure will meet green building performance by earning a Leadership in Energy and Environmental Design (LEED) Silver rating or BuiltGreen 4-Star rating of the Master Builders Association of King and Snohomish Counties, except: 23.45.528 Structure width and depth limits for lots in Midrise zones greater than 9,000 square feet in size. Not applicable 23.45.529 Design Standards. Measurement standards.(Exhibit A) 2.b. Façade articulation. If greater than 750 SF then division into separate façade planes is required. 2.c. Minimum façade plane = 150 SF Maximum façade plane = 500 SF Less than 65% of side lot line length. 2.e. Exemptions are allowed by Director. 23.45.536 Parking location, access and screening. Typical provisions. Read section for detailed requirements. 23.54.510 Required parking. Table B., Section II., Line M. Inside Urban Village, not a Station overlay No minimum requirement.





Site image key plan



A View south east from site



B View north from site



C View east from site



D View north west



E Project Site from the east



F Project site from the south



G View north east



H View south east



I View south from project site

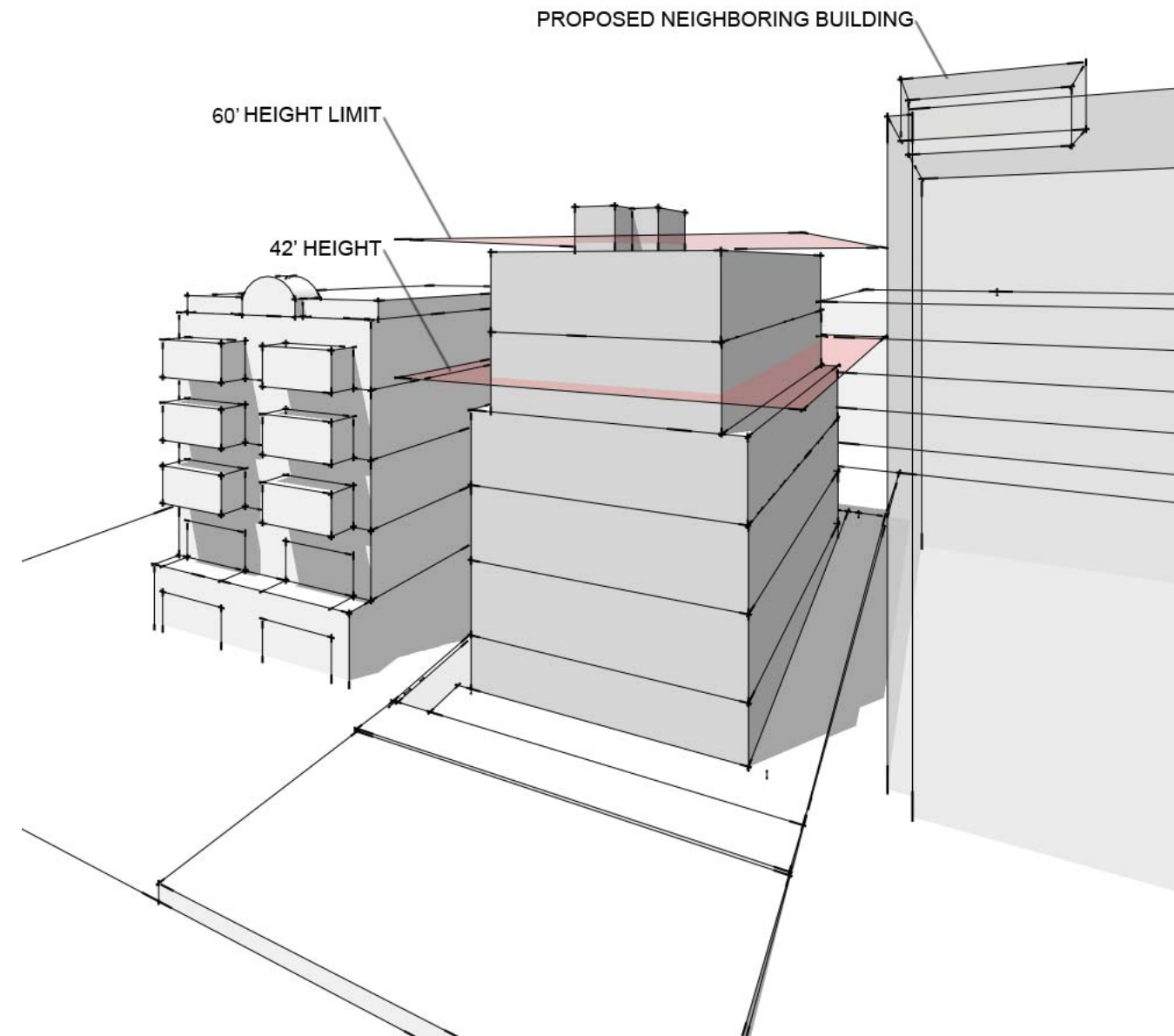


J View south west to Greenfire Campus

Option A

Early Design Guidance - 2018 NW 57th Street

Code compliant



Design Objective: Build a 20 Unit Condominium.
There will be 5 floors of residential (3 floors of about 2808 sf, 4 units per floor lower and 2 floors of about 2340 sf per floor, 4 units per floor upper) over a half floor of sub grade storage. There will be no parking.

Views primarily to the south and north.
Common roof space for all units.
Stairs to have natural light to encourage daily use.

Departures: None required.

Design

Height Limit: 60'
(Height Limit indicated by red plane)
(Orange plane indicates height for additional setback at 42')
F.A.R.: 3.2
Max. F.A.R. = $5000 \times 3.2 = 16,000$ sf
Proposed F.A.R. = 13,104 sf

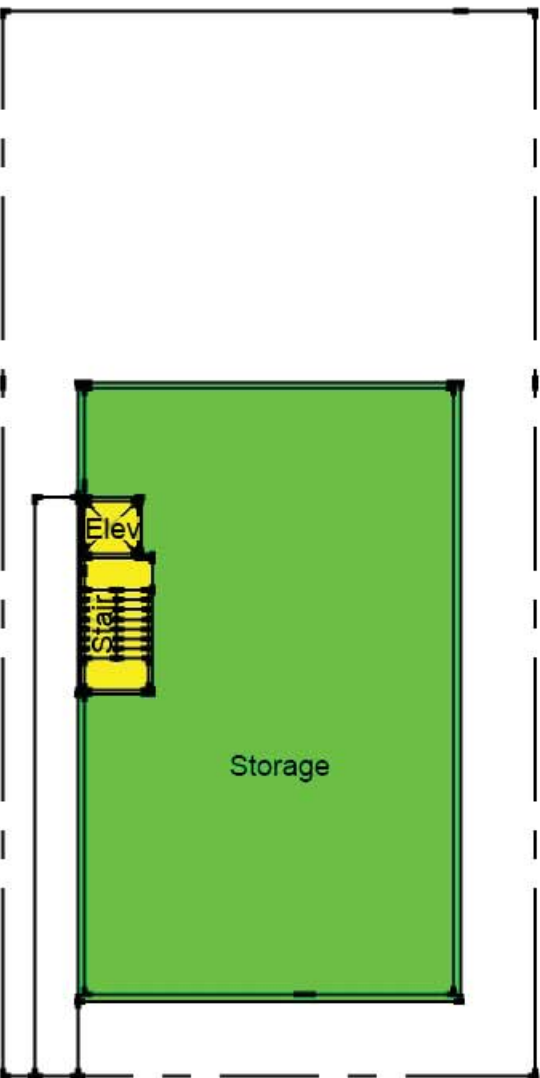


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Option A - Plan Diagram

Code compliant

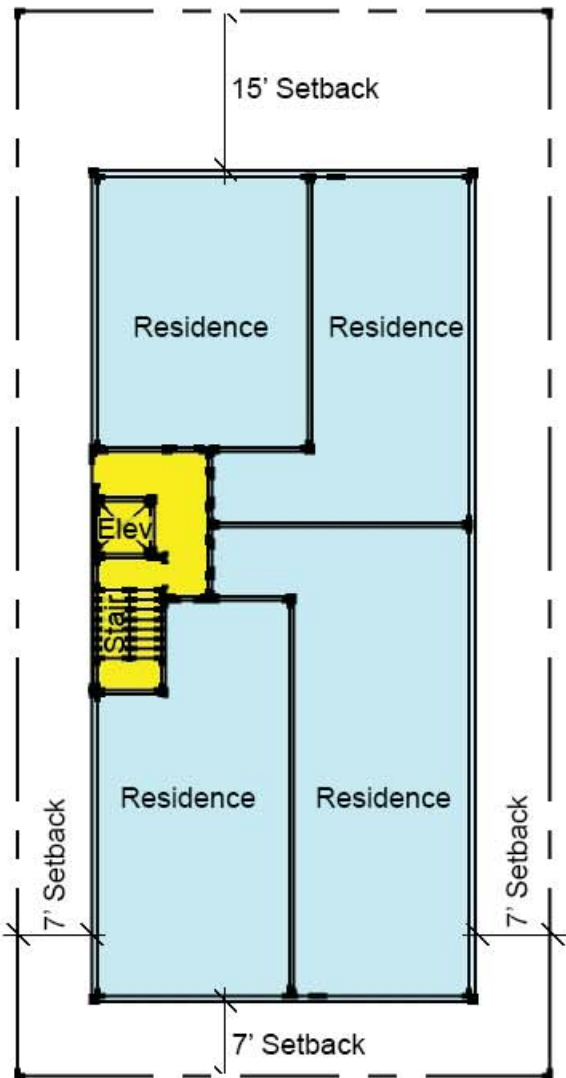


Sidewalk

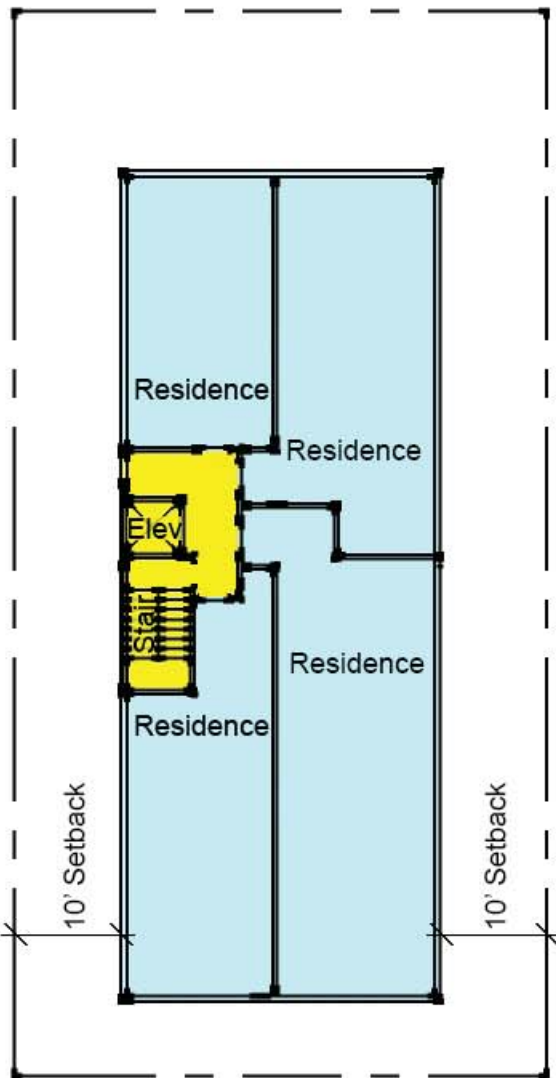
NW 57TH Avenue

Storage level (below grade)

Storage level is less than 48" above average existing grade.



Typical residential lower level



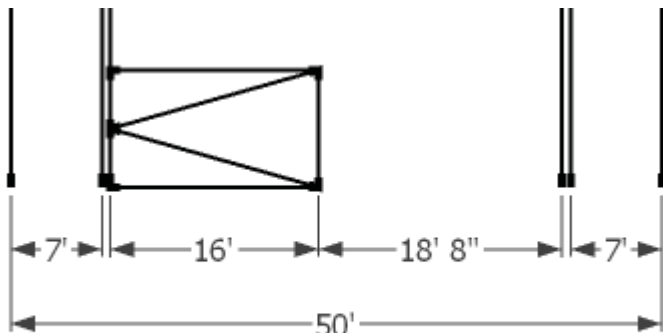
Typical residential upper level

Advantages:

No Departures required.

Challenges:

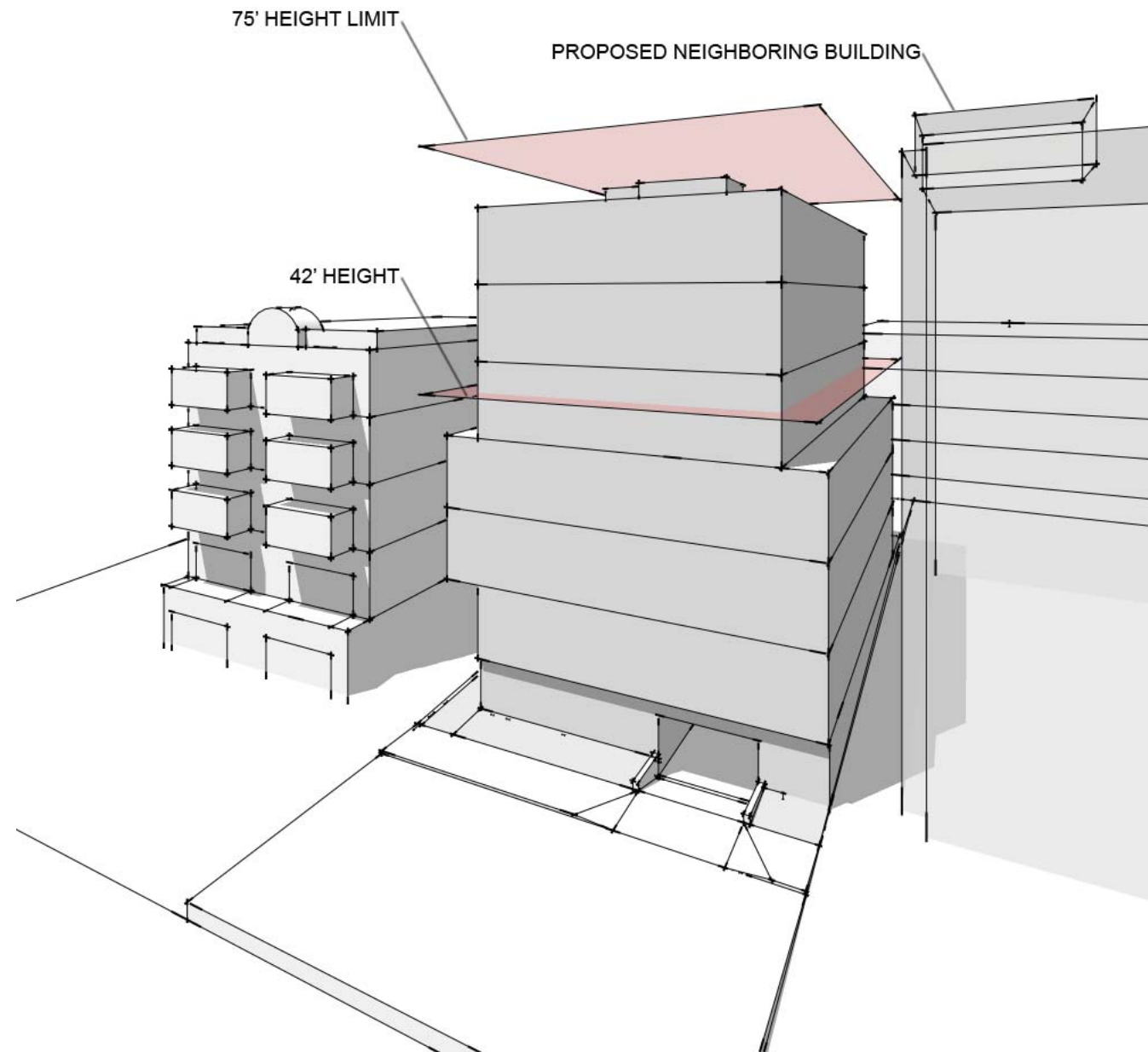
Upper floor residences will be too small at approximately 529 sf each.
No low-income housing will be included.
Parking not possible due to insufficient back-up distance.



Option B

Early Design Guidance - 2018 NW 57th Street

Not code compliant



Design Objective: Build a 20 Unit Condominium. There will be 6 floors of residential (3 floors of about 3900 sf, 4 units per floor lower and 3 floors of about 3160 sf per floor, 4 units per floor upper, one floor single height, 2 floors double height) above 1 level of below grade structured parking. Because of the urban village overlay, parking is not required. The objective would be to provide parking for half of the units. The entry would be on the east side at the midfloor landing. Views primarily to the south and north. Common roof space for all units. Stairs have natural light. The parking would be built to the property line on the sides and rear.

Design

Departures:

0' side setback below 42' instead of 7'.
5' side setback instead of 13 above 42'.
Stair in setback.

Design

Height Limit: 75'

(Upper Height Limit indicated by red plane)
(Lower plane indicate height for additional setback at 42')

F.A.R.: 4.25

Max. F.A.R. = 21250 sf

Proposed F.A.R. = 21180

F.A.R. bonus is being achieved through affordable housing performance pathway.

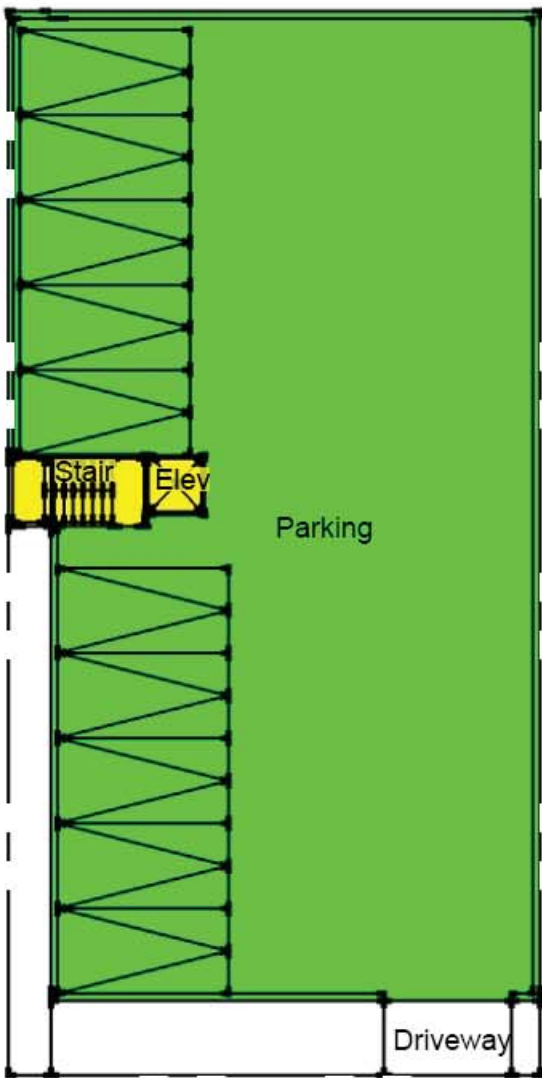


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Option B - Plan Diagram

Not code compliant

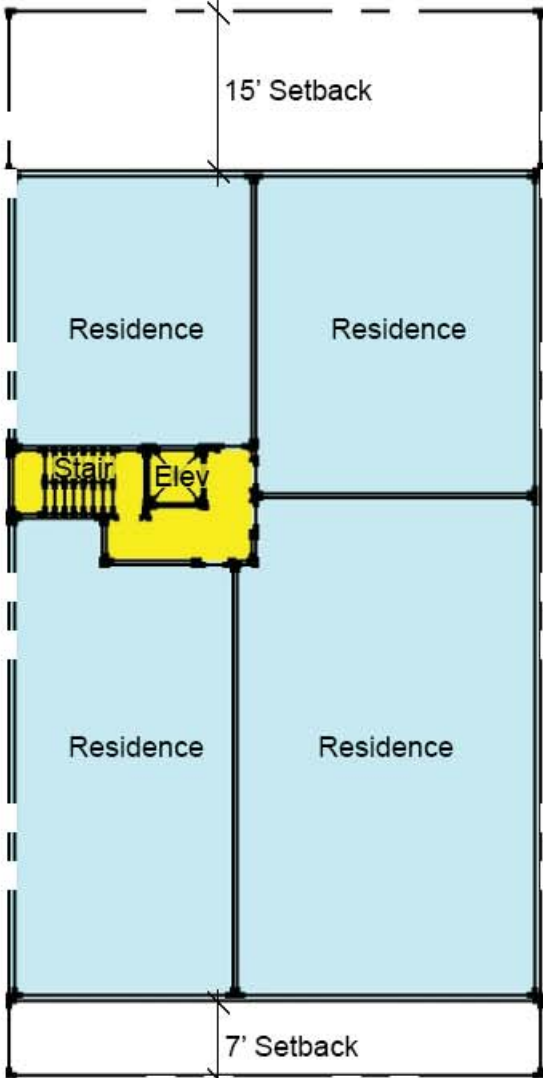


Sidewalk

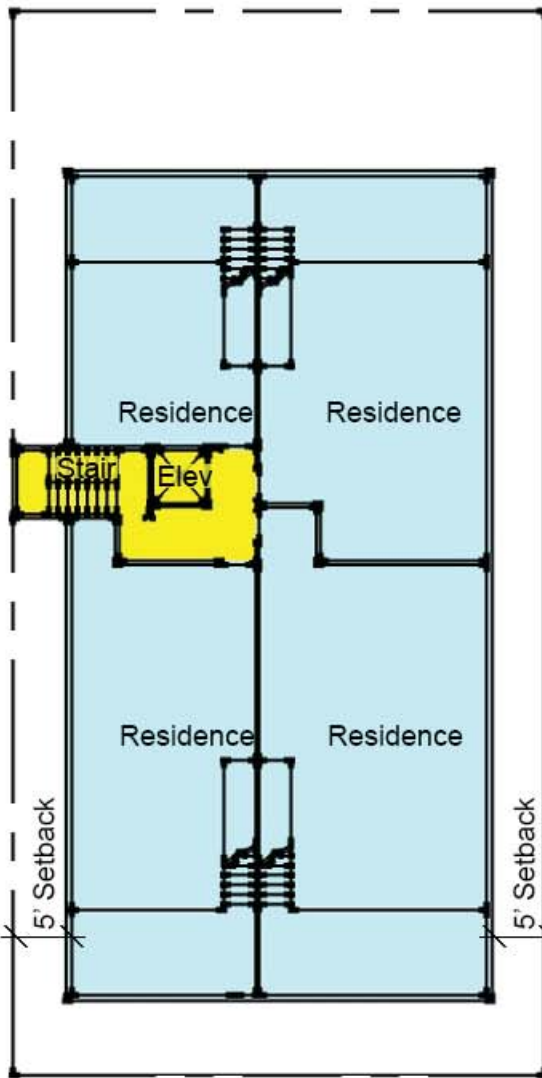
NW 57TH Avenue

Parking level (below grade)

Parking level is less than 48" above average existing grade.



Typical residential lower level



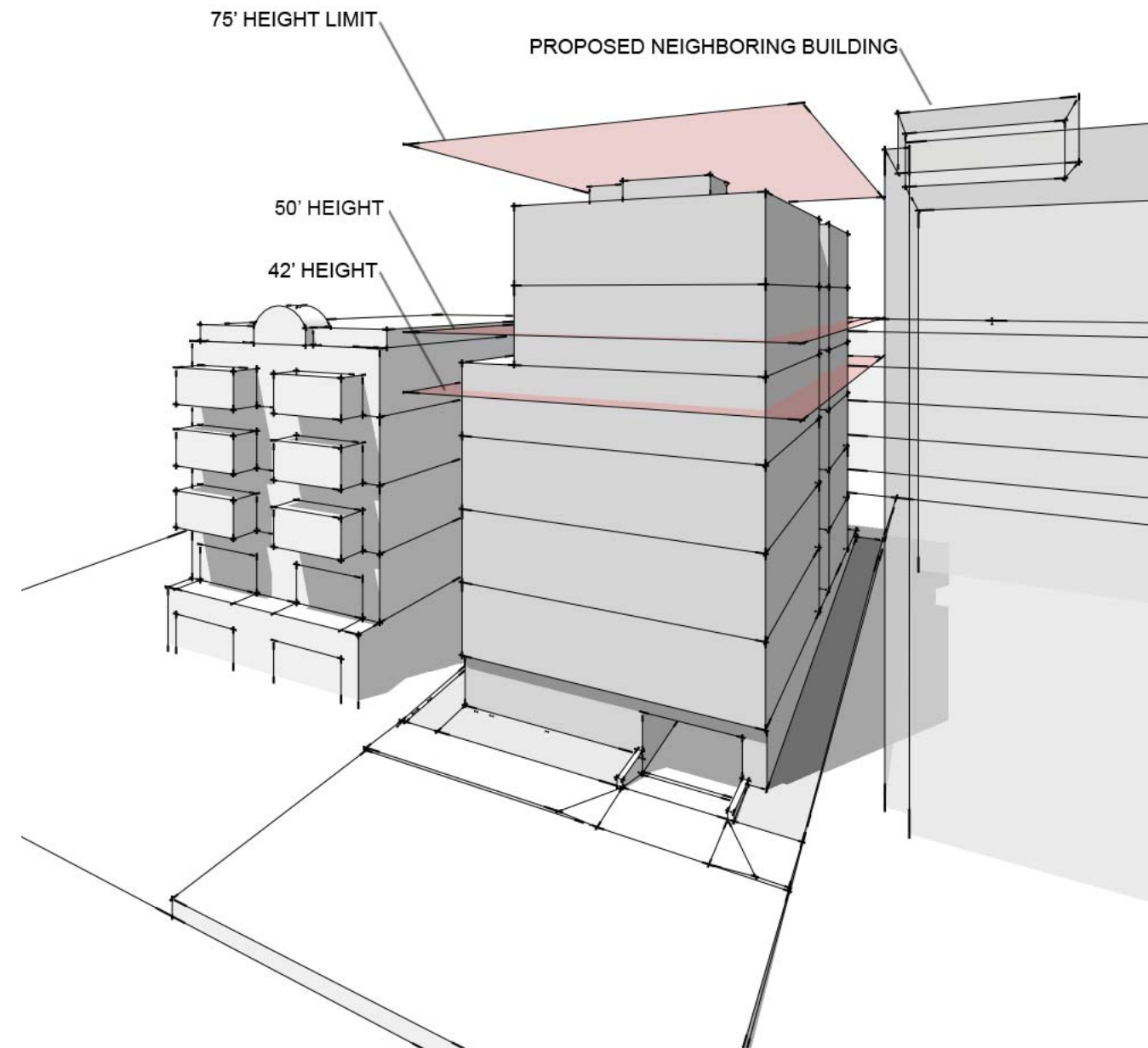
Typical residential upper level

- Advantages:**
Provide parking for 10 units, easing street parking in the neighborhood.
Low income housing is created to make use of height bonus.
- Challenges:**
Not code compliant. Departures required.

Option C

Early Design Guidance - 2018 NW 57th Street

Preferred option



Design Objective: Build a 20 Unit Condominium. There will be 6 floors of residential (3 of about 3126 sf, 4 units per floor lower and 2 of about 2536 sf per floor, 4 units per floor upper with double height lofts) above 1 level of below grade structured parking. Because of the urban village overlay, parking is not required. The objective would be to provide parking for half of the units. The entry would be on the east side at the midfloor landing. Views primarily to the south and north. Common roof space for all units. Stairs have natural light. The parking would be built to the property line on the sides and rear. Create attractive residential units that provide easy access to transit. Make light-filled units that create great spaces for urban living.

Departures:

5' setback on sides instead of 7'.
Above 50', 13' setback all on one east side and 5' on the west side instead of 10' on each side above 42'.
Stair in setback.

Design

Height Limit: 75'

(Upper Height Limit indicated by red plane)
(Lower planes indicate height for additional setback at 42', and 50')

F.A.R.: 4.25

Max. F.A.R. = 21250 sf

Proposed F.A.R. = 17576

F.A.R. bonus is being achieved through affordable housing performance pathway.



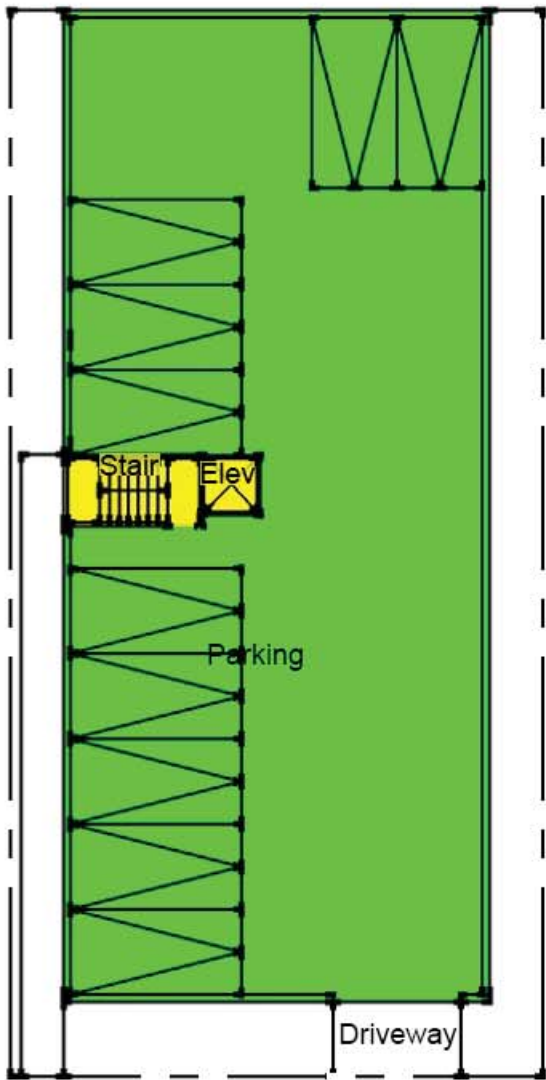
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Option C - Plan Diagram

Early Design Guidance - 2018 NW 57th Street

Preferred option

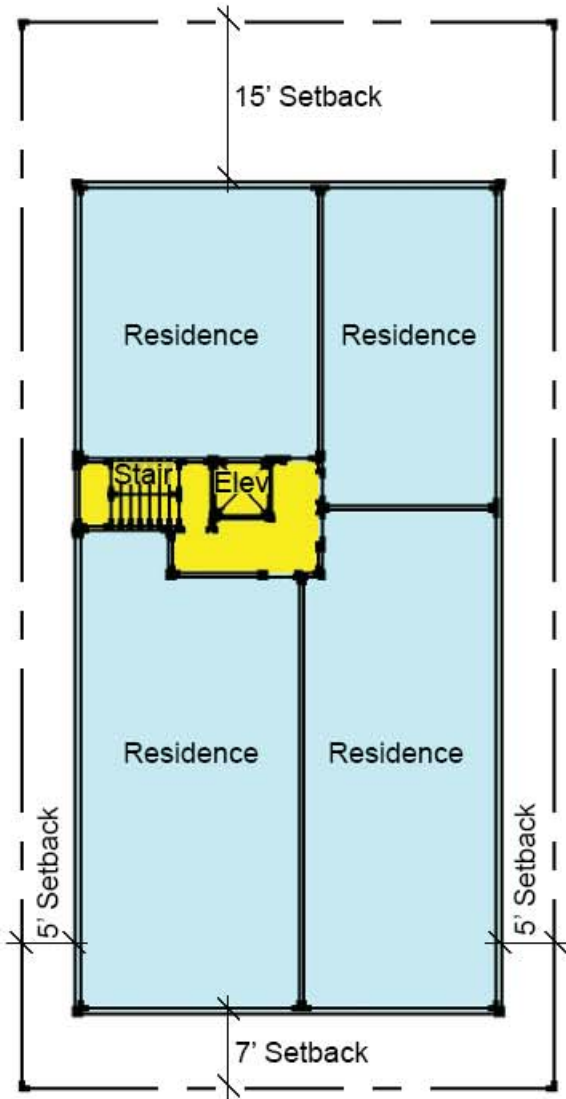


Sidewalk

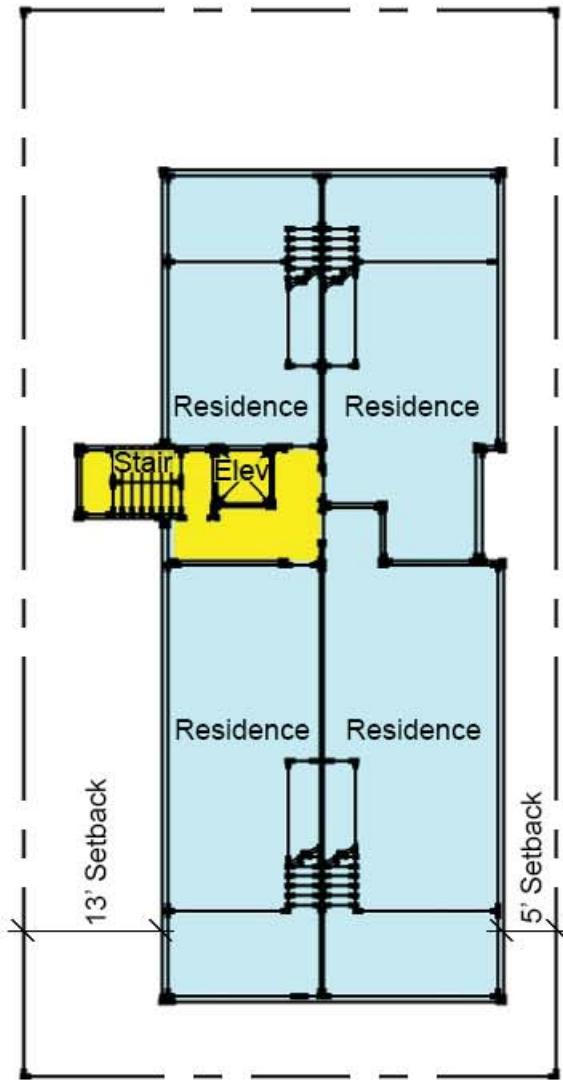
NW 57TH Avenue

Parking level (below grade)

Parking level is less than 48" above average existing grade.



Typical residential lower level



Typical residential upper level

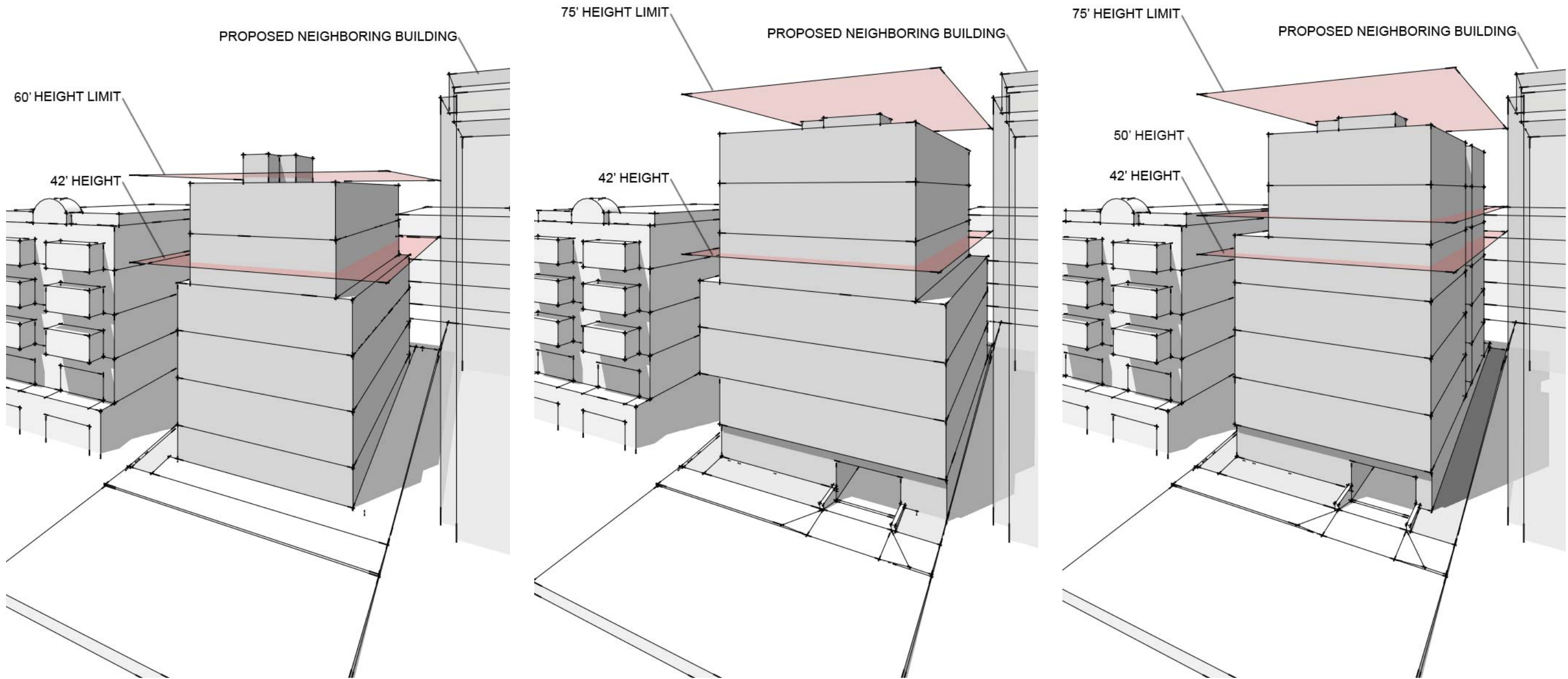
Advantages:

Provide parking for 10 units, easing street parking in the neighborhood.
Low income housing is created to make use of height bonus.

Challenges:

Depatrures:
5' setback on sides instead of 7'.
Above 42', 13' setback all on one east side and 5' on the west side instead of 10' on each side.
Stair in setback.

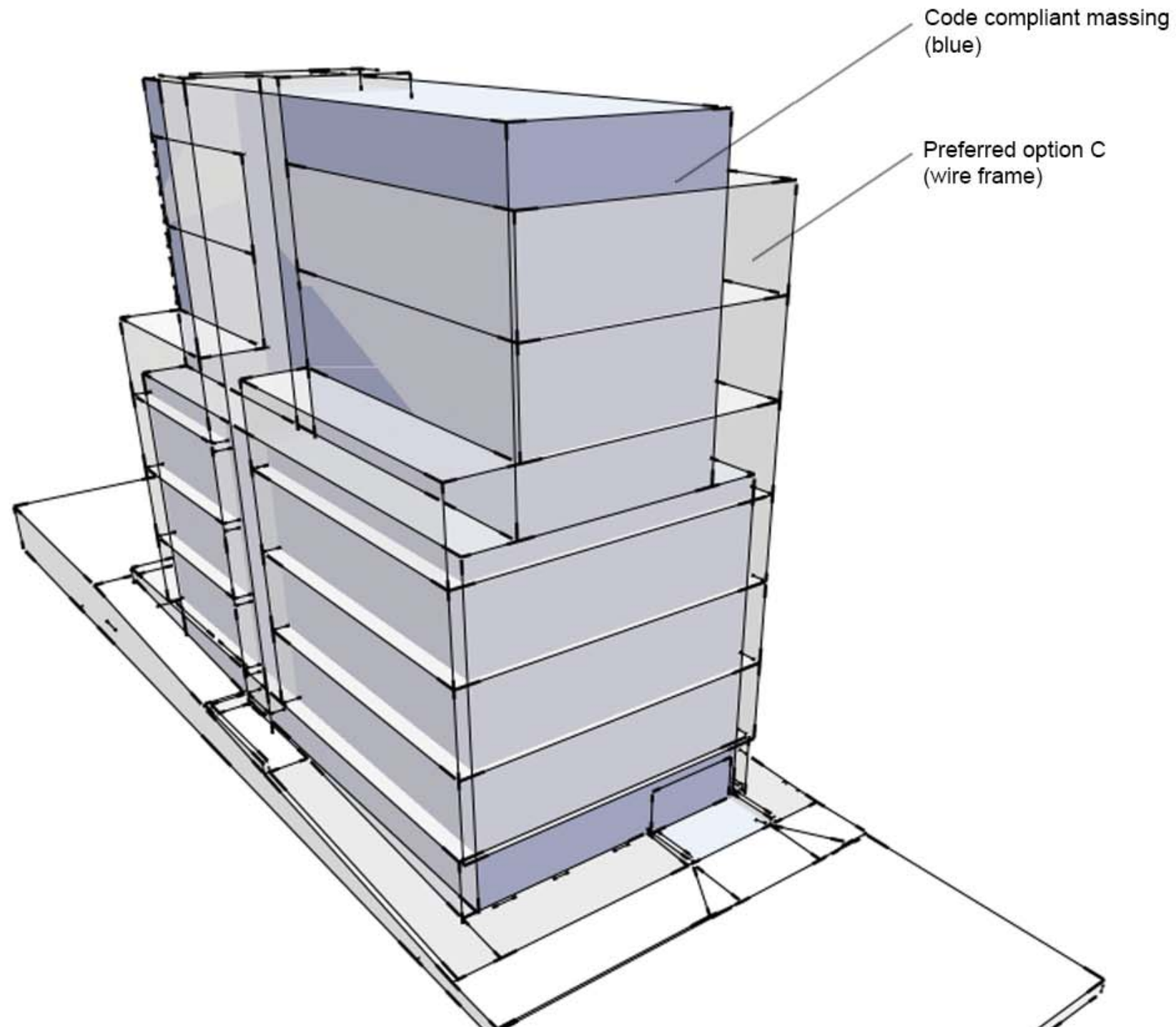
3 Options



Code Compliant Massing

Early Design Guidance - 2018 NW 57th Street

With preferred option C overlayed



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Lighting model



Night perspective from south west

Early Design Guidance - 2018 NW 57th Street



Night perspective from south east

- A-2 Streetscape Compatibility.
- A-3 Entrances Visible from the Street.
- A-4 Human Activity.
- A-5 Respect for Adjacent Sites.
- B-1 Height, Bulk, and Scale Compatibility.
- C-1 Architectural Context.
- C-2 Architectural Concept and Consistency.
- C-4 Exterior Finish Materials.
- E-1 Landscaping to Reinforce Design Continuity with Adjacent Sites.
- E-2 Landscaping to Enhance the Building and/or Site.
- E-3 Landscape Design to Address Special Site Conditions.



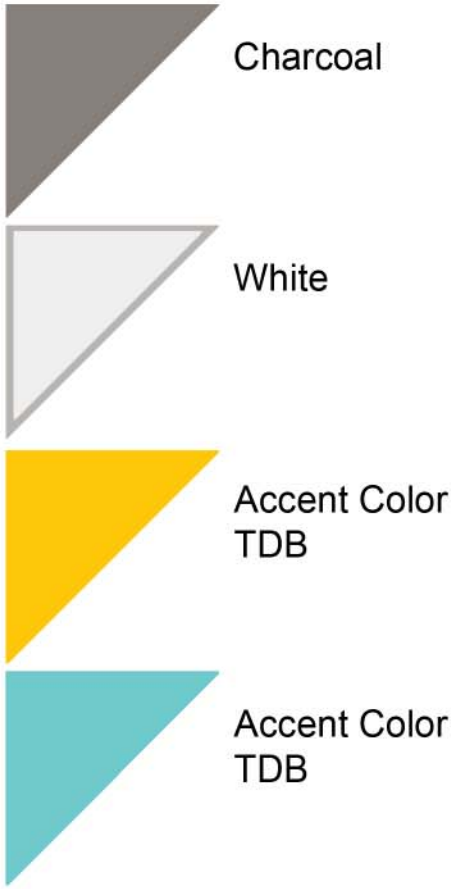
Architectural concrete



Clear anodized aluminum



Hardie Panel





Portion of Greenfire Campus



Urness House



The Danielle Condominiums



1753 NW 57th Sreet Apartments



2014 NW 57th Street rendering



Seattle Public Library - Ballard Branch



Bella Condominiums - Burnaby, BC



16 East Condominiums - Vancouver, BC



Lake Park - Renton, WA



Sola 24 Condominiums Rendering - Seattle, WA



36th and Fremont Condominiums - Seattle, WA