



THE ATLANTIC FLATS

1801 S JACKSON STREET

DESIGN REVIEW RECOMMENDATION
SE DESIGN REVIEW BOARD
JUNE 24, 2014
DPD #3015260

310 FIRST AVENUE S, SUITE 4S
SEATTLE, WA 98104
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PROJECT DESCRIPTION

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PROJECT TEAM

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EXISTING SITE

7 tax parcels located on the approximate western three-quarters of the block bounded by South Jackson Street on the north, 18th Avenue South on the west and an alley on the south. 19th Avenue South dead-ends at S Jackson Street in the eastern portion of the site.

The parcel is approximately rectangular, measuring approximately 415 feet long and 110 feet wide and contains of approximately 45,737 sf. The site slopes approximately 26 feet from NE to SW.

PROJECT PROGRAM

Number of Residential Units:	160
Number of Parking Stalls:	138
Area of Residential Uses:	Approximately 115,000 sf
Area of Retail Uses:	Approximately 14,000 sf
Area of Parking Garage:	Approximately 36,000 sf
Total Area:	Approximately 188,000 sf

PROJECT VISION

- Provide a visually attractive building from near and far
- Provide desirable homes and common areas for residents that respond to site forces, such as views.
- Provide elegant transition in massing between adjacent properties to the north and south.
- Enhance the emerging pedestrian environment.
- Develop the site to the highest and best use.
- Provide 10' landscape buffer at the 40' wide alley behind the project site.

PARCEL #: 331950 - 1215, 1225, 1235, 1245, 1255, 1265, 1275
ZONING: NC3-40
OVERLAYS: 23rd & Union-Jackson Residential Urban Village
LOT AREA: 45,737 sf

23.47A.004 PERMITTED USES (NC3-40)

- Permitted outright:
- Residential
 - Live/Work
 - Ground Floor Commercial Uses
 - General Sales
 - Eating & Drinking Establishment

23.47A.005 STREET-LEVEL USES (NC3-40) &

23.47A.008 STREET LEVEL DEVELOPMENT STANDARDS (NC3-40)

- Residential uses can occupy no more than 20% of the street-level, street-facing facade in NC zones shown in Maps I-60
- Blank facade requirements apply (segments no more than 20' in width, total blank facade segments may not exceed 40% of width)
- Street-level, street-facing facades must be located within 10' of the street lot line, unless wider sidewalks, plazas, or other approved landscaped or open spaces are provided
- 60% of street-facing facade between 2' and 8' above the sidewalk shall be transparent
- Nonresidential uses must be on average 30' deep and no less than 15' deep.
- Residential uses located along a street-level, street-facing facade shall be at least 4' above or 4' below sidewalk grade or be set back at least 10' from the sidewalk.

23.47A.013 FLOOR AREA RATIO (NC3-40)

Mixed-use: 3.25

23.47A.012 STRUCTURE HEIGHT (NC3-40)

- Allowed Maximum Base Height: 40'-0"
- Maximum bonus height per incentives: 44'-0"
- * 4' Maximum height increase is allowed with 13' floor to floor at street level non-residential use (SMC 23.47A.012.A.1.a)
- 4' additional allowed for parapets: 48'-0"
 - 16' additional allowed for stair & elevator penthouses: 60'-0"

23.86.006 STRUCTURE HEIGHT MEASUREMENT

The height of a structure is the difference between the elevation of the highest point of the structure not excepted from applicable height limits and the average grade level ('average grade level' means the average of the elevation of existing lot grades at the midpoints, measured horizontally, of each exterior wall of the structure or at the midpoint of each side of the smallest rectangle that can be drawn to enclose the structure)

23.47A.014 SETBACK REQUIREMENTS (NC3-40)

- Front setback: No setback required
- Rear setback: 15' above 13' at LR1 Zone across alley (Measured to center line of alley)
- Side setback from interior lot line: No setback required
- Additional setbacks: No setback required

23.47A.024 AMENITY AREAS (NC3-40)

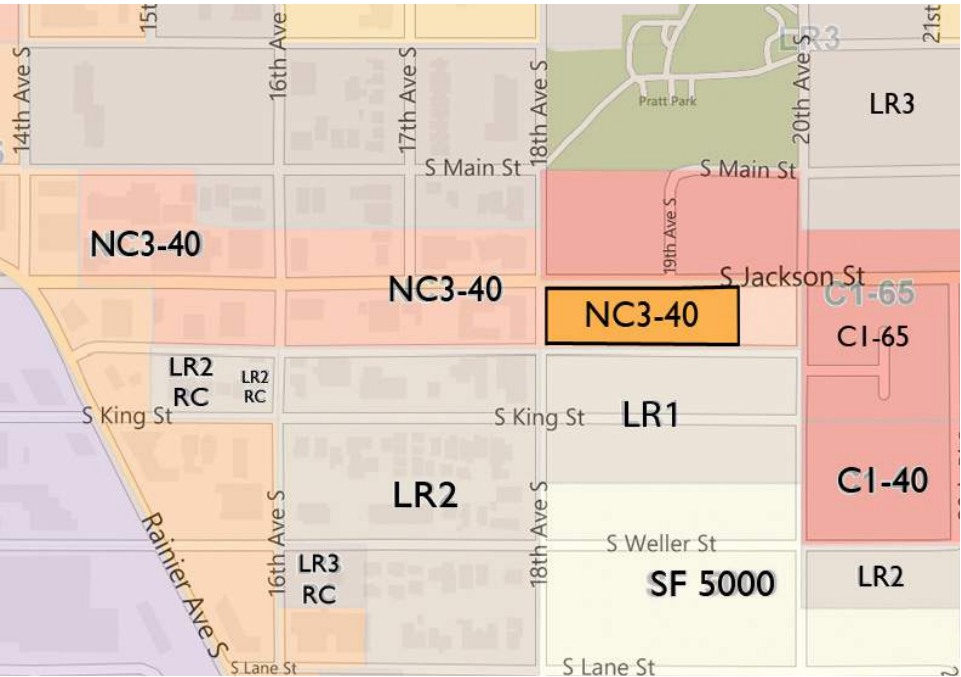
- Required: 5% of gross floor area in residential use
- General Requirements:
- All residents shall have access to at least one private or common amenity area
 - Amenity areas shall not be enclosed
 - Common amenity areas shall have a minimum dimension of 10 ft and be no less than 250 sf in size
 - Private balconies and decks shall have a minimum area of 60 sf and no horizontal dimension less than 6 ft

23.47A.016 LANDSCAPING STANDARDS (NC3-40)

Green factor score minimum 0.3 required.

23.54.015 REQUIRED PARKING (NC3-40)

- Residential Use:
- No parking is required in commercial zones within urban villages if the residential use is located within 1,320 feet of a street with frequent transit service
- Nonresidential Use:
- No parking is required in commercial zones within urban villages if the nonresidential use is located within 1,320 feet of a street with frequent transit service
- Bicycle short-term parking:
- Nonresidential Use: 1 per 4,000 sf
- Bicycle long-term parking:
- Residential Use: 1 per 4 units.
 - Nonresidential Use: 1 per 12,000 sf



ZONING CONTEXT

23.54.040 SOLID WASTE & RECYCLABLE MATERIALS STORAGE AND ACCESS (NC3-40)

- Residential (more than 100 units):
- 575 sf, plus 4 sf for each additional unit above 100
 - Min. storage area may be reduced 15% if min. horizontal dimension is 20'
 - 160 units - 831 sf required.
- Nonresidential:
- Mixed use development that contains both residential and nonresidential uses shall meet the storage requirements for residential development, plus 50% of the requirement for nonresidential development
 - 5,001-15,000 sf= 125 sf X 50% = 63 sf

CURRENT DESIGN

ELEVATIONS
FLOOR PLANS
MATERIALS
LANDSCAPE DESIGN

RELEVANT GUIDELINES

At EDG, the board provided the following guidance regarding the project design:

- A-2 (now CS2 & CS3) Address the narrow moat and steps proposed at any retail building face
All entrances have been revised to eliminate steps (moats)
- A-2 (now CS2 & CS3) Address any blank wall below the 2-3 elevated residential units
Windows and material patterning have been used to mitigate blank walls
- A-2 (now CS2 & CS3) The street edge resolution east of the uses East of the Main Residential Lobby
Landscaping and entry locations have been used to resolve the street edge
- A-5 (now CS2, CS3, & PL3) Consider privacy for both the existing neighbors and proposed building
Smaller windows and more opaque deck rails have been used to address privacy along the south side of the building

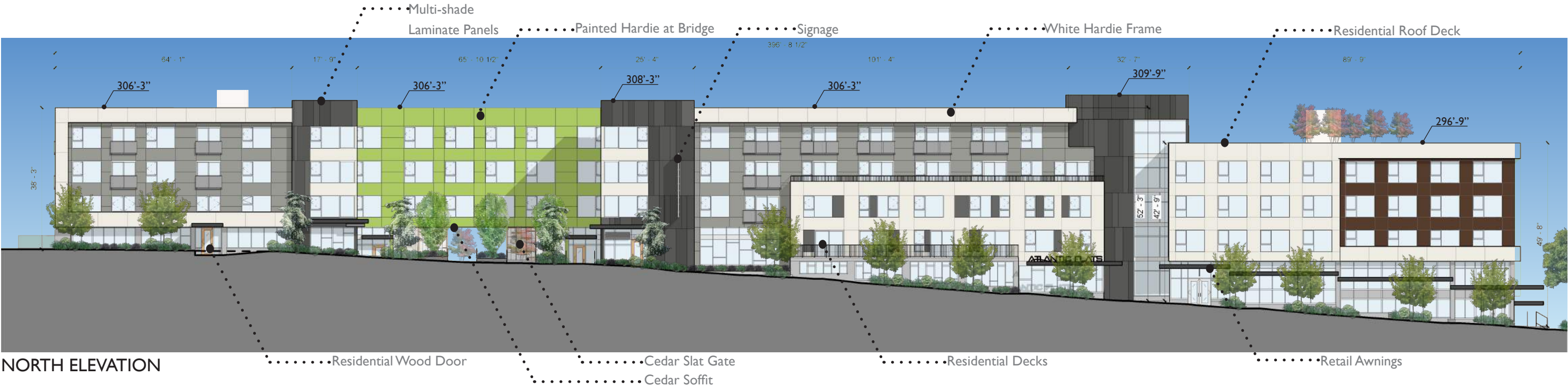
- A-6 (now PL1, PL2, & PL3) L/W units to be highly commercial character at Jackson street
Large storefront windows have been provided at Live/Work Units
- A-7 The 'Bridge' over the courtyard should be 'lightened'
The 'Bridge' has been pushed back further to align with the building inset at the back of the courtyard.
- A-8 Requested one parking access portal, as far west on the alley as possible
One parking garage entry has been eliminated. In order to eliminate one parking entrance, and therefore combine the parking levels, the easternmost entrance to the garage needed to be maintained.
- C-2 High quality materials and details on all side
The same building materials have been used on all sides of the building to create continuity of design. High quality materials have been used throughout.
- D-1 Encouraged generous entries to the Jackson entrance
Thoughtful Landscaping, deliberate signage and expansive sidewalks intensify the feeling of the entrances along Jackson Street.

- D-12 Residential units along Jackson to maintain contact with the public realm
The residential units along the majority of the Jackson Street frontage are at the least a half level above sidewalk grade. These units are connected to the public realm by way of decks. The residential unit at the northeast corner is connected to the realm through large windows and a large patio located at the northeast corner of the site.
- E-1 Provide landscape buffering at curb along the busy urban Jackson sidewalk
Thoughtful landscape buffering has been provided along the busy urban street
- E-1 Re-consider the landscape planter along the east 2/3 of Jackson
The landscaping along Jackson has taken into consideration the ground level uses along Jackson Street, and has been designed accordingly.
- E-1 Advised courtyard to be urban on North end and more planted towards alley
The courtyard maintains a highly retail feeling throughout the northern portion. The gates, seating elements and soffit materiality of the bridge help introduce a less urban scale, while still maintaining a public sensitivity.



VIEW FROM THE CORNER OF 18TH AND JACKSON

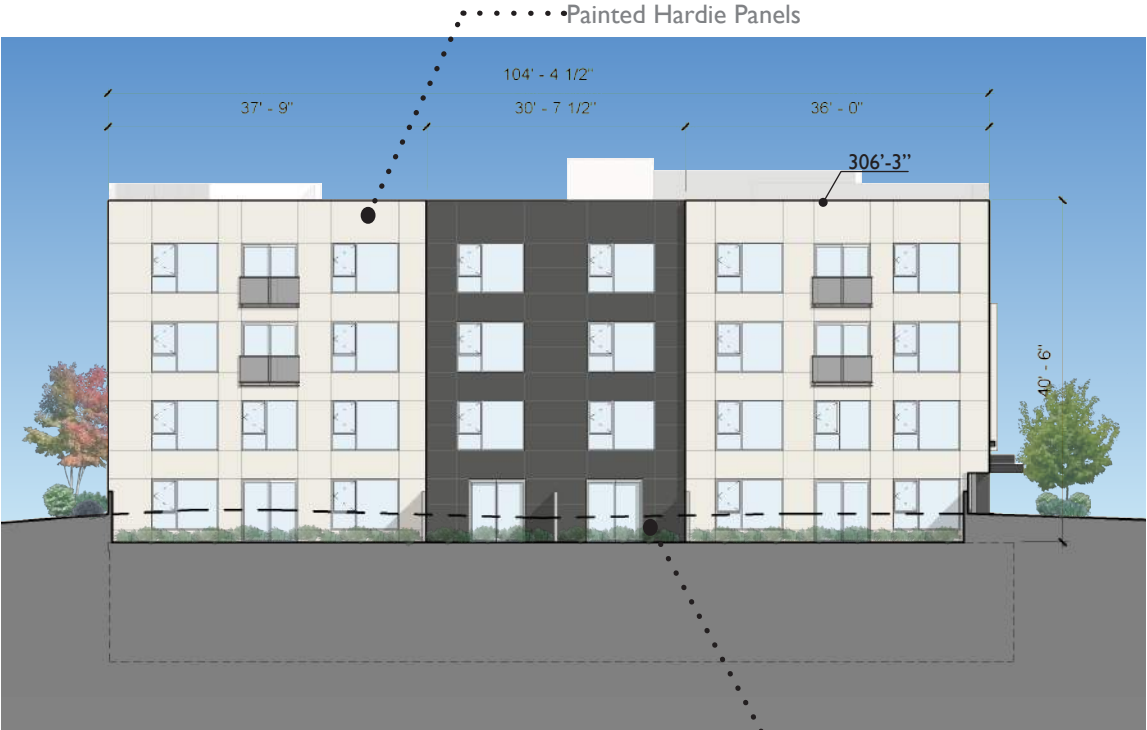
ELEVATIONS



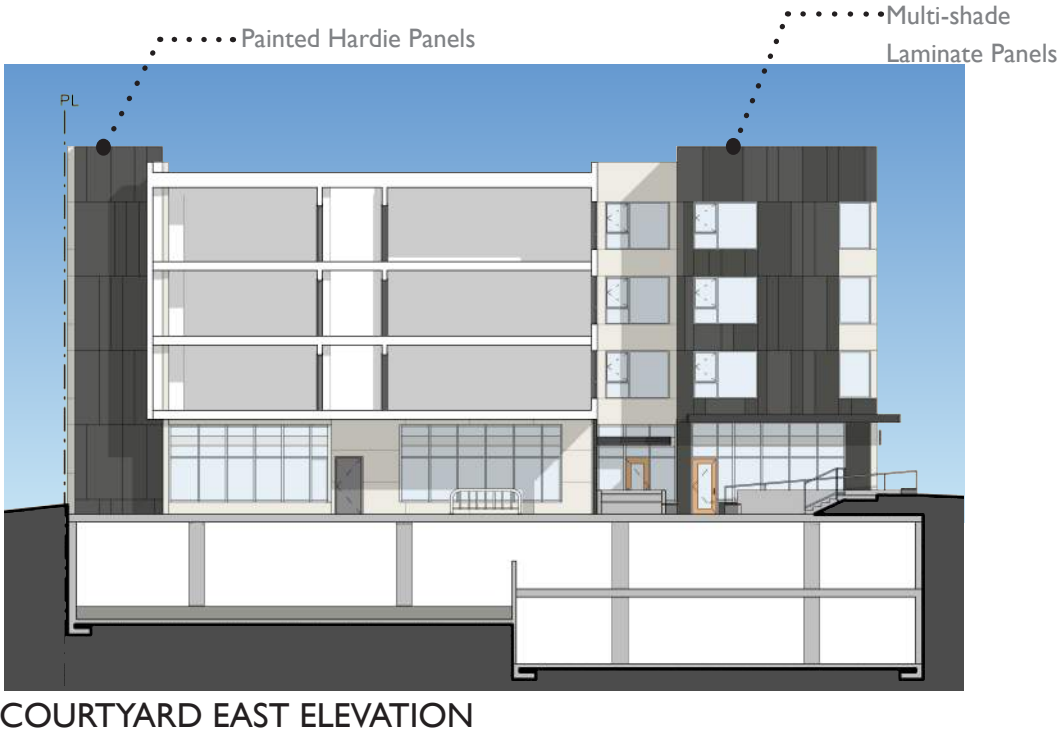
NORTH ELEVATION



WEST ELEVATION

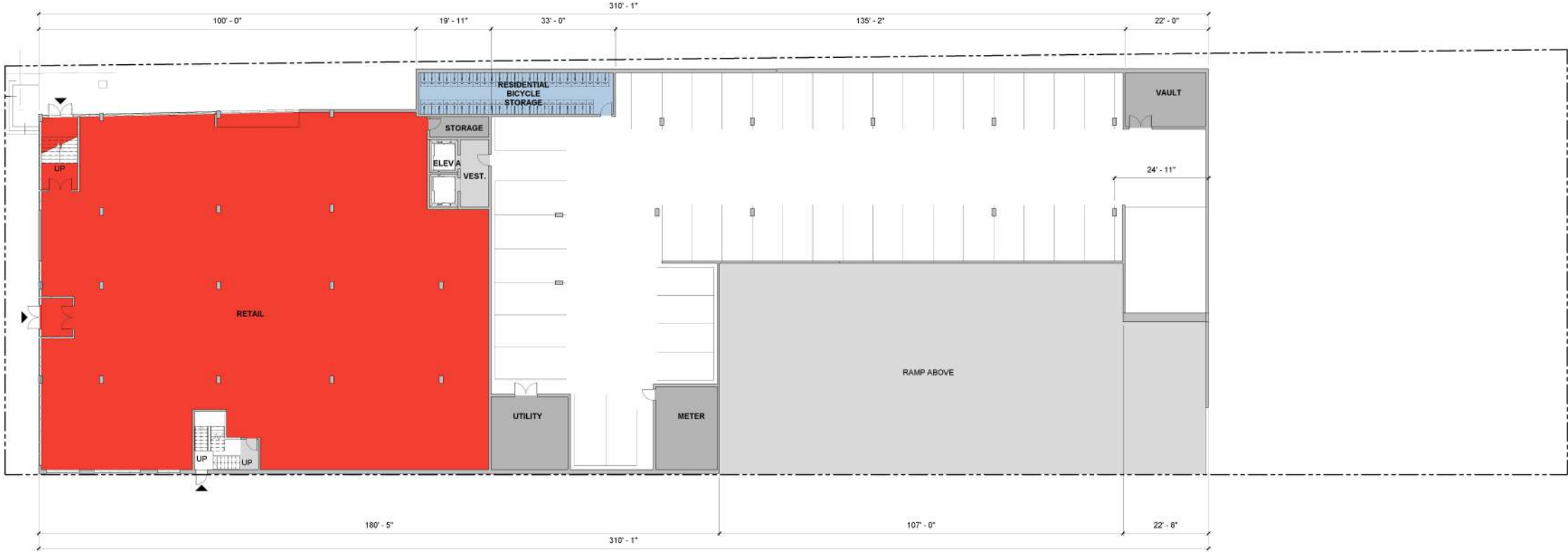


EAST ELEVATION



FLOOR PLANS

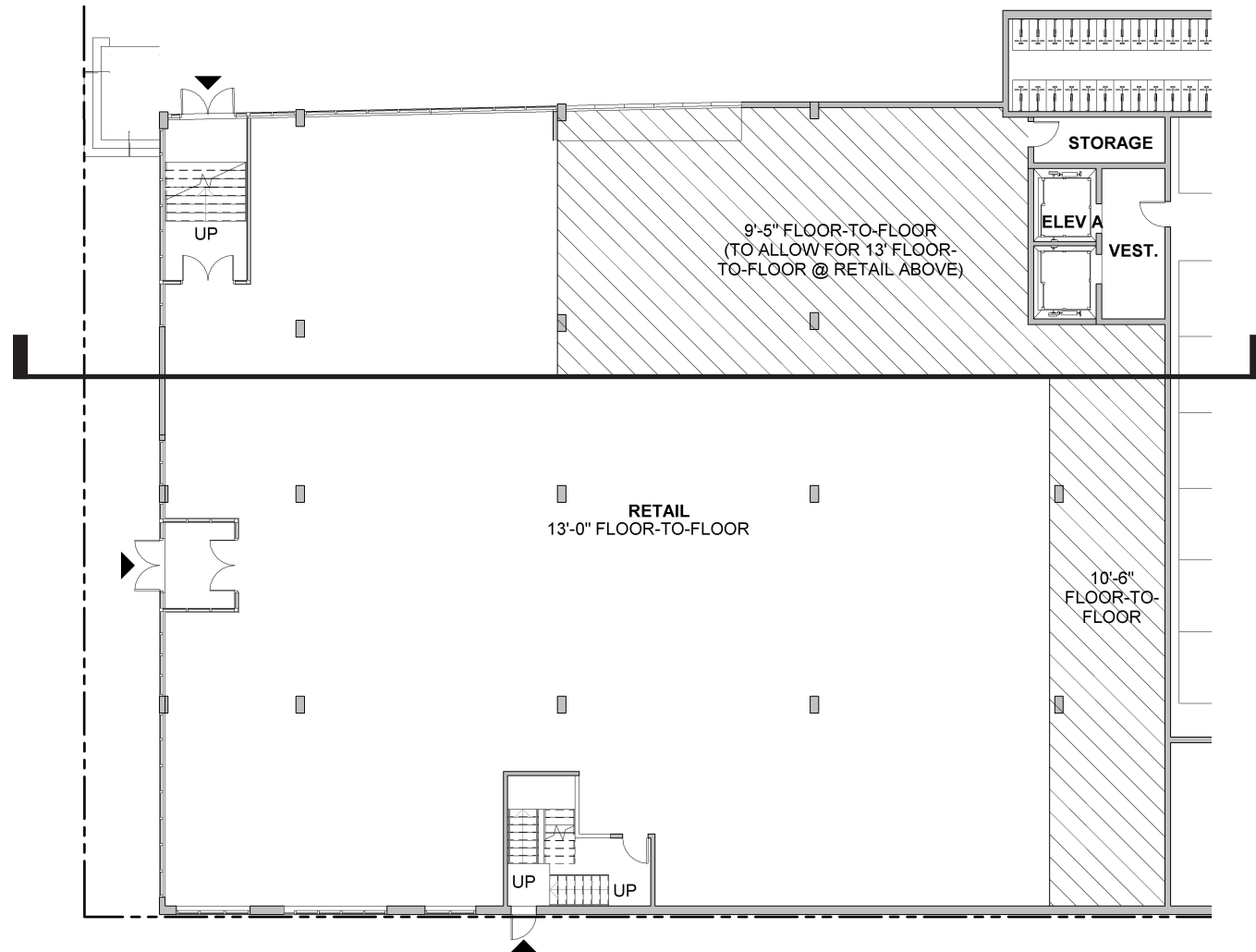
LEVEL B



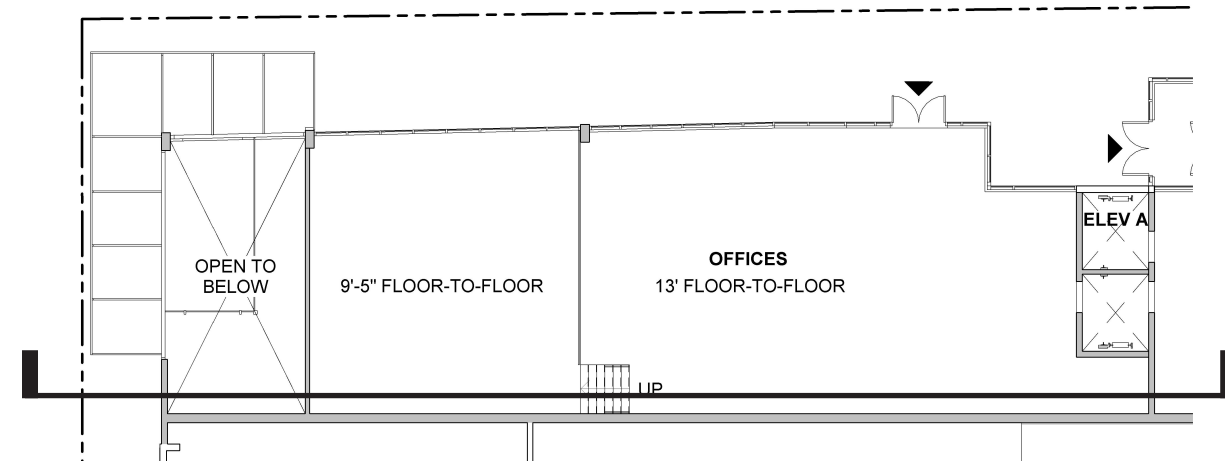
LEVEL I



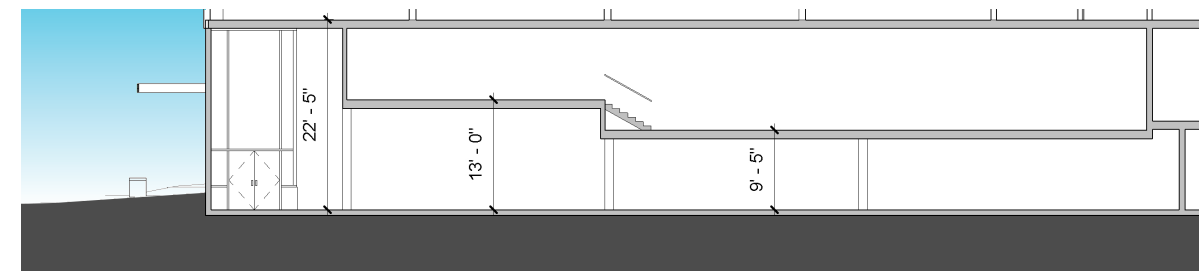
- RETAIL
- CIRCULATION
- UTILITY
- AMENITY
- LIVE/WORK
- STUDIO PLUS
- OPEN 1 BEDROOM
- 1 BEDROOM
- 1 BEDROOM + DEN
- 2 BEDROOM / 1 BATH
- 2 BEDROOM / 2 BATH



RETAIL AT LEVEL B/P1



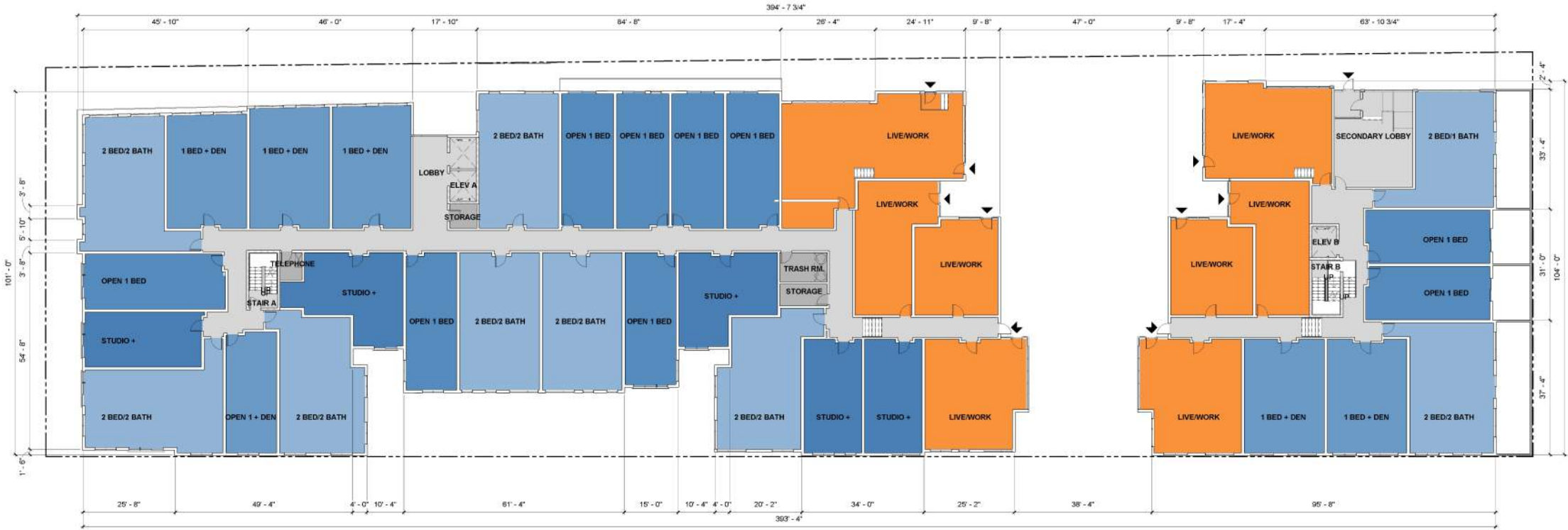
RETAIL AT LEVEL 1



EAST / WEST SECTION THROUGH RETAIL SPACE

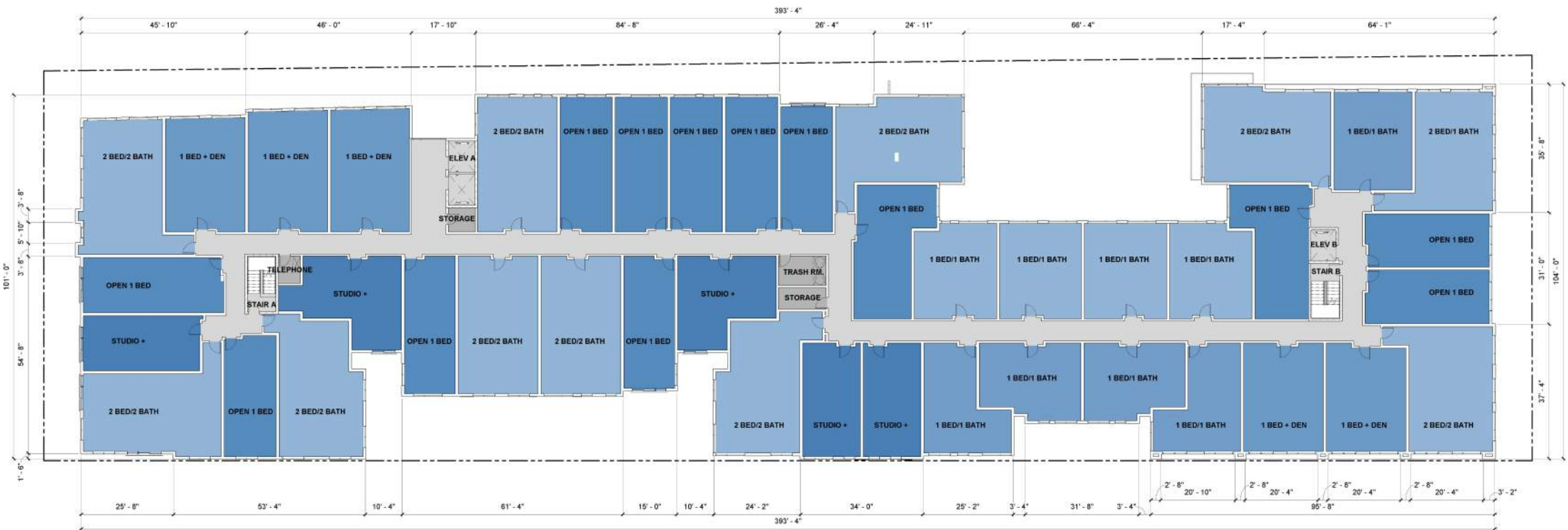
FLOOR PLANS

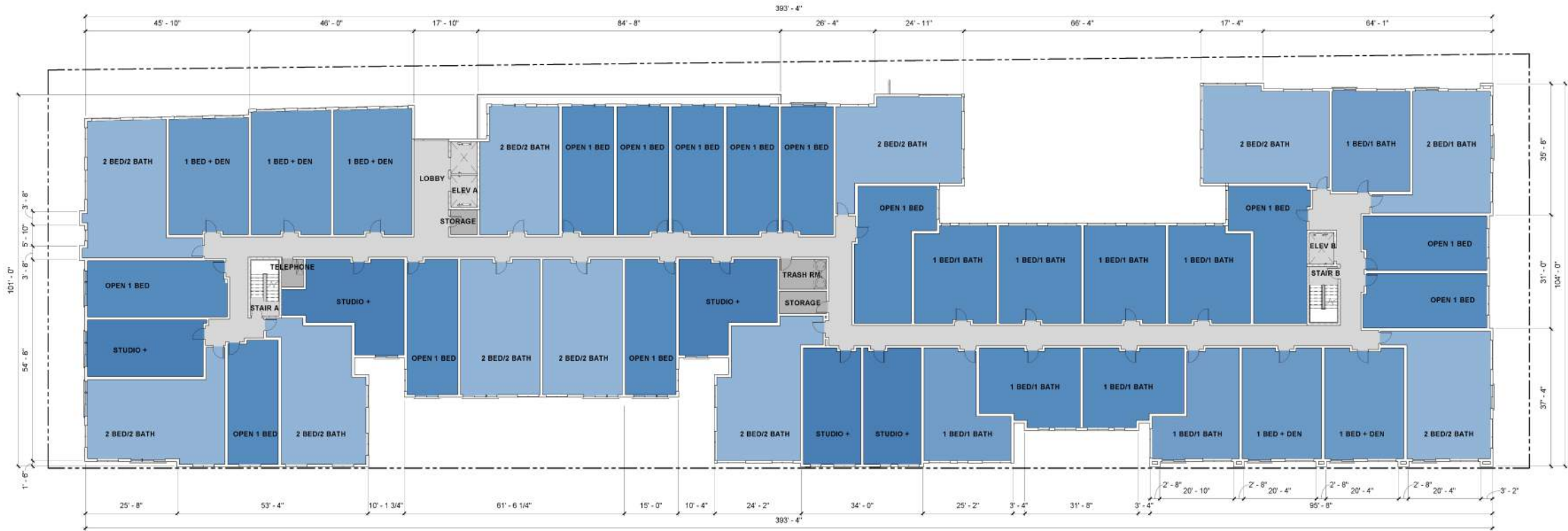
LEVEL 2



- RETAIL
- CIRCULATION
- UTILITY
- AMENITY
- LIVE/WORK
- STUDIO PLUS
- OPEN 1 BEDROOM
- 1 BEDROOM
- 1 BEDROOM + DEN
- 2 BEDROOM / 1 BATH
- 2 BEDROOM / 2 BATH

LEVEL 3





LEVEL 4



LEVEL 5

MATERIALS



NORTH FACADE AT COURTYARD



① PAINTED FIBER CEMENT BOARD



② LAMINATE PANEL



③ WOOD OR SIMILAR



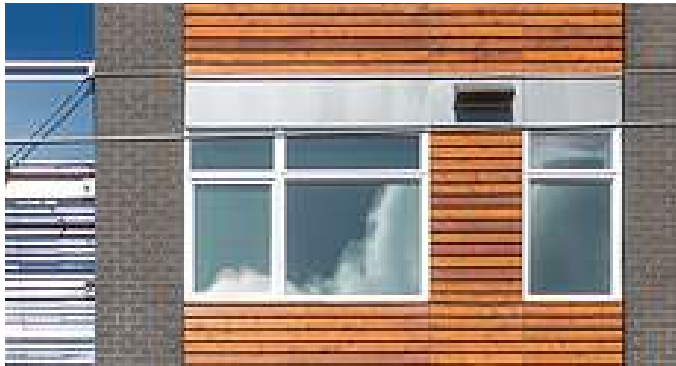
④ WOOD SOFFIT



CORNER OF 18TH AVENUE S & ALLEY



⑤ PICKET RAIL BALCONY



⑥ VINYL WINDOW SYSTEM



⑦ STOREFRONT: ANODIZED ALUMINUM



⑧ GLASS RAIL BALCONY

LANDSCAPE



PLANTING SCHEDULE - RIGHT-OF-WAY

SYMBOL	BOTANICAL NAME / COMMON NAME	SIZE
(SPECIES SUGGEST BY SDOT LANDSCAPE ARCHITECT, SHANE DEWALD VIA EMAIL, 9/11/13)		
STREET TREES		
	CARPINUS JAPONICA / JAPANESE HORNBEAM	2" CAL.
	CORNUS 'EDDIE'S WHITE WONDER'/ EDDIE'S WHITE WONDER	2" CAL.
	ACER TRIFLORUM/THREE FLOWER MAPLE	2" CAL.
	ACER PALMATUM 'SANGOKAKU' / BARK MAPLE	CORAL 2" CAL.
	ACER PALMATUM/ JAPANESE MAPLE	2" CAL.
	ACER CIRCINATUM/VINE MAPLE*	2" CAL.

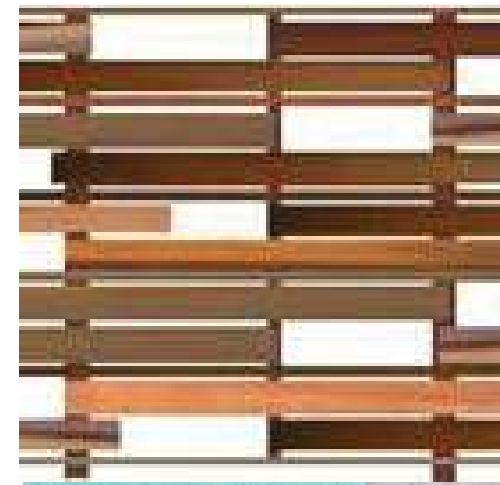
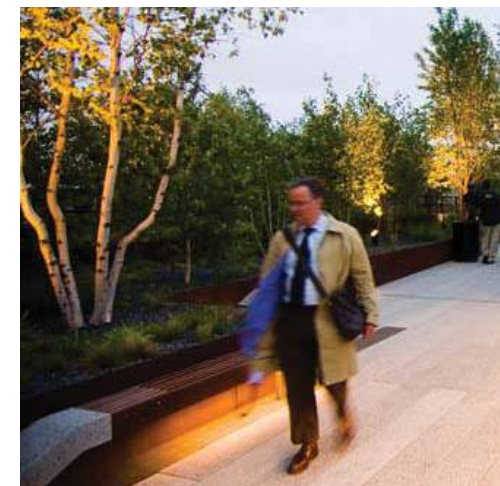
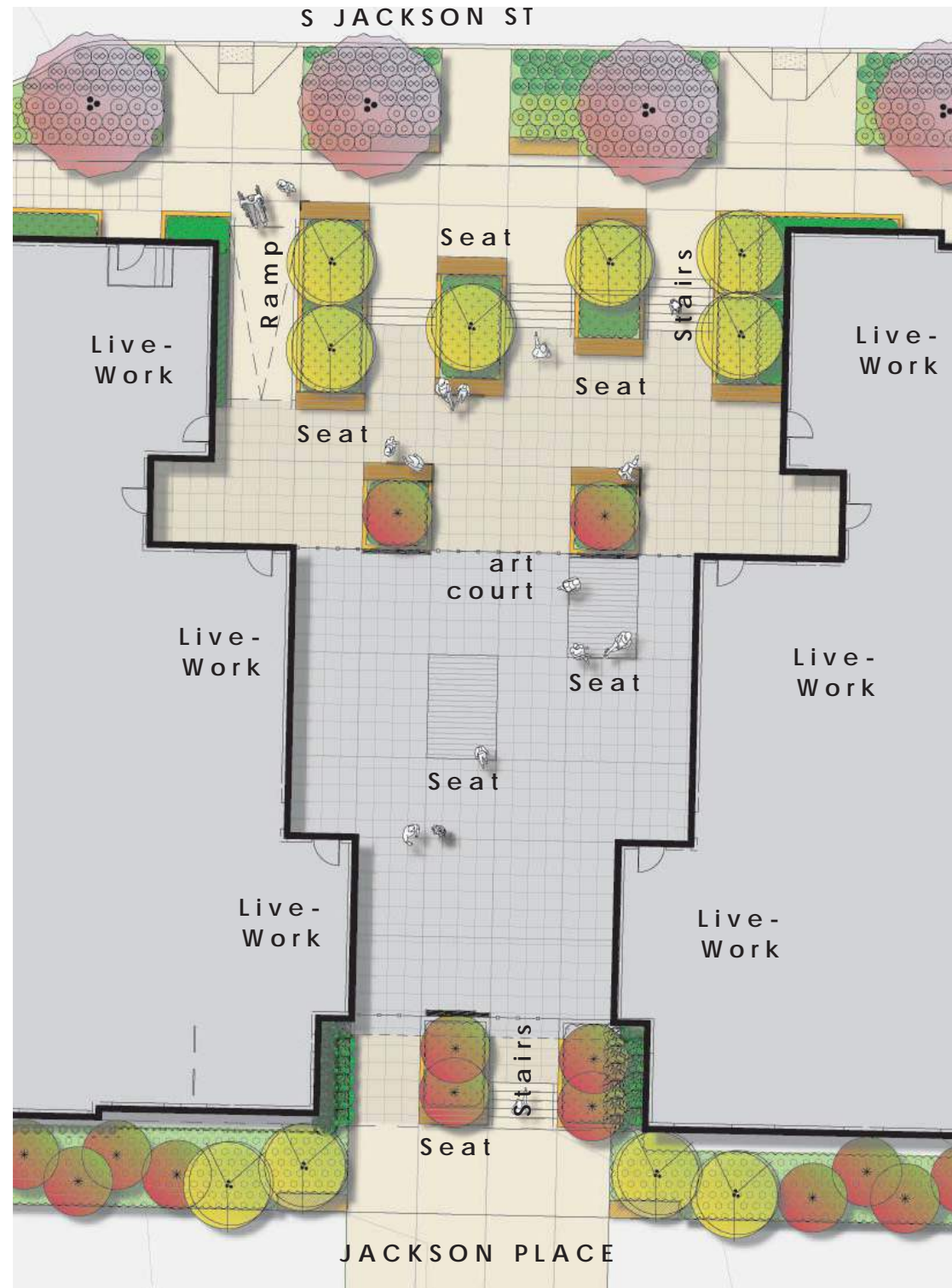
SHRUBS & GROUNDCOVERS

	BUXUS MICROPHYLLA 'WINTER GEM'/ JAPANESE BOXWOOD	1 GAL.
	LONICERA PILEATA / BOXLEAF HONEYSUCKLE	1 GAL.
	VIBURNUM DAVIDII / DAVID'S VIBURNUM	1 GAL.
	LIRIOPE SPICATA / CREEPING LILYTURF	1 GAL.
	POLYSTICHUM MUNITUM / SWORDFERN	1 GAL.
	EUPHORBIA ROBBIAE / EUPHORBIA	1 GAL.
	NANDINA DOMESTICA 'MOON BAY'/COMPACT HEAVENLY BAMBOO	1 GAL.
	VIBURNUM BODNANTENSE 'DAWN' / BODNANT VIBURNUM	5 GAL.
	PHYLLOSTACHYS AUREA / GOLDEN BAMBOO	5 GAL.
	SASAELLA RAMOSA / DWARF BAMBOO	1 GAL.

	ILEX CRENATA 'CONVEXA'	5 GAL.
	LONICERA PILEATA / BOXLEAF HONEYSUCKLE**	1 GAL.
	VIBURNUM DAVIDII / DAVID'S VIBURNUM *	1 GAL.
	LIRIOPE SPICATA / CREEPING LILYTURF	1 GAL.
	POLYSTICHUM MUNITUM / SWORDFERN *	5 GAL.
	OPHIOPOGON PLANISCAPUS 'NIGRESCENS'/ BLACK MONDO GRASS	1 GAL.
	EUPHORBIA ROBBIAE/EUPHORBIA	5 GAL.
	NANDINA DOMESTICA 'MOON BAY**	5 GAL.
	MAHONIA REPENS/CREEPING MAHONIA*	1 GAL.
	FRAGARIA CHILOENSIS/BEACH STRAWBERRY*	1 GAL.
	PENNISETUM ALOPECUROIDES 'LITTLE BUNNY'/ LITTLE BUNNY DWARF FOUNTAIN GRASS	5 GAL.
	HELICOTRICHON SEMPERVIRENS / BLUE OAT GRASS*	1 GAL.

ISOLA JACKSON • Karen Kiest | Landscape Architects

LANDSCAPE PLAN



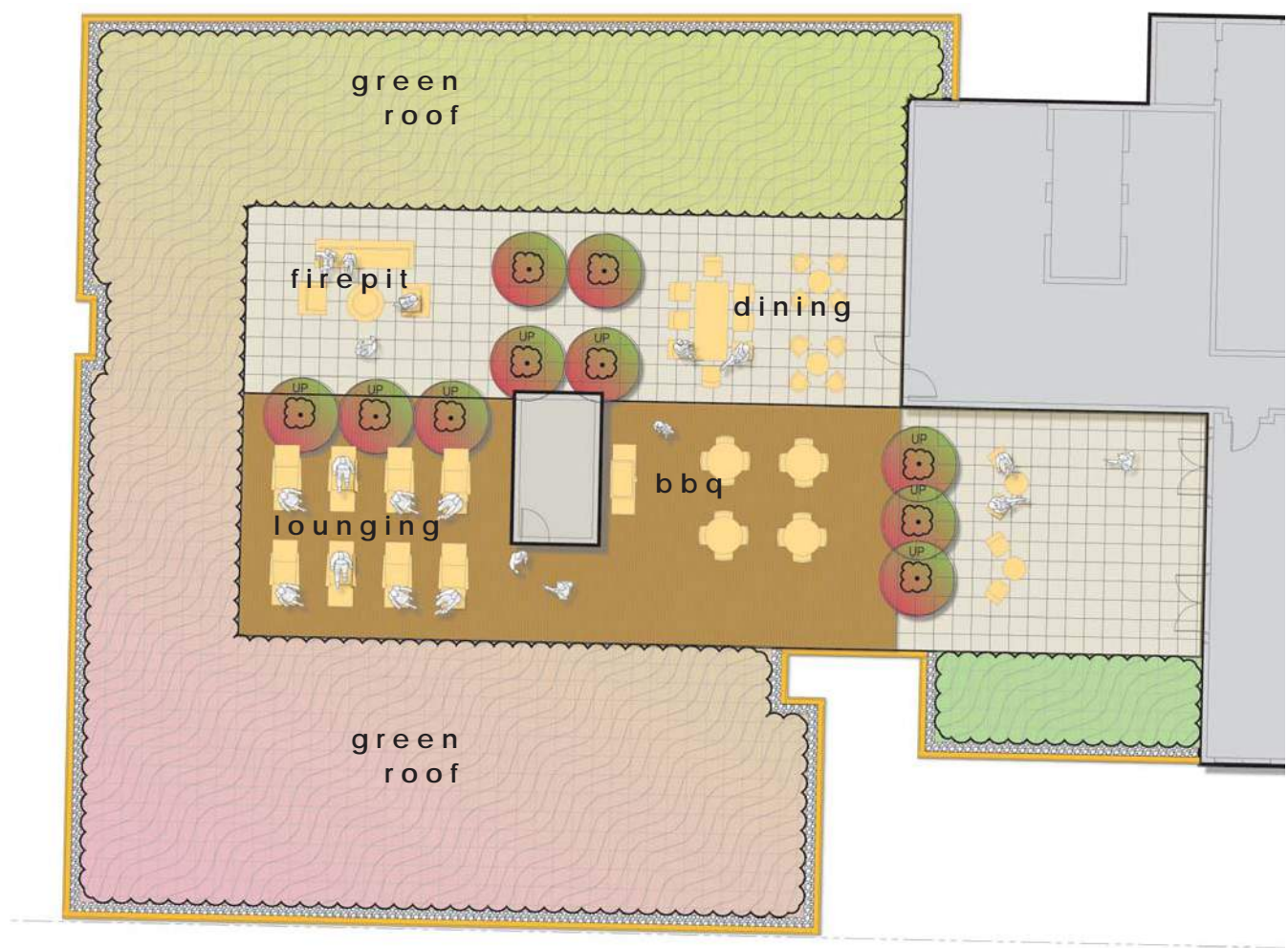
ISOLA JACKSON • Karen Kiest | Landscape Architects

STACCATO COURT

THE ATLANTIC FLATS - DPD #3015260

DESIGN REVIEW RECOMMENDATION

LANDSCAPE



MATERIALS LIST - ROOF

- CONCRETE PAVERS
24"X24" HYDRAPRESSED SLABS
W/APPIAN WAY PEDESTAL SYSTEM
COLOR/FINISH: TEXADA - NATURAL
- GREEN ROOF TRAYS
ADVANCED VEGETATIVE ROOF SYSTEM (AVRS)
24"X24" TRAYS BY COLUMBIA GREEN
- ROOF DECKING
SEE ARCH.
- GRAVEL MAINTENANCE STRIP
4" DEPTH MIN., FLUSH W/ ADJ. TRAYS.
- BBQ
TBD
- PREMANUFACTURED PLANTERS
4'X4'X2'-6"HT. FIBERGLASS PLANTERS
W/ UPLIGHTS
- SITE FURNITURE
N.I.C.

PLANT SCHEDULE - ROOF

SYMBOL	BOTANICAL NAME	COMMON NAME
	TREES	
	PARROTIA PERSICA	PERSIAN IRONWOOD
	SHRUBS/GRASSES/GROUNDCOVERS	
	OPHIOPOGON PLANISCAPUS 'NIGRESCENS'	BLACK MONDO GRASS
	GREENROOF PLANTING SEDUM TILE PREVEGETATED MATS *, COLOR MAX. AVAILABLE FROM ETERA, CONTACT DAVID GILMORE 360.661.2767	
	ACCENT PERENNIALS	
	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER'	'KARL FOERSTER' FEATHER REED GRA
	PANICUM VIRGATUM 'ROTSTRAHLBUSCH'	'ROTSTRAHLBUSCH' SWITCH GRASS
	PENNISETUM ALOPECUROIDES 'LITTLE BUNNY'	'LITTLE BUNNY' DWARF FOUNTAIN GR
	LIATRIS SPICATA 'KOBOLD'	'KOBOLD' GAYFEATHER
	NARCISSUS POETICUS 'ACTAEA'	'ACTAEA' POET'S DAFFODIL

OTHELLO STATION



Fire and Friends

EXPO



Furnishings & Lights

LYRIC



BBQ and Furnishings



Green roof

OTHELLO STATION



Rooftop Trees



seat deck

STREETSCAPE



Carpinus japonica
Japanese Hornbeam



Cornus 'Eddie's White Wonder'
Eddie's White Wonder Dogwood



Acer triflorum
Three Flower Maple

COURTYARD



Acer palmatum 'Sangu Kaku'
Coral Bark Maple



Acer palmatum
Japanese Maple (green)



Acer circinatum
Vine Maple

SHRUBS & GROUDNCOVER



Nandina domestica 'Moon Bay'
Compact Heavenly Bamboo



Liriope spicata
Lilyturf



Euphorbia robbiae/
Euphorbia



Buxus micro. 'Winter Gem'
Japanese Boxwood



Pennisetum alopecuroides
'Little Bunny' / Dwarf
Fountain Grass



Viburnum davidii
David's Viburnum



Lonicera pileata
Boxleaf Honeysuckle



Pieris 'Cavatine'
Cavatine Pieris



Phyllostachys aurea
Golden Bamboo



Sasaella ramosa
Sasa Bamboo



Pachysandra terminalis
Japanese Spurge



Othio. plan. 'Nigrescens'
Black Mondo Grass

JACKSON STREET EXPERIENCE

RELEVANT DESIGN GUIDELINES
18TH AND JACKSON CONSTRAINTS
ENLARGED PLANS AND ELEVATIONS
LANDSCAPE DESIGN
RESPONSE TO BOARD CONCERNS

CURRENT DESIGN

At EDG, the board provided the following guidance regarding the Jackson Street Experience:

- A-2 (now CS2 & CS3) Address the narrow moat and steps proposed at any retail building face
All entrances have been revised to eliminate steps (moats)
- A-2 (now CS2 & CS3) Preferred true retail along the entire Jackson Street frontage
The corner at S Jackson Street % 18th Avenue S is 100% Commercial use, as is the entirety of 18th Avenue S. As the project progresses east along Jackson Street, the commercial uses become flexible in nature. The spaces flanking the courtyard address both the sidewalk realm as well as the courtyard to stay connected with the public while also encouraging commercial use through the Courtyard.
- A-2 (now CS2 & CS3) Endorsed the full retail wrap at the corner and along all of 18th Avenue
The S Jackson St/18th Ave S corner is 100% Commercial use, including a double height retail, with mezzanine directly at the corner
- A-2 (now CS2 & CS3) Supported the recessed retail and widened sidewalk at the corner
Recessed retail and widened sidewalk have been maintained
- A-2 (now CS2 & CS3) Address the narrow moat and steps proposed at any retail

- building face
All entrances have been revised to eliminate steps (moats)
- A-2 (now CS2 & CS3) Address any blank wall below the 2-3 elevated residential units
Windows and material patterning have been used to mitigate blank walls
- A-2 (now CS2 & CS3) Resolve the street edge east of the uses East of the Main Residential Lobby
Landscaping and entry locations have been used to resolve the street edge
- A-2 (now CS2 & CS3) Provide large scale elevations of the first two floors along Jackson
Large scale elevations, of the first two floors, have been provided for clarity
- A-6 (now CS2, CS3, & PL3) L/W units to be highly commercial character at Jackson street
Large storefront windows have been provided at Live/Work Units
- B-1 Provide N/S cross-sections to understand sidewalk/grade and alley conditions
A series of N/S cross-sections have been added to help understand the relationship of the uses to the ground level.
- C-2 High quality materials and details on all sides

- The same high-quality building materials used on all sides of the building to create continuity of design.*
- D-1 Encouraged generous entries to the Jackson entrances
Thoughtful Landscaping, deliberate signage and expansive sidewalks intensify the feeling of the entrances along Jackson Street.
- D-12 Residential units along Jackson to maintain contact with the public realm
The residential units along the majority of Jackson St are at least a half level above the sidewalk and are connected to the public by decks. The residential unit at the NE corner is connected to the public through large windows and a patio located at the NE corner of the site.
- D-12 The L/W units facing Jackson may exhibit a more commercial condition
The L/W units at the corner of the courtyard contain large storefront windows and wrap the corner, bringing the public into the courtyard.
- E-1 Provide landscape buffering at curb along the busy urban Jackson sidewalk
Thoughtful landscape buffering has been provided along the busy urban street
- E-1 Re-consider the landscape planter along the east 2/3 of Jackson
The landscaping along Jackson has taken into consideration the ground level uses along Jackson Street, and has been designed accordingly.



JACKSON STREET EXPERIENCE

RELEVANT DESIGN GUIDELINES



- • • C-2: High quality building materials and detailing used throughout
- • • A-7: The 'Bridge' over courtyard has been lightened
- • • D-1: The Courtyard will be fully public during daylight hours, with highly transparent night gates
- • • A-6 (now PL1, PL2, & PL3): Generous storefront at Live/Work units

LIVE/WORK COURTYARD FROM 19TH AVENUE

C-2: High quality building materials and detailing used throughout

D-12: Residential decks maintain contact with the public realm

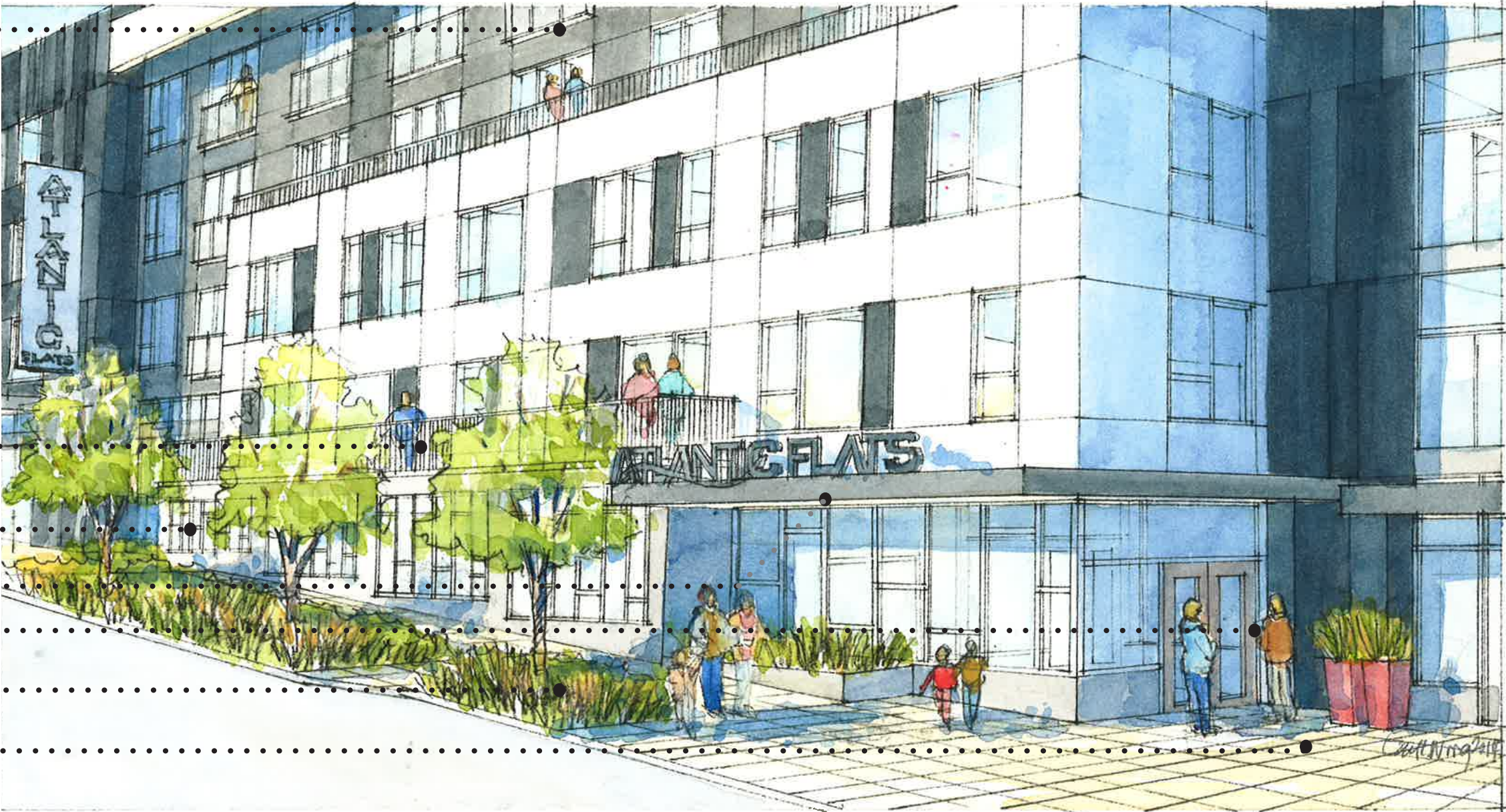
A-2 (now CS2 & CS3): Storefront added to mitigate blank wall

C-2: Cedar soffit with can lighting

A-2 (now CS2 & CS3): At grade entrances eliminate the need for exterior steps

E-1: Provide landscape buffering along Jackson

D-1: Generous entry space



PRIMARY RESIDENTIAL ENTRANCE (FROM JACKSON STREET)

JACKSON STREET EXPERIENCE
RELEVANT DESIGN GUIDELINES



• • • • • C-2: High quality building materials and detailing used throughout

• • • • • A-2 (now CS2 & CS3): Generous canopy at main retail corner

• • • • • A-2 (now CS2 & CS3): Recessed retail and widened sidewalk at corner

• • • • • A-2 (now CS2 & CS3): Retail wraps and extends all the way along 18th Avenue

• • • • • A-2 (now CS2 & CS3): Monumental Stairs solution for 18th & Jackson corner

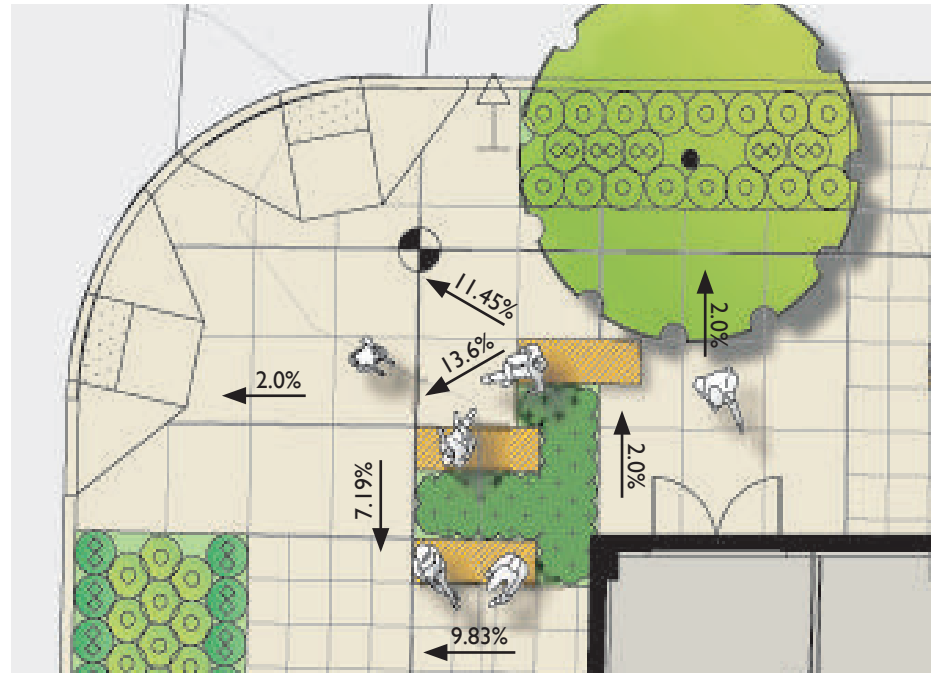
BUILDING CORNER AT 18TH AVENUE & JACKSON STREET

JACKSON STREET EXPERIENCE

18TH & JACKSON CORNER CONSTRAINTS

A transition is required at the corner of 18th & Jackson in order to provide reasonable slopes for pedestrians

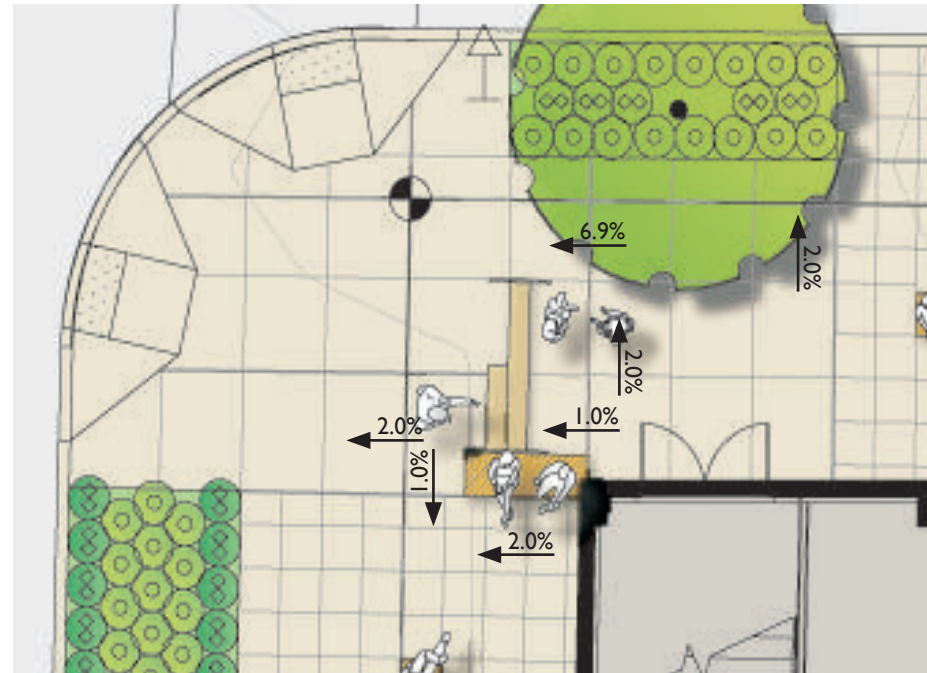
- Existing grades are steep on both S Jackson St and 18th Avenue S
- Slope without planters or steps to accommodate grade change would be 17%, too steep to be acceptable.



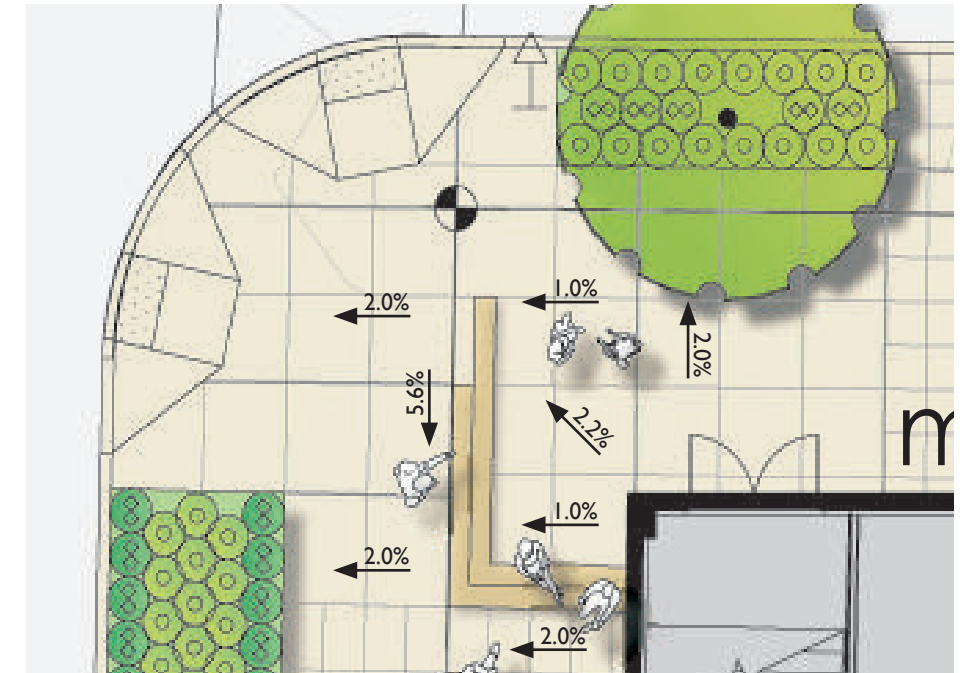
ALTERNATE A - SEATS & PLANTERS

Other Constraints

- Curb ramps need to be rebuilt to meet accessibility standards
- Curb return with a radius smaller than City Standards
- Utility pole conflict at the curb ramps
- Building is setback from the ROW
- 2% maximum cross slopes on sidewalks in the ROW



ALTERNATE B - STAIR & PLANTERS



ALTERNATE C - MONUMENTAL STAIR



THE ATLANTIC FLATS - DPD #3015260



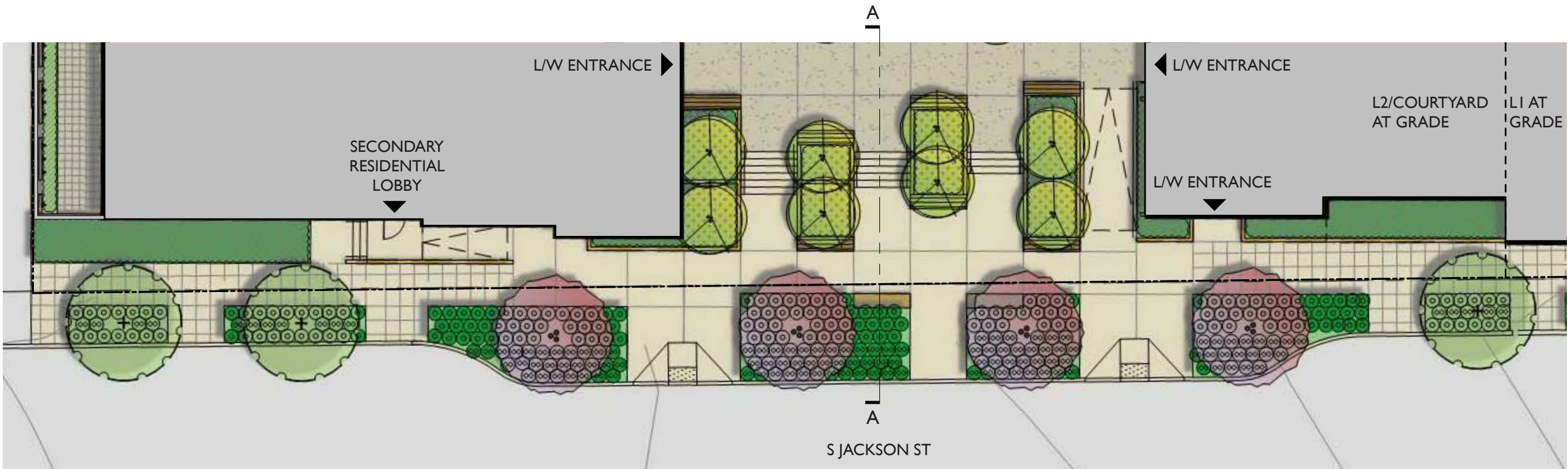
DESIGN REVIEW RECOMMENDATION

JACKSON STREET EXPERIENCE

ENLARGED PLANS AND ELEVATIONS: LOBBY, LIVE/WORK COURTYARD

A-2 STREETScape COMPATIBILITY

At EDG, the board requested large scale elevations of the first two floors along Jackson Street in alignment with the first 20 ft of depth of the corresponding floor plans to better evaluate the sloping street edge.



SECONDARY RESIDENTIAL ENTRANCE AND COURTYARD ALONG JACKSON



Multi-shade
Laminate Panels



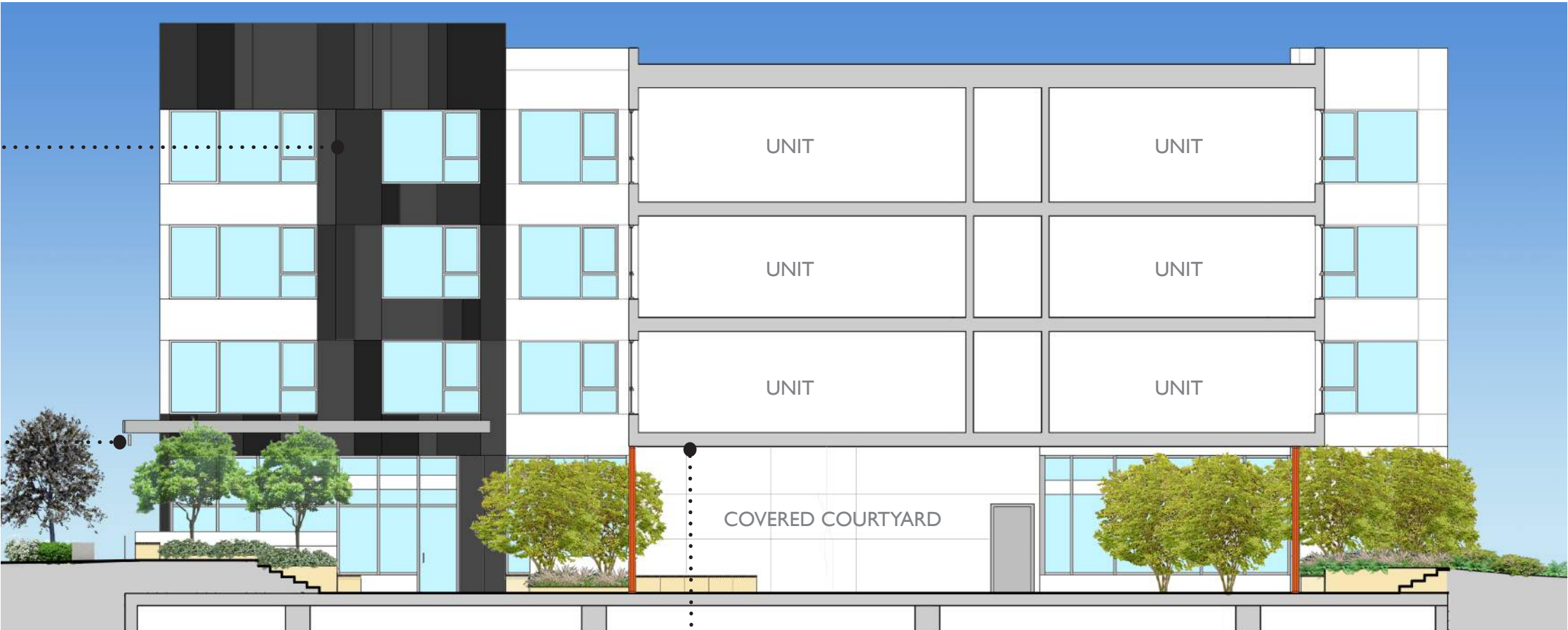
Blade Sign
At Retail



Wood Soffit
Under Bridge



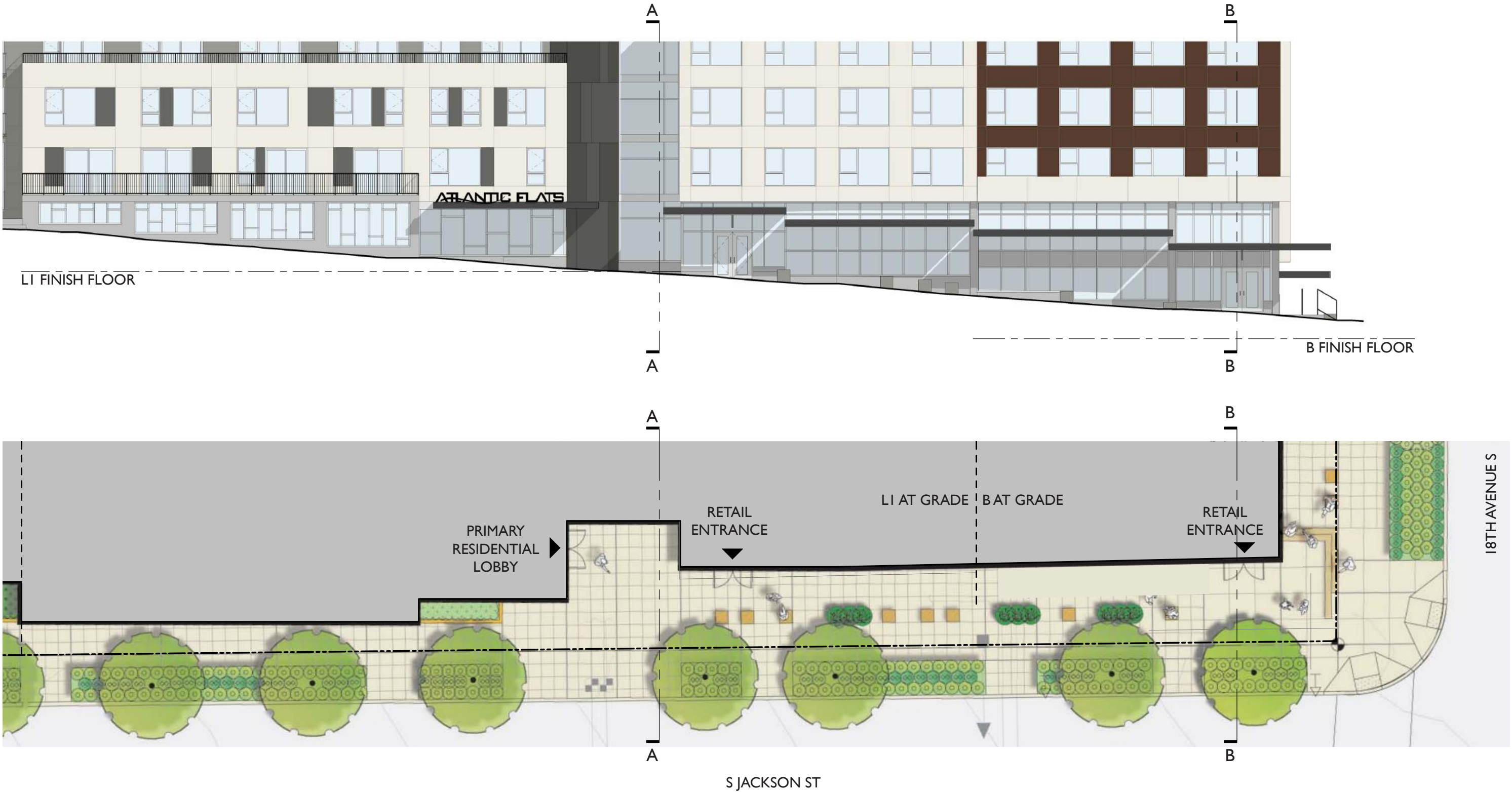
Soffit Lighting at Bridge



SECTION A

JACKSON STREET EXPERIENCE

ENLARGED PLANS AND ELEVATIONS: LEASING, LOBBY, RETAIL



PRIMARY RESIDENTIAL ENTRANCE AND RETAIL ALONG JACKSON

JACKSON STREET EXPERIENCE
LOBBY AND RETAIL SECTIONS



Exterior Lighting at Street Level, Typical



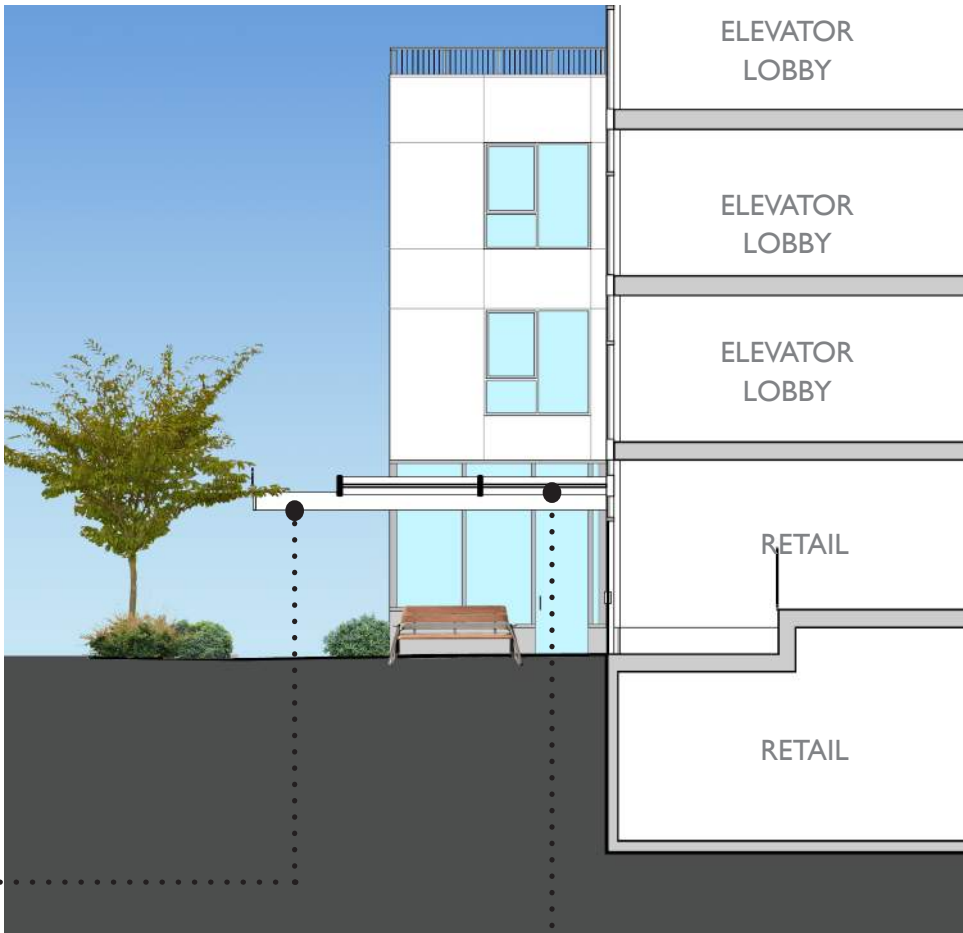
Prominent Residential Signage



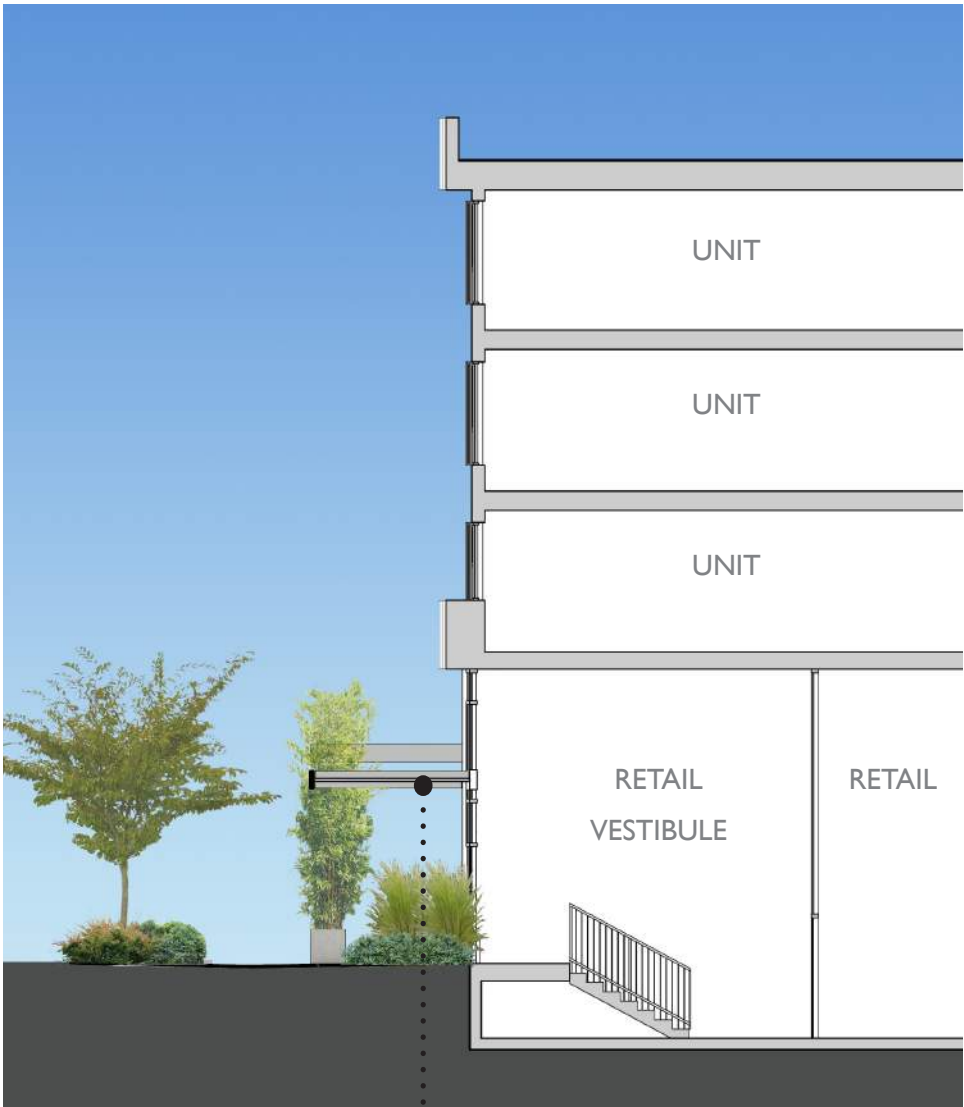
Metal Canopy with Wood Soffit at Street Level Residential



Metal Canopy at Street Level Retail



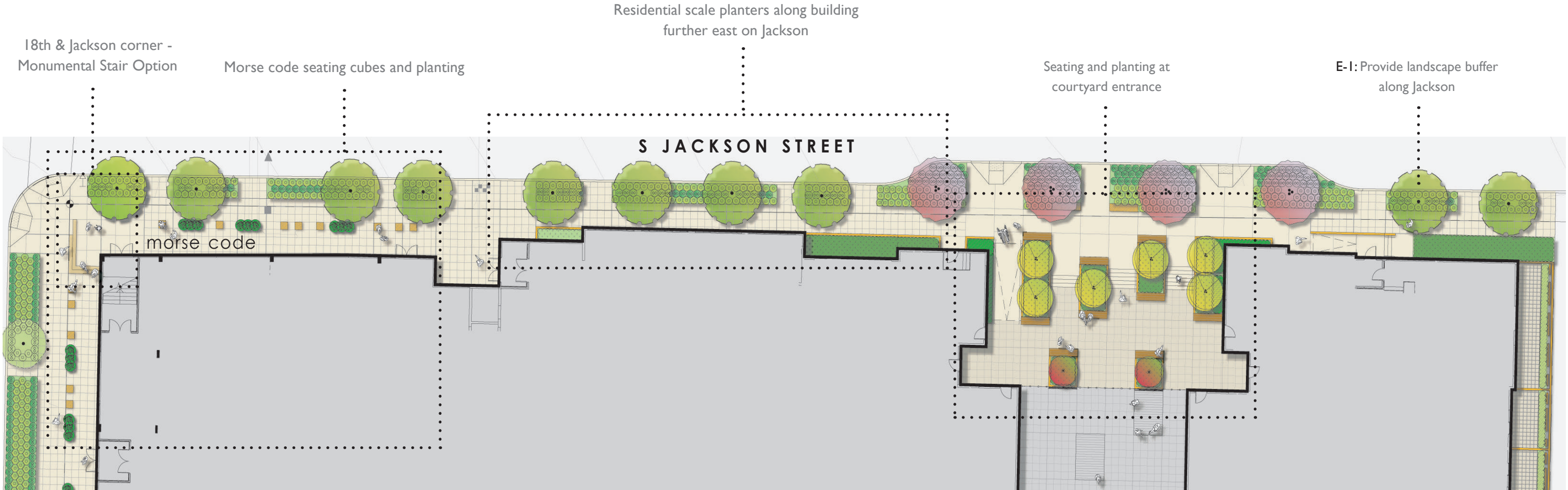
SECTION A



SECTION B

JACKSON STREET EXPERIENCE

LANDSCAPE DESIGN



MORSE CODE SEATING CUBES



RESIDENTIAL LANDSCAPE PLANTERS



COURTYARD SEATING



COURTYARD PAVERS

- A-1

RESPONDING TO SITE CHARACTERISTICS

 - Building entrances are located at grade to allow for a smooth, pleasant pedestrian experience
 - The building responds to the significant east-west slope of the site by stepping down as it gets closer to Jackson St.A roof deck is located at the step at the western edge of the building
 - Roof Deck is oriented to capture 270 degree views from the skyline to the bay to Mt. Rainier
- A-2

STREETSCAPE COMPATIBILITY (now CS2 & CS3)

At EDG, the board expressed a preference for true retail experience along the entire Jackson Street frontage but “questioned the narrow moat and steps proposed at any retail building face” and “any blank wall below the 2-3 elevated residential units”.

 - The exterior steps have been eliminated, creating a direct connection between the public realm and the retail spaces.
 - Project is designed to encourage emerging development in the neighborhood, with the more public spaces located along Jackson St.
 - Building entrances at street level increase connectivity and interaction with the street.
 - Canopies are located above all building entrances to provide weather protection at a pedestrian-friendly scale
 - Retail space is located at highly visible 18th & Jackson corner.The sidewalk outside is widened to allow for pedestrian activity and possible exterior seating.
 - Since the EDG meeting, the retail space proposed in the building has increased from 5,000 to 14,000 sf.
 - The interior courtyard continues the path of 19th Street after it dead-ends into Jackson.The courtyard connects to the 10’ landscape buffer at the rear of the site
 - L/W units along Jackson are highly commercial in character and are designed to draw people into the semi-public courtyard and the L/W units organized around it.
 - The majority of the Jackson Street frontage is either true retail or Live/Work Units that can easily be converted to true retail in the future.

- A-6

TRANSITION BETWEEN RESIDENCE AND STREET (now PL1, PL2, & PL3)

At EDG, the board agreed Jackson Street Live/Work units should have a “highly commercial character” and encouraged generous entries for the street facing live/work units.

 - Canopies are provided at all Live/Work and building entrances for weather protection
 - Live/Work units all have primary entrance from the courtyard.The largest Live/Work unit, at the northwest corner has a secondary entrance at grade on Jackson St.
 - The Live/Work units at the corner of the Courtyard are to ‘Anchor’ the courtyard and wrap the corner to draw the public into the courtyard.
 - Primary Residential Lobby is accessed directly from the sidewalk.A small ramp is required for Secondary Lobby to accommodate grade change.
 - Residential units above the Leasing Office are between 5’ and 10’ above the sidewalk grade.The Leasing Office projects farther north than the levels above, allowing these units an exterior deck space that addresses the sidewalk.

- B-1

HEIGHT, BULK, AND SCALE COMPATIBILITY

 - The project is part of the zoning transition from a 65’ height limit to the north to a 30’ height limit to the south.
 - The building steps with the grade change to avoid the appearance of an unbroken, continuous mass.
 - The building is also broken by the introduction of the large, urban courtyard that aligns with 19th Street, the private patio spaces along the alley, and by vertical stepping and erosion of the massing.
 - The building is setback slightly along Jackson St to provide a widened sidewalk

- C-2

ARCHITECTURAL CONCEPT AND CONSISTENCY

 - Two complementary shades of gray integral color laminate panels are used to make the “towers” focal points of the building
 - Wood or similar will be used at the prominent 18th & Jackson corner
 - Entrance canopies are metal and glass at more public, commercial entrances and transition to wood soffits at residential

- C-4

EXTERIOR FINISH MATERIALS

 - The same building materials have been used on all sides of the building for continuity of design. High quality materials are used throughout
 - The facade of the building shifts to a more residential scale as it faces the alley.The windows are smaller and located to maximize privacy for the neighbors
 - Balconies along Jackson Street are steel and glass, reflecting the more public street face of the building. Balconies along the alley are a picket rail more residential in appearance that provides more opacity and privacy
- D-1

PEDESTRIAN OPEN SPACES AND ENTRANCES

 - Building is set back from the property line at the NW corner to allow for planting and seating, as well as pedestrian traffic
 - Large central courtyard addresses the street while encouraging access to the Live/Work spaces that line its interior
- D-12

RESIDENTIAL ENTRIES AND TRANSITIONS

At EDG, the board encourages street entries for all residential non-Live/Work units facing Jackson Street.

 - Landscaping will be used at residential unit in NE corner to provide privacy and visual interest.All other units are at least 5’ above street level
 - Residential units 5-10’ above grade along Jackson have exterior patios to activate the street
- E-1

LANDSCAPING TO REINFORCE DESIGN CONTINUITY WITH ADJACENT SITES

At EDG, the board expressed concern about the residential appearance of the continuous landscape planter along a majority of Jackson Street.

 - Landscape along Jackson shall be more residential in appearance as it moves away from 18th
 - Street trees and planters along 18th and Jackson provide a buffer from car traffic
 - 10’ Landscape buffer along the alley will soften building for adjacent properties

I 8TH AVENUE EXPERIENCE

RELEVANT DESIGN GUIDELINES
RESPONSE TO BOARD CONCERNS

I8TH AVENUE EXPERIENCE

CURRENT DESIGN

At EDG, the board provided the following guidance regarding the 18th Avenue Experience:

A-2 (now CS2 & CS3) Encouraged the full retail wrap at the corner and along all of 18th Avenue

The corner at S Jackson Street & 18th Avenue S is 100% Commercial use, as is the entirety of 18th Avenue S

A-2 (now CS2 & CS3) Supported the recessed retail and widened sidewalk at the corner

Recessed retail and widened sidewalk have been maintained

A-2 (now CS2 & CS3) Address the narrow moat and steps proposed at any retail building face

All entrances have been revised to eliminate steps (moats)

A-10 Supported prominent double height retail at corner

A-10: “Frame” announces project as it becomes visible to those traveling up the hill from the International District

C-4: High quality materials used throughout

A-10: Double height storefront at retail reads as glass box tucked under the residential floors above

A-2 (now CS2 & CS3): The corner of S Jackson St & 18th Ave S is 100% Commercial use. Retail space wraps at corner and continues along all of 18th Ave S

A-10: At-grade entrances on S Jackson St and 18th Ave S

A-2 (now CS2 & CS3): Recessed retail and widened sidewalk

A-2 (now CS2 & CS3): Monumental steps to address grade change



LOOKING SOUTHEAST AT 18TH AND JACKSON

ALLEY EXPERIENCE

RELEVANT DESIGN GUIDELINES
NEIGHBOR PRIVACY STUDY
PARKING AND VEHICLE ACCESS
LANDSCAPE DESIGN
RESPONSE TO BOARD CONCERNS

ALLEY EXPERIENCE

CURRENT DESIGN

At EDG, the board provided the following guidance regarding the Alley Experience:

- A-5 (now CS2, CS3, & PL3) Alley facade to compose windows and balconies in consideration of neighbors
Windows and balconies are located to maximize privacy for the neighbors. Landscape at ground level provides additional buffer.
- A-5 (now CS2, CS3, & PL3) Consider privacy for both the existing neighbors and proposed building
Smaller windows and more opaque deck rails have been used to address privacy along the south side of the building
- A-6 (now PL1, PL2, & PL3) L/W units should exhibit the highly transparent character at courtyard
Large storefront windows have been provided at Live/Work units
- A-6 (now PL1, PL2, & PL3) L/W units facing the alley should include landscaping and more defined stoops
SDOT has prohibited permanent work in the alley. All Live/Work units are orientated to the central courtyard

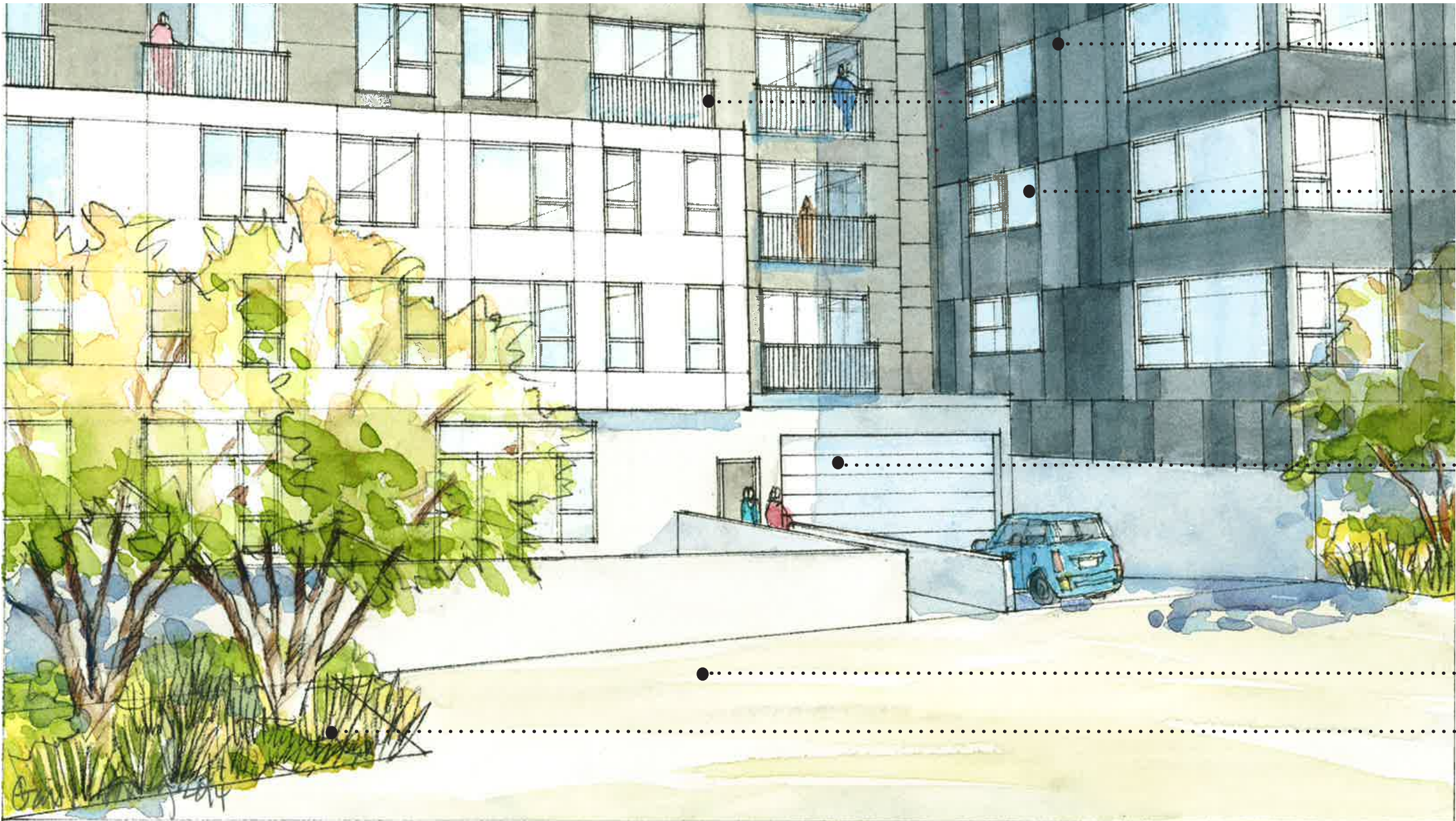
- A-8 Requested one parking access portal, as far west on the alley as possible
One parking garage entry has been eliminated. In order to eliminate one parking entrance, and therefore combine the parking levels, the easternmost entrance to the garage needed to be maintained.
- A-8 The parking access should consider headlight impacts on neighbors
Per neighbor request, a single garage entrance has been provided. Currently, a fence and landscaping are located directly across the alley from the entrance
- A-8 Extra-generous sight lines at the alley intersection with 18th for safety
Extra-generous sight lines at the alley intersection with 18th have been provided
- B-1 Create a finer grain scale, along South facade, facing the less intensive zone
The south facade maintains the character and materiality of the north facade at a finer scale. It has smaller windows and more opaque balconies for neighbor privacy
- C-2 High quality materials and details on all sides
The same building materials have been used on all sides of the building to create continuity of design. High quality materials have been used throughout

- C-4 Same material palette at Jackson and alley but in two distinctly different ways
The south facade maintains the character and materiality of the north facade at a finer scale. It has smaller windows and more opaque balconies for neighbor privacy
- D-7 Any gates or fences should be highly transparent and as low as possible
Gates are provided at each end of the courtyard. These are highly transparent and will remain open during the day
- E-3 Create a 10 ft landscape strip on the alley, in consultation with SDOT
A 10 ft landscape buffer has been approved by SDOT and will be provided



LOOKING NORTHEAST AT 18TH AND ALLEY (JACKSON PLACE)

ALLEY EXPERIENCE
RELEVANT DESIGN GUIDELINES



- C-2: High quality building materials and detailing used throughout
- A-5 (now CS2, CS3, & PL3): Windows and balconies are located to maximize privacy for neighbors
- A-5 (now CS2, CS3, & PL3): Smaller windows and more opaque decks on the south elevation
- A-8: Single garage entrance per Board request
- A-8: Loading zone per Board request
- E-3: 10' landscape buffer

SINGLE PARKING ENTRANCE ALONG ALLEY

C-2: High quality building materials and detailing used throughout

C-4: Same material palette used differently; wood soffit under bridge

A-6 (now PL1, PL2, & PL3): Large storefront windows at Live/Work units

E-3: 10' landscape buffer



COURTYARD ENTRANCE AT ALLEY

ALLEY EXPERIENCE


NEIGHBOR PRIVACY STUDY

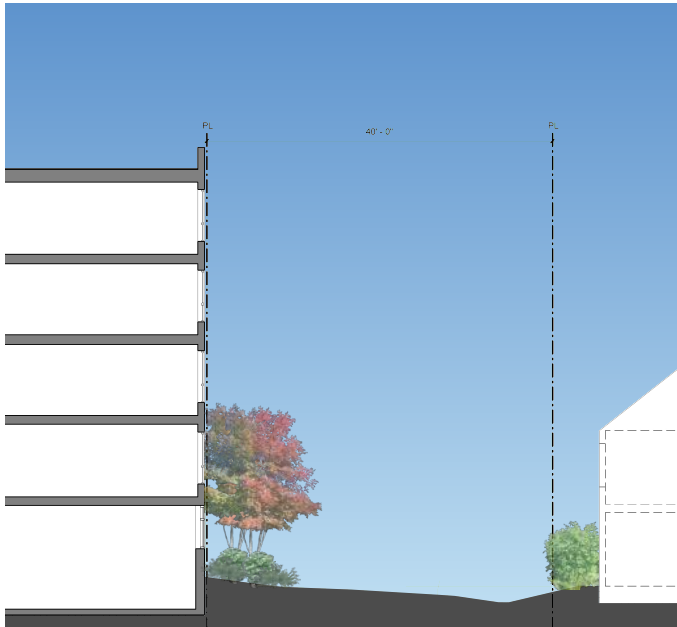


- 40' ROW helps provide privacy for neighboring properties across the alley
- 10' landscape buffer in alley provides additional screening between properties
- Balconies on south facade are less transparent than balconies on the north
- Balconies are located where building is set back between 18-30' from property line and on upper levels of east end of facade
- The windows facing onto the alley are narrower than those on the north facade
- Very few new windows are located directly across the alley from existing windows

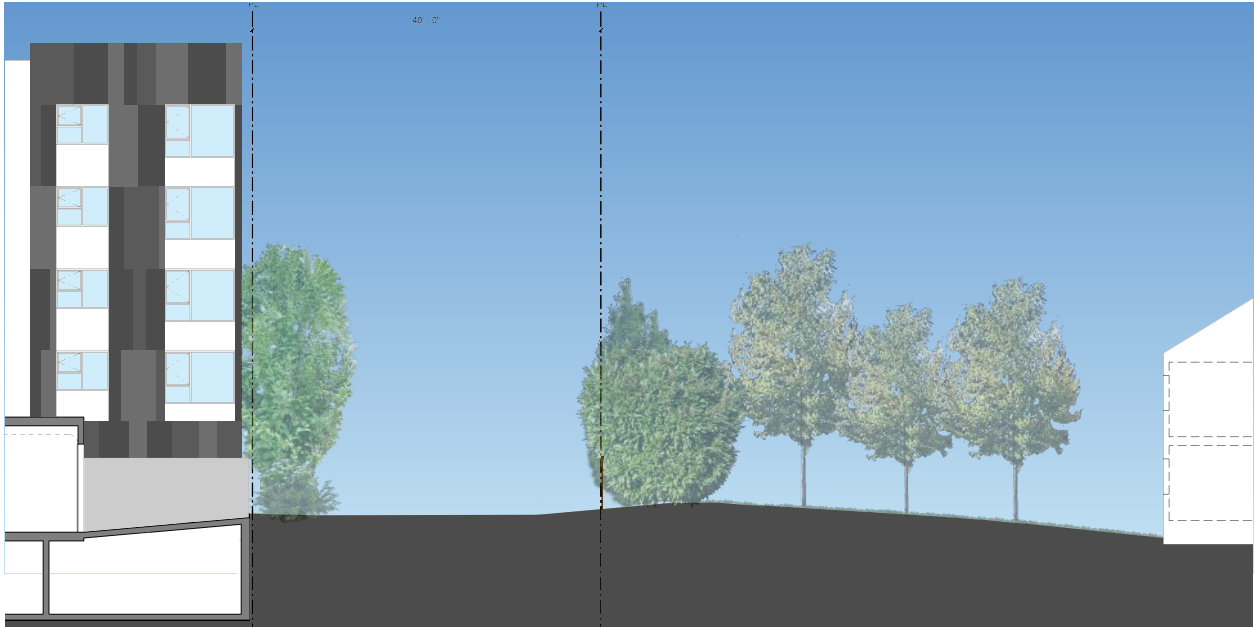


ALLEY ELEVATION AND OVERLAPPING GLAZING WITH NEIGHBOR BUILDINGS

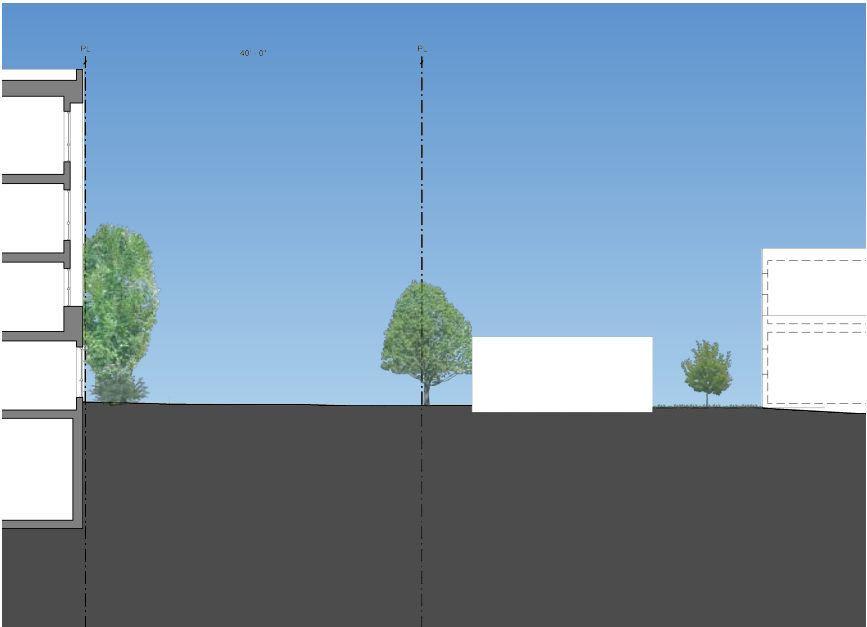
 = Overlapping glazing between project and neighboring buildings



SECTION A

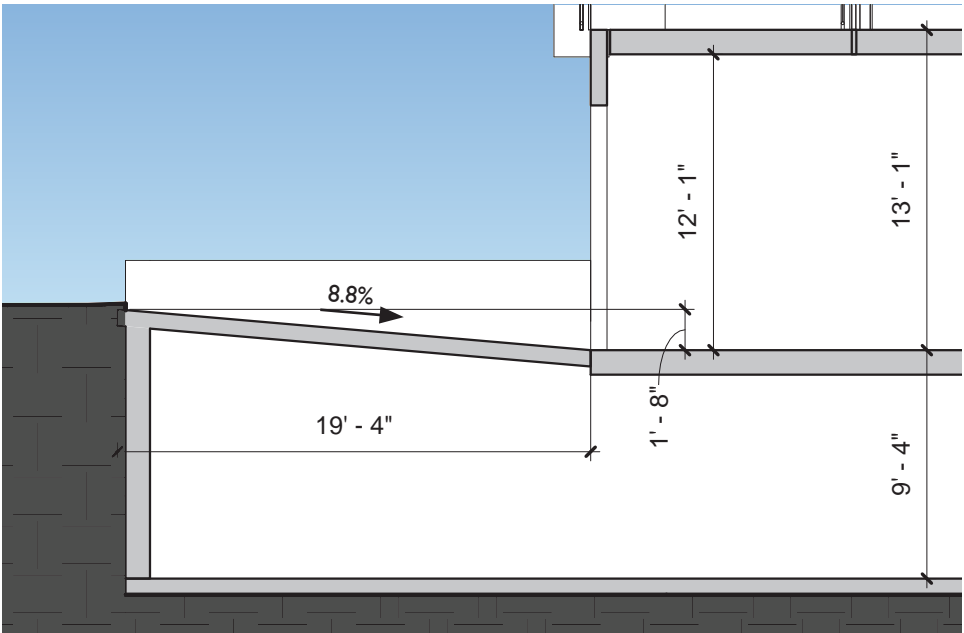


SECTION B



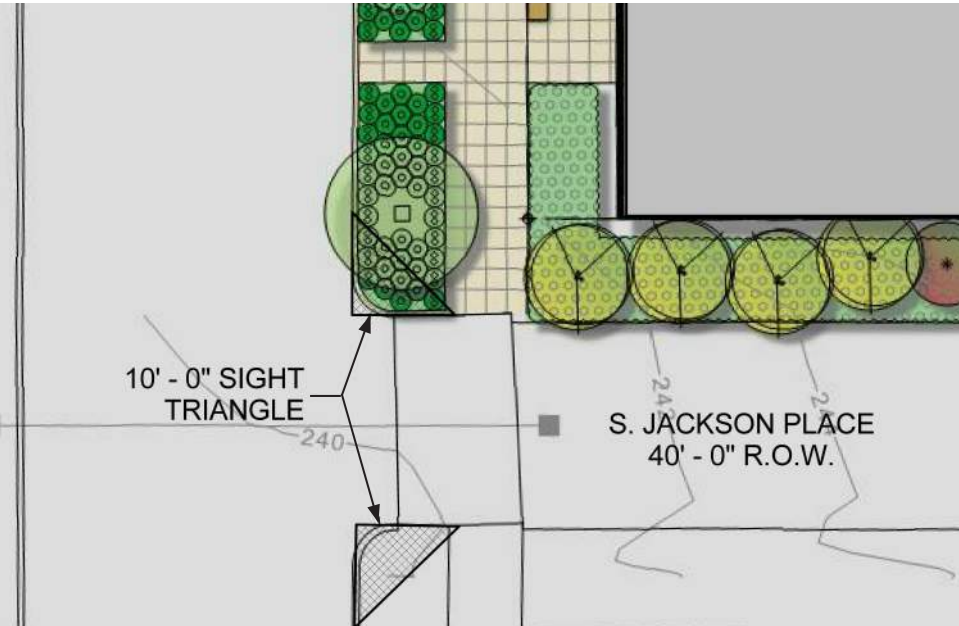
SECTION C

ALLEY EXPERIENCE
PARKING AND VEHICLE ACCESS

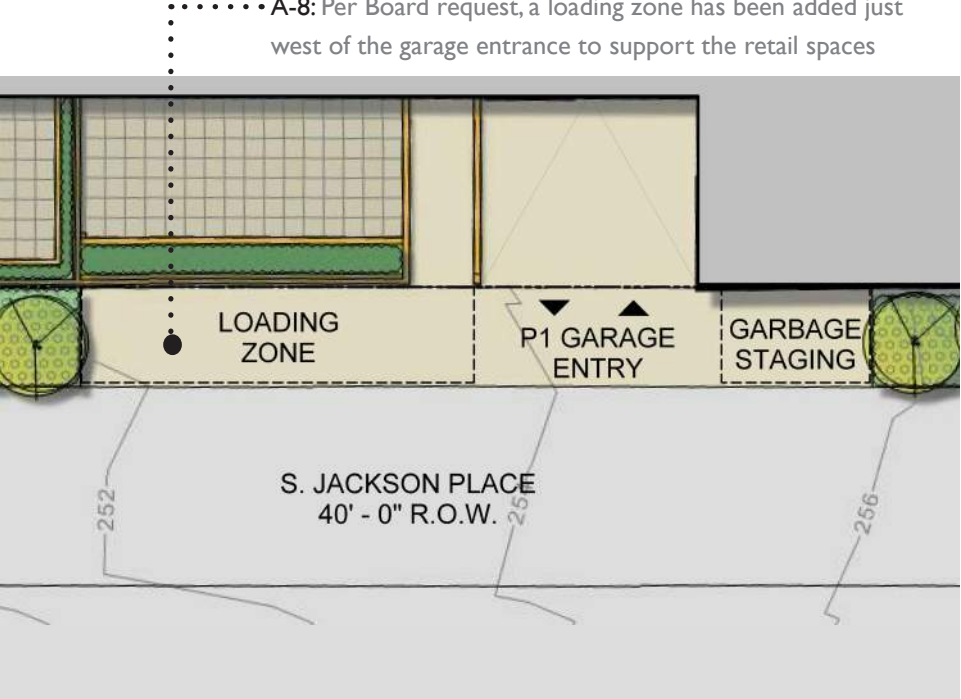


PARKING ENTRANCE RAMP AT ALLEY

A-8: Per Board request, generous sight lines will be provided where the alley connects to 18th Avenue



SIGHT LINES AT ALLEY AND 18TH AVE



LOADING ZONE AT ALLEY



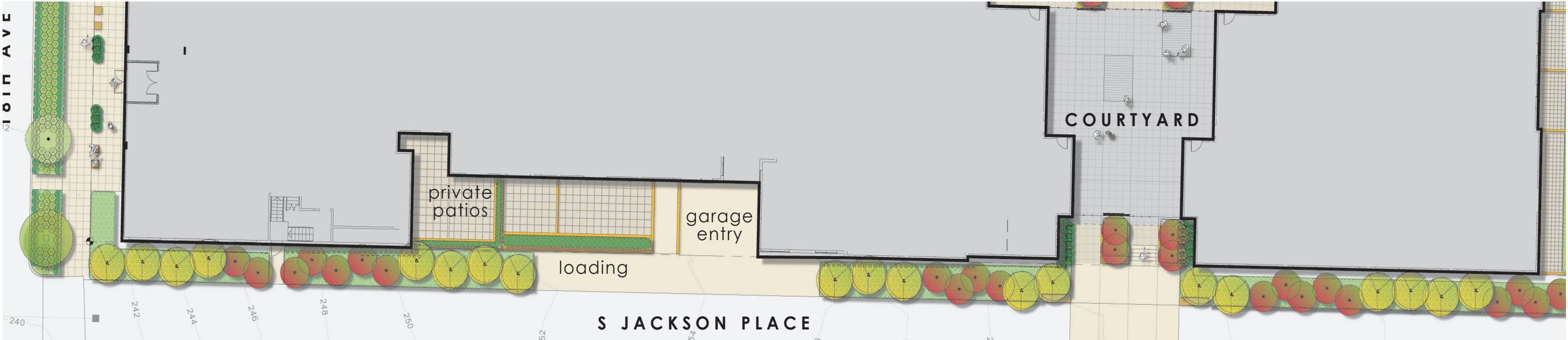
SINGLE PARKING ENTRANCE AND INTERNAL RAMPING CIRCULATION

A-8: Per Board request, a loading zone has been added just west of the garage entrance to support the retail spaces

A-8: Since EDG, the west entrance has been eliminated, per Board request and two internal levels are linked with internal ramping. Single parking entrance is located roughly at the project midpoint to work with the topography

A-8: Traffic Impact Analysis found the new project will have no significant impact on congestion in the alley based on the number of garage entrances

ALLEY EXPERIENCE
LANDSCAPE DESIGN



10' LANDSCAPE BUFFER TREES



COURTYARD SEATING



COURTYARD PAVERS

A-5 RESPECT FOR ADJACENT SITES (now CS2, CS3, & PL3)

At EDG, the board agreed windows and balconies along the alley facade should be carefully composed to avoid overly encroaching on the privacy of the buildings across the alley

- The project is in the center of a greater zoning transition from a CI-65 zone to the north across Jackson, to the NC3-40 zoning of the project site to LRI zoning across the alley. This stepping down in allowable height from 65' to 40' to 30' helps this transition
- The fact that this step-down happens from north to south also helps limit the amount of shadow cast by the taller projects on the shorter projects.
- Project will provide 10' landscape buffer in alley
- Heavily modulated facade helps break up the building
- The windows facing onto the alley are narrower than those on the north facade
- Very few new windows are located directly across the alley from existing windows
- The balconies on the alley side of the building are picket style to provide additional opacity and screening
- Balconies are located where building is set back between 18-30' from property line and on upper levels of east end of facade

A-8 PARKING AND VEHICLE ACCESS

- Parking access will be located off the alley
- Per the Board's recommendation, a single garage entrance will be provided
- The garage entrance is located directly across the alley from an existing fence and planting, minimizing headlight impacts on the neighbors
- Per the Board's recommendation, a loading zone will be provided on the alley, to the west of the garage

C-4 EXTERIOR FINISH MATERIALS

- The same building materials have been used on all sides of the building for continuity of design. High quality materials are used throughout
- The facade of the building shifts to a more residential scale as it faces the alley. The windows are smaller and located to maximize privacy for the neighbors
- Balconies along Jackson Street are steel and glass, reflecting the more public street face of the building. Balconies along the alley are a picket rail more residential in appearance that provides more opacity and privacy

E-1 LANDSCAPING TO REINFORCE DESIGN CONTINUITY WITH ADJACENT SITES

- 10' Landscape buffer along the alley will soften building for adjacent properties
- Courtyard becomes more planted as it transitions to the alley

E-3 LANDSCAPE DESIGN TO ADDRESS SPECIAL SITE CONDITIONS

At EDG, the board recommended that the alley facing Live/Work units should use landscaping and include defined stoops, but was equally important to allow an eyes-on-the-alley through window placement at low landscaping.

- The eyes-on-the alley approach, especially at the courtyard will be maintained
- SDOT will not allow stoops or other permanent construction in the alley
- Project will take advantage of wide alley by providing 10' planting buffer

COURTYARD EXPERIENCE

RELEVANT DESIGN GUIDELINES
RESPONSE TO BOARD CONCERNS

CURRENT DESIGN

At EDG, the board provided the following guidance regarding the Courtyard:

- A-6 (now PL1, PL2, & PL3) L/W units to exhibit highly transparent character fronting the communal realm
Large storefront windows have been provided at Live/Work units
- A-7 The 'Bridge' over the courtyard should be 'lightened'
The 'Bridge' has been pushed back further to align with the building inset at the back of the courtyard

- D-I Courtyard to be fully public during daylight hours
Courtyard will be fully public during the day. There will be exterior access to six of the eight Live/Work units at all times
- D-I Night gates to be highly transparent, fully folding, and recessed 15' from PL
Night gates are to be as transparent as possible while still providing the necessary security. Gates are located underneath the 'Bridge' and integrated with the landscaping. Front gate is set back >50' from the property line. The rear gate is 12' from the property line.

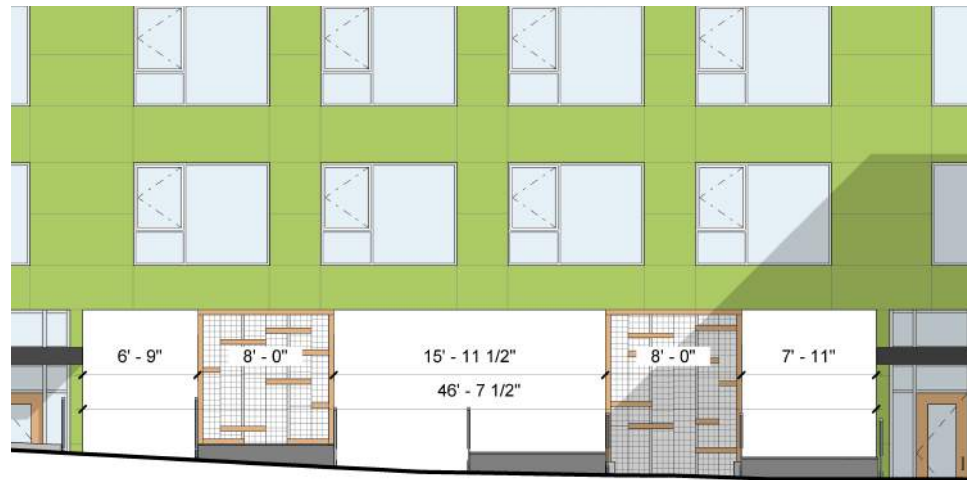
- D-I Any gates/fences to be highly transparent and as low as possible
Night gates are to be as transparent as possible and extend to the bottom of the 'Bridge' above the courtyard
- E-I Advised courtyard to be urban on North end and more planted towards alley
Courtyard maintains a highly commercial feeling throughout the northern portion. The gates, seating elements, and soffit materiality of the bridge help introduce a less urban scale, while still maintaining a public sensitivity.



COURTYARD EXPERIENCE



VIEW OF COURTYARD WITH OPEN GATE



NORTH SECURITY GATE IN OPEN POSITION

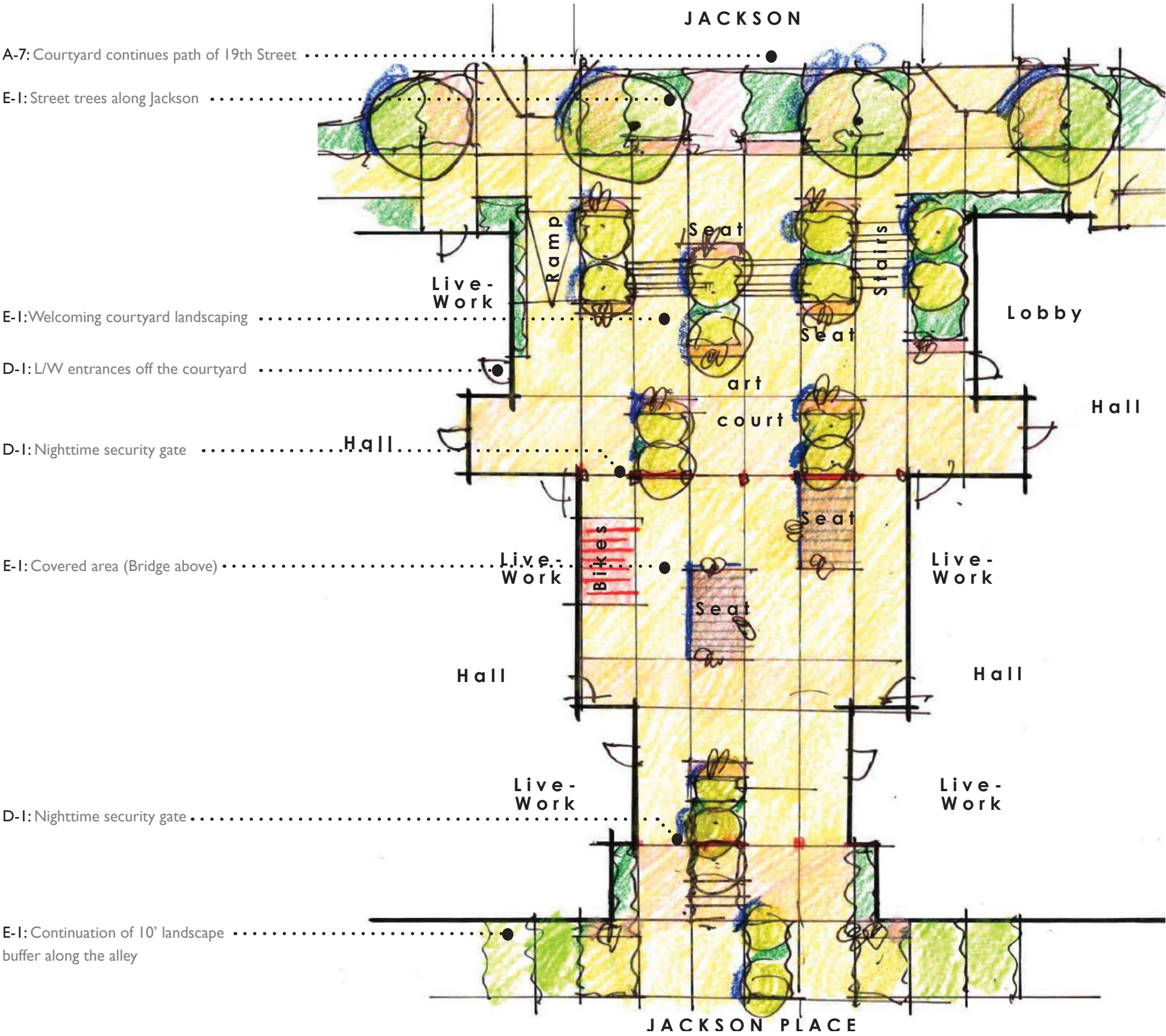


NORTH SECURITY GATE IN CLOSED POSITION



PRECEDENT IMAGES OF CEDAR SLAT DESIGN

COURTYARD EXPERIENCE



EAST LOT LINE CONDITION

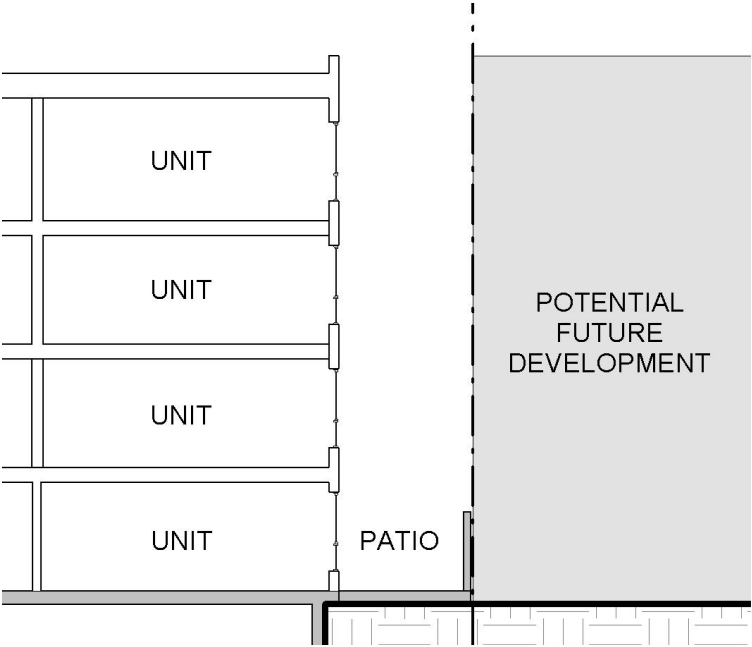
RESPONSE TO BOARD CONCERN

CURRENT DESIGN

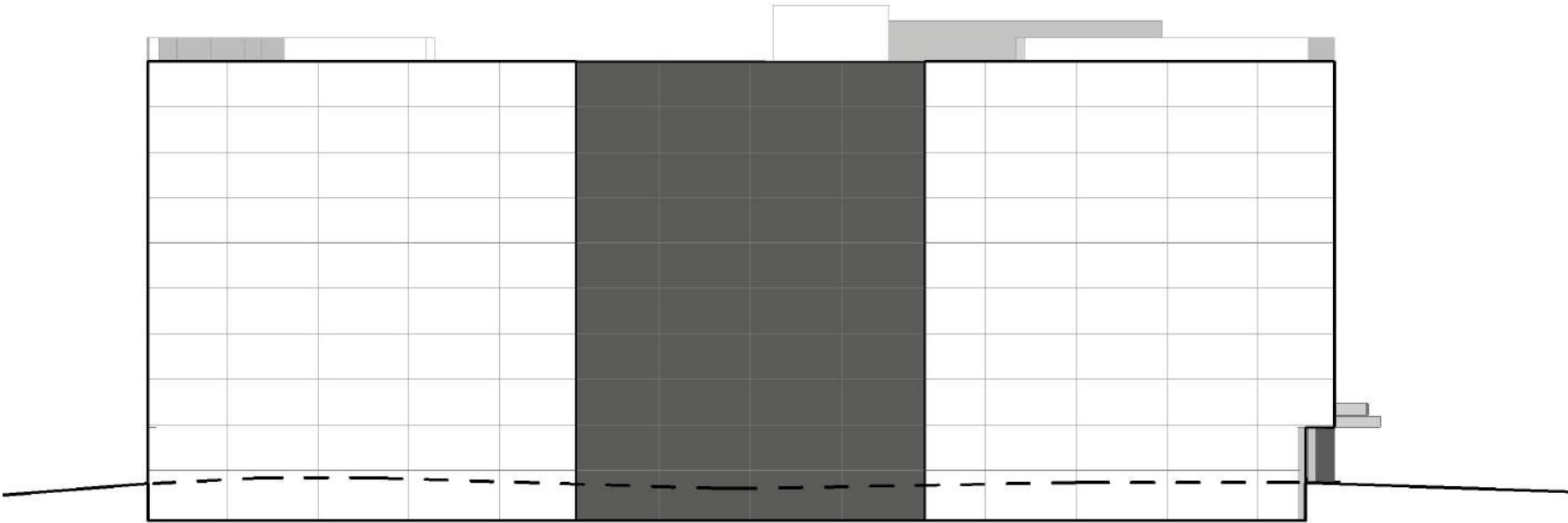
At EDG, the board provided the following guidance regarding the East Lot Line:

C-2 The Board was conflicted if the east edge of the building should be a party wall at the property line, or be pulled about 10 ft back with private patios, but they were certain there should be no public path through that narrow space. Since 40 ft of potential development is likely on the adjacent site, residential units that look onto that potential blank wall may be compromised. Design options should be presented at next meeting.

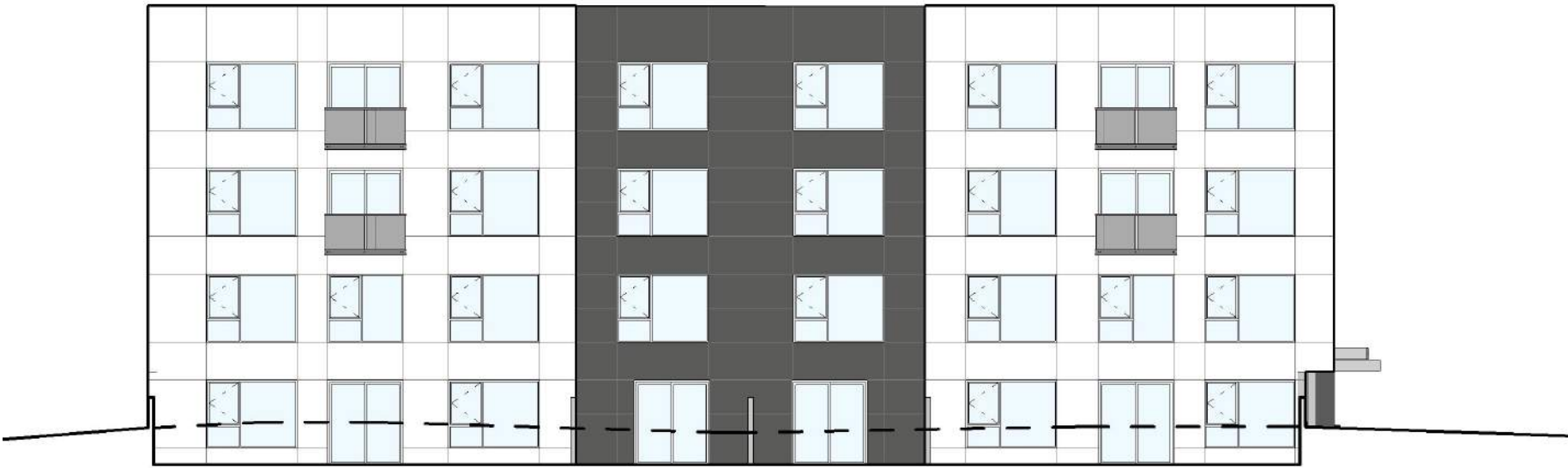
There is no path through the space. The preferred option is similar to that presented at EDG. The ground level units would have 10 ft wide patios and the upper units would be allowed to keep their windows.



SECTION - PREFERRED LOT LINE CONDITION



SOUTH ELEVATION - ZERO LOT LINE CONDITION



SOUTH ELEVATION - PREFERRED LOT LINE CONDITION

DEPARTURE REQUESTS

	DEVELOPMENT STANDARD	REQUIREMENT	PROPOSED	DEPARTURE AMOUNT	DEPARTURE RATIONALE	ASSOCIATED GUIDELINE
#1	Street Level Uses SMC 23.47A.005	No more than 20% residential use at street level street facing facade	25.8%	5.8%	While more than 20% of the facade is residential use, less than 20% of the facade appears residential in design. The bike room and lobbies have storefront windows, non residential, and mostly have 13' floor-to-floor. Additionally, while more than 20% of the storefront is residential use, the non-residential uses spill into the courtyard, providing greater than the equivalent of 100% of the street facing facade length in nonresidential uses.	A-1 Site Characteristics A-2 Streetscape A-6 Transition C-2 Consistency D-12 Entries
#2	Street Level Development Standards SMC 23.47A.008B	Floor of a dwelling unit along street level street facing facade shall be 4' above or 4' below or set back at least 10' from the sidewalk	Dwelling unit at NE corner: 2'-3" below sidewalk Setback 6'5" from Sidewalk	Dwelling unit at NE corner: 1'-9" 3'-7"	This departure is requested because the sidewalk edge is within the property line. The residential use is set back 10' from the property line. There is a 6' landscape buffer between the dwelling unit and the sidewalk, and the building is 2'-3" below the sidewalk level to provide screening and privacy for the residents.	A-1 Site Characteristics A-2 Streetscape A-6 Transition C-2 Consistency

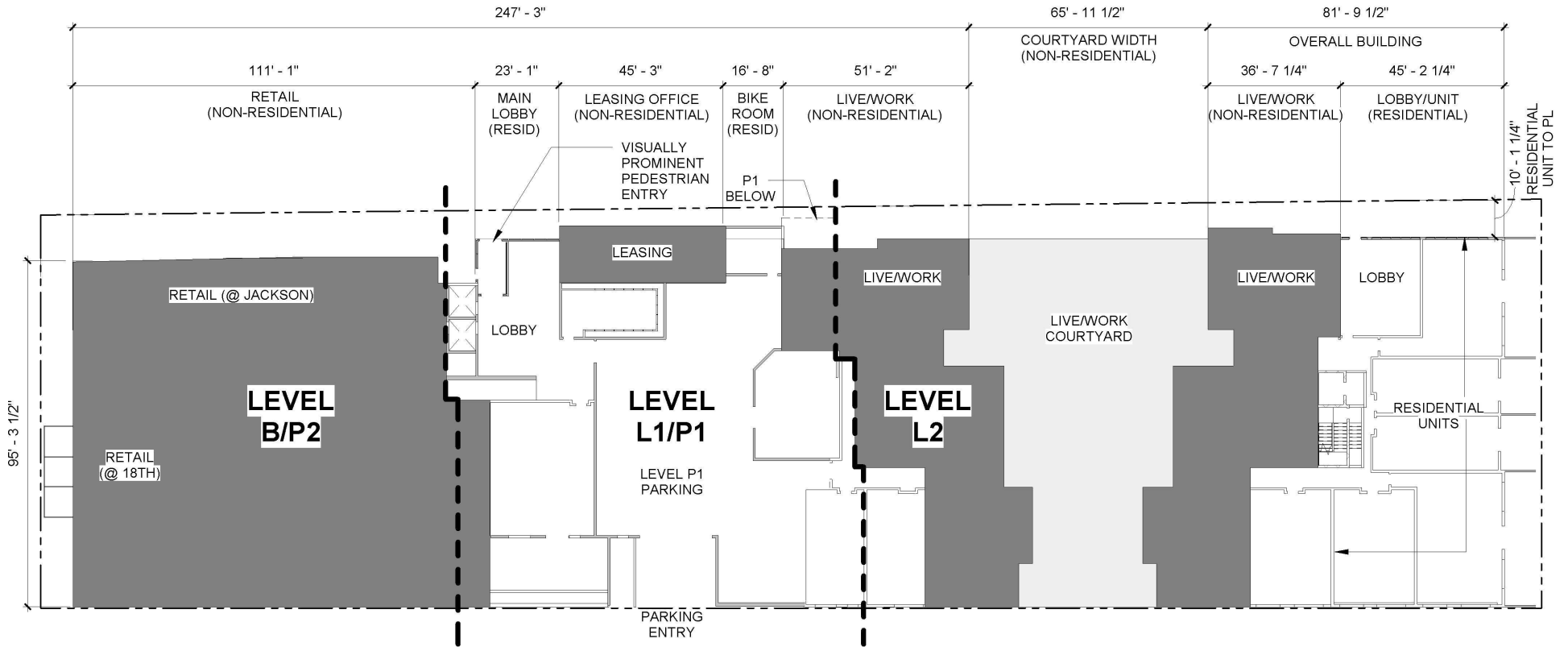
RESIDENTIAL USE @ STREET LEVEL CALCULATION (23.47A.005.C1):			
@ S JACKSON STREET:			
NONRESIDENTIAL LENGTH		=	244.2 LF
111.1+45.3+51.2+36.6			
RESIDENTIAL LENGTH		=	85.0 LF
23.1+16.7+45.2			
OVERALL STREET LEVEL LENGTH		=	329.1 LF
247.3+81.8			
RESIDENTIAL USE @ STREET LEVEL		=	25.8%
85/329.1			
*DEPARTURE REQUESTED			

RATIONALE: COURTYARD IS FUNCTIONING AS ACCESSORY TO L/W UNITS, WHICH ARE COMMERCIAL USE. THE ENTIRE 18TH STREET FACADE IS NON-RESIDENTIAL. WHEN THE LENGTHS OF THE COURTYARD AND 18TH STREET ARE INCLUDED, RESIDENTIAL USE ACCOUNTS FOR ONLY 17% OF THE USE AT STREET LEVEL.

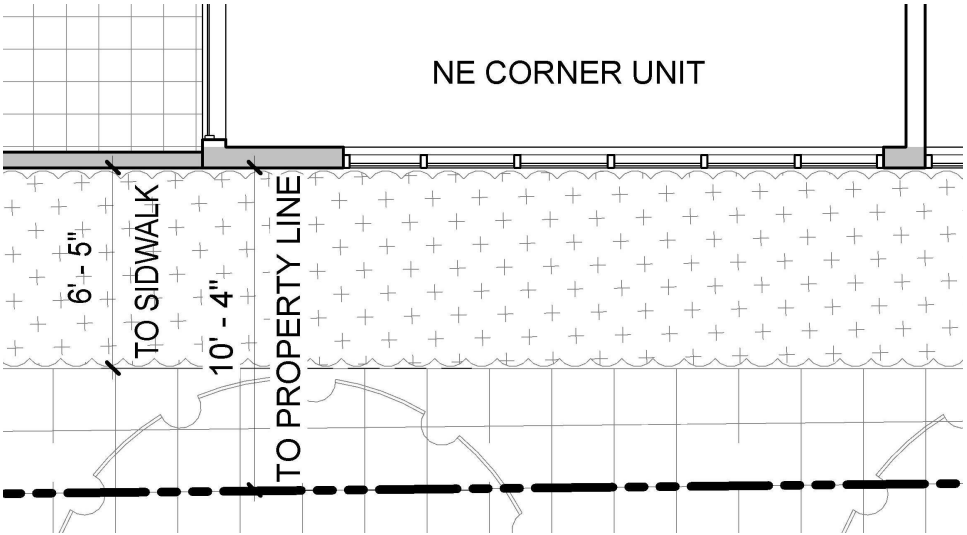
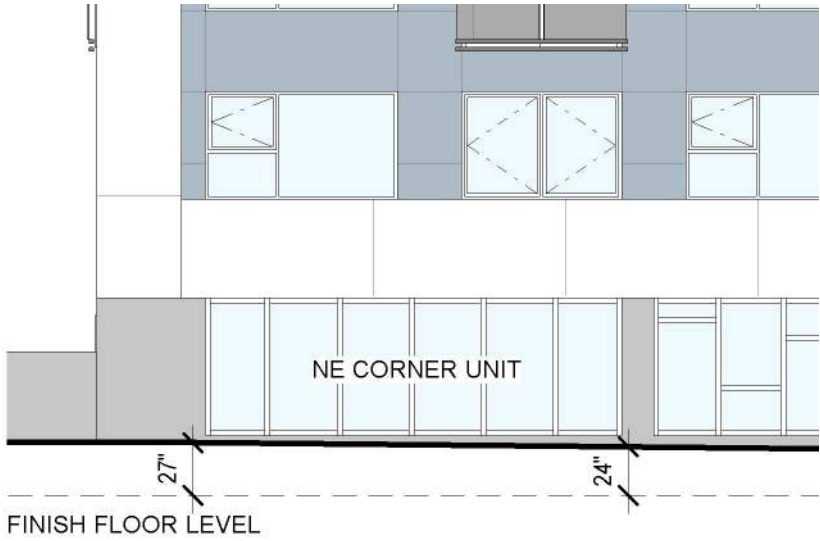
NO RESIDENTIAL USES ARE LOCATED DIRECTLY AT GRADE. THE ONLY RESIDENTIAL USES AT GRADE ARE THE PRIMARY AND SECONDARY LOBBIES, WHICH NEED TO BE AT STREET LEVEL FOR THE DESIGN OF THE BUILDING.

ADDITIONAL RESIDENTIAL USE			
@ 18TH STREET:			
NONRESIDENTIAL LENGTH		=	95.3 LF
95.3 (FULL FACADE)			
RESIDENTIAL USE @ STREET LEVEL		=	0%
0/95.3			
@ COURTYARD:			
NONRESIDENTIAL LENGTH		=	66 LF
66 (FULL LENGTH OF COURTYARD)			
RESIDENTIAL USE @ STREET LEVEL		=	0%
0/66			

RESIDENTIAL USE @ STREET LEVEL			
@ ENTIRE PROJECT:			
NONRESIDENTIAL LENGTH		=	405.5 LF
244.2+95.3+66			
RESIDENTIAL LENGTH		=	85 LF
85+0+0			
OVERALL STREET LEVEL LENGTH		=	490.4 LF
329.1+95.3+66			
RESIDENTIAL USE @ STREET LEVEL		=	17%
85/490.4			



RESIDENTIAL USE AT STREET LEVEL



STREET LEVEL DEVELOPMENT STANDARDS

ADDITIONAL PROJECT INFORMATION

BOARD REQUESTED SECTIONS

SHADOW STUDIES

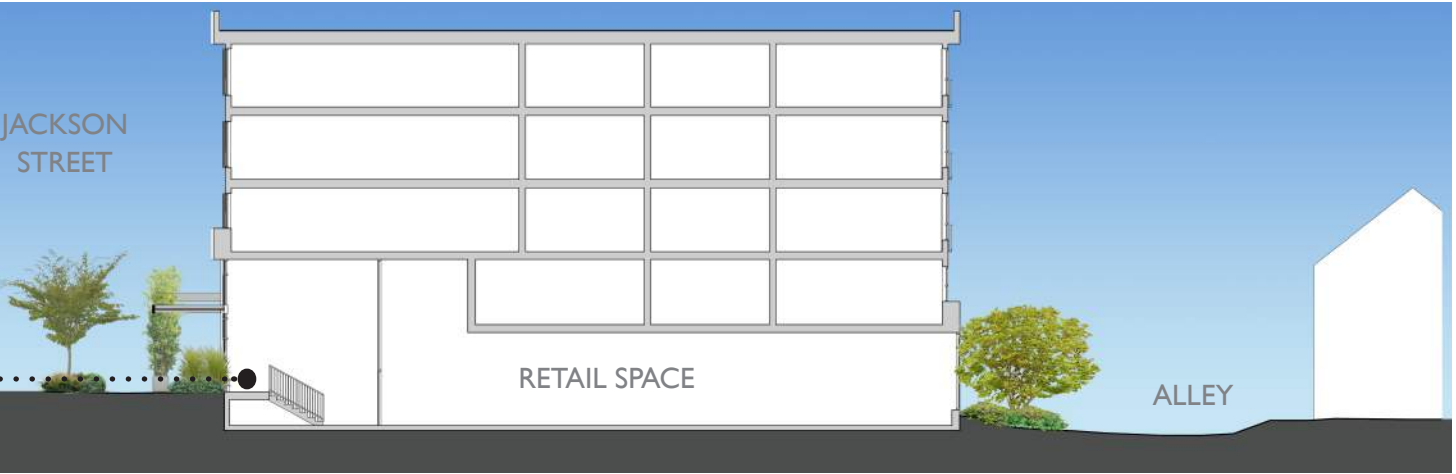
LIGHTING PLAN

RECENT NK PROJECTS

RECENT ISOLA PROJECTS

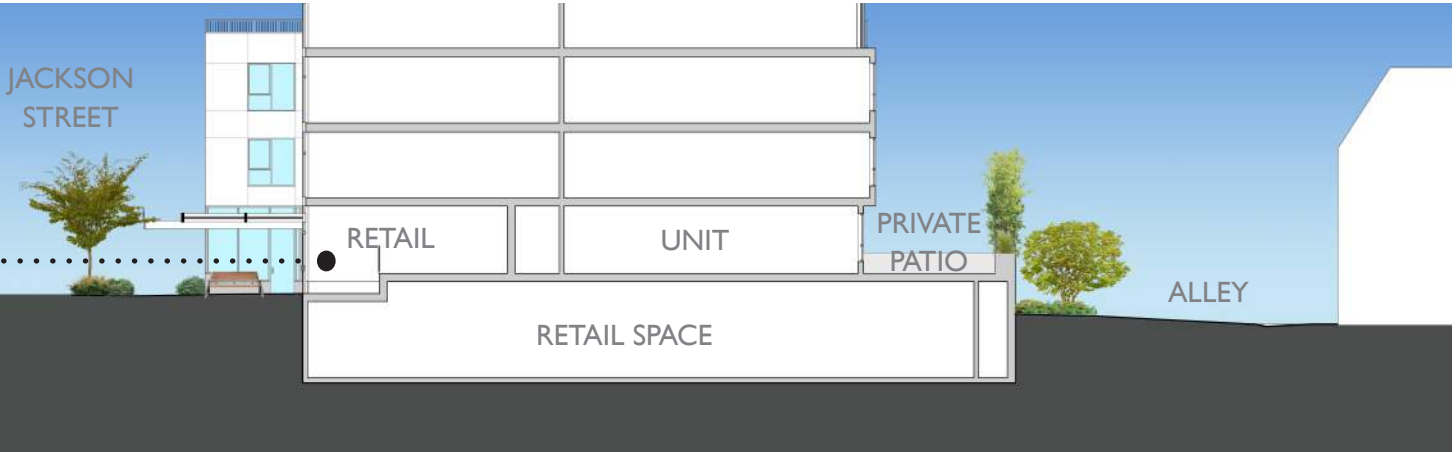
A-2 STREETScape COMPATIBILITY (now CS2 & CS3)
At EDG, the board requested several sections cut through the project showing the different treatments of ground level conditions on Jackson Street versus the alley, and to show the project relationship to the neighbors across the alley.

At-grade entrance to retail space



JACKSON STREET AND ALLEY RELATION AT SOUTH RETAIL

At-grade entrance to retail space



JACKSON STREET AND ALLEY RELATION AT SOUTH PATIOS

Garage entrance ramp



JACKSON STREET AND ALLEY RELATION AT PARKING ENTRANCE

SHADOW STUDIES



MARCH / SEPTEMBER 21, 10 AM



MARCH / SEPTEMBER 21, NOON



MARCH / SEPTEMBER 21, 2 PM



JUNE 21, 10 AM



JUNE 21, NOON



JUNE 21, 2 PM



DECEMBER 21, 10 AM



DECEMBER 21, NOON



DECEMBER 21, 2 PM



LIGHTING PLAN

① SOFFIT LIGHTING



② EXTERIOR SCONCE



③ PATH LIGHTING



RECENT NK PROJECTS



WESTLAKE VILLAGE



222 VIEW APARTMENTS



CHELAN RESORT SUITES



THE DAKOTA



ARTHOUSE



H2O APARTMENTS - LEED H MIDRISE PILOT GOLD TARGET



BROADSTONE KOI APARTMENTS - LEED NC CERTIFIED TARGET



APERTURE OF FIFTH



MIST APARTMENTS - LEED NC SILVER TARGET

RECENT ISOLA HOMES PROJECTS



THE ATLANTIC FLATS - DPD #3015260

DESIGN REVIEW RECOMMENDATION