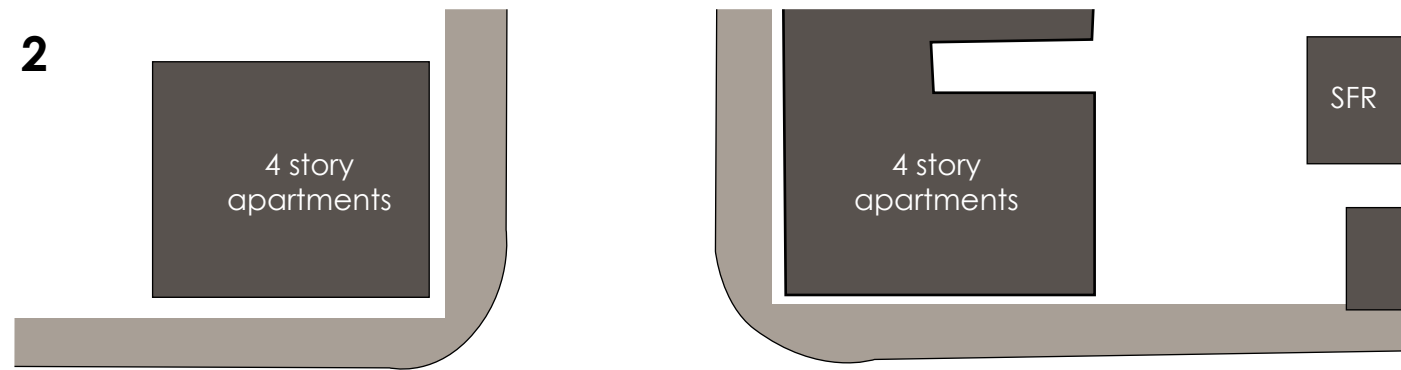
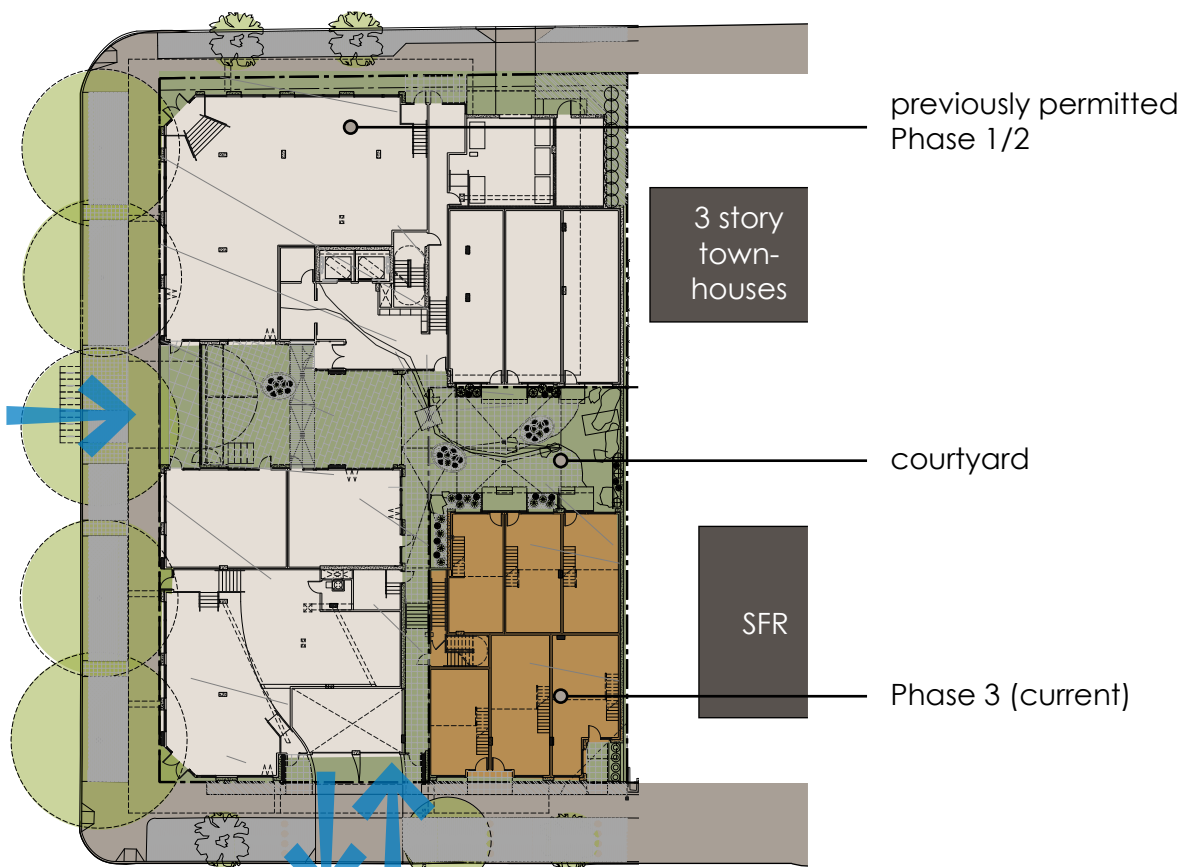




2248 NW 64th St
Design Review Recommendation
28 October 2013
DPD Project #3015253

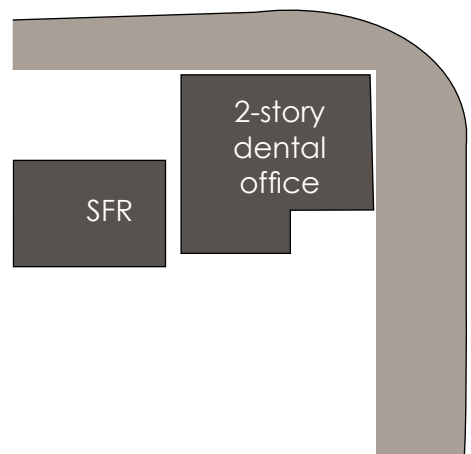


NW 65TH ST

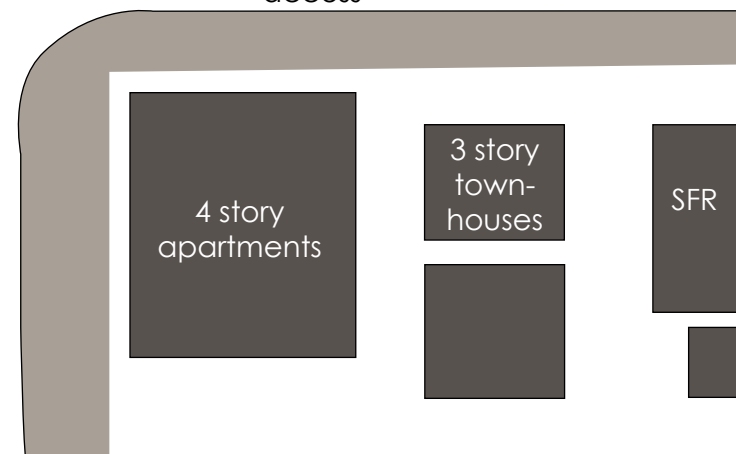


NW 64TH ST

garage access



24TH AVE NW



PROJECT DESCRIPTION:

The proposed development is a 5-story mixed-use addition consisting of 3 live-work units and 21 residential units. Parking for all uses will be located below grade. The addition is to a 6-story mixed-use building to the north and west of the current site approved under project number 3013516, and referenced in the proposal materials as "Phase 1/2." The entire project (all phases combined) contains 96 residential units, 3 live-work units, and 6737 sf of retail commercial. A large entry courtyard at street level along 24th Ave NW will serve as the primary entrance to the project with landscaping, outdoor seating, and a large water feature. This courtyard will be continued and enlarged with the addition of the current site to the project. Residential units will feature a mix of one and two bedroom units with three floors of loft-style units (with sleeping lofts/mezzanines) and two floors of conventional flat-style units. The new addition will share access to parking with the previous portion off a 2-way curbcut along NW 64th St.

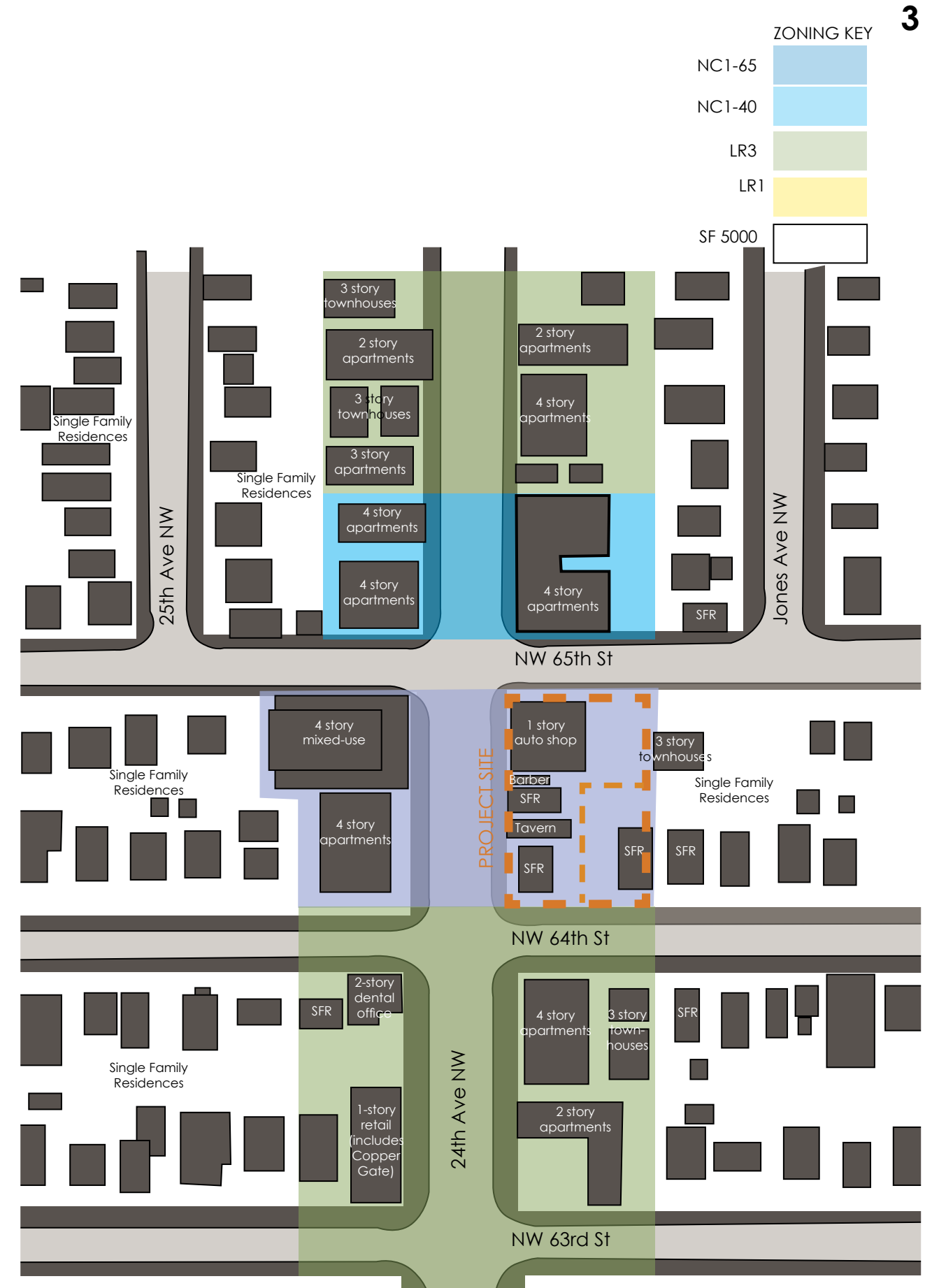
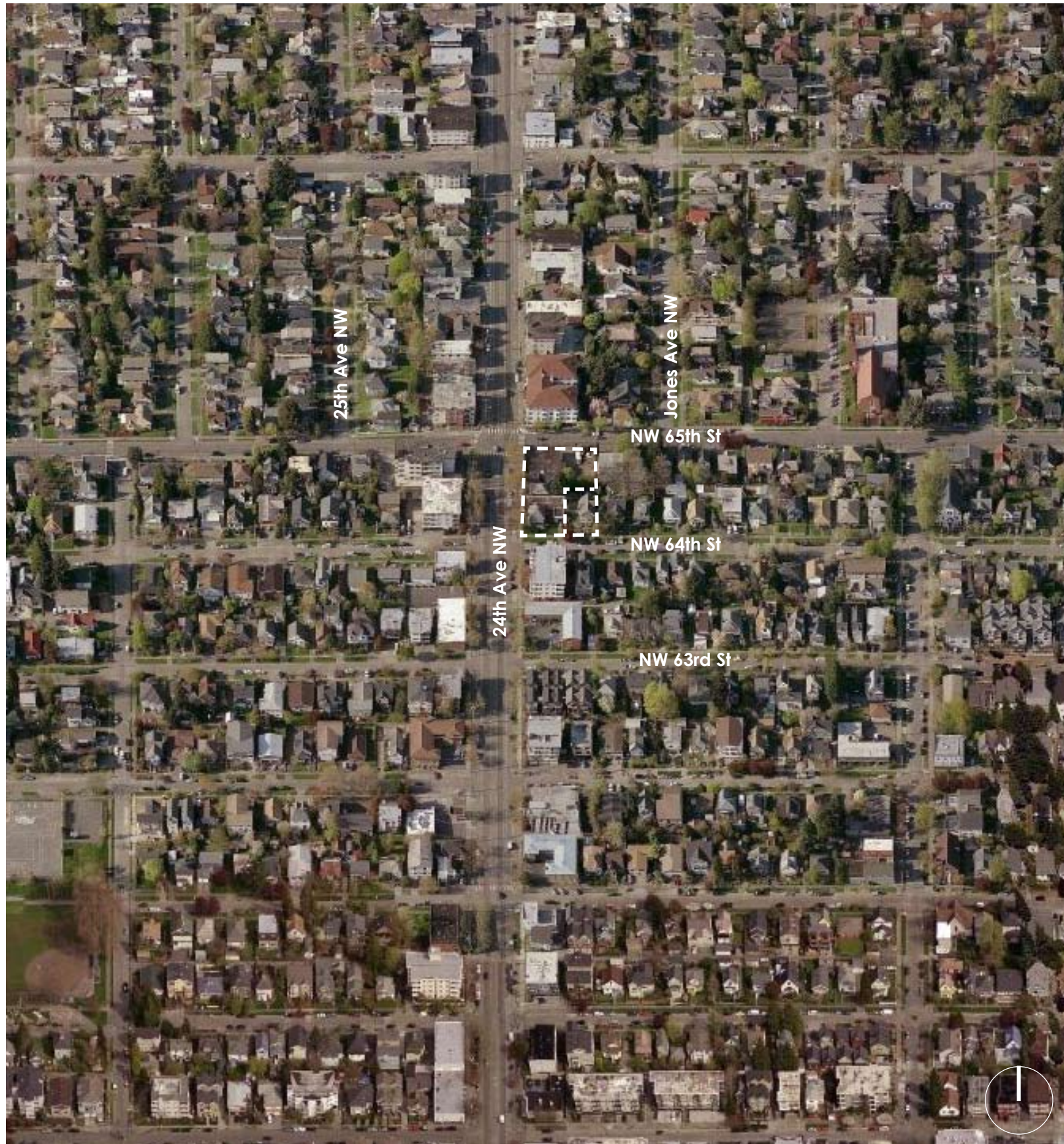
USE SUMMARY:

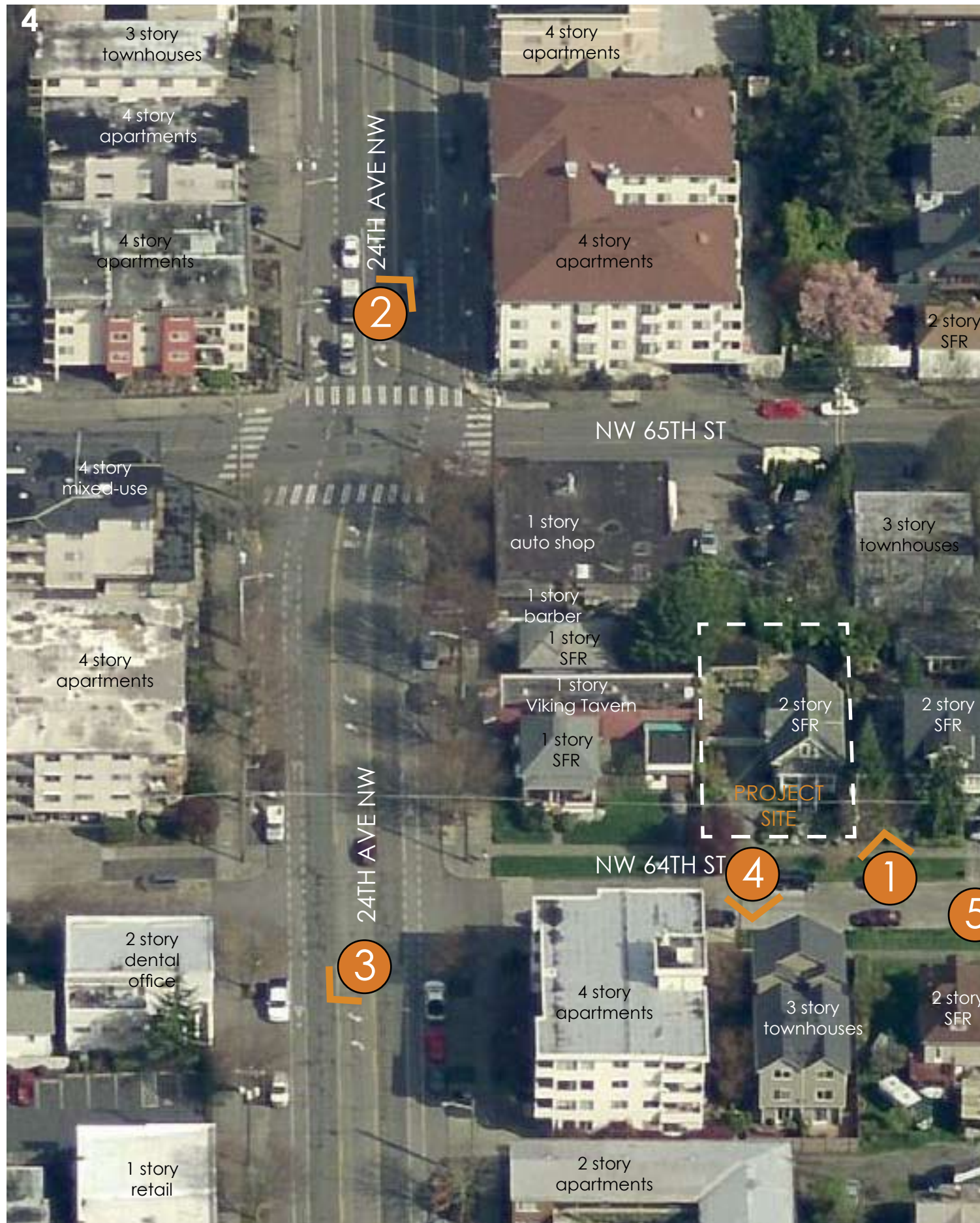
	Phase 1/2	Phase 3 (current)	TOTAL PROJECT
Residential units:	75 units	21 units	96 units
Retail commercial:	6737 sf	--	6737 sf
Live-Work Units:	--	3 units	3 units
Parking:	78 stalls	38 stalls	116 stalls

FLOOR AREA RATIO:

- Zoning FAR: 4.75
- FAR limit: (all phases combined) 4.75 x 21,055 sf site area = 100,011 sf allowable
- FAR proposed: (all phases combined) 93,451 sf (6,560 sf below allowable)
- Floor area summary: (all phases combined)

Floor	FAR
SUBGRADE 2:	n/a
SUBGRADE 1:	n/a
1ST (incl loft):	15,973 sf
2ND (incl loft):	23,064 sf
3RD (incl loft):	23,064 sf
4TH:	15,202 sf
5TH:	15,202 sf
ROOF:	946 sf





1 NW 64th St, looking N @ project site



Neighboring SFRs to east



2 24th Ave NW north of project site, looking NE



3 24th Ave west of site, looking SW



4 NW 64th St, looking S from project site



5 NW 64th St east of site, looking W towards 24th

A SITE PLANNING

- > A-2: Streetscape Compatibility: acknowledge and reinforce existing desirable characteristics
Primary entrance on 24th (keeping 64th quieter), live-work transition between retail to west and residential to east
- > A-3: Entrances Visible from Street: clearly identifiable from street
Recessed entries at street-facing live/work units; landscaping along building face punctuated by paved entries
- > A-4: Human Activity: design to encourage activity on the street
Live-work uses visible from sidewalk, but provide quieter transition from retail to residential zones
- > A-5: Respect for Adjacent Sites: minimize disruption of privacy in adjacent buildings
Angled fenestration, 13' tall sound/privacy wall at east face, inward/street-facing view orientation
- > A-6: Transition Between Residence and Street
Live-work uses along sidewalk edge; landscaping along building face
- > A-7: Residential Open Space: maximize opportunity for usable attractive open space
Amenity space provided in large ground-level courtyard with water feature and shared use with retail

B HEIGHT/BULK/SCALE

- > B-1: Compatibility: compatible with surrounding development, sensitive transition to less-intense zones
Respect privacy/character of adjacent sites by not "building out" site; significant reduction of scale at center of site

C ARCHITECTURAL ELEMENTS AND MATERIALS

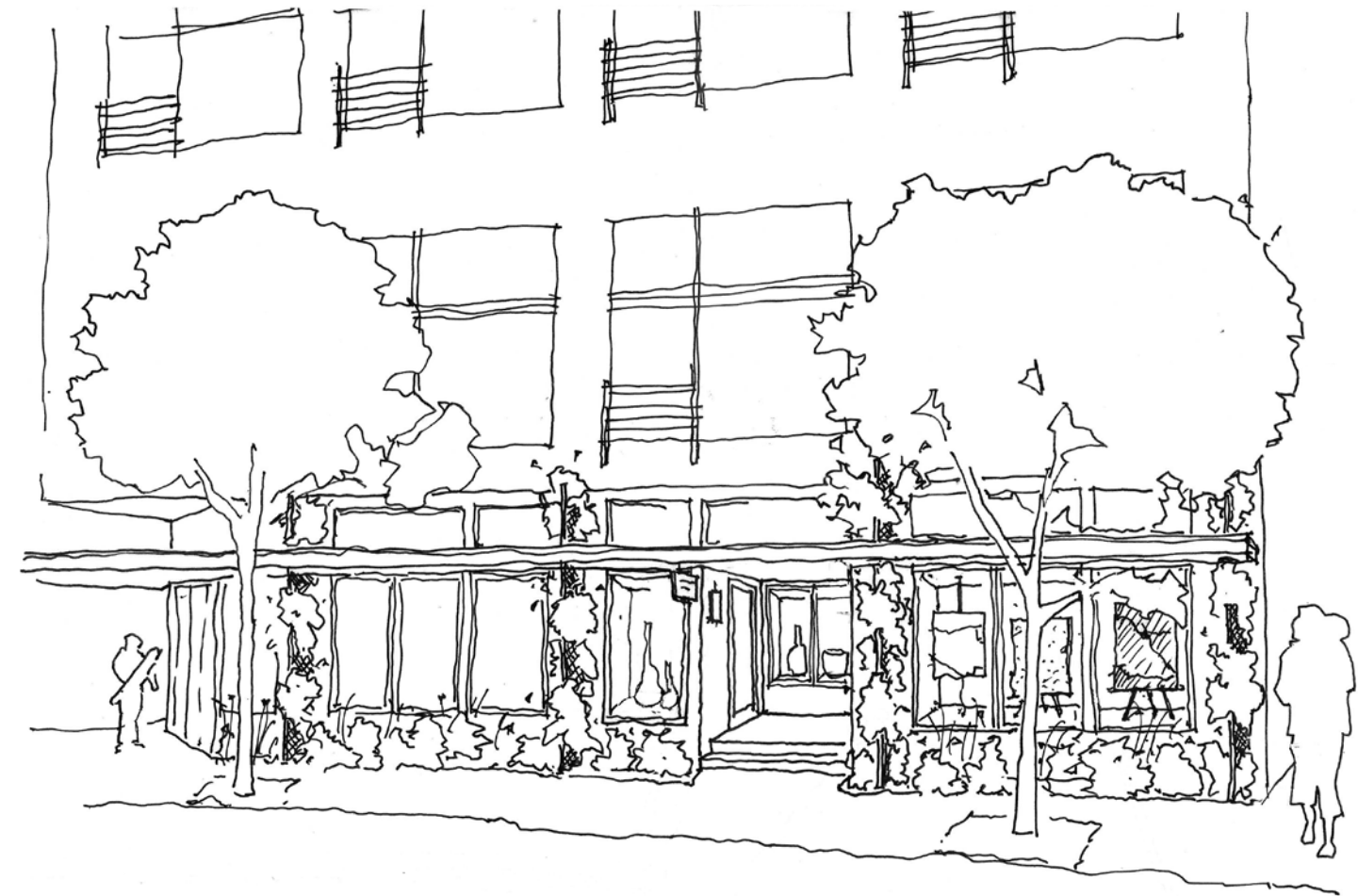
- > C-1: Architectural Context: complement architectural character and neighboring siting patterns
Current project joined to and will appear as one development with former project to the west; massing mirrors and preserves solar access to neighboring single-family backyards
- > C-2: Architectural Concept and Compatibility: unified building form
Current project unified with former development to the west, creating a horizontally-oriented south facade more in keeping with lower-scale neighboring development
- > C-4: Exterior Finish Materials
Continues textured concrete, metal boxrib, and cement board panelized siding from previous; introduces wood accent elements at live-work units

D PEDESTRIAN ENVIRONMENT

- > D-2: Blank Walls
Angled fenestration at east facade provides privacy and visual interest with otherwise reduced glazing percentage
- > D-7: Personal Safety and Security
Controlled access to site grounds, ample site lighting, windows looking onto courtyard and sidewalk areas
- > D-12: Residential Entries and Transitions
Live-work uses along sidewalk edge; landscaping along building face

E LANDSCAPING

- > E-1: Landscape to Reinforce Design Continuity with Adjacent Sites
Landscaping provided at sidewalk edge; large central courtyard builds off of project to west
- > E-2: Landscape to Enhance Building and/or Site
Water feature, planters, site furniture, special pavements incorporated into large central open space

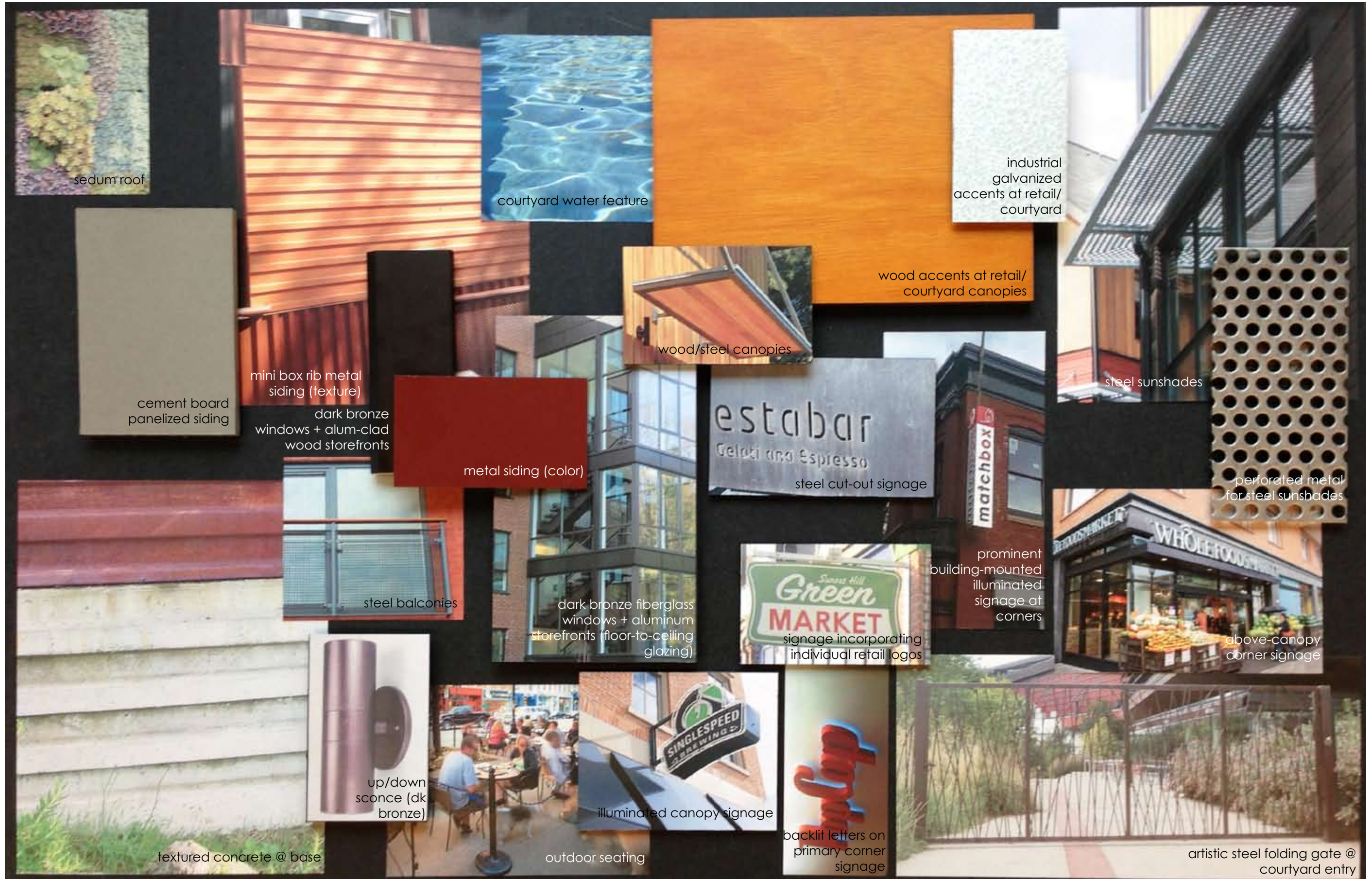




SCHEME C FROM NW 64TH ST



SCHEME C AERIAL FROM SOUTHEAST



sedum roof

courtyard water feature

industrial galvanized accents at retail/courtyard

wood accents at retail/courtyard canopies

wood/steel canopies

steel sunshades

cement board panelized siding

mini box rib metal siding (texture)

dark bronze windows + alum-clad wood storefronts

metal siding (color)

estabar Gelati and Espresso steel cut-out signage

perforated metal for steel sunshades

steel balconies

dark bronze fiberglass windows + aluminum storefronts (floor-to-ceiling glazing)

prominent building-mounted illuminated signage at corners

signage incorporating individual retail logos

above-canopy corner signage

textured concrete @ base

up/down sconce (dk bronze)

outdoor seating

illuminated canopy signage

backlit letters on primary corner signage

artistic steel folding gate @ courtyard entry

PH 1-2
(for reference only)



NORTH ELEVATION - NW 65TH ST 3

PH 1-2
(for reference only)



WEST ELEVATION - 24TH AVE NW 1

- cement board panel siding
- cement board panel accent siding
- dark bronze windows
- metal horizontal boxrib siding
- steel mesh sunshades
- steel mesh railings
- dark bronze alum clad wood storefronts
- cast-in-place concrete base with boxrib texture
- wood and steel canopies

PH 1-2 PH 3
(current)



SOUTH ELEVATION - NW 64TH ST 4

PH 3 (current) PH 1-2

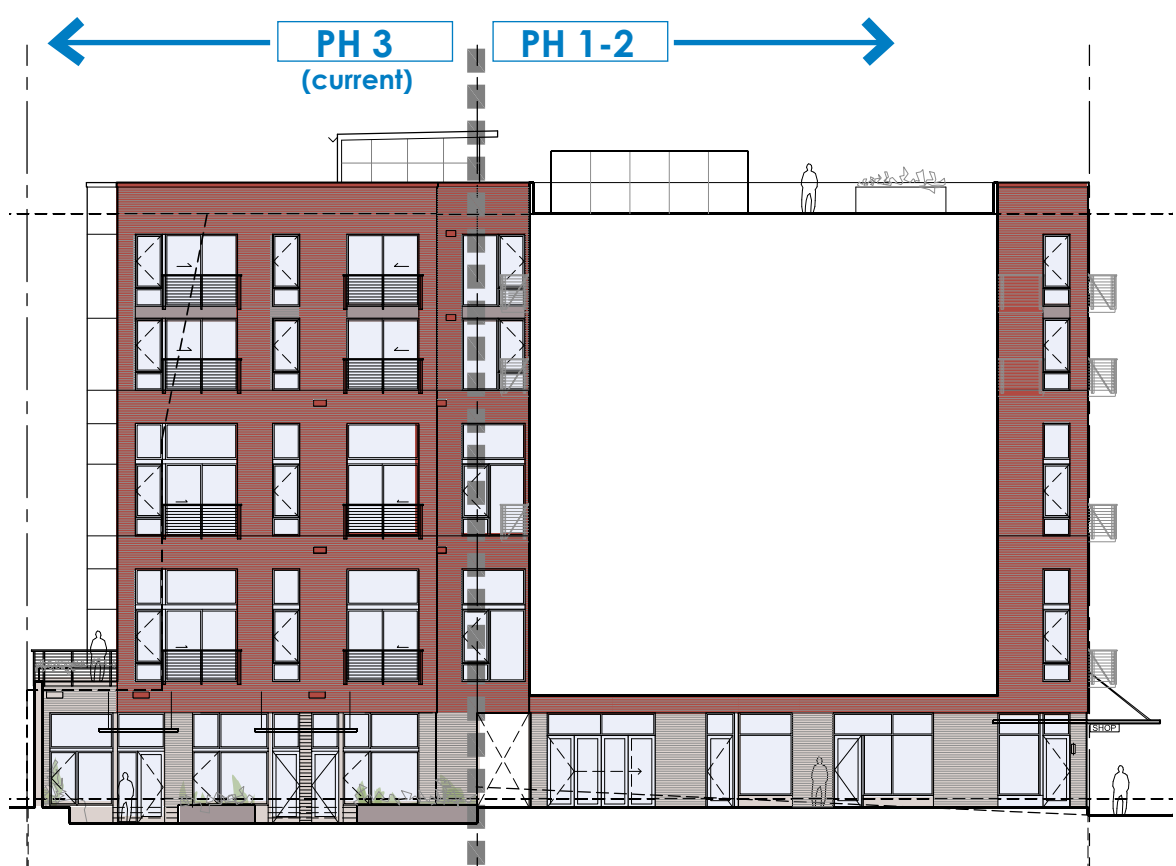


EAST ELEVATION 2

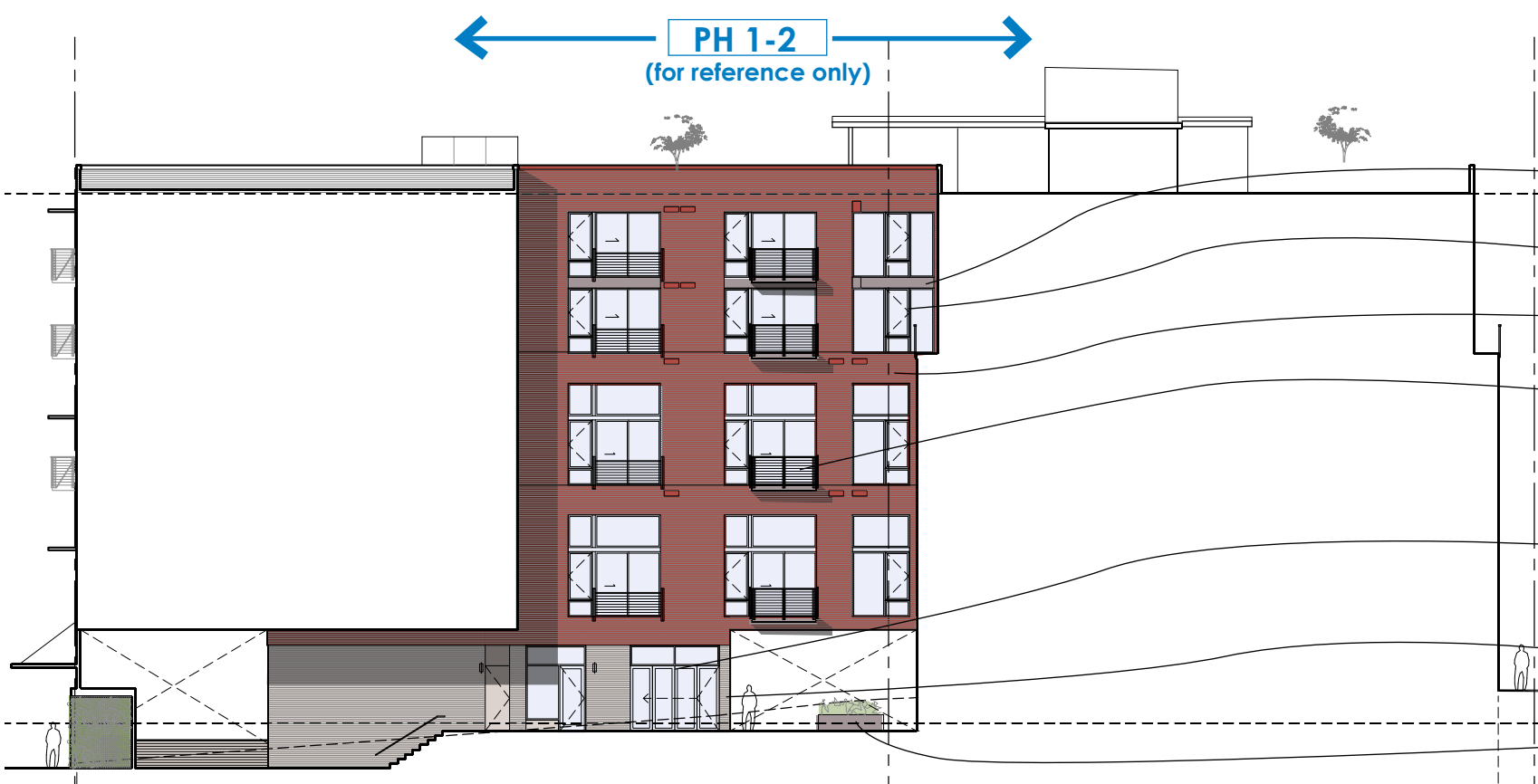


- cement board panel siding
- steel mesh railings
- metal horizontal boxrib siding
- cast-in-place concrete base with boxrib texture
- at-grade landscaping

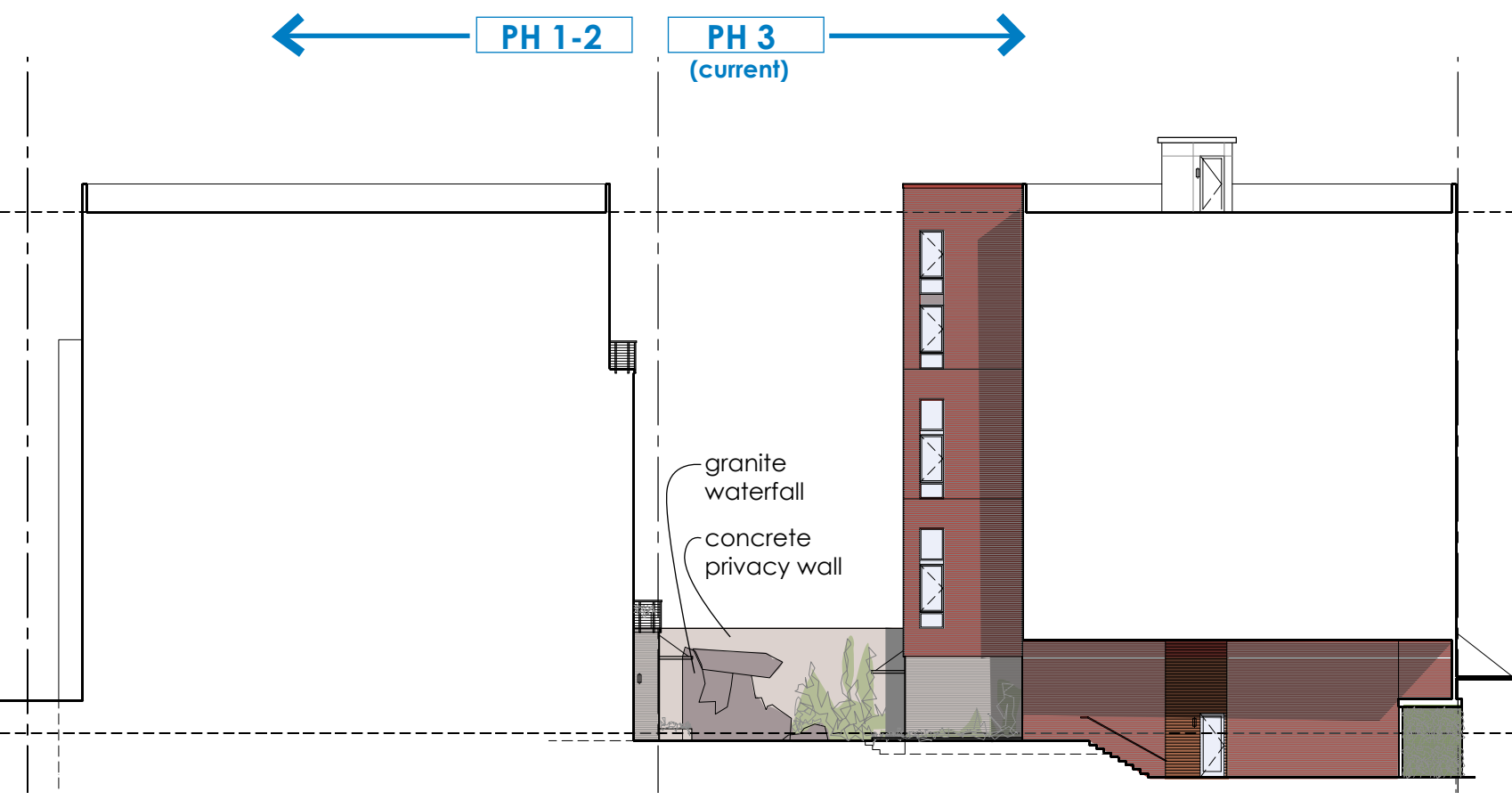
steel mesh-clad concrete sound + privacy wall
bay window angled towards street



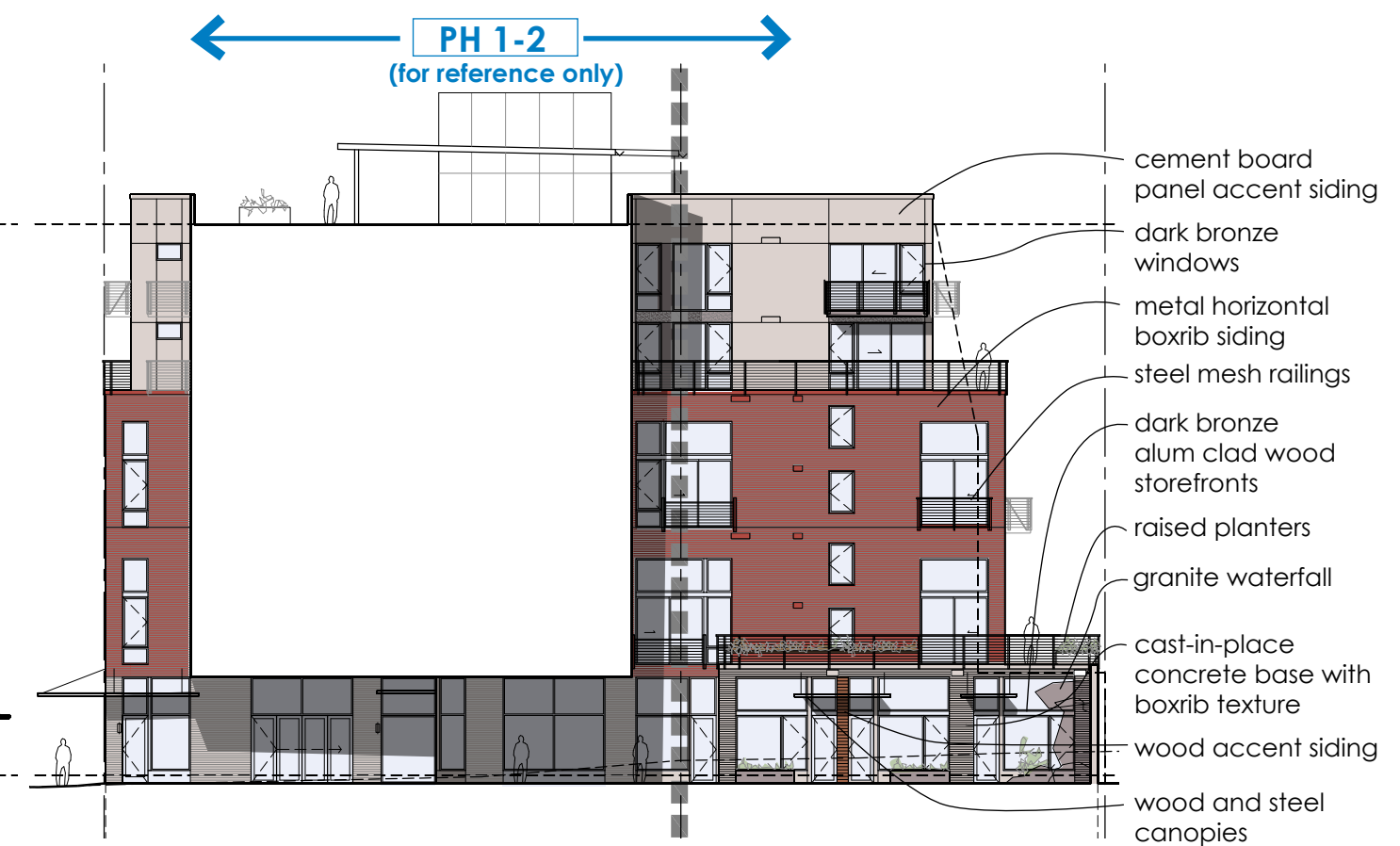
COURTYARD ELEVATION - LOOKING SOUTH 3



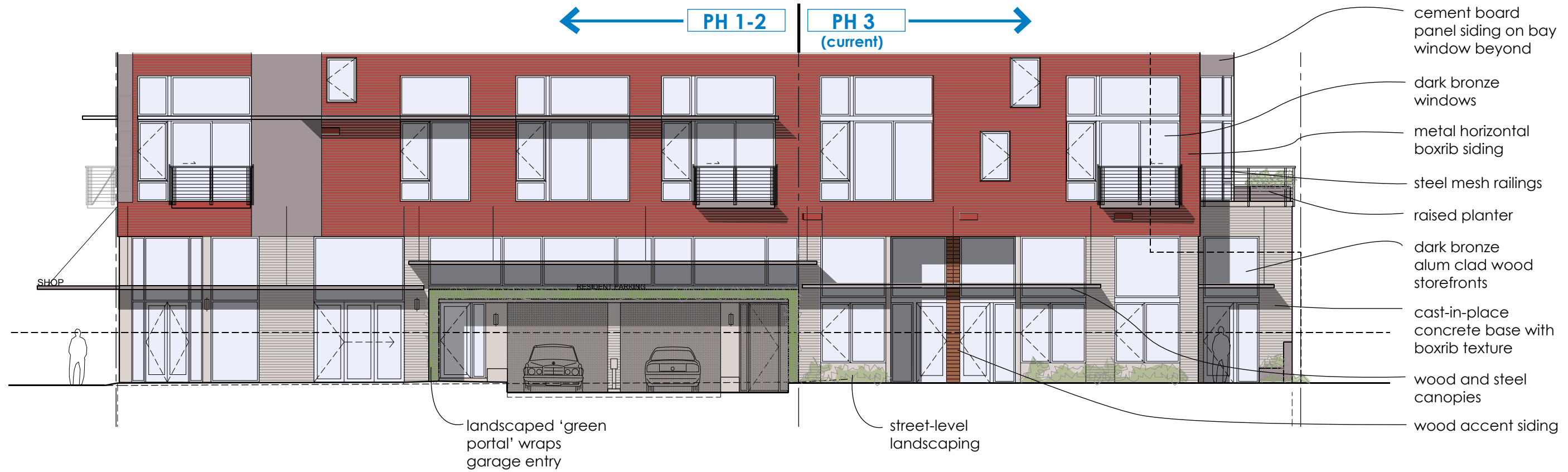
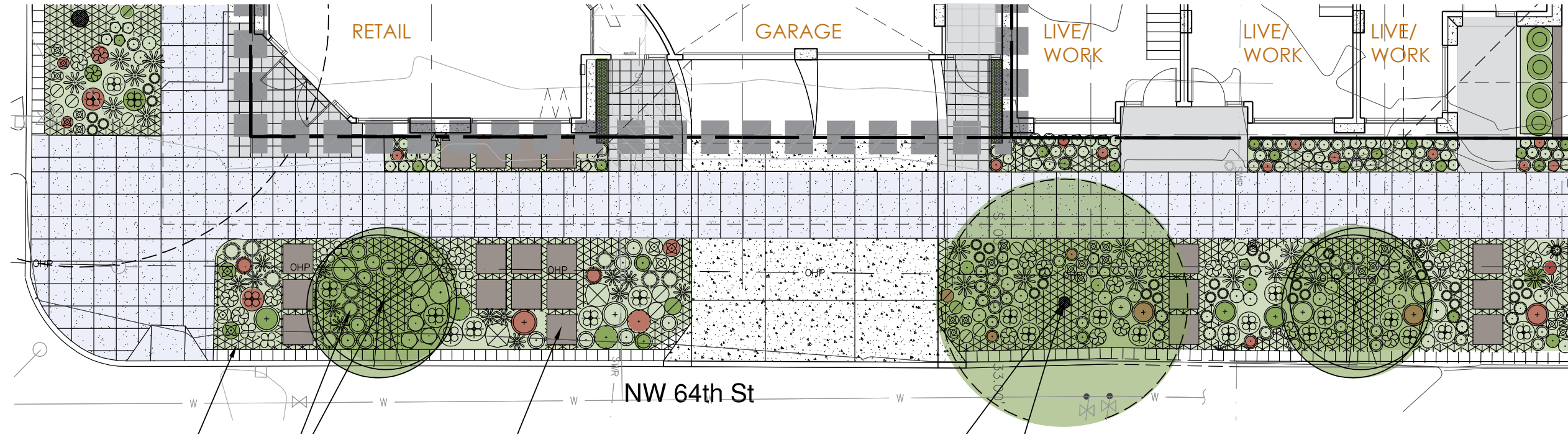
COURTYARD ELEVATION - LOOKING WEST 1

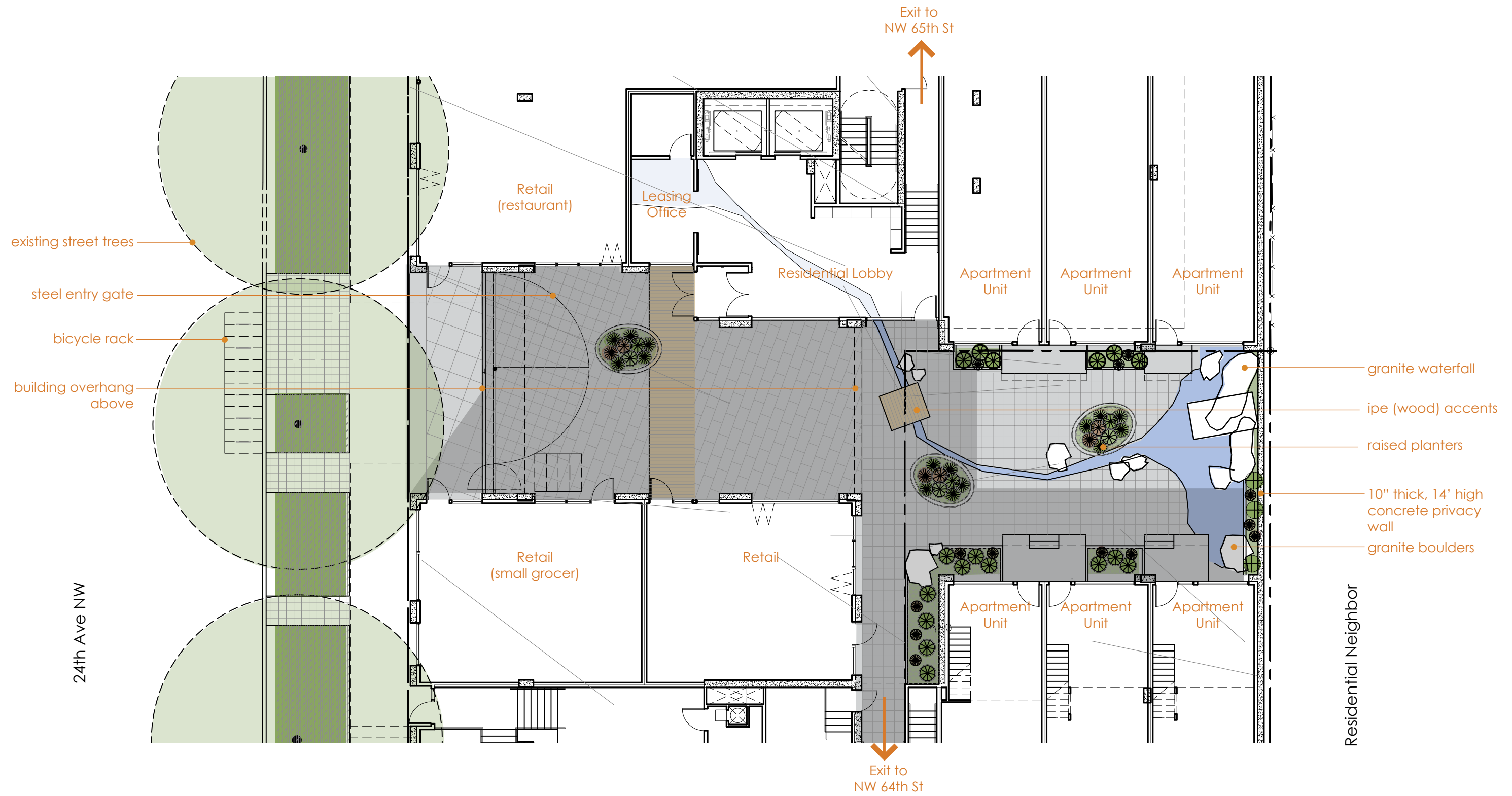


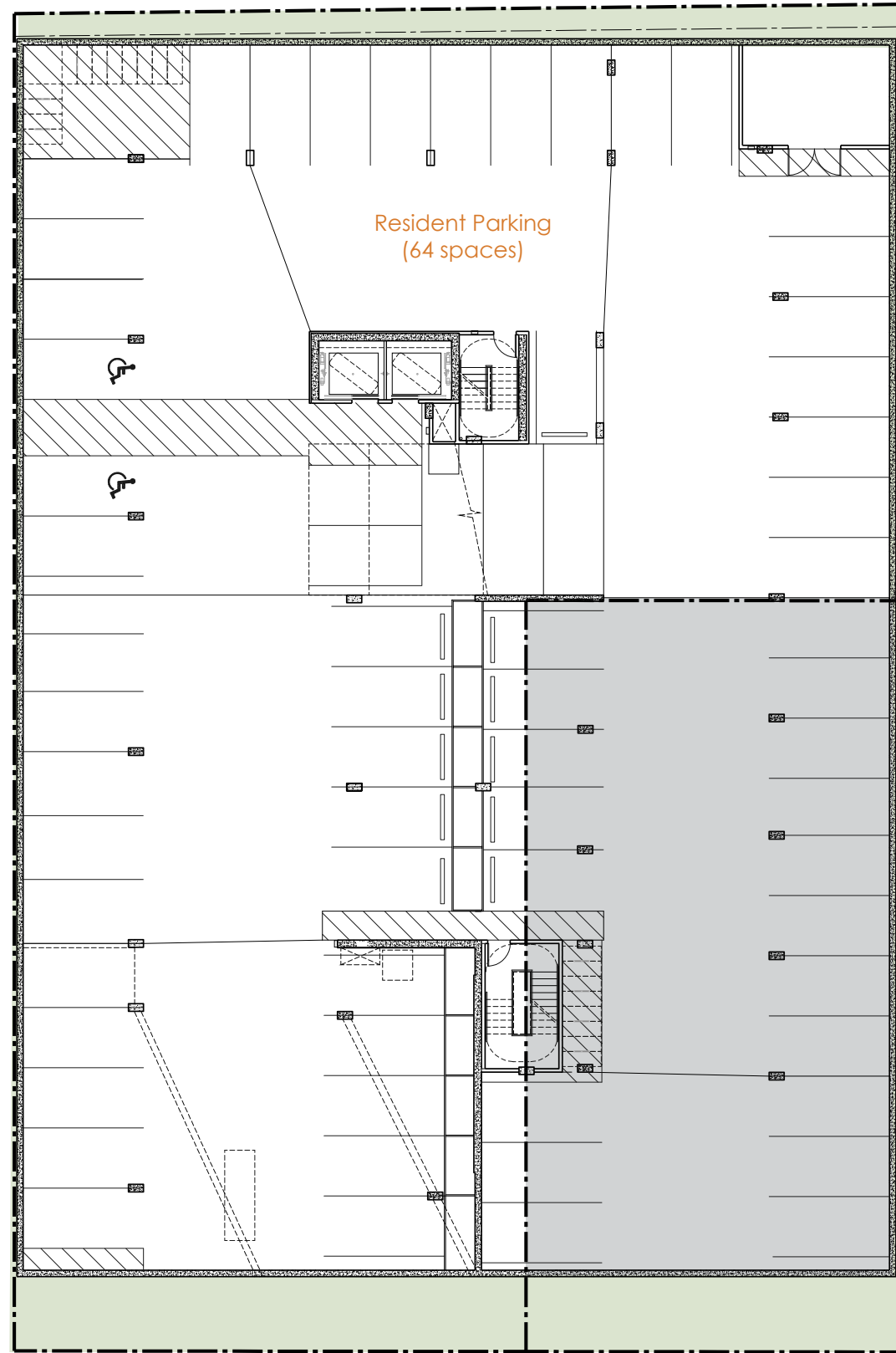
COURTYARD ELEVATION - LOOKING EAST 4



COURTYARD - LOOKING NORTH 2

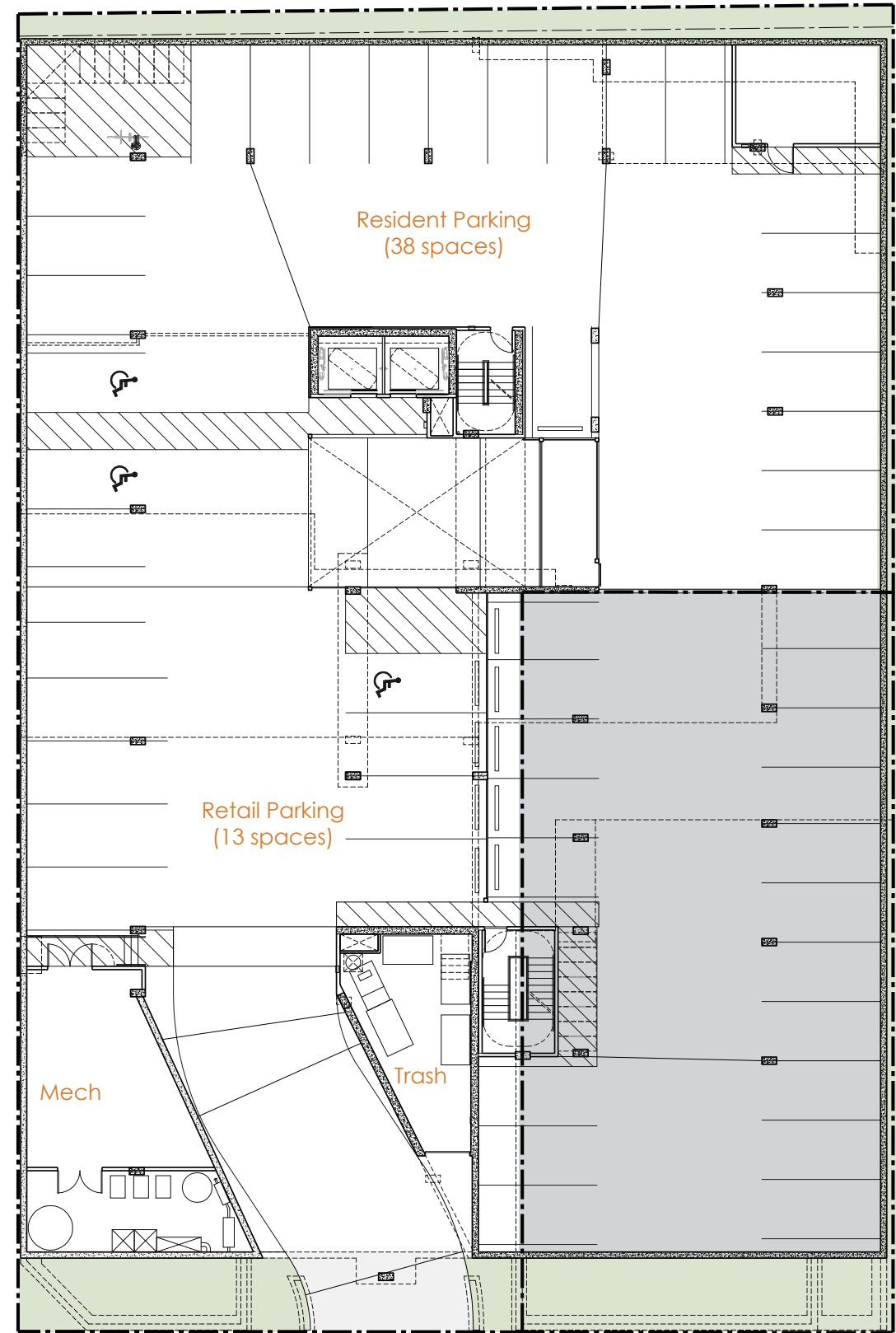






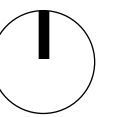
NW 64th St

SUBGRADE GARAGE - 2



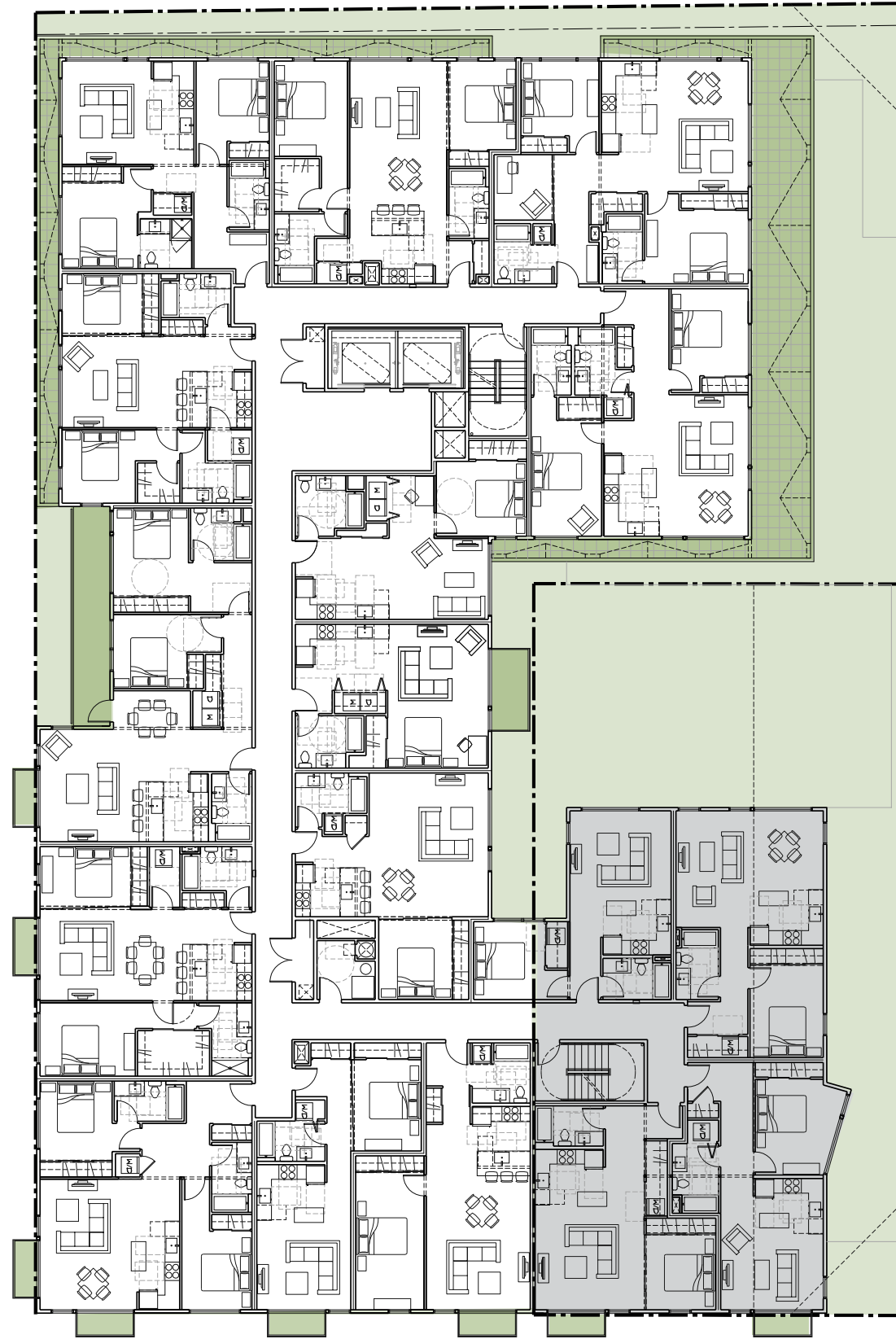
NW 64th St

SUBGRADE GARAGE - 1





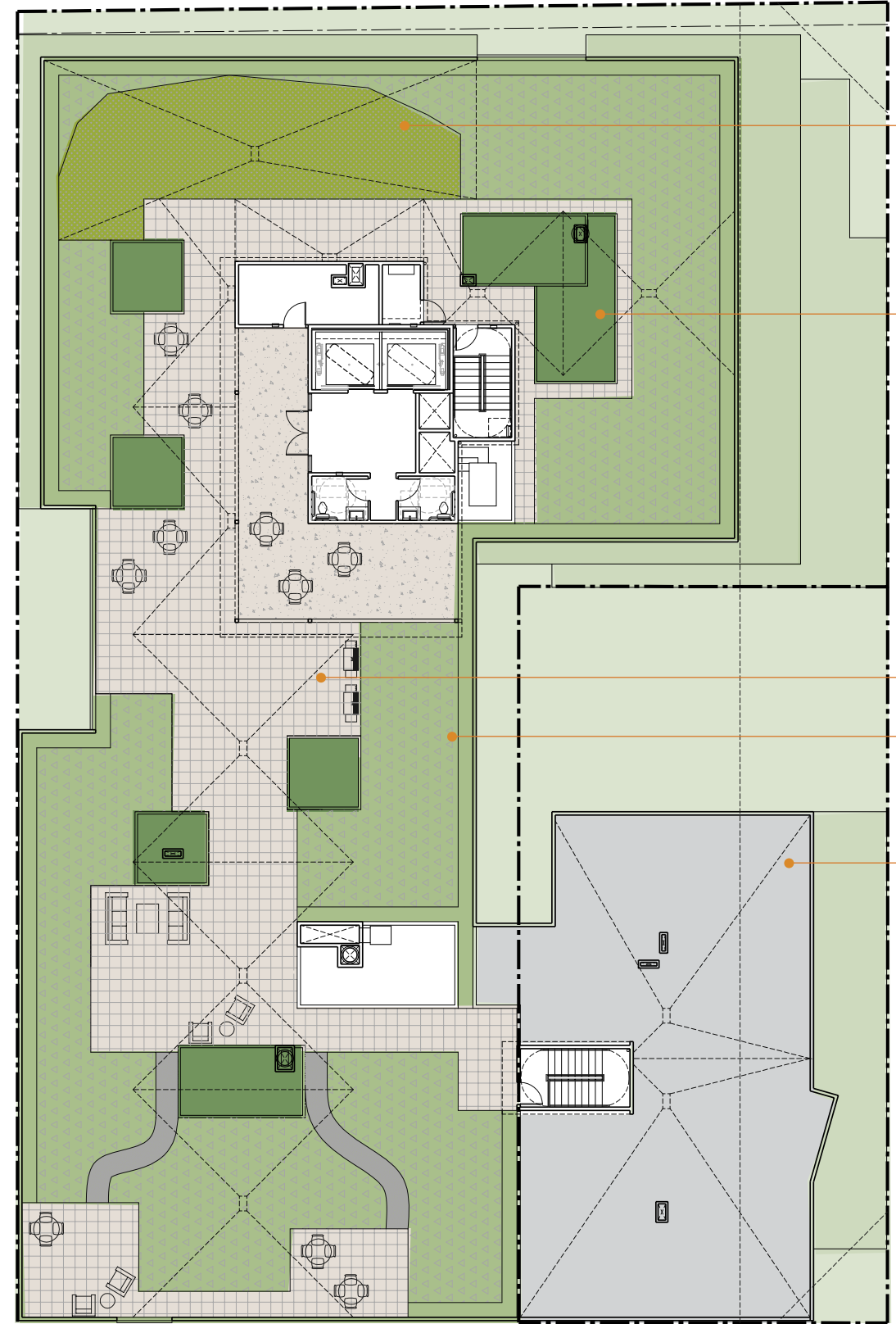
24th Ave NW



NW 64th St

4TH/5TH

24th Ave NW



dog lawn

raised planter

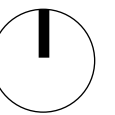
pedestal pavers

green roof

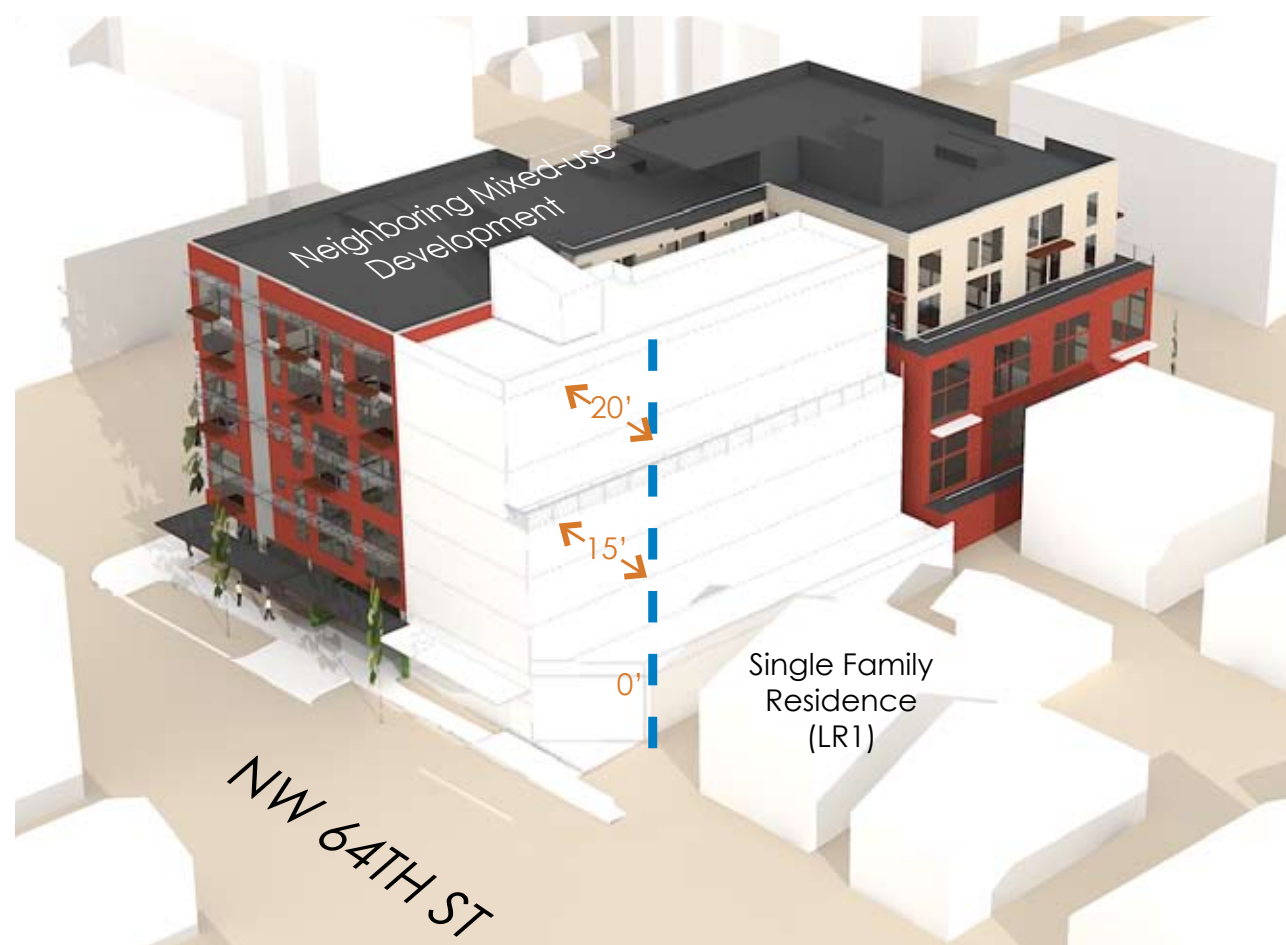
unoccupied roof portion

NW 64th St

ROOF DECK



DEPARTURE	CODE REQUIREMENT	PROPOSED DESIGN	JUSTIFICATION
Side setback at east lot line bordering a residential zone	<p>SMC 23.47A.014 B 3</p> <p>For a structure containing a residential use abutting a side lot line of a residential zone:</p> <ul style="list-style-type: none"> - A 0' setback is required up to 13' height - A 15' setback is required from 13'-40' height - An additional 2' is required for every 10' height above 40' (therefore a 20' setback is required at 65') 	<p>At-grade wall (10 1/2" setback from east lot line) projects a maximum of 3'-11 1/2" above allowable 13' height at the south end of the site</p> <p>A 10'-0 1/2" primary building mass setback at east lot line from 13'-65' height (with additional encroachment by an angled bay window, which is a minimum distance of 6'-8" from the side lot line)</p>	<p>Building mass is broken in two, separated by significant open space (the central courtyard), significantly reducing the height, bulk, and scale of the development and preserving more solar access at the rear yards of adjacent properties (GUIDELINE B-1: Height/Bulk/Scale).</p> <p>The setback departure allows building elongation in the east-west direction, orienting views from residential units north-south (towards interior courtyard and NW 64th St) to enhance privacy for adjacent properties to the east (GUIDELINE A-5: Respect for Adjacent Sites).</p> <p>A concrete sound wall along the east property line (projecting slightly above 13' at the south end) preserves acoustic and visual privacy for adjacent neighbor (GUIDELINE A-5: Respect for Adjacent Sites).</p>



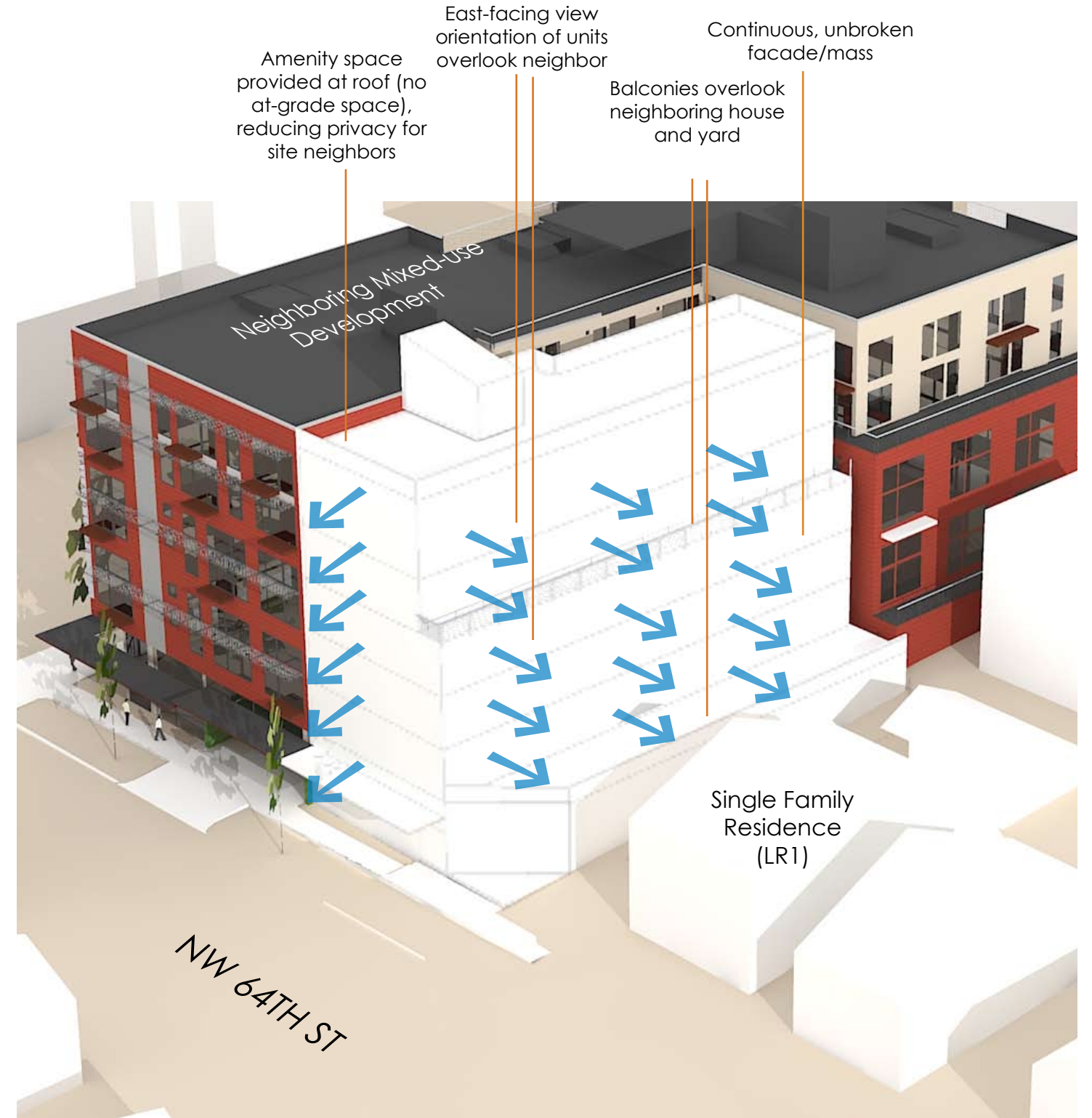
Zoning-complying design



Proposed Design



DEPARTURE REQUEST (proposed design shown)



ZONING-COMPLYING DESIGN

PRIVACY + VIEW ORIENTATION



ZONING-COMPLYING

1pm



3pm



5pm



PROPOSED DESIGN

1pm

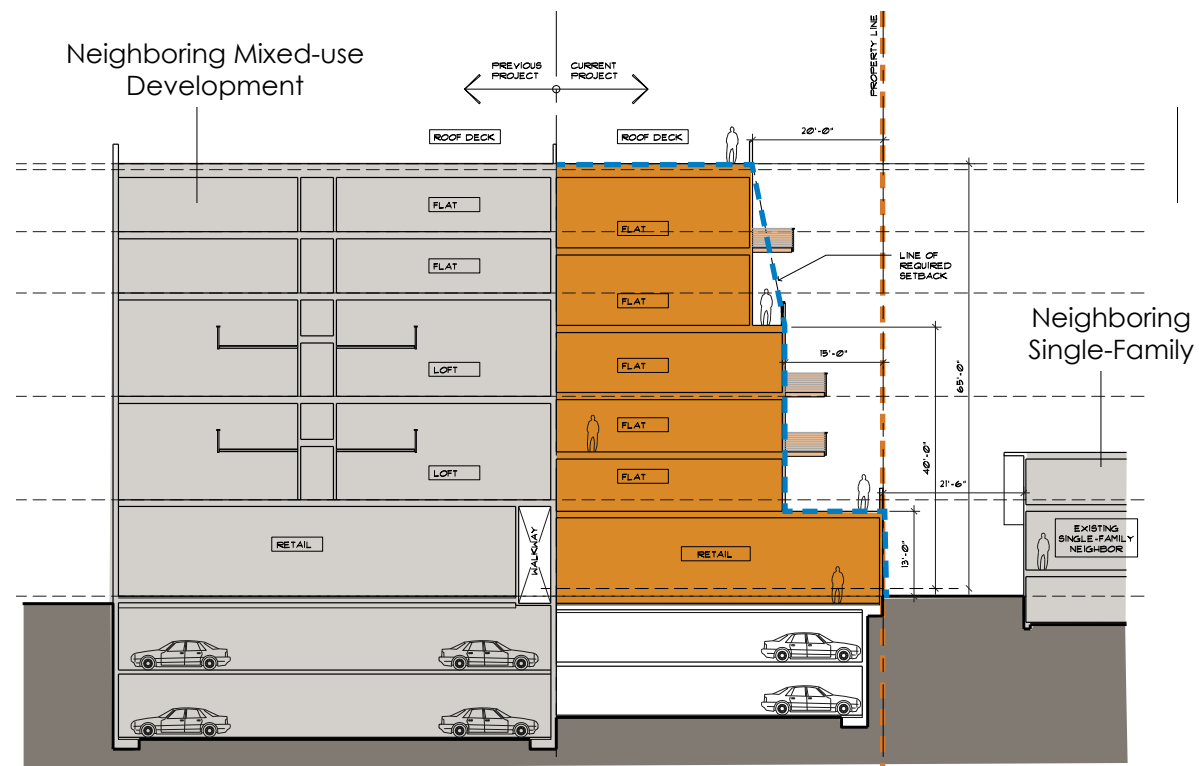


3pm

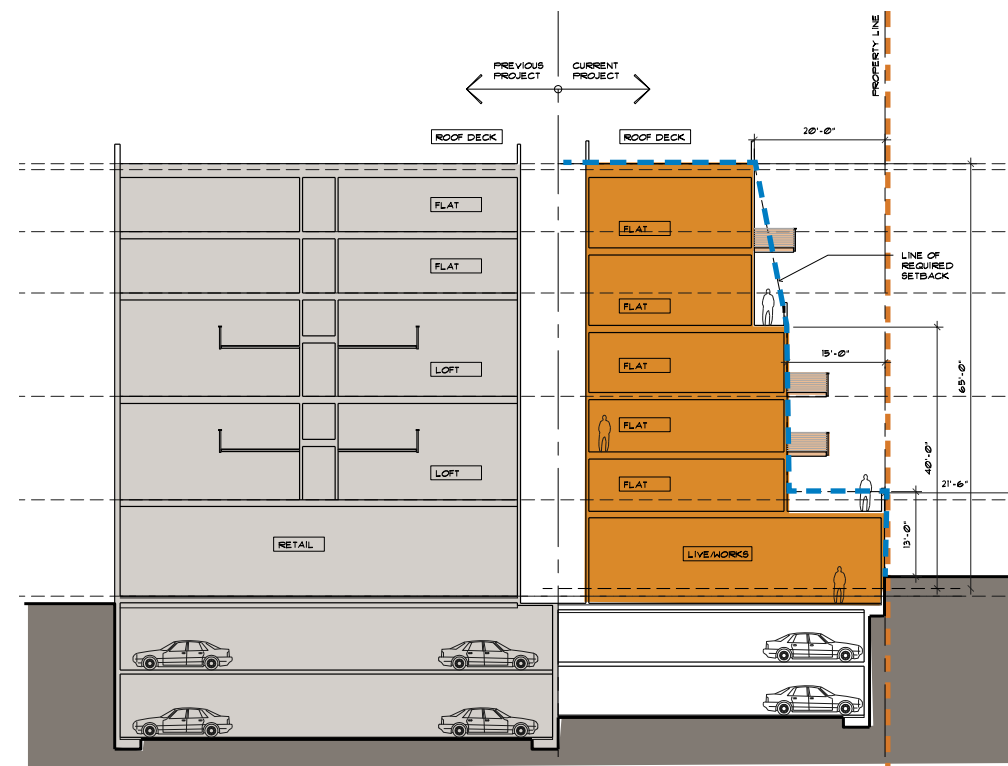


5pm

SOLAR STUDIES | Afternoon Sun (Spring/Fall shown)

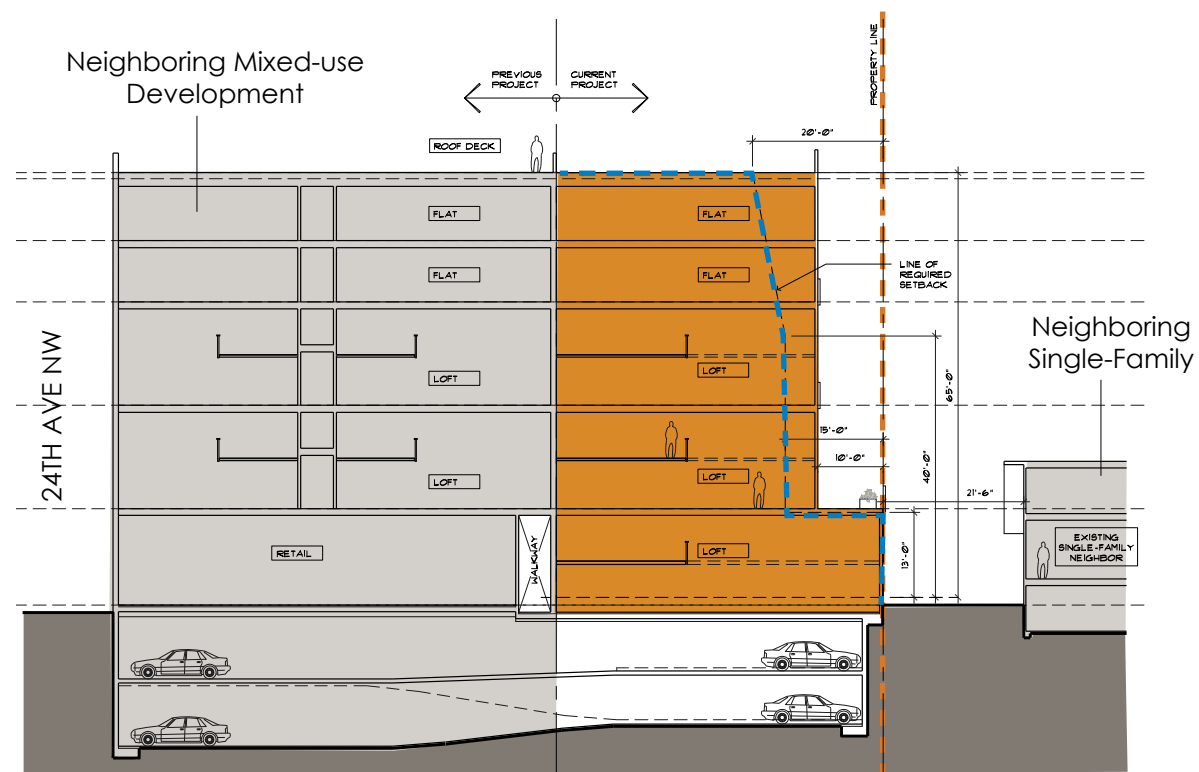


East-West Section through south end

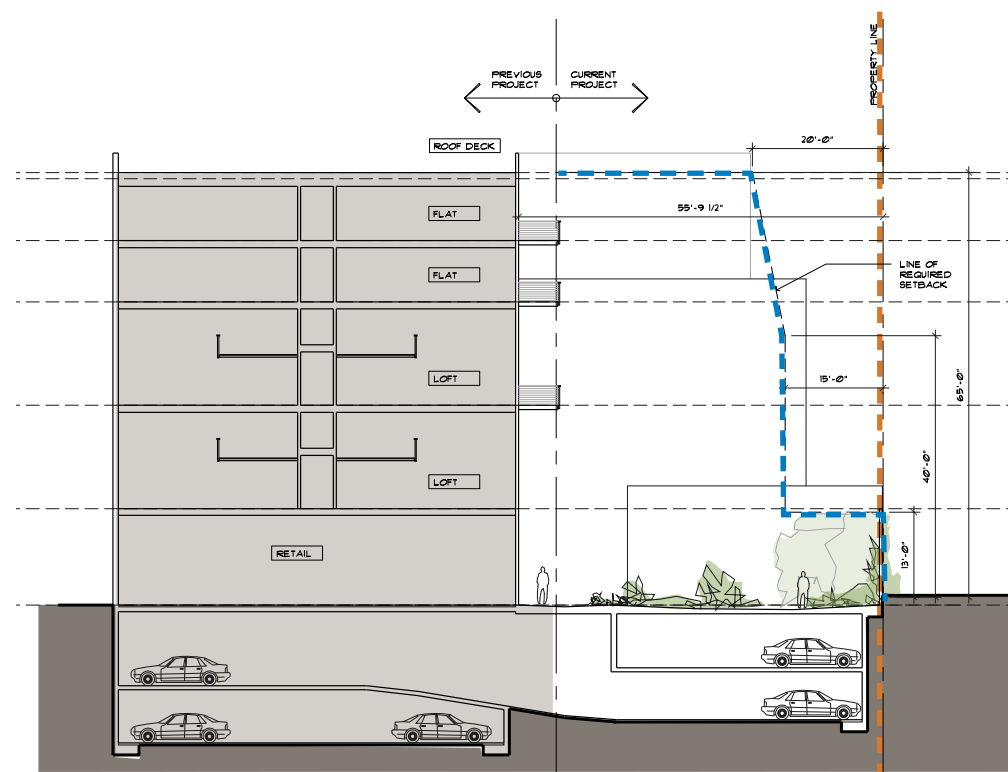


East-West Section through mid site

ZONING-COMPLYING DESIGN

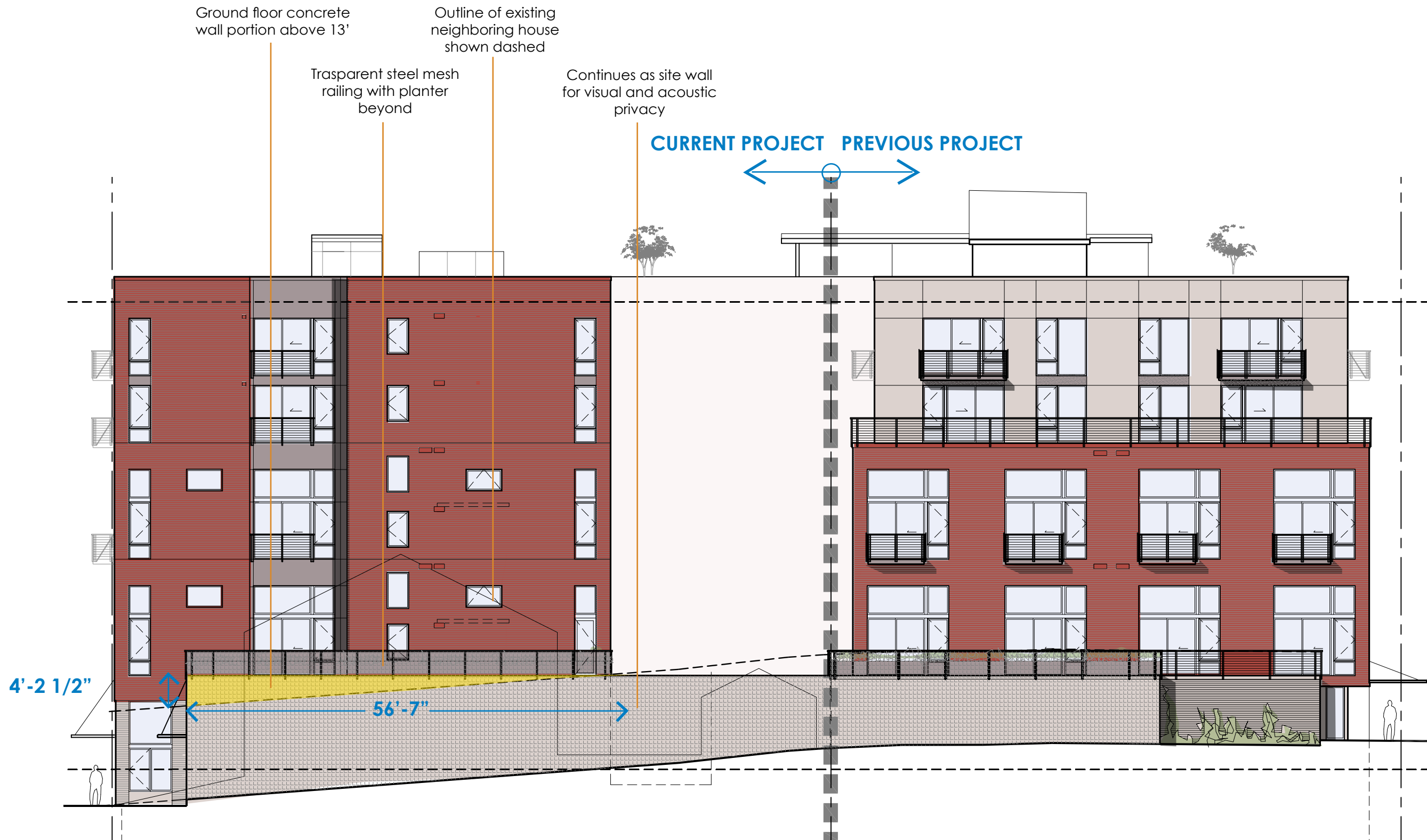


East-West Section through south end



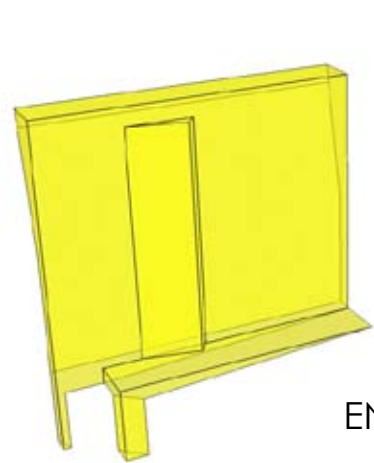
East-West Section through mid site

PROPOSED DESIGN

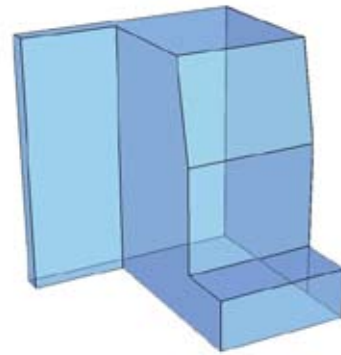


DEPARTURE REQUEST: Site Wall along East Property Line above 13' height (East Elevation shown)

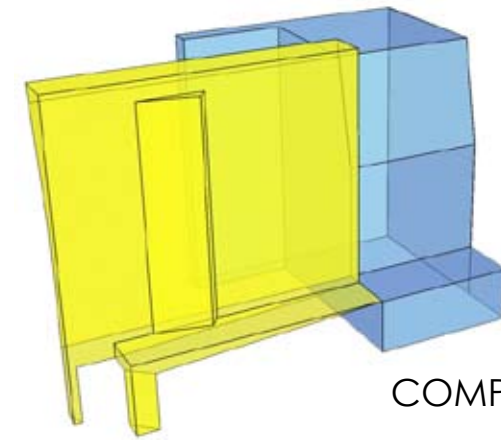
BALANCE: Development rights forfeited at the center of the project site compared to encroachment area: area of encroachment represents 4,647 sf LESS floor area than forfeited area would provide



ENCROACHMENT



FORFEIT



COMPARISON

MITIGATION: Masonry sound wall along east property line; 2nd floor deck becomes a platform for guiding views away from neighbors with placement of raised planters

DEPARTURE	CODE REQUIREMENT	PROPOSED DESIGN	JUSTIFICATION
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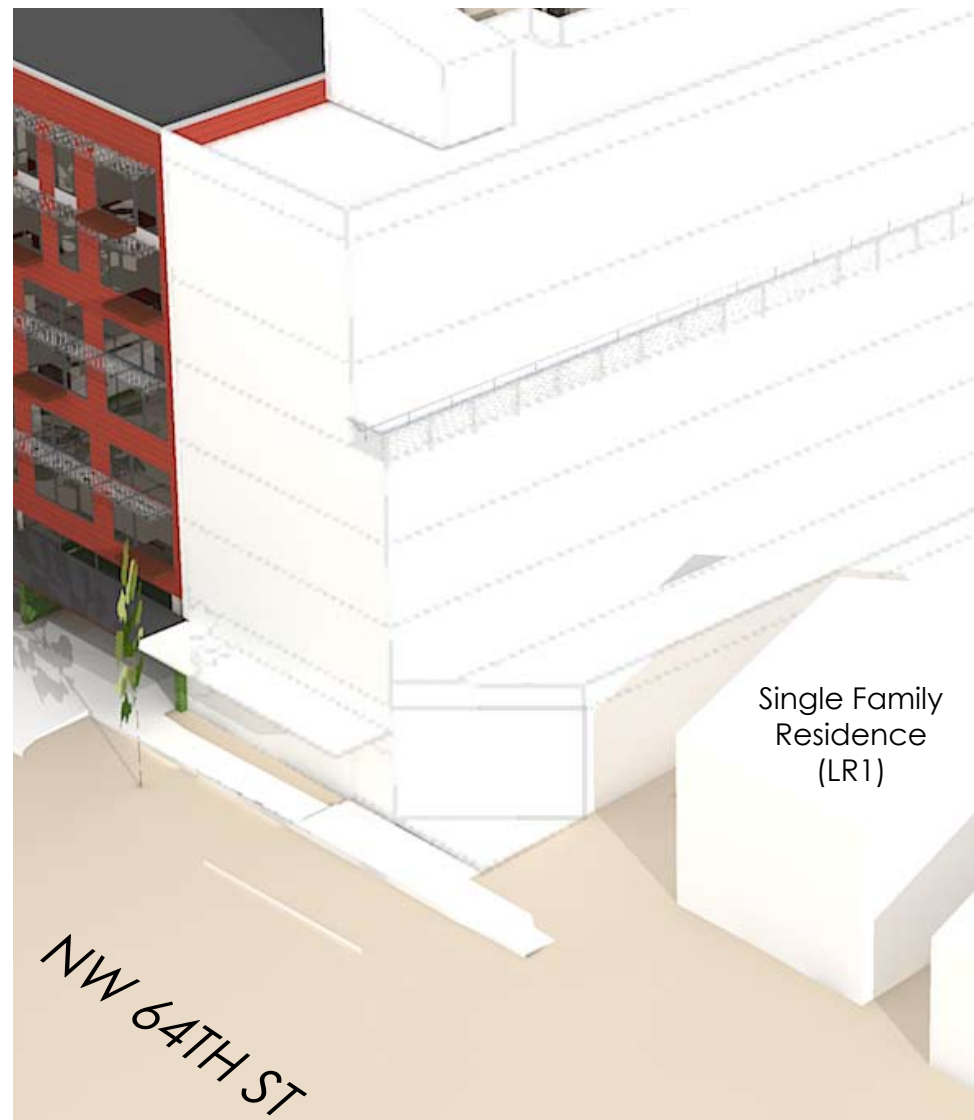
Triangular setback @ SE site corner bordering residential zone

SMC 23.47A.014 B 1
 A 15' triangular setback at the intersection of side and front lot lines abutting a residential zone (southeast site corner)

A 10' x 10' square setback at the SE corner

Rectangular massing is more in keeping with neighboring architecture than an angled corner (GUIDELINE C-1: Architectural Context and C-2: Architectural Concept/Consistency).

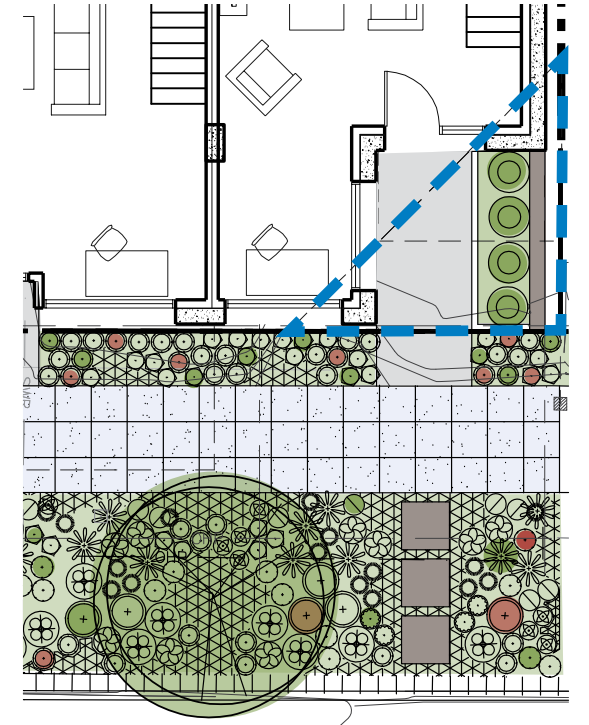
 A 10' setback allows the main entrance of the live-work unit at the southeast corner to be 10' from the property line, enhancing sidewalk activity along NW 64th St (GUIDELINE A-3: Entrances Visible from the Street and A-4: Human Activity)



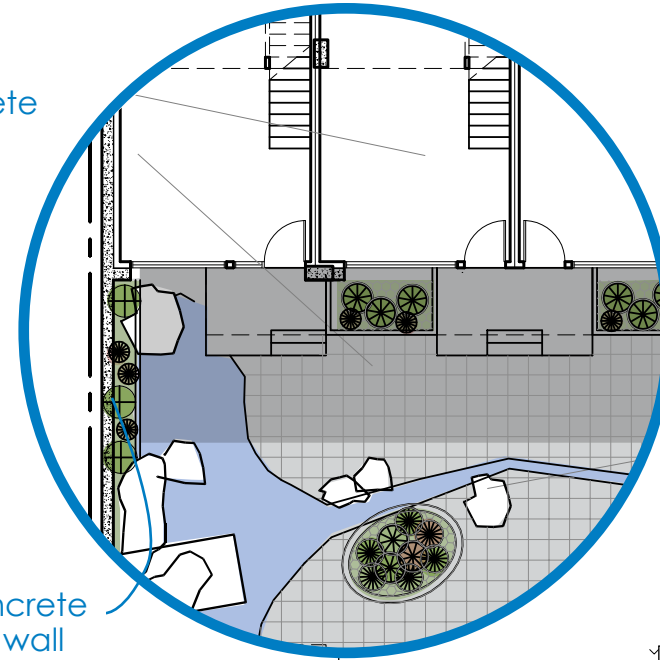
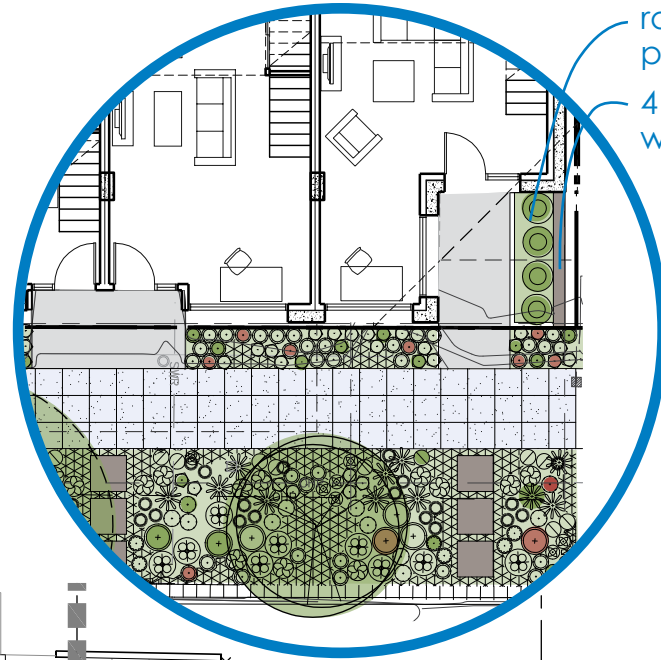
Zoning-complying design



Proposed Design



DEPARTURE	CODE REQUIREMENT	PROPOSED DESIGN	JUSTIFICATION
Fenestration adjacent to a residential lot line	SMC 23.47A.014 B 5 No entrance, window, or other opening permitted within 5' of a lot line abutting a residential zone	Window 4'-1 1/2" from east lot line at the south (NW 64th St) elevation Window 2'-6 1/2" from east lot line at courtyard-facing elevation	Allows ample fenestration at sidewalk and courtyard (GUIDELINE A-4: Human Activity); potential noise and visual privacy concerns are mitigated by a concrete sound wall and large water feature at the east edge of the courtyard (GUIDELINE A-5: Respect for Adjacent Sites)



South (NW 64th St) Elevation



Interior Courtyard Elevation - Looking South

DEPARTURE	CODE REQUIREMENT	PROPOSED DESIGN	JUSTIFICATION
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Mezzanine loft encroachment into required 13' nonresidential floor-to-floor height at live-work units

SMC 23.47A.008 B 3 b
13' min floor-to-floor height for street-facing commercial uses for an average depth of 30' and a minimum depth of 15'

13' min floor-to-floor height for all retail commercial, except at live-work units along NW 64th St, which have a 18'-1" overall floor-to-floor height with a sleeping loft/mezzanine at the rear of the unit (behind the business portion). Although the total depth of the live-works units exceeds the 30' required average, the full-height area between the mezzanine and the street is 17.38' average depth

Tall windows and full-height spaces are provided at the front (business portion) of the live-work units, so units appear full-height at the street. Sleeping lofts afford some privacy to the residential portion of the live-work units, create a quieter presence, and reduce the scale on the more residentially-oriented NW 64th St (GUIDELINE A-2: Streetscape Compatibility and A-4: Human Activity)

To achieve conforming full-height depth, the structure would need to be elongated in the north-south direction to create deeper live-work units, which would reduce the width of the courtyard and compromise the reduction of height/bulk scale at the center of the site (GUIDELINE A-5: Respect for Adjacent Sites and A-7: Residential Open Space)



Sketch showing full-height front space (adjacent to sidewalk) with loft at rear



South (NW 64th St) Elevation showing Live/Work Units



Plan View showing Ground Floor along NW 64th St