



2248 NW 64th St
Early Design Guidance
24 June 2013
DPD Project #3015253



SITE AREA: 4,999sf (approximately 100' deep x 50' wide)

ZONING: NC1-65 w/ Ballard Hub Urban Village Overlay

PROJECT DESCRIPTION:

Proposal for a new mixed-use project between 4 and 6 stories above grade over subgrade parking garage, with ground floor street-facing retail or live/work units. A significant opportunity exists to tie the current project to a neighboring 5-story mixed-use project to the north and west (under previous permit), which includes a large entry courtyard off 24th Ave NW, setback along the east property line, and parking garage access off NW 64th St. Current development objectives vary by scheme, but include:

- 20-26 residential apartment units
- 4,650sf retail OR 2 live/work units at ground floor facing NW 64th St
- 22-40 onsite parking stalls in subgrade garage

SUMMARY OF DEVELOPMENT STANDARDS:

Height limit: 65'

(SMC 23.47A.012)

Parking: 1 stall per residential unit

1 stall per live/work unit

(SMC 23.54.015)

FAR: 4.75 (mixed-use)

$4,999 \times 4.75 = 23,745\text{sf}$

or

4.25 (residential-only)

$4,999 \times 4.25 = 21,096\text{sf}$

(SMC 23.47A.013)

Setbacks: 15' triangular setback at SE corner abutting neighboring residential

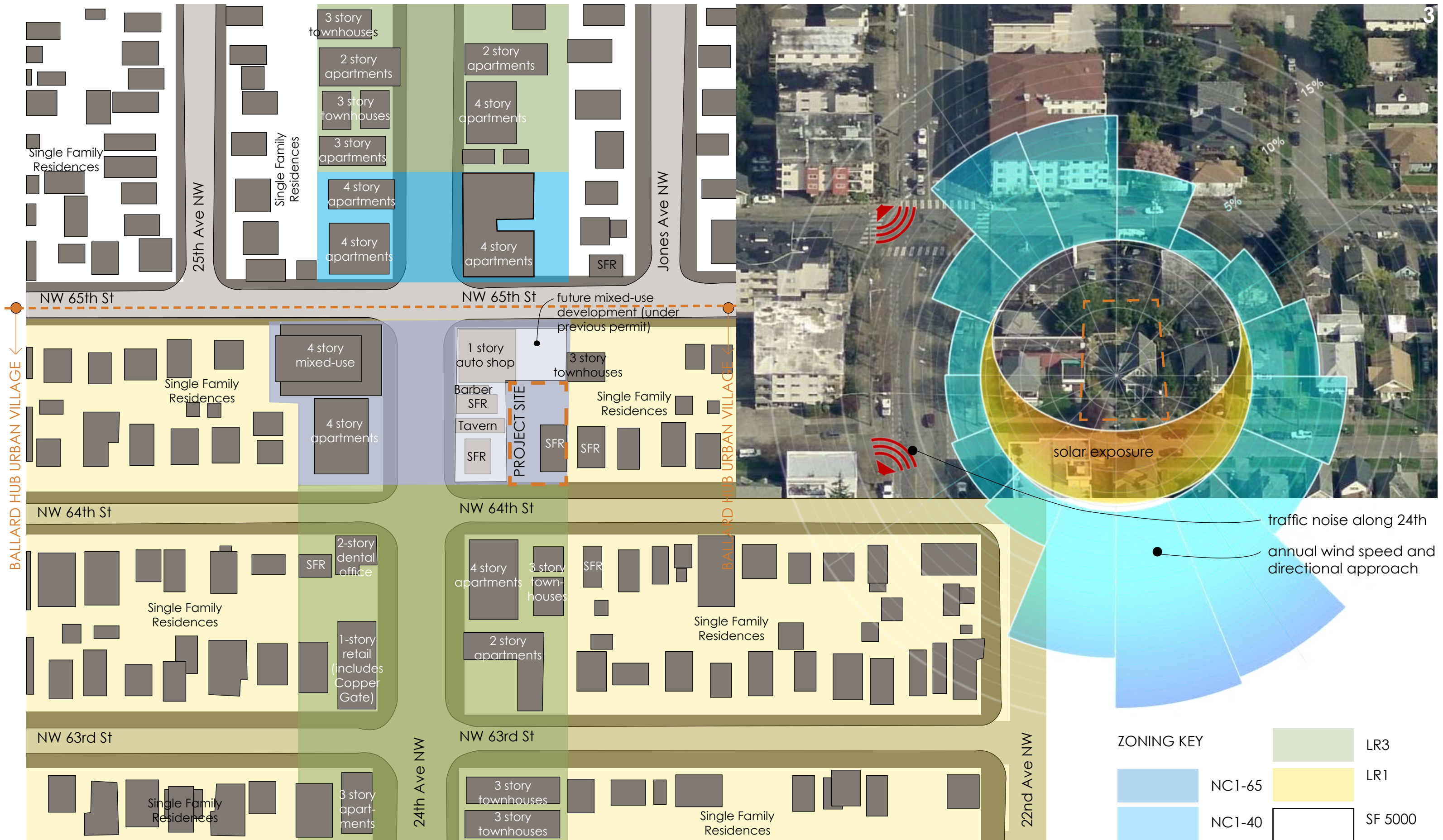
15' setback above 13' from east lot line abutting neighboring residential

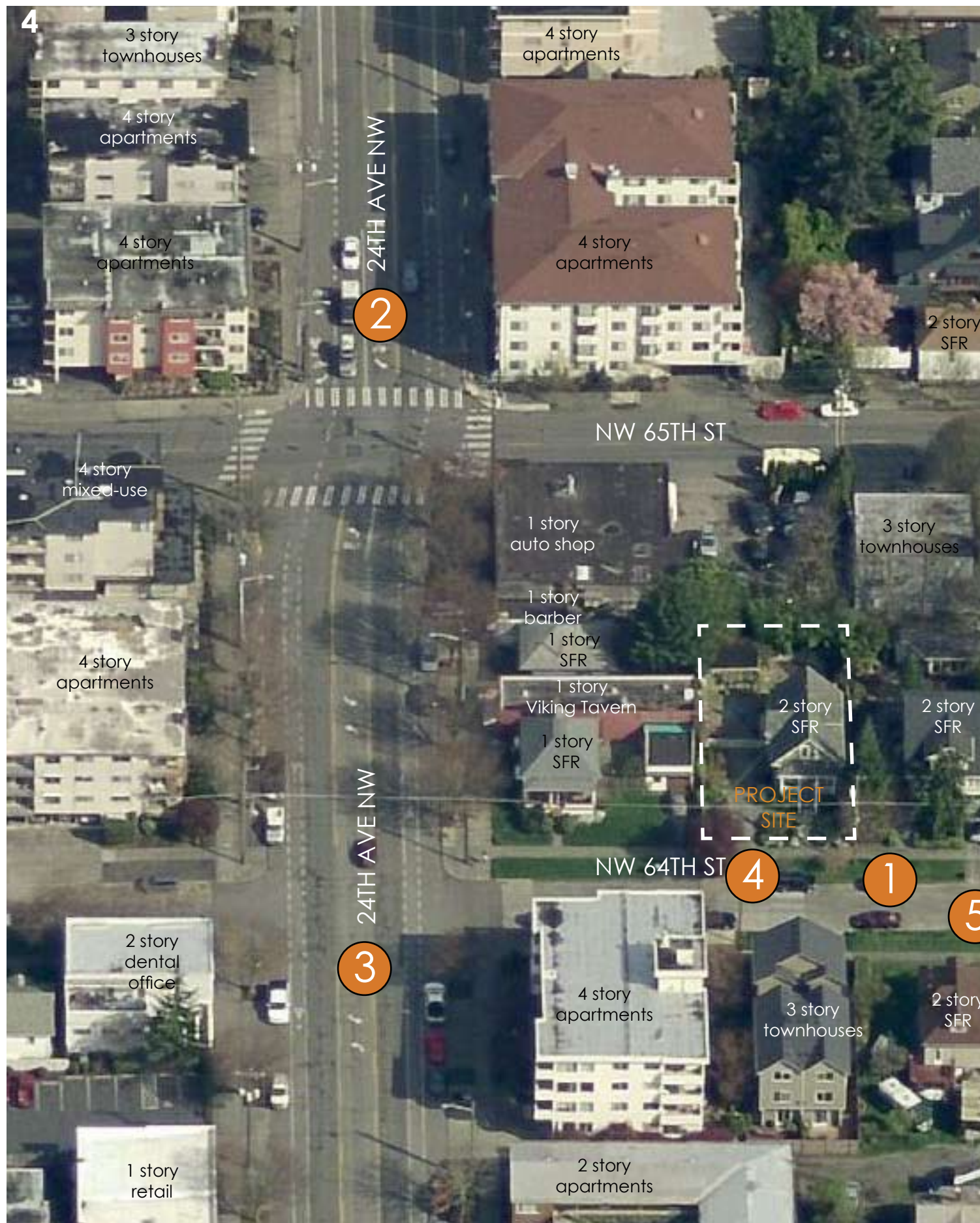
+ additional 2' for every 10' above 40' from east lot line abutting neighboring residential zone

(SMC 23.47A.014)

Live/Works: When a live/work unit is located along the street-level, street-facing facade, the business portion of the unit shall be between the street and residential portion of the unit

(SMC 23.47A.008)





1 NW 64th St, looking N @ project site



Neighboring SFRs to east



2 24th Ave NW north of project site, looking NE



3 24th Ave west of site, looking SW



4 NW 64th St, looking S from project site



5 NW 64th St east of site, looking W towards 24th



1 Single family homes on and E of site



2 townhouses S of site across 64th



3 apartments SW of site across 64th



4 offices SW of site on 24th



5 apartments W of site on 24th



6 mixed-use NW of site on 24th



7 apartments NW of site on 24th



8 apartments NW of site on 24th

JA



SOUTH ELEVATION - NW 64TH ST 3

WEST ELEVATION - 24TH AVE NW 1



NORTH ELEVATION 4



EAST ELEVATION 2





Street-level landscaping and mature street trees



Varied and eclectic small storefronts



Well-tended Craftsman homes exhibiting a variety of colors + textures



Proximity to transit and bicycle lane network



Large pedestrian-oriented storefront windows; durable building materials



Historic handcrafted elements

A

SITE PLANNING

> A-1: Responding to Site Characteristics

Massing pulled towards street frontage; neighboring project to the west has facade set-back with windows; single-family neighbor to east

> A-4: Human Activity: encourages activity on the street

Continue streetscape and awnings from development to west, but respect transition to quieter residential street to east with less intensive uses

> A-8: Parking and Access: minimize neighborhood impact and maximize safety

Minimize number and width of curbcuts, provide adequate on-site parking

B

HEIGHT/BULK/SCALE

> B-1: Compatibility: compatible with development anticipated for the surrounding area

Respect transition between NC1-65 zoning and lowrise zoning to the east

ARCHITECTURAL ELEMENTS AND MATERIALS

C

> C-2: Architectural Concept and Compatibility

Complement patterns, textures, materiality of adjacent development

> C-3: Human Scale

Weather protection, signage, street-level landscaping

D

PEDESTRIAN ENVIRONMENT

> D-6: Screening of Dumpsters

> D-7: Personal Safety and Security

Controlled access to site grounds, ample site lighting, windows looking onto courtyard and sidewalk areas

> D-11: Commercial Transparency

Visual connection to first floor interior; minimize blank walls

E

LANDSCAPING

> E-3: Landscape Design to Address Special Site Conditions

Landscaping provided at sidewalk edge, large courtyard, tie to neighboring east courtyard "muse" space



10 Overview

- 6-story massing; 65' height
- 2-way garage entry/exit off 64th
- 20 apartment units and 4,650sf ground floor retail
- 24-40 parking spaces in subgrade garage
- FAR shown: 22,607sf (limit is 23,745sf for mixed-use)
 - 1st: 6,120 sf (includes loft mezzanine)
 - 2-4: 3,497 sf
 - 5-6: 2,998 sf

Opportunities

- maximizes zoning development potential
- acts as a stand-alone development with separate garage
- no development departures required

Challenges

- east “muse” courtyard of previous project minimized in width; would affect previous project's east-facing apartment units
- 1st floor has limited fenestration opportunity



Overview

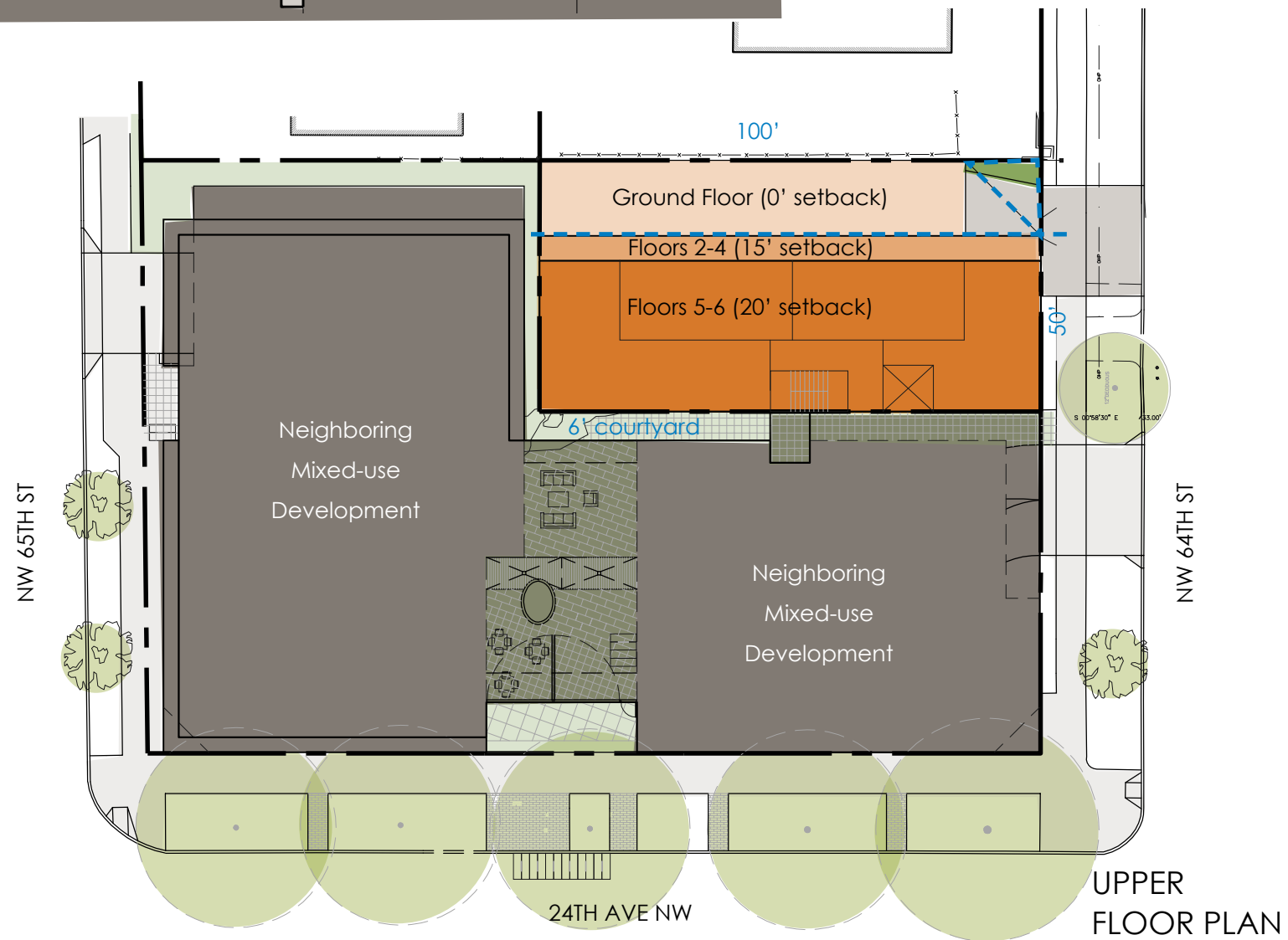
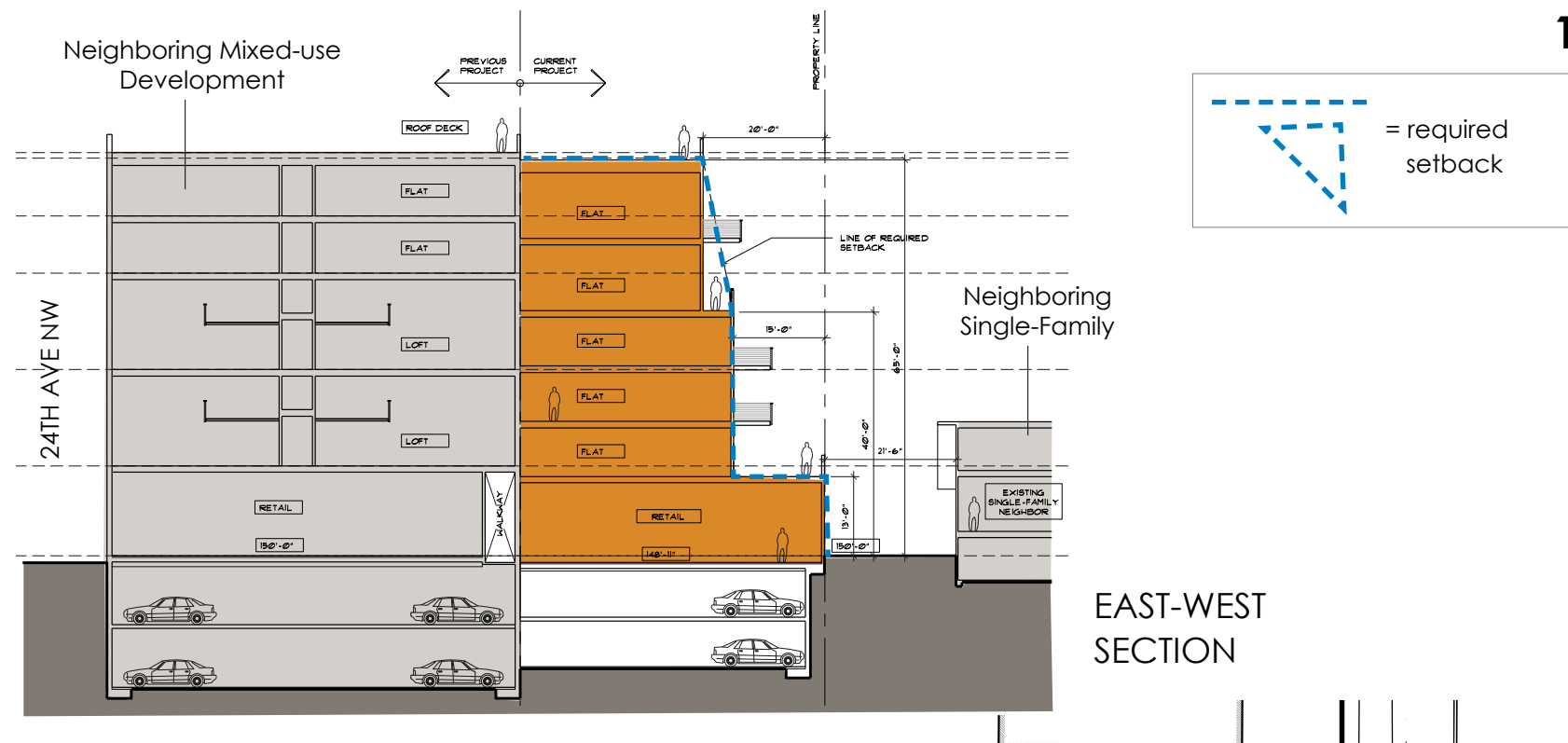
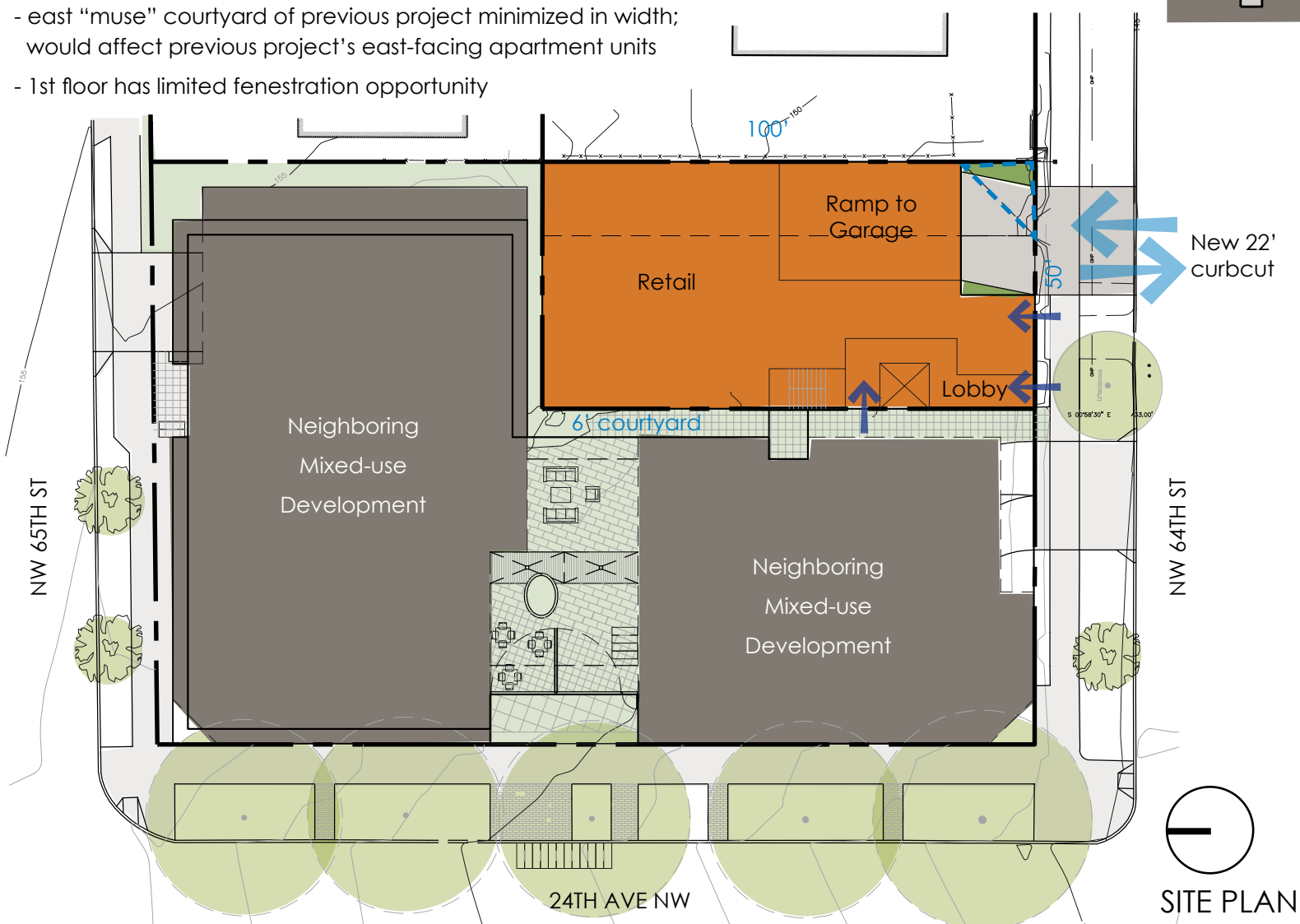
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12 Overview

- 6-story massing; 65' height
- shared garage entry with development to west
- 26 apartment units + 2 live-work units
- 28-40 parking spaces in subgrade garage
- FAR shown: 21,263sf (limit is 23,745sf for mixed-use)
 - 1st: 5,275 sf (includes loft mezzanine)
 - 2-4: 3,394 sf
 - 5-6: 2,903 sf

Opportunities

- allows fenestration at ground floor east-facing units
- maintains east courtyard leg/setback of previous neighboring project
- shares curbcut with neighboring development
- no development departures required

Challenges

- FAR development target not acheived
- walk-up entries to east-facing units along east prop line



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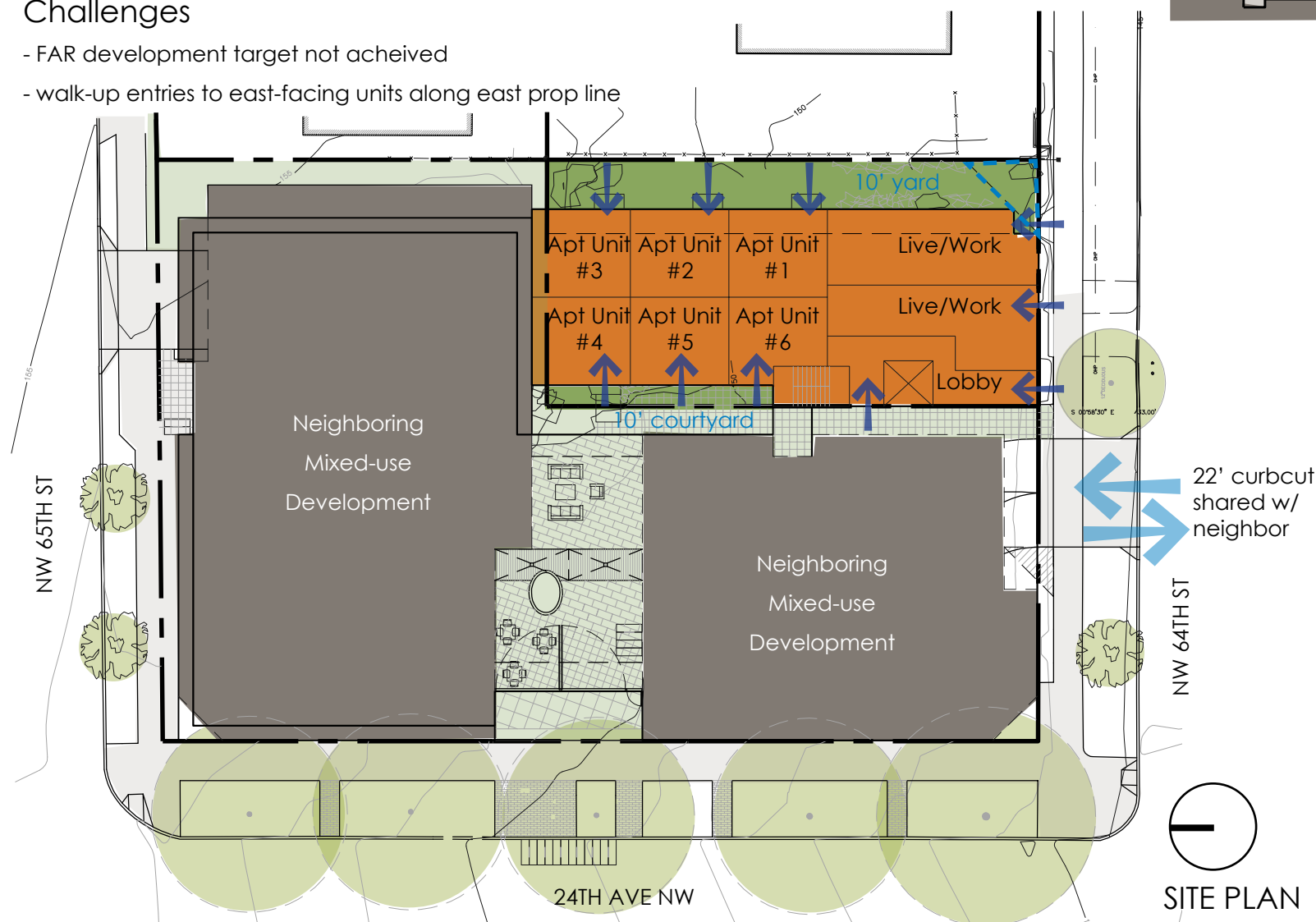
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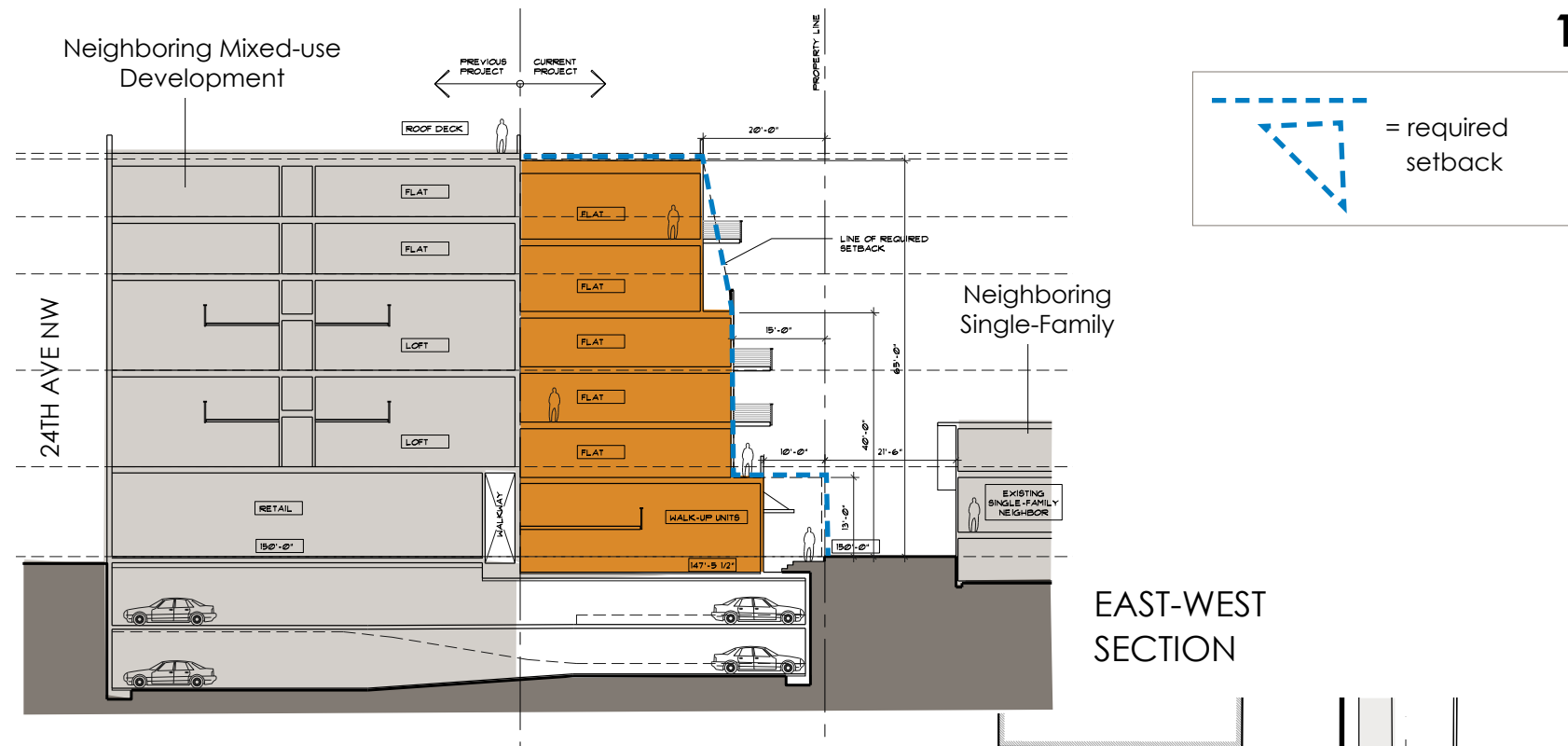
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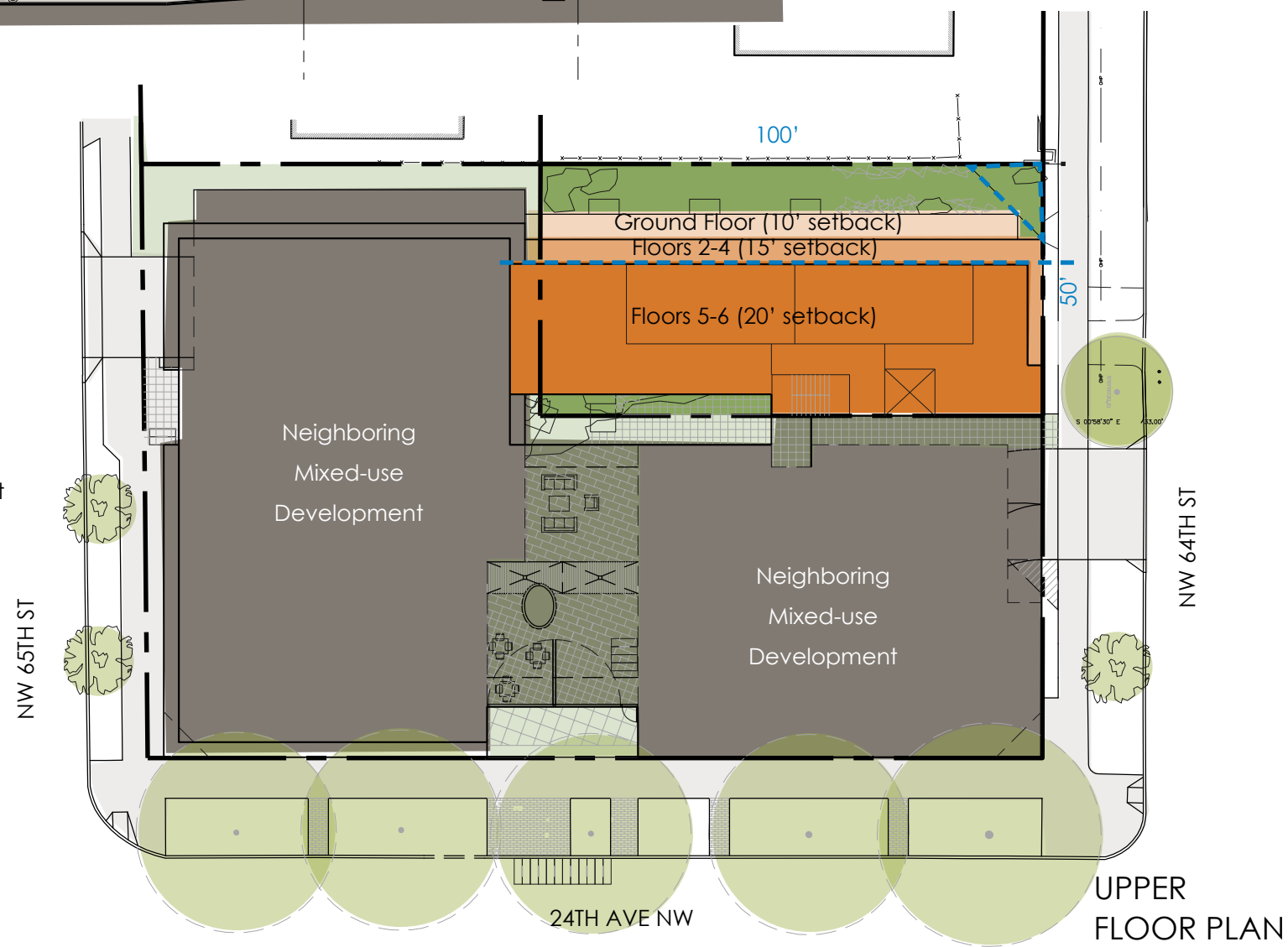
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SITE PLAN



EAST-WEST SECTION



UPPER FLOOR PLAN

14 Overview

- 4 loft story massing (65' tall) @ street, 3 loft stories (45') @ interior
- shared garage entry with development to west
- 20 apartment units + 2 live-work units
- 22-40 parking spaces in subgrade garage
- FAR shown: 17,610sf (limit is 23,745sf for mixed-use)
 - 1st: 4,680 sf (includes loft mezzanine)
 - 2-3: 4,553 sf (includes loft mezzanine)
 - 4: 3,824 sf (includes loft mezzanine)

Opportunities

- significant continuation of site courtyard
- shares curbcut with neighboring development
- floorplates align with previous project allowing shared internal circulation
- reduced height/bulk/scale softens transition to east; mass is broken up

Challenges

- FAR development far under target potential
- east setback departures required



Overview

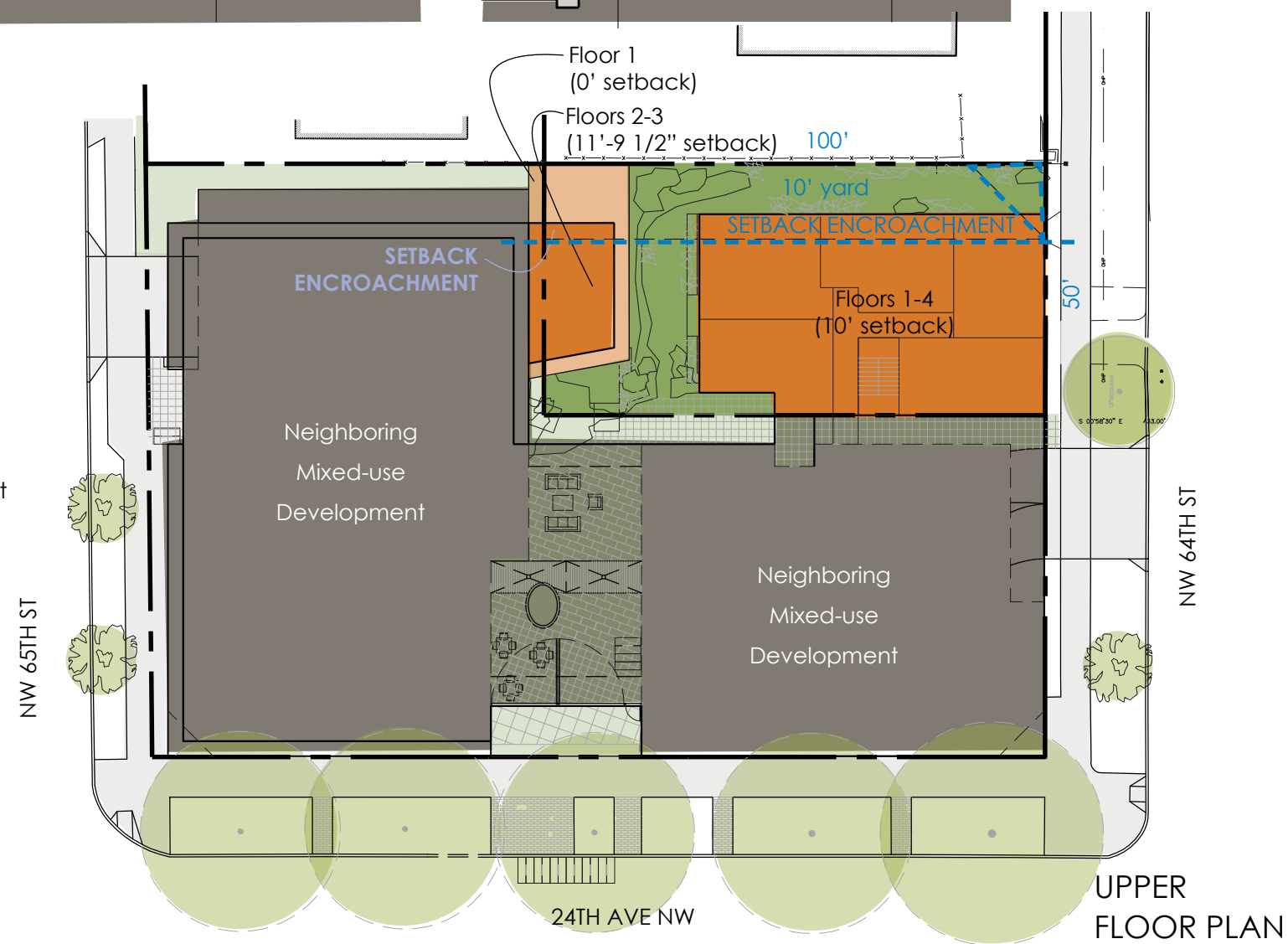
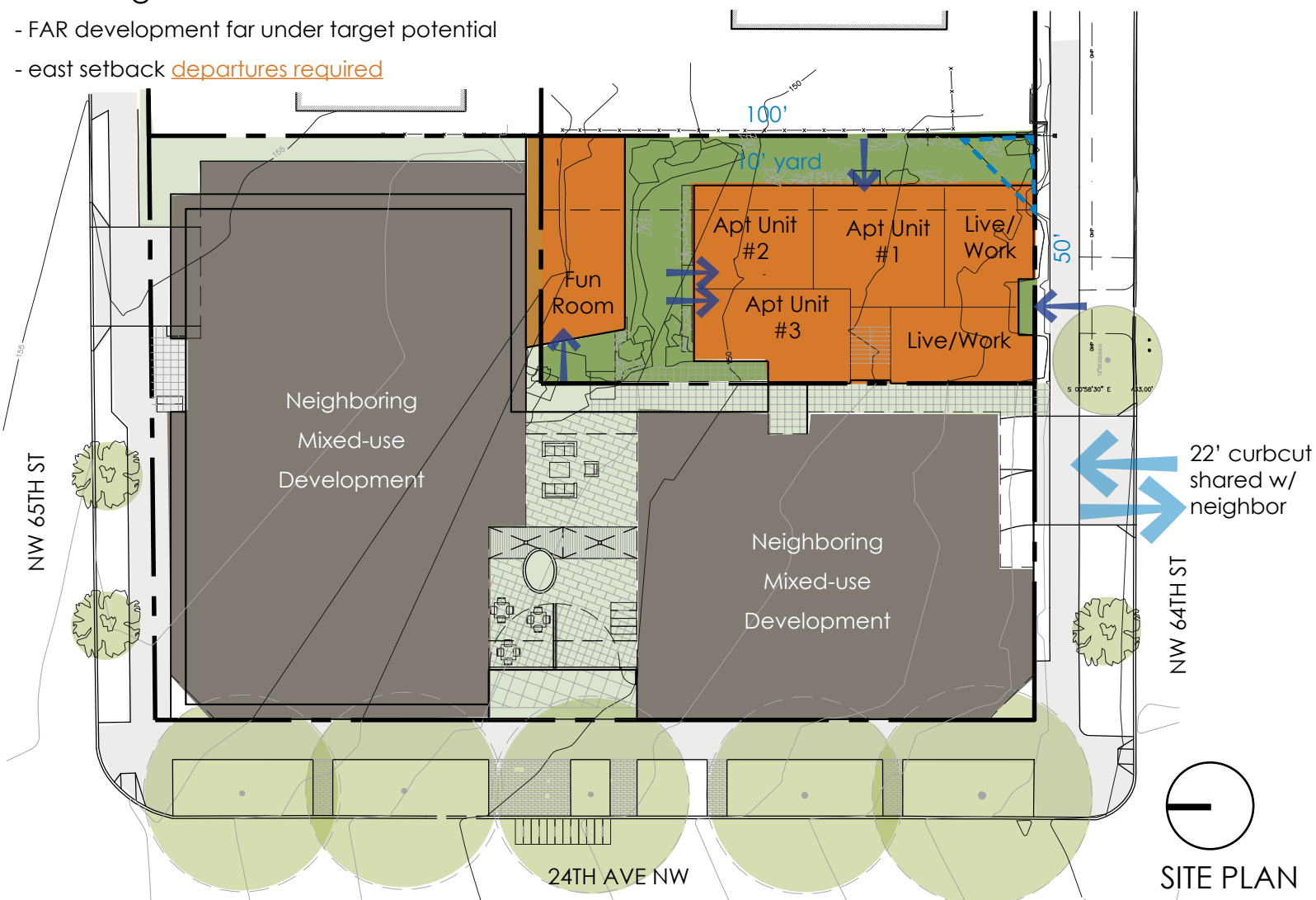
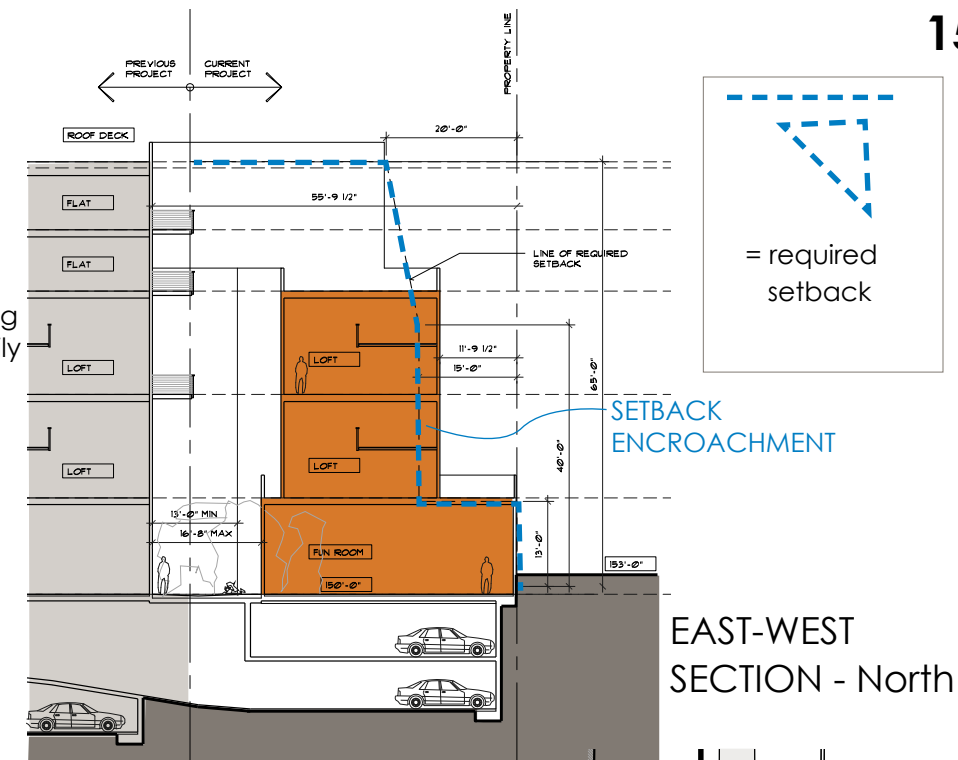
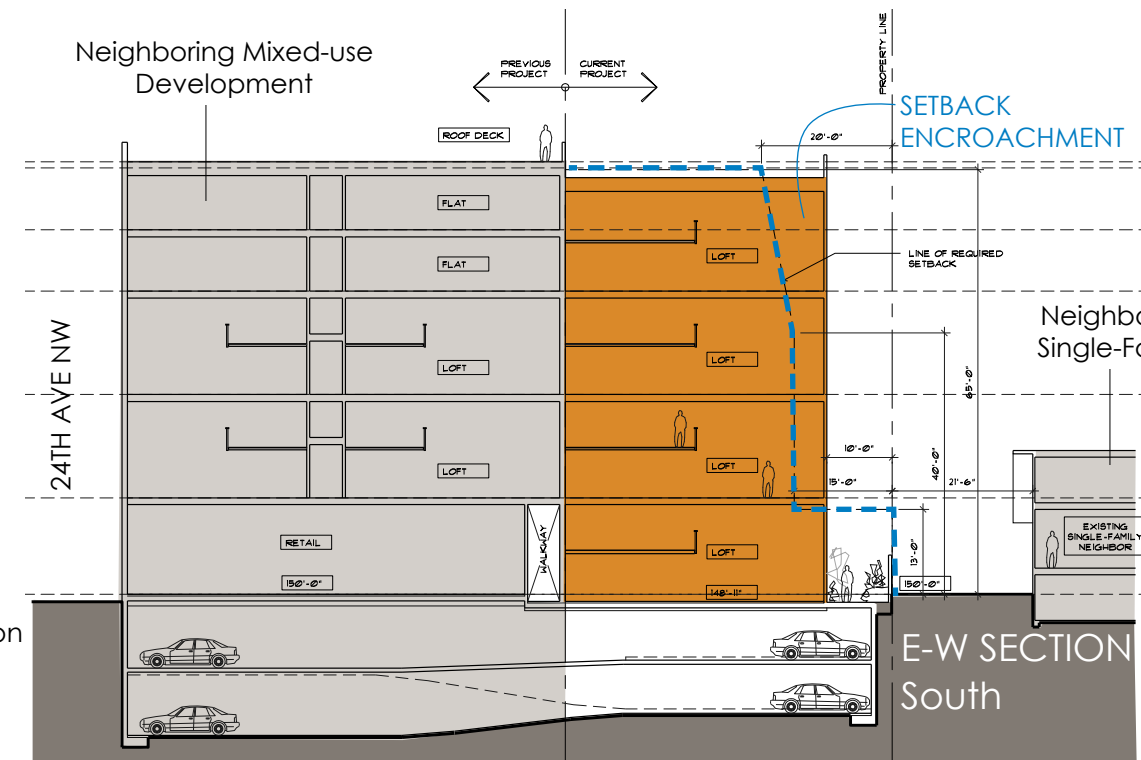
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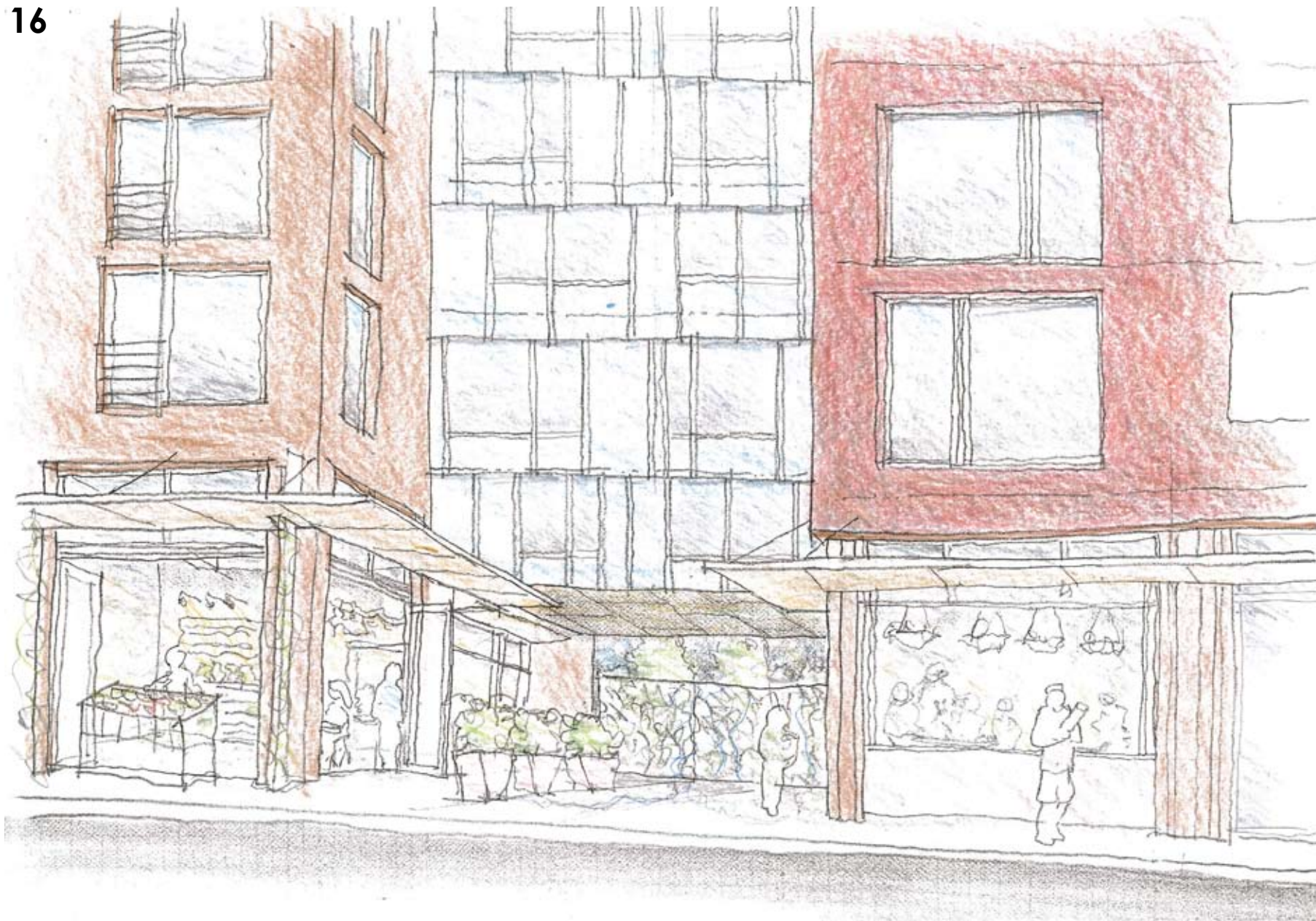
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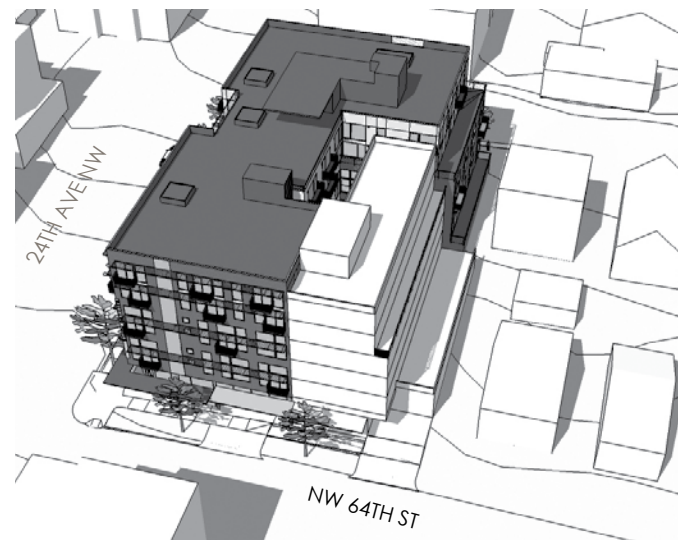
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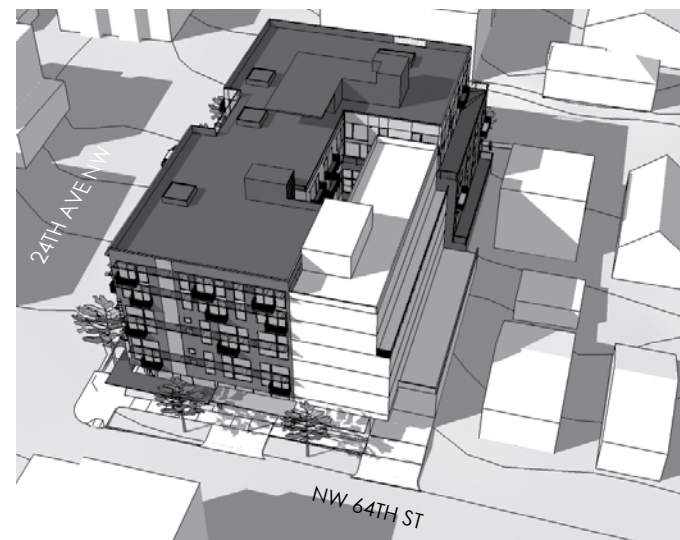
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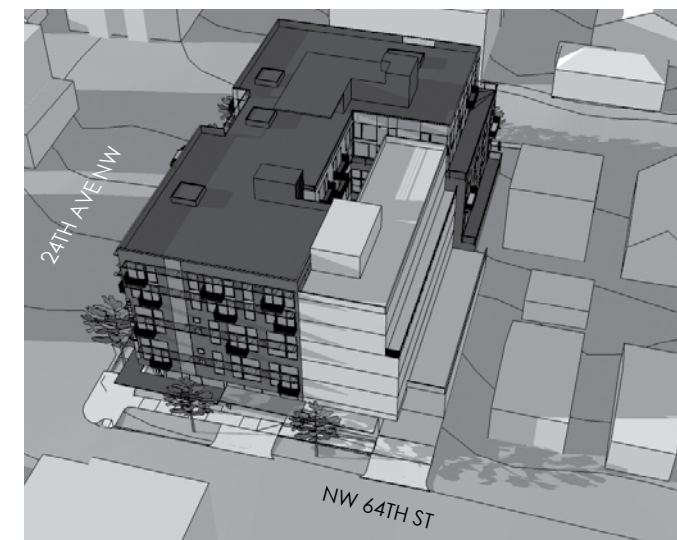




1pm

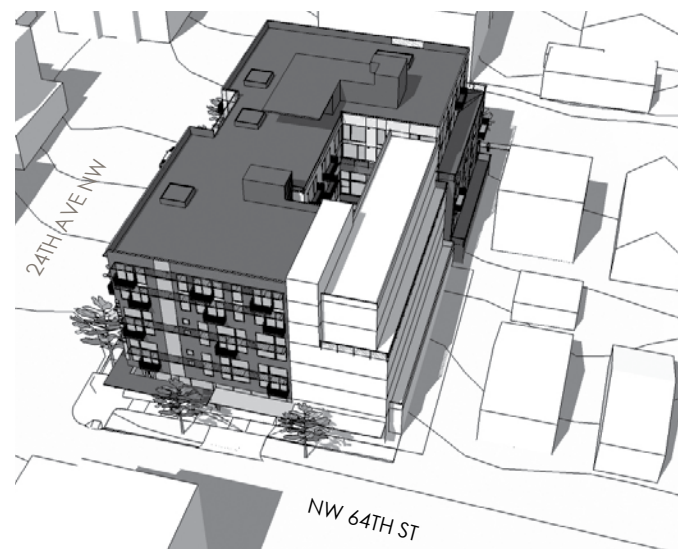


3pm



5pm

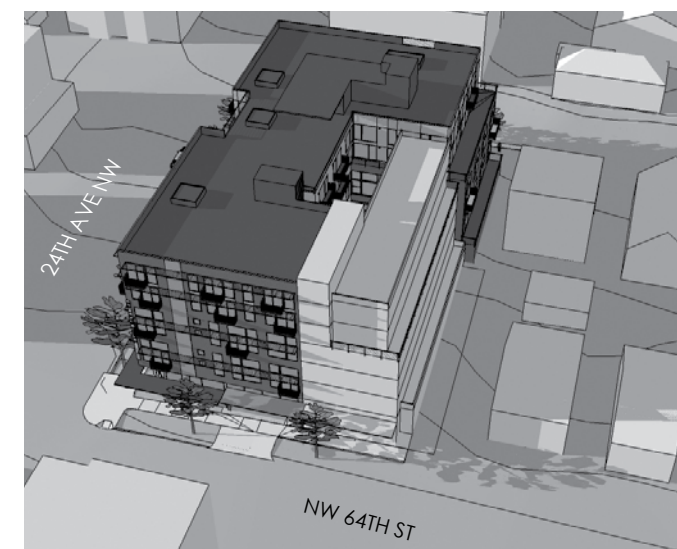
A SCHEME A
zoning-driven



1pm



3pm



5pm

B SCHEME B
east setback



1pm



3pm

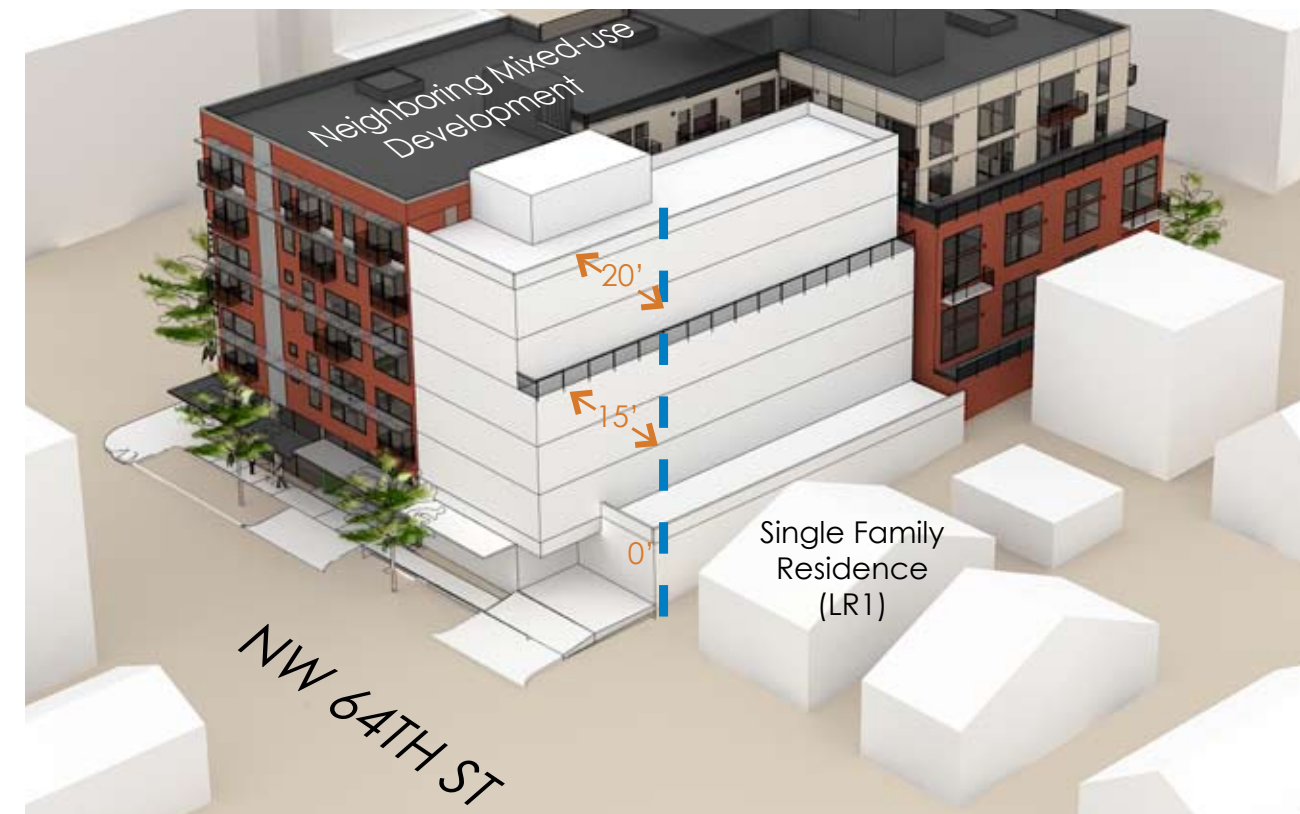


5pm

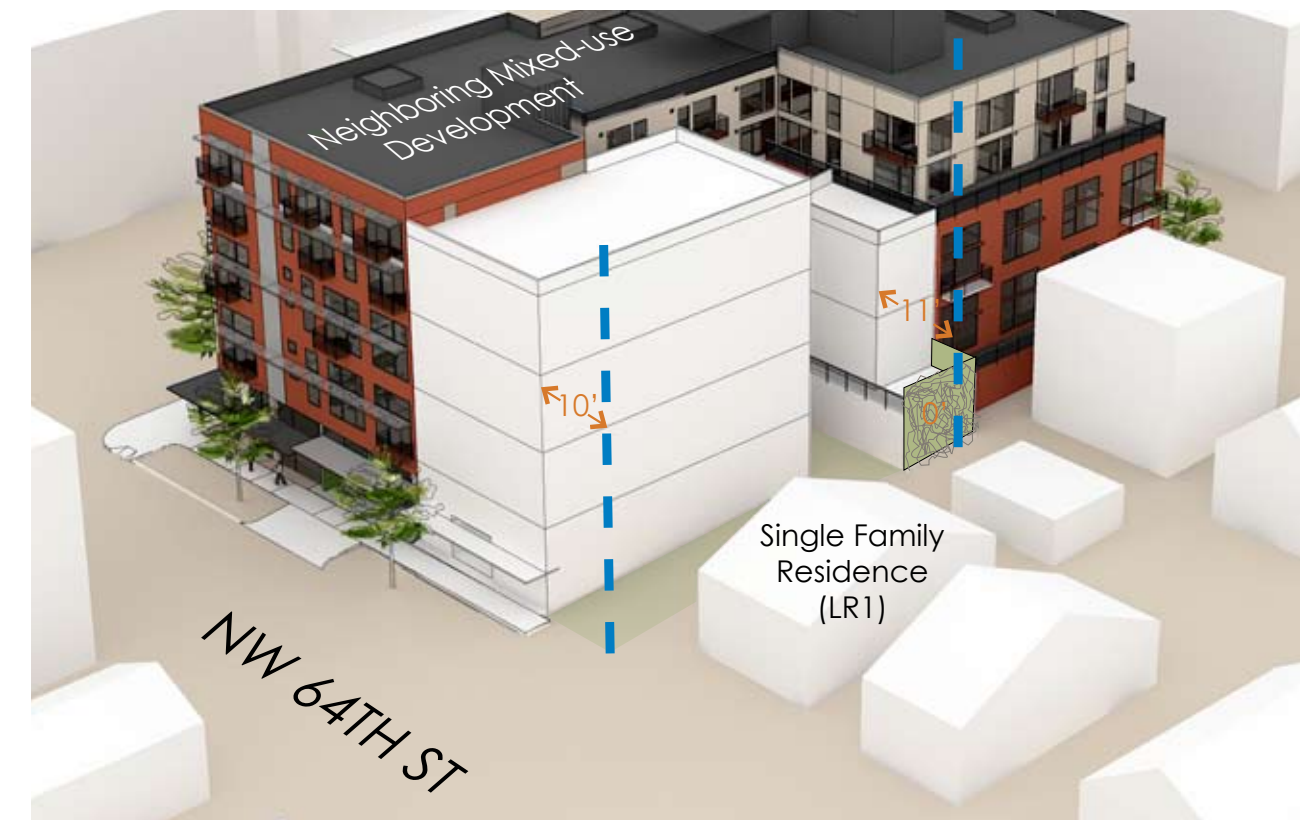
C SCHEME C
courtyard extension

SETBACK DEPARTURE REQUESTS (Required for **Scheme C ONLY**)

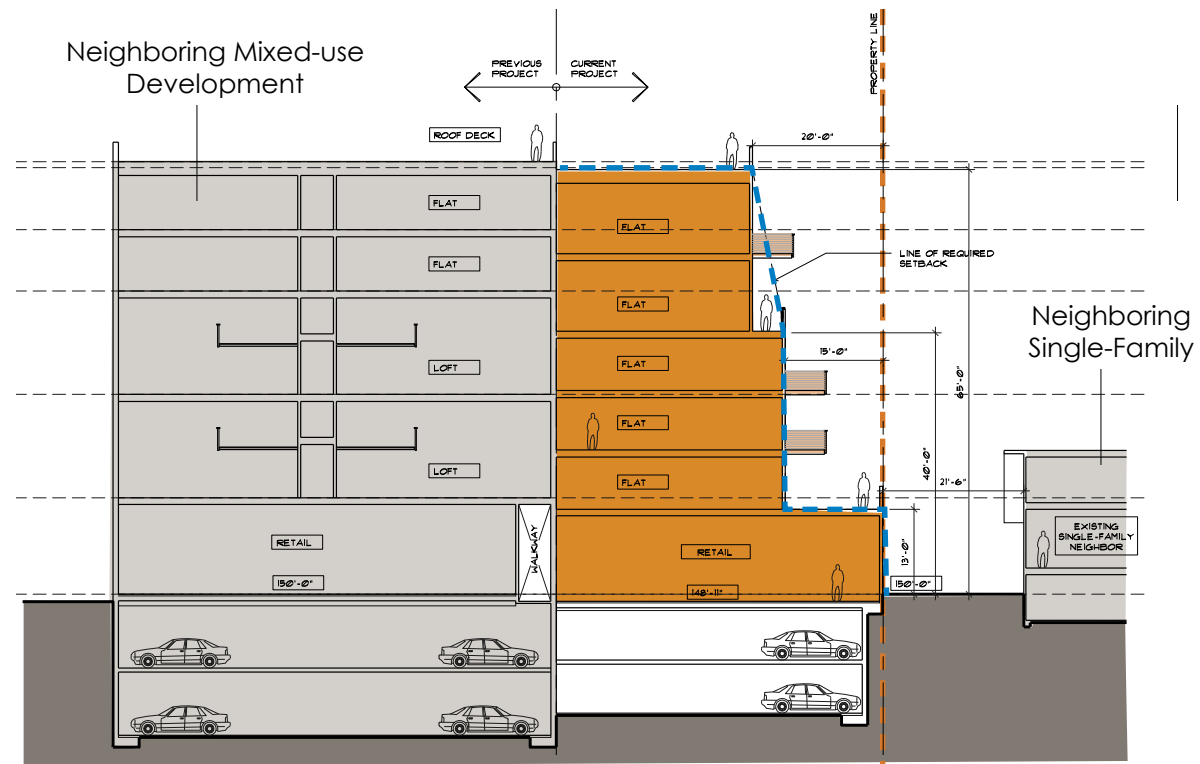
- Code: SMC 23.47A.014 B 1
A 15' triangular setback is required at the intersection of side and front lot lines abutting a residential zone.
A 0' setback (up to 13' height) is required thereafter
- Proposed Design: A continuous 10' setback is proposed at the intersection of side and front lot lines abutting neighboring residential zone to the east
- Justification: The continuous 10' setback allows increased at-grade landscaping (Guideline E-3: Landscaping Design to Address Site Conditions), softening transition to neighboring lowrise properties to the east, and increases open space adjacent to existing single-family neighbor, more in keeping with yard space surrounding typical residential uses (Guideline B-1: Height/Bulk/Scale)
- Code: SMC 23.47A.014 B 3
For a structure containing a residential use abutting a side lot line of a residential zone:
- A 0' setback is required up to 13' height
- A 15' setback is required from 13'-40' height
- An additional 2' is required for every 10' height above 40' (therefore a 20' setback is required at 65')
- Proposed Design: A continuous 10' setback is proposed at the southern building from 0'-65', and a 11'-9 1/2" setback from 13' to 45' is proposed at the north building (to match Phase 1 development), separated by a 55' deep courtyard. The north block is only 3 stories (45') tall, 15' short of zoning-allowed 65' maximum
- Justification: Building mass is broken into two, separated by significant open space; and building height is reduced below zoning allowable at the north portion, significantly reducing the height, bulk, and scale of the development (Guideline B-1: Height/Bulk/Scale) and softening the abrupt zoning transition from NC1-65 to neighboring LR1 to the east.



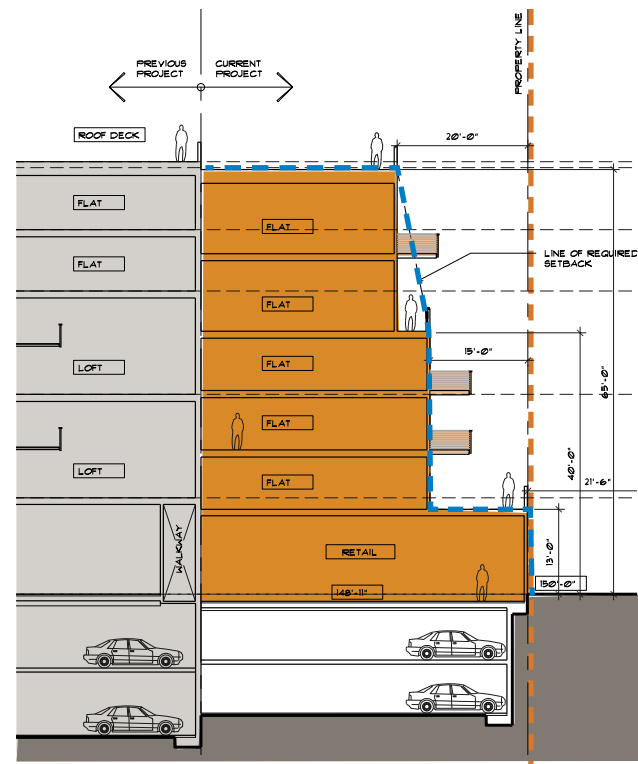
Zoning-complying design (Scheme A shown)



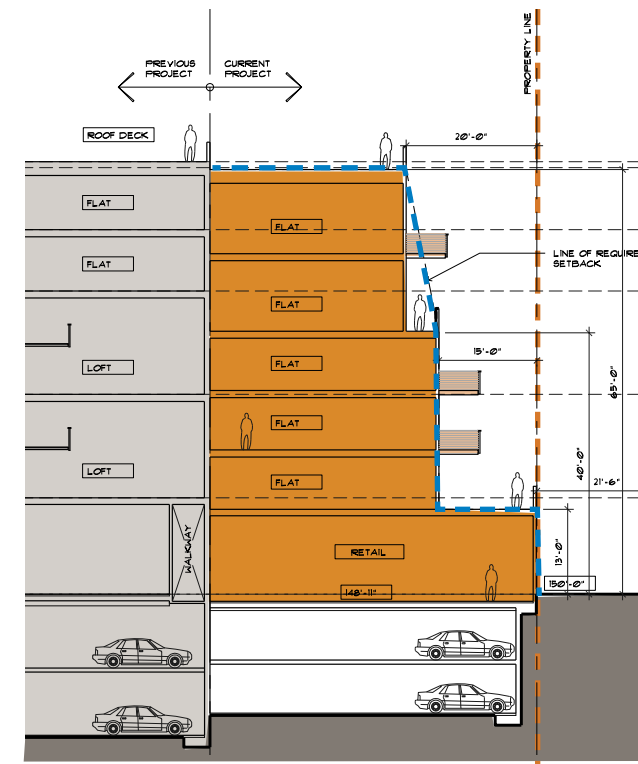
Design Requiring Departure (Scheme C shown)



East-West Section through south end

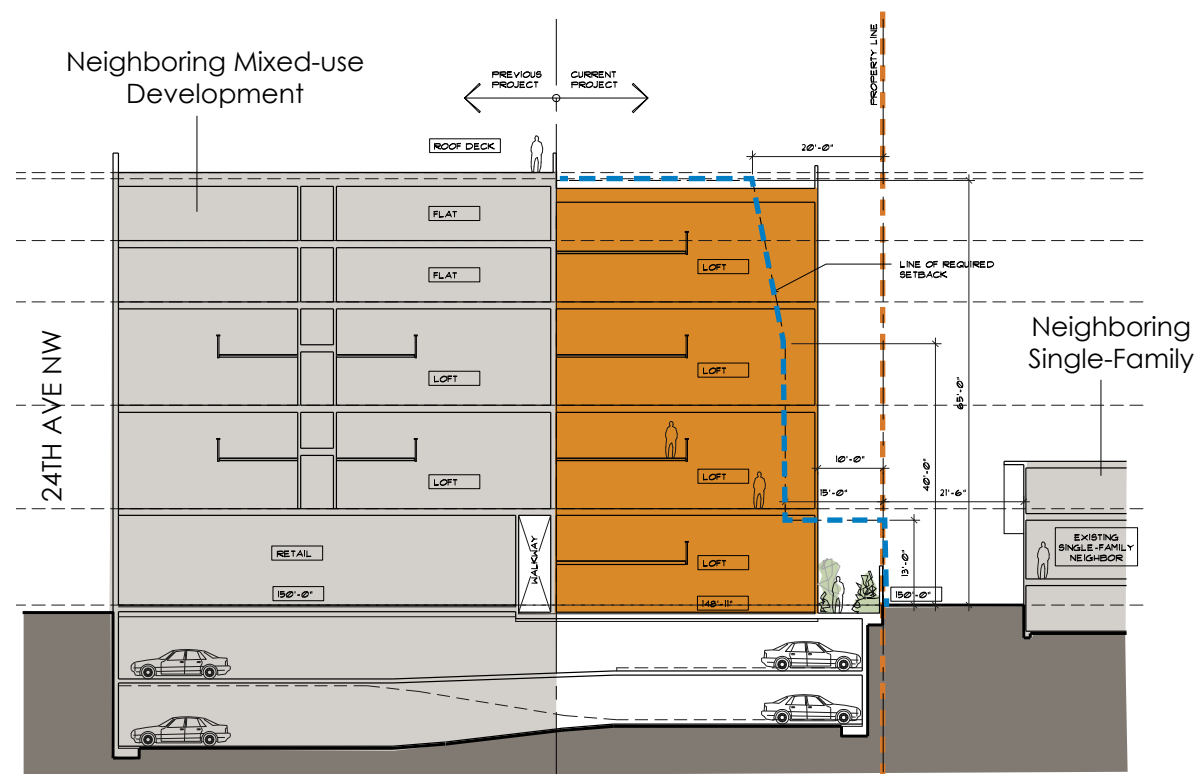


East-West Section through mid site

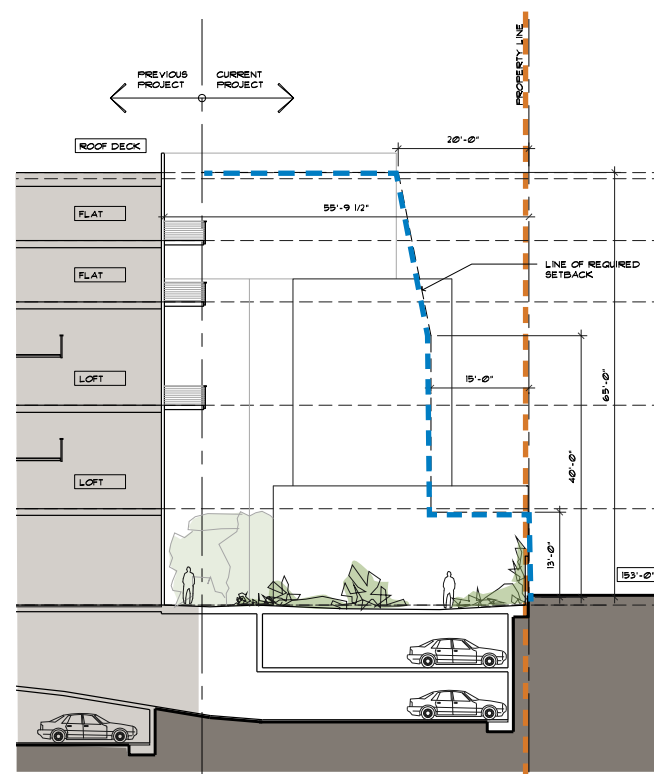


East-West Section through mid site

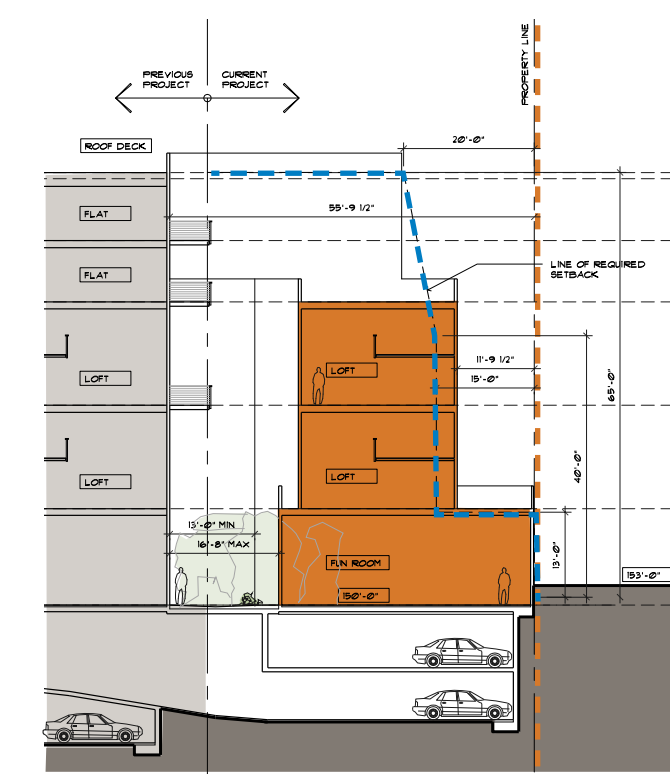
ZONING-COMPLYING DESIGN (Scheme A shown)



East-West Section through south end

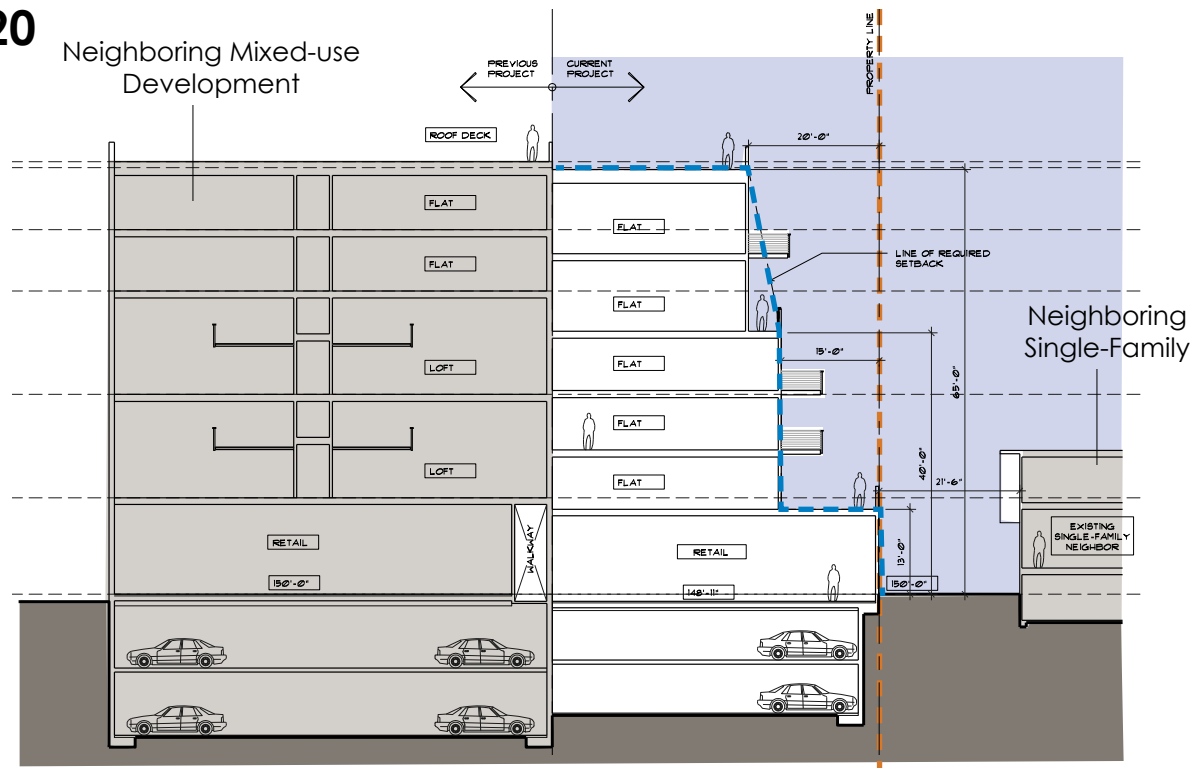


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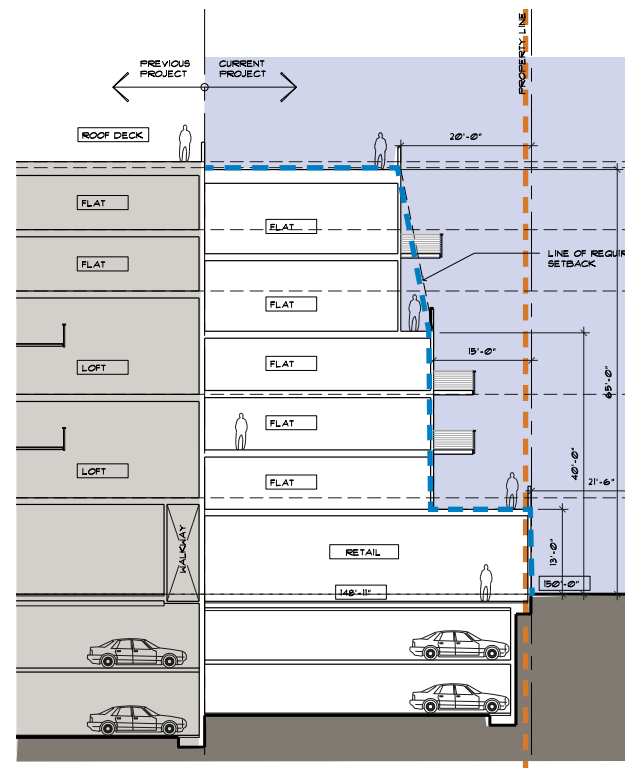


East-West Section through north end

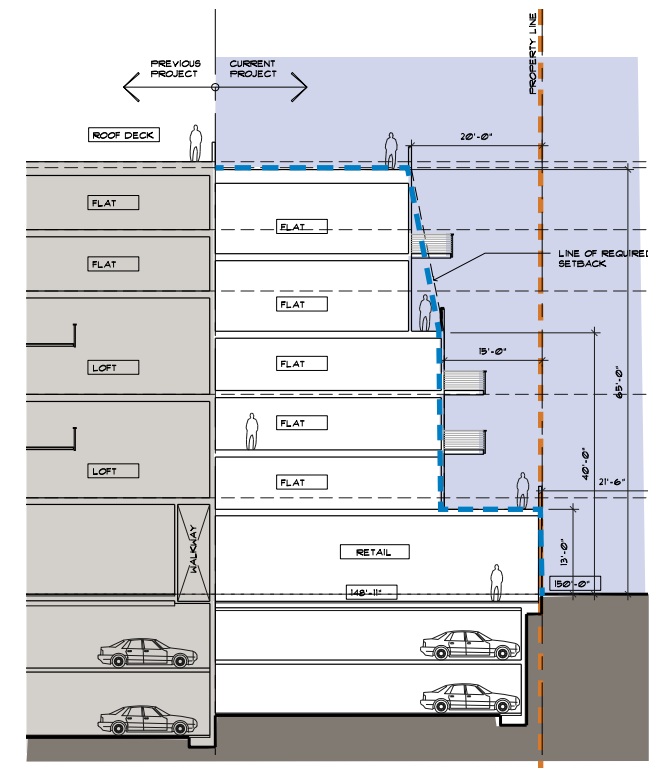
DEPARTURE REQUEST (Scheme C shown)



East-West Section through south end

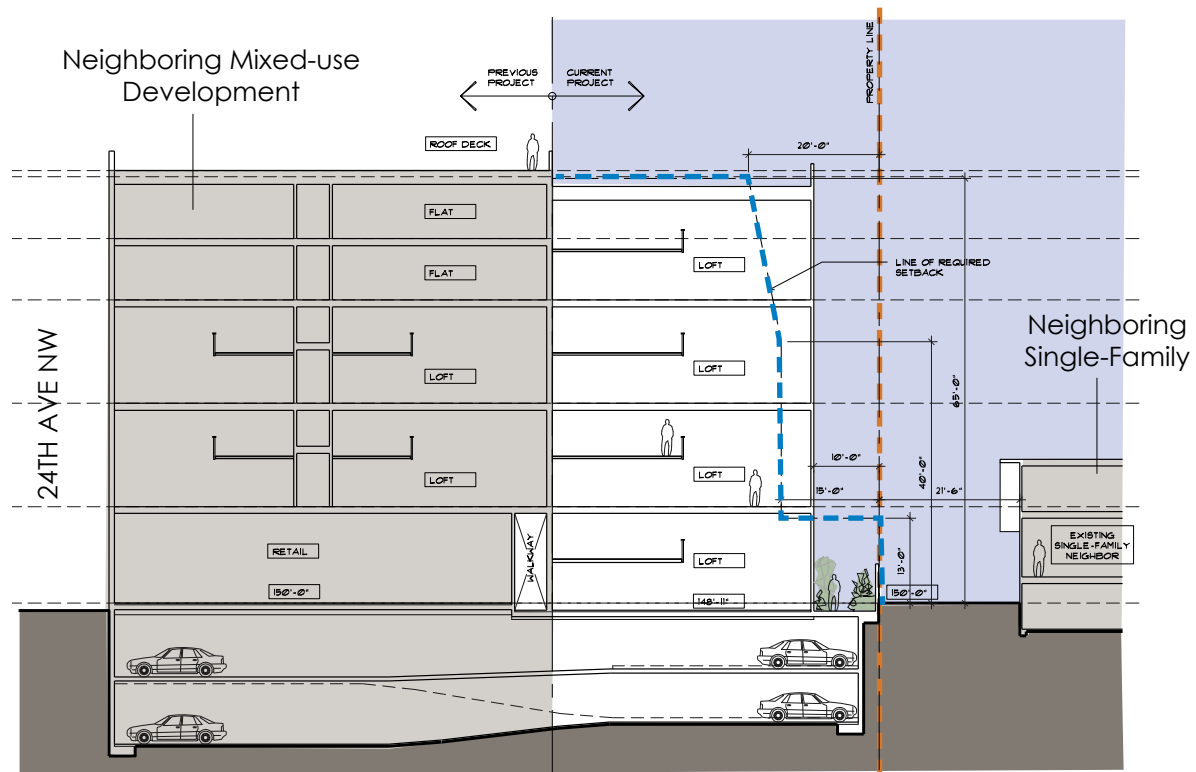


East-West Section through mid site

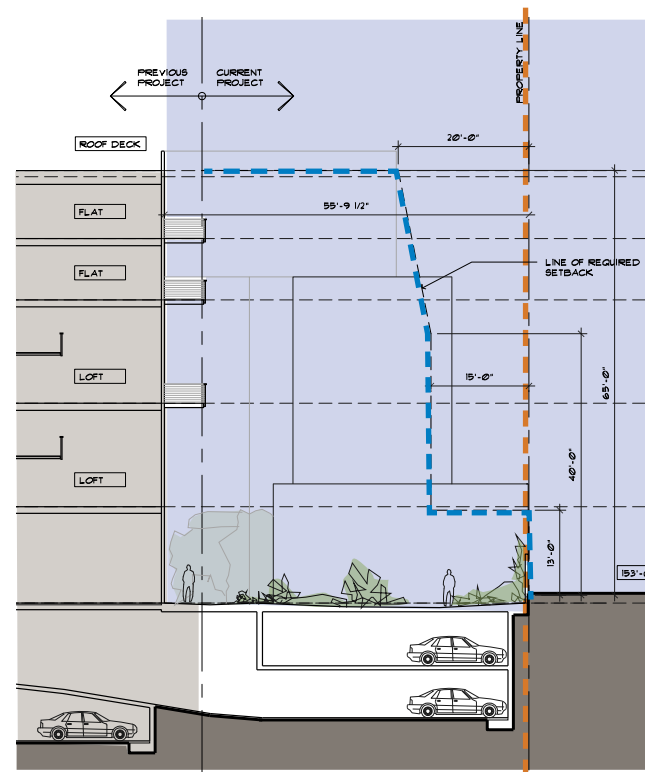


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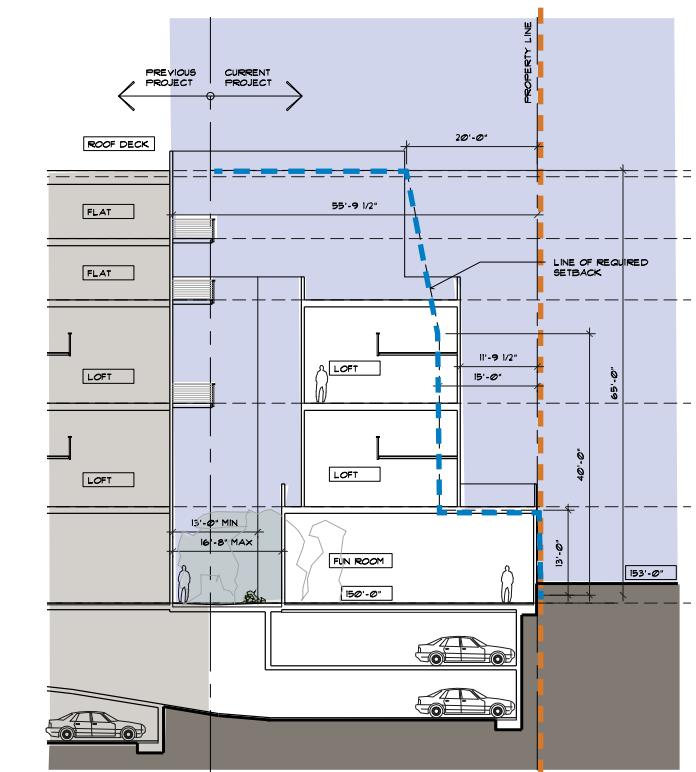
ZONING-COMPLYING DESIGN (Scheme A shown)



East-West Section through south end

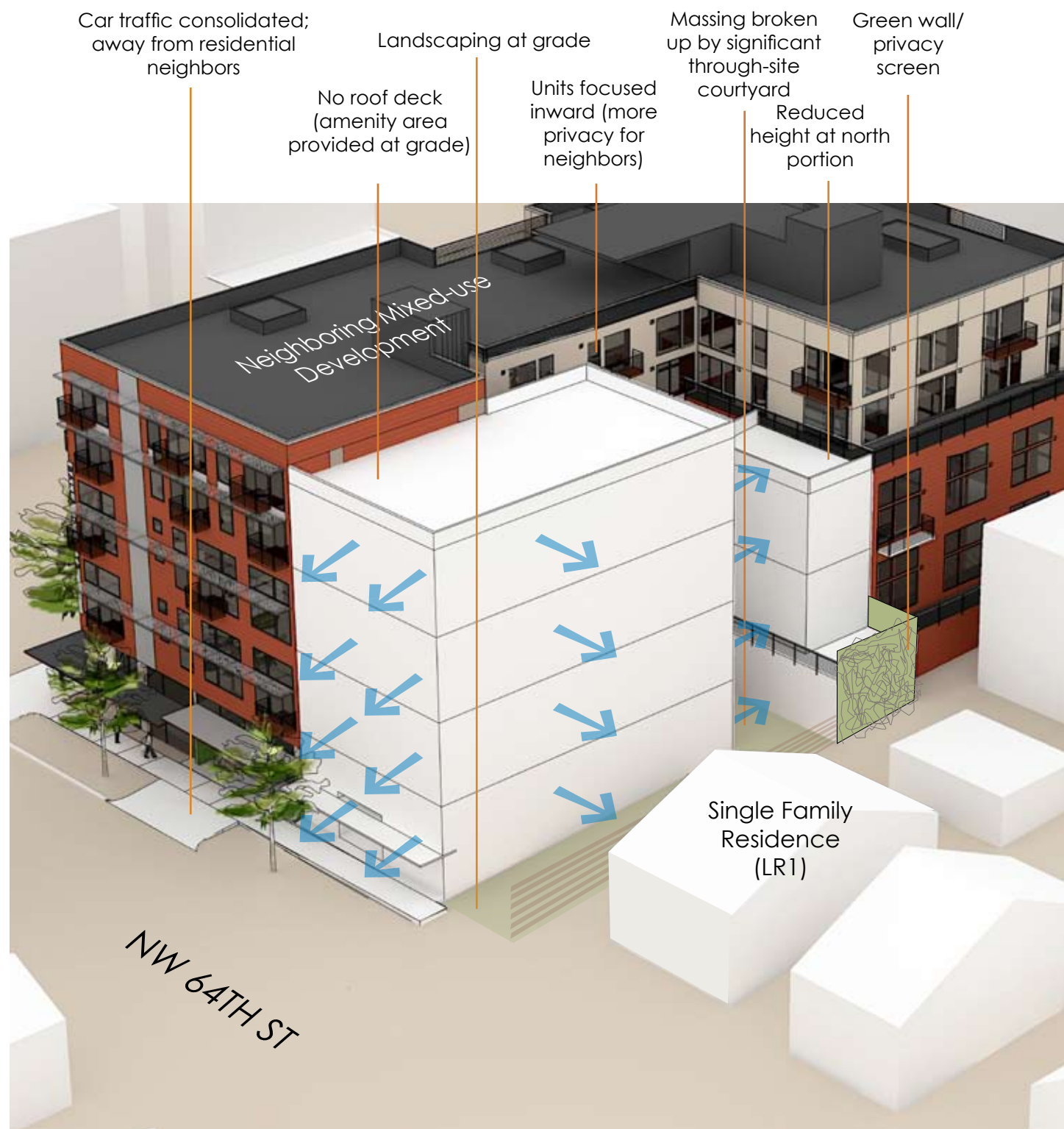


East-West Section through mid site

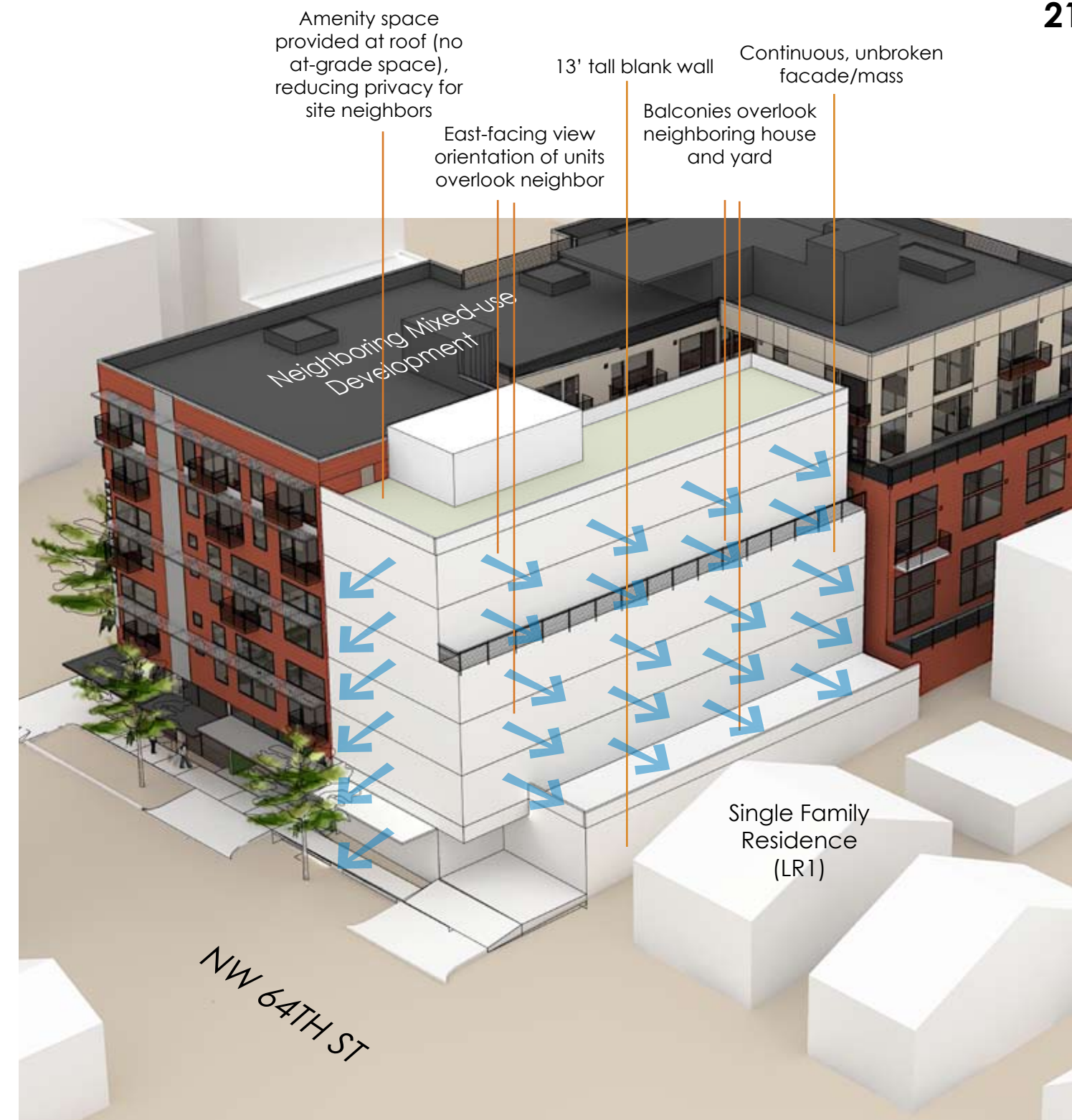


East-West Section through north end

DEPARTURE REQUEST (Scheme C shown)



DEPARTURE REQUEST (PREFERRED Scheme C shown)



ZONING-COMPLYING DESIGN (Scheme A shown)