



# DOWNTOWN DESIGN REVIEW BOARD

RECOMMENDATION BOOKLET

# 600 WALL STREET

SEATTLE, WASHINGTON | DPD# 3015251 | JANUARY 06, 2015

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Property Owner and Project Applicant

**600 Wall Street Development LLC**  
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Walnut Creek, CA 94596

Submittal prepared by

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# SITE INFORMATION



# 3.0 PROPOSAL

The proposal is to apply for a Master Use Permit (MUP) and Building Permit for a 400 ft tall highrise multifamily development on the parcel bounded by 6th Avenue, Wall Street, and Denny Way in the Denny Triangle Urban Village.

Downtown Seattle is a world class city comprised of iconic high rise buildings that create an architecturally diverse and aesthetically pleasing skyline. In addition, Seattle has paid attention to the human scale environment, resulting in a lively and vibrant city center. In the last few years, visionary Seattle city planners and developers have begun to extend the urban cityscape along 6th Avenue toward the Denny Triangle. This extension includes the Via6 mixed-use community, the Amazon headquarters development and Bosa’s Insignia Towers. In a perfect example of urban renaissance, older, utilitarian, low and mid-rise buildings are giving way to stunning new developments.

The elegant, slender tower we propose at 600 Wall will read as the architectural exclamation point to the junction of the Denny Triangle, Bell Town, South Lake Union, and Uptown, Seattle’s “coolest” areas of urban renewal. At the street level, architectural details will enhance and energize the pedestrian experience.

The design team has been inspired by downtown Seattle and by the astonishing redevelopment taking place in the immediate vicinity of our site. The design of 600 Wall has not been created in a vacuum. It is not a design that could be successfully dropped onto any parcel of land in Minneapolis or San Diego or Portland. Instead, the design has been strongly influenced by its specific environment and is intended to complement and enhance the revitalization of 6th Avenue.

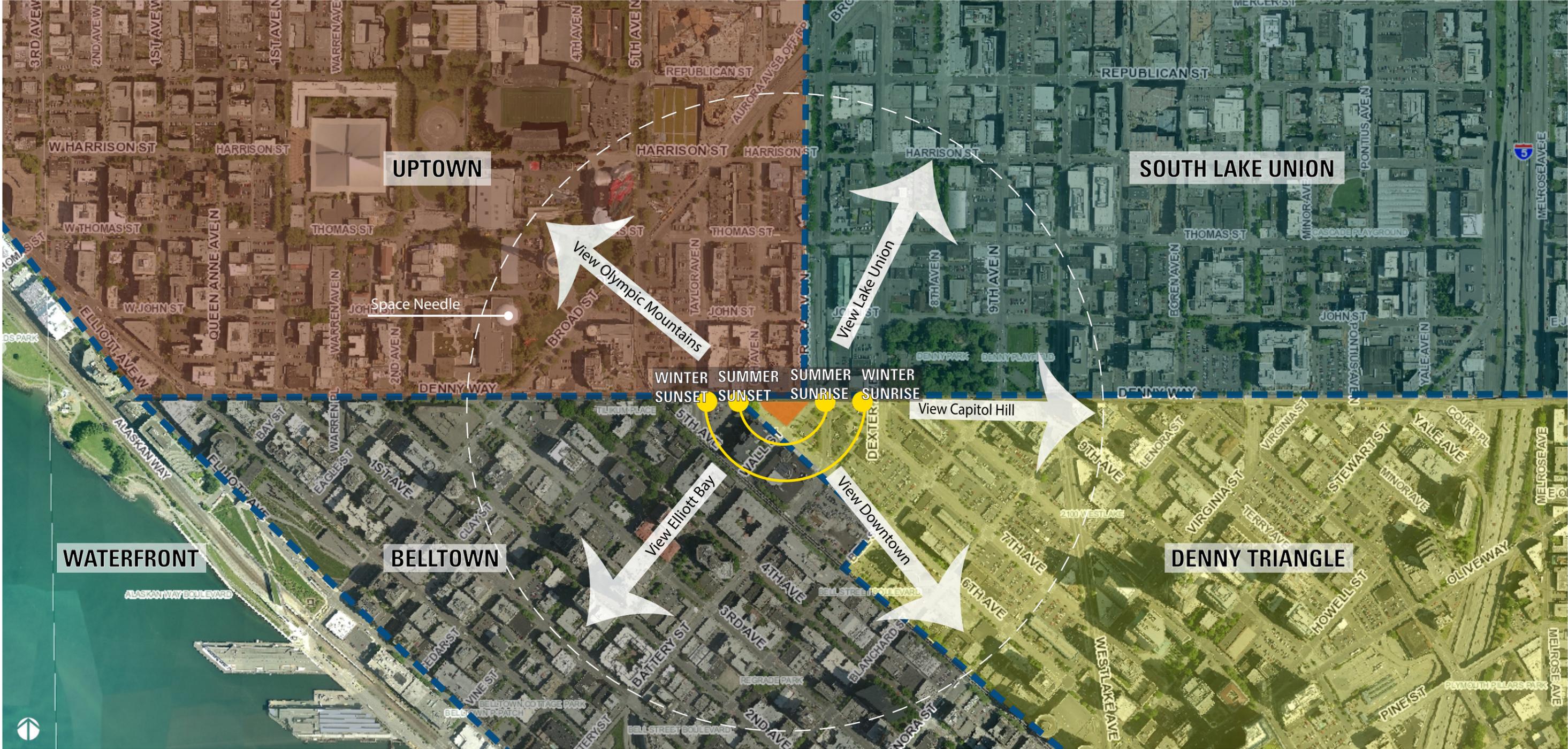
Summary of Responses:

- Street level plan changes
- Podium design
- Podium level plan revisions
- Street level activation
- Denny Way activation at street and podium levels
- Roof level design revisions

<b>Project Data</b>	
<b>Project Data:</b>	DPD Project #3015251
<b>Building Address:</b>	600 Wall Street Seattle, WA 98109
<b>Legal Description:</b>	Lots 1, 2 and 3, Block X, Bell's 6th Addition to the City of Seattle, according to the plat thereof recorded in vol. 2 of alley as vacated under Ord. No. 65236 and portion of Wall St. and Denny Way as vacated under Ord. No. 91279. Except that portion thereof condemned in King County Superior Court Cause No. 193437 for widening 6th Ave, as provided under City of Seattle Ord. No. 50890 and except those portions conveyed to the City of Seattle by deeds recorded under recording nos. 2848083 and 7408080115.
<b>Assessor's Tax Parcel Number:</b>	069700-0370-00
<b>Current Zoning:</b>	DMC 240/290-400
<b>Gross Lot Area:</b>	10,665 Square Feet
<b>Project Description:</b>	The project will consist of 43 floors above grade and 6 floors of below grade parking. Above grade levels will be comprised of: - 1 Floor of Lobby/Retail/Parking Ramps - 1 Floor of Admin, Leasing, Bike Storage, MEP - 39 Floors of Residential - 2 Floors of Amenities - 1 Floor Mechanical
<b>Project Unit Count:</b>	400 Residential Units
<b>Commercial Space:</b>	1,941 Square Feet
<b>Parking Count:</b>	315 Spaces

# 4.0 SUMMARY CONTEXT ANALYSIS

## LARGER VICINITY MAP



# URBAN NETWORK



-  Bus Stop
-  Existing Trees
-  One Way Street
-  Two Way Street
-  Elevated Monorail
-  Tunnel
-  Bike Lane

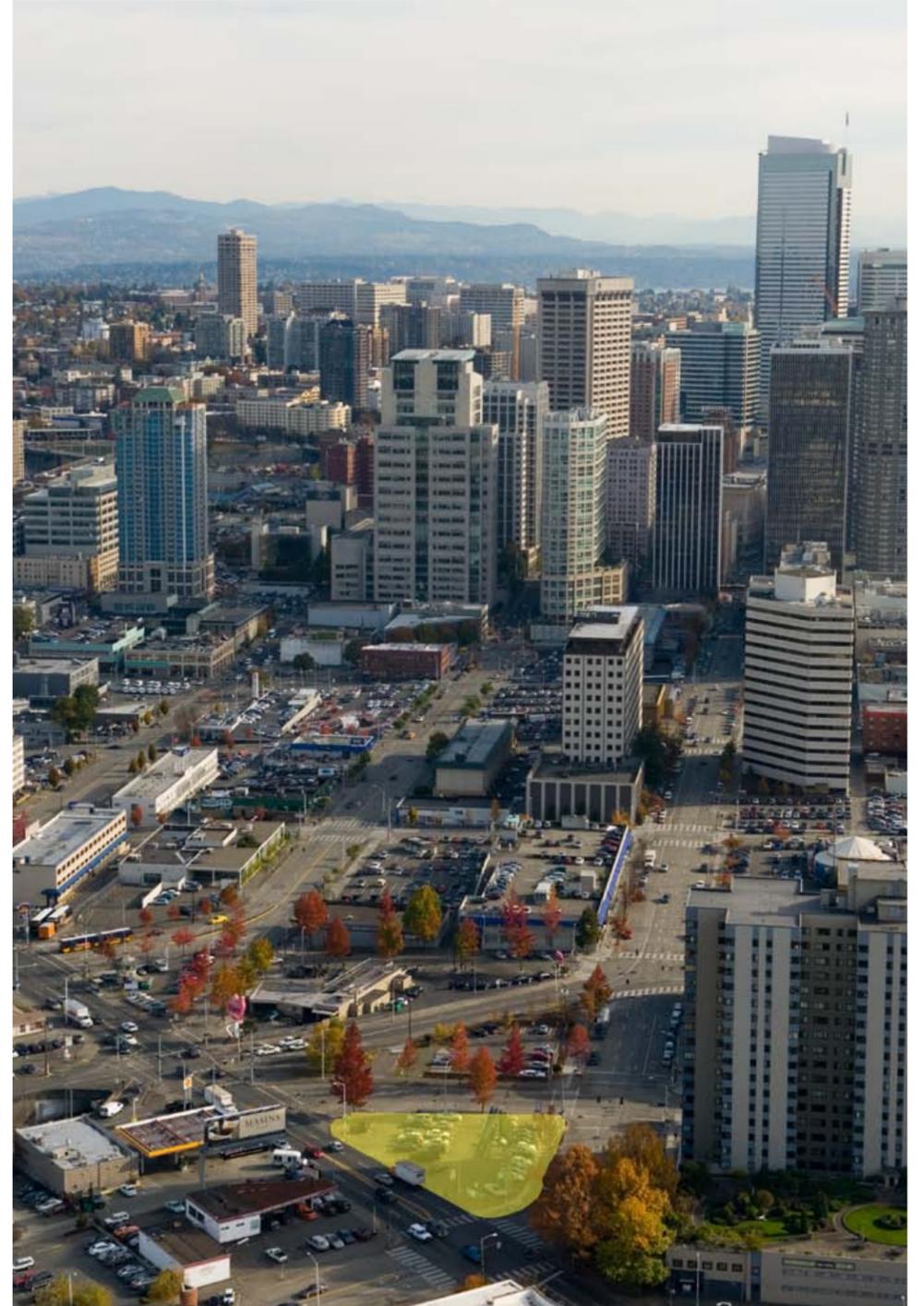
Approximate building heights are shown on building footprints.

# LANDMARKS



- A. EMP Museum
- B. Space Needle
- C. Pacific Science Center
- D. Taylor 28 Apartments
- E. Archstone Belltown Apartments
- F. City University of Seattle
- G. Hyatt Place
- H. Shell Gas Station
- I. Elephant Super Car Wash
- J. Denny Park

## CONTEXT + VIEWS



- TOP Northwest view from 20th floor of proposed building
- ABOVE Southwest view from 20th floor of proposed building
- RIGHT Site footprint as seen from the Space Needle

# 5.0 EXISTING SITE CONDITIONS

## STREETSCAPE



② Wall and Denny



① 6th and Wall



③ Denny and 6th

ADDITIONAL VIEWS SURROUNDING SITE



South on 6th Avenue



South on Wall Street



North at Wall and Denny



West on Denny Way

SHADOW STUDY - SUMMER AND WINTER SOLSTICES



JUNE 8AM



JUNE 1PM



JUNE 6PM



DECEMBER 9AM



DECEMBER 12PM

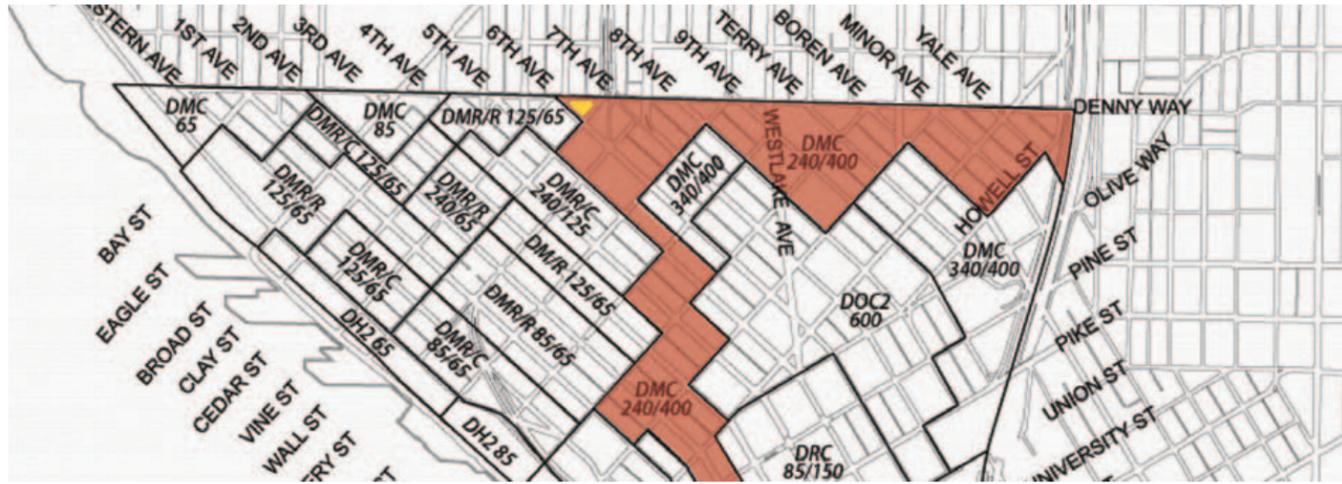


DECEMBER 3PM



# 6.0 ZONING DATA

SMC TITLE 23



23.49 Map 1A: Zoning

Code Section	Requirements	Proposed
<b>23.49 Map 1A Zoning</b>	DMC 240/290-400 - Downtown Mixed Commercial	
<b>23.49.008 Structure Height</b>	400'	396'
<b>23.49.010B Common Recreation Area</b>	<p>Common recreation area is required for all new development with more than twenty (20) dwelling units. Required common recreation area shall meet the following standards:</p> <ol style="list-style-type: none"> <li>5% of gross residential area 302,040 = 15,102 sf. Lot area = 10,665 sf. In no instance shall the amount of required common recreation area exceed the area of the lot. The common recreation area shall be available to all residents and may be provided at or above ground level. Required Common Recreation Area = 10,665 sf.</li> <li>A maximum of fifty (50) percent of the common recreation area may be enclosed. Maximum Interior Space Allowed = 5,332 sf</li> <li>The minimum horizontal dimension for required common recreation areas shall be fifteen (15) feet, except for open space provided as landscaped setback area at street level, which shall have a minimum horizontal dimension of ten (10) feet. No required common recreation area shall be less than two hundred twenty-five (225) square feet.</li> </ol>	<p>4,883 sf Open Space 7,239 sf Interior Recreation Floor Area 12,122 sf Total</p>

Code Section	Requirements	Proposed
<b>23.49.011 FAR</b>	Base: 5 Max: 7	62,300 sf
<b>23.49.018 Overhead Weather Protection</b>	Continuous - minimum 8' or extend within 2' of curb - whichever is less.  10' minimum and maximum 15' above sidewalk	Continuous Canopy  15' above side walk elevation
<b>23.49.020 Demonstration of LEED Silver</b>	If condition of permit.	TBD
<b>23.49.024 View Corridor Requirements</b>		Not Applicable - Map 1D
<b>23.49.056 Façade, landscaping, Setback Requirements</b>	<p><b>Minimum Façade Heights</b></p> <p>6th Ave. - 15' Wall St. - 15' Denny Way - 15'</p> <p><b>Setback Limits</b></p> <p>Setback Limits for Property Line Facades. The following setback limits apply to all streets designated on Map 1H as requiring property line facades.</p> <ol style="list-style-type: none"> <li>The facades of structures 15 feet or less in height shall be located within 2 feet of the street lot line.</li> <li>Structures greater than 15 feet in height are governed by the following criteria:                     <ol style="list-style-type: none"> <li>No setback limits apply up to an elevation of 15 feet above sidewalk grade.</li> <li>Between the elevations of 15 and 35 feet above sidewalk grade, the facade shall be located within 2 feet of the street lot line, except that:                             <ol style="list-style-type: none"> <li>Any exterior public open space that satisfies the Downtown Amenity Standards, whether it receives a bonus or not, and any outdoor common recreation area required for residential uses, is not considered part of the setback.</li> <li>iv. The facade of the structure shall return to within 2 feet of the street lot line between each setback area for a minimum of 10 feet. Balcony railings and other nonstructural features or walls are not considered the facade of the structure.</li> </ol> </li> </ol> </li> </ol>	<p>15' 15' 15'</p> <p>NA - Map 1H NA</p>

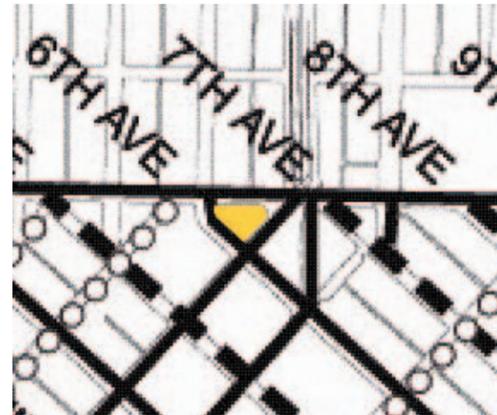
Code Section	Requirements	Proposed
	<p><b>Façade Transparency</b></p> <p>Facade transparency requirements apply to the area of the facade between 2 feet and 8 feet above the sidewalk, except that if the slope along the street frontage of the facade exceeds 7.5 percent, the transparency requirements apply to the area of the facade between 4 feet and 8 feet above sidewalk grade. Only clear or lightly tinted glass in windows, doors, and display windows is considered to be transparent. Transparent areas shall allow views into the structure or into display windows from the outside.</p> <p>Facade transparency requirements do not apply to portions of structures in residential use</p>	
	<p><b>Blank Façade Limits</b></p> <p>Blank facade limits apply to the area of the facade between 2 feet and 8 feet above the sidewalk, except that where the slope along the street frontage of the facade exceeds 7.5 percent, blank facade limits apply to the area of the facade between 4 feet and 8 feet above sidewalk grade.</p> <p>Any portion of a facade that is not transparent shall be considered to be a blank facade.</p> <p>Blank facade limits do not apply to portions of structures in residential use</p>	There will not be any blank facades exceeding 25' in length
	<p><b>Setback and Landscaping requirements within the Denny Triangle Urban Village</b></p> <p>Landscaping in the Street Right-of-Way for All Streets Other Than Those With Green Street Plans Approved by Director's Rule. All new development in DMC zones in the Denny Triangle Urban Village, as shown on Exhibit F for 23.49.056, shall provide landscaping in the sidewalk area of the street right-of-way, except on streets with a green street plan approved by Director's Rule. The square footage of landscaped area provided shall be at least 1.5 times the length of the street lot line (in linear feet). The following standards apply to the required landscaped area:</p> <p>a. The landscaped area shall be at least 18 inches wide and shall be located in the public right-of-way along the entire length of the street lot line, except for building entrances, vehicular access or other connections between the sidewalk and the lot, provided that the exceptions may not exceed 50 percent of the total length of the street lot line(s).</p> <p>b. As an alternative to locating the landscaping at the street lot line, all or a portion of the required landscaped area may be provided in the sidewalk area within 5 feet of the curb line.</p> <p>c. Landscaping provided within 5 feet of the curb line shall be located and designed in relation to the required street tree planting and be compatible with use of the curb lane for parking and loading.</p>	See Landscape Plans See Landscape Plans See Landscape Plans See Landscape Plans

Code Section	Requirements	Proposed
	d. All plant material shall be planted directly in the ground or in permanently installed planters where planting in the ground is not feasible. A minimum of 50 percent of the plant material shall be perennial.	
<b>23.49.058</b>	<b>Development Standards</b>	
<b>Table 23.49.058D</b>		
<b>Maximum gross residential floor area</b>	Average gross residential floor area: 10,000 sf	9,640 sf
	<b>Maximum Façade Width</b>	6th Ave.:144'
	Maximum Residential Floor area on any level: 11,500 sf	
	In DMC zones, the maximum facade width for portions of a building above eighty-five (85) feet along the general north/south axis of a site (parallel to the Avenues) shall be one hundred twenty (120) feet or eighty (80) percent of the width of the lot measured on the Avenue.	
<b>23.54.015, 23.54.019, 23.54.030</b>		
<b>Parking</b>		281 automated parking spaces
<b>23.49.01.2</b>		
<b>Parking*</b>	No parking, either long-term or short-term, is required for uses on lots in Downtown zones.	
	(2) Parking above the third story of a structure shall be separated from the street by another use for a minimum of thirty (30) percent of each street frontage of the structure. For structures on lots located at street intersections, the separation by another use shall be provided at the corner portion(s) of the structure.	Departure requested for separation of uses
	(3) The perimeter of each story of parking above the first story of the structure shall have an opaque screen at least three and one-half (3 1/2) feet high where the parking is not separated from the street by another use.	
<b>Table 23.49.019A</b>		
<b>Bicycle Parking</b>	1 space / 2 dwelling units - 155 required	155

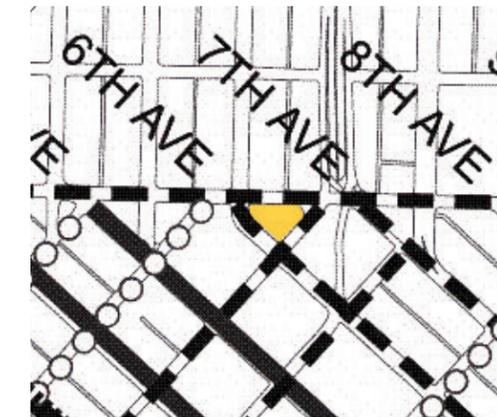
Code Section	Requirements	Proposed
<b>23.54.040 Solid Waste &amp; Recyclable Materials</b>	<p>Parking spaces required by Section 23.54.015, and required barrier-free parking, shall meet the standards of this Section 23.54.030. Parking for residential uses provided in excess of the quantity required by Section 23.54.015 is exempt from the requirements of subsections 23.54.030.A and 23.54.030.B.</p> <p>Provide 575 SF for first 100 units + 4sf for each additional unit above 100 + 50% of storage for non residential space less 15% for minimum 20' horizontal dimension. <math>575sf + (210 \times 4sf + 82 \text{ sfx } 50\%) \text{ less } 15\% = 1202 \text{ SF.}</math></p>	1,220 sf

<b>23.49 Map 1B Street Classifications</b>	Principal Arterial	<b>All three streets are principal arterial</b>
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<b>23.49 Map 1F Pedestrian Classification</b>	Class II	<p>Residential</p> <p>Street Level Uses Overhead weather protection All three streets are Class II Pedestrian</p>
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23.49 Map 1B



23.49 Map 1F

Access Street  
 Principal Arterial (other than Principal Transit Street)  
 Minor Arterial (other than Principal Transit Street)  
 Green Street  
 Principal Transit Street  
 Access to parking regulated by Special Review or Historic District regulations. See Map D for 23.66.170 and Map B for 23.66.326 for street classifications in South Downtown.

Class I  
 Class II  
 Green Street  
 Streets with pedestrian street classifications within the Pioneer Square Preservation District and International Special Review District are identified on Map D for 23.66.170 and Map B for 23.66.326.  
 Pedestrian Street Classifications may be addressed by Special Review, Historic District or other provisions

# 7.0 SITE PLAN

## PREVIOUS DESIGN

DENNY WAY



### C. The Streetscape

#### Creating the Pedestrian Environment

**C-1 Promote Pedestrian Interaction.** Spaces for street level uses should be designed to engage pedestrians with the activities occurring within them. Sidewalk-related spaces should be open to the general public and appear safe and welcoming.

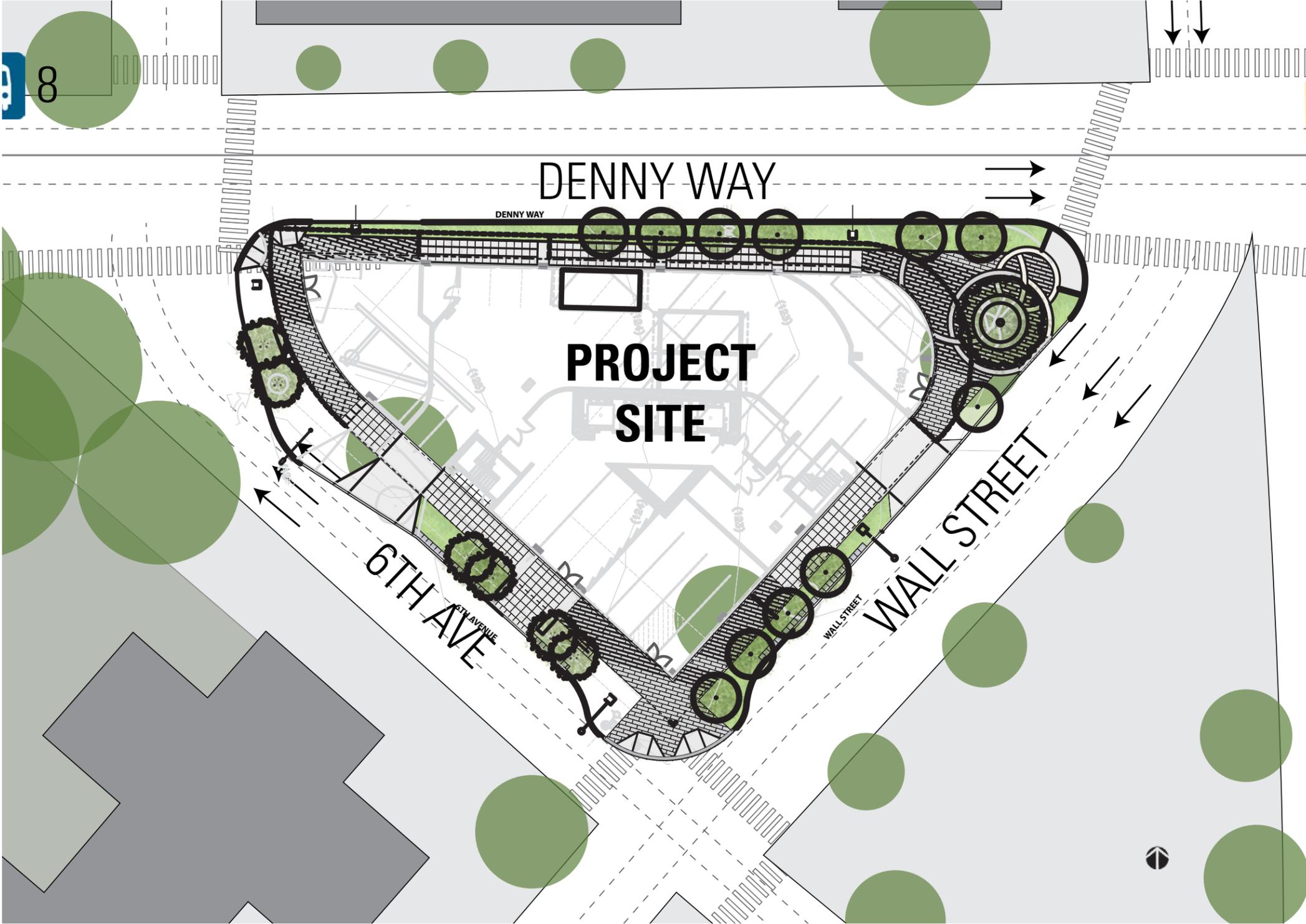
At the Early Design Guidance Meeting #2, the Board applauded the revisions that added depth and area to the ground floor commercial spaces, and the shifted transformer hatch. To further improve this now viable layout, the Board advised the following to best activate this critical location:

- Increase the depth of the retail at 6th and Wall to the structural bay (about 23 ft).
- Shift the leasing space along Denny to an upper level and replace it with a retail/commercial space at grade.
- To enlarge the corner areas, explore shifting the two exit stairs along Denny as far mid-block as possible (and keep them glass at grade as stated).
- At next meeting, provide a larger scale, full page ground floor plan that clearly shows all perimeter doors, solid and transparent wall changes, reveals and plane changes, and any stepped floor slabs (Board supported to eliminate steps to sidewalks). Plan should be consistent with perspectives and all elevations, in particular round versus square columns, vehicle lifts, loading doors, etc.

#### Response:

- Redesign of the street level floor has resulted in larger and more functional commercial spaces at street level and at all corners.
- Retail space has been added at the corner of Wall St and 6th Ave. with the primary frontage on Wall. The commercial space will be designed to open into the residential lobby so that the lobby will be further activated as a semipublic space.
- The building storefront is set back 2' from the property line resulting in a 7' wide sidewalk along Denny Way.

**PROPOSED DESIGN**



### Parking Concept Revision

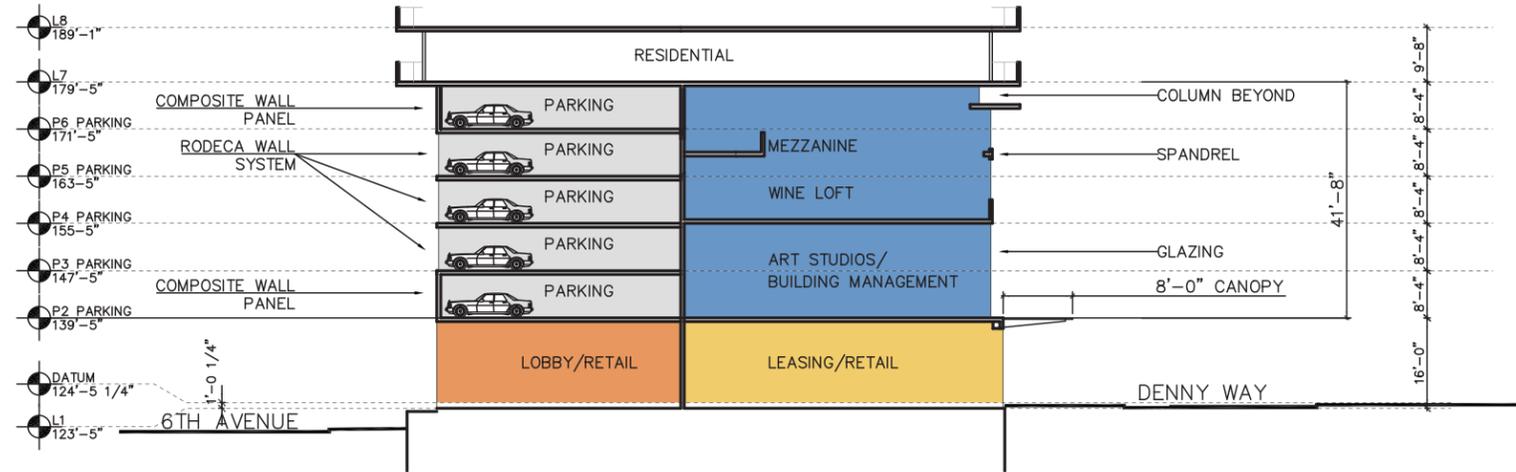
All of the above grade parking has been relocated to below grade parking levels. The parking on level 2 has been replaced with leasing/administrative offices, mechanical/ electrical equipment rooms and bike storage.

Levels 3, 4 and 5 parking has been replaced with residential uses. This change brings the more active uses closer to the street level.

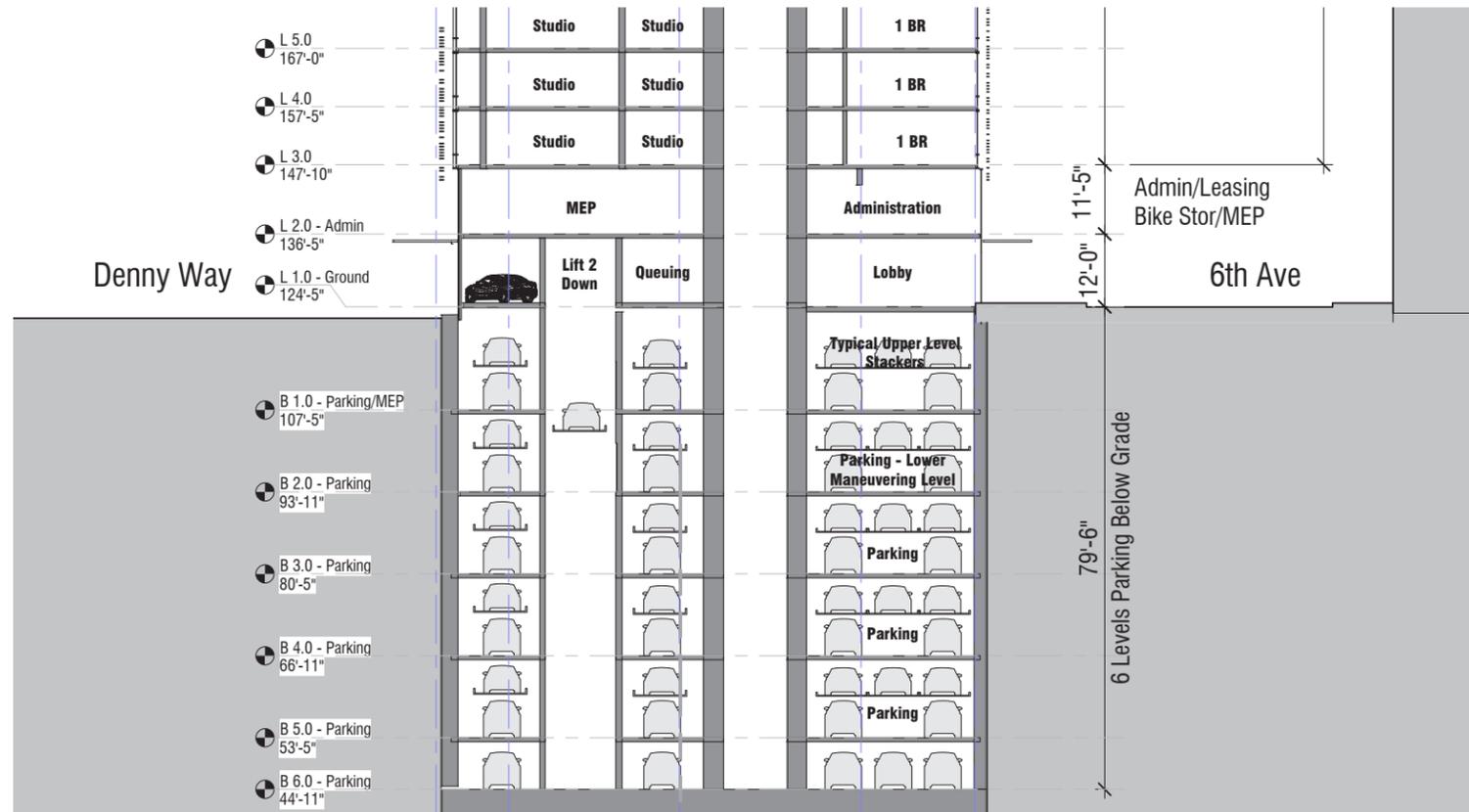
24 hour valet parking is being provided to the residents. Residents will be able to drop their vehicles adjacent to the entry lobby off of 6th, valet parking attendants will take the car to the below grade parking via three car lifts.

Vehicle pick up is located adjacent to waiting lobby adjacent to Wall St. The valet parking results in a higher level of service, convenience and safety for the building residents.

### PREVIOUS DESIGN



### PROPOSED DESIGN



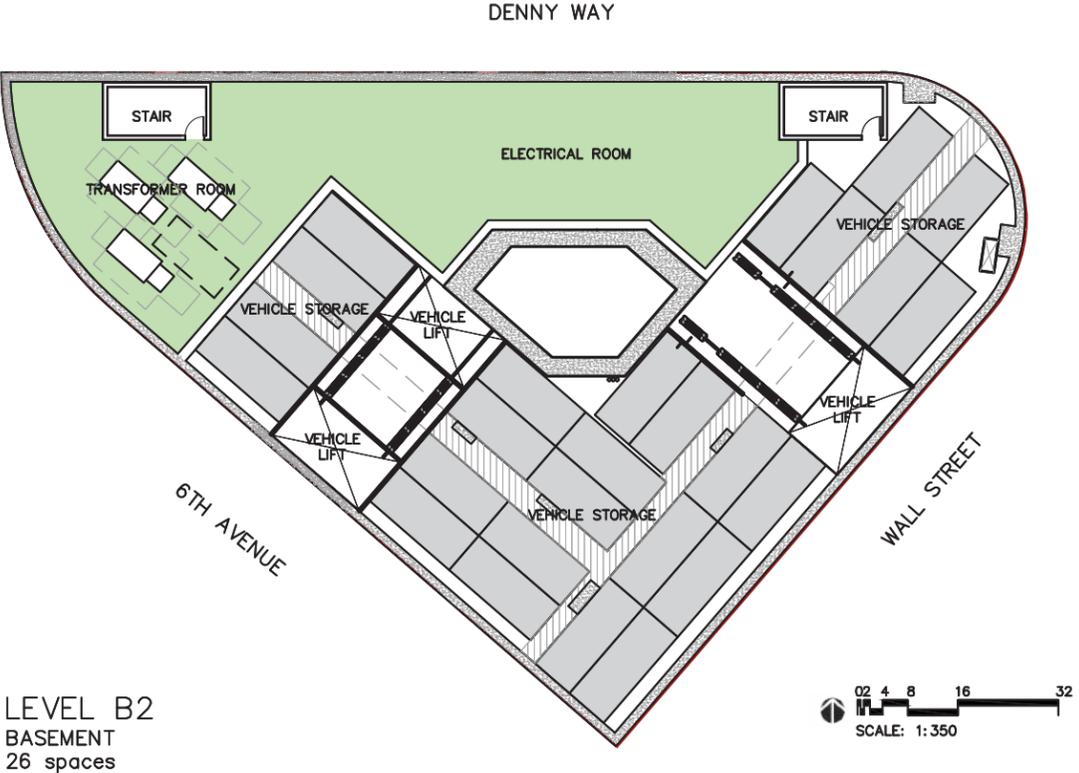
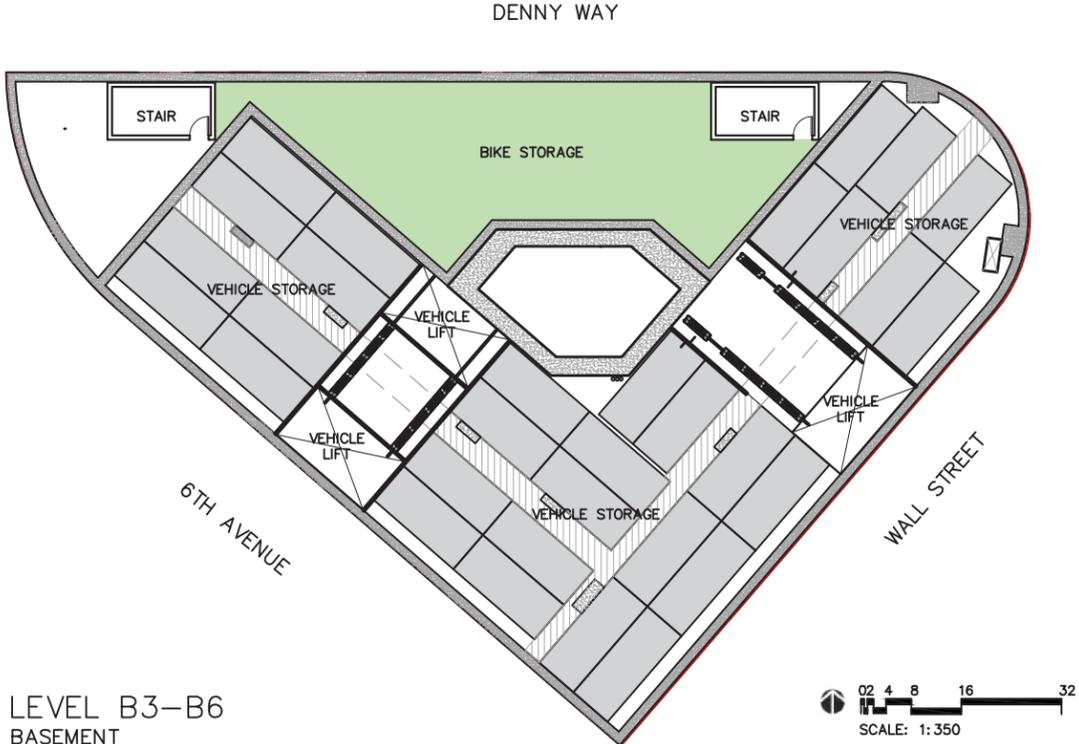


# DESIGN DRAWINGS



# 9.0 FLOOR PLANS

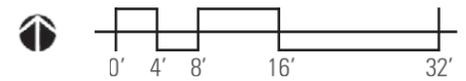
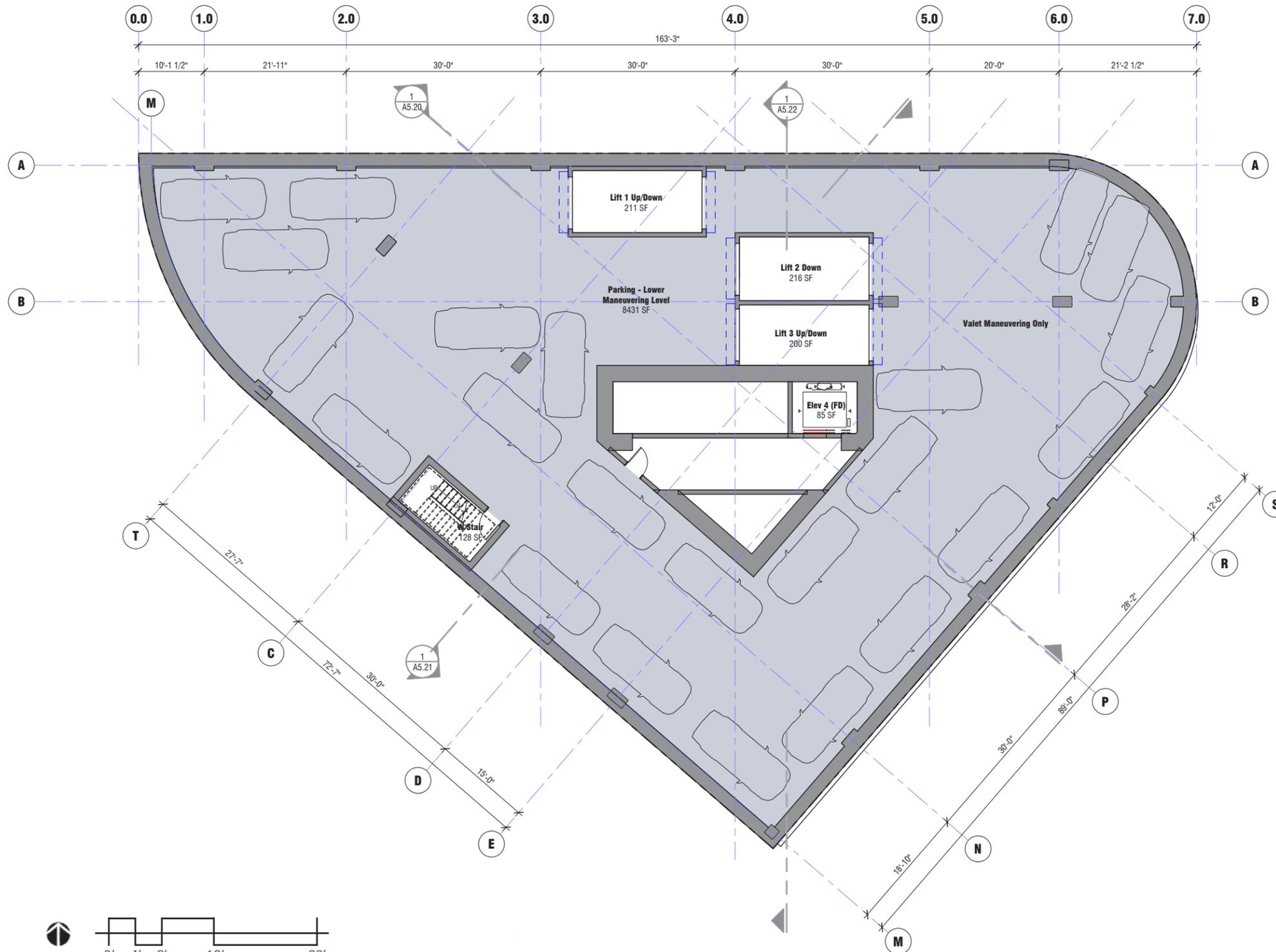
PREVIOUS DESIGN



# PROPOSED DESIGN

## KEY REVISIONS

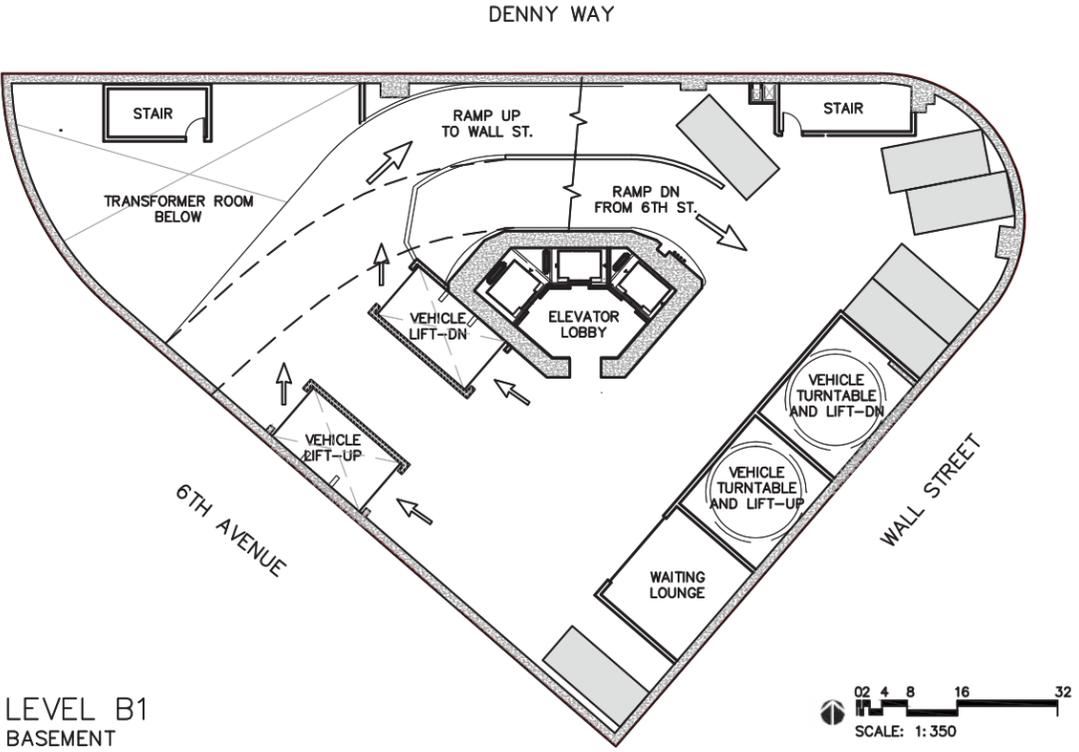
1. Revised parking scheme
2. Relocated stairs



LEVELS B2-B6  
PARKING - LOWER VALET ONLY, MANEUVERING LEVEL

- Commercial
- Mechanical/Service
- Residential Lobby
- Amenities
- Parking

PREVIOUS DESIGN

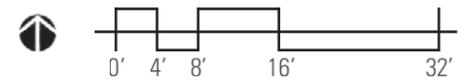
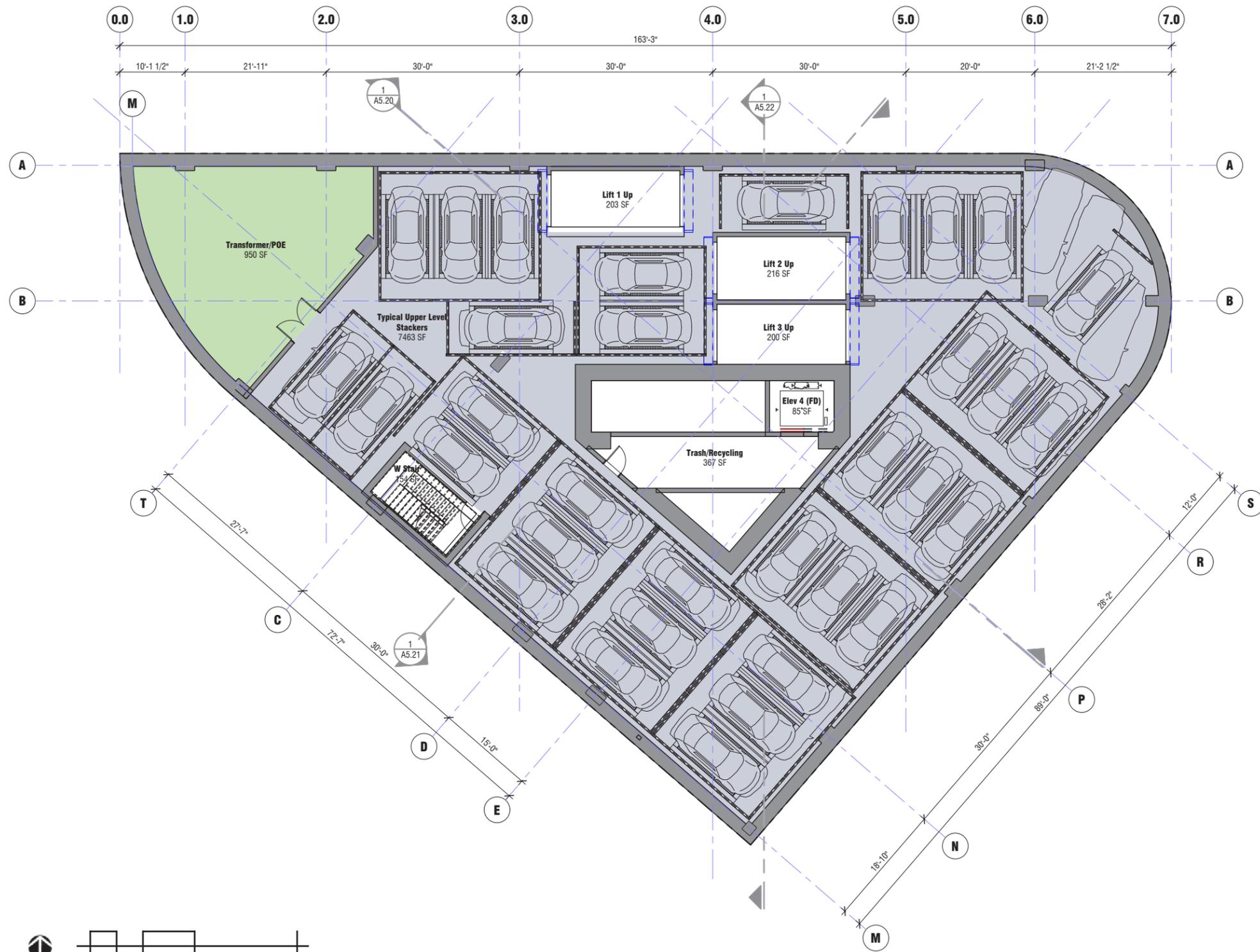


LEVEL B1  
BASEMENT

# PROPOSED DESIGN

## KEY REVISIONS

1. Added Trash/Recycling Room
2. Relocated Stair



LEVEL B1  
MEP, PARKING - TYPICAL UPPER LEVEL STACKERS

- Commercial
- Mechanical/Service
- Residential Lobby
- Amenities
- Parking

# PREVIOUS DESIGN

## E. Vehicular Access & Parking

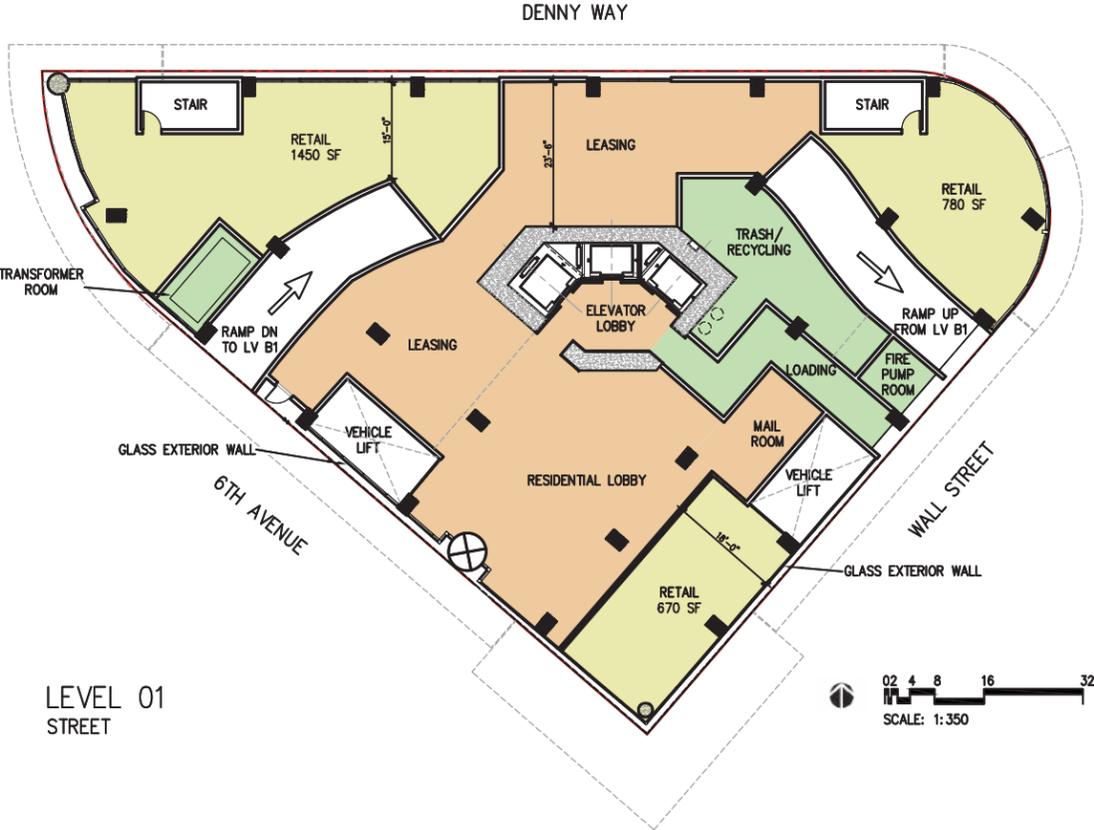
### Minimizing the Adverse Impacts

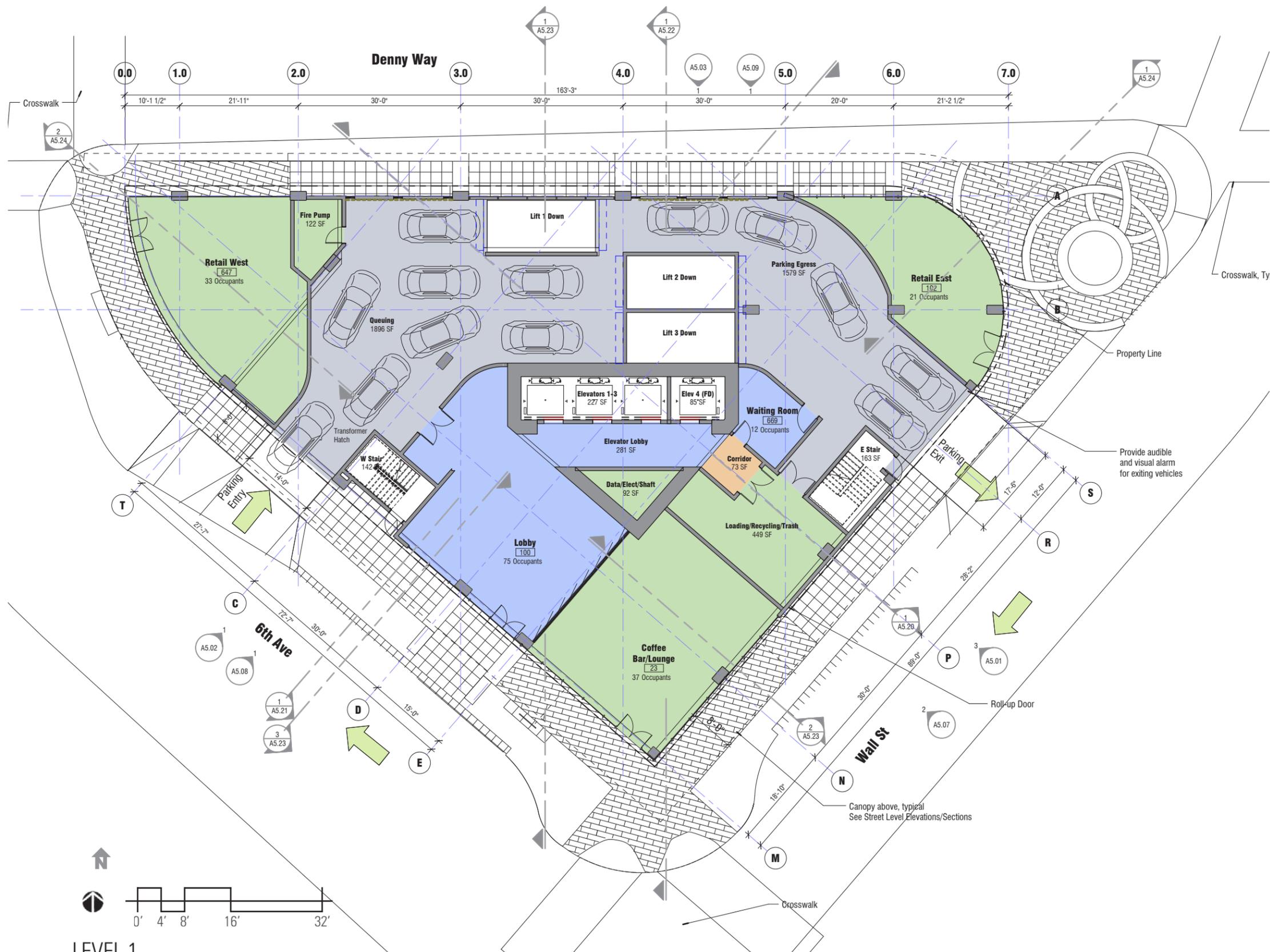
**E-2 Integrate Parking Facilities.** Minimize the visual impact of parking by integrating parking facilities with surrounding development. Incorporate architectural treatments or suitable landscaping to provide for the safety and comfort of people using the facility as well as those walking by.

At the Early Design Guidance Meeting #2, the Board applauded the ramp sections which maximized the retail floor area, supported the ramp locations and the portal opening sizes. They requested detailed material descriptions of how these ramp walls and ceilings will be treated, since they will be visible to pedestrians down to level P-1.

**Response:**

- Vehicular ramps have been eliminated - drive in areas will have textured paving, and finished walls and ceilings - similar to a hotel porte cochere.





## PROPOSED DESIGN

### KEY REVISIONS

1. Revised parking & vehicle lift
2. Moved stairs to midblock
3. Fire Service Access Elevator added

- Commercial
- Mechanical/Service
- Residential Lobby
- Amenities
- Parking

LEVEL 1  
GROUND

# PREVIOUS DESIGN

## D. Public Amenities

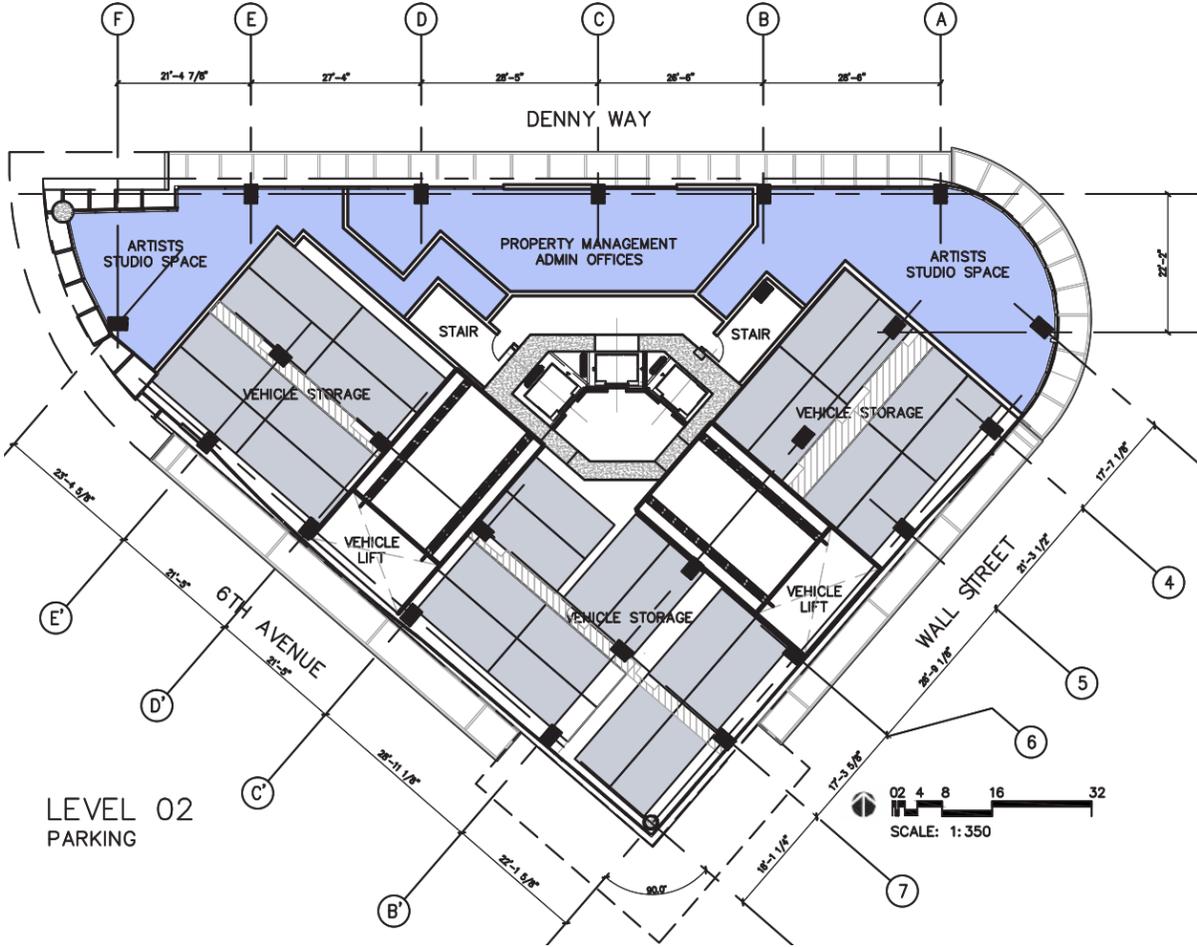
### Enhancing the Streetscape & Open Space

**D-3 Provide Elements that Define the Place.** Provide special elements on the facades, within public open spaces, or on the sidewalk to create a distinct, attractive, and memorable "sense of place" associated with the building.

At the Early Design Guidance Meeting #2, the Board supported the proposed transparent and continuous canopies as shown on page 51, but was confused and not supportive of solid canopies suggested on page 45, or the higher one at the 6th and Wall corner. Provide a clear canopy plan, a rationale for the higher canopy, and integrate it into the podium redesign per B-2 guidance.

**Response:**

- The canopies have been redesigned to be transparent and set at heights between 10'-15' continuously around the building.



# PROPOSED DESIGN

## KEY REVISIONS

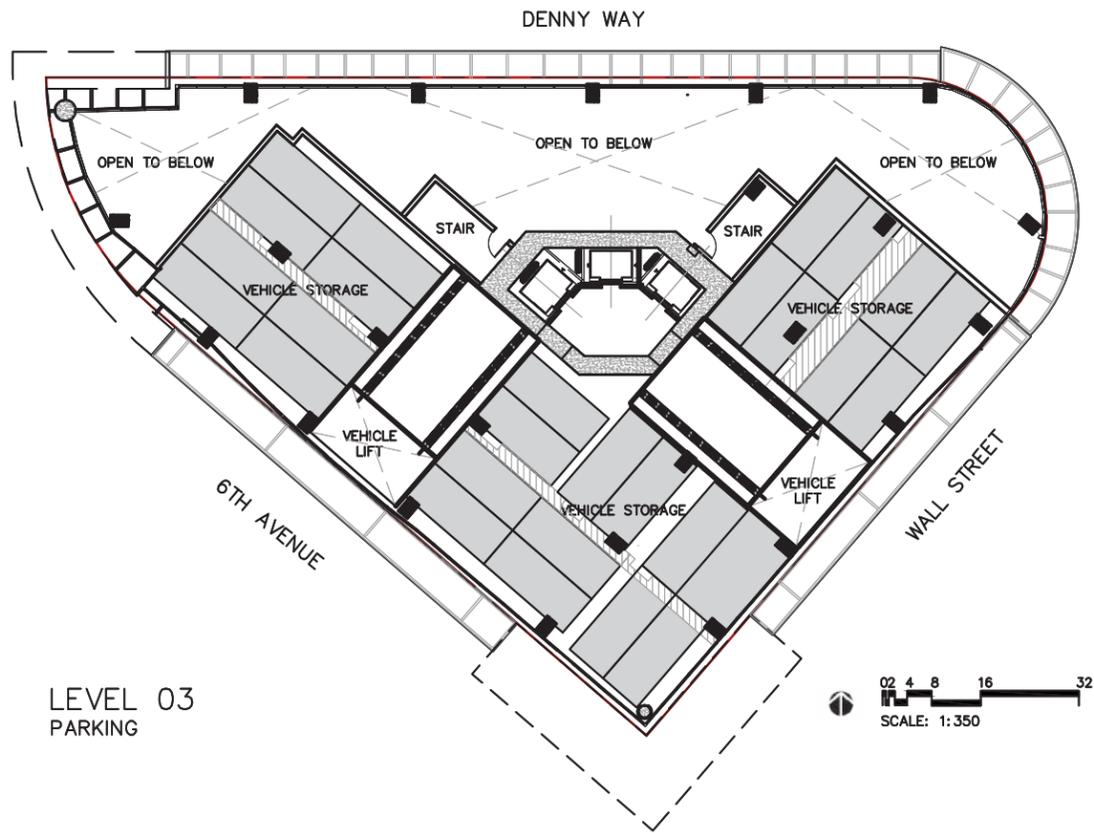
1. Relocated vehicle lift and stairs
2. Parking moved to below street level



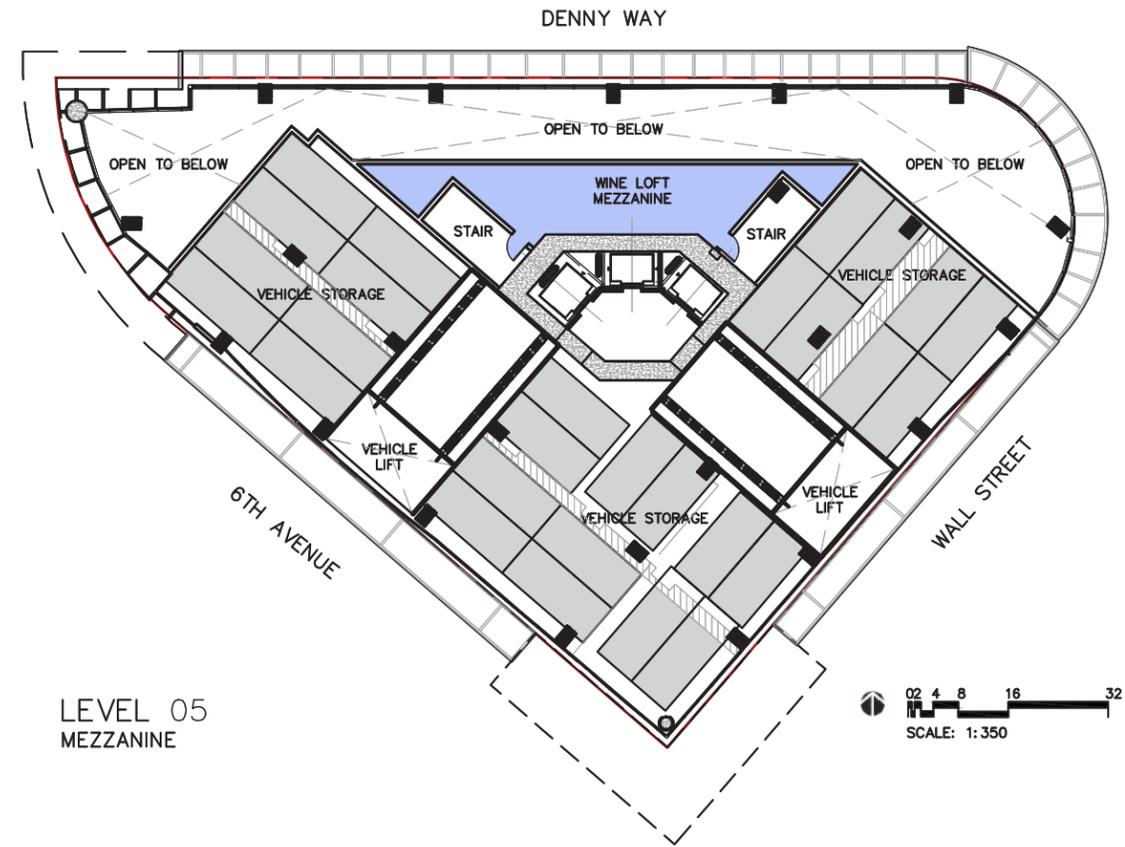
**LEVEL 2**  
 ADMINISTRATION, LEASING, BICYCLE STORAGE, MEP

- Commercial
- Mechanical/Service
- Residential Lobby
- Amenities
- Parking

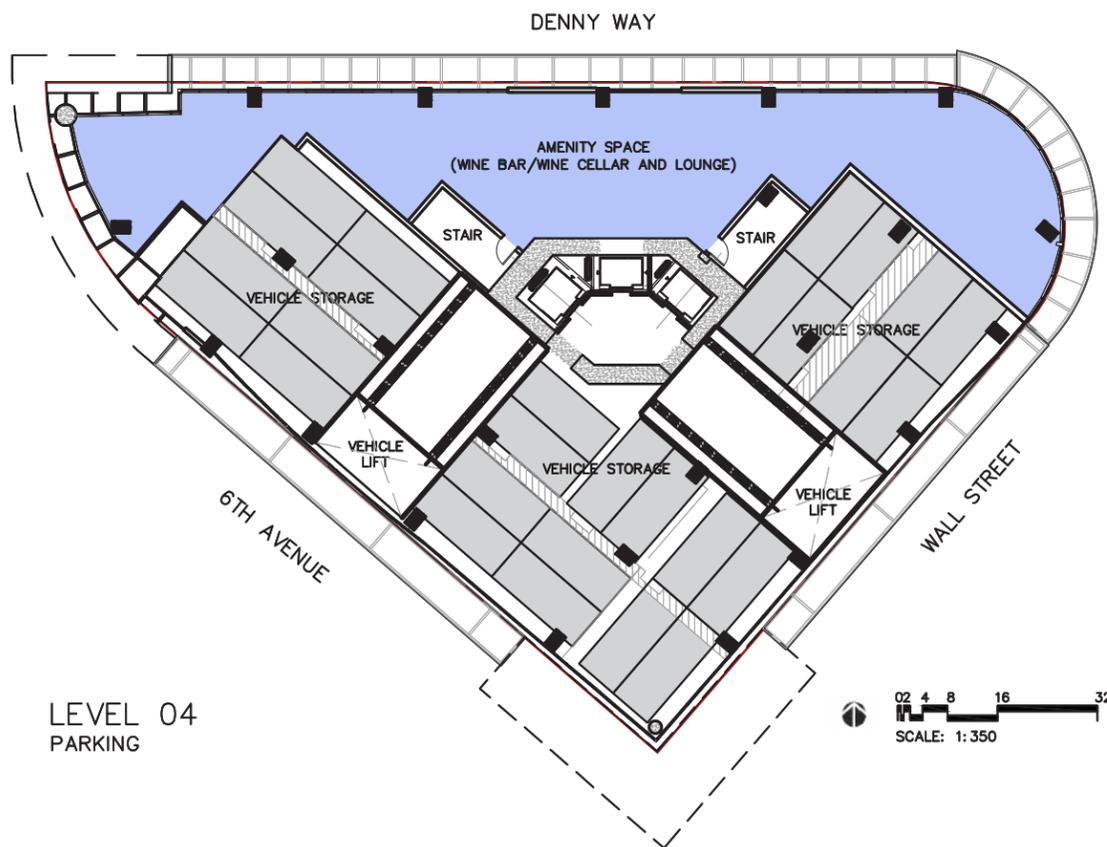
**PREVIOUS DESIGN**



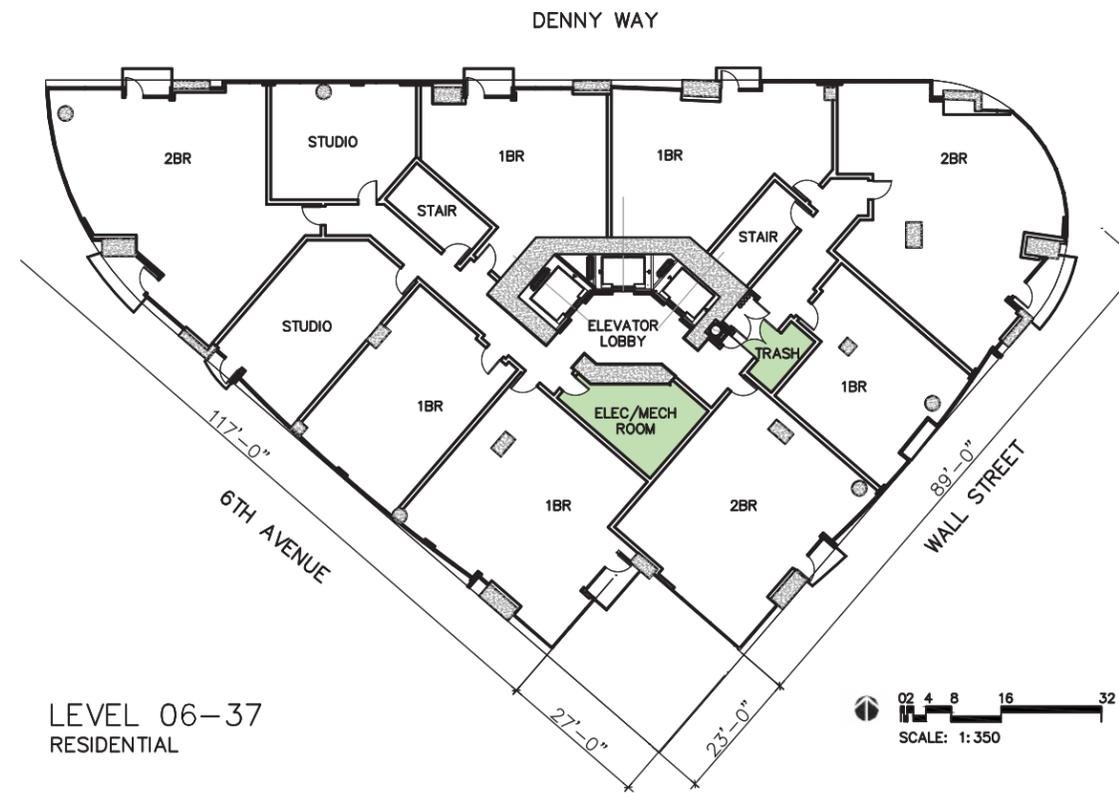
**LEVEL 03  
PARKING**



**LEVEL 05  
MEZZANINE**



**LEVEL 04  
PARKING**



**LEVEL 06-37  
RESIDENTIAL**

## PROPOSED DESIGN

### KEY REVISIONS

1. Residential units replace parking at L4/5
2. Residential units replace admin and other uses
3. Relocated stairs



### Exterior Baguette Louver System

A design element to provide a horizontal scale to this slender and tall building. The baguettes will provide varying levels of privacy for the first 3 levels of residential use. To pedestrians passing by, the louvers will frame the non-residential uses at the first 2 levels and add a smaller scale texture to balance the glass and metal spandrel curtain wall.

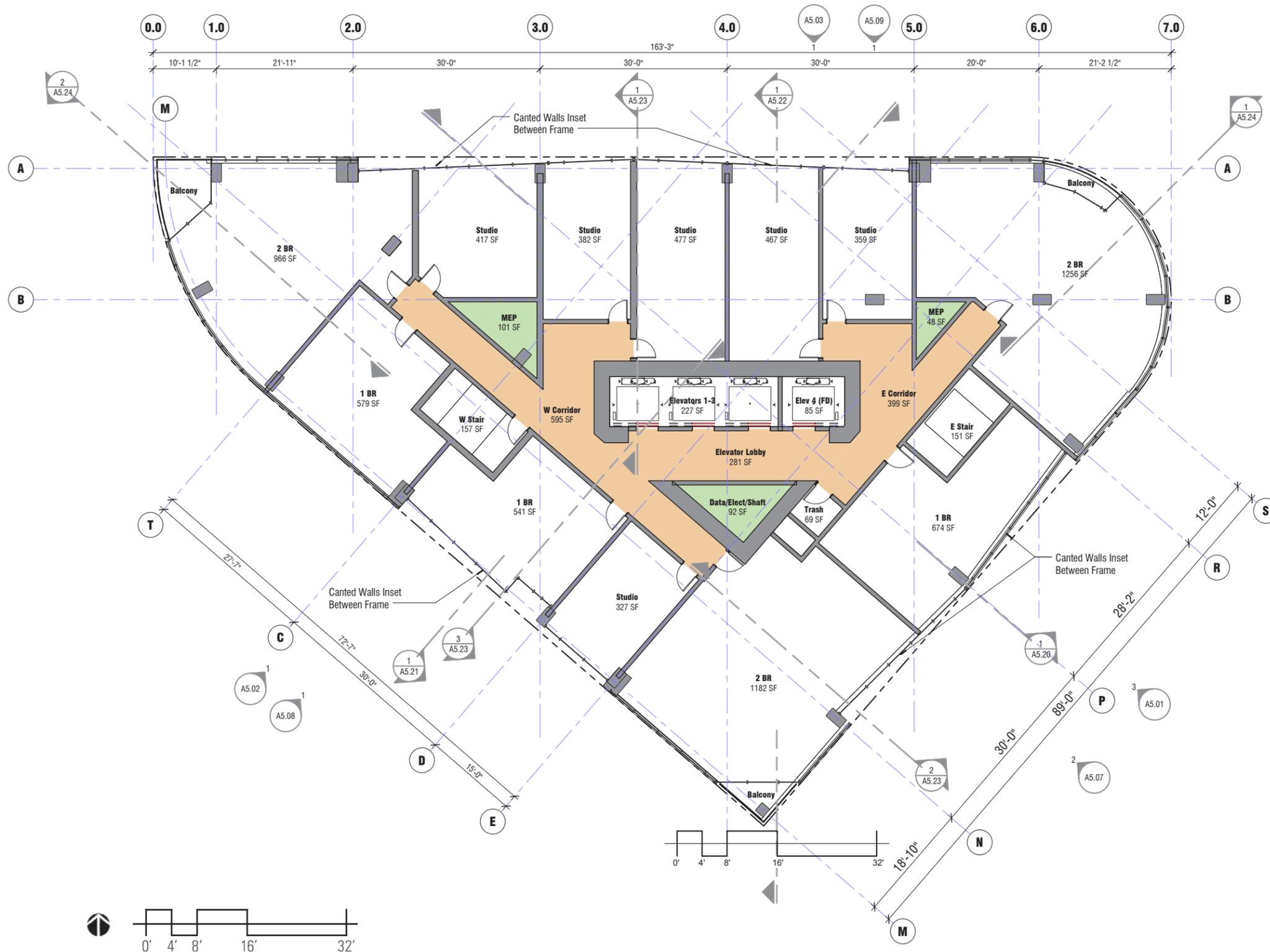
- Commercial
- Mechanical/Service
- Residential Lobby
- Amenities
- Parking

LEVELS 3-7  
RESIDENTIAL

# PROPOSED DESIGN

## KEY REVISIONS

1. Residential mix revised

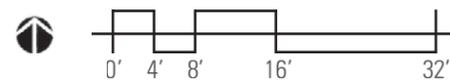
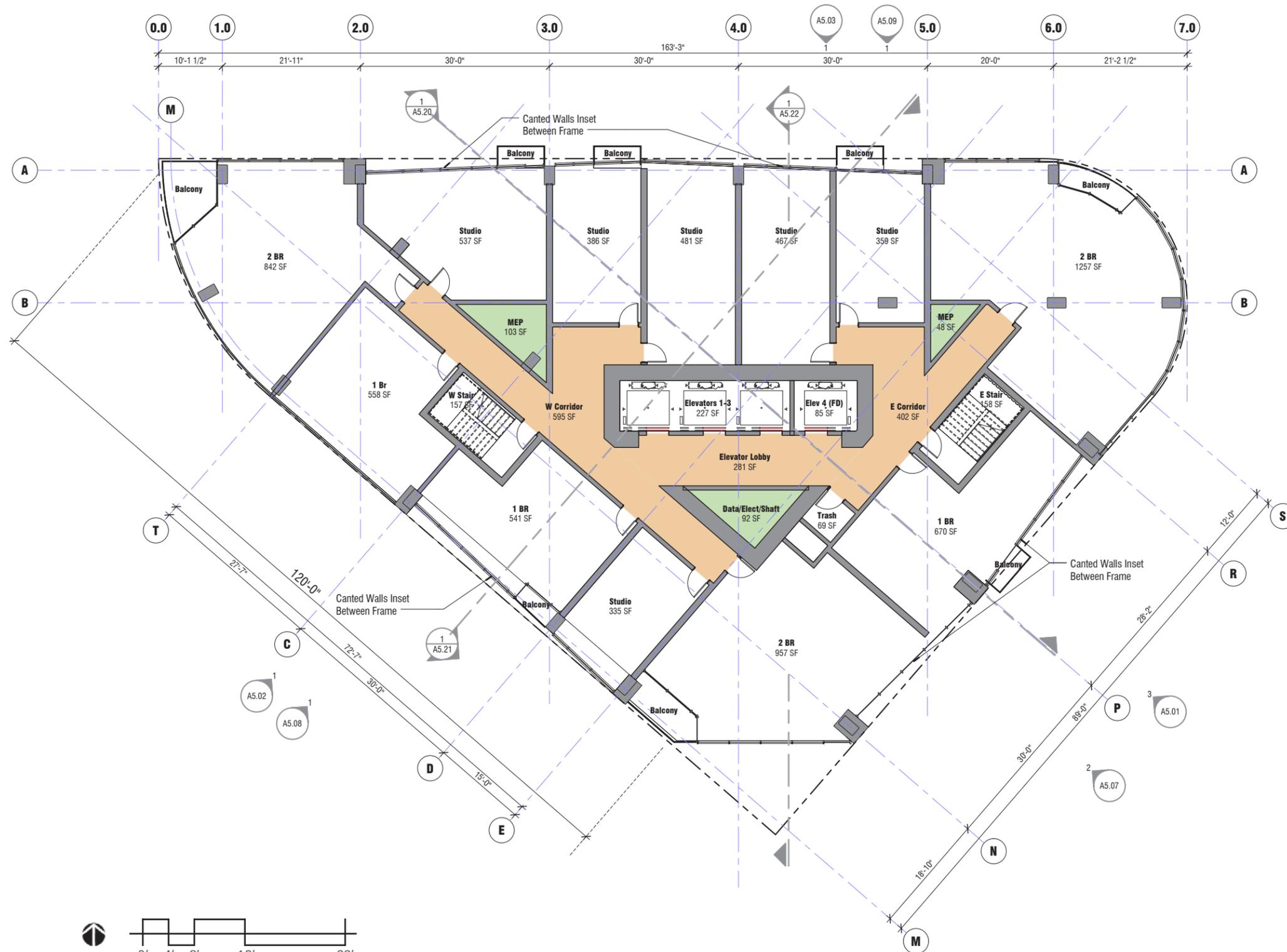


LEVEL 8  
RESIDENTIAL - 12 UNITS AT FRAME

# PROPOSED DESIGN

## KEY REVISIONS

1. Residential mix revised



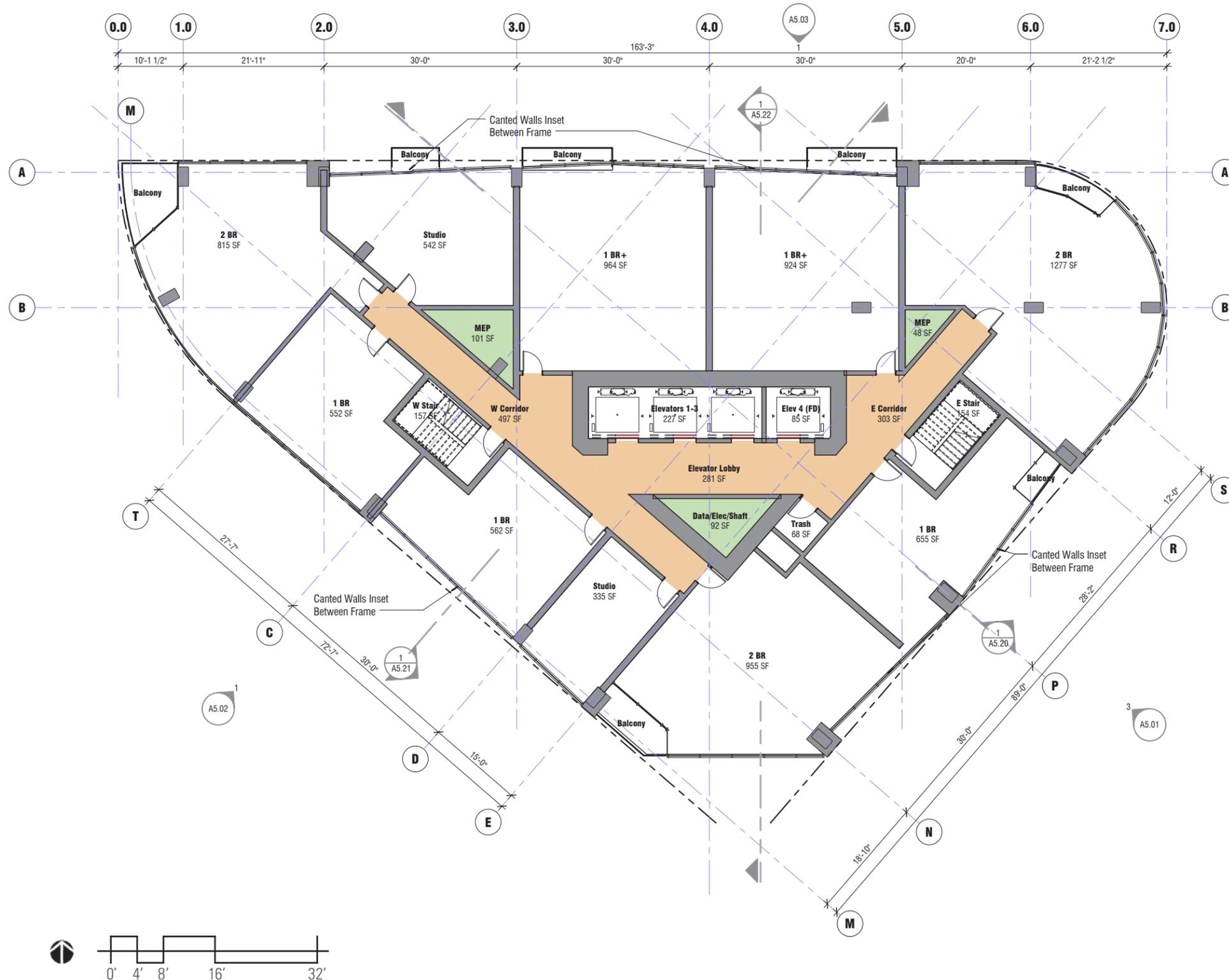
LEVELS 9-23  
RESIDENTIAL - 12 UNITS SETBACK

- Commercial
- Mechanical/Service
- Residential Lobby
- Amenities
- Parking

# PROPOSED DESIGN

## KEY REVISIONS

1. Residential mix revised

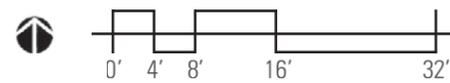
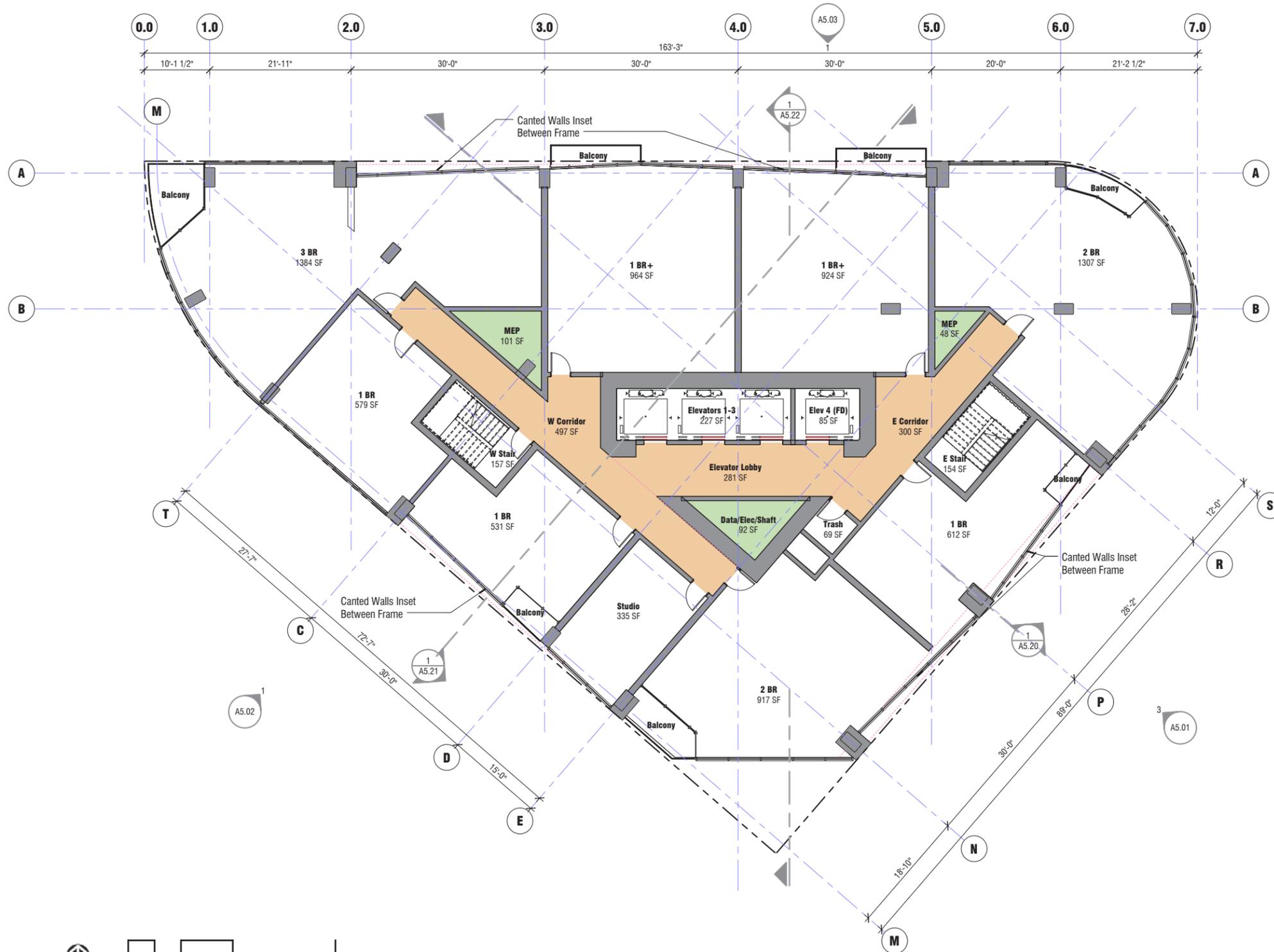


LEVELS 24-36  
RESIDENTIAL - 10 UNITS

# PROPOSED DESIGN

## KEY REVISIONS

1. Residential mix revised



LEVELS 37-41  
RESIDENTIAL - 9 UNITS

- Commercial
- Mechanical/Service
- Residential Lobby
- Amenities
- Parking

## PREVIOUS DESIGN

### A. Site Planning & Massing

#### Responding to the Larger Context

**A-2 Enhance the Skyline.** Design the upper portion of the building to promote visual interest and variety in the downtown skyline.

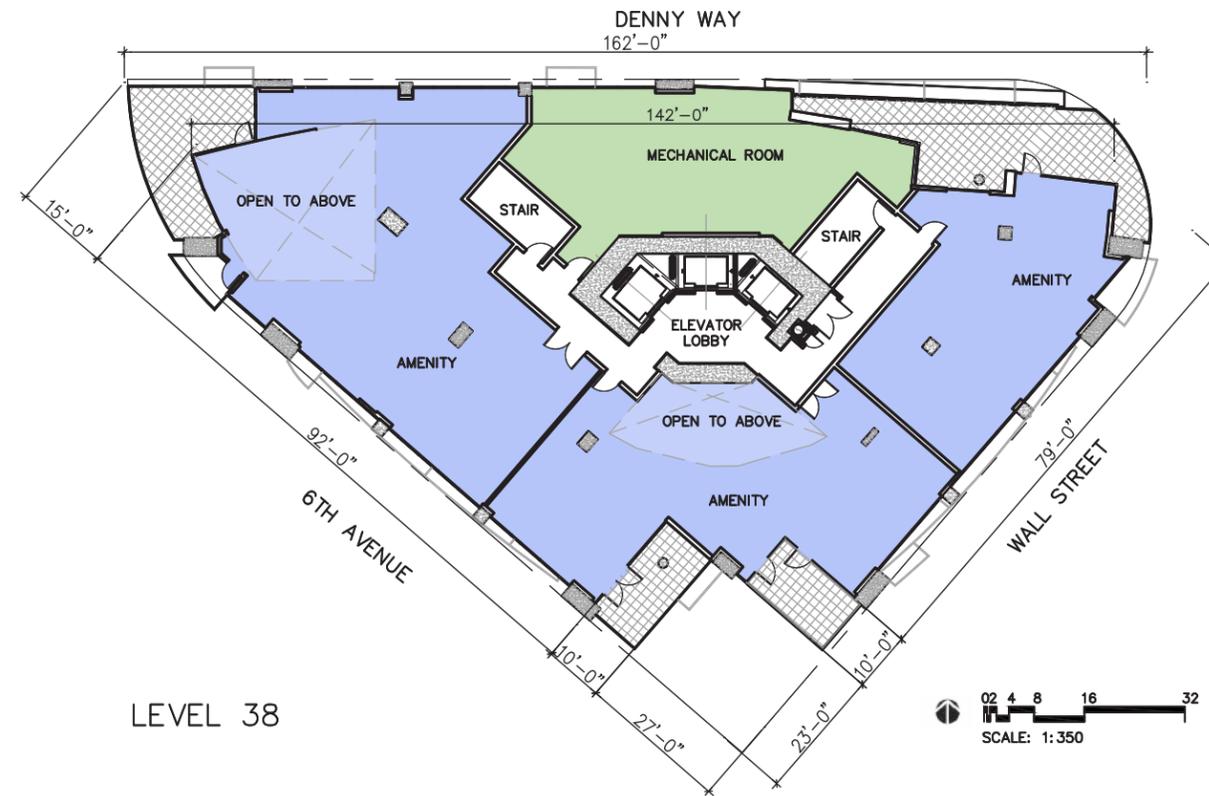
At the Early Design Guidance Meeting #2, the Board appreciated the multiple perspectives provided, and used them to inform the comments under B-2 and B-4. The Board found the tower top composition shown on page 52 promising, especially the spatial interest in the amenity rooms and the generous amount of exterior deck available to the public. However the Board noted the tower top is possibly too busy in material and formal moves, and needs clarification. The Board requested a floor 40 plan (even if mechanical), plus explanatory diagrams, proposed materials and a design rationale for the following elements:

- the three blue fins, which stop at different levels and appear to track through to the sidewalk;
- the semi-circular metal panel wall at floor 39;
- the metal panel curved wall facing Denny, and why it is canted and so similar to the one referenced above?

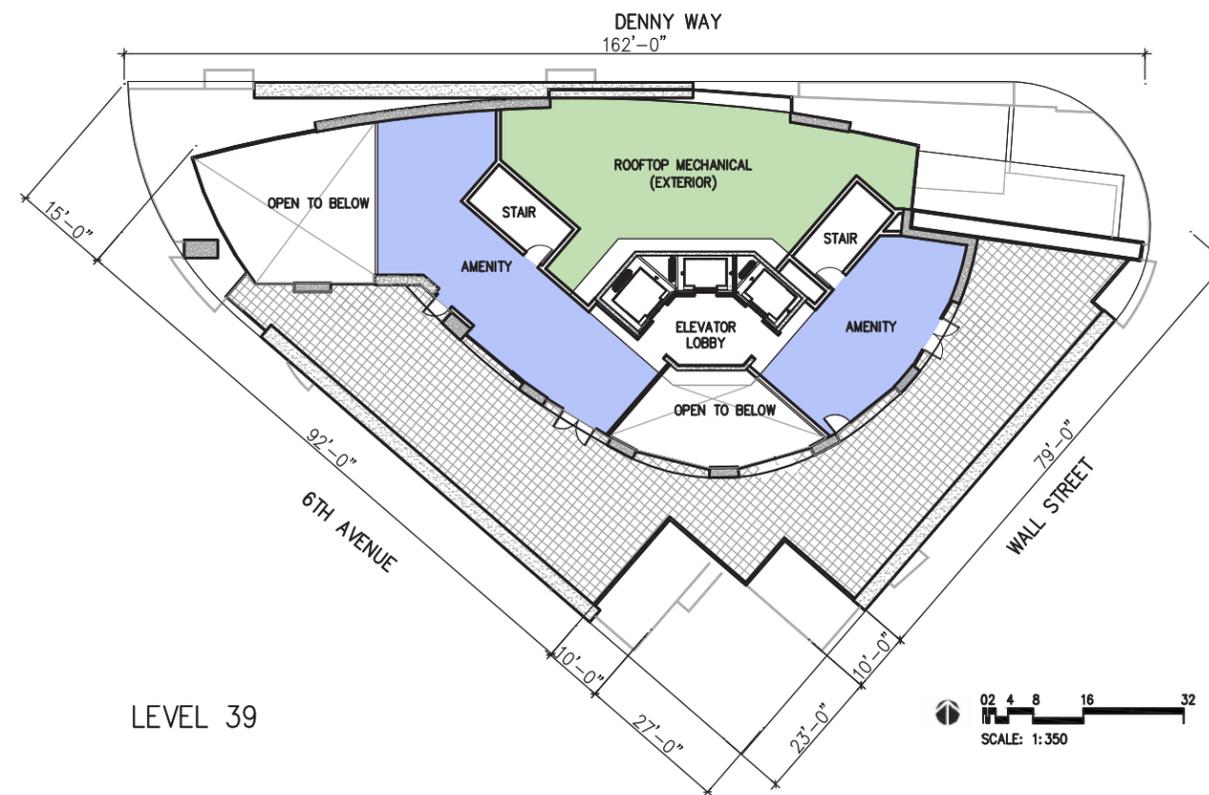
Based on the page 40-43 perspectives, the tower top provides visual interest, but the Board requests more information to evaluate proportions, materials and composition.

#### Response:

- The tower top has been redesigned to eliminate the confusing architectural elements and continue the use of the design elements at street level. The frames vary in height at each elevation and provide protected outdoor amenity areas.
- The indoor areas offer views in all directions. The 2nd level is spacious and suitable for a fitness center or other residential amenity.
- Materials will be similar to the metal & terra cotta frame and louvers at the podium



LEVEL 38

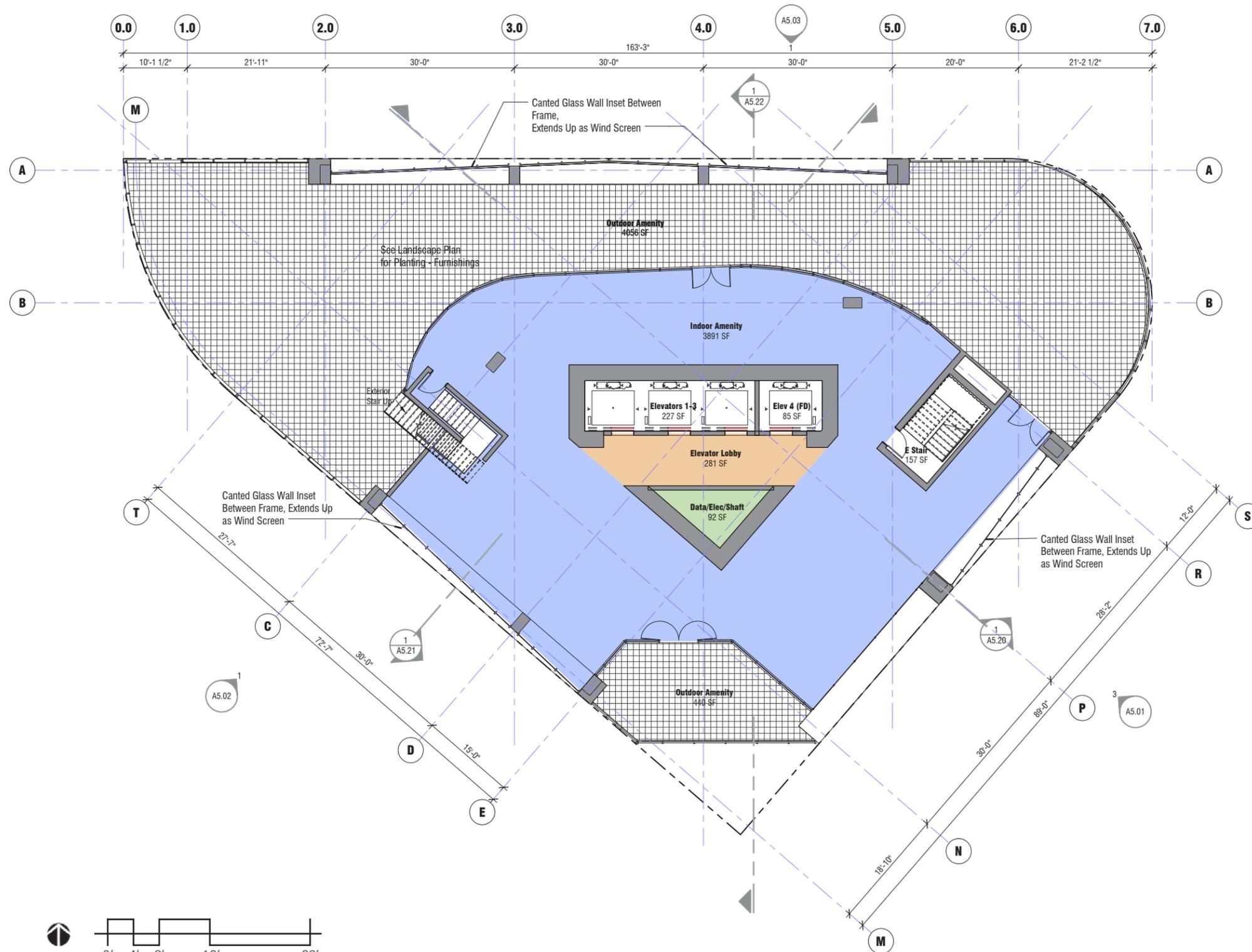


LEVEL 39

# PROPOSED DESIGN

## KEY REVISIONS

1. Amenity spaces redesigned
2. Mechanical moved to L42



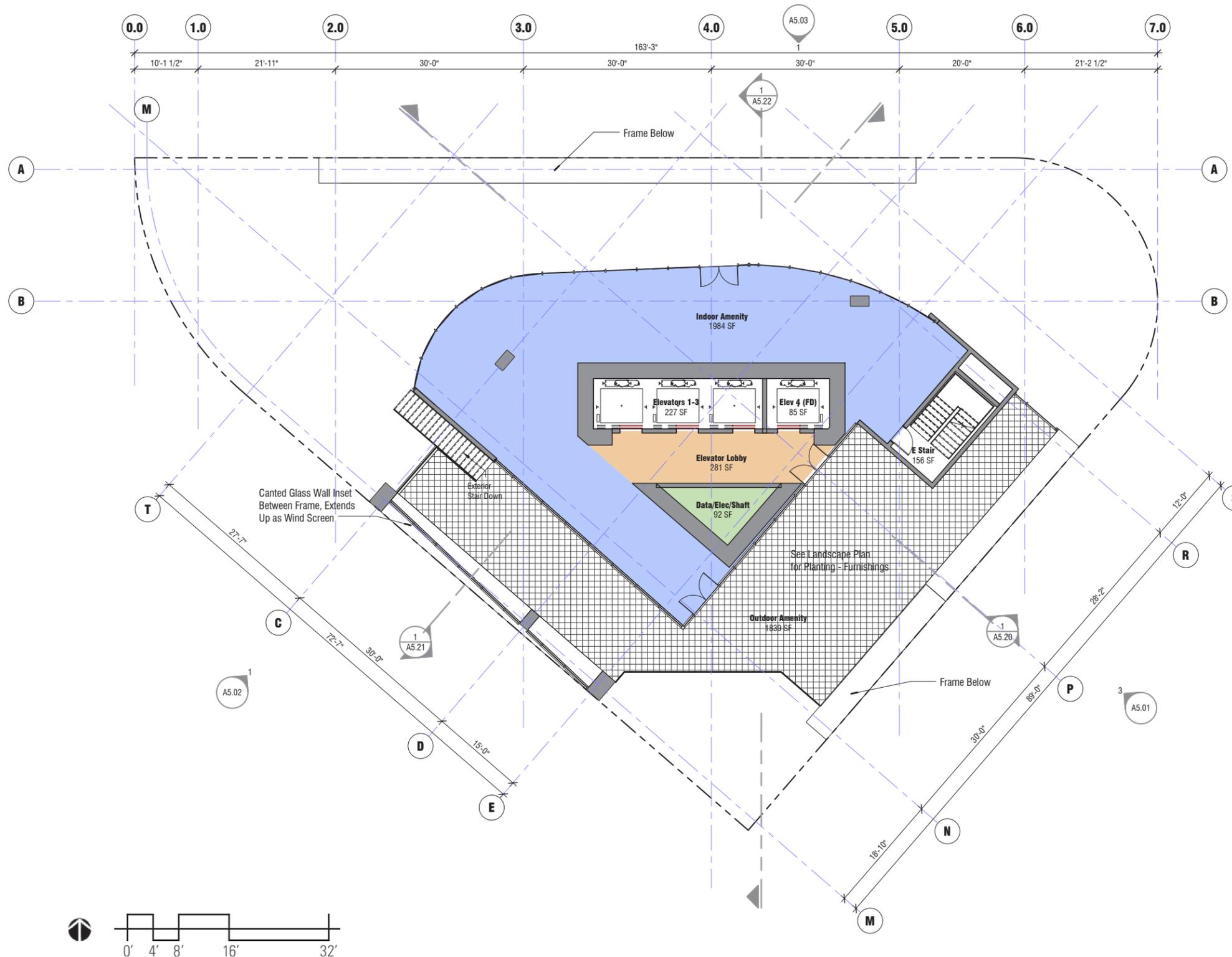
LEVEL 42  
AMENITY

- Commercial
- Mechanical/Service
- Residential Lobby
- Amenities
- Parking

## PROPOSED DESIGN

### KEY REVISIONS

1. Amenity level added
2. Mechanical moved to L42

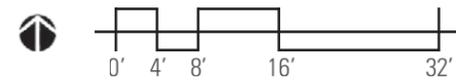
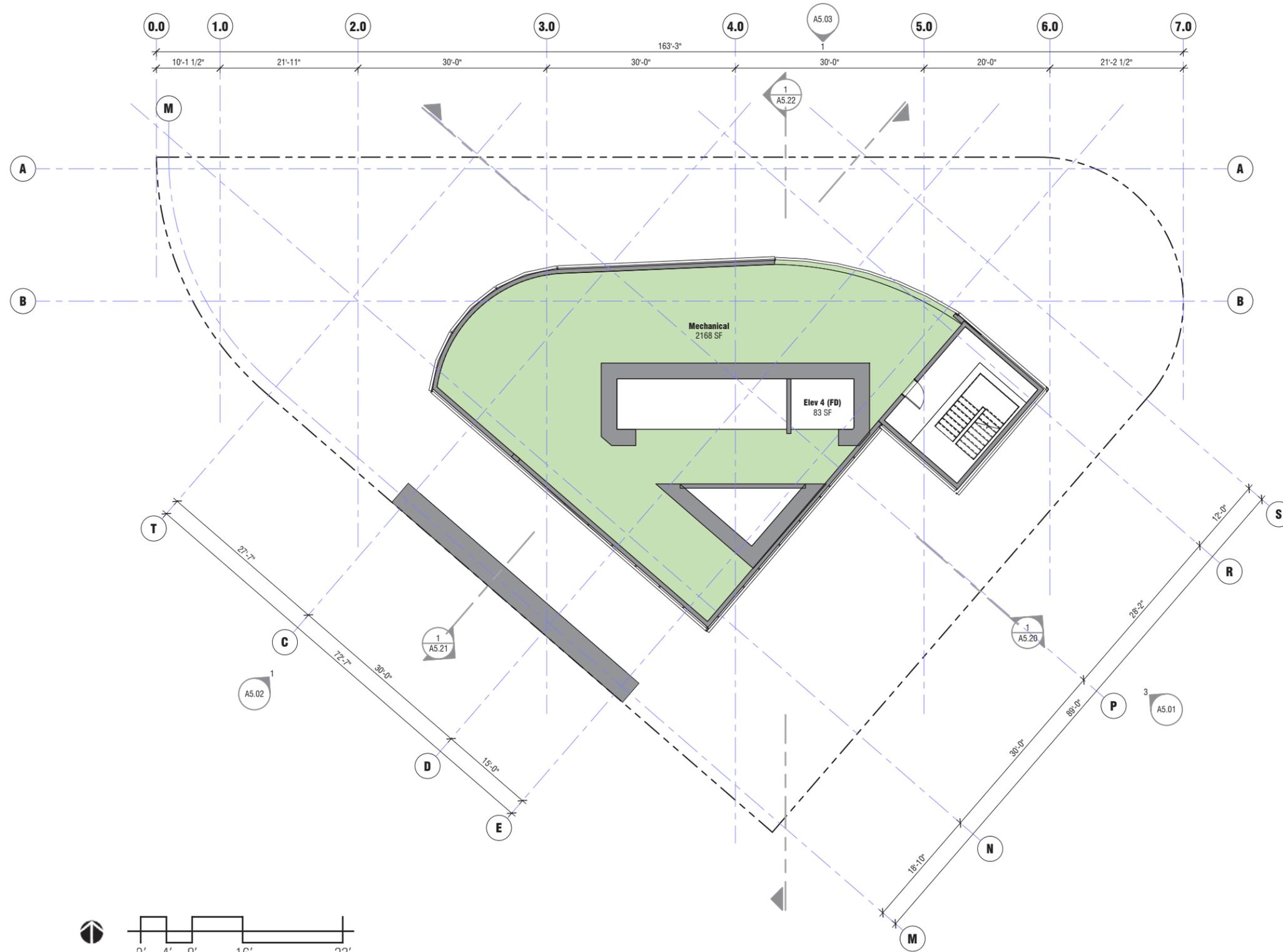


LEVEL 43  
ROOF/AMENITY

# PROPOSED DESIGN

## KEY REVISIONS

1. Mechanical moved to new level



LEVEL 44  
MECHANICAL

- Commercial
- Mechanical/Service
- Residential Lobby
- Amenities
- Parking

# 10.0 LANDSCAPE PLAN

## PREVIOUS DESIGN

### PLANTING SCHEDULE

SYMBOL	BOTANICAL NAME / COMMON NAME	QTY	SIZE
--------	------------------------------	-----	------

### DENNY WAY PLANT LIST

ACER RUBRUM 'BOWHALL' / BOWHALL MAPLE	2" CALIPER, B&B		
PRUNUS LAUROCERASUS 'OTTO LYKEN' / OTTO LYKEN LAUREL	3 GAL. CONT., MIN. 18"-24" HGT # 5PD		
STIPA TENUISSIMA / MEXICAN FEATHER GRASS	1 GAL. CONT., MIN.		
PENNESETUM A. 'HAMLYN' / FOUNTAIN GRASS	1 GAL. CONT., MIN.		

### SIXTH AVENUE and WALL STREET PLANT LIST

CERCIS CANADENSIS / EASTERN REDBUD	10' HT		
LAGERSTROEMIA 'TUSCARORA' / HYBRID CRAPE MYRTLE	10' HT		
MUSCARI ARMENICUM / GRAPE HYACINTHS	BULBS		
NEPETA NERVOSA 'FELIX' / CATMINT	1 GAL. CONT.		
AGAPANTHUS / LILLY OF THE NILE	2 GAL. CONT.		
EUONYMUS 'EMERALD 'N GOLD'	2 GAL. CONT.		
LIRIOPE MUSCARI / LILLY OF THE NILE	1 GAL. CONT.		
CLETHRA ALNIFOLIA 'HUMMINGBIRD' / SWEET PEPPERBUSH	5 GAL. CONT.		
HAKONECHLOA MACRA 'AUREA' / GOLDEN JAPANESE FOREST GRASS	1 GAL. CONT.		



# PROPOSED DESIGN



## 1 PLANTING PLAN

PLANTING SCHEDULE

BOTANICAL NAME / COMMON NAME	SIZE	COMMENTS
*CERCIS CANADENSIS / EASTERN REDBUD	10' HT	MULTI-STEM SPECIMENS, HEAVY CLUMPS WITH 3 MAJOR STEMS @ 1" CAL.
LAGERSTROEMIA 'TUSCARORA' / HYBRID CRAPE MYRTLE	10' HT	MULTI-STEM SPECIMENS, HEAVY CLUMPS WITH 3 MAJOR STEMS @ 1" CAL.
MUSCARI ARMENIACUM / GRAPE HYACINTHS	BULBS	
*NEPETA NERVOSA 'FELIX' / CATMINT	1 GAL. CONT.	
*AGAPANTHUS / LILLY OF THE NILE	2 GAL. CONT.	VIGOROUS & UPRIGHT
EUONYMUS 'EMERALD N GOLD'	2 GAL. CONT.	VIGOROUS & UPRIGHT
LIRIOPE MUSCARI / LILLY OF THE NILE	1 GAL. CONT.	
*CLETHRÁ ALNFOLIA 'HUMMINGBIRD' / SWEET PEPPERBUSH	5 GAL. CONT.	COMPACT & DENSE FOLIAGE
HAKONECHLOA MACRA 'AUREA' / JAPANESE FOREST GRASS	1 GAL. CONT.	COMPACT & DENSE FOLIAGE

SYMBOL	BOTANICAL NAME / COMMON NAME	SIZE	COMMENTS
	ACER RUBRUM 'BOWHALL' / BOWHALL MAPLE	2' CAL/PER. B&B	STRONG CENTRAL LEADER
	*PRUNUS L. MT. VERNON / MT. VERNON LAUREL	3 GAL. CONT., MIN. 18"-24" HGT & SPD	BUSHY TO CENTER AND FULLY BRANCHED TO GRADE
	*HEMEROCALLIS 'PURPLE DE ORO' / PURPLE DE ORO DAYLILY	1 GAL. CONT., MIN.	PLANT 18" O.C.
	*FRAGARIA CHILOENSIS / BEACH STRAWBERRY	1 GAL. CONT., MIN.	PLANT 18" O.C.
	ULMUS 'FRONTIER' / FRONTIER ELM	4" CAL/PER. B&B	SPECIMEN

NOTE:  
\* DENOTES NATIVE AND OR DROUGHT TOLERANT

## D. Public Amenities

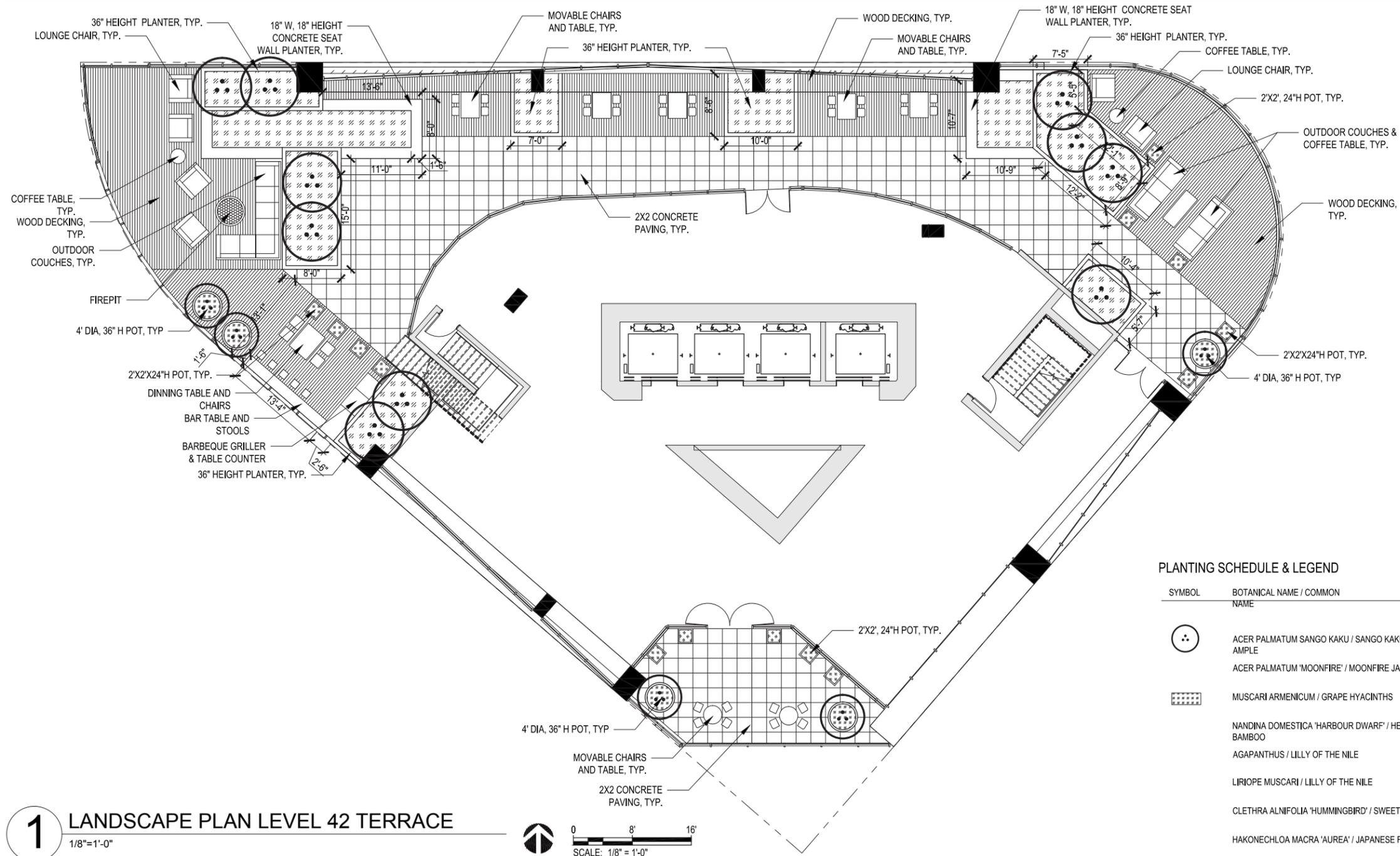
### Enhancing the Streetscape & Open Space

**D-1 Provide Inviting & Usable Open Space.** Design public open spaces to promote a visually pleasing, safe, and active environment for workers, residents, and visitors. Views and solar access from the principal area of the open space should be especially emphasized.

At the Early Design Guidance Meeting #2, the Board supported the bulb-outs and widened sidewalk along Wall Street, and requested the site plan (page 24) show all the adjacent sidewalks and the proposed crosswalks to all corners of the project. The curb ramps shown on page 24 and 50/51 do not align with the crosswalks. The Board requested the next version of drawings clearly describe all paving materials and plant species, and describe seating blocks, cafe seating and other special features. The planter strips should be eased at the intersections to acknowledge pedestrian desire lines, and the landscape palette should accommodate the urban level of activity.

#### Response:

- The Landscape design has been refined as shown in Section 10.0.

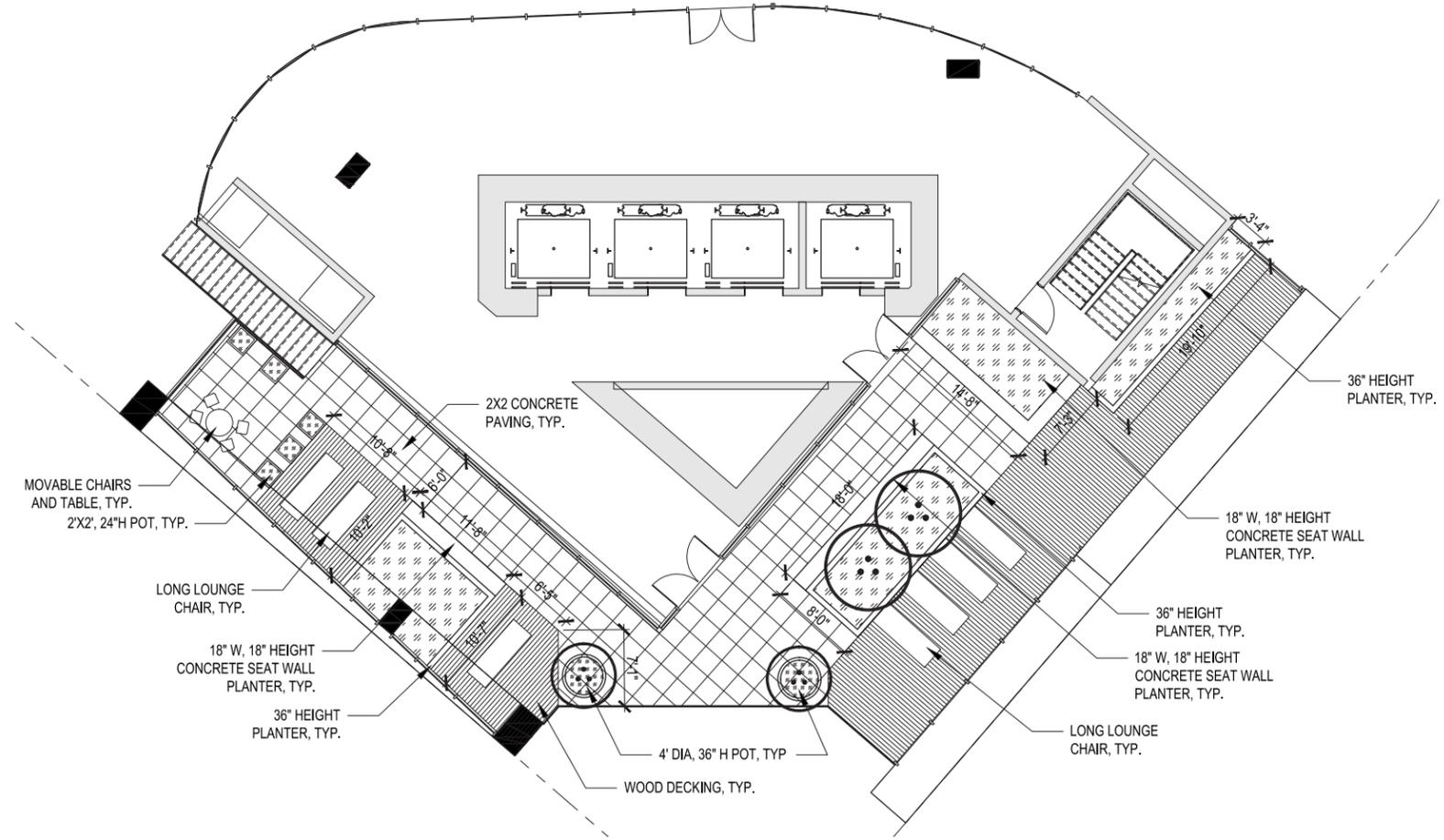


**PLANTING SCHEDULE & LEGEND**

SYMBOL	BOTANICAL NAME / COMMON NAME	SIZE	COMMENTS
	ACER PALMATUM SANGO KAKU / SANGO KAKU JAPANESE AMPLE	8' HT.	
	ACER PALMATUM 'MOONFIRE' / MOONFIRE JAPANESE MAPLE	8' HT.	
	MUSCARI ARMENICUM / GRAPE HYACINTHS	BULBS	
	NANDINA DOMESTICA 'HARBOUR DWARF' / HEAVENLY BAMBOO	2 GAL. CONT.	
	AGAPANTHUS / LILLY OF THE NILE	2 GAL. CONT.	VIGOROUS & UPRIGHT
	LIRIOPE MUSCARI / LILLY OF THE NILE	1 GAL. CONT.	
	CLETHRA ALNIFOLIA 'HUMMINGBIRD' / SWEET PEPPERBUSH	5 GAL. CONT.	COMPACT & DENSE FOLIAGE
	HAKONECHLOA MACRA 'AUREA' / JAPANESE FOREST GRASS	1 GAL. CONT.	COMPACT & DENSE FOLIAGE

**1 LANDSCAPE PLAN LEVEL 42 TERRACE**  
1/8" = 1'-0"

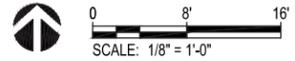




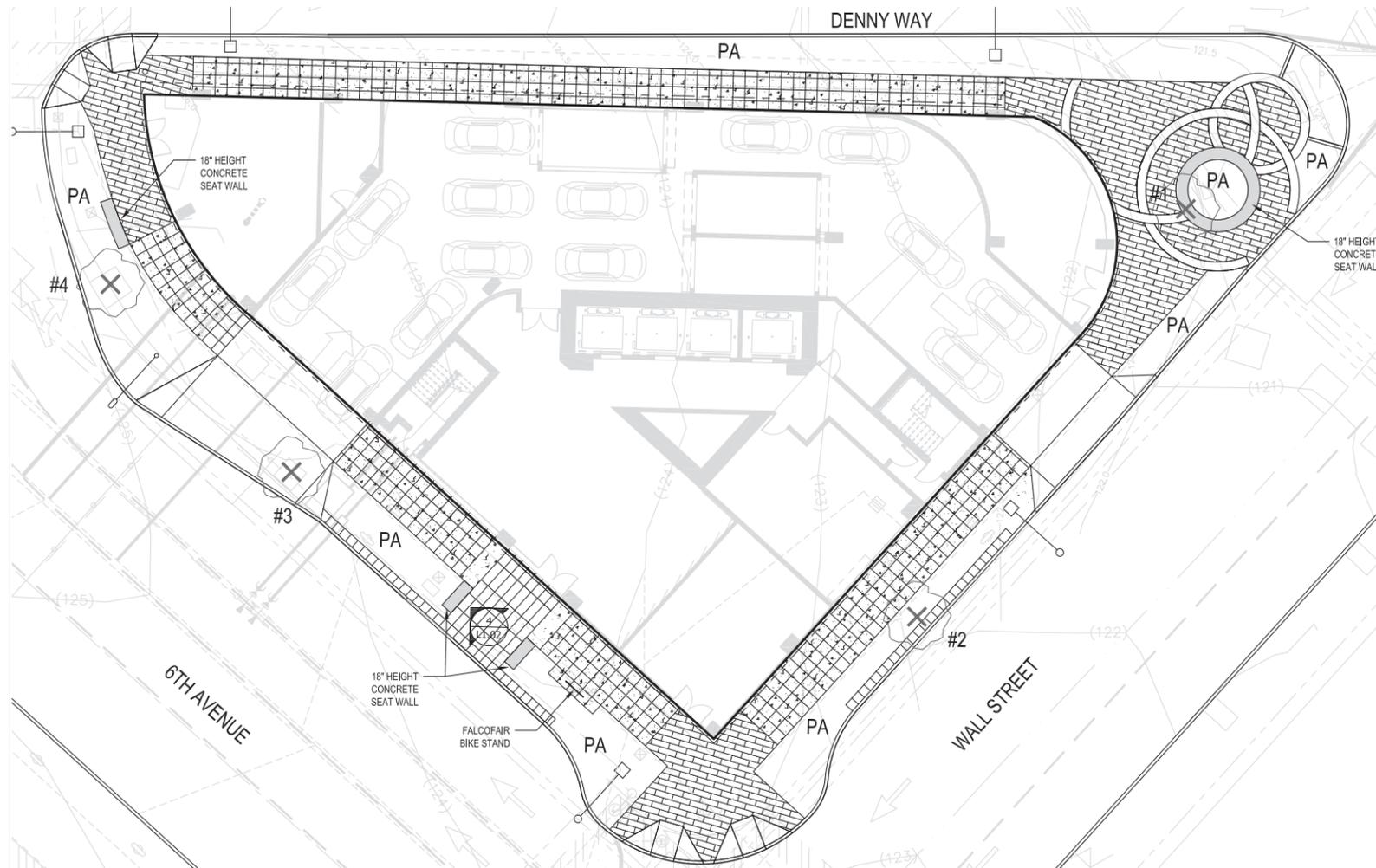
**PLANTING SCHEDULE & LEGEND**

SYMBOL	BOTANICAL NAME / COMMON NAME	SIZE	COMMENTS
	ACER PALMATUM SANGO KAKU / SANGO KAKU JAPANESE AMPLE	8' HT.	
	ACER PALMATUM 'MOONFIRE' / MOONFIRE JAPANESE MAPLE	8' HT.	
	MUSCARI ARMENICUM / GRAPE HYACINTHS	BULBS	
	NANDINA DOMESTICA 'HARBOUR DWARF' / HEAVENLY BAMBOO	2 GAL. CONT.	
	AGAPANTHUS / LILLY OF THE NILE	2 GAL. CONT.	VIGOROUS & UPRIGHT
	LIRIOPE MUSCARI / LILLY OF THE NILE	1 GAL. CONT.	
	CLETHRA ALNIFOLIA 'HUMMINGBIRD' / SWEET PEPPERBUSH	5 GAL. CONT.	COMPACT & DENSE FOLIAGE
	HAKONECHLOA MACRA 'AUREA' / JAPANESE FOREST GRASS	1 GAL. CONT.	COMPACT & DENSE FOLIAGE

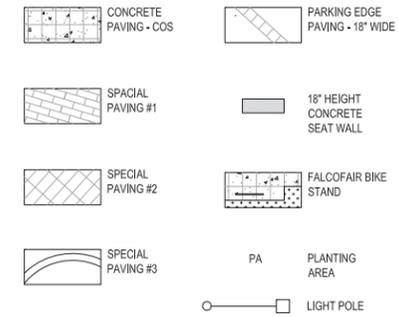
**2** LANDSCAPE PLAN LEVEL 43 TERRACE  
1/8"=1'-0"



# 10.0 HARDSCAPE PLAN



## MATERIALS LEGEND



## EXISTING TREE SCHEDULE - TREES TO BE REMOVED

#	SCIENTIFIC NAME	COMMON NAME	SIZE	NOTES
1	LIQUIDAMBAR STYRACIFLUA	SWEET GUM	10"	
2	LIQUIDAMBAR STYRACIFLUA	SWEET GUM	8"	
3	LIQUIDAMBAR STYRACIFLUA	SWEET GUM	8"	
4	LIQUIDAMBAR STYRACIFLUA	SWEET GUM	4"	



## 4 18" CONCRETE SEAT WALL

1/2" = 1'-0" ELEVATION

## 1 MATERIALS PLAN

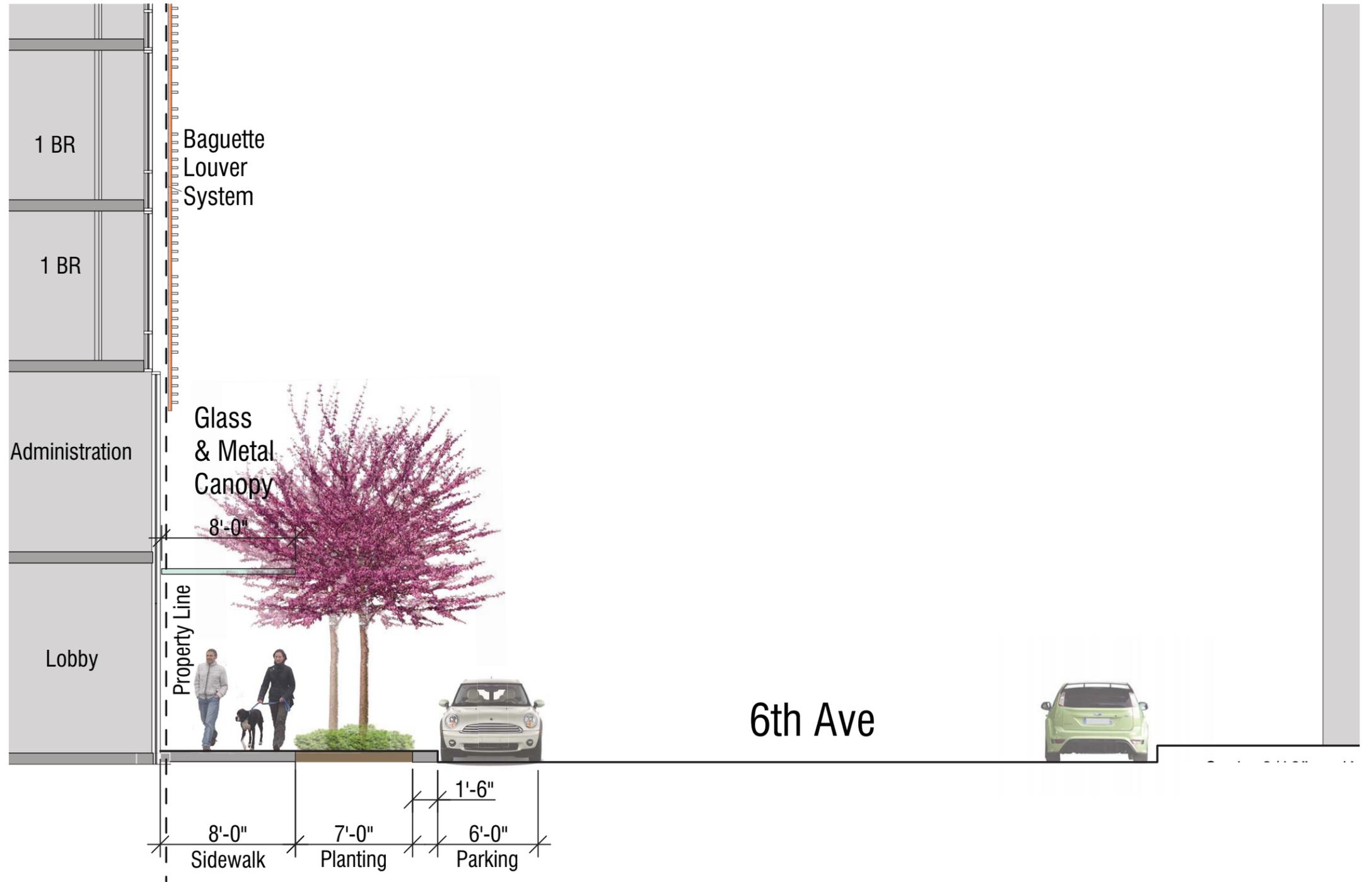
1/10" = 1'-0"

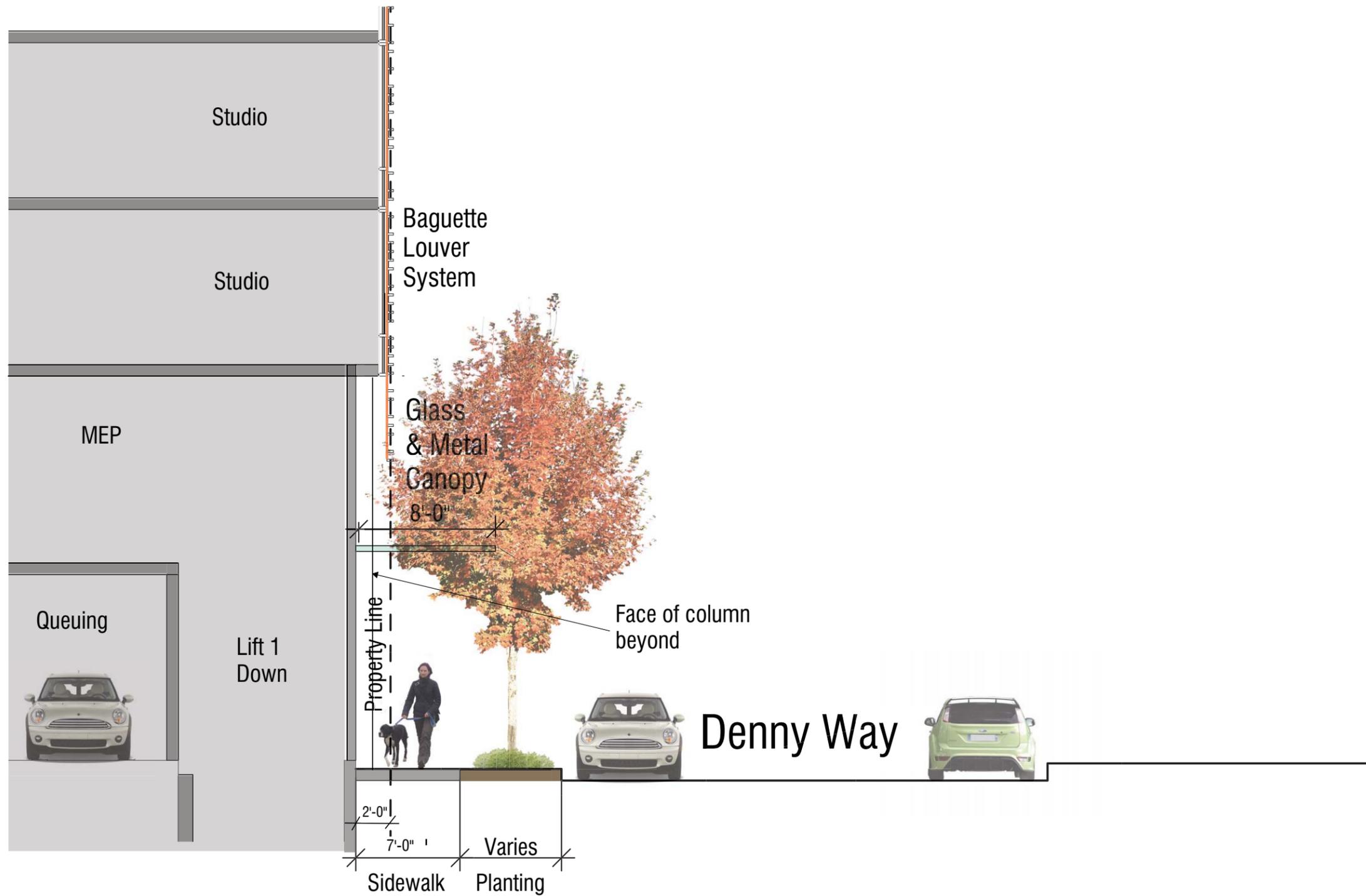
## PLANTING SCHEDULE & LEGEND

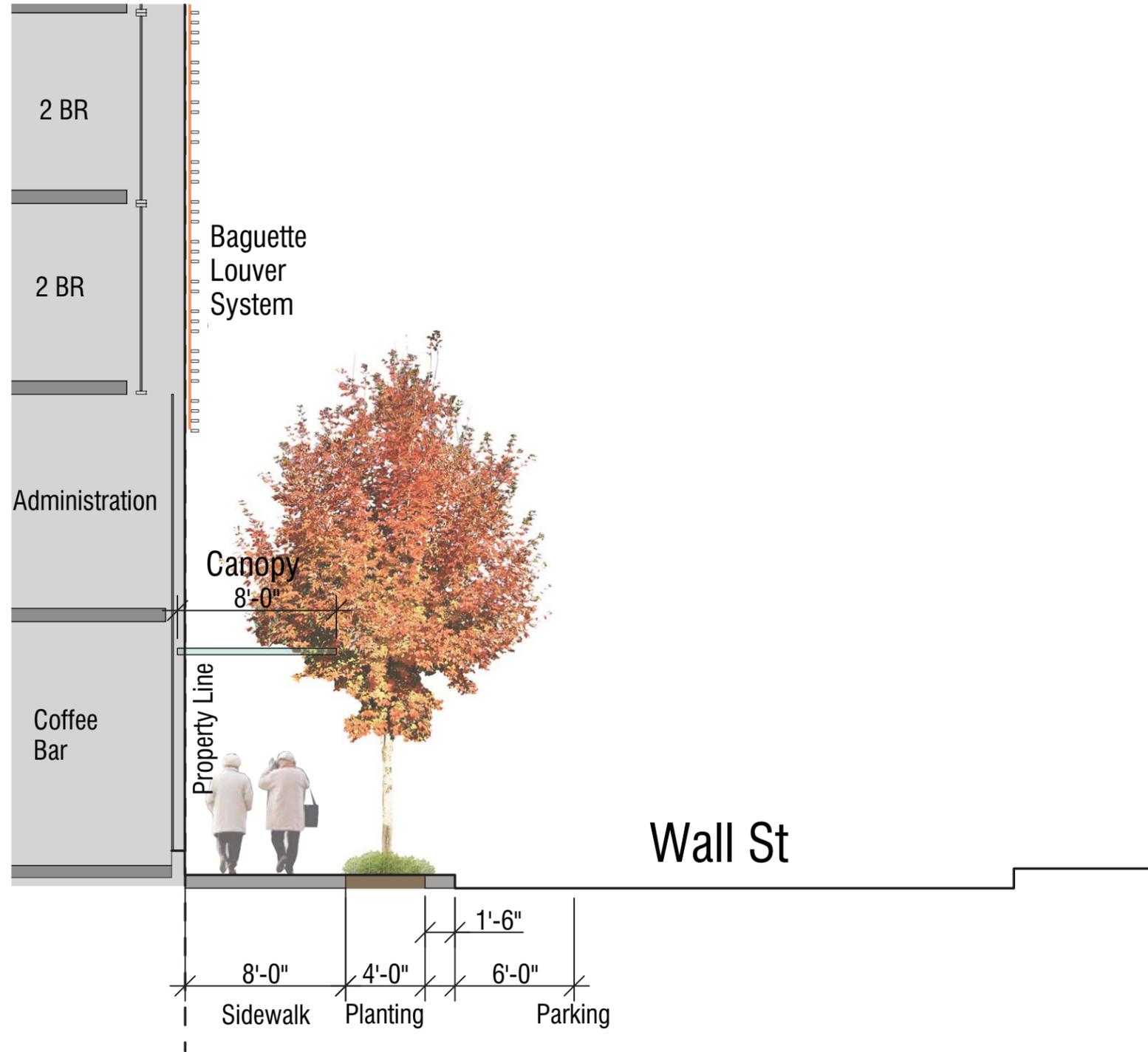
SYMBOL	BOTANICAL NAME / COMMON NAME	SIZE	COMMENTS
⊙	ACER PALMATUM SANGO KAKU / SANGO KAKU JAPANESE AMPLE	8' HT.	
⊙	ACER PALMATUM 'MOONFIRE' / MOONFIRE JAPANESE MAPLE	8' HT.	
⊠	MUSCARI ARMENICUM / GRAPE HYACINTHS	BULBS	
⊠	NANDINA DOMESTICA 'HARBOUR DWARF' / HEAVENLY BAMBOO	2 GAL. CONT.	
⊠	AGAPANTHUS / LILLY OF THE NILE	2 GAL. CONT.	VIGOROUS & UPRIGHT
⊠	LIRIOPE MUSCARI / LILLY OF THE NILE	1 GAL. CONT.	
⊠	CLETHRA ALNIFOLIA 'HUMMINGBIRD' / SWEET PEPPERBUSH	5 GAL. CONT.	COMPACT & DENSE FOLIAGE
⊠	HAKONECHLOA MACRA 'AUREA' / JAPANESE FOREST GRASS	1 GAL. CONT.	COMPACT & DENSE FOLIAGE
□	4x4x30" HIGH PLANTER WITH AUTOMATIC IRRIGATION		
□	2x4x18" HIGH PLANTER WITH LIGHT WEIGHT SOIL MIX		
⊕	3' DIA TABLE WITH CHAIRS		



# SIDEWALK SECTIONS







# 11.0 BUILDING ELEVATIONS

## B. Architectural Expression

### Relating to the Neighborhood Context

**B-4 Design a Well-Proportioned & Unified Building.** Compose the massing and organize the publicly accessible interior and exterior spaces to create a well-proportioned building that exhibits a coherent architectural concept. Design the architectural elements and finish details to create a unified building, so that all components appear integral to the whole.

At the Early Design Guidance Meeting #2, the Board understood the below-grade excavation constraints and agreed the podium uses are much improved, in particular the amenity spaces on Denny. The Board supports the car share spaces on P-1. They discussed how the podium issues described in B-2 must transition well into the middle of the tower. To better evaluate this, the Board requires:

- Full page elevations with complete color and material notes.
- Large scale sections of the first 7-8 floors, showing dimensions and all façade elements (the ones shown on pages 36/37 are too small; ¼ inch scale preferred). NOTE: these should be composited with the landscape-only sections shown on pages 32-34.
- Large scale partial elevations (floors 7-8) adjacent to corresponding sections, which show all materials and light tone shadows, but not street trees.

The Board agreed the four white frames on the mid-tower provide middle scale to the three elevations, but they appear to be thin planes; show more details that establish the materiality and depth of these elements (as suggested by the white wall returns on pages 45,47 and 49), and show these accurately on floor plans. Also, explore the following as part of the elevation refinements:

- Explore a 2-3 floor transition between the podium and middle tower, starting the white frames at floorline 9 or 10 rather than 8.
- Explore the white frames along Denny starting above the podium, and not overlapping with the podium amenity expression, as currently shown on page 51.
- Explore reducing the width of the white frame elements, and/or their identical material/color nature on all three street frontages.
- To test these relationships, provide perspective studies like on pages 45,47,49, but that extend further upward into the tower.

#### Response:

- The frame has been redesigned to start at level 7, providing a 3 level transition between the podium and middle tower.
- The frame as previously applied is located in front of continuous building planes. To add more thickness to the frames would require reducing floor areas significantly. Instead, they have been redesigned to define the change in plane where the areas inset in the frames are deeper, varying from 1 foot at 6th and Denny streets and 2 feet at Wall.
- The metal panels at the inside of the frame continue at balconies that are adjacent to the frame providing more depth and variation.

## C. The Streetscape

### Creating the Pedestrian Environment

**C-2 Design Facades of Many Scales.** Design architectural features, fenestration patterns, and materials compositions that refer to the scale of human activities contained within. Building facades should be composed of elements scaled to promote pedestrian comfort, safety, and orientation.

At the Early Design Guidance Meeting #2, the Board agreed the podium had evolved well, but requested numerous explorations of the podium, tower and tower top described under A-2, B-2 and B-4 above.

#### Response:

- Refer to Level 1 Floor Plan 31

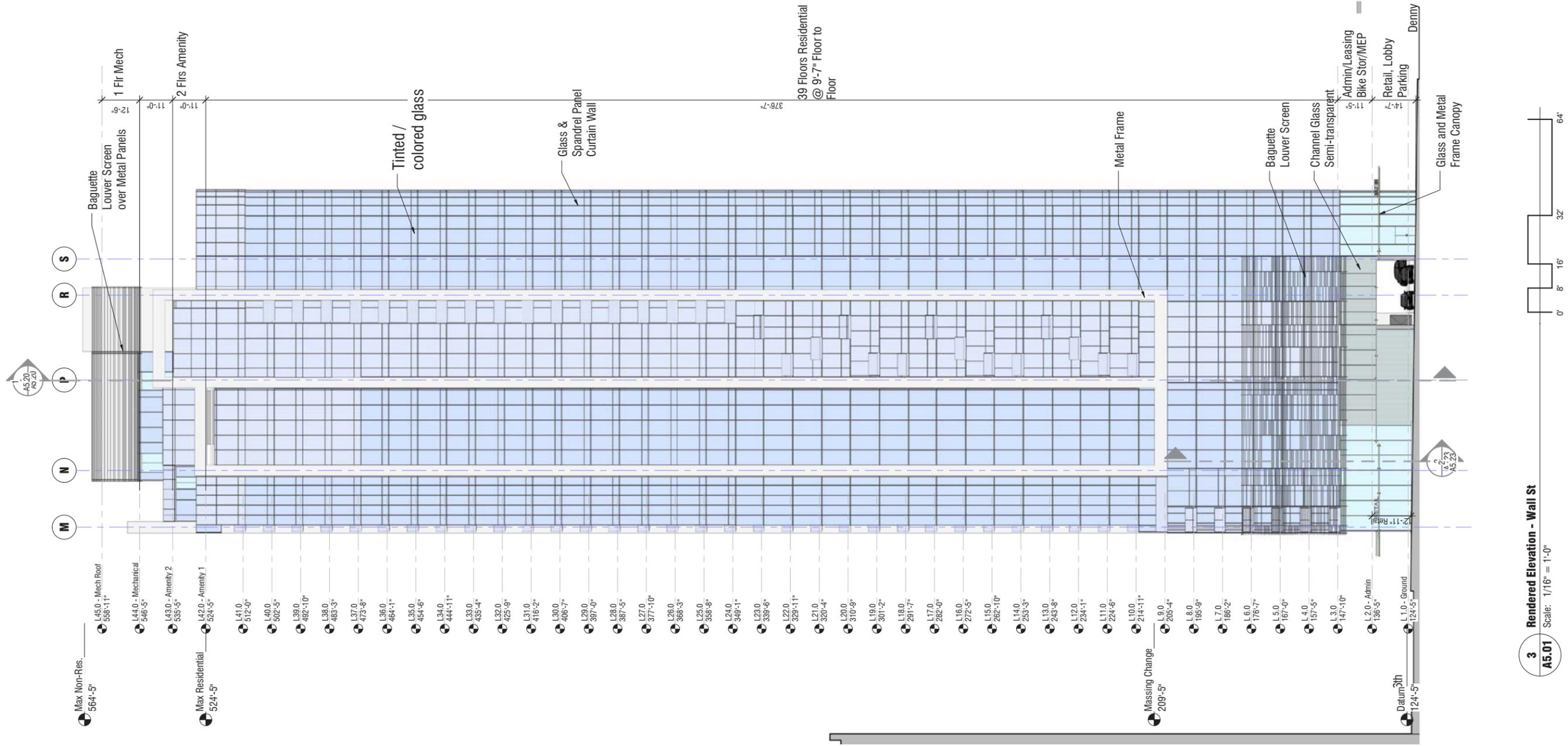
**C-3 Provide Active—Not Blank—Facades.** Buildings should not have large blank walls facing the street, especially near sidewalks.

At the Early Design Guidance Meeting #2, the Board agreed the ground floor uses were more activating and appeared to be largely transparent, but requested the larger scale and unobscured elevations described under B-4 for confirmation. The Board supported the stated intent to keep the vehicle lifts transparent from ground to level 6, and to paint, light and finish off the interior walls of those lifts in a refined manner, which still celebrates the unique dynamic of the automated parking system.

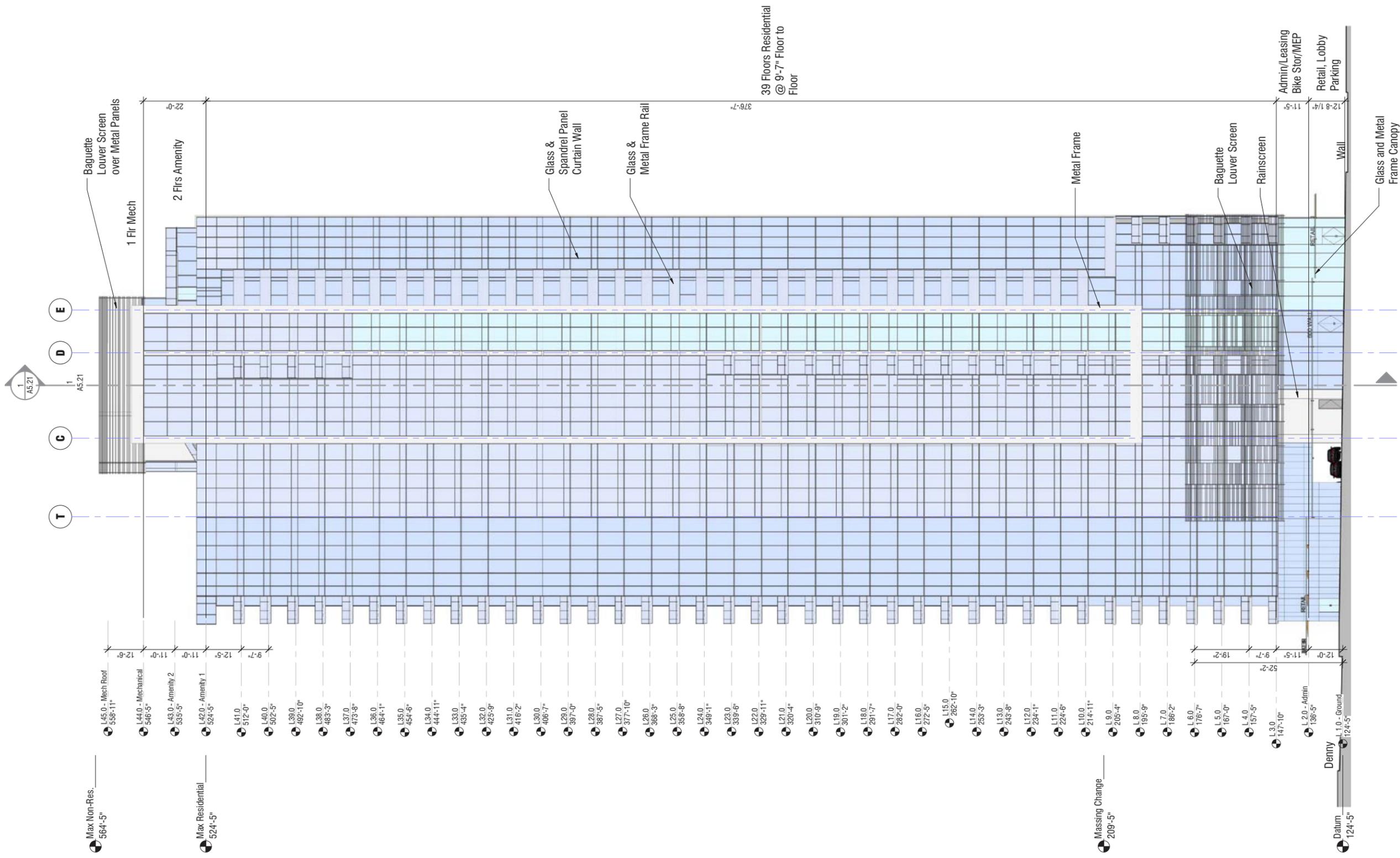
#### Response:

- Spaces have been located to accent public activities at street intersections.





**3 Rendered Elevation - Wall St**  
 A5.01 Scale: 1/16" = 1'-0"



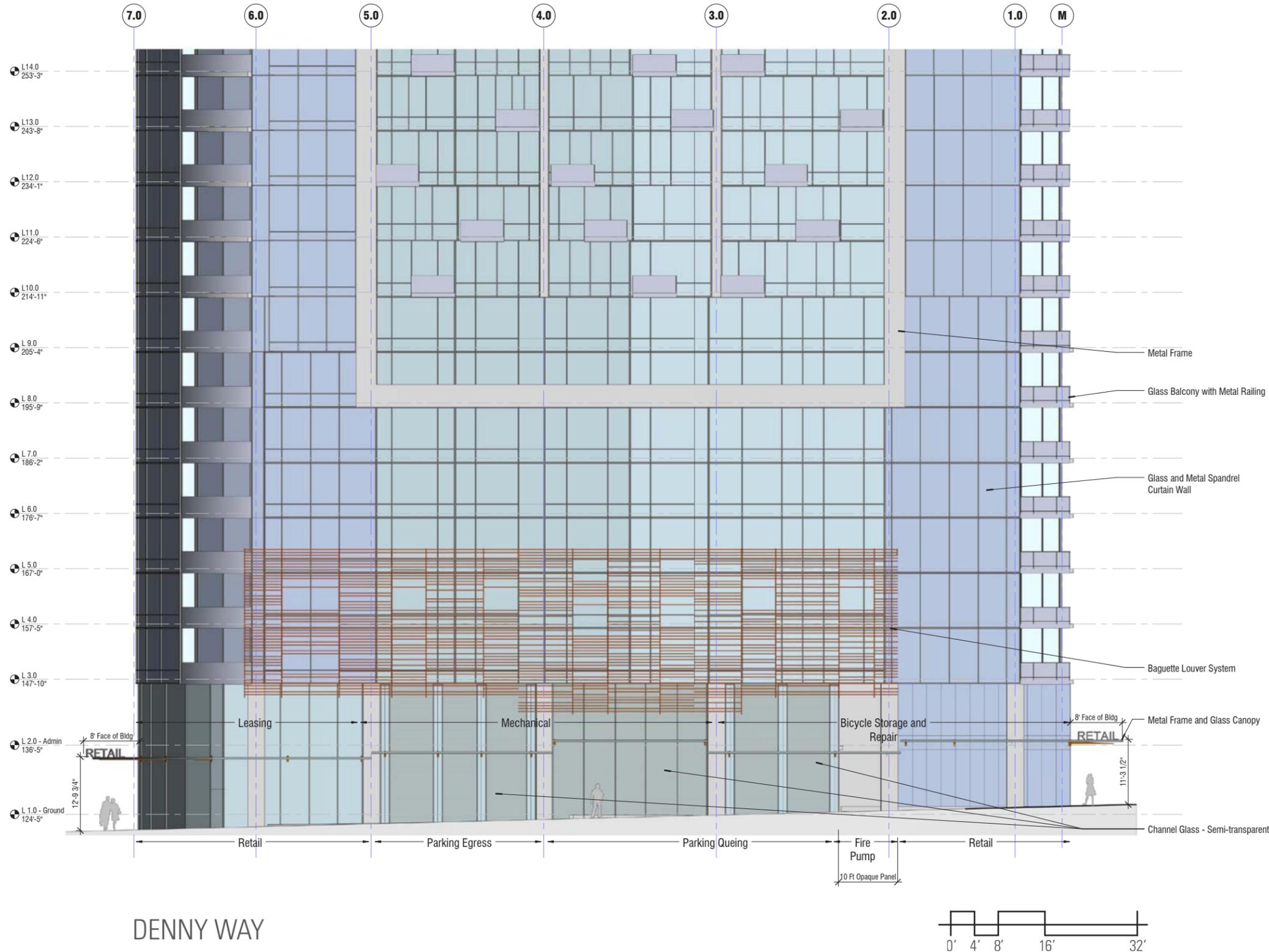
Max Non-Res. 564'-5"

Max Residential 524'-5"

Massing Change 209'-5"

**1**  
A5.02  
Rendered Elevation - 6th  
Scale: 1/16" = 1'-0"

39 Floors Residential  
@ 9'-7" Floor to Floor



## B. Architectural Expression

### Relating to the Neighborhood Context

**B-2 Create a Transition in Bulk & Scale.** Compose the massing of the building to create a transition to the height, bulk, and scale of development in neighboring or nearby less intensive zones.

At the Early Design Guidance Meeting #2, the Board discussed how the proposal now includes a desirable podium scale, but that it appears grafted onto the tower or is too heavily expressed, especially at the 6th & Wall corner. The Board advised the following:

- Express the level 2-6 zone as a distinct corner form, but explore a 'more honest' material expression of the uses within. The red wall surfaces are too large and distracting.
- Explore channel glass or a similarly solid translucent treatment to clad the parking levels, with the floor slabs internalized and showcasing the vehicle lifts with transparent glass. Seeing shadows of the stored cars and frames is acceptable.
- Express the entire 24 ft high space of the amenity along Denny, rather than the partial red box; it should be distinct from the revised 6th/Wall corner treatment, and still accentuate the acute corners as different uses and different composition.
- Explore actual rental units, stacked in the 2 acute corners, rather than amenity/ studio spaces; units provide consistent and real activation, especially if balconies are included. (Also see comments under Departure #2)

#### Response:

- Levels 2-6 have been redesigned to move the parking below the street. Level 2 uses now include bike storage, administrative offices, leasing residential uses, exit stairs, and mechanical.
- In addition to the louvers spaced to reflect the uses, varying levels of glazing transparency will be used to provide privacy in residential spaces and limit visibility into mechanical areas. The vehicle lift will be showcased as originally proposed.

## E. Vehicular Access & Parking

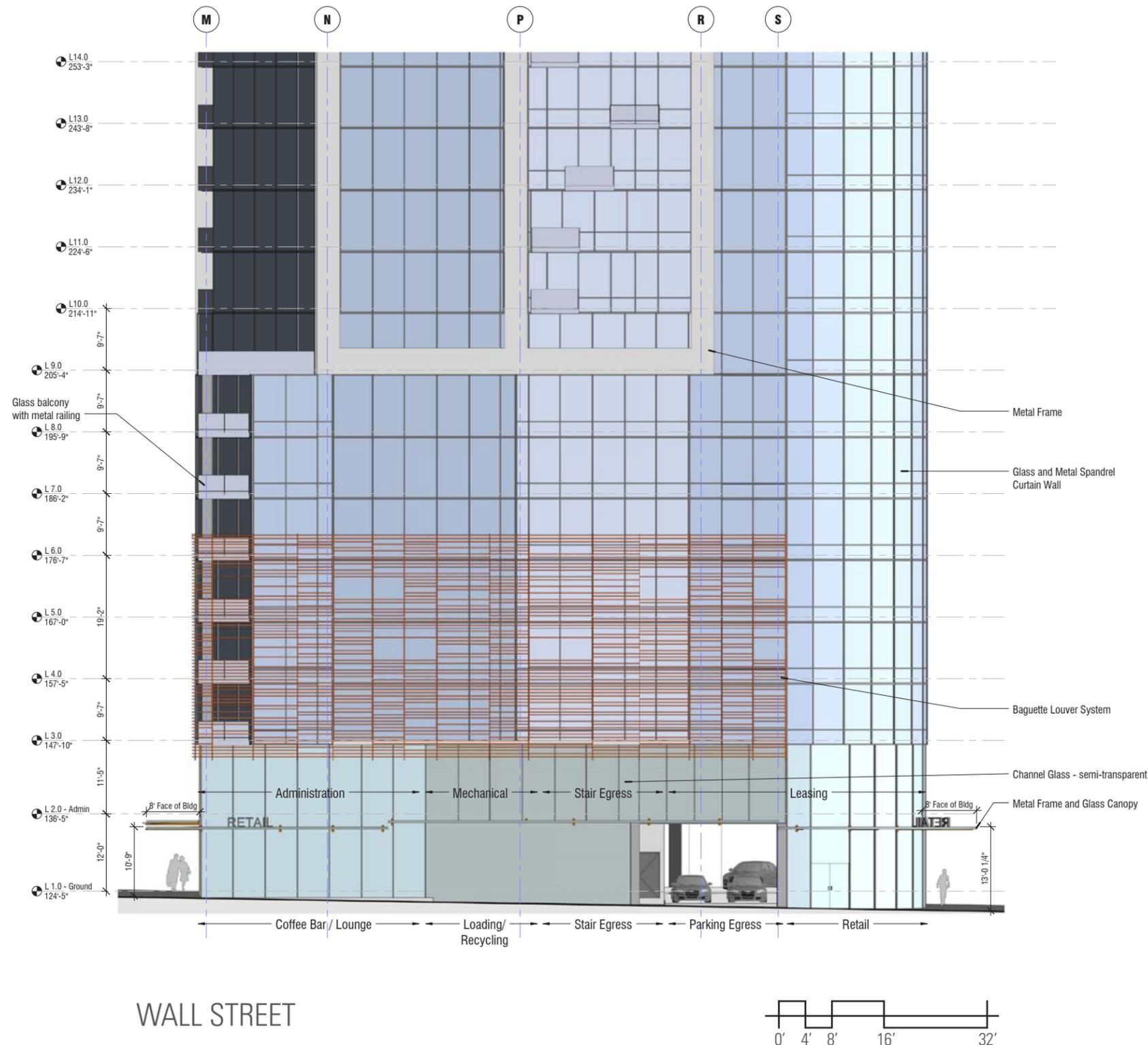
### Minimizing the Adverse Impacts

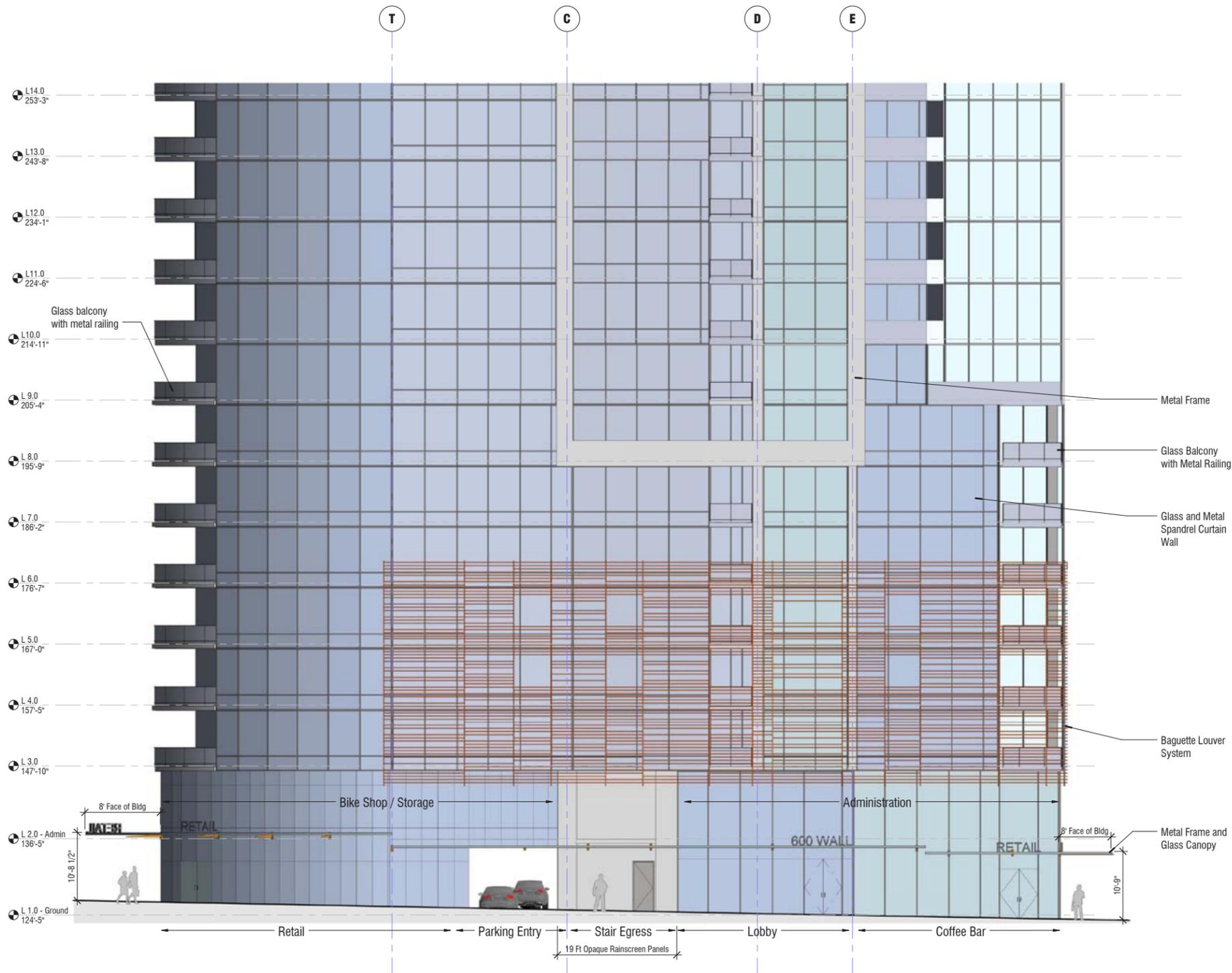
**E-3 Minimize the Presence of Service Areas.** Locate service areas for trash dumpsters, loading docks, mechanical equipment, and the like away from the street front where possible. Screen from view those elements which for programmatic reasons cannot be located away from the street front.

At the Early Design Guidance Meeting #2, the Board discussed how the service areas appeared to be minimized at the perimeter, but requested more detailed information on the large scale elevations. The materials of the loading door, transformer, pump room and exits should provide transparency/translucency and pedestrian interest.

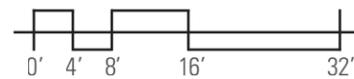
#### Response:

- All service areas will be semi transparent or translucent and accented with art and lighting.
- Loading and recycling access will be at the vehicle exit opening.



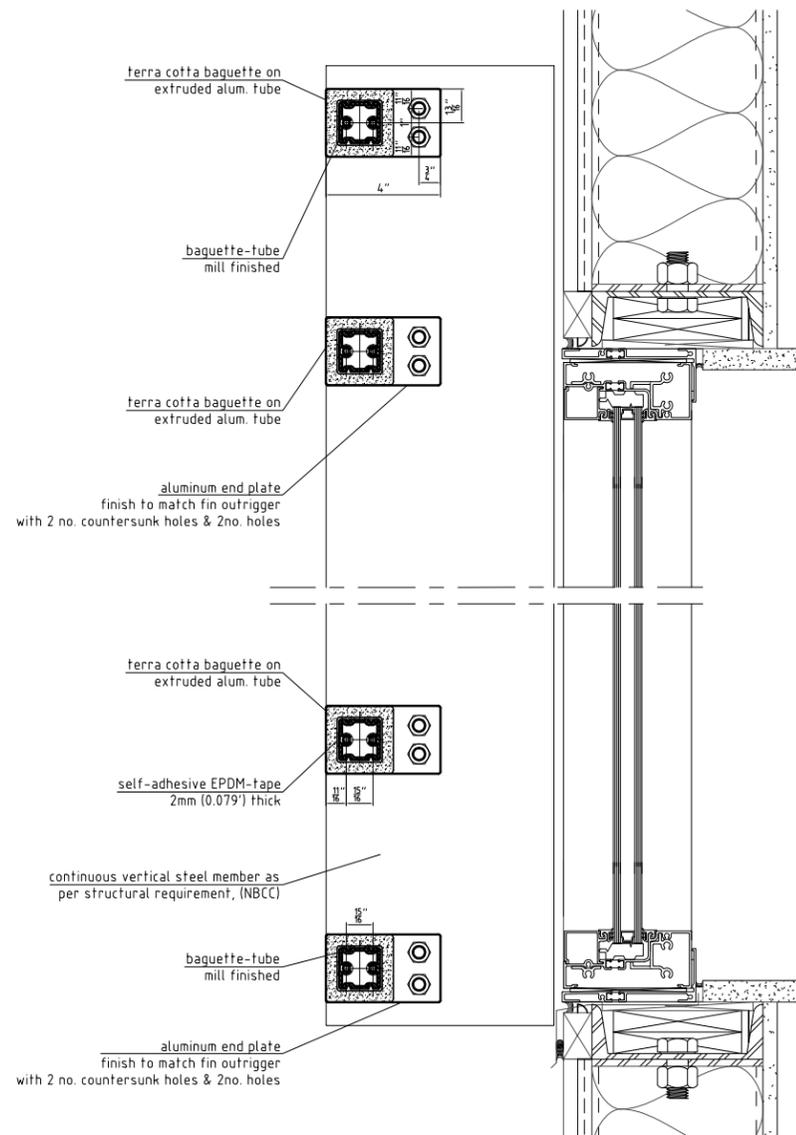


6TH AVENUE



# 12.0 MATERIAL AND COLOR PALETTE

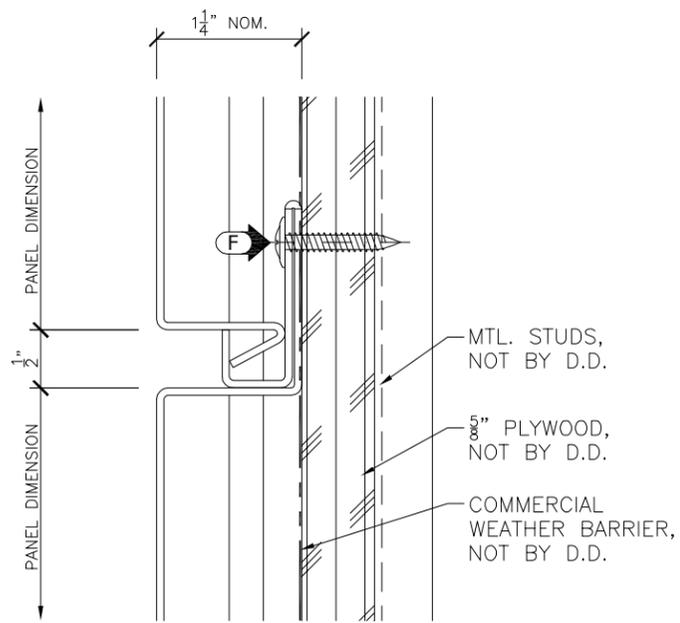
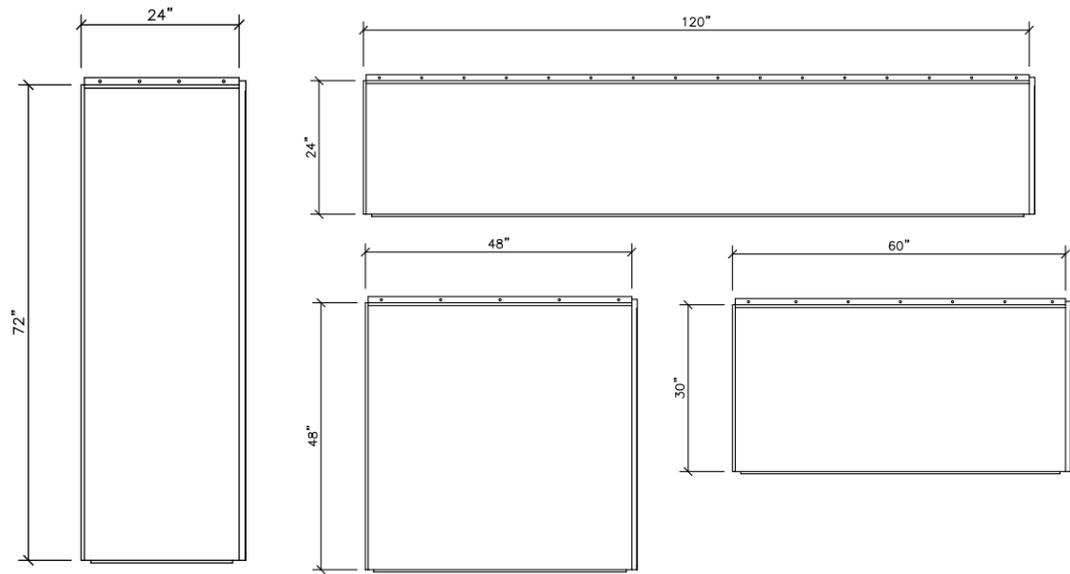
## RAINSCREEN BAGUETTE / LOUVER SYSTEM



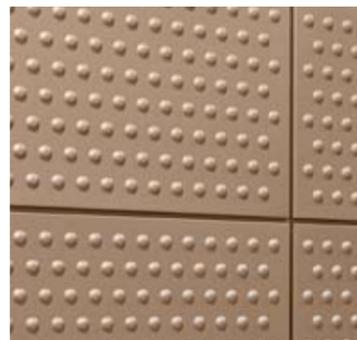
Detail D1 typ. baguette vertical section detail



# WALL PANEL SYSTEM

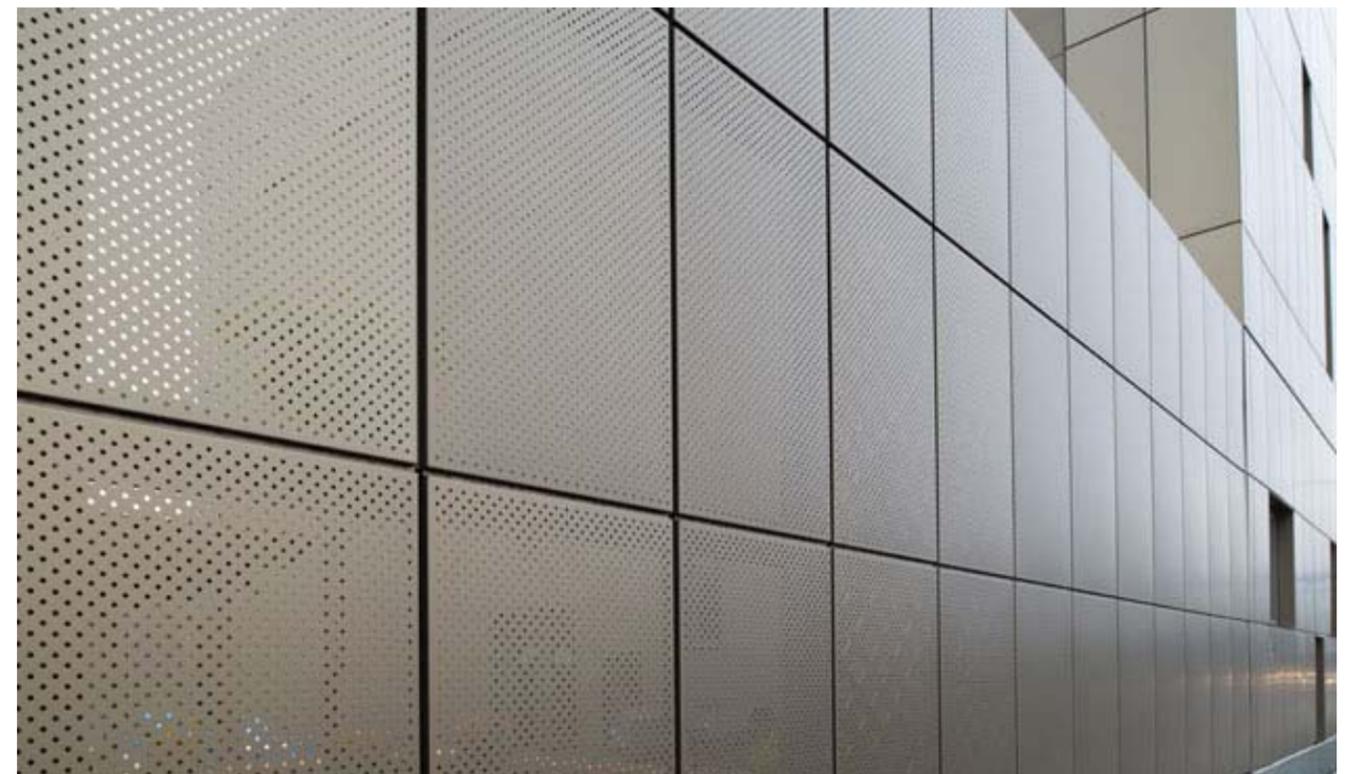
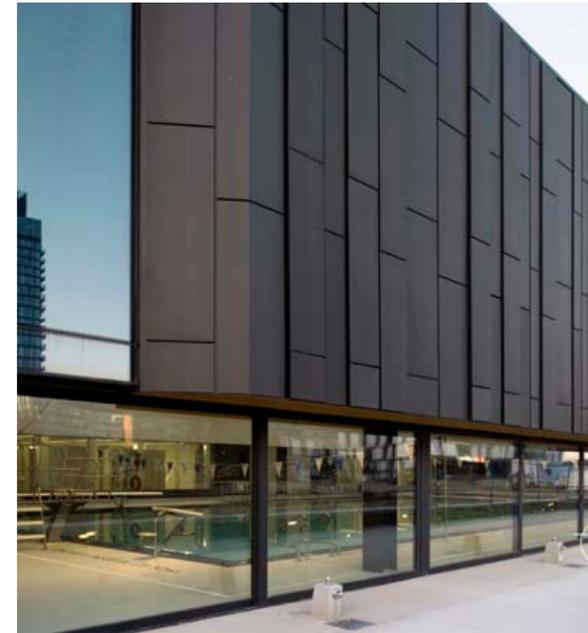


Solids

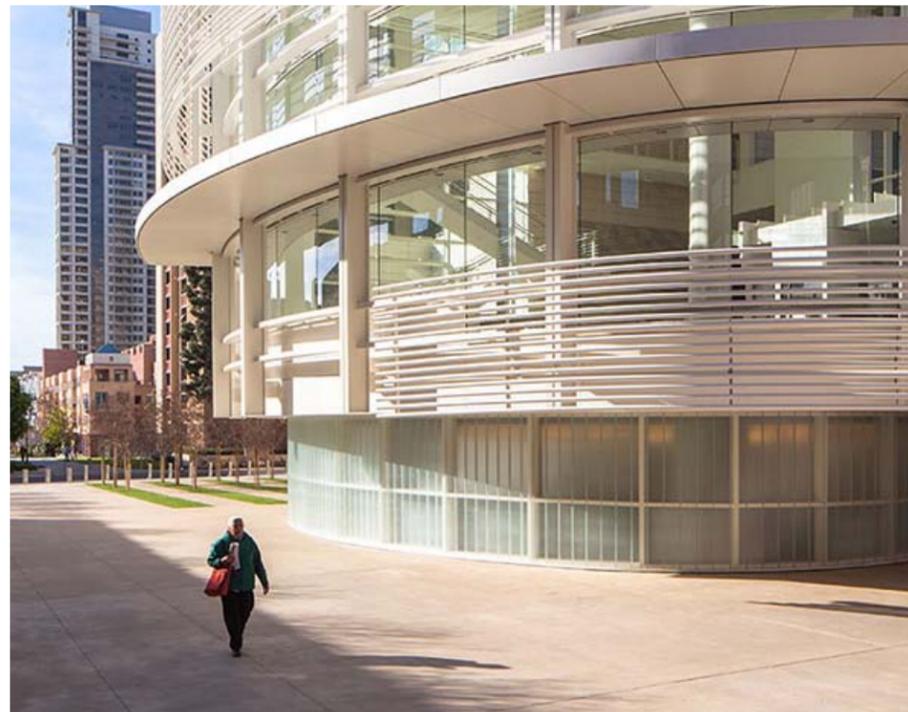
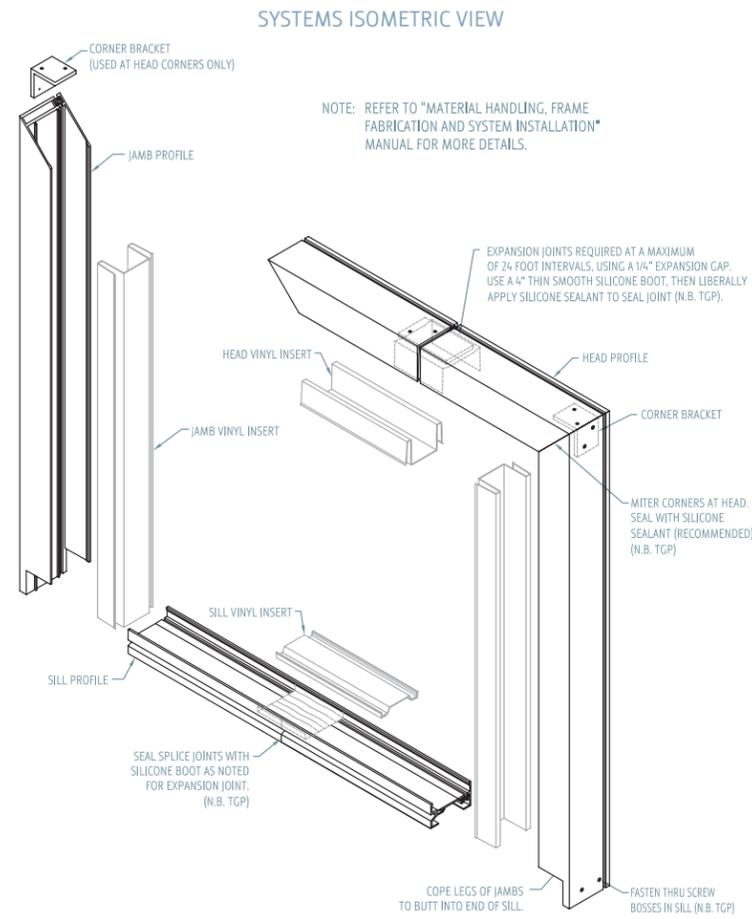


Embossed/Perforated

Typical Horizontal Joint



# CHANNEL GLASS - SEMI TRANSPARENT



Textured

Coated





# CONCEPT IMAGES



# 13.0 RENDERINGS

ALONG DENNY WAY IN CONTEXT



## ALONG WALL STREET IN CONTEXT



### A. Site Planning & Massing

#### Responding to the Larger Context

**A-1 Respond to the Physical Environment.** Develop an architectural concept and compose the building's massing in response to geographic conditions and patterns of urban form found beyond the immediate context of the building site.

At the Early Design Guidance Meeting #2, the Board discussed three components of this guideline: ground floor uses, podium expression, and upper tower expression. The ground floor sidewalks and uses are much improved from EDG #1, but further improvements are described under C-1 and D-3. The Board supported the two acute Denny corner expressions as shown (page 49/51), with refinements to the podium composition and materials described under B-2, and upper tower refinements described under A-2 and B-4.

[The Board requests all perspectives portray accurate context, in particular the outdated massing across Denny Way shown on pg. 42/43.]

#### Response:

- Retail and public spaces have been designed to anchor and activate the street corners.
- Podium expressions have been redesigned to incorporate a baguette louver system to express the various uses: dense where privacy is desired, more widely spaced to reveal active public uses. The louvers will be a unifying design element that accentuates the podium yet changing as it wraps around the building.
- Upper tower and roofline massing has been redesigned to generate gathering spaces for residents that capture views in all directions. The outdoor spaces on 2 levels vary from open to protected. The roofline varies at each building elevation and materials/detail will be the same as the podium.

## PREVIOUS DESIGN

DENNY WAY AND 6TH AVENUE



6TH AVENUE AND WALL STREET



DENNY WAY AND WALL STREET



**PROPOSED DESIGN**

DENNY WAY AND 6TH AVENUE



6TH AVENUE AND WALL STREET



DENNY WAY AND WALL STREET



# STREET LEVEL CONCEPTS

## PREVIOUS DESIGN

### WALL STREET AND DENNY WAY



## PROPOSED DESIGN

### WALL STREET AND DENNY WAY



#### KEY REVISIONS

1. Podium base
2. Landscape

## PREVIOUS DESIGN

6TH AVENUE AND WALL STREET



**PROPOSED DESIGN**



KEY REVISIONS

- 1. Podium base
- 2. Landscape
- 3. Retail on Wall Street

## PREVIOUS DESIGN

### DENNY WAY AND 6TH AVENUE



# PROPOSED DESIGN



## KEY REVISIONS

- 1. Podium base
- 2. Landscape paving

# ROOF CONCEPT

## PREVIOUS DESIGN



DENNY WAY

## 6TH AVENUE



6TH AVENUE AND WALL STREET

**PROPOSED DESIGN**

DENNY WAY AND 6TH AVENUE



DENNY WAY AND WALL STREET



6TH AVENUE AND WALL STREET

**KEY REVISIONS**

- 1. Rooftop uses redesigned
- 2. Roof forms and materials coordinated with podium

# 14.0 EXTERIOR LIGHTING PLAN

- 1. DIRECTIONAL LED SPOT LIGHTS**  
Stake mounted directional spot lights located in planting beds to illuminate tree trunks and foliage.



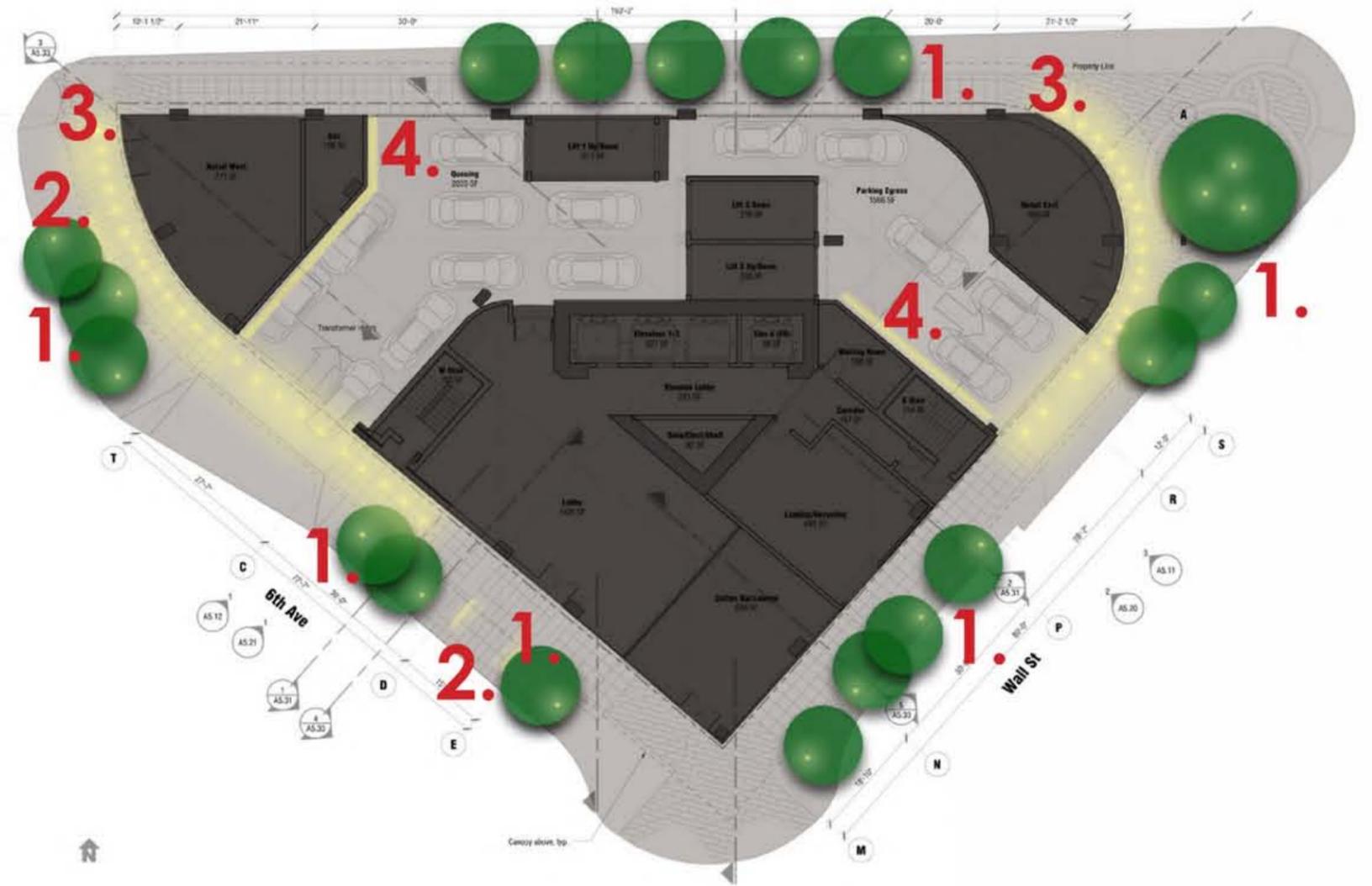
- 2. WET LOCATION LED LINEAR STRIPLIGHTS**  
Linear striplights located in bullnose of wood-topped benches to enhance visibility while adding ambience to seating areas.



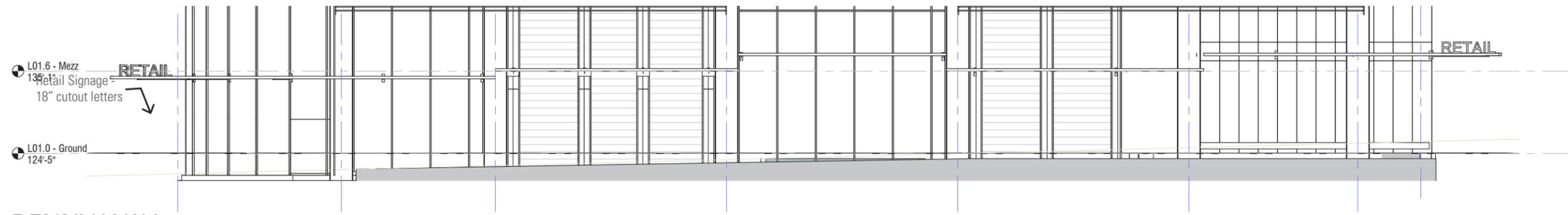
- 3. SURFACE MOUNTED DOWNLIGHTS**  
Downlights mounted under canopy at retail/outdoor patio areas and parking garage access to increase security and wayfinding, while increasing storefront visibility.



- 4. LED LINEAR WALL WASH**  
Linear wall wash fixtures to subtly highlight parking garage entry/exit points. Indirect illumination will minimize glare while highlighting angled architectural wall feature.



# 15.0 SIGNAGE CONCEPT PLAN



DENNY WAY



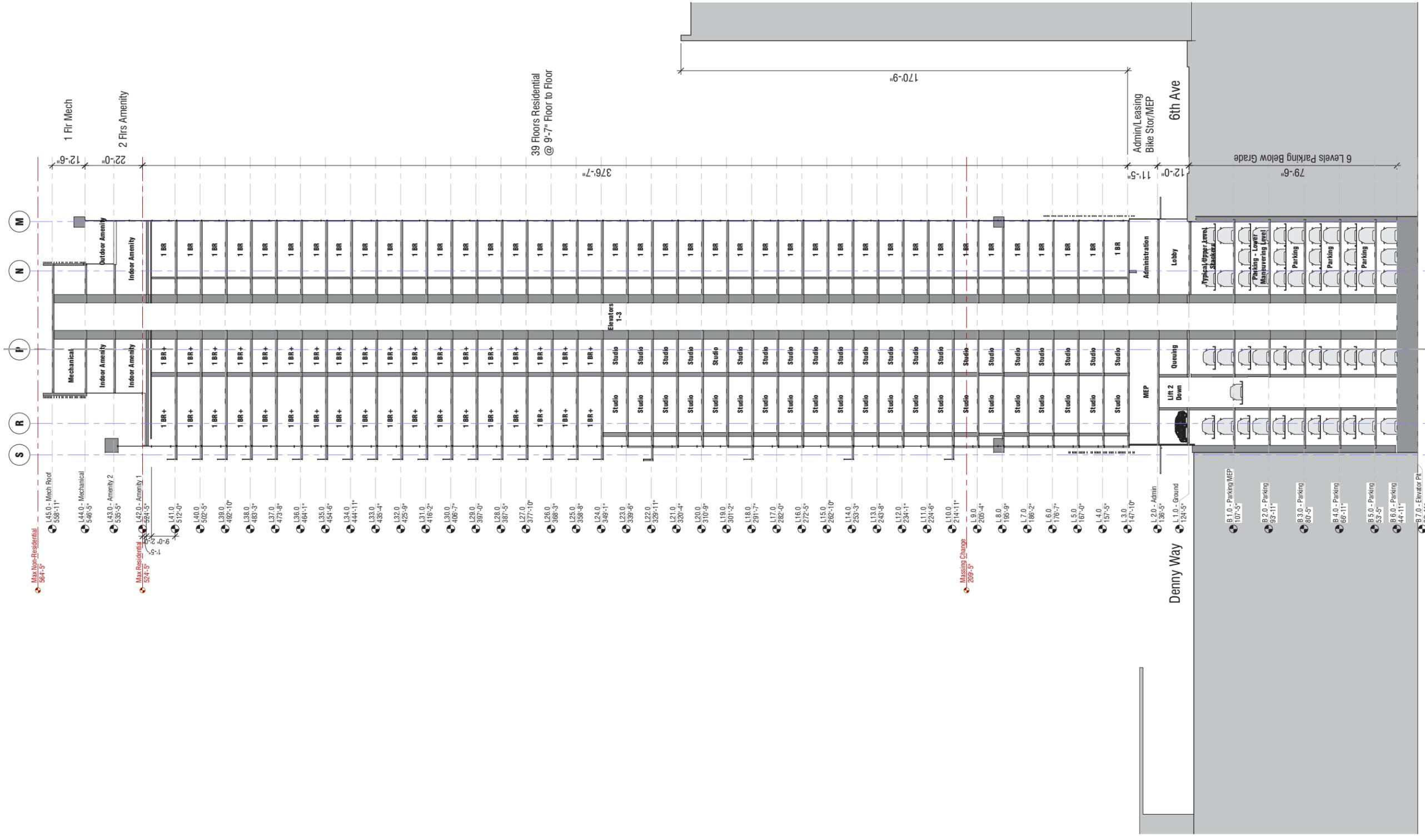
WALL STREET



6TH AVENUE



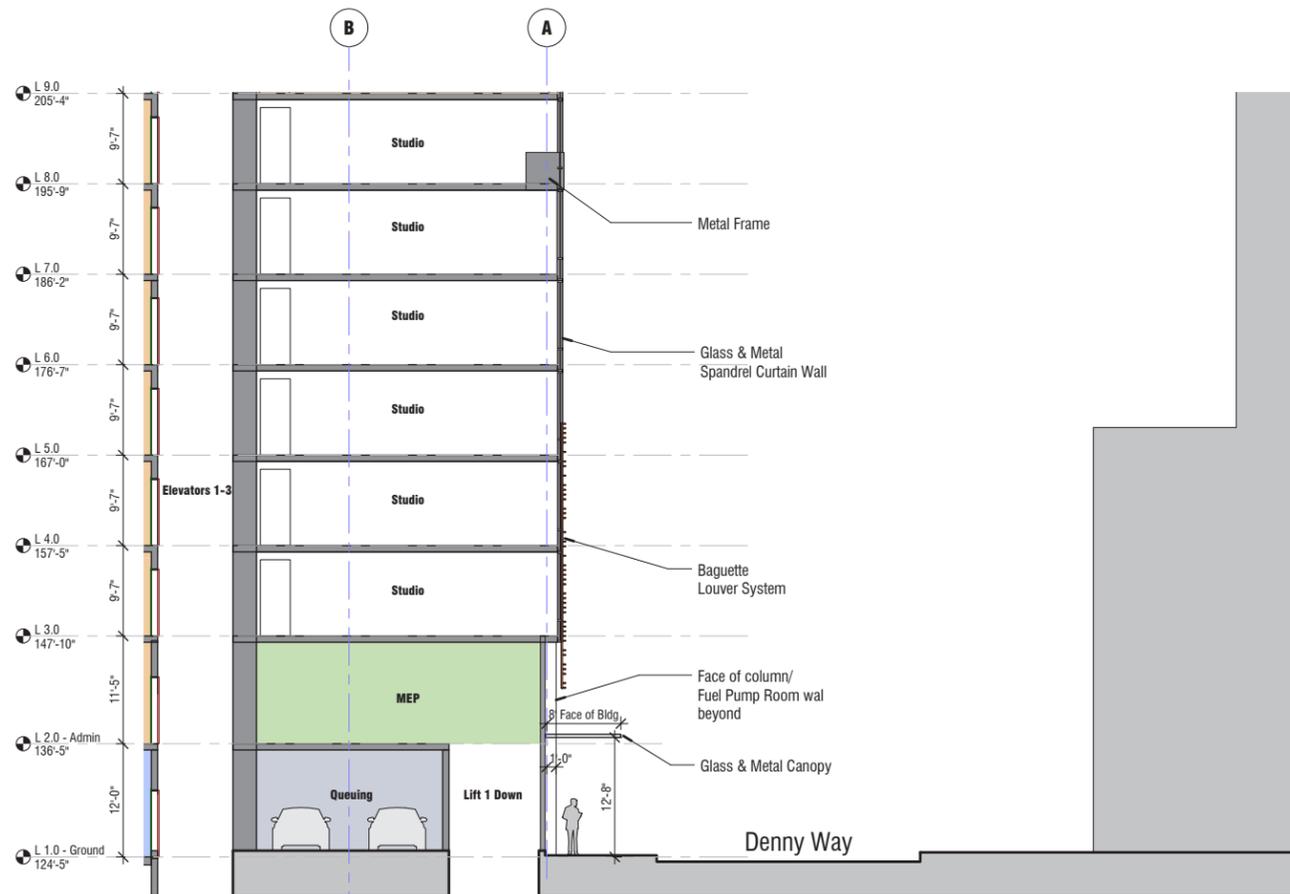




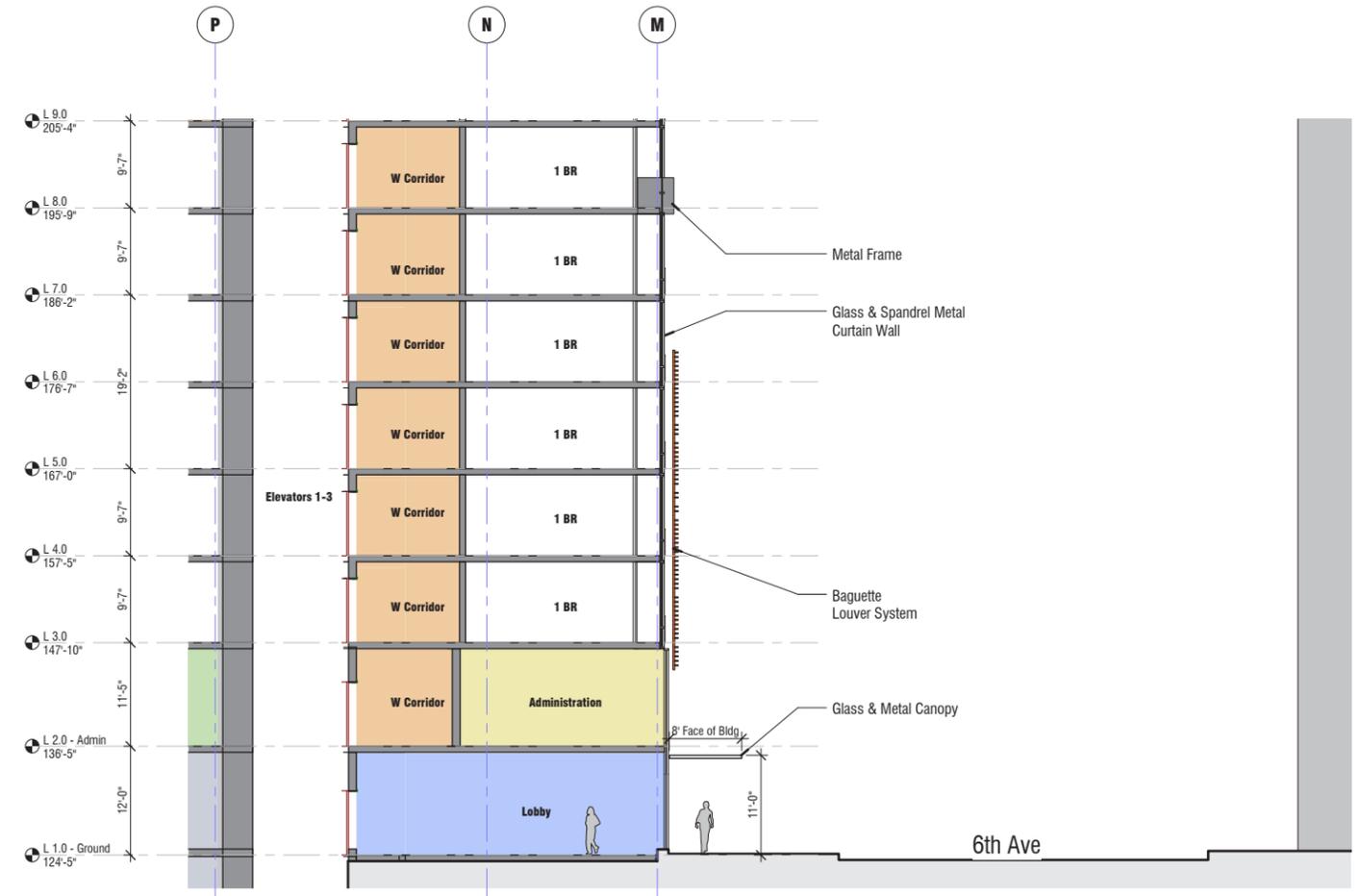
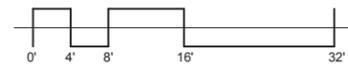
**1 Building Section - SW-NE**  
 A5.21 Scale: 1/16" = 1'-0"



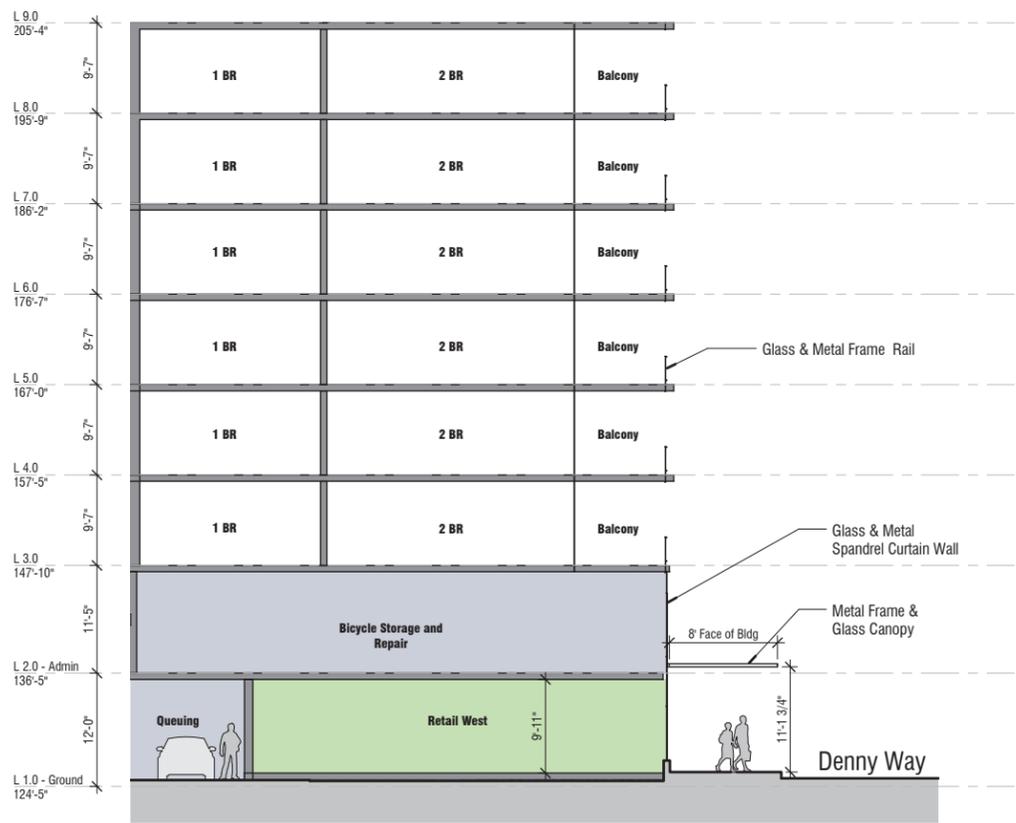
- Commercial
- Mechanical/Service
- Residential Lobby
- Amenities
- Parking



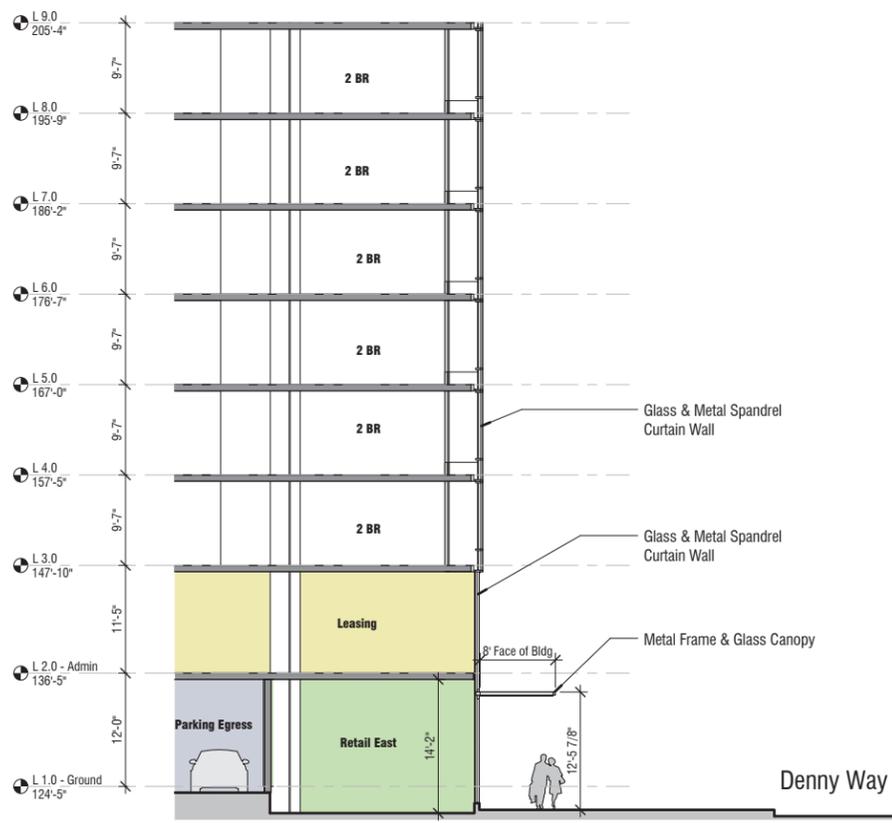
**1** Street Level Section - NS  
**A5.23** Scale: 1/8" = 1'-0"



**3** Street Level Section - SW-NE  
**A5.23** Scale: 1/8" = 1'-0"



**2** Street Level Section - NW Corner  
**A5.24** Scale: 1/8" = 1'-0"



**1** Street Level Section NE Corner  
**A5.24** Scale: 1/8" = 1'-0"

- Commercial
- Mechanical/Service
- Residential Lobby
- Amenities
- Parking



# DEPARTURE REQUESTS



# 17.0 DEPARTURES

## DEPARTURE 1: FAÇADE WIDTH

DIAGRAM A  
Property Extents

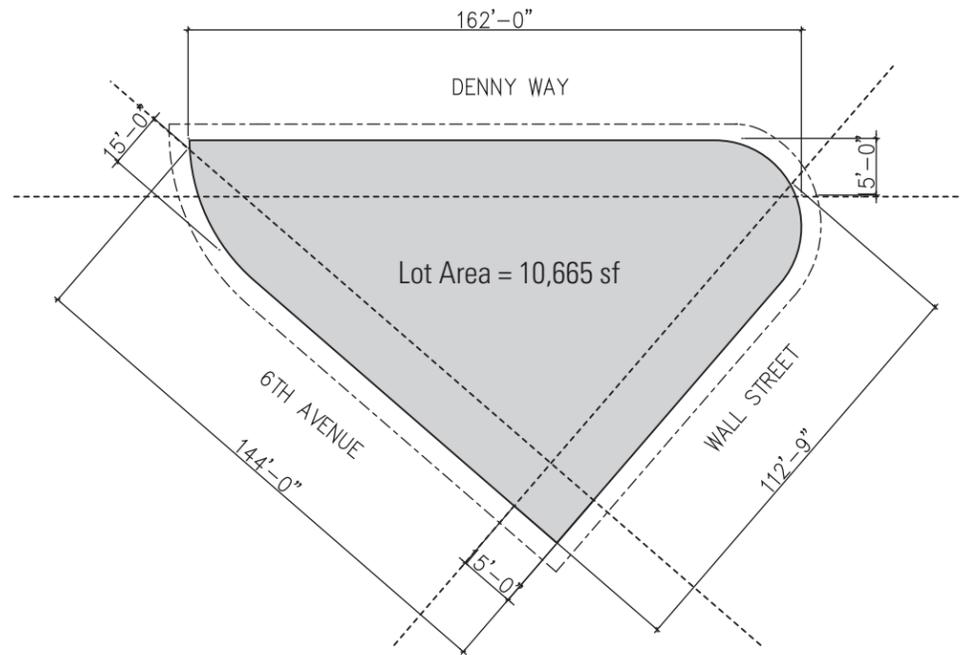


DIAGRAM B  
Prescribed Façade Width

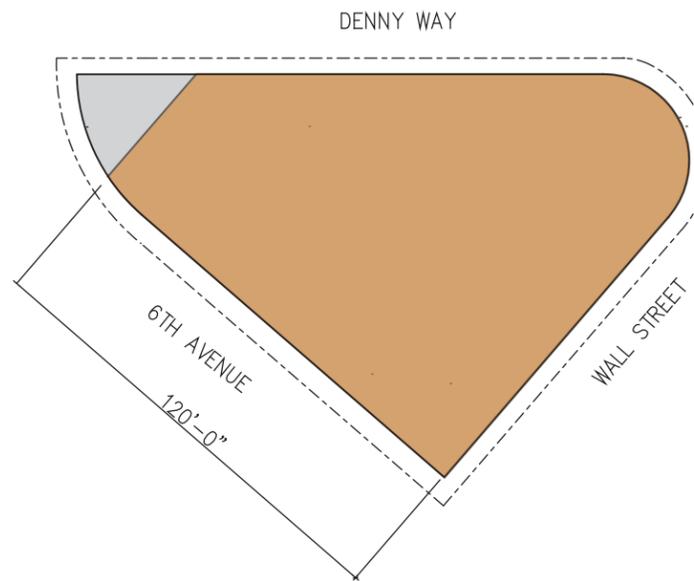
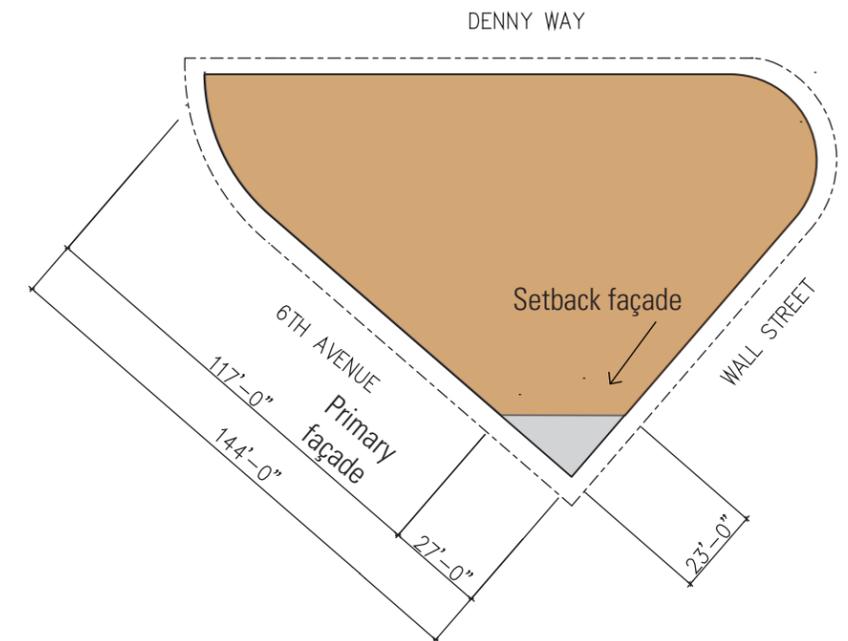
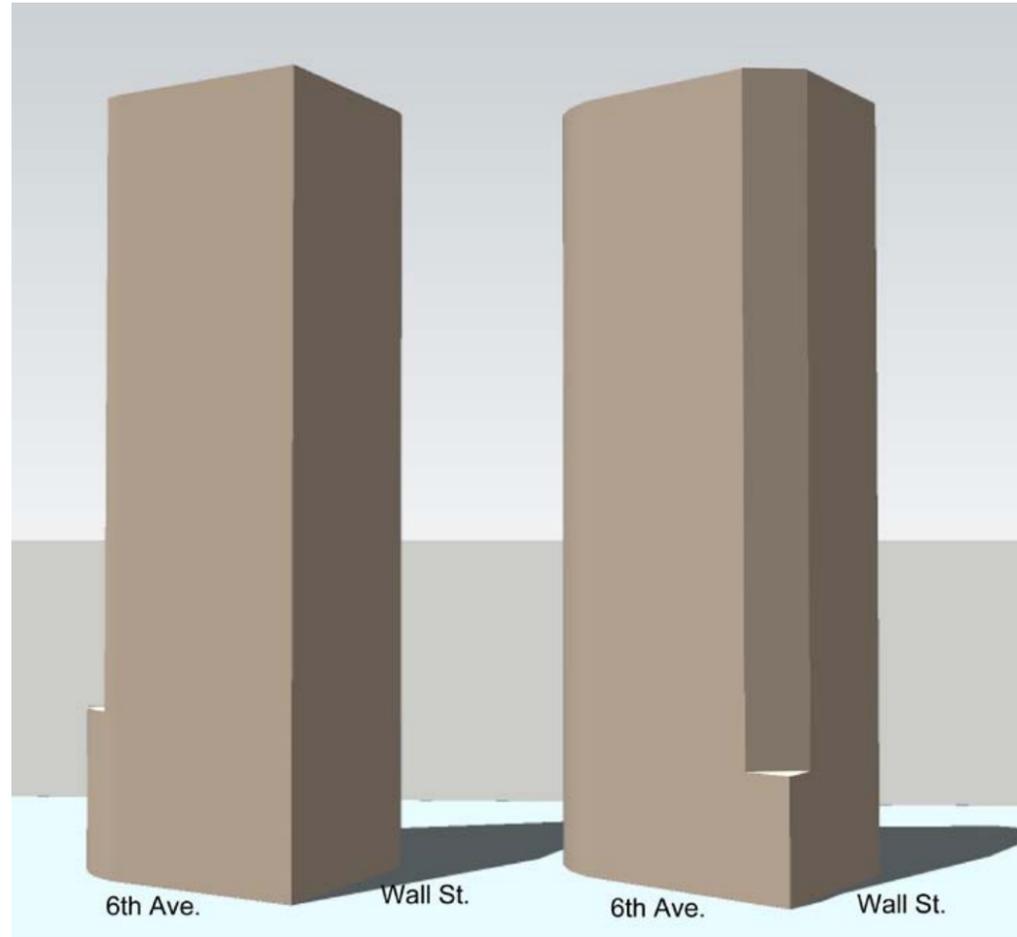


DIAGRAM C  
Proposed Departure



Development Standard	B. Requirement	C. Proposed	Rationale
<b>23.49.058D.2</b>	In DMC zones, the maximum facade width for portions of a building above 85' along the general north/south axis (parallel to the avenues) shall be 120' or 80% of the width of the lot, which ever is smaller.  <b>On lots smaller than 10,700 sf (such as this case), the facade width shall be 120'.</b>	The proposed design along 6th Ave. would have a facade width of 144', of which 27' of the facade would be set back 23' from the property line. The result would be that 117' of the facade would be on the property line.	A fully compliant façade width would result in a termination of the building approximately 24' from the corner of Denny and 6th. The resultant cut would be detrimental to the flatiron design opportunities that this triangular site provides. The proposed concept would result in a flat primary façade length of 117' with a 27' setback façade at Wall and 6th, which is set back 23' from the primary façade (see Diagram C). Also, a portion of the façade curves back from the flat plane towards Denny Way to reduce the visual impact (see Diagram C). The proposed building notch at the corner of 6th and Wall not only reduces the length of the flat façade along 6th Avenue, but also significantly reduces the façade length along Wall Street, thus resulting in a slimmer building profile.

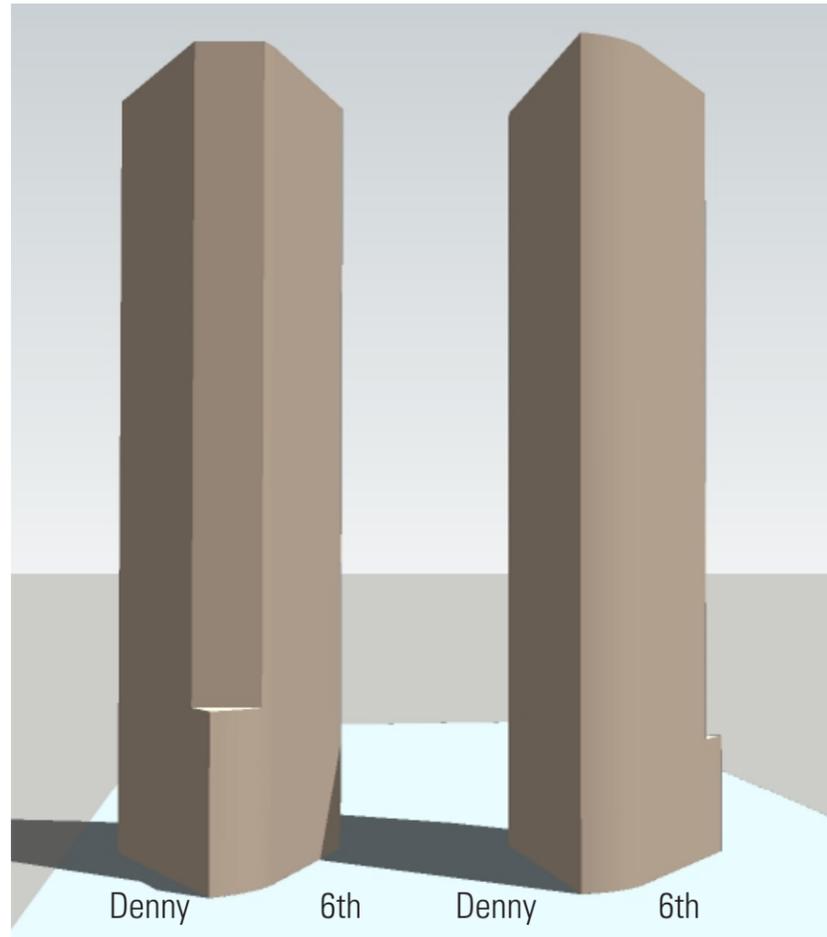
6th Avenue and Wall Street



Prescribed Massing

Proposed Massing

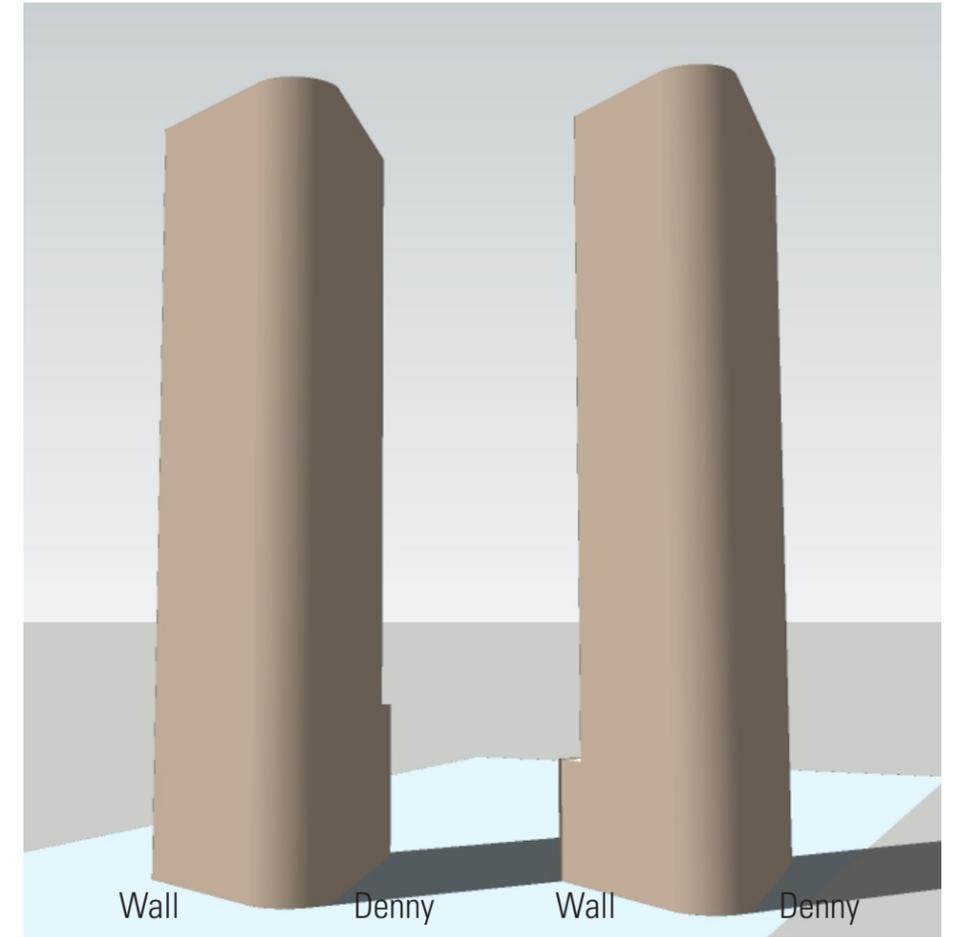
Denny Way and 6th Avenue



Prescribed Massing

Proposed Massing

Wall Street and Denny Way



Prescribed Massing

Proposed Massing

