



# 1415 DEXTER AVE N

## PART 1: CONTACT INFO

1. Property Address: 1415 Dexter Ave N
2. Project Number: 3015159
4. Owner / Leasee Name: 1415 Dexter LLC
5. Owner Contact: Daniel Stoner  
1415 Dexter LLC  
88 Lenora St.  
Seattle, WA 98121  
206-782-9299
6. Applicant: John Trieger  
Relationship to Project: Architect
7. Design Professional: John Trieger, AIA  
JT Architecture  
4211 Meridian Ave N  
206-930-3933  
johnt@jtarchitecture.com
8. Applicant's Signature: \_\_\_\_\_ Date \_\_\_\_\_

## PART 2: SITE AND DEVELOPMENT INFO

### EXISTING CONDITIONS:

The site is located on Dexter Ave North, mid-block between Galer Street to the North and Lee Street to the South. The site and vicinity slope down to the East toward Lake Union. The site is currently vacant. The West half is steeply sloped and covered in vegetation. The East half of the site is mostly level, subject to historic grading associated with previous development. It is currently used as surface parking. There is a partial concrete retaining wall dividing the site in half, East / West. The retaining wall looks to be a remnant from a previous building. There are existing curb, gutter and sidewalks as well as an existing curb cut from Dexter Ave North providing access to the property. There is a bus stop adjacent to the neighboring property to the North. The site's atypical topography due to previous development is eligible for consideration for Environmentally Critical Areas Exemption and Relief From Prohibition On Steep Slope Development.

### ZONING:

The site is zoned Seattle Mixed with a 85' base height limit (SM85). The site is located in the South Lake Union Urban Center and falls under the South Lake Union Design Guidelines. The adjacent properties that surround the site are all Also SM85.

### CONTEXT:

Some of the surrounding sites do not reach full zoning potential. The area is experiencing substantial redevelopment.

### PROPOSED PROJECT:

The applicant proposes a seven story (approx 85' high) Mixed use development consisting of approximately 62 residential units, 617 s.f. of retail and parking for approximately 12 cars.

NO DEPARTURES ARE ANTICIPATED AT THIS TIME

## SLU - SPECIFIC DESIGN GUIDLINES

### SITE PLANNING

#### **A.1: Responding to Site Characteristics**

The siting of buildings should respond to specific site conditions and opportunities such as non-rectangular lots, location on prominent intersections, unusual topography, significant vegetation and views or other natural features.

**The proposal offers a unique solution to an interior lot of our particular dimensions. We respond to our specific location adjacent to the King County regulator station to the North and our solar orientation.**

#### **A.2: Streetscape Compatibility**

The siting of buildings should acknowledge and reinforce the existing desirable spatial characteristics of the right-of-way.

**The siting of the building reinforces traditional spatial characteristics of the right-of-way.**

#### **A.4: Human Activity**

New development should be sited and designed to encourage human activity on the street.

**The proposal encourages human activity on the street.**

#### **A.6: Transition Between Residence & Street**

For residential projects, the space between the building and the sidewalk should provide security and privacy for residents and encourage social interaction among residents and neighbors.

**The proposal provides for security and privacy for residents and encourages social interaction.**

### HEIGHT, BULK AND SCALE

#### **B.1: Height, Bulk & Scale Compatibility**

Projects should be compatible with the scale of development anticipated by the applicable Land Use Policies for the surrounding area and should be sited and designed to provide a sensitive transition to nearby, less-intensive zones. Projects on zone edges should be developed in a manner that creates a step in perceived height, bulk and scale between the anticipated development potential of the adjacent zones.

**The proposal provides a compatible scale of development considering recent and anticipated developments.**

### ARCHITECTURAL ELEMENTS

#### **C.1: Architectural Context**

New buildings proposed for existing neighborhoods with a well-defined and desirable character should be compatible with or complement the architectural character and siting pattern of neighboring buildings.

**The proposal offers a modern version of an apartment typology that is currently found in the neighborhood.**

#### **C.2: Architectural Concept and consistency**

Building design elements, details and massing should create a well proportioned and unified building form and exhibit an overall architectural concept. Buildings should exhibit form and features identifying the functions within the building. In general, the roof line or top of the structure should be clearly distinguished from its facade walls.

**The proposal offers a well proportioned, unified building with a very clear architectural concept.**

### PEDESTRIAN ENVIRONMENT

#### **D.1: Pedestrian Open Spaces and Entrances**

Convenient and attractive access to the building's entry should be provided to ensure comfort and security, paths and entry areas should be sufficiently lighted and entry areas should be protected from the weather. Opportunities for creating lively, pedestrian-oriented open space should be considered.

**The proposal offers an attractive, safe entry.**

#### **D.7: Personal Safety and Security**

Project Design should consider opportunities for enhancing personal safety and security in the environment under review.

**The proposal considers the opportunity for enhancing personal safety and security of the adjacent King County Property.**

### LANDSCAPING

#### **E.1: Reinforcing Existing Landscape Character of Neighborhood**

Where possible, and where there is not another overriding concern, landscaping should reinforce the character of neighboring properties and abutting streetscape.

**The proposal's landscaping shall reinforce the character of neighboring properties and abutting streetscape.**

#### **E.2: Landscaping to Enhance the Building and / or Site**

Landscaping, including living plant material, special pavements, trellises, screen walls, planters, site furniture and similar features should be appropriately incorporated into the design to enhance the project.

**The proposal shall include landscaping features that will enhance the project.**

#### **E.3: Landscaping Design to Address Special Site Conditions**

The landscape design should take advantage of special on-site conditions such as highbank front yards, steep slopes, view corridors, or existing significant trees and off-site conditions such as greenbelts, ravines, natural areas, and boulevards.

**The proposal shall take advantage and reinforce special on-site conditions.**



SITE PLAN



AERIAL PHOTO OF SITE

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Zoning code: SEATTLE MUNICIPAL CODE (SMC), TITLE 23 – LAND USE AND ZONING CODE

Zone: SM-85

Overlay District: South Lake Union (Urban Center) CLASS B

ECA: 40% steep slope  
Potential slide area  
Known slide area

Slopes: 20'± W (HIGH) TO East (LOW)

MUP THRESHOLDS: SEPA REVIEW ( 40% STEEP SLOPE) OR MORE THAN 20 DWELLING UNITS = DESIGN REVIEW

HEIGHT LIMIT: SMC 23.48.010A:  
Maximum structure height is 40 feet, 55 feet, 65 feet, 75 feet, 85feet, or 125 feet as designated on the Official Land Use Map, Chapter 23.32, except as provided in this section 23.28.10, section 23.48.016, or in section 23.48.017  
MAXIMUM HEIGHT LIMIT = 85'

FACADE REQUIREMENTS: SMC 23.48.014:  
Primary building entrance required from street or street oriented courtyard no more than 3' above or below sidewalk grade. Class II pedestrian streets (Dexter Ave) minimum 25' façade height. Other streets min 15' façade height.

FLOOR AREA RATIO: SMC 23.48.016: Standards applicable to specific areas  
1. In SM/85 zones, a FAR of four and a half (4.5 is the maximum chargeable floor area permitted.  
3. The following areas are exempt from FAR calculations:  
a. All gross floor area below grade.  
b. All gross floor area used for accessory parking located above grade.  
c. All gross floor area in residential use.

TRANSPARENCY & BLANK FACADE: SMC 23.48.018 A:  
a. Class II Pedestrian streets (Dexter Ave): min 60% of the street façade between 2' and 8' above the sidewalk shall be transparent  
c. The total of all blank facade segments, including garage doors, shall not exceed forty (40) percent of the street facade of the structure on each street frontage. (59.97' x .4 = 21'-2")

STREET LEVEL USES: SMC 23.48.019:  
USES ONLY RESTRICTED ON CLASS 1 PEDESTRIAN STREETS

RESIDENTIAL AMENITY AREA: SMC 23.48.020:  
5% of total residential gross square footage is required as amenity space. Must be accessible to all residents at or above grade level. A max 50% of amenity area may be enclosed (atrium, greenhouse, solarium). All amenity areas min 15' horizontal dimension and be min 225 SF.

MIN. REQUIRED AMENITY AREA = 5% OF 24,259 RESIDENTIAL SF = 1,213 S.F.  
AMENITY AREA PROVIDED = 1,595 S.F.

SCREENING & LANDSCAPING: SMC 23.48.024.C.1:  
Street trees shall be provided in all planting strips. Existing street trees may count toward meeting the street tree requirement.

GREEN FACTOR: SMC 23.48.017 G Seattle Green Factor score of .3 or greater, pursuant to the procedures in section 23.86.019 is required.

REQUIRED PARKING: Table A for 23.54.015: Nonresidential Use Requirements For Specific Areas:  
Nonresidential uses, except hospitals, in urban centers or the Station Area Overlay District: No minimum requirement

Table B for 23.54.015: Residential Use Requirements For Specific Areas:  
All residential uses within urban centers or within the Station Area Overlay District: No minimum requirement

**PARKING STALLS PROVIDED = 12**

Table E for Section 23.54.015 PARKING FOR BICYCLES:  
Sales and services, general

Long-term: 1 per 12,000 sq ft  
Short-term: 1 per 2,000 sq ft in UC/SAO

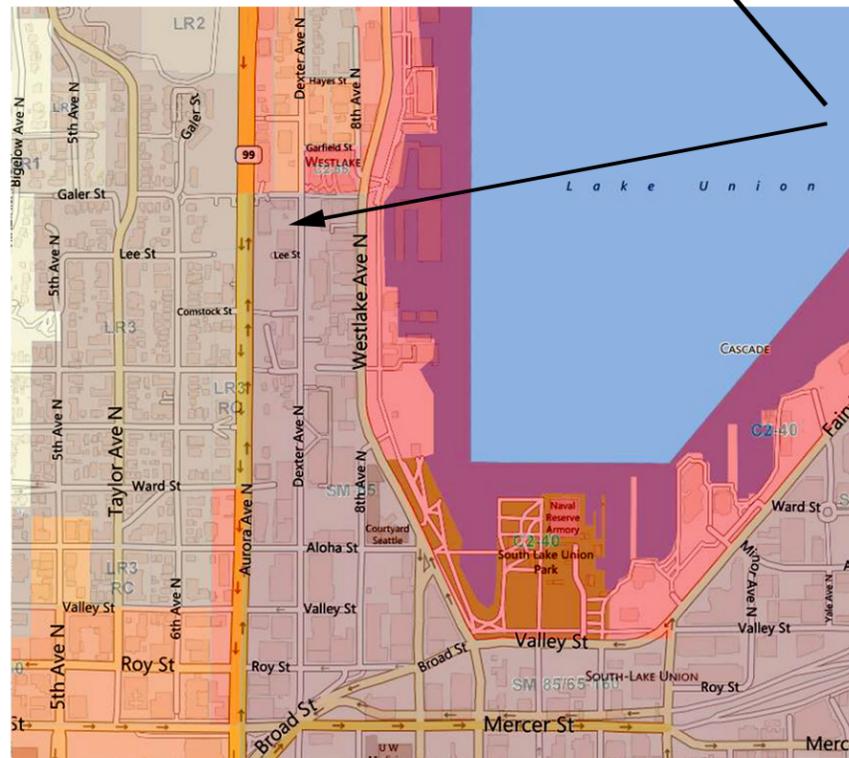
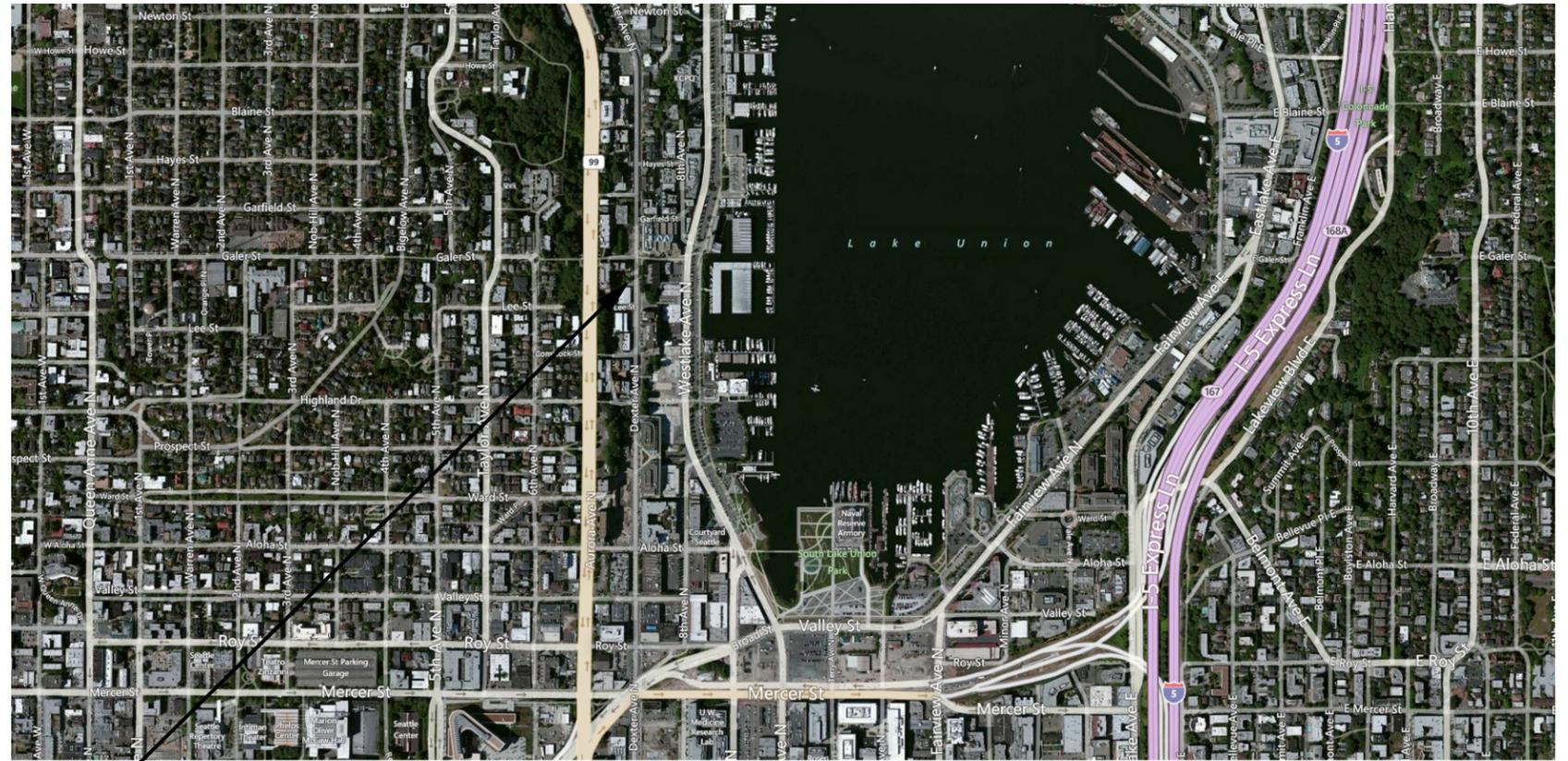
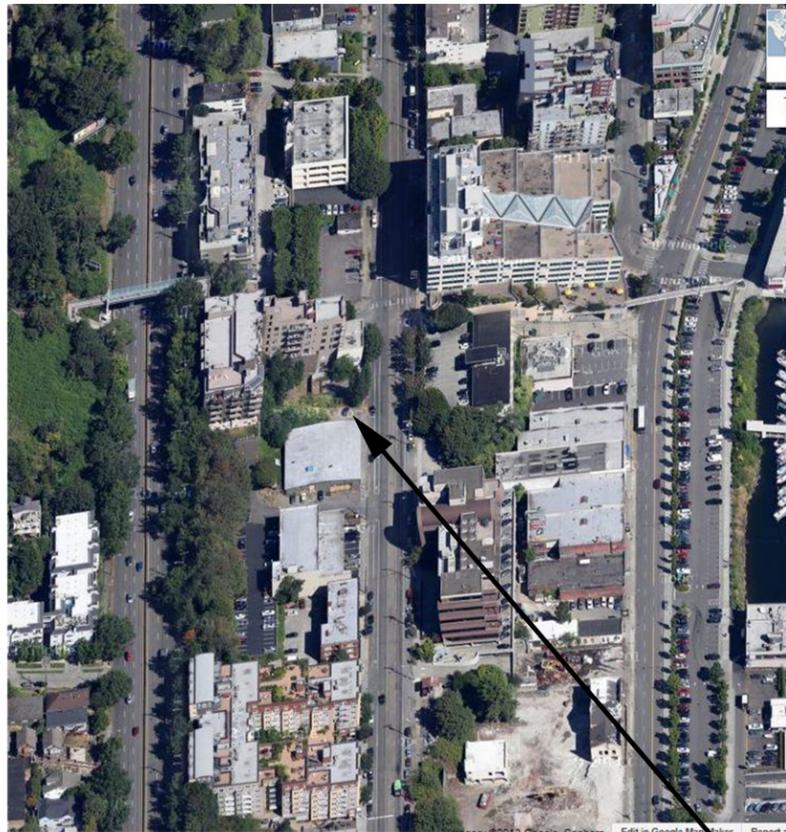
Multi-family structures  
Long-term: 1 per 4 units  
Short-term: None

**BICYCLE PARKING PROVIDED = 15**

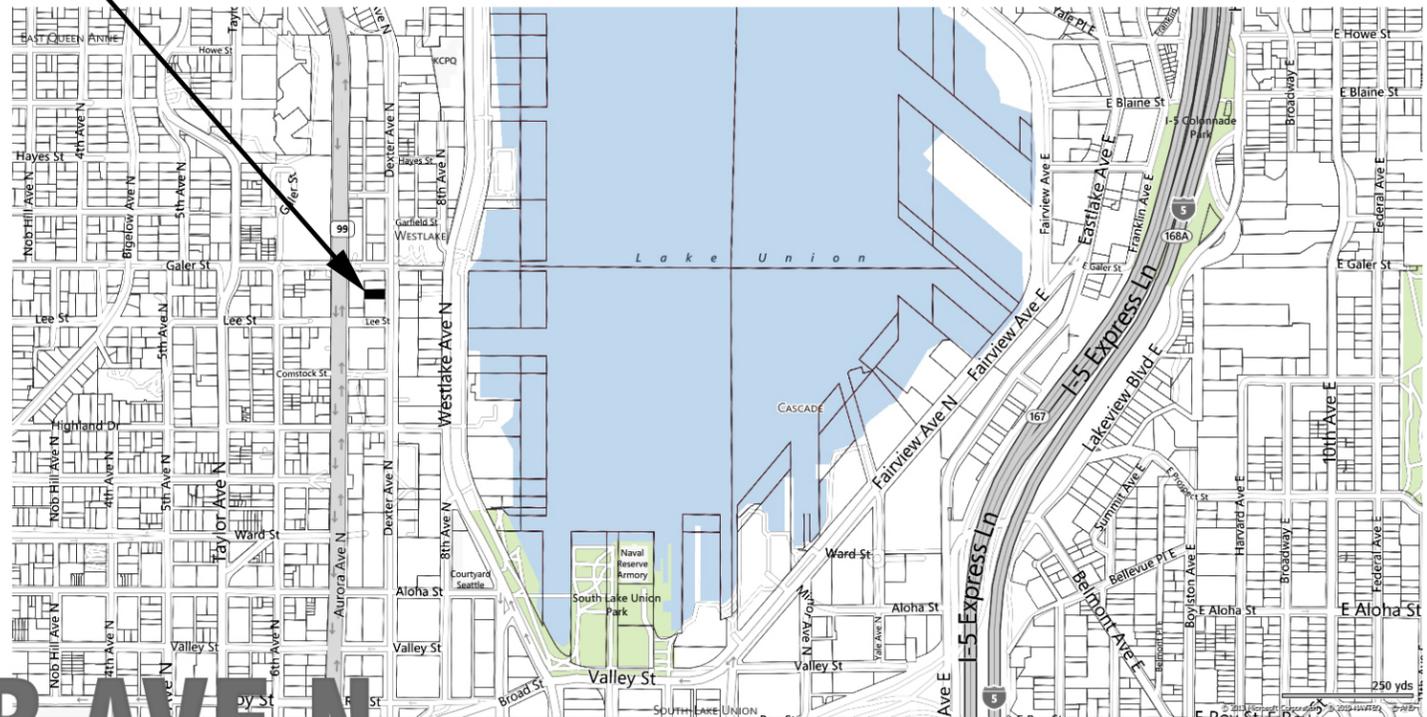
SMC 23.48.034.C.3:  
If the lot does not abut an improved alley, parking and loading access may be permitted from the street. Such access shall be limited to one two-way curbcut. In the event the site is too small to permit one two-way curbcut, two one way curbcuts shall be permitted.

SOLID WASTE & RECYCLING: SMC 23.54.040.B:  
Mixed use development that contains both residential and nonresidential uses shall meet the storage space requirements shown in Table A for 23.54.040 for residential development, plus 50 percent of the requirement for nonresidential development.

PER TABLE 'A'  
51-100 DWELLING UNITS = 375 S.F. PLUS 4SF PER EACH ADDITIONAL UNIT  
62 UNITS = 423 S.F. REQUIRED  
0-5,000SF NONRESIDENTIAL DEVELOPMENT = 82 S.F.  
617 S.F. RETAIL = 82 S.F. REQUIRED  
423 S.F. + (82 x .5) = **464 S.F. TOTAL REQUIRED**



SITE



- SF 5000
- LR3
- SM-65
- NC3-40
- C2
- C2-40

# 1415 DEXTER AVENUE N

1415 DEXTER LLC

DPD Project # 3015159 - EDG - June 14, 2013

# SITE ANALYSIS



- PEDESTRIAN ACCESS**  
 DEDICATED PEDESTRIAN PATHS PROVIDE ACCESS TO LAKE UNION AND ACROSS AURORA
  
- BIKE ROUTE**  
 DEXTER AVE. IS A PRINCIPAL BIKE STREET, PROVIDING ACCESS TO DOWNTOWN AND LINKING TO THE CITY'S INTERCONNECTED BIKE LANES.
  
- BUS ROUTES**  
 SEVERAL BUS ROUTES ACCESSIBLE FROM DEXTER AVE & AURORA AVE WITH FREQUENT STOPS
  
- VIEWS**  
 VIEWS AVAILABLE TO THE EAST AND SOUTH EAST OF LAKE UNION AND DOWNTOWN
  
- SOLAR ACCESS**  
 PRINCIPAL SOLAR ACCESS IS FROM THE EAST AND SOUTH, SCEENED BY TREES AND THE HILL TO HTE WEST

# 1415 DEXTER AVE N



1 COMMERCIAL



2 OFFICE



3 RESIDENTIAL



4 OFFICE



5 OFFICE



6 RESIDENTIAL



7 PUBLIC



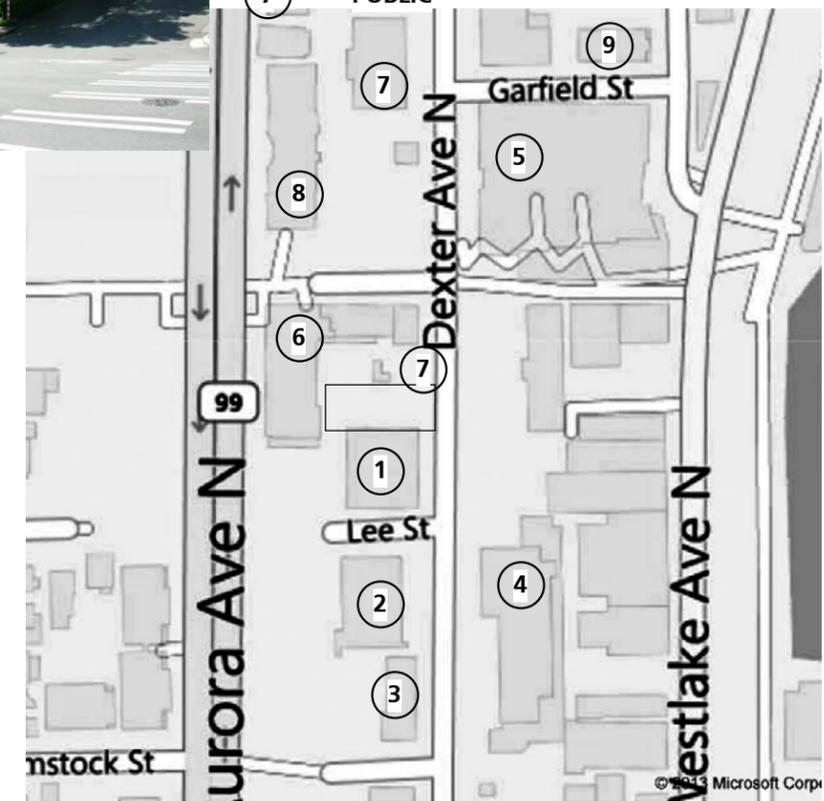
7 OFFICE



8 RESIDENTIAL



9 RESIDENTIAL



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VIEW OF SITE LOOKING NORTHWEST



VIEW OF SITE LOOKING WEST



VIEW OF SITE LOOKING SOUTHWEST

OPPOSITE PROJECT SITE



VIEW FROM SITE LOOKING EAST



1215 DEXTER AVE N



717 DEXTER AVE N



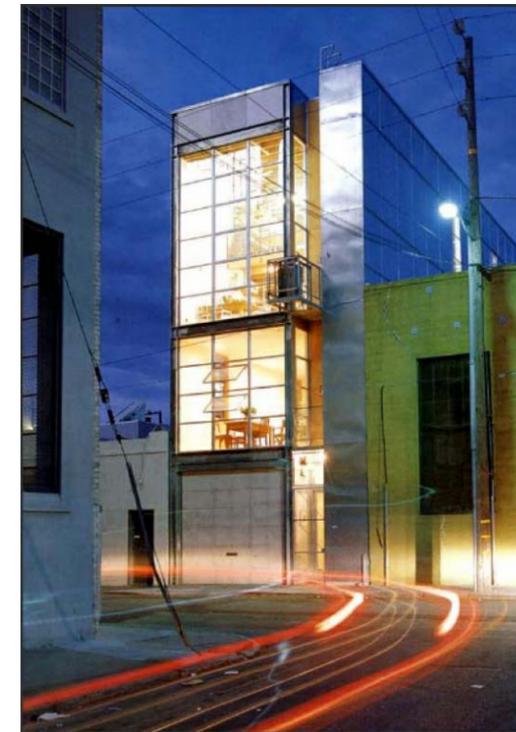
GARFIELD AND 8TH AVE N



THE UNION 901 DEXTER AVE N



SAN FRANCISCO MULTIFAMILY



SAN FRANCISCO MULTIFAMILY



EUROPEAN MULTIFAMILY

**ADDITIONAL CONTEXT AND  
NON-LOCAL INSPIRATION**

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ART BARN LOOKING SOUTHWEST SLU



ART BARN LOOKING EAST SLU



THE BLOCK ON DEXTER AVE N



1310 UNION CAPITOL HILL



MARI TAN DEXTER AVE N



SCHOOL OF VISUAL CONCEPTS SLU



BANNER BUILDING WESTERN AVE

LOCAL INSPIRATION

# 1415 DEXTER AVE N

1415 DEXTER LLC

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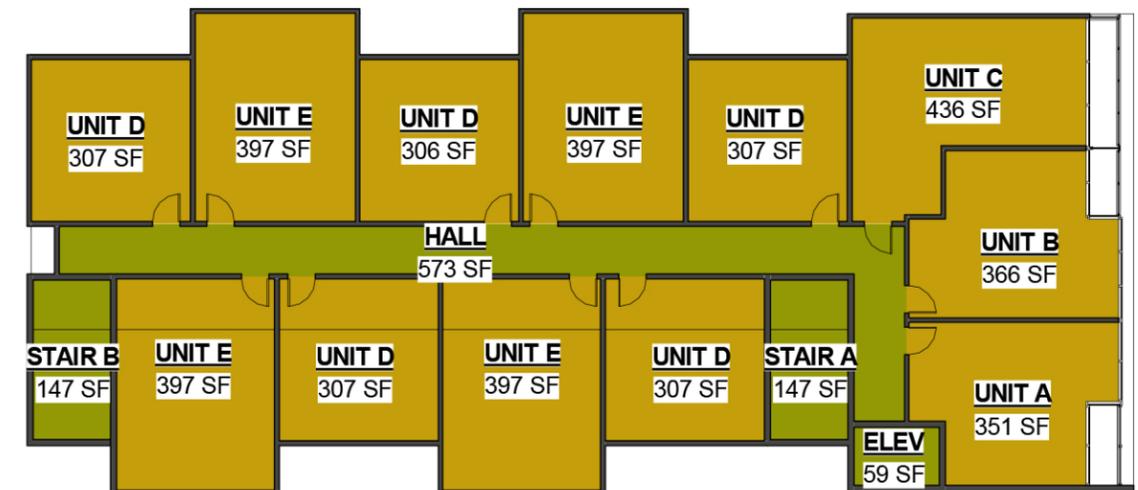




SITE PLAN

LEGEND

- RETAIL
- CIRCULATION
- MECHANICAL
- TRASH/RECYCLING
- PARKING



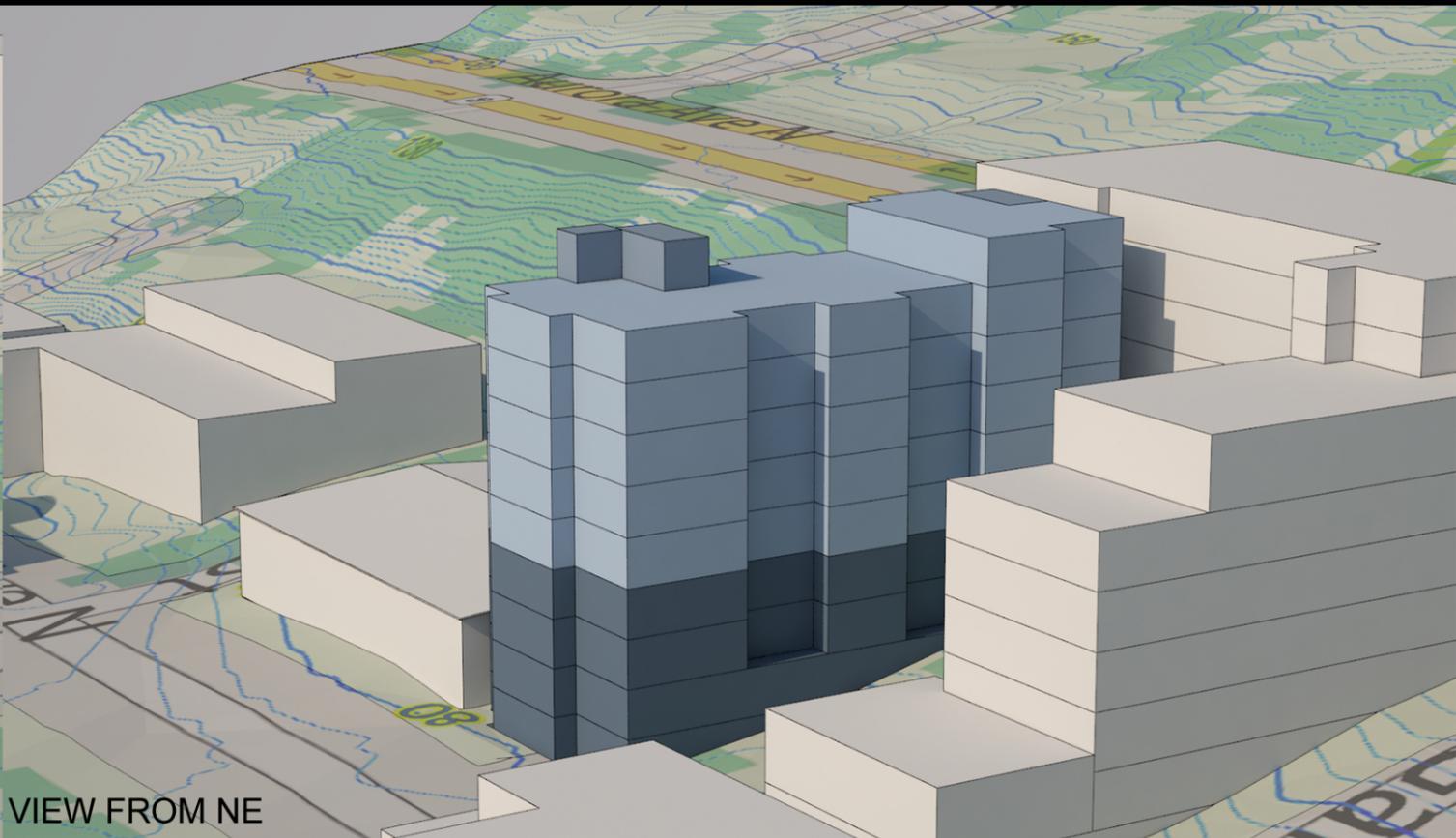
TYPICAL FLOOR PLAN

# 1415 DEXTER AVE N

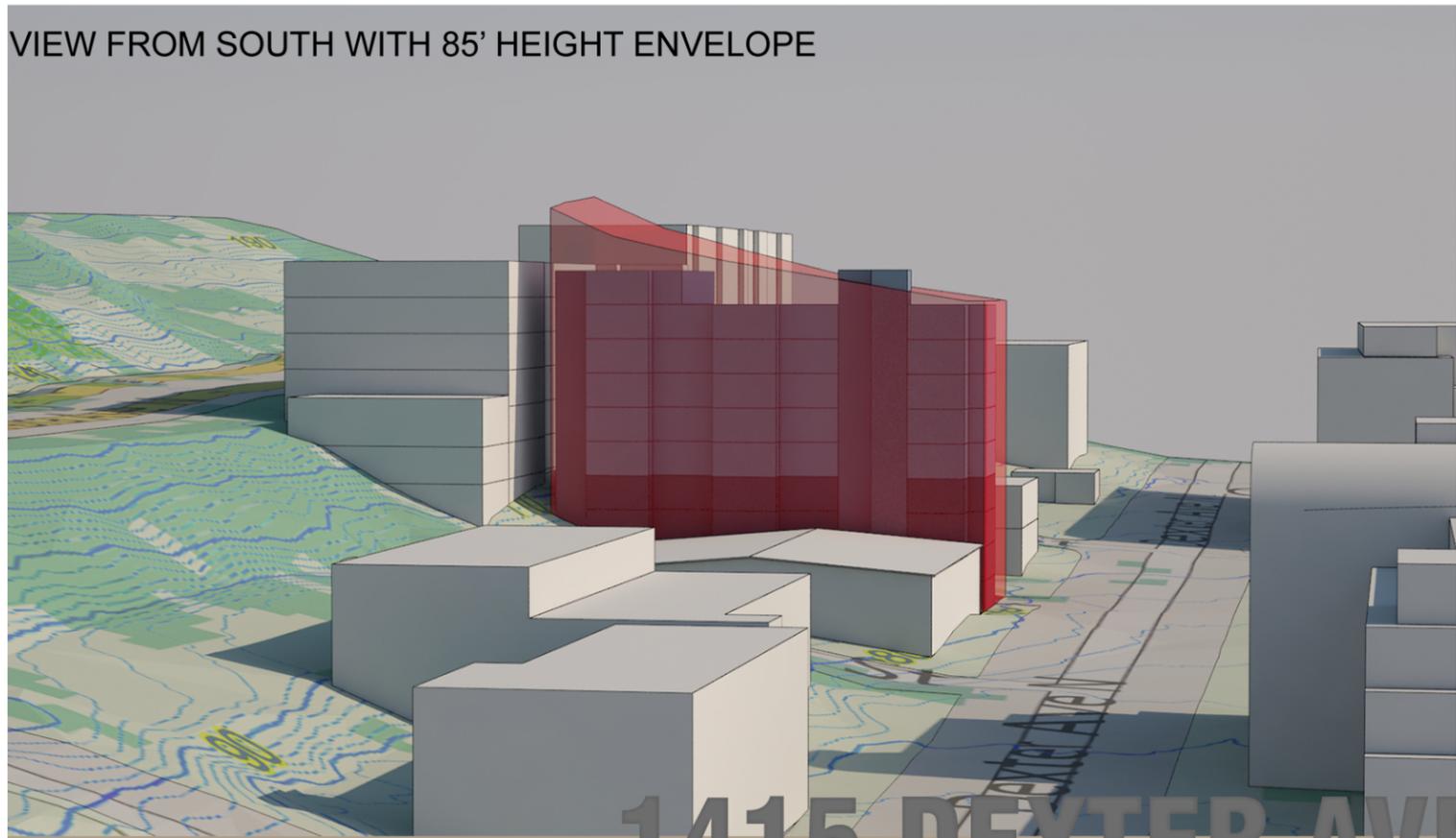
# MASSING DIAGRAM - SCHEME 01



VIEW FROM SE



VIEW FROM NE



VIEW FROM SOUTH WITH 85' HEIGHT ENVELOPE

## SCHEME 01 PROS & CONS:

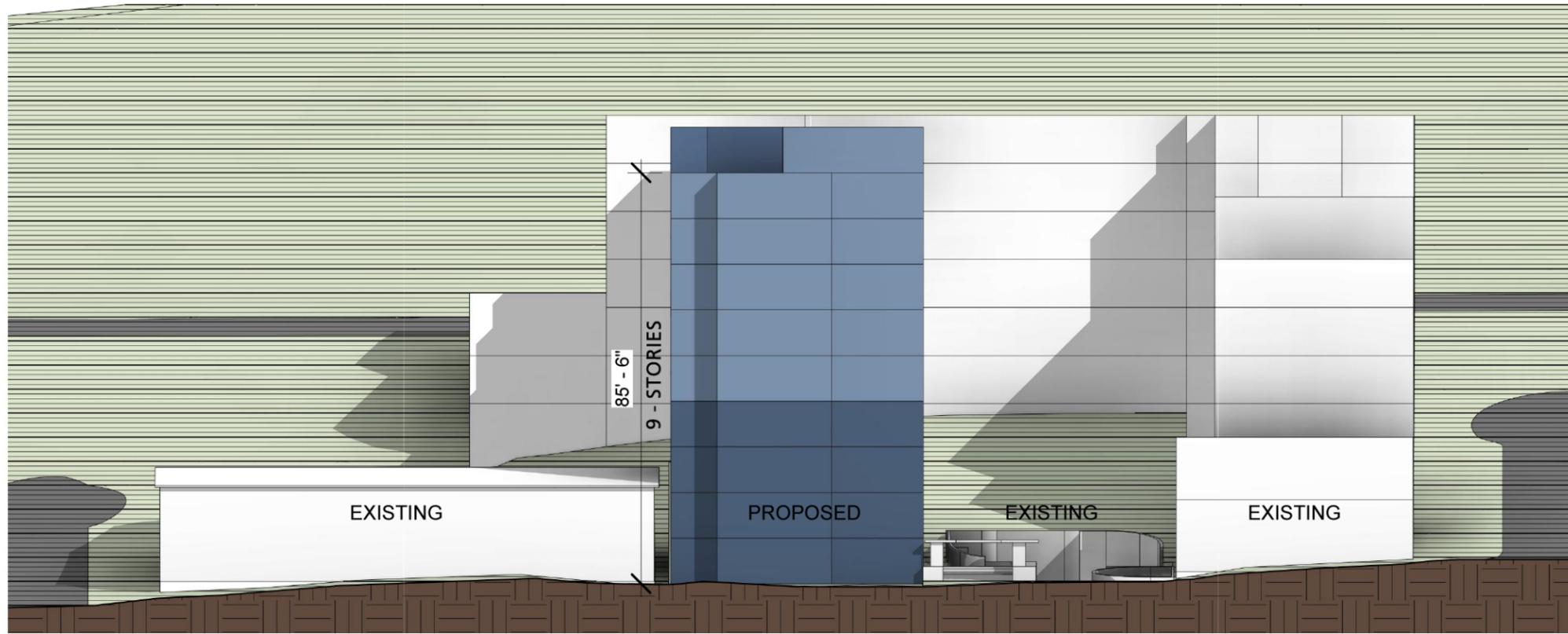
Scheme one provides a strong urban edge Along Dexter Ave N. It is compatible with the scale of development anticipated by the current land use policies. It provides and efficient double loaded center corridor on the residential levels.

### PROS:

- Creates a strong urban edge along Dexter Ave N
- Scale, rythm and modulation provide variety along North and South property lines

### CONS:

- Majority of units receive poor quality light and air

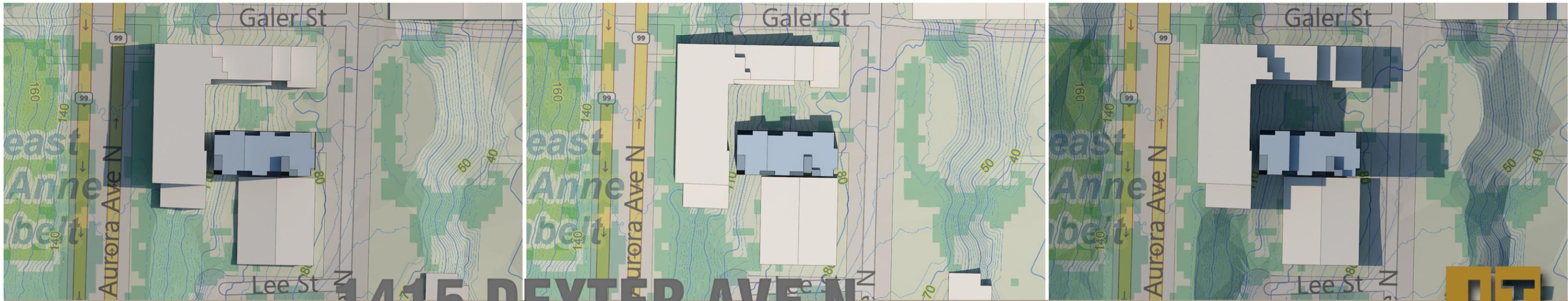


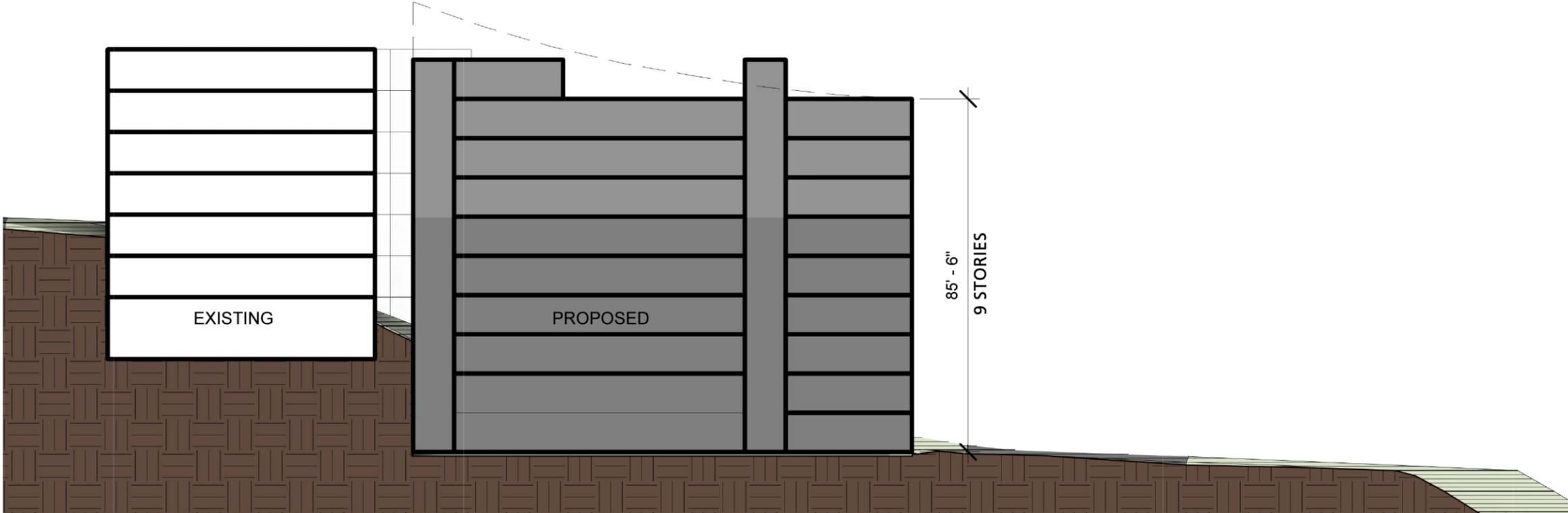
EAST MASSING ELEVATION

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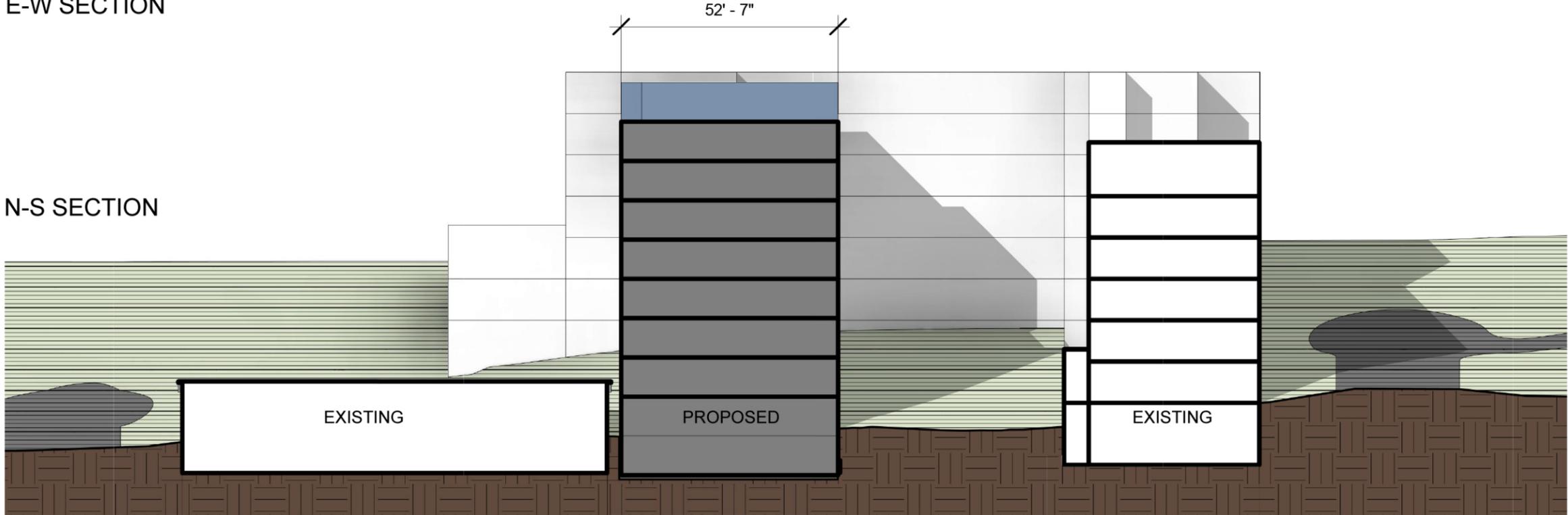
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E-W SECTION



N-S SECTION

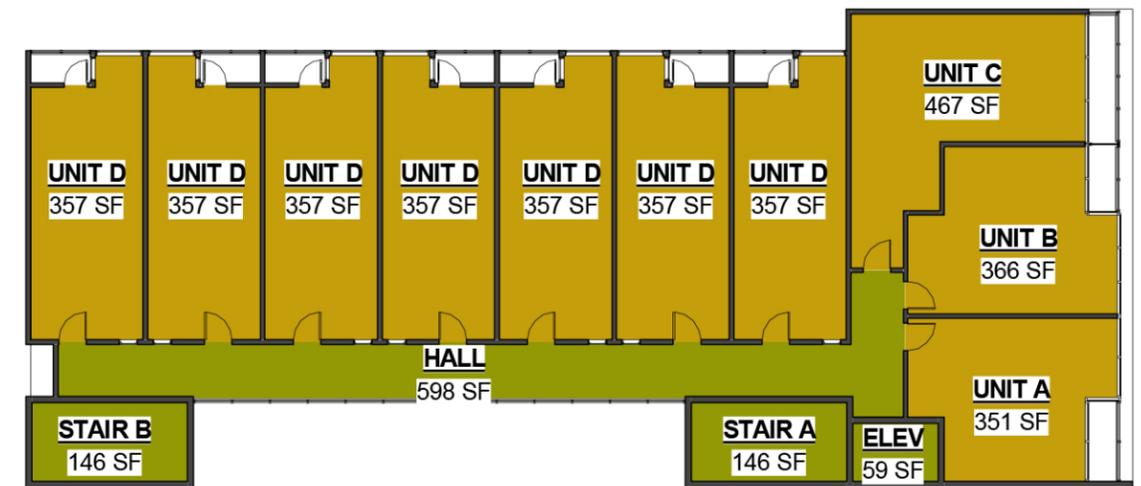
# 1415 DEXTER AVE N



SITE PLAN

LEGEND

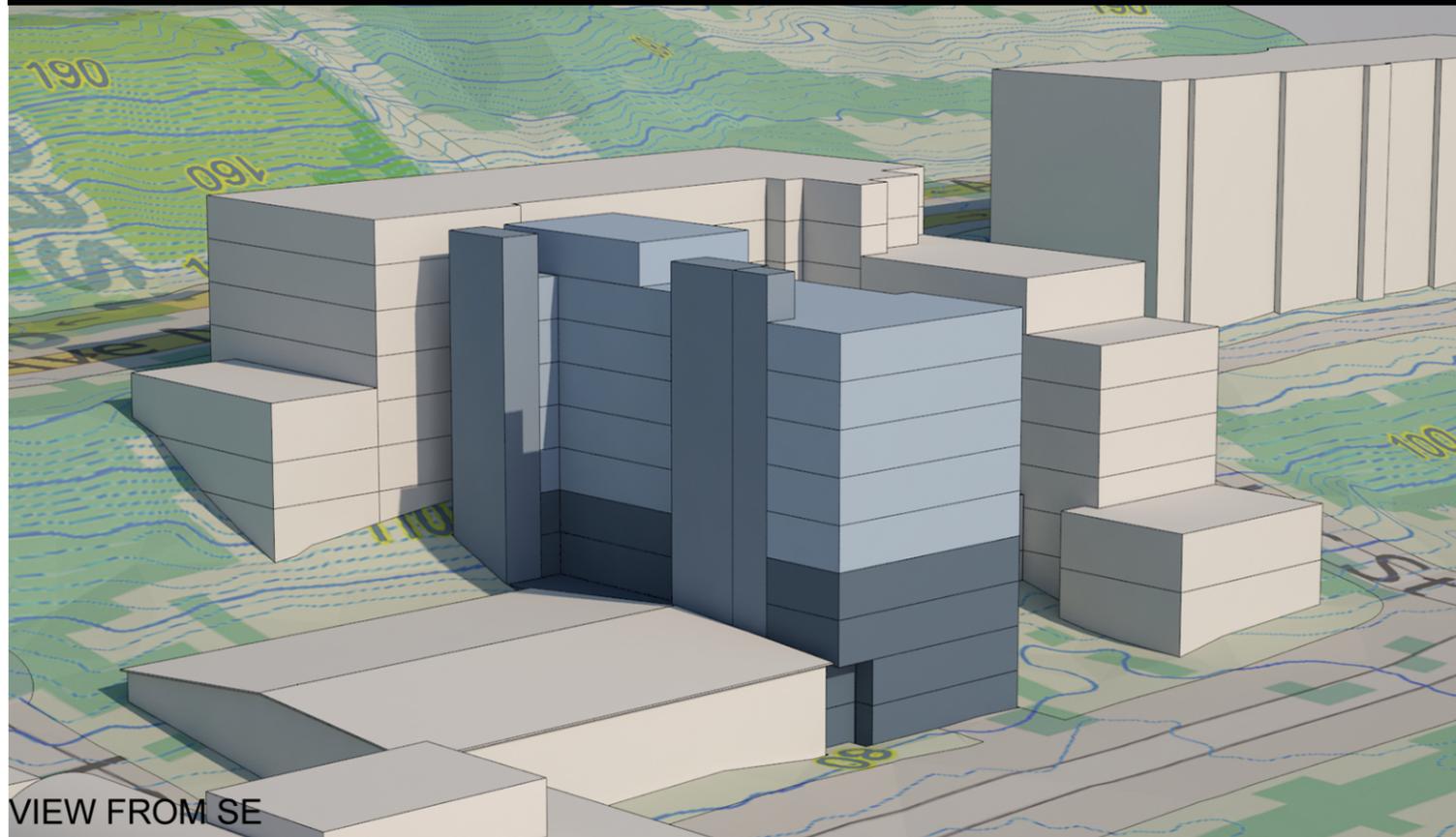
- RETAIL
- CIRCULATION
- MECHANICAL
- TRASH/RECYCLING
- PARKING



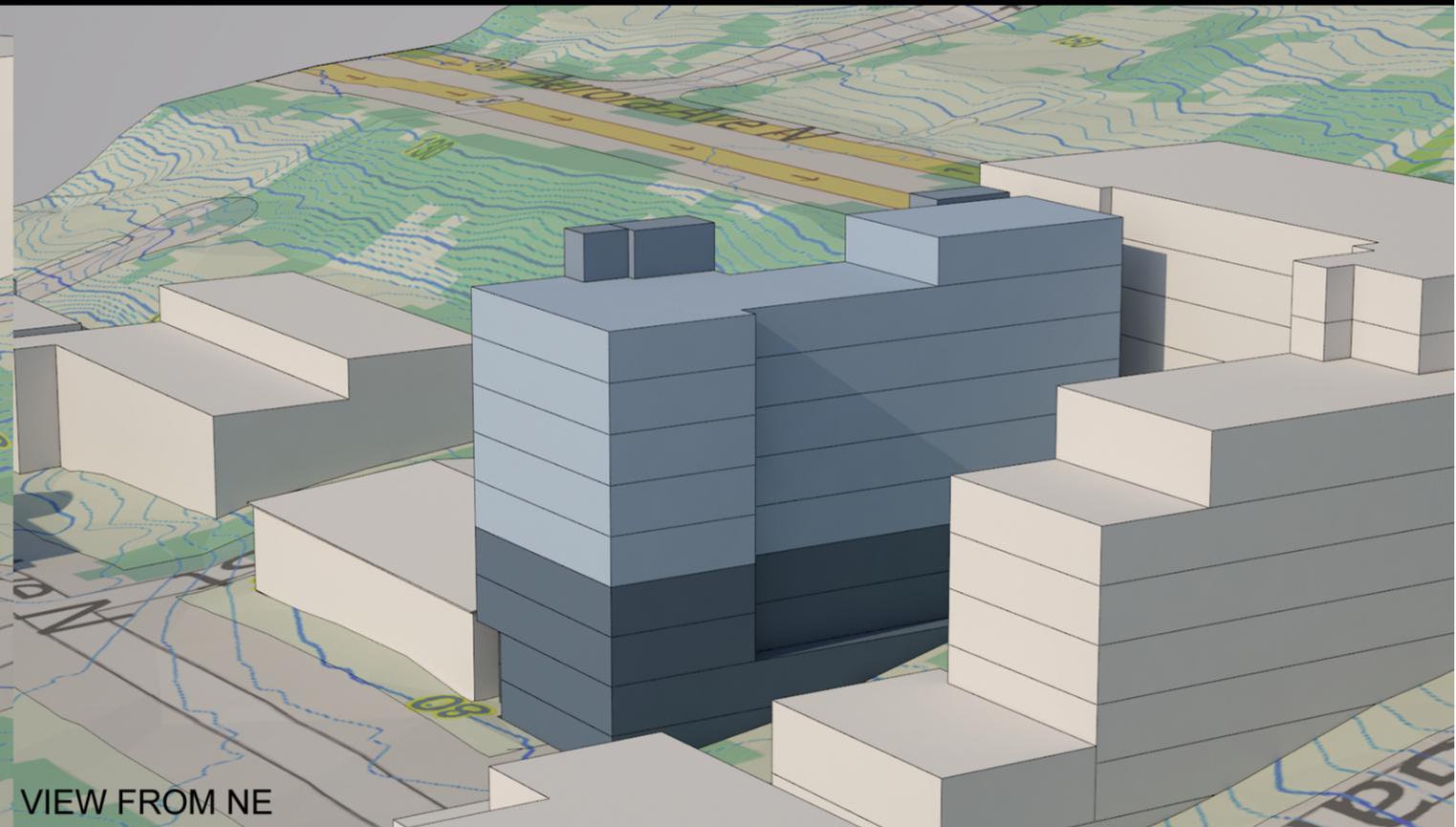
TYPICAL FLOOR PLAN

# 1415 DEXTER AVE N

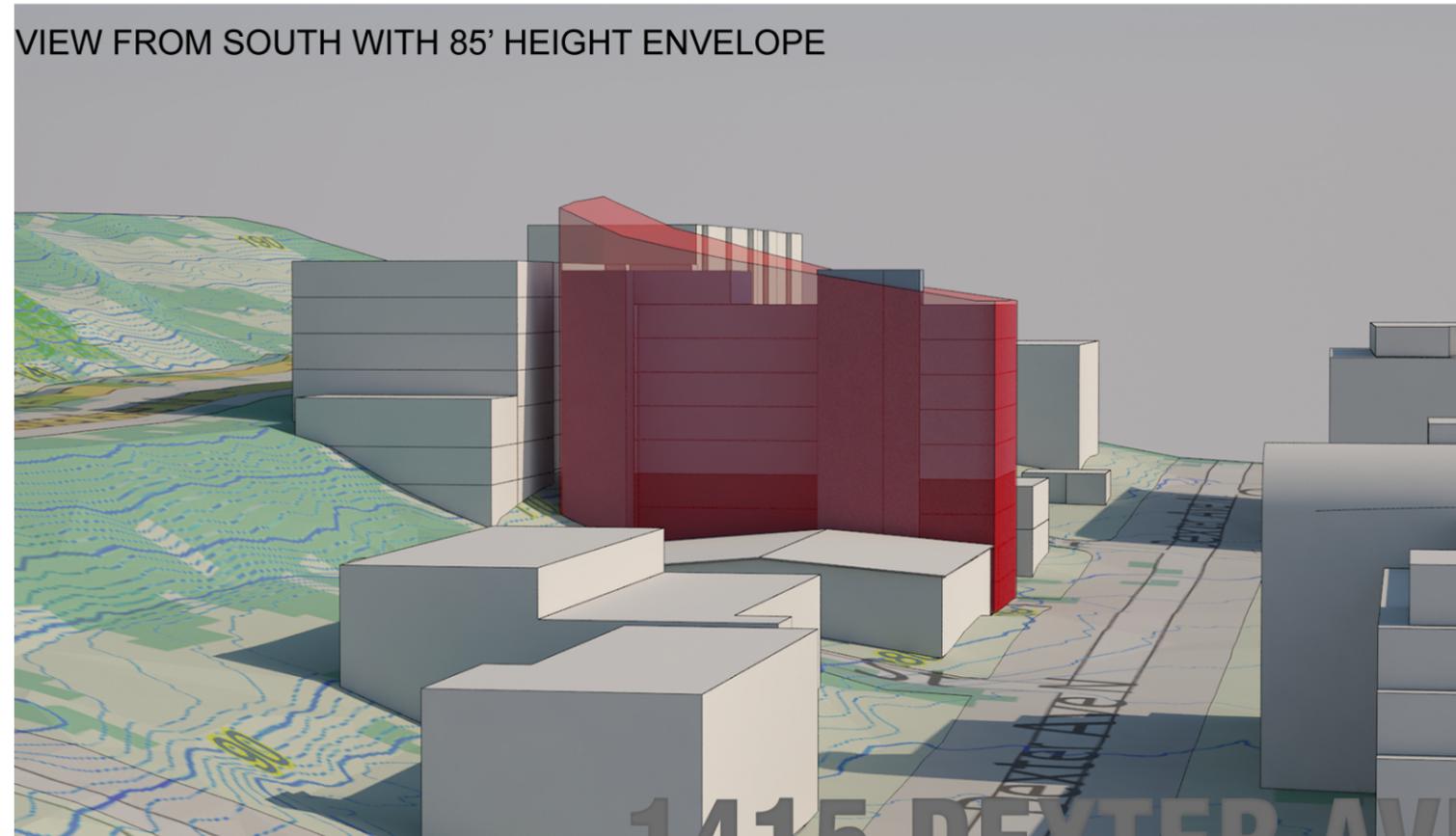
# MASSING DIAGRAM - SCHEME 02



VIEW FROM SE



VIEW FROM NE



VIEW FROM SOUTH WITH 85' HEIGHT ENVELOPE

## SCHEME 02 PROS & CONS:

Scheme two Provides a strong urban edge along Dexter Ave N. It is compatible with the scale of development anticipated by the current land use polociies. It provides a single loaded exterior corridor on the residential levels providing a majority of units with quality light and air from two sides.

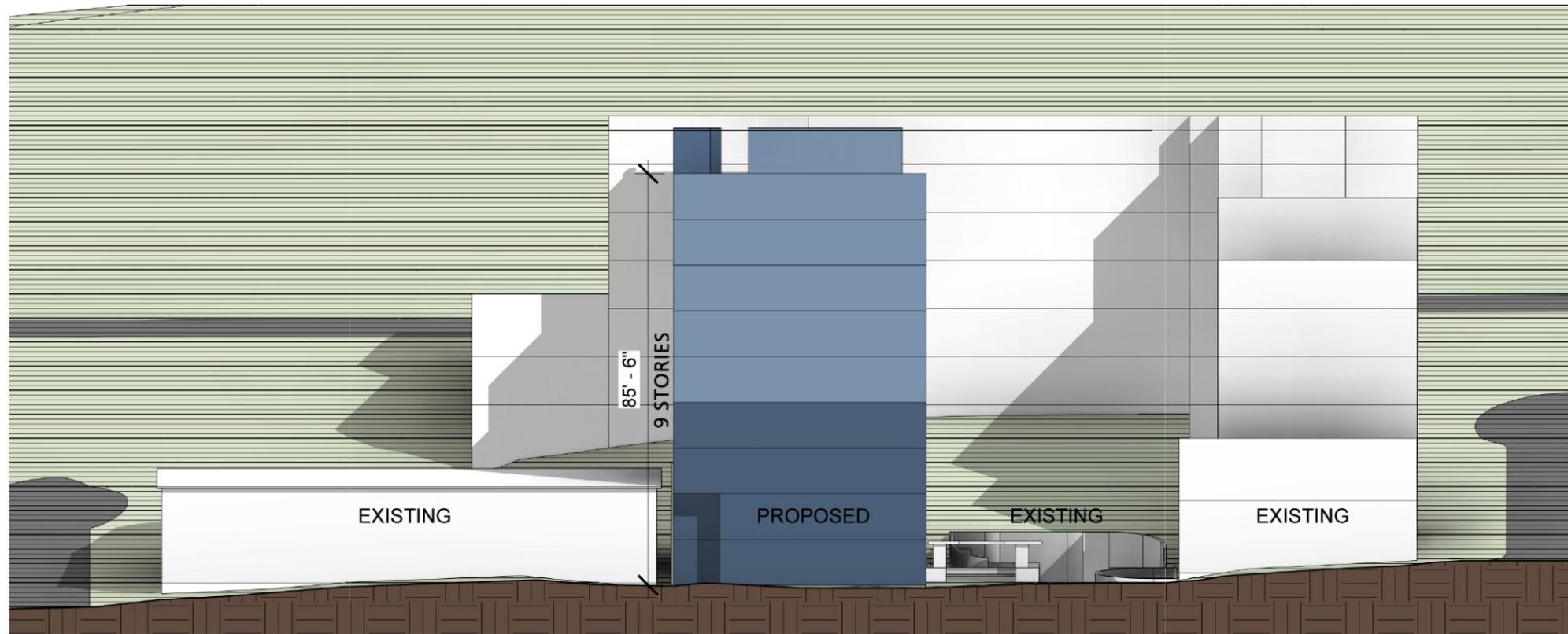
### PROS:

- Creates a strong urban edge along Dexter Ave N
- Majority of Units receive quality light and air from two sides
- Lower level amenity area on South side
- Scale of building broken down on North and South sides

### CONS:

- Too much circulation

# 1415 DEXTER AVE N

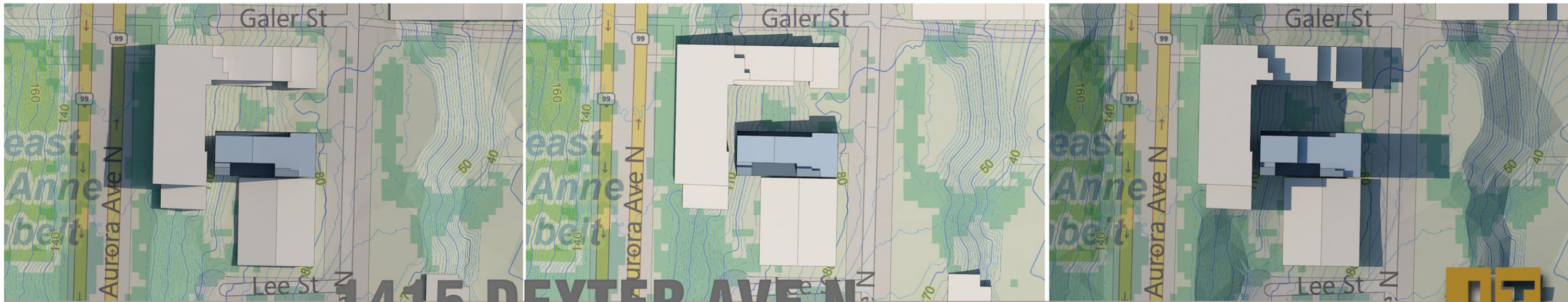


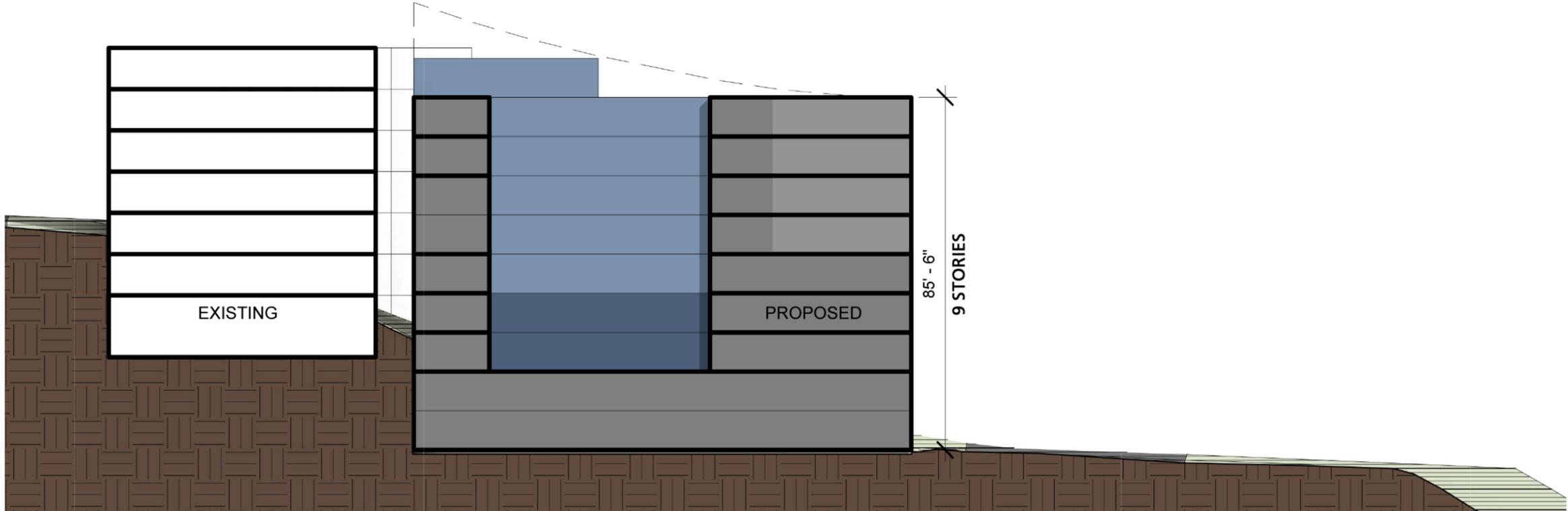
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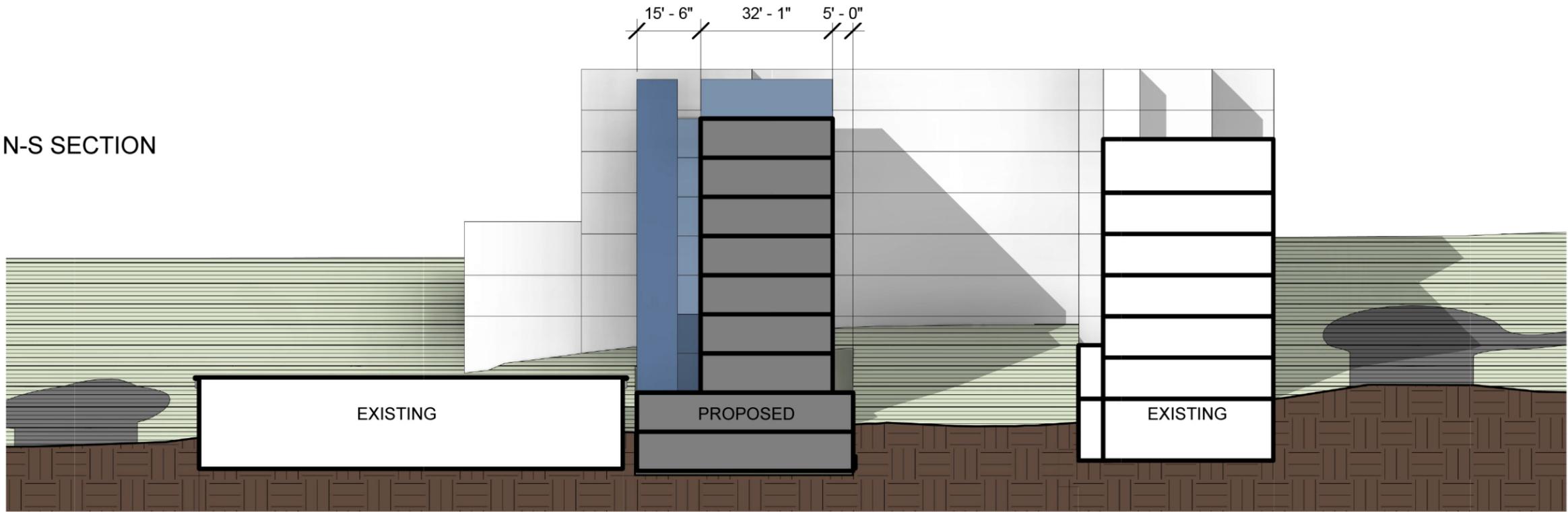
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E-W SECTION



N-S SECTION

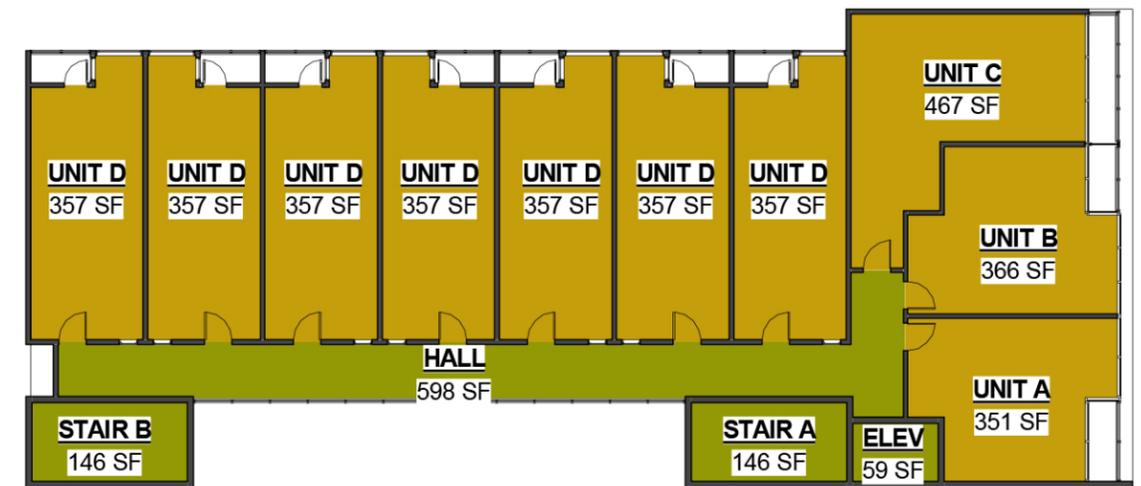
# 1415 DEXTER AVE N



SITE PLAN

LEGEND

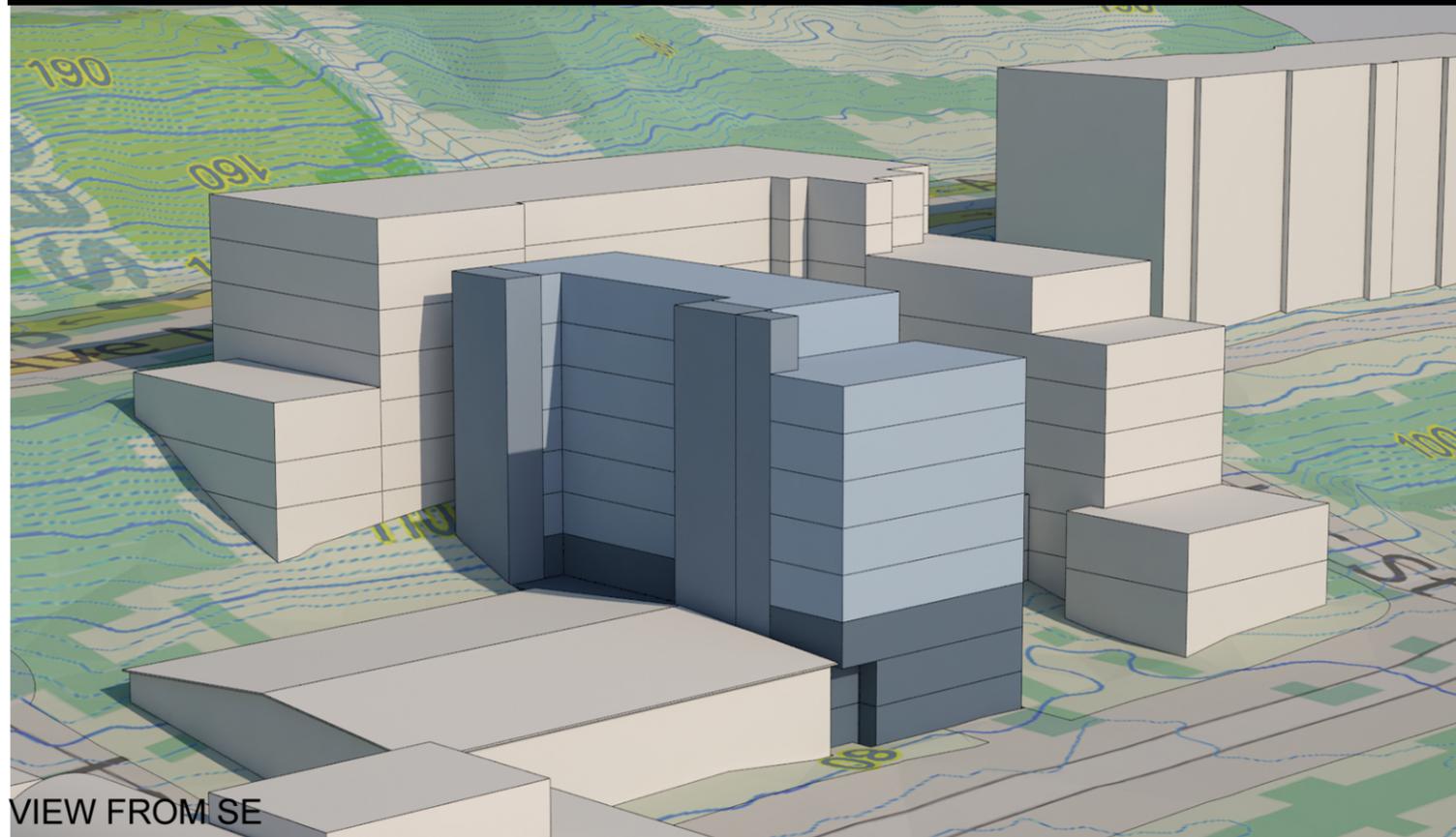
- RETAIL
- CIRCULATION
- MECHANICAL
- TRASH/RECYCLING
- PARKING



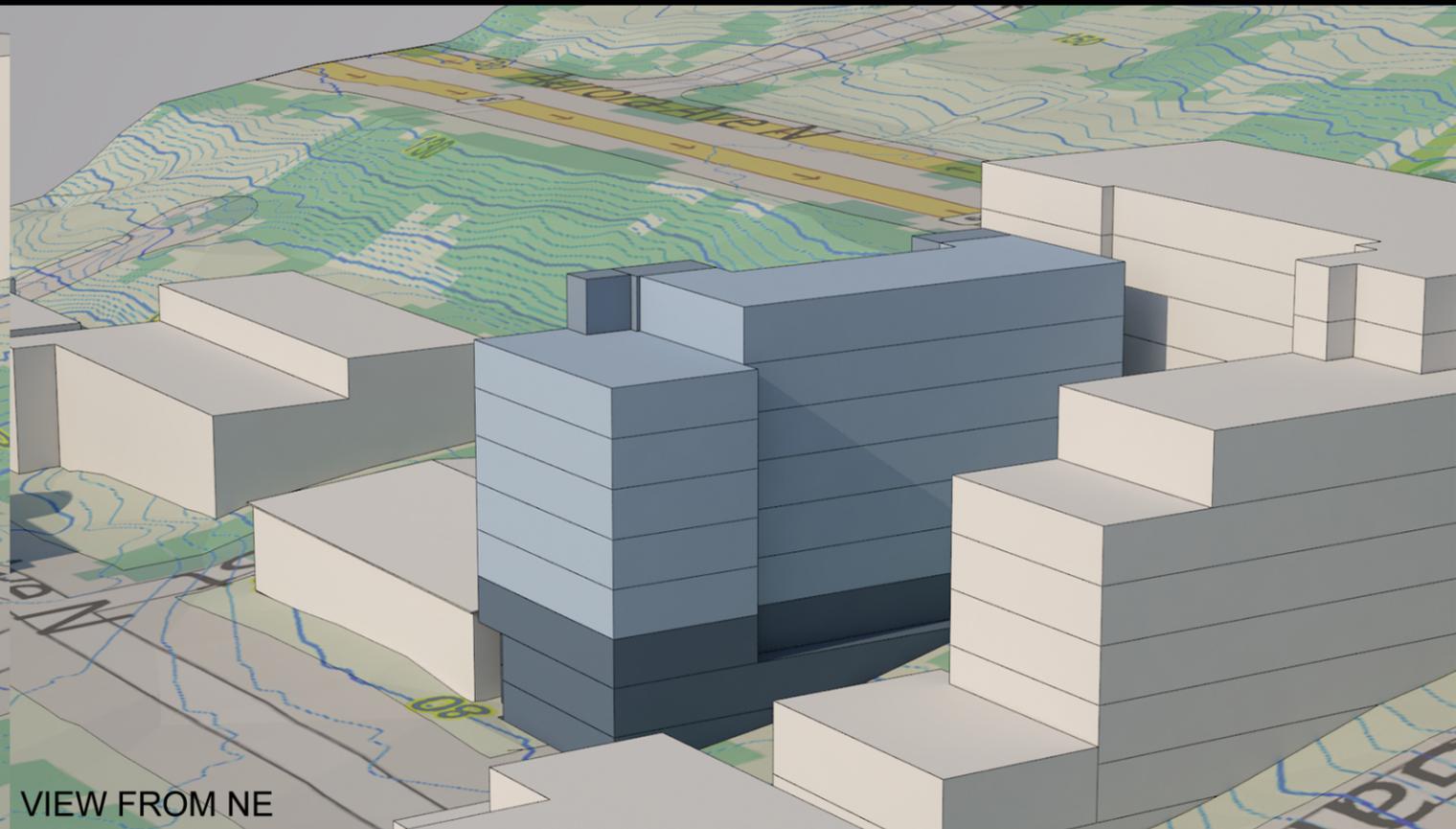
TYPICAL FLOOR PLAN

# 1415 DEXTER AVE N

# MASSING DIAGRAM - SCHEME 03



VIEW FROM SE



VIEW FROM NE



VIEW FROM SOUTH WITH 85' HEIGHT ENVELOPE

## SCHEME 03 PROS AND CONS:

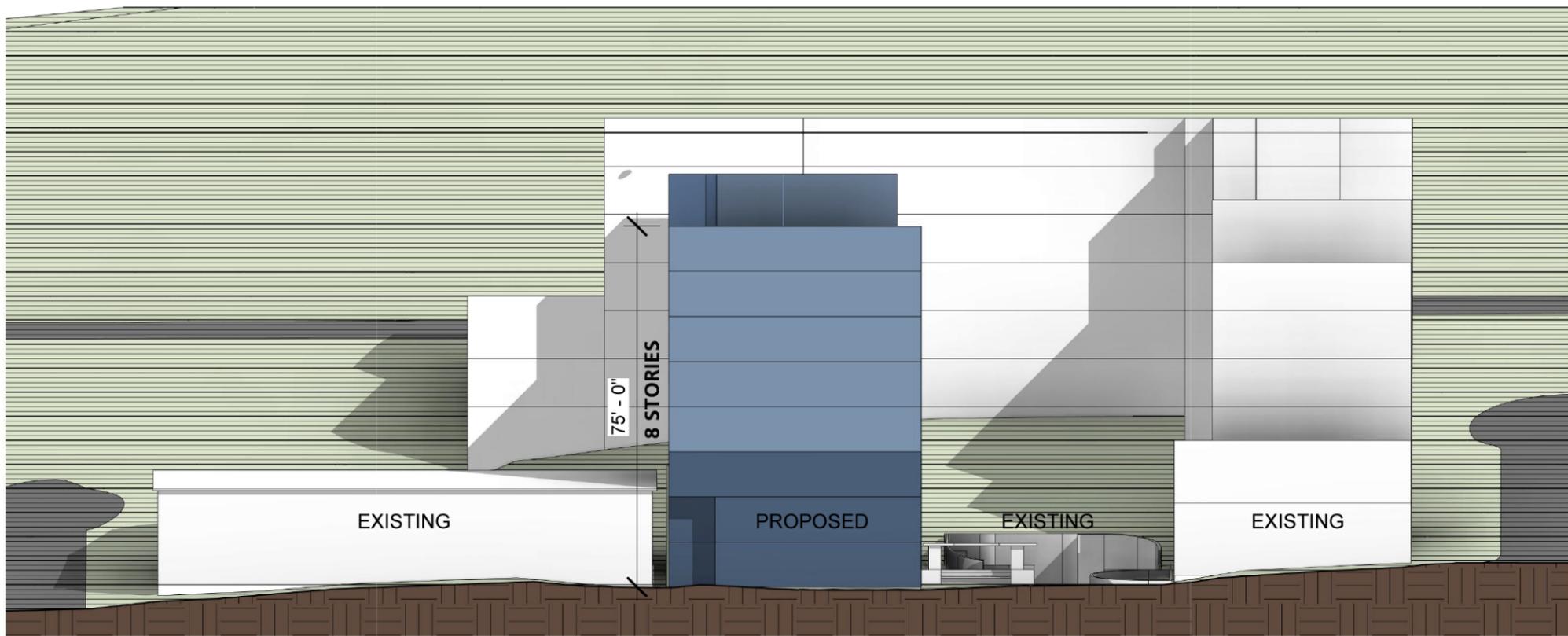
Scheme 3 provides a strong urban edge along Dexter Ave N. It is compatible with the scale of development anticipated by the current land use policies. It provides a single loaded exterior corridor on the residential levels providing the majority of units with quality light and air from two sides.

### PROS:

- Creates a strong urban edge along Dexter Ave N
- Majority of units receive quality light and air from two sides
- Lower level amenity area on South side
- Scale of building broken down on North and South sides
- Scale of building compatible with existing neighboring buildings

### CONS:

- Too much circulation

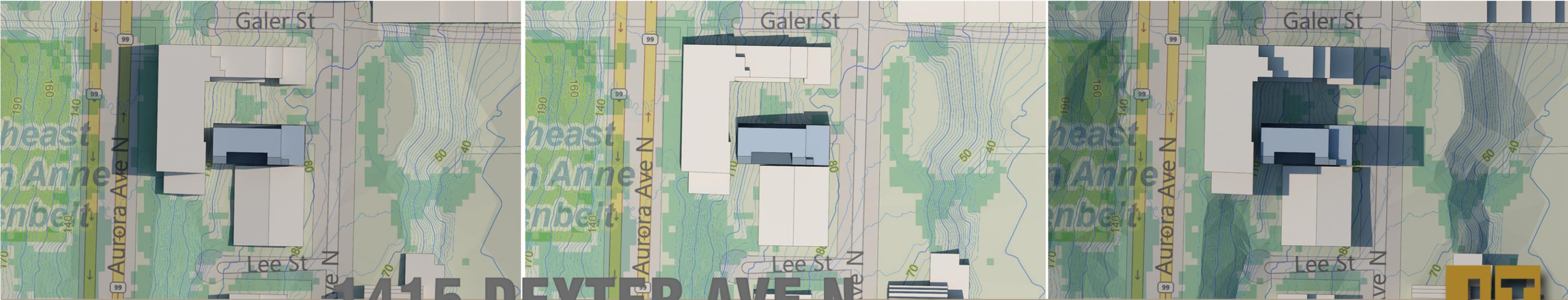


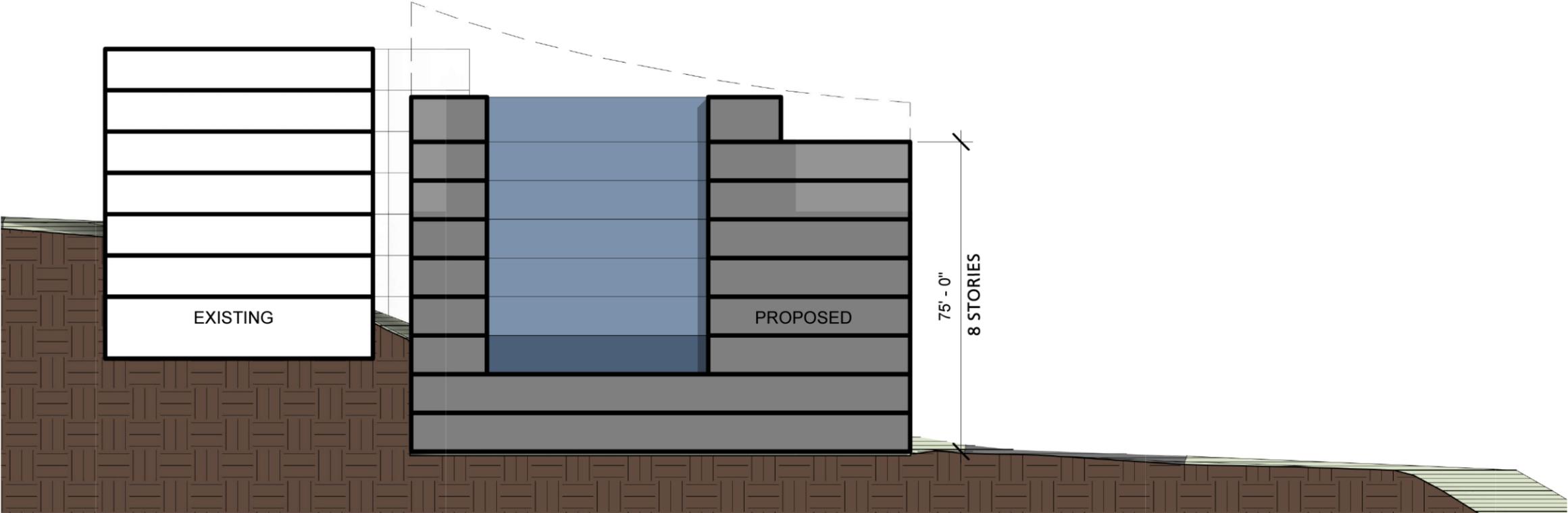
EAST MASSING ELEVATION

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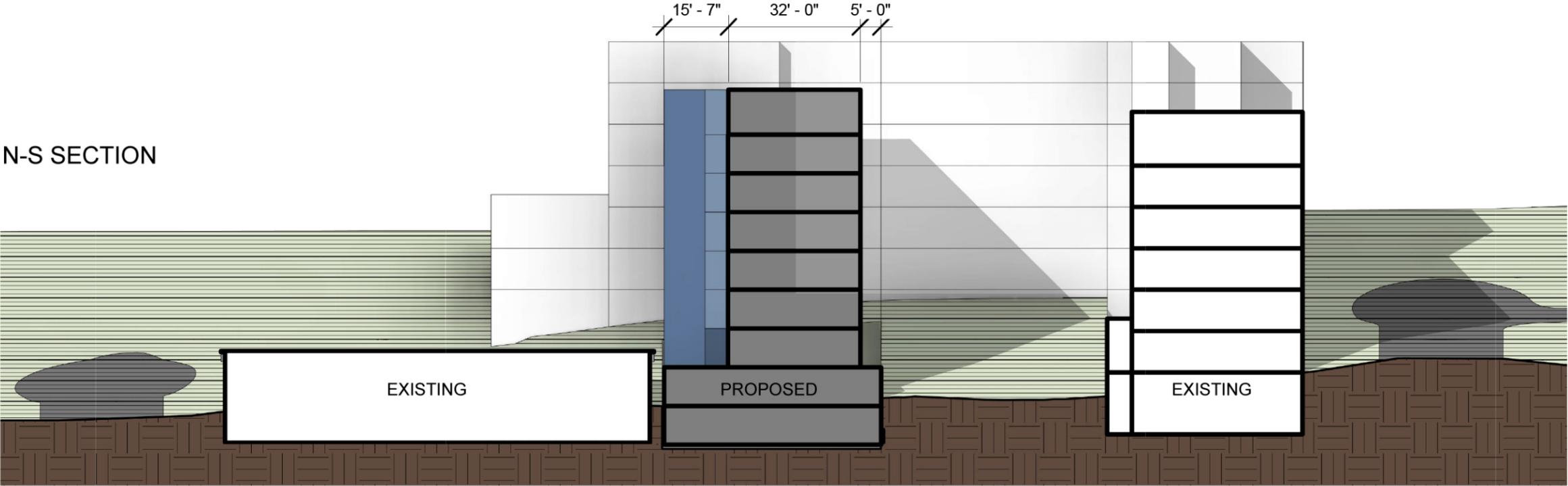
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E-W SECTION



N-S SECTION

# 1415 DEXTER AVE N