

# PROJECT 339

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PROJECT SUMMARY

Address:339 16th Ave E. Seattle  
WA 98112

DPD Project Number:Land Use #: 3015149  
Construction #: 6359807

Developer:Project 339, LLC

Applicant:Workshop AD

Contact:Steve Bull, Workshop AD

Zoning:Lowrise 3 LR-3

DEVELOPMENT STATISTICS SUMMARY

Lot Size8472 SF

FAR1.4\* Meeting 23.45.510.C.

Allowable GFA11861 SF

Proposed GFA11833 SF

Parking Stalls8

Ground Level GFA3250 SF

2nd Level GFA4562 SF

3rd Level GFA4021 SF

Total GFA11833 SF

Project Description:

Project 339 is an eight unit townhouse development located at 339 16th Avenue East. The site is located in Capitol Hill(Urban Center Village) and is zoned LR-3. At this location the LR-3 zone is only a half block wide and extends from 16th Avenue East to the alley. To the west is NC-2 40 and across the street to the east is SF-5000. As the zoning reflects, the project is situated in a context that is varied in development scale, use, and density. Development on 16th Avenue East ranges from modest bungalows on the east side of the street, to three and four story walk-up apartment buildings. To the west, commercial and major institutional buildings are across the alley and front 15th Avenue East. These buildings also have a large range of scale. 16th Avenue also has a number of surface parking lots that may in the future be developed to the current development standards.

The adjacent properties are: a three story townhouse project to the south, a single family home and a three story apartment building to the north; and one and two story single family homes across the street.

The design proposal responds to four primary considerations.

1. Provide three street facing townhomes that reflect the scale and development patterns of the single family homes across the street. This is achieved with a two story street façade and a third floor stepped well back.
2. Provide a large courtyard that is shared by all townhomes and provides a central identity to the project. Relate the scale and materials used in the courtyard to the numerous courtyard apartment projects found throughout Capitol Hill. The three story height is consistent with traditional and recent development in the area.
3. Use the alley for parking and service access to allow for as large a courtyard as possible.
4. Create a strong visual connection between the sidewalk and the courtyard.

Other project features include:

Covered parking and trash/compost/recycling will be accessed from the alley  
Private roof decks for all dwelling units  
Highly developed native landscape  
Pervious paving materials  
PV Electric systems 23.45.

Adjustments Requested

1. SMC 23.45.527.B Façade Length:  
per SMC 23.45.527.B.2 it is requested that a façade length of 82'-6" be allowed.
2. SMC 23.45.518 Setbacks and Separations:  
it is requested that the rear setback average be reduced to 5'-0".

DESIGN GUIDELINES

		ANNOTATIONS	RESPONSE
A-1	Respond to Site Characteristics	Site may contain one existing mature tree. Please research size, genus and species of tree to verify if tree is considered exceptional per SMC 25.11 and DR 16-2008. Where possible the site planning should maintain mature healthy trees.	The existing tree is an Alder and is not considered exceptional and will be removed to provide for the new courtyard. The existing cedar trees on the south property are also not considered exceptional and will be removed and replaced with trees that are more compatible with the courtyard design.
A-2	Streetscape Compatibility	Existing residential buildings to the north and south provide a street wall context. Where possible proposed setbacks and street wall massing should be complementary to existing context.	The existing context has a number of different street wall conditions that range from bungalow scaled homes set approximately 20 feet back, to three or four story apartment buildings constructed at the property line. Within this range of typologies, the most immediate conditions are the 1.5 to 2.5 story detached homes across the street and three story apartment and townhomes on the proposed project's side of the block. The proposed project provides a compatible street front by providing a well defined sidewalk edge, change in grade between the sidewalk and the main floor, a front setback similar to the adjacent apartment building to the north, and a two story street facade like the homes across the street.
A-3	Entrances Visible from the Street	Units facing each street front must have an entrance facing the street. All other units not facing a street front should be accessed by a clearly identifiable path from the street right-of-way.	All street facing units have an full width front porch and entry that is facing the street. A well defined walkway leads from the street to an interior courtyard that provides access to all other units. The walkway begins with a brick marker that will incorporate lighted address numbers for all courtyard townhouses. The street fronting townhouses are setback seven feet from the property line to provide a wide walkway that has landscaping on each side. To the south, the fence will be clad in painted boards to match the siding of the building. To the north, a wider planting strip will buffer the walkway from the adjacent townhouse. The ground level facade of the townhouse is clad in brick.
A-4	Respect for Adjacent Sites	Particularly important, great care should be exercised in building design and orientation to minimize disruption of the privacy and outdoor activities of residents in adjacent buildings (existing and proposed). Primary buildings of concern include the existing structure to the north and south. Consideration should be given to placement building windows, and open spaces to minimize intrusion on existing windows and open spaces	The building to the south has a very limited number of windows facing the proposed project. That project has a narrow open space between a front and a back building. The courtyard of the proposed project aligns with this open space. The project to the south has a large front yard. The facade of the proposed project will limit windows in this area. The height of the proposed structure is limited to two stories adjacent to the front yard. As this proposed project is to the north of these yards, there is no impact on solar access. The existing home to the north of the proposed project may be removed and that site may be developed along a similar timeframe for this project. Planning for both projects will take use and open space of the adjacent project into consideration.
A-5	Transition Between Residence and Street	Consider use of native vegetation within the street setback to create semi-private space for the residences facing the street.	The residences at the street will use changes in grade, vegetation of various heights, and porches to define a semi private space between the street and the the residence.
A-6	Residential Open Space	Applicant should provide detail on treatment of proposed open space area. Show the space is usable, attractive and well integrated into the overall design.	The central courtyard is conceived as the heart of the project. All residences will have access to this space with the courtyard and alley units main entries fronting this space. The courtyard is configured to open to the south to provide solar access and will be connected to the street and the alley with a well defined walkway. The scale of the courtyard will be similar to other courtyard typologies found on Capitol Hill (like several Anhalt projects) and will be landscaped to provide hardscaped use areas, soft scape, and ornamental landscaping.
A-7	Parking and Vehicle Access	Maintain access and vehicle parking from the alley. Consider use of pervious pavement or grasscrete in parking area to minimize large expanse of parking asphalt. Screen parking areas from adjacent residential uses.	Parking will be provided along the edge of the alley. There are no adjacent residential uses across the alley. Pervious pavement will be used.
A-8	Location of Parking on Commercial Street Fronts		NA
A-9	Corner Lots		NA

DESIGN GUIDELINES

B-1	Height, Bulk, and Scale Compatibility	Consider modulation, fenestration and material change to accentuate the identity and location of each townhouse unit.	The street facing townhomes have a recess between each unit as well as terrace and landscaping that will accentuate the identity of each townhome. The courtyard space of the project is more similar in scale and size to a courtyard apartment projects in the area. While the indiviudal entries of each townhome will be clearly articulated, the upper two stories around the courtyard will be not clearly articulate individual units. This will create greater emphasis on a shared and cohesive courtyard.
C-1	Architectural Context	This Capitol Hill neighborhood contains a strong architectural and material context. The SDR application should include a comprehensive site analysis of the existing neighborhood architectural context. The design will need to be responsive and complementary to the existing neighborhood context and material application.	See SDR Document
C-2	Architectural Concept and Consistency		See page 1 for design concept and intent.
C-3	Human Scale		
C-4	Exterior Finish Materials	High quality durable materials should be utilized on facades facing pedestrian environments and adjacent residential structures. Where possible incorporate materials found within the neighborhood context.	Brick and painted wood siding, typical to Capitol Hill are the primary materials for all portions of the project.
D-1	Pedestrian Open Spaces and Entrances		Gates are provided to the pedestrian walkways at the alley. A wide walkway is provided from the sidewalk to the courtyard. The street facing townhouse is set farther back than the rear townhouses providing visual continuity to the courtyard and a wider pedestrian entry.
D-5	Visual Impacts of Parking Structures		Parking is located under the structure at the alley.
D-6	Screening of Dumpsters, Utilities and Services Areas		Trash and recycling will be located in a fenced in area on the northeast side of the project.
D-7	Pedestrian Safety		Walkway and building lighting will provide lighting at all pedestrian walkways and open spaces. Windows are provided at adjacent townhouses to provide visual observation of public walkways.
D-8	Treatment of Alley		Alley is currently improved and no additional treatment is proposed.
D-12	Residential Entries and Transitions		All residential entries are clearly identified.
E-1	Landscaping to Reinforce Design Continuity with Adjacent Sites		Landscaping at the sidewalk edge and front yards follows typical types and scale found at adjacent properties.
E-2	Landscaping to Enhance the Building and/or Site		A large landscaped courtyard is provided in the center of the project and is connected to all townhouses.
E-3	Landscape Design to Address Special Site Conditions		

LAND USE CODE SUMMARY

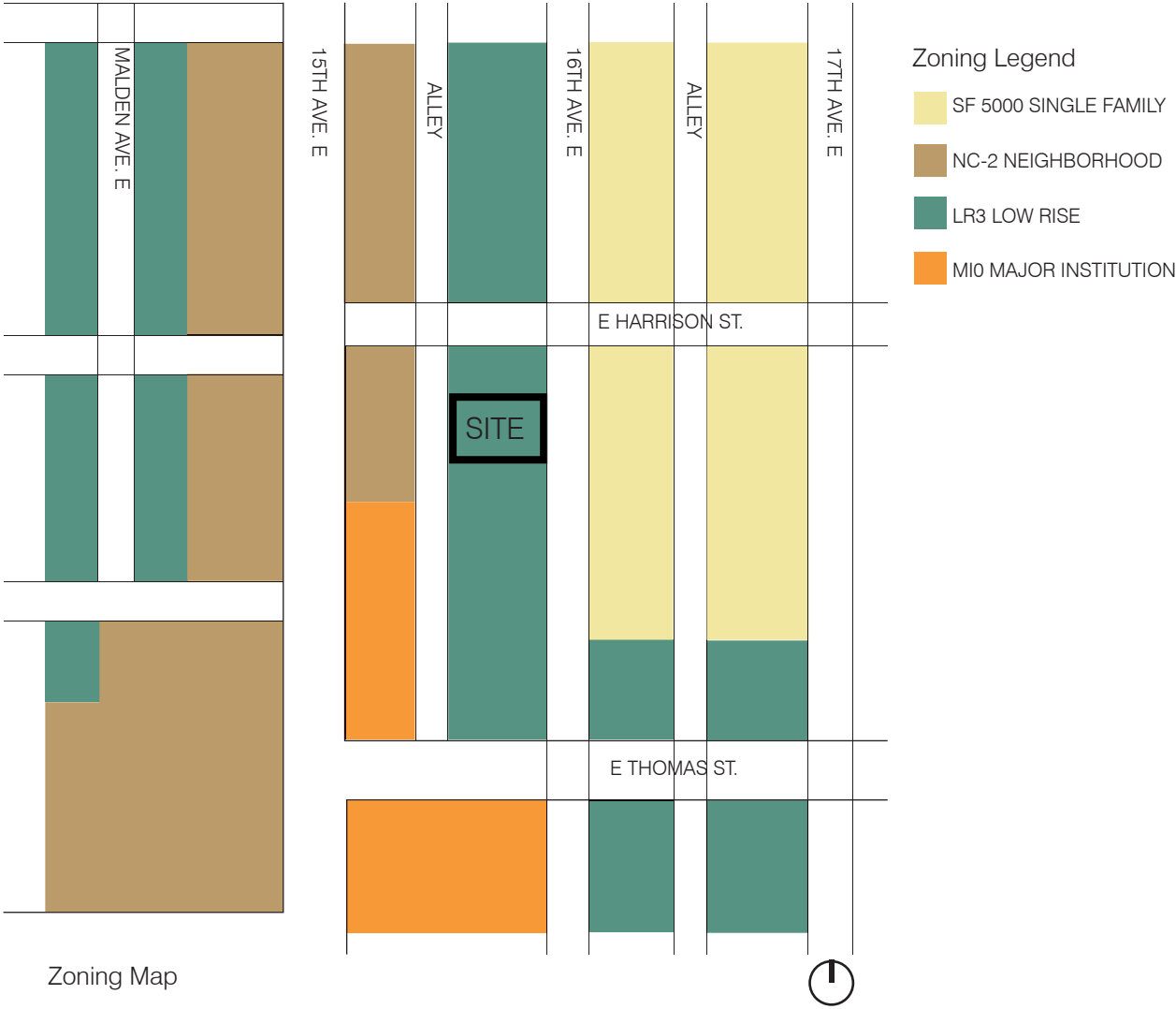
LAND USE CODE SUMMARY	
Site Location	339 16TH AVE
DPD Project Number	3015149
Parcel Number	
Lot Area	8472.0
Zoning	LR3
Overlays	CAP HILL URBAN VILLAGE
ECA	
SEPA	

MULTIFAMILY CODE SECTION	COMMENTS
23.45.504 Permitted and prohibited uses	Proposed: Residential Use permitted outright
23.45.510 Floor area ratio (FAR) limits Per Table A 23.45.510 FAR limit for Townhouses in LR3 Zone Outside Urban Centers is 1.2 or 1.4 if the project meets standards of subsection 23.45.510.C. Allowable GFA 11861	Proposed: Project will apply standards of 23.45.510.C and utilize an FAR of 1.4. FAR within allowable limits. Total GFA is 11,833 and is conforming.
23.45.510.C 1. Applicants shall make a commitment that the structure will meet green building performance standards by earning a Leadership in Energy and Environmental Design (LEED) Silver rating or a Built Green 4-star rating of the Master Builders Association of King and Snohomish Counties, except that an applicant who is applying for funding from the Washington State Housing Trust Fund and/or the Seattle Office of Housing to develop new affordable housing, may elect to meet green building performance standards by meeting the Washington Evergreen Sustainable Development Standards (ESDS). The standards referred to in this subsection 23.45.510.C.1 are those identified in Section 23.45.526, and that section shall apply as if the application were for new development gaining extra 2. For all categories of residential use, if the lot abuts an alley and the alley is used for access, improvements to the alley shall be required as provided in subsections 23.53.030.E and F, except that the alley shall be paved rather than improved with crushed rock, even for lots containing fewer than ten dwelling units. 3. Parking location if parking is provided. a. For rowhouse and townhouse developments, parking shall be totally enclosed within the same structure as the residential use, located in a structure or portion of a structure that meets the requirements of subsection 23.45.510.E.5, or located in a parking area or structure at the rear of the lot.	Proposed: Project to meet Built Green 4- Star  Proposed: Alley is improved  Proposed: Parking located at rear of lot
23.45.512 Density limits—Lowrise zones Per Table A 23.45.512 Density Limits in Lowrise Zones, Townhouses in LR3 Zones are limited to 1 unit per 1,600 sf lot area.	Proposed: 8 Dwelling units. Project will apply standars of 23.45.510.C which allows unlimited density.
23.45.514 Structure height Per Table A 23.45.514 Structure Height for Lowrise Zones, Townhouses in LR3 Zones are limited to 30'. D. Exceptions for pitched roofs in LR zones that are not shed or butterfly roofs. Pitched roofs that are not shed or butterfly roofs may extend above the height limits set in Table A for 23.45.514 subject to the following limits, provided that all parts of the roofs above the height limit have a minimum slope of 6:12, except as provided in subsection 23.45.514.D.5 3. In LR3 zones, for structures subject to a 30 foot height limit, the ridge of pitched roofs on principal structures may either: a. extend up to 10 feet above the height limit, if the height exception provided in 23.45.514.F is not used, and the number of full stories above grade is limited to three; or b. extend up to 5 feet above the height limit, if the height exception provided in 23.45.514.F is used.	Proposed: Structure is conforming for height with the allowed exceptions for parapets, roof slopes greater than 6:12, stair penthouses, and vegetated roofs.

LAND USE CODE SUMMARY

<b>23.45.518 Setbacks and Separations</b> Per Table A 23.45.518 Setbacks in LR Zones, Townhouses in LR3 Zones are required to have the following setbacks. Front: 5' min, 7' average Rear: 10' min with alley, 15' min if no alley Side: 5' for facades less than 40ft in length Side: 7' average, 5' min. for facades greater than 40 ft in length	<b>Proposed:</b>  Front yard setback to conform. Adjustment requested for rear setback. 5'-0" average provided. Side setback to conform
H. Projection permitted in all required setbacks and separations 1. Cornices, eaves, gutters, roofs and other forms of weather protection may project into required setbacks and separations a maximum of 4 feet if they are no closer than 3 feet to any lot line.	Proposed: No projections proposed.
<b>23.45.522 Amenity area</b> A. Amount of amenity area required for rowhouse and townhouse developments and apartments in LR zones. 1. The required amount of amenity area for rowhouse and townhouse developments and apartments in LR zones is equal to 25 percent of the lot area. 2. A minimum of 50 percent of the required amenity area shall be provided at ground level, except that amenity area provided on the roof of a structure that meets the provisions of subsection 23.45.510.E.5 may be counted as amenity area provided at ground level. 3. For rowhouse and townhouse developments, amenity area required at ground level may be provided as either private or common space.	Proposed: 2846 SF of amenity area provided.
Required Amenity Area2118.00	
<b>23.45.524 Landscaping standards</b>  a. Landscaping that achieves a Green Factor score of 0.6 or greater, determined as set forth in Section23.86.019, is required for any lot with development containing more than one dwelling unit in Lowrise zones. Vegetated walls may not count towards more than 25 percent of a lot's Green Factor score.	Proposed: Project to conform with landscape standards
<b>23.45.526 LEED, Built Green, and Evergreen Sustainable Development Standards</b>	Proposed: Project to meet Built Green 4- Star
<b>23.45.527 Structure width and facade length limits in LR zones</b>  Per table A 23.45.527 Maximum Structure Width apartments are limited to 120'  B. Maximum facade length in Lowrise zones. 1. The maximum combined length of all portions of facades within 15 feet of a lot line that is neither a rear lot line nor a street or alley lot line shall not exceed 65 percent of the length of that lot line, except as specified in subsection 23.45.527.B.2	<b>Proposed:</b> Structure is conforming for structure width . Adjustment required for façade length.  Façade length allowed: 78'-0" --- +10% = 85'-8"  <b>Façade length proposed: 82'-6"</b>
<b>23.45.529 Design standards</b>	Proposed:
<b>23.45.536 Parking location, access, and screening</b> A. Off-street parking spaces are required to the extent provided in Chapter 23.54, Quantity and design standards for access and off-street parking.	Proposed: No parking required. Parking is proposed to be accessed from the alley and located underneath the structure.

ZONING & USE





Facade Length Calculation  
Facade Length / Property Line = 120'-1"  
Allowable = 78'-0"  
Departure = 10% Increase = 85'-8"

Proposed Facade Length = 82'-6"

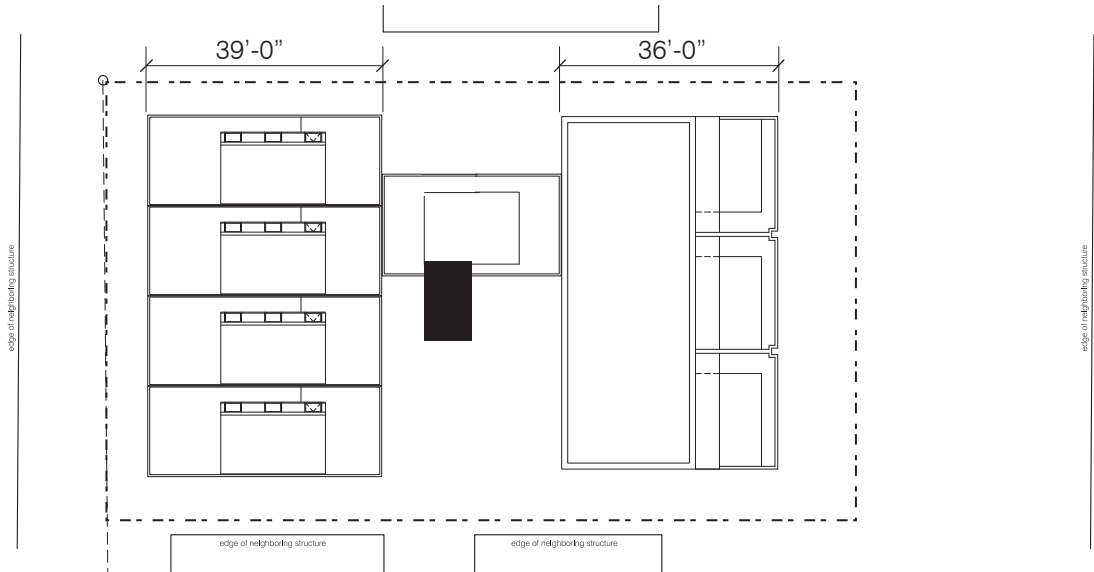
ADJUSTMENTS

Façade Length Adjustment

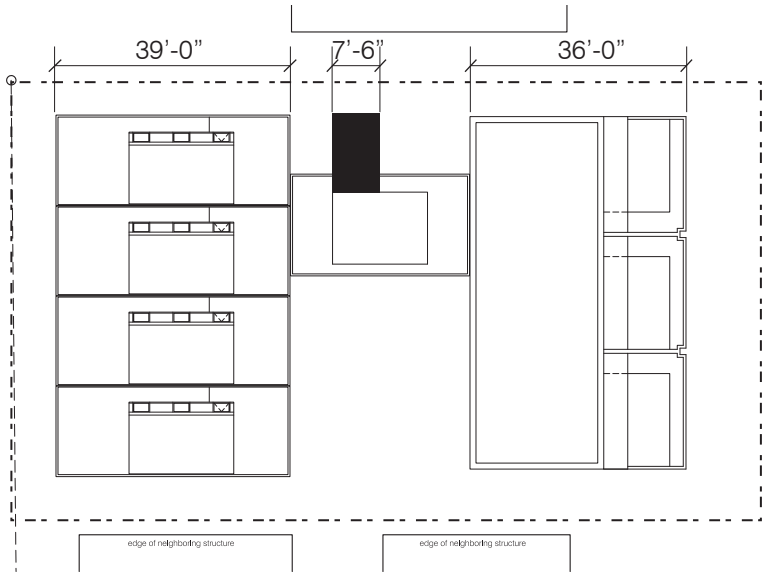
Request a façade length increase to 82'-6" feet as allowed by SMC 23.45.527.B.2. The project includes a courtyard unit that bridges between the street townhomes and the alley townhomes. This unit is set more than 15 feet from the north property line and is not included in the façade length calculation. A conforming configuration would place the stairway within the courtyard. This, however, would have a negative impact on the scale and connections of individual units to the courtyard space. As an alternative, we propose to locate the stairwell on the north side. This preserves more shared space in the courtyard. As the stairwell is offset from both the rear and front units, it keeps the façade lengths of those structures below forty feet. In addition, the roof of the stair is sloped to reduce the scale of the stairwell and preserve the exposure for the property to the north.

Setback Adjustment

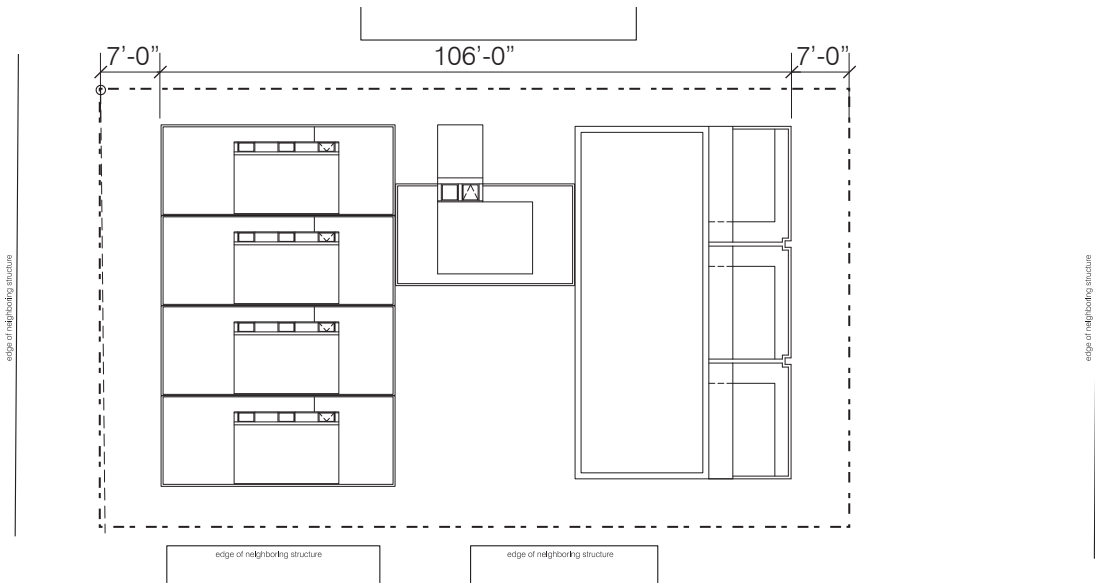
Request a setback adjustment to five feet average at the alley. In response to the existing streetscape and the desire to create a large courtyard, it makes sense to situate the project as close to the alley as possible. We propose to situate a building footprint that would conform to setback requirements two feet towards the alley. This provides a greater front setback than is required which will be more character with the existing conditions found on 16th. The project would be situated five feet from the rear lot line which is an allowed minimum dimension if averaging was not required. At grade level, appropriate turning space will be provided to allow for reasonable use of the alley as access to parking



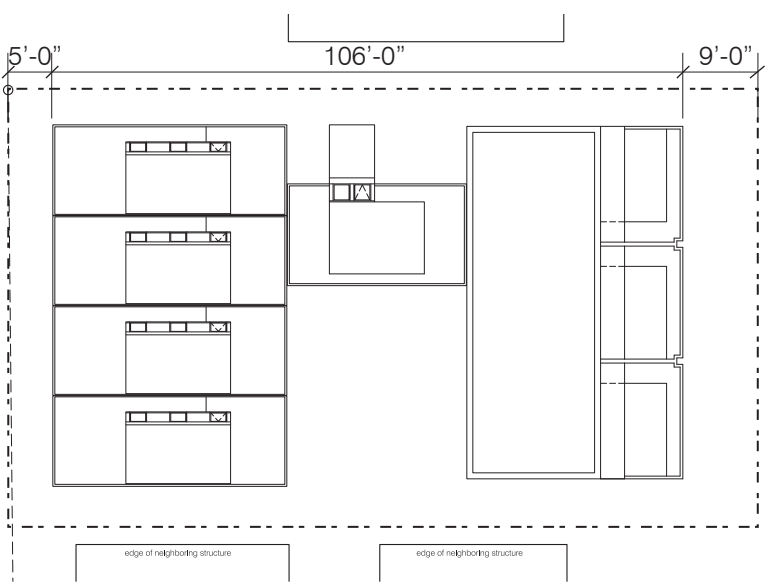
Facade Length  
Option A: Conforms 75'-0"



Facade Length  
Option B: Proposed Adjustments 82'-6"



Setbacks  
Option A: Conforms



Setbacks  
Option B: Proposed Adjustments

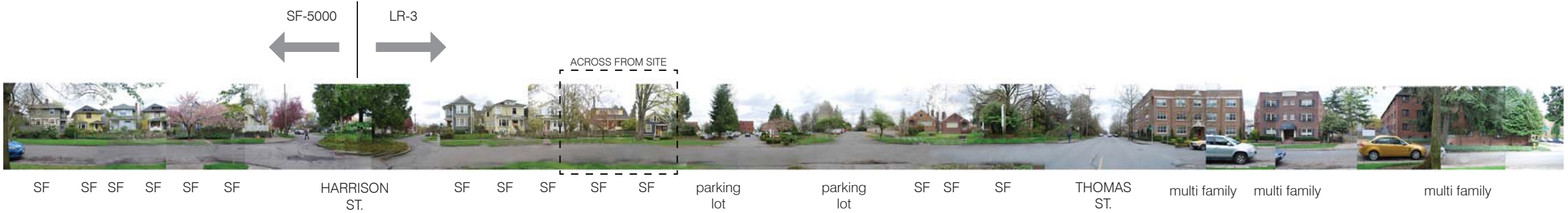


CONTEXT PHOTOS

16th Avenue East

Predominate scale of buildings on east side of 16th is two story single family, with larger three story apartment buildings beginning one block south. Single family homes typically have a fence or hedge at the edge of sidewalk, a small yard, and an elevated front porch. Porch widths vary and include full width examples.

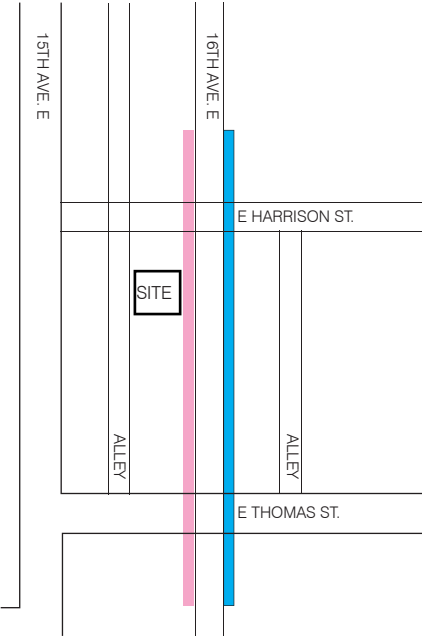
Predominate scale of buildings on west side of 16th is three stories. Apartments are typically less than 10 feet from the property line and provide hedges and large shrubs at the base of the building.



16th Ave E - Looking East



16th Ave E - Looking West

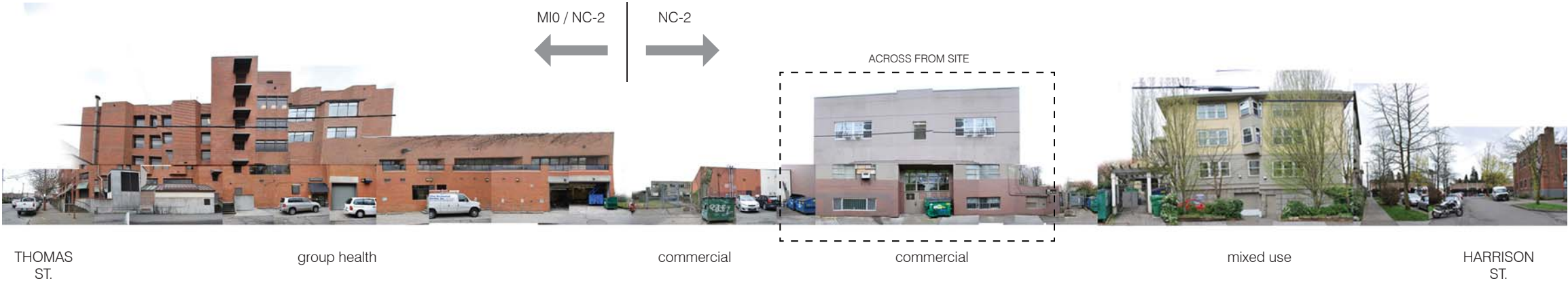




CONTEXT PHOTOS

Alley

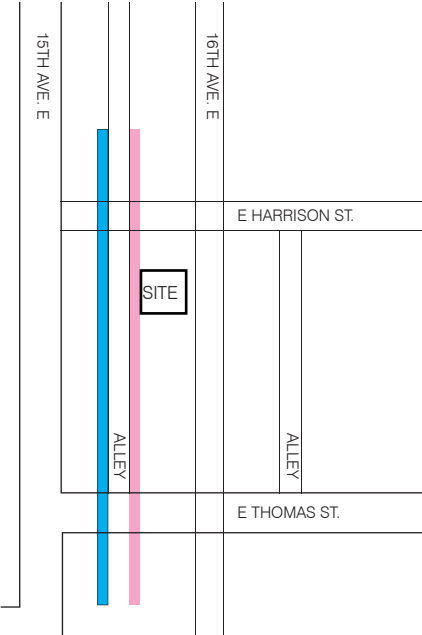
Building across alley is three story commercial building.



Alley - Looking West



Alley - Looking East





CONTEXT PHOTOS

Harrison and Thomas

Predominate scale of Harrison and Thomas is three story apartment buildings.



15TH AVE. E commercial ALLEY multi family 16TH AVE. E SF SF ALLEY SF

Harrison Ave - Looking North



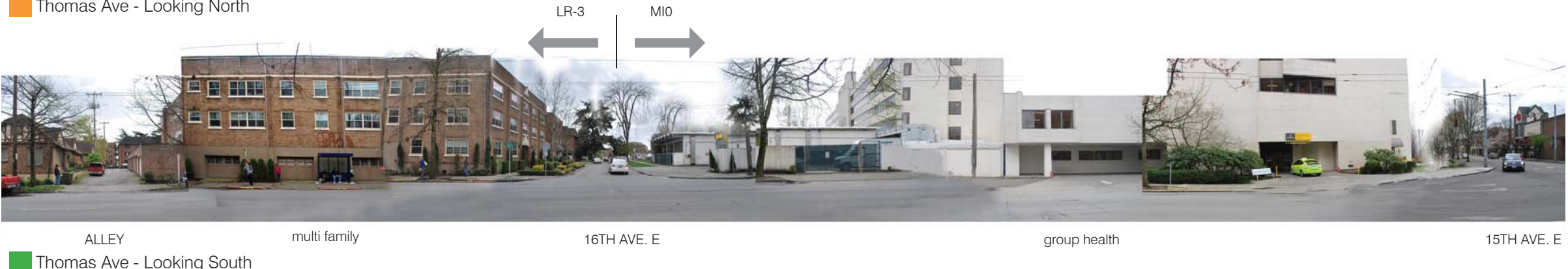
SF ALLEY SF 16TH AVE. E multi family ALLEY mixed use 15TH AVE. E

Harrison Ave - Looking South



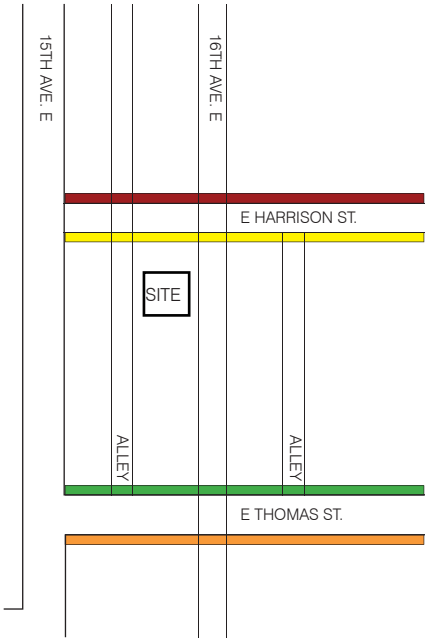
15TH AVE. E commercial ALLEY multi family 16TH AVE E SF SF ALLEY

Thomas Ave - Looking North



ALLEY multi family 16TH AVE. E group health 15TH AVE. E

Thomas Ave - Looking South





SITE VIEWS  
CONTEXT PHOTOS



1. 16th Ave. Looking North



2. 16th Ave Looking South



3. Alley Looking North



4. Alley Looking South



5. Existing Trees To Be Removed



HEIGHT & SCALE



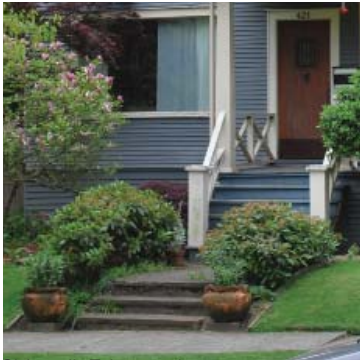
## CONTEXT PRECEDENTS

**Sidewalk Edge**  
Capitol Hill front yards are typically well demarcated. This is accomplished through sloped banks, small retaining walls, changes in grade, fences, gates, and thick landscaping utilizing shrubs or hedges.

**Front yards and Porches**  
Front yards and porches elevated above the yard provide a level of privacy and a transition between the public space and the interior of the dwellings.

**Courtyards**  
Courtyard apartments are very common in Capitol Hill and are often used as an entry space for buildings. Landscaping within the courtyard is varied and dependent upon use and access to entryways. As they are generally found in apartment projects building is generally quite regular and utilizes brick or other durable materials.

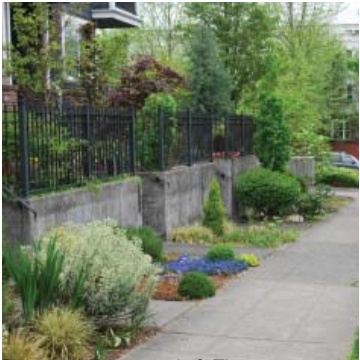
**Materials**  
Materials typical to this portion of Capitol Hill are varied as the project types and scales are quite varied. Brick, dimensional siding materials, painted wood, painted trim are typical.



Sidewalk Edge: 16th



Sidewalk Edge: 16th & Harrison



Sidewalk Edge: 18th & Thomas



Porch: 16th & Republican



Porch: 16th & Republican



Porch: 16th & Republican



Courtyard: 16th & John



Courtyard: 16th & John



Courtyard: 16th



Materials: Brick



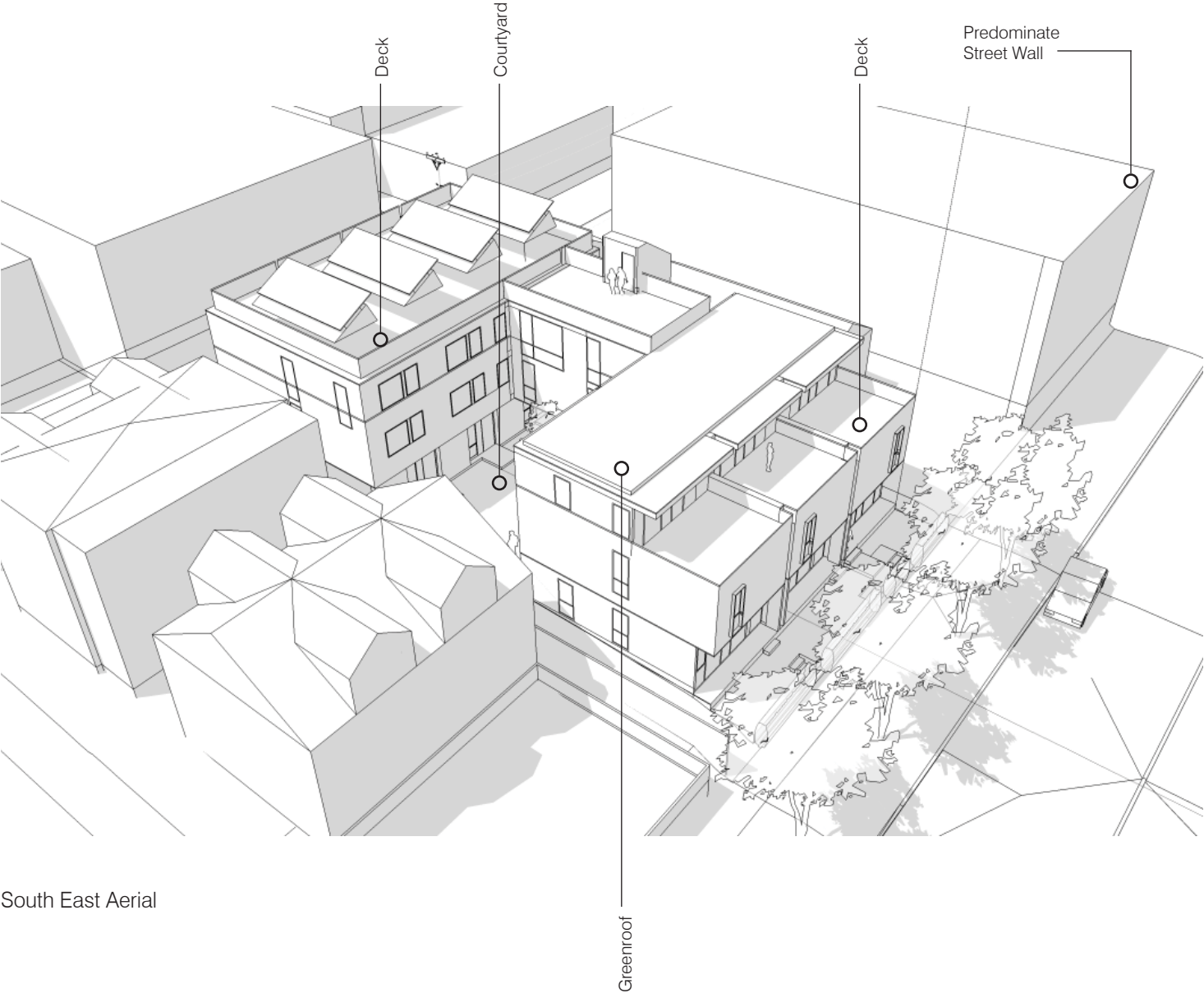
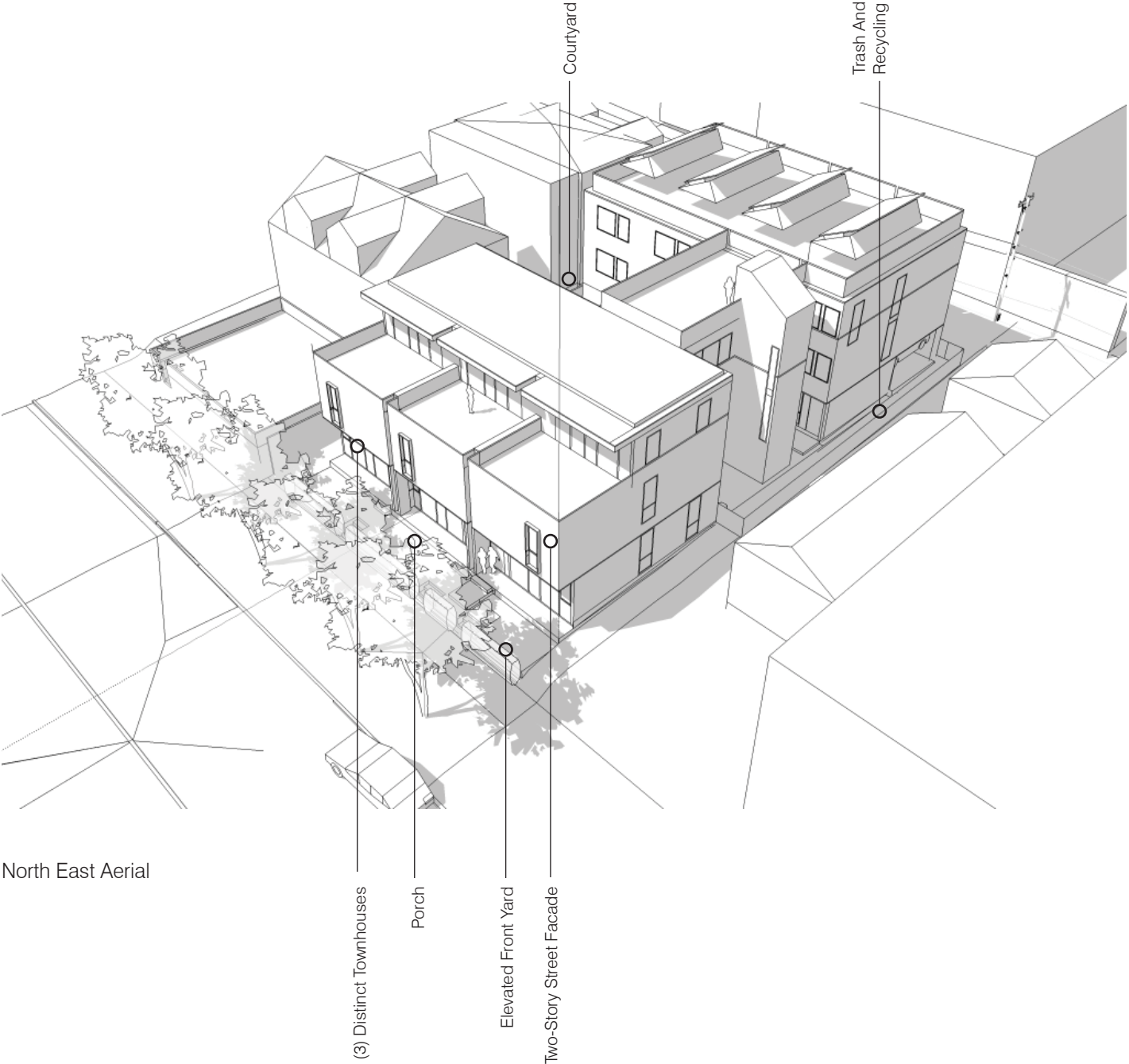
Materials: Wood Siding



Materials: Wood Siding

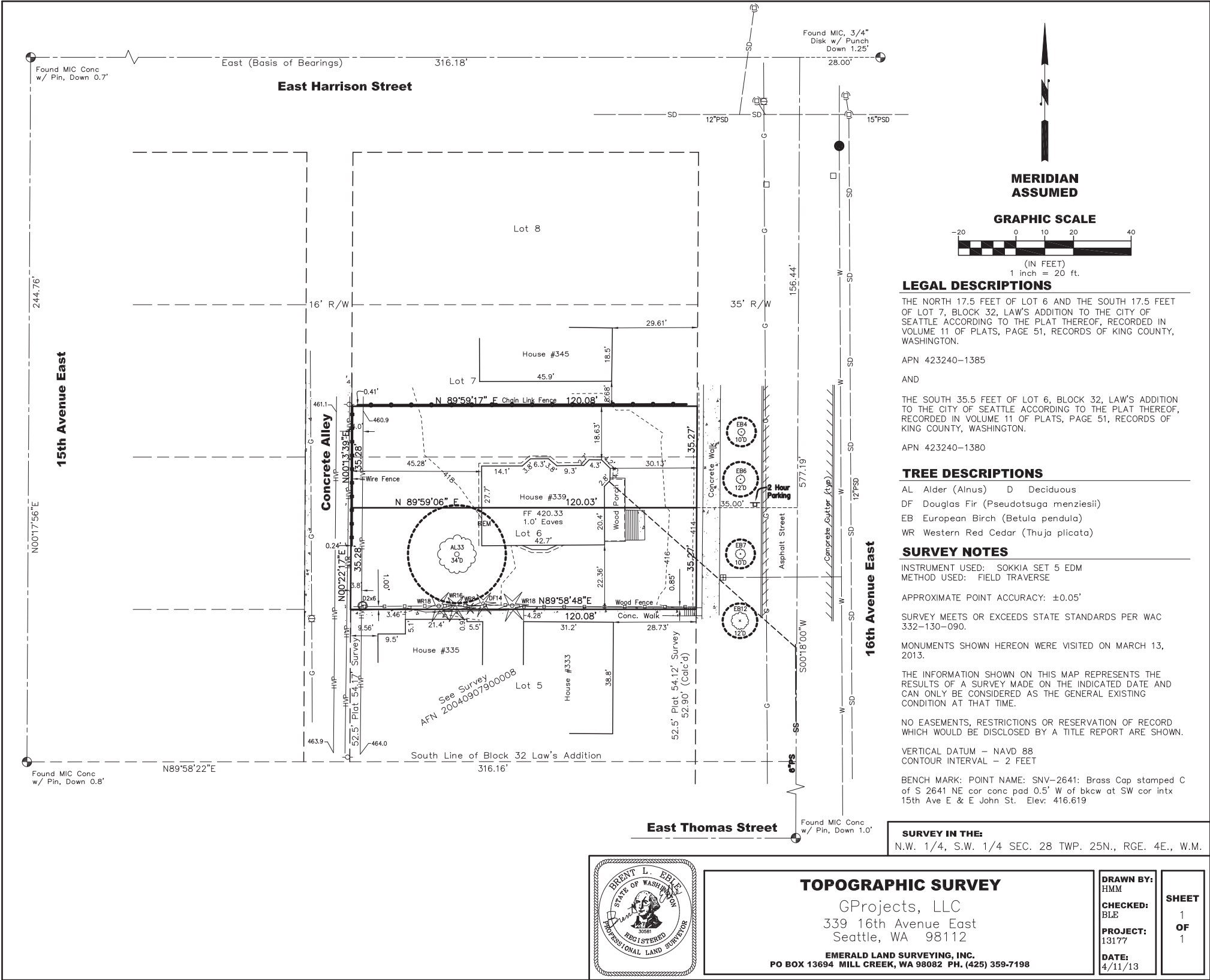


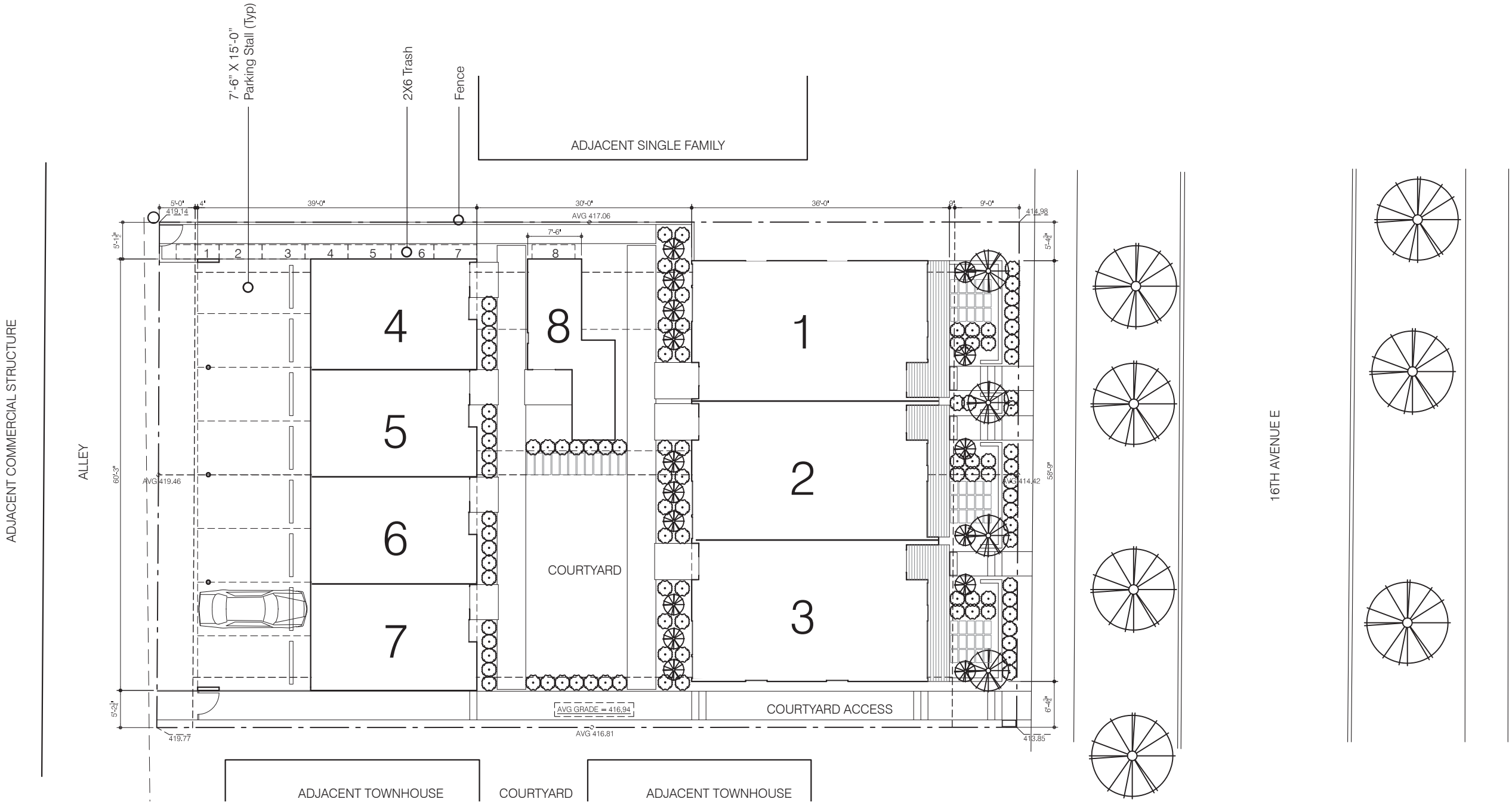
AERIAL VIEWS



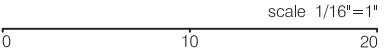


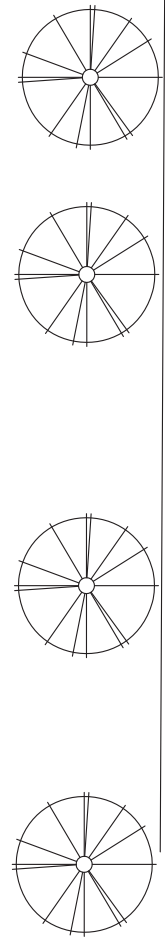
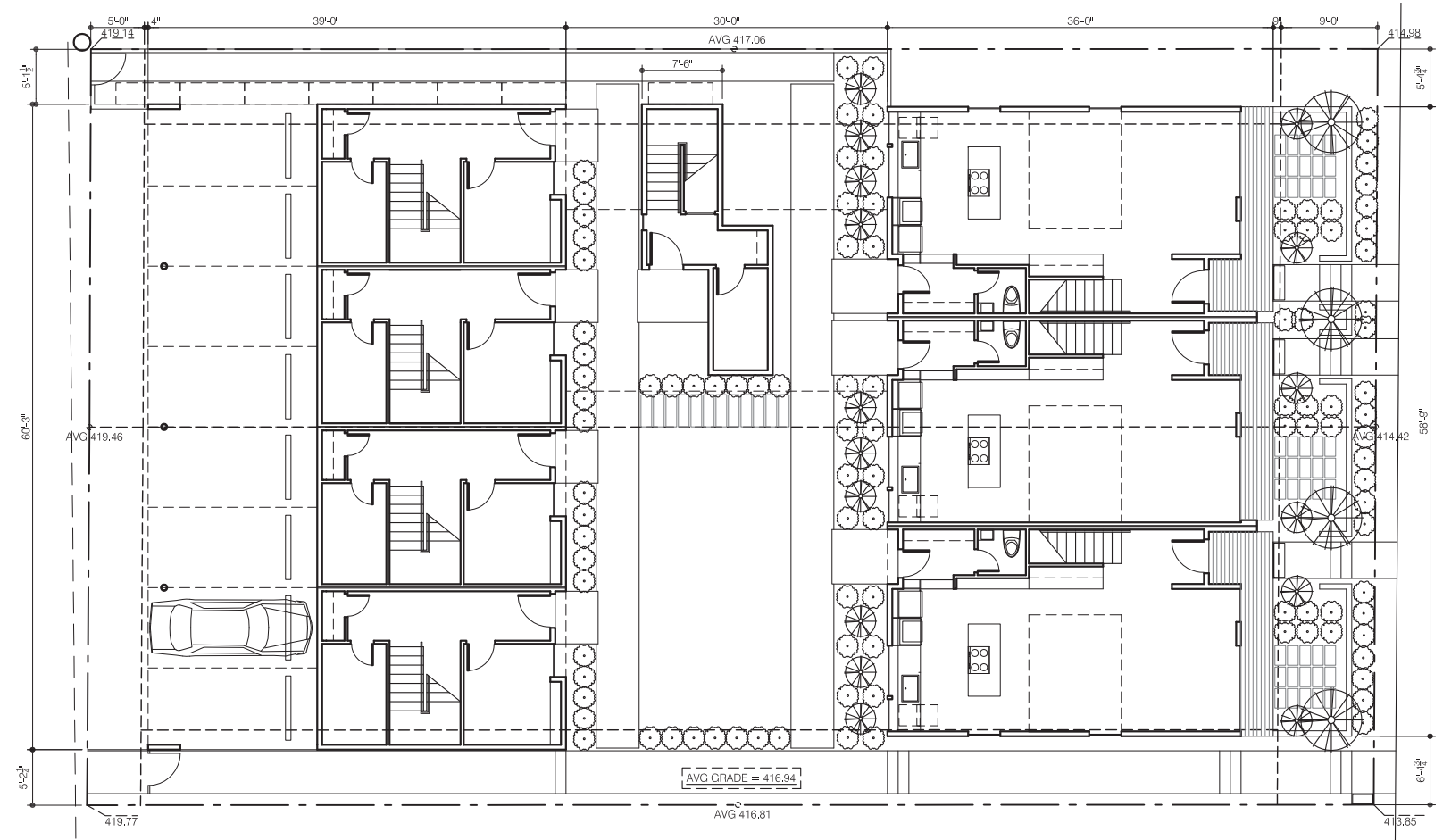
SURVEY





SITE PLAN

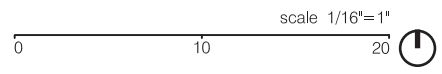




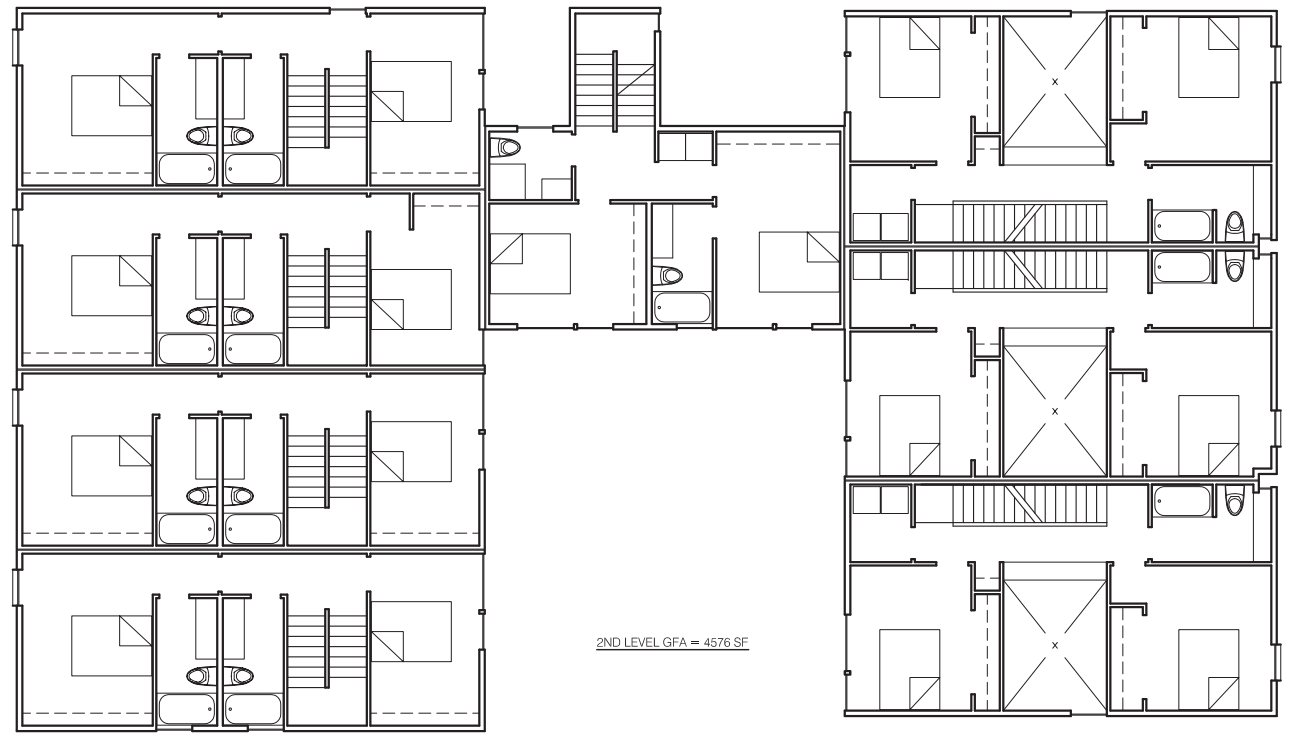
Primary living spaces of street facing townhouses are located at ground level and open out to a front porch and a small front yard. The kitchens of these townhouses look into the courtyard with a back door and stoop provided along the courtyard edge.

Entry and a study for the rear units are provided at ground level and open onto the courtyard.

FIRST FLOOR PLAN



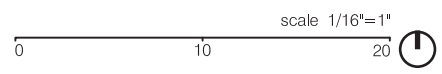
edge of neighboring structure

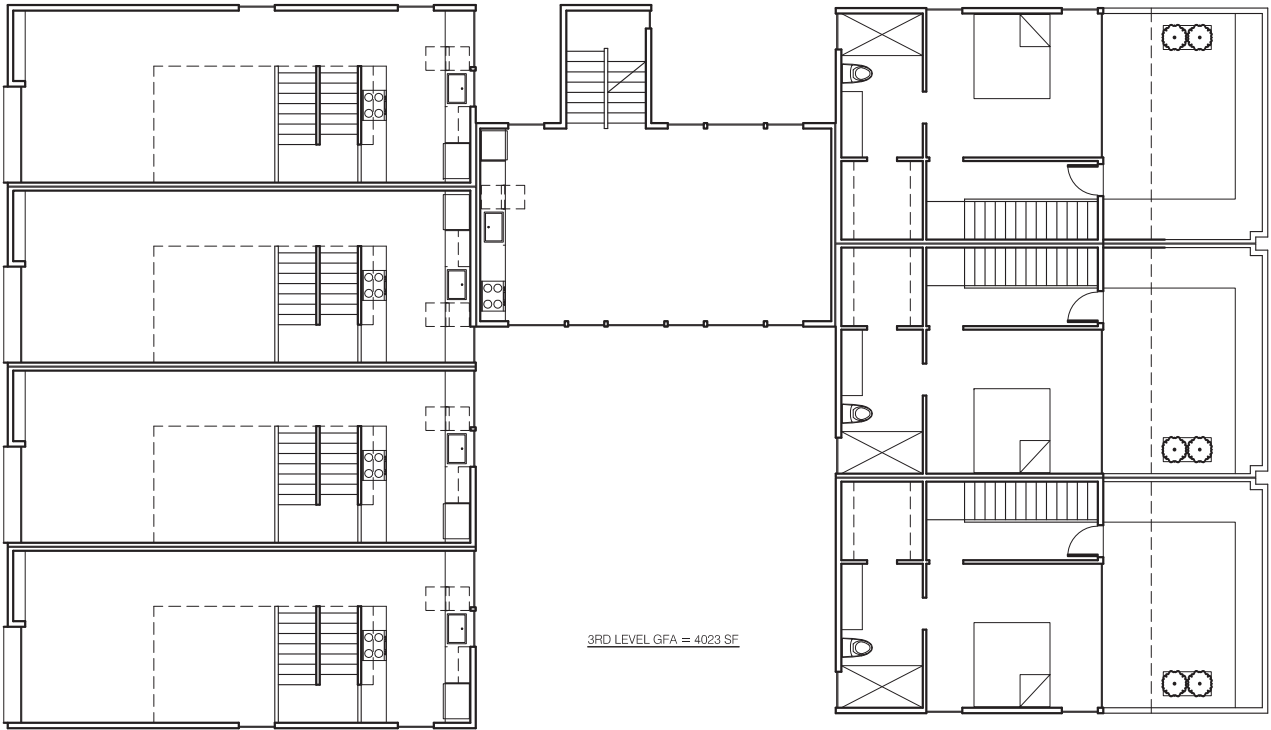


2ND LEVEL GFA = 4576 SF

The second level of all townhouses are primarily bedrooms.

SECOND FLOOR PLAN





A bedroom and roof deck are provided at the third level of the street facing townhouses.

A loft-like primary living space is provided at the third level of the courtyard and rear townhouses. This space has a light monitor that provides daylight, access to the roof, and a surface for PV panels.

THIRD FLOOR PLAN

scale 1/16"=1"  
0 10 20



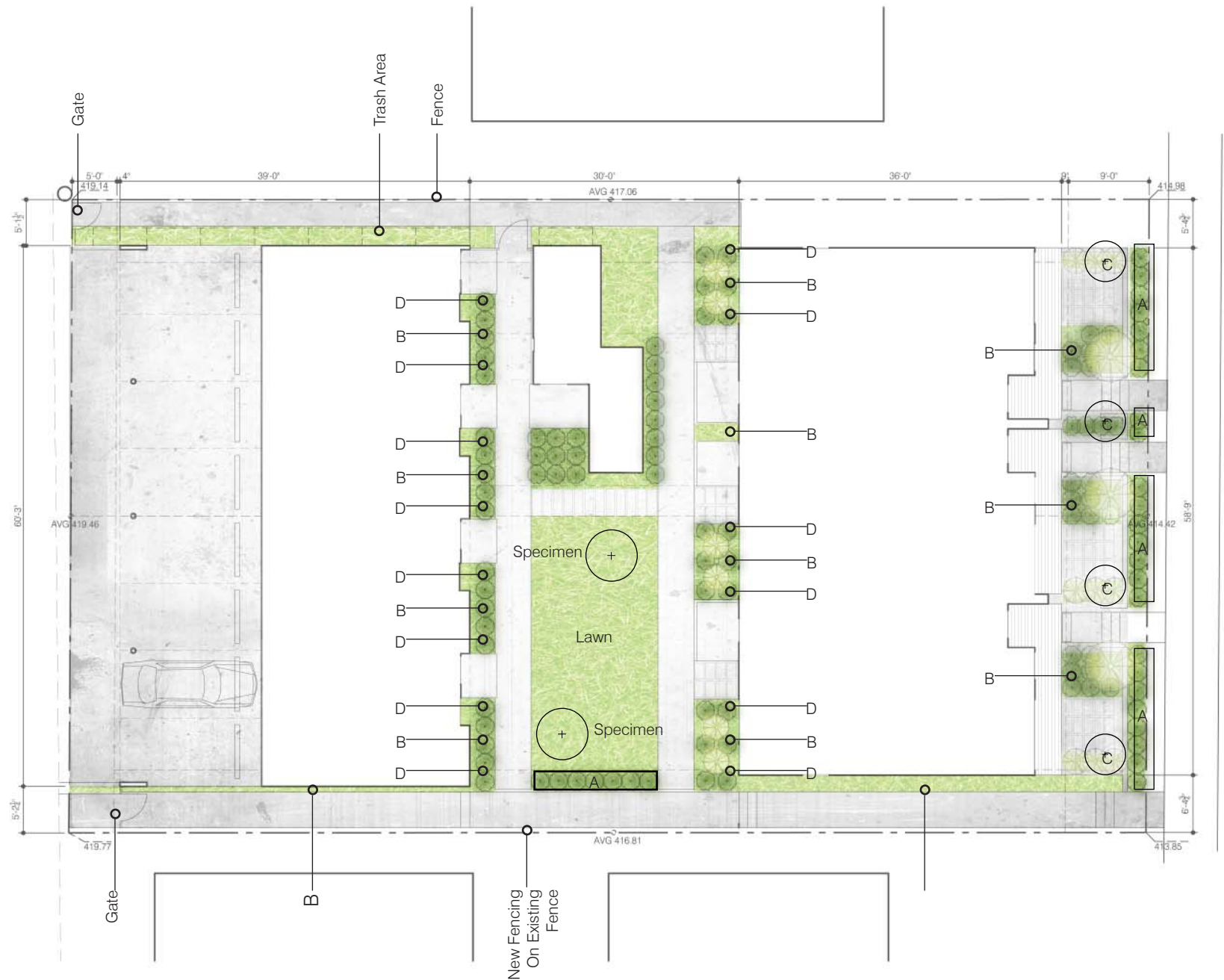
ROOF PLAN

scale 1/16"=1"  
0 10 20

- A. HEDGE  
48"-60"
- B. GROUND COVER  
12"
- C. SMALL ORNAMENTAL  
TREE  
16'
- D. MEDIUM SHRUB  
36"-48"

GENERAL NOTE:  
All new walkway surfaces to be  
of permeable concrete

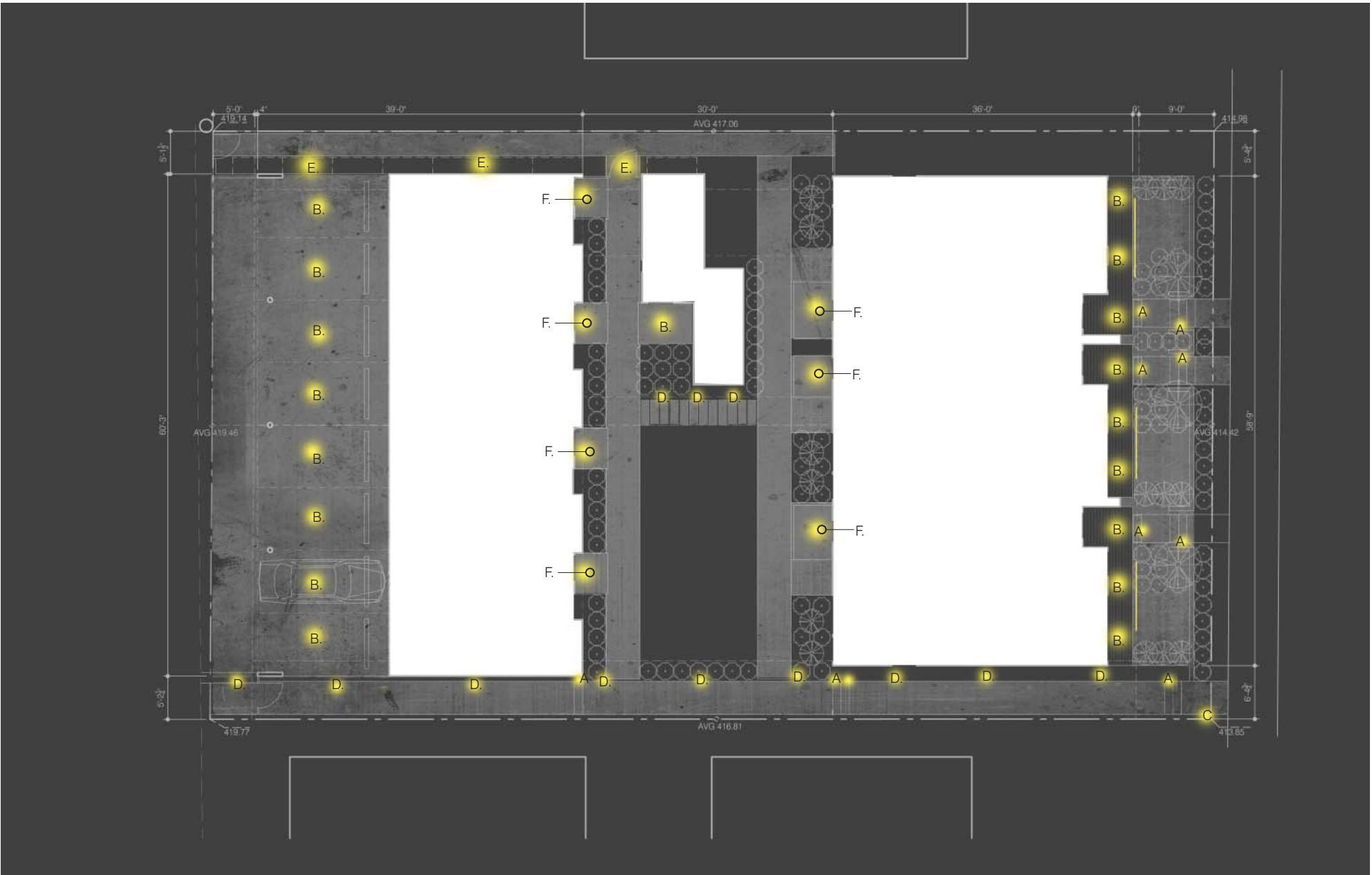
The project provides a Green Factor  
score greater than 0.6 as required by  
SMC 23.45.524



LANDSCAPE PLAN

scale 1/16"=1'  
0 10 20

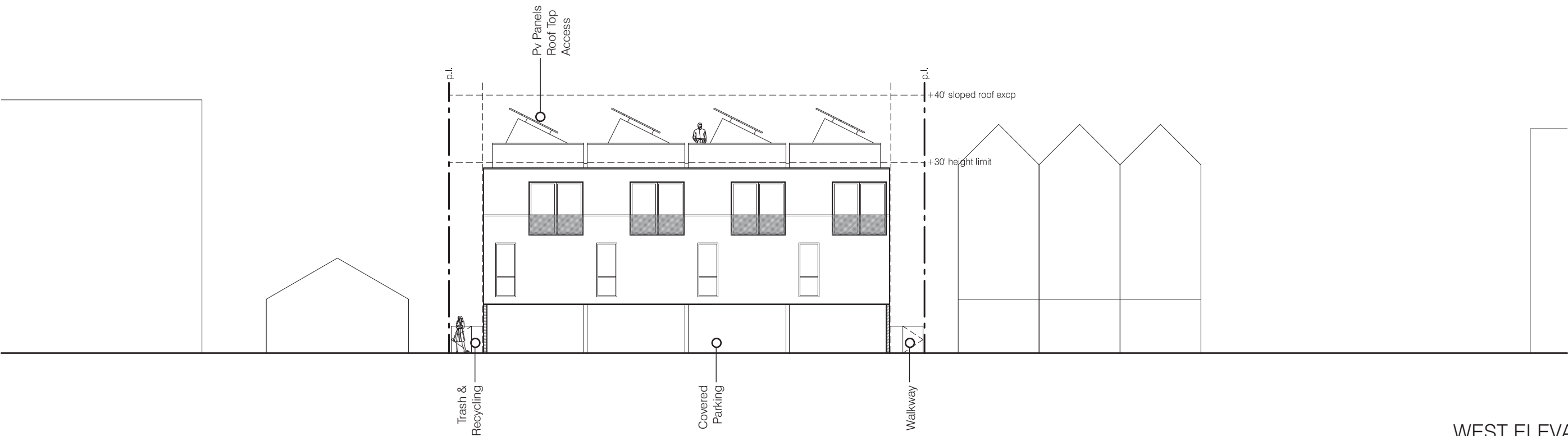
- A. Recessed Step Light
- B. Recessed Down Light
- C. Address Lighting
- D. Ground Pathway Light
- E. Building Mounted Area Light
- F. Building Mounted Accent Light



SITE LIGHTING PLAN

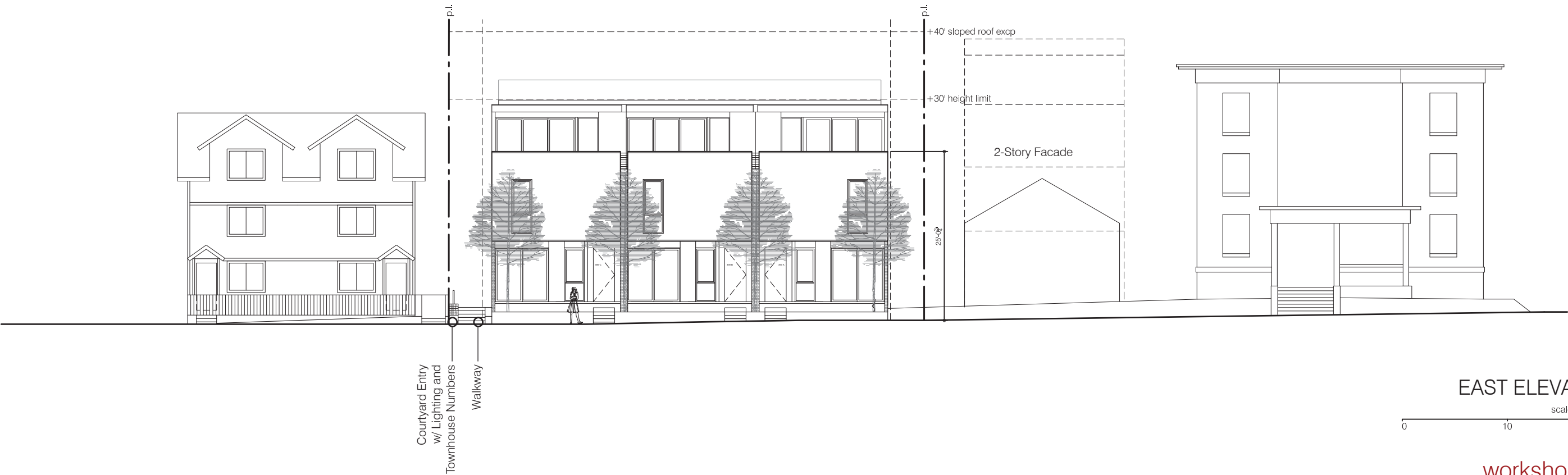
scale 1/16"=1'  
0 10 20





WEST ELEVATION

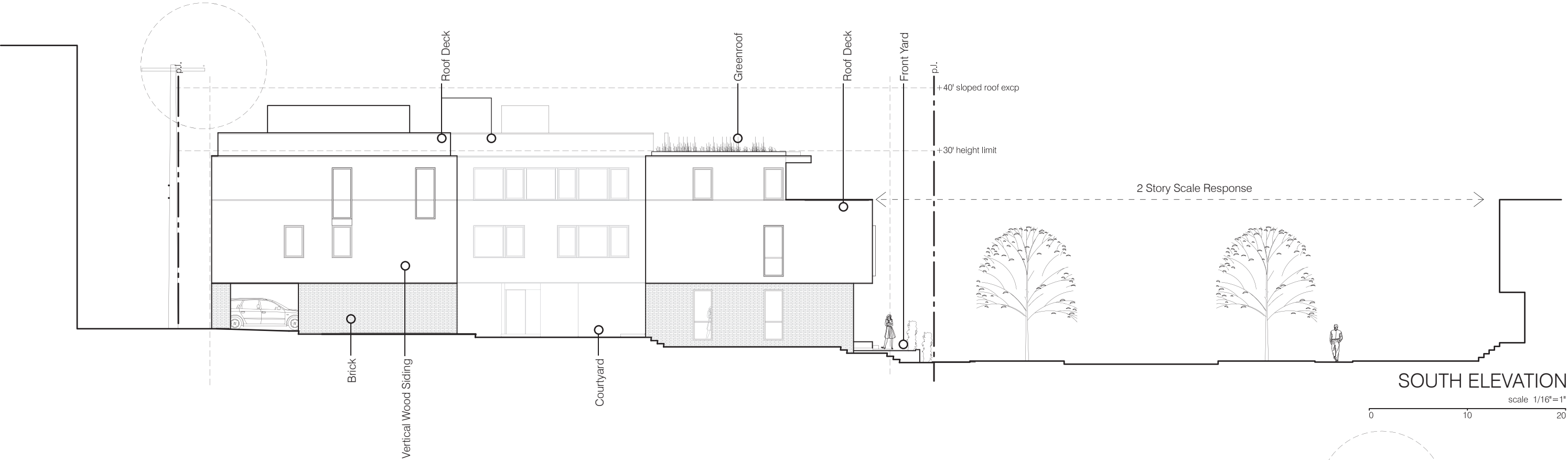
scale 1/16"=1"  
0 10 20



EAST ELEVATION

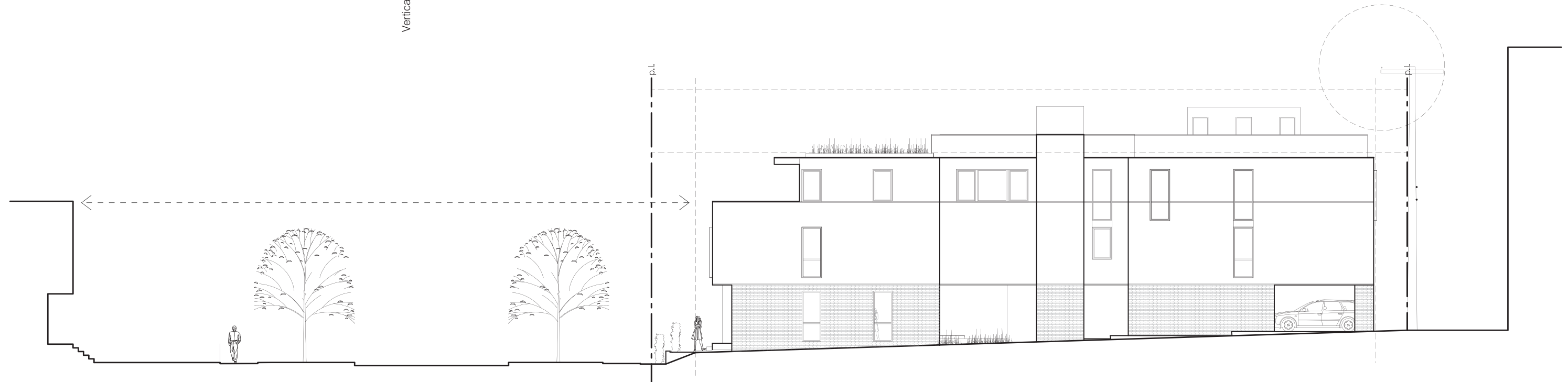
scale 1/16"=1"  
0 10 20





SOUTH ELEVATION

scale 1/16"=1'



NORTH ELEVATION

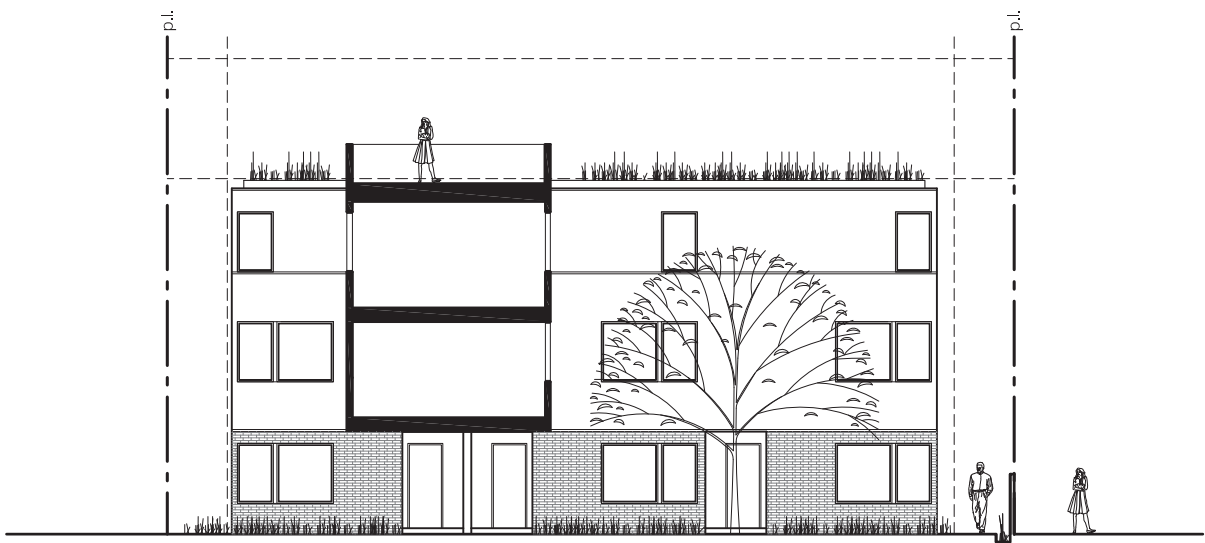
scale 1/16"=1'



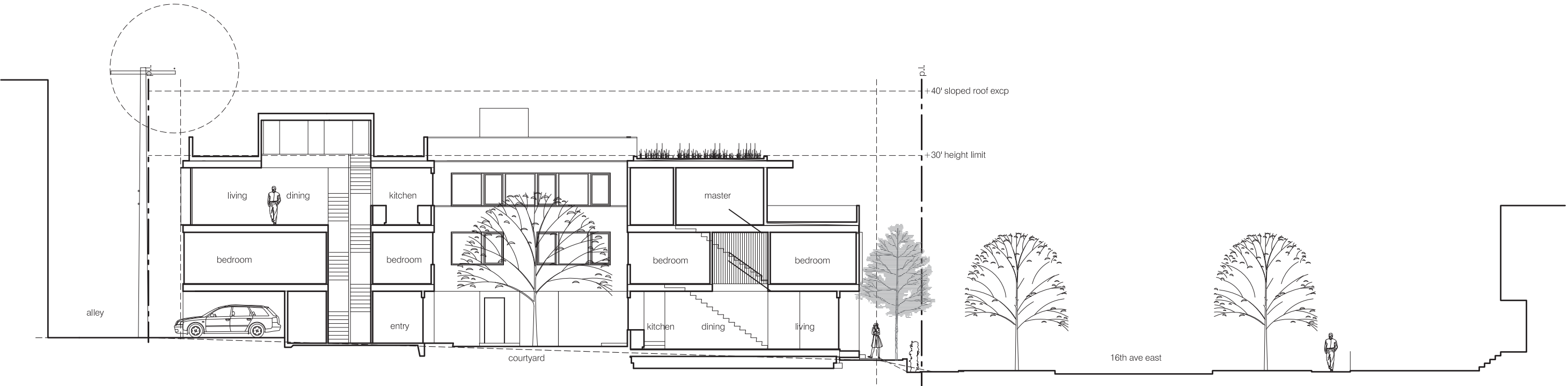
COURTYARD FACADE DETAIL



COURTYARD EAST ELEVATION



COURTYARD WEST ELEVATION



PROJECT SECTION

scale 1/16"=1'  
0 10 20



RENDERED FRONT ELEVATION

scale 3/16"=1"  
0 10 20



RENDERED SECTION



VIEWS FROM STREET



View From Across 16th



View From North

COURTYARD VIEW



Looking North-East



Looking North-West



ALLEY VIEWS



Looking North



Looking South