

OWNER/BUILDER:

BOITANO CUSTOM HOMES LLC
1 427 EAST LAKE SAMMAMISH PRKWY SE
SAMMAMISH, WA 98075

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SURVEY:

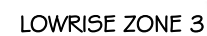
MSWEBB SURVEYING LLC
362 BUCK LOOP ROAD
SEQUIM, WA 98382

CONTACT: MICHAEL WEBB
PHONE: (360) 681-4858
FAX: --
EMAIL: mswebb@nikola.com

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NEIGHBORHOOD COMMERCIAL 3

NEIGHBORHOOD COMMERCIAL 2

SINGLE FAMILY

SEATTLE MIXED

- LOCATED ON THE SOUTH END OF QUEEN ANN HILL ON THE EDGE OF A LR3 ZONE, WITHIN A NEIGHBORHOOD CONSISTING OF APARTMENTS, DUPLEX'S, AND TRIPLEX'S, THE MAJORITY BEING APARTMENTS.
- THERE ARE SOME SINGLE FAMILY HOMES TO THE NORTH IN A SF500 ZONE.
- THE 3RD AVE N BLOCK HAS A STEEP SIDEWALK & DEAD ENDS FOR VEHICULAR TRAVEL ONE LOT TO THE NORTH. A PEDESTRIAN WALKWAY/STAIRS CONTINUE UP THE STEP HILL.



CODE NOTES

23.54.015B PARKING

- REQ'D: 3 SPACES (1 SPACE PER SINGLE-FAMILY DWELLING UNIT)
- PROPOSED: 2 SPACES PER UNIT (6 SPACES TOTAL)

23.54.030G SITE TRIANGLE

- THE SIGHT TRIANGLE SHALL ALSO BE KEPT CLEAR OF OBSTRUCTIONS IN THE VERTICAL SPACES BETWEEN 32 INCHES AND 82 INCHES FROM THE GROUND. WHEN THE DRIVEWAY OR EASEMENT IS LESS THAN 10 FEET FROM THE LOT LINE, THE DRIVEWAY OR EASEMENT MAY BEGIN 5 FEET FROM THE LOT LINE, AS DEPICTED IN EXHIBIT F FOR 23.54.030

23.45.510: F.A.R.

- REQUIRED: 1.3 = 5,200 SF MAX
- PROPOSED: SEE SHEET 5.2 THROUGH 5.3 FOR CALCULATIONS

23.45.512 DENSITY LIMITS

- 1/1,600 = 2.5 UNITS. 3 PROPOSED

23.45.514 STRUCTURE HEIGHT

TABLE A:

- REQUIRED: 30' MAX + 4' BONUS PER 23.45.514F = 34' MAX
- PROPOSED: 31.64'

H. FLAT ROOF SLOPE:

- THE HEIGHT OF THE HIGHEST ELEVATION OF THE ROOF SURFACE DOES NOT EXCEED 75 PERCENT OF THE PARAPET HEIGHT. SEE EXHIBIT B FOR 23.45.514

J. ROOFTOP FEATURES.

- OPEN RAILINGS, PLANTERS, SKYLIGHTS, CLERESTORIES, GREENHOUSES NOT DEDICATED TO FOOD PRODUCTION, PARAPETS AND FIREWALLS ON THE ROOFS OF PRINCIPAL STRUCTURES MAY EXTEND 4 FEET ABOVE THE MAXIMUM HEIGHT LIMIT.
- IN LR ZONES, STAIR PENTHOUSES MAY EXTEND 10 FEET ABOVE THE MAXIMUM HEIGHT LIMIT, IF THE COMBINED TOTAL COVERAGE OF ALL FEATURES DOES NOT EXCEED 15 PERCENT OF THE ROOF AREA. SEE SHEET 6.4 THROUGH 6.6 FOR CALCULATIONS.

23.45.518 BUILDING SETBACKS:

FRONT B.S.B.L.:

- 7 AVERAGE
- 5 MINIMUM

SIDE B.S.B.L. FOR FACADES > THAN 40 FEET IN LENGTH:

- 7 AVERAGE;
- 5 MINIMUM

REAR B.S.B.L.:

- 0 WITH ALLEY
- 7 IF NO ALLEY

SEE SHEET 5.1 FOR CALCULATIONS

23.45.522 AMENITY AREA

- REQUIRED: .25/4000 SF = 1,000 SF
- PROPOSED: 1,636 SF
- -A MINIMUM OF 50 PERCENT OF THE REQUIRED AMENITY AREA SHALL BE PROVIDED AT GROUND LEVEL AS EITHER PRIVATE OR COMMON SPACE.

SEE SHEET 5.1 FOR AREAS AND CALCULATIONS

23.45.527 STRUCTURE WIDTH

- MAX WIDTH: 120'
- MAX LENGTH: 65% = 15'

23.45.524 LANDSCAPING STANDARDS

- GREEN FACTOR SCORE: 0.6 OR GREATER
- STREET TREES

ADJUSTMENTS & DEPARTURES

- WE ARE NOT ASKING FOR ANY AT THIS TIME.



DESIGN GUIDELINES

A) SITE PLANNING

A1) RESPONDING TO SITE CHARACTERISTICS:

TOPOGRAPY: THE CURRENT R.O.W. HAS AN EXISTING GRADE OF APPROX 20%, SLOPING DOWN TOWARDS THE SOUTH. THE PROPOSED DESIGN UTILIZED THE SLOPE & PLACES ALL THE REQUIRED PARKING FOR THE PROJECT UNDERNEATH THE BUILDING.

SOLAR ORIENTATION: THE PROPOSED TOWNHOMES HAVE BEEN ORIENTED TOWARDS THE SOUTH IN ORDER TO PROVIDE VIEWS OF THE SEATTLE SKYLINE AS WELL AS ENHANCE NATURAL LIGHT WITHIN THE PROJECT. THE MARJOITY OF THE PROJECT GLAZING IS ON THE SOUTH FACE.

A2) STREETScape COMPATIBILITY: THE SITE IS LOCATED ON 3RD AVE NORTH, A DEAD END STREET WITH A STEEP PEDISTRIAN WALK/STAIRS CONTINUING UP TO WARD STREET TO THE NORTH.

A3) ENTRANCE VISIBILITY: THE SITE ADDRESS IS 906 3RD AVE NORTH, THE PARKING ENTRANCE IS LOCATED ON THE SOUTH SIDE OF THE PROPERTY WITH THE RESIDENTIAL ENTRANCE/GATE ON THE NORTH SIDE, LEADING TO THE WALKWAY ACCESSING THE INDIVIDUAL UNITS.

A4) HUMAN ACTIVITY: WITH THE SITE HAVING A 20% GRADE SLOPING UP TO THE NORTH, MIN OPPORTUNITIES ARE AVAILABLE FOR ENCOURAGING HUMAN ACTIVITY ON 3RD AVE. WE ARE PROVIDING A GATED ENTRANCE TO THE PARKING GARAGE, SECURE PEDESTRIAN ENTRANCE TO THE PROPERTY AS WELL AS LANDSCAPE IN THE FRONT SETBACK TO ENHANCE THE PEDESTRIAN TRAFFIC UTILIZING 3RD AVE TO ACCESS WARD STREET.

A5) ADJACENT SITES: TO THE NORTH IS TWO EXISTING TOWNHOME BUILDINGS WITH THE SIDES OF TWO UNITS FACING OUR PROJECT, TO THE SOUTH IS A SINGLE STORY SFR. IN ORDER TO UTILIZE THE POTENTIAL VIEWS OF THE CITY, MOST OF THE WINDOWS ARE FACING SOUTH, ADJACENT TO THE SFR. WITH THE NARROW CONSTRAINTS OF THE SITE, LIMITED OPPORTUNITY WAS AVAILABLE TO STEP THE UPPER FLOOR BACK FROM THE SIDE PROPERTY LINES.

- THE UPPER FLOOR HAS BEEN SETBACK FROM THE FRONT/REAR PROPERTY LINES
- BALCONY'S HAVE BEEN PLACED ON THE CORNERS OF THE SITE WHERE POSSIBLE TO MINIMIZE DISRUPTION.
- THE EXISTING BUILDING TO THE SOUTH IS A ONE STORY SFR, MOST OF THE VIEW TO THE SOUTH WILL LOOK OVER THE BUILDING, WHICH HAS MINIMAL WINDOWS FACING OUR PROJECT, TO THE CITY.

A6) TRANSITION FROM STREET: WE ARE PROVIDING STEPPED PLANTERS FOR LANDSCAPING AND A SINGLE PEDESTRIAN GATE, STEPPED BACK ≈/-7' FROM THE STREET, TO ACCESS THE THREE PROPOSED UNITS.

A7) OPEN SPACE: THE DESIGN HAS INCORPORATED A SMALL INTERIOR COURTYARD IN THE NORTHWEST CORNER OF THE PROPERTY, A COMMON GARDEN/LANDSCAPED AREA IN THE SOUTHEAST CORNER, AS WELL AS ROOF DECKS AT EACH UNIT.

A8) PARKING AND VEHICLE ACCESS: ALL PARKING IS PROVIDED ON SITE, WITH A GATED ACCESS DRIVE ON THE SOUTHWEST CORNER OF THE PROPERTY.

B) HEIGHT, BULK AND SCALE

B1) COMPATIBILITY: OUR PROJECT IS IN THE HEART OF L3 SURROUNDED BY L3 PROPERTIES. THE NEIGHBORHOOD CURRENTLY HAS A MIX OF BUILDING TYPES, SHAPES AND FORMS.

C) ARCHITECTURAL ELEMENTS AND MATERIALS

C1) ARCHITECTURAL CONTEXT: THE SURROUNDING BUILDINGS ARE VARIED IN SIZE, BULK AND SCALE THERE ARE A FEW APARTMENTS & TOWNHOMES WITH A SIMILAR FORM. WE HOPE TO MAKE A 'SLIGHT' STATEMENT IN THE NEIGHBORHOOD TO ENHANCE FUTURE PROJECTS.

ARCHITECTURAL FEATURES: WE ARE PROPOSING USING BAY WINDOWS, RECESSED BALCONY'S, AND A FLAT ROOF DESIGN.

C2) ARCHITECTURAL CONCEPT: OUR BUILDING WILL HAVE A MODERN BRICK BASE FACING BOTH 3RD & ALOHA STREET, AND WILL HAVE CONSISTENT UPPER FLOOR MATERIALS ON ALL SIDES OF THE BUILDING.

- BUILDING ARTICULATION w/ BROKEN ROOF LINES.
- VARYING MODULATION WITH RECESSED BALCONY'S, RAILINGS.

C3) HUMAN SCALE AND ACTIVITY: WE WILL ACCOMPLISH THIS BY:

- ARTICULATED FAÇADE WITH A LOT OF WINDOWS
- STEPPED PLANTERS/RETAINING WALLS AT THE SIDEWALK
- OPEN SPACE/COURTYARD AT PEDESTRIAN ENTRANCE
- LARGE WINDOWS ARE SEPARATED BY THICK MULLIONS ALLOWING FOR MULTIPLE PANES OF GLASS

C4) EXTERIOR FINISH MATERIALS:

- BRICK VENEER AT BASE
- ARTICULATED FAÇADE WITH AMPLE GLAZING
- VARIED MATERIALS WITH BRICK, HARDIE PANEL, CEDAR T&G, AND GLASS OR CABLE RAILINGS AT BALCONY'S.

C5) GARAGE ENTRANCE: WE ARE PROPOSING AN OPEN PARKING STRUCTURE WITH NO GARAGE DOOR, BUT AN AUTOMATIC GATE TO ENTER THE PROPERTY. THE ENTRANCE IS LOCATED ON THE DOWNHILL SIDE (SOUT) ALLOWING FOR PARKING UNDERNEATH THE PROPOSED BUILDING. A 10' WIDE ACCESS, STEPPED PLANTERS AND A LANDSCAPED SITE TRIANGLE HAVE ALSO BEEN PROVIDED TO MINIMIZE IMPACT

D) PEDESTRIAN ENVIRONMENT

D1) PEDESTRIAN OPEN SPACE & ENTRANCES: THE PROPOSED RESIDENTIAL UNITS CAN BE ACCESSED THROUGH THE SECURE PEDESTRIAN WALKWAY & OPEN COURTYARD ON THE NORTH SIDE AS WELL AS THROUGH THE STAIRCASE LOCTED BELOW IN THE OPEN PARKING GARAGE.

- INDIVIDUAL UNIT ENTRANCES HAVE BEEN PROVIDED WITH OVERHEAD PROTECTION VIA AWNINGS.

D2) BLANK WALLS: OUR SITE IS ABOVE THE SIDEWALK AND TO MINIMIZE THAT IMPACT, WE PROPOSE STEPPED RETAINING WALLS/PLANTERS ON 3RD AVE NORTH.

D3) MINIMIZE HEIGHT OF RETAINING WALLS: SEE D2 ABOVE

D4) MINIMIZE PARKING ON PEDESTRIANS: WE HOPE TO USE/ENHANCE THE EXISTING CURBCUT, CARS WILL ENTER THE OPEN PARKING GARAGE VIA THE DRIVE ISLE.

D5) VISUAL IMPACTS OF THE PARKING STRUCTURE: PARKING STRUCTURE IS OPEN, BELOW GRADE AND IS NOT VISIBLE FROM THE STREET.

D6) SCREEN DUMPSTERS, UTILITY AND SERVICE AREAS: THE TRASH CONTAINERS WILL BE LOCATED IN THE OPEN PARKING STRUCTURE WHICH IS SCREENED FROM THE STREET. ELECTRICAL AND WATER WILL ENTER THE PROPERTY UNDERGROUND

D7) PERSONAL SAFETY: WE PLAN TO PROVIDE WELL LIT BUILDING ENTRANCES, SECURE GATES AND FENCES AT ON-GRADE COURTYARD, SECURE GATE AT MAIN PEDESTRIAN & PARKING ENTRANCES.

E) LANDSCAPING

E1) CONTINUITY WITH ADJACENT SITES: THE CURRENT SITE HAS NO STREET TREES AND BASIC LANDSCAPING IN THE R.O.W. THE ADJACENT SITES ARE IN A SIMILAR CONDITION.

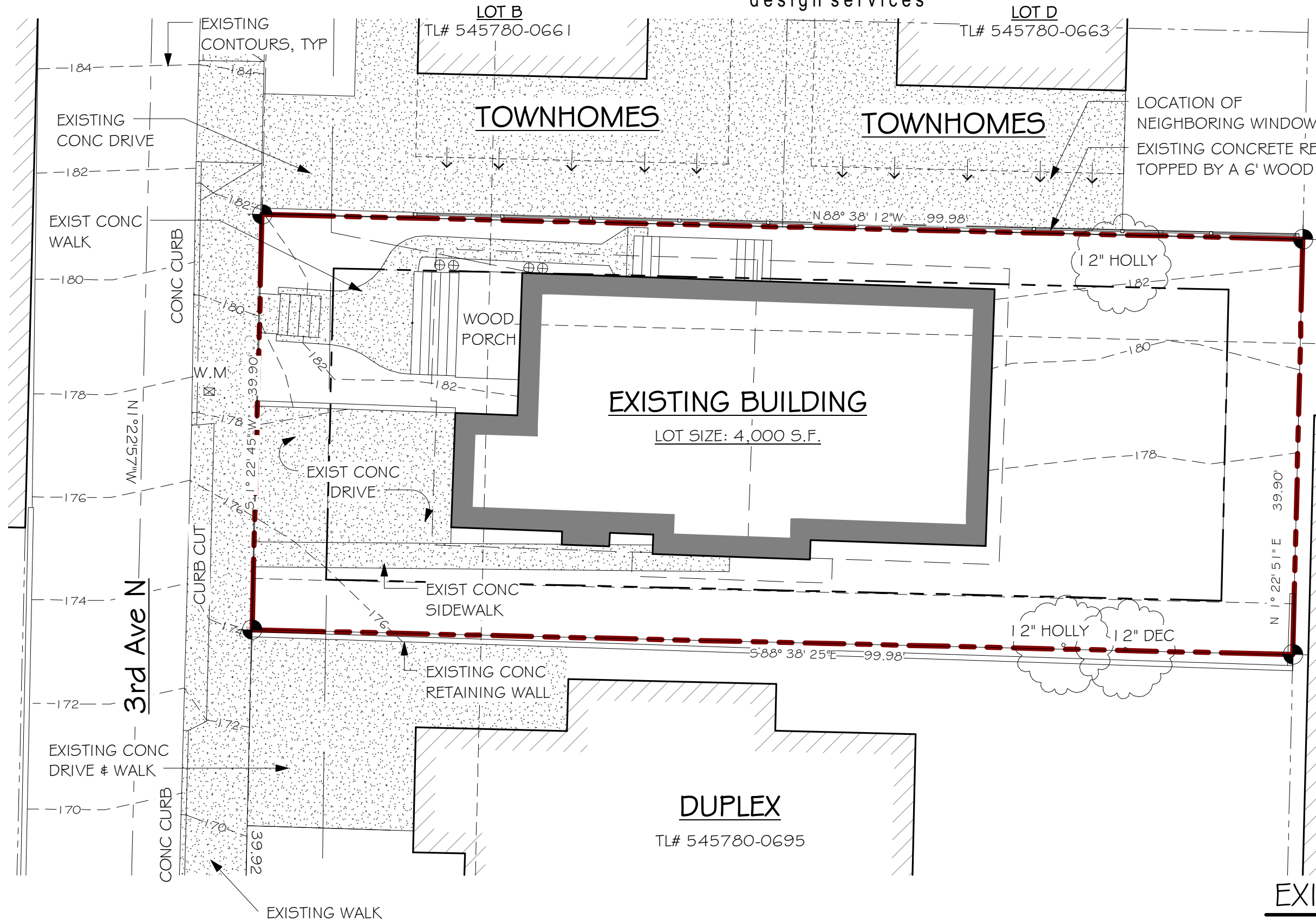
E2) & E3) ENHANCEMENTS & SPECIAL SITE CONDITIONS: WE ARE PROPOSING STREET TREE(S) AND STEPPED PLANTERS AT THE SIDEWALK FILLED WITH SEASONAL PLANTS & SHRUBS, AS WELL AS:

- LANDSCAPE AT INTERIOR COURTYARD AREA
- GREEN SCREEN ON TERRACED BUILDING FACADE FACING 3RD AVE N
- STEPPED PLANTERS ON THE EAST SIDE



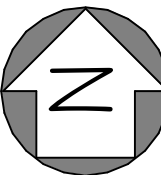
EXISTING SITE CONTITIONS

- * THE SITE IS LOCATED ON 3RD AVE NORTH, ONE BLOCK NORTH OF ALOHA STREET.
- * THE EXISTING PROPERTY HAS A TWO/THREE STORY DUPLEX WITH A ONE CAR GARAGE.
- * THE LOT TO THE NORTH CONTAINS FOUR, THREE STORY TOWNHOMES CONSTRUCTED IN 2007. TO THE SOUTH IS A SINGLE FAMILY HOME.
- * TO THE WEST, ACROSS 3RD AVE N, IS AN OPEN CARPORT SERVING THE ADJACENT EXISTING CONCRETE RET/APARTMENTS.
- * THE ADJACENT SIDEWALK IS LOCATED IN THE R.O.W. AND HAS A SLOPE OF APPROXIMATELY 19.2%.
- * THERE ARE NO STREET TREES, ONLY SHRUBS AND BUSHES IN THE R.O.W.
- * THERE ARE HIGH POWER LINES ON THE PROPERTY. WE HOPE TO RELOCATE THESE UNDERGROUND OR CLOSER TO THE STREET. THERE IS A RECOMMENDED 10' SETBACK FROM THESE POWER LINES. TO WORK NEAR THESE POWER LINES, THEY WILL NEED TO BE DEENERGIZED & GROUNDED OR RELOCATED.



EXISTING SITE PLAN

SCALE: 1" = 10'-0"





1 910 3RD AVE N - TOWNHOMES



2 902 3RD AVE N - SFR



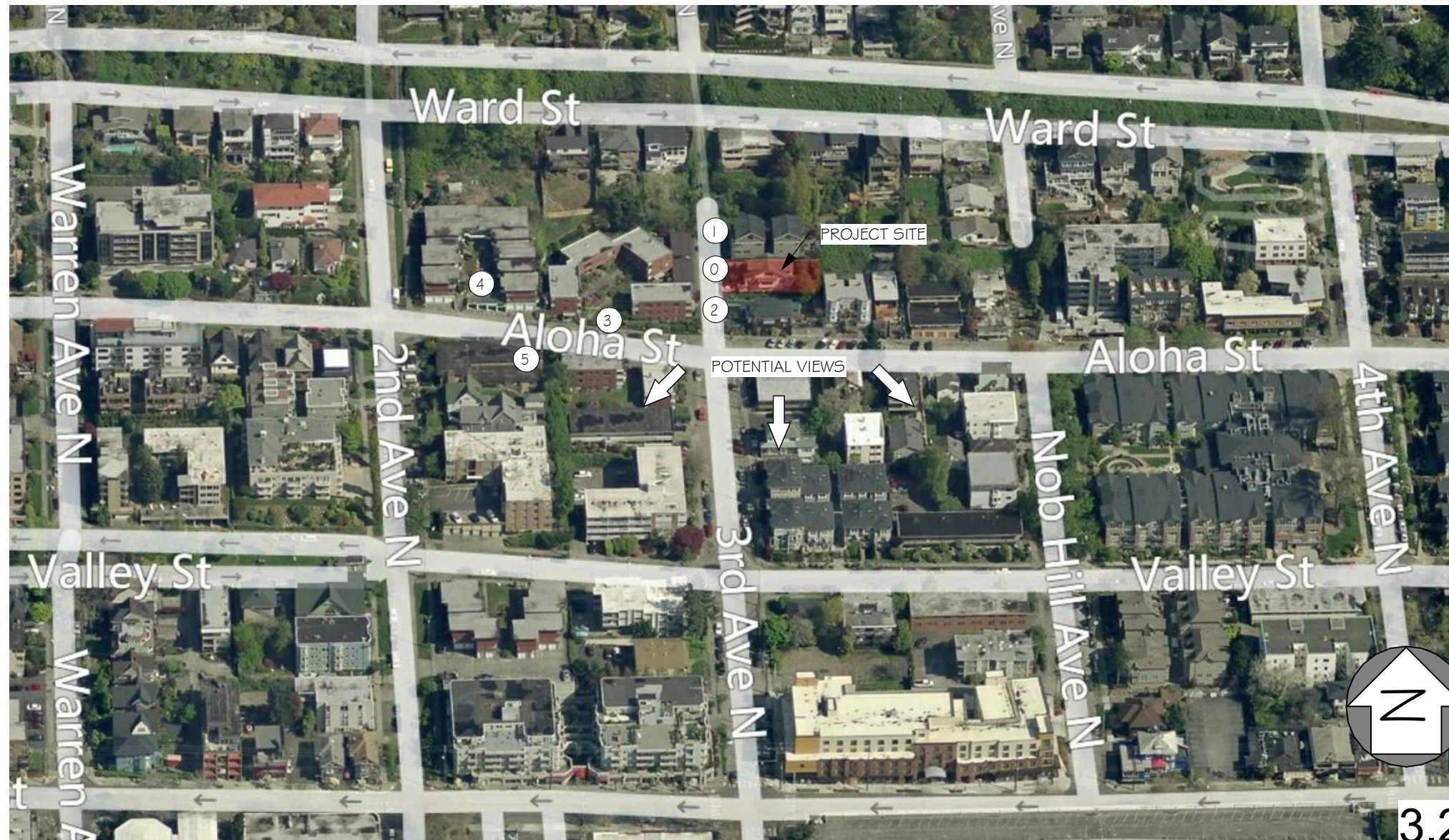
3 901 3RD AVE N - ALOHA TERRACE APTS



4 900 2ND AVE N - 23 UNIT APARTMENT



0 906 3RD AVE N - DUPLEX - EXISTING SITE LOOKING NORTH EAST





5 822 2ND AVE N - WILOMA APTS



6 800 2ND AVE N - TWIN BIRCHES APTS



7 801 3RD AVE N - BEL-AIR APTS



8 807 3RD AVE N - FLAMINGO TERRACE APTS



9 815 3RD AVE N - KATHWYN APTS



10 308 ALOHA ST - ANN MARIE APT

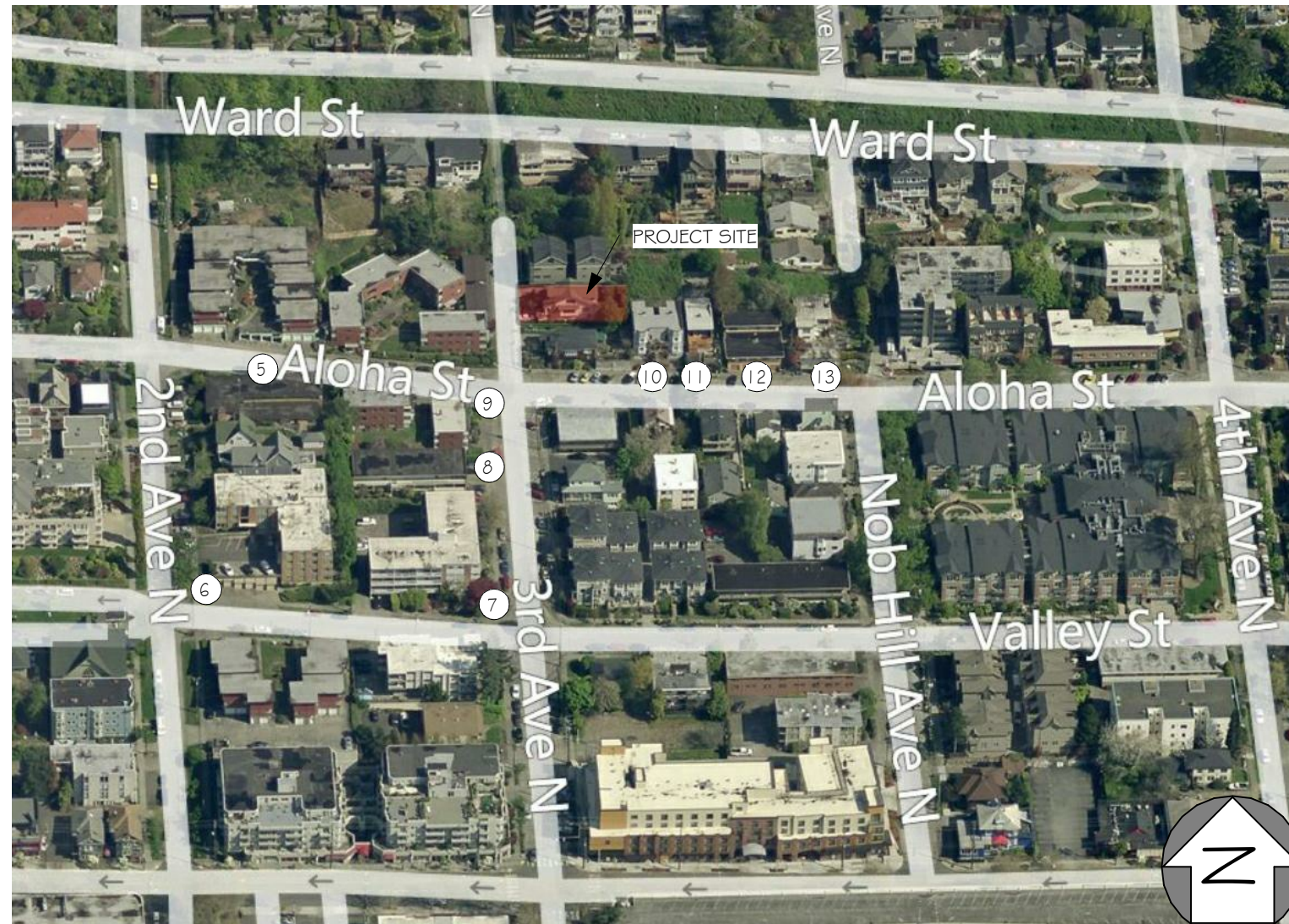
11 314 ALOHA ST - SFR



12 316 ALOHA ST - FOUR PLEX



13 320 ALOHA ST - TRIPLEX





(14) 823 NOB HILL AVE N - FOUR PLEX



(15) 319 ALOHA ST - SFR



(16) 313 ALOHA ST - TOWNHOMES



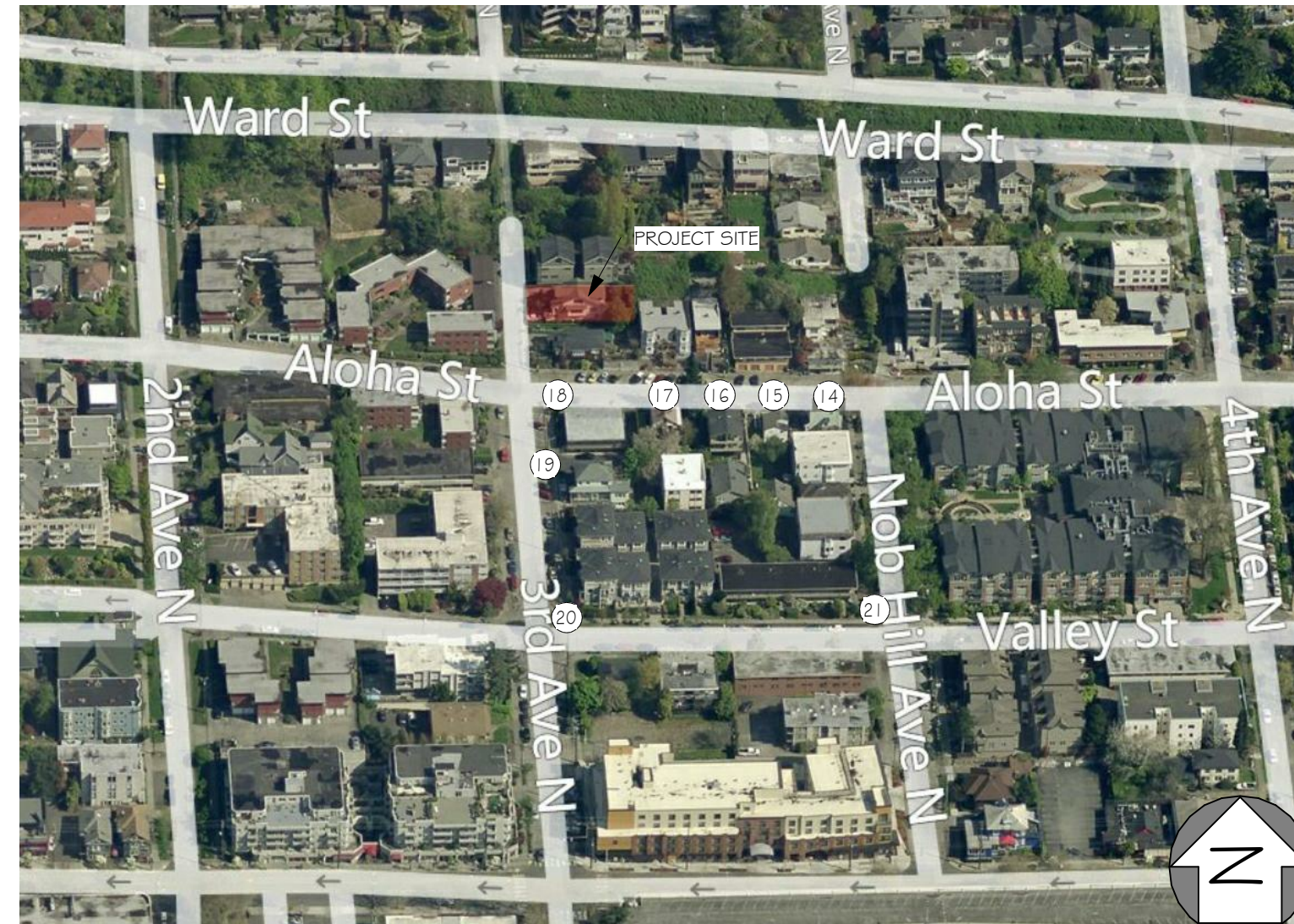
(17) 311 ALOHA ST - CHATEAU GARDEN APTS



(18) 816 3RD AVE N - 7 UNIT APARTMENT



(19) 812 3RD AVE N - FOUR PLEX



(20) 802 3RD AVE N - TOWNHOMES



(21) 314 VALLEY ST - ALGARY APTS





22 807 NOB HILL AVE N - NOB HILL TERRACE APTS



23 819 NOB HILL AVE N - THE NOB HILL APTS



24 805 4TH AVE N - MERRILL GARDENS RETIREMENT FACILITY



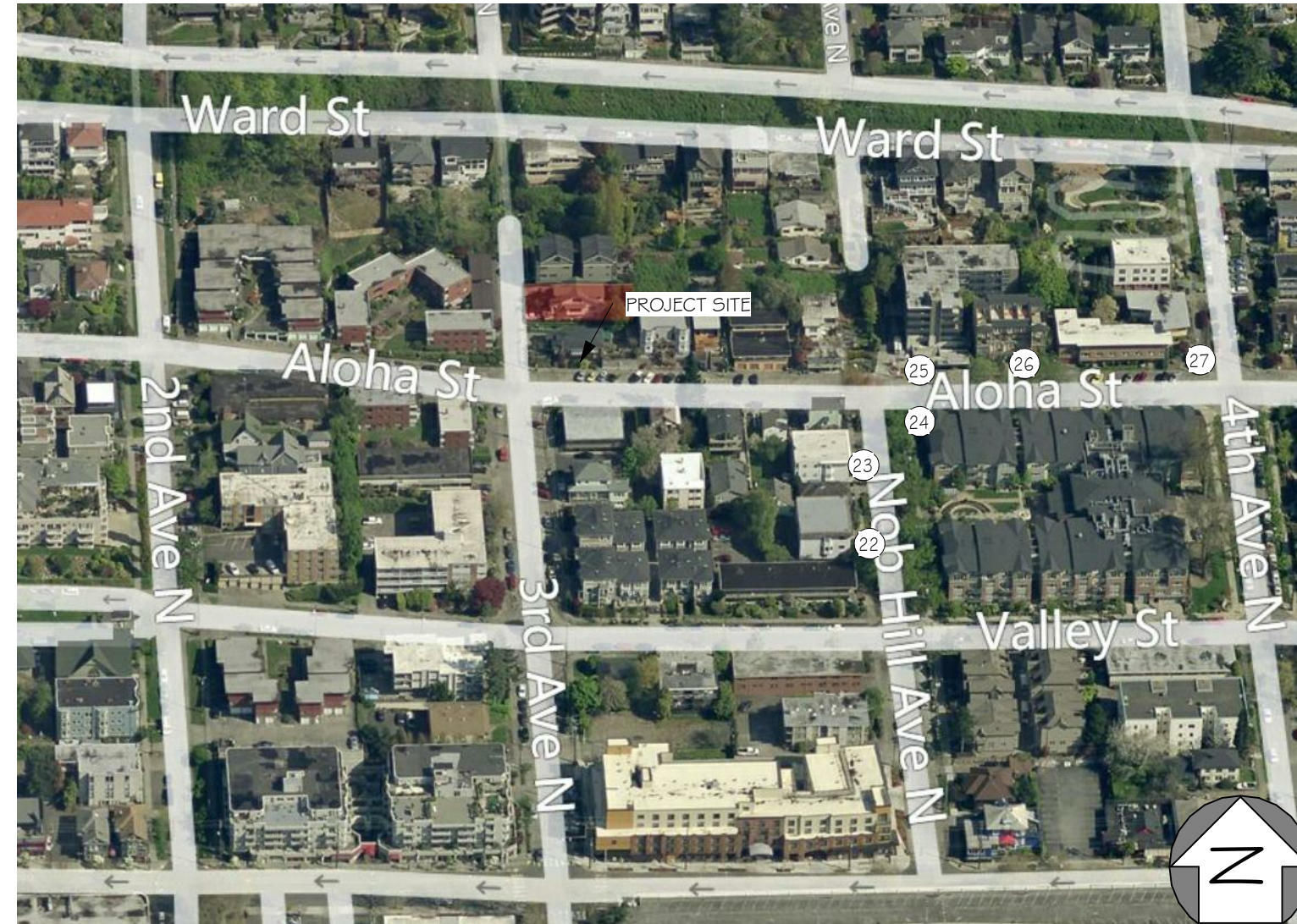
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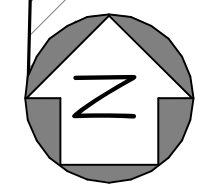


26 356 ALOHA ST - TOWNHOMES



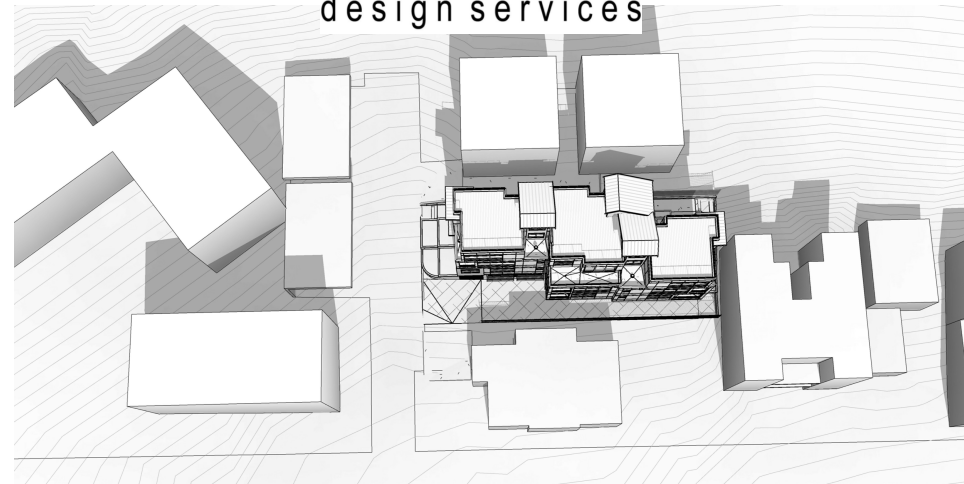
27 364 ALOHA ST - QUEEN VUE COURT APTS







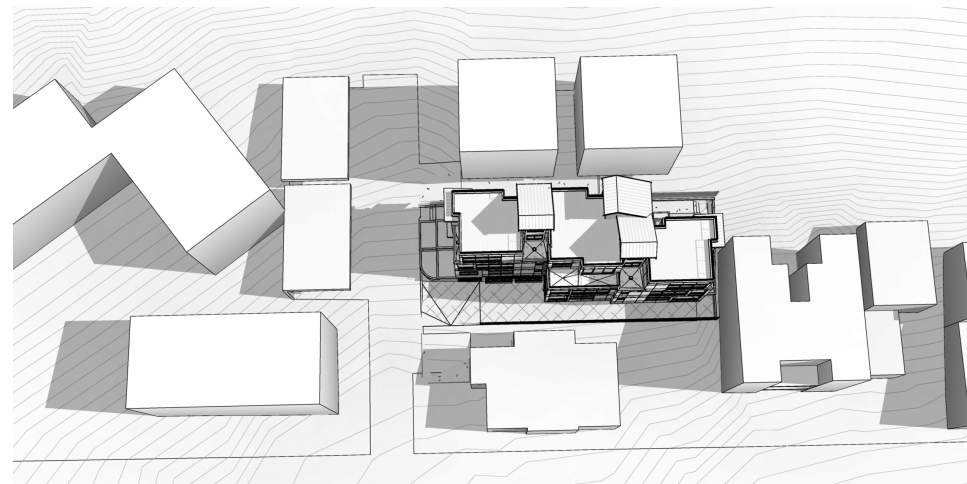
3/1 AT 8AM



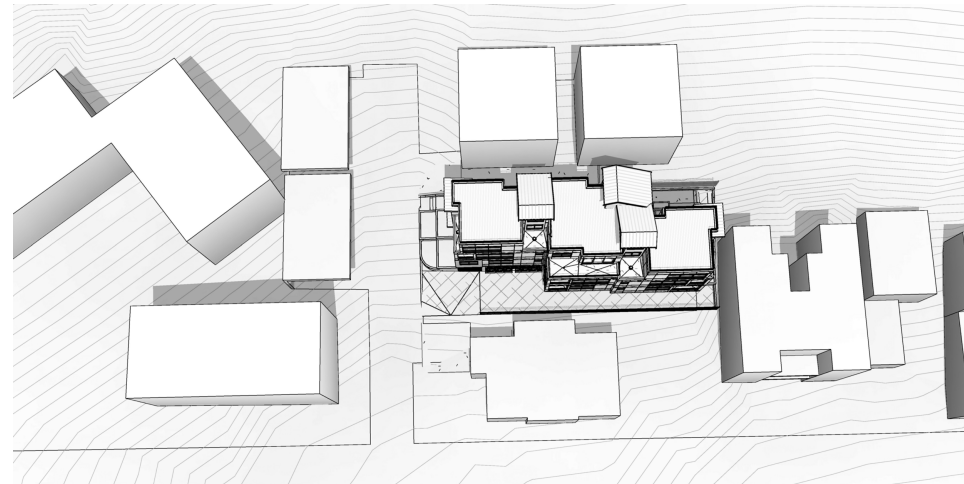
3/1 AT 12PM



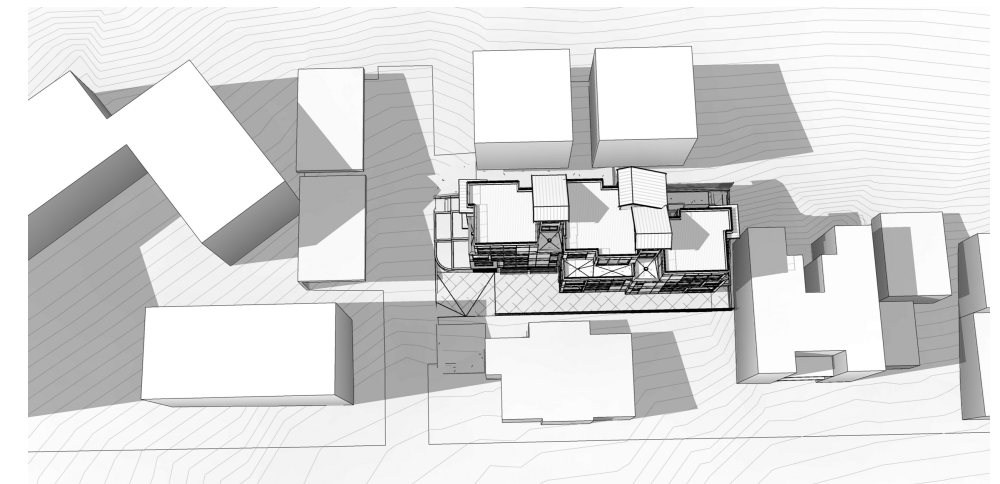
3/1 AT 4PM



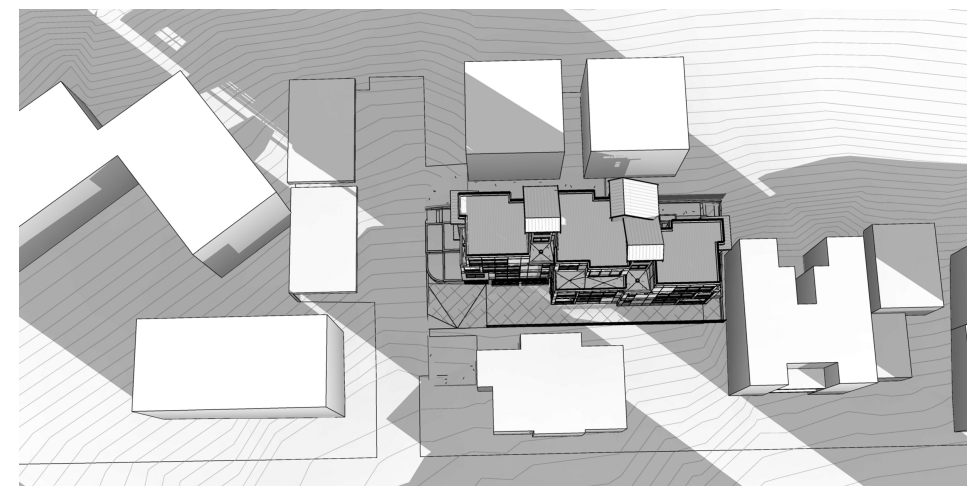
6/1 AT 8AM



6/1 AT 12PM



6/1 AT 4PM



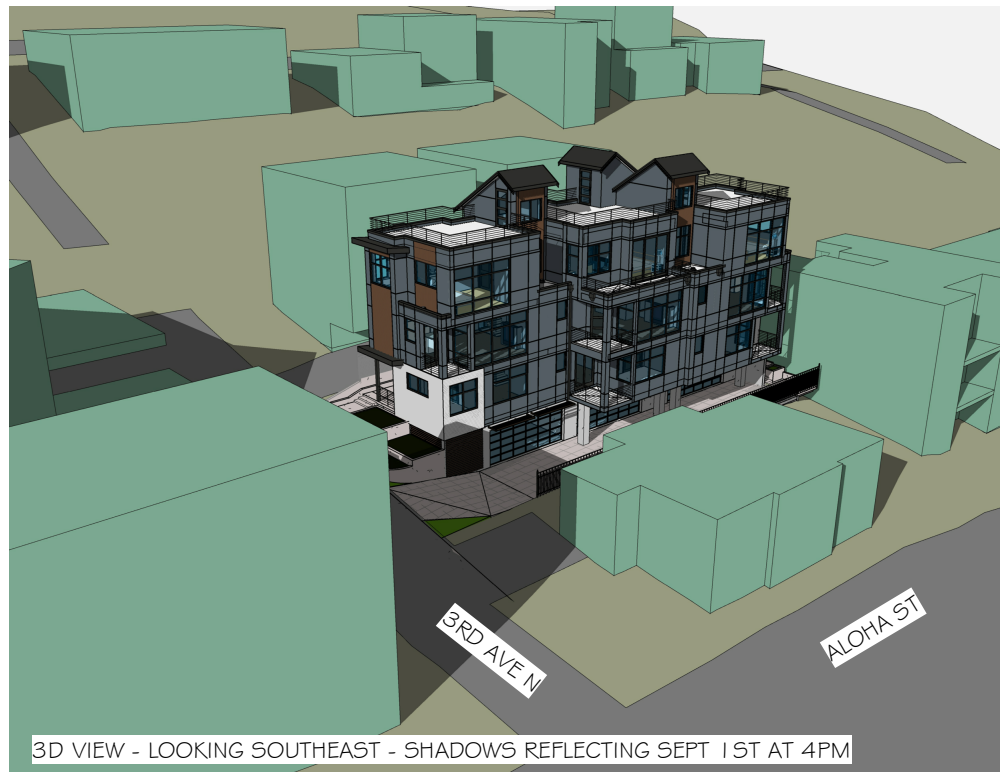
12/1 AT 8AM



12/1 AT 12AM

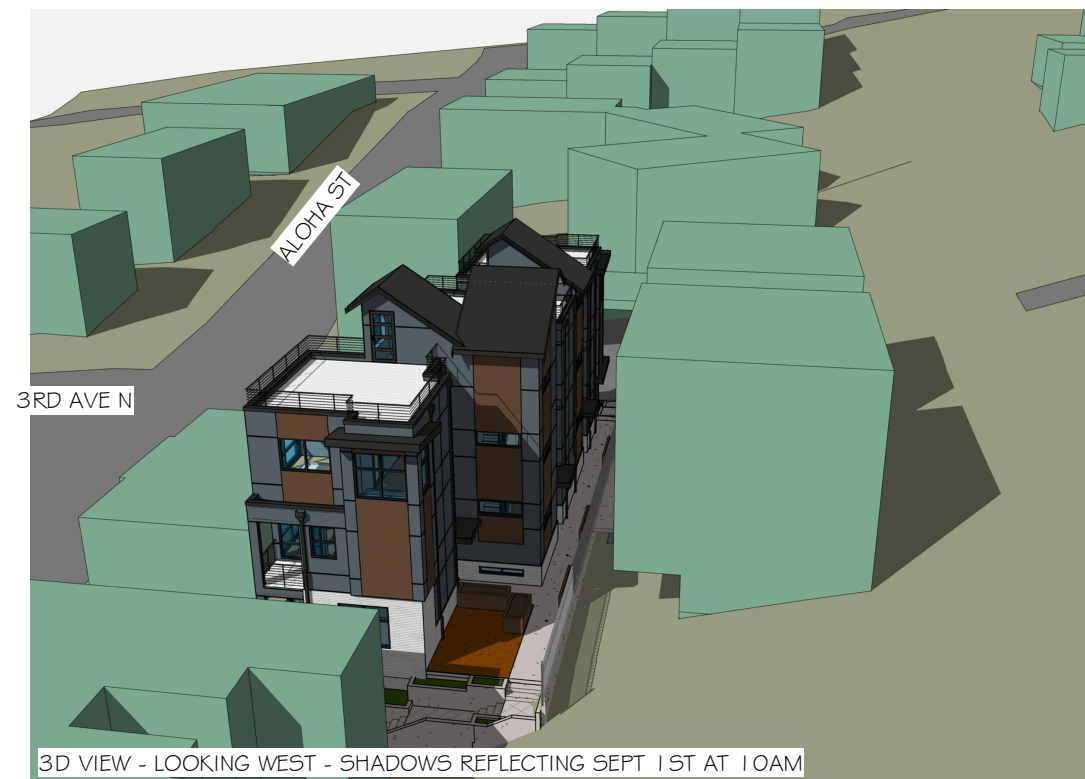


12/1 AT 4PM



DESIGN FEATURES

- THREE SOUTHERN FACING UNITS FOR MAXIMUM VIEW AND SUN EXPOSURE
- SECURE COURTYARD AREA IN THE NORTHWEST CORNER
- STAIR TOWERS ARE CENTRALLY LOCATED WITHIN THE BUILDING AND ON THE NORTH SIDE, AWAY FROM STREET VIEW
- OFF STREET, BELOW BUILDING PARKING WITH 2 STALLS PER UNIT (6 TOTAL)





WESTEN RED CEDAR

WHITE BRICK VENEER

CABLE RAILING

SHERWIN WILLIAMS:
SW 6251 OUTERSPACE

SATIN BRONZE
WINDOW/DOOR FRAMES



MAX PENTHOUSE
225.55

T.O. PL-PENTHOUSE
221.57

+36" GUARD
RAIL PER MFR

T.O. ROOF SHT'G
212.49

HARDIE® REVEAL® PANEL SYSTEM

WESTERN RED VERT CEDAR SIDING

PARAPET CAP FLASHING

Level 3
202.77

D.S. & OVERFLOW
SCUPPER

Level 2
193.05

WHITE BRICK VENEER

Level 1
183.33

Garage
174.00

1 WEST ELEVATION

SCALE: 1/8" = 1'-0"

10'-0" MAX

35'-0" MAX

WESTERN RED CEDAR SOFFIT

CEDAR PLANTER BOX

A A2 A3 B

STANDING SEAM MTL ROOF

8:12

T.O. PL-PENTHOUSE
221.57

MAX ROOF HT
215.55

T.O. ROOF SHT'G
212.49

WESTERN RED VERT CEDAR SIDING

Level 3
202.77

HARDIE® REVEAL® PANEL SYSTEM

Level 2
193.05

WHITE BRICK VENEER

Level 1
183.33

Garage
174.00

2 EAST ELEVATION

SCALE: 1/8" = 1'-0"

STEPPED PLANTERS

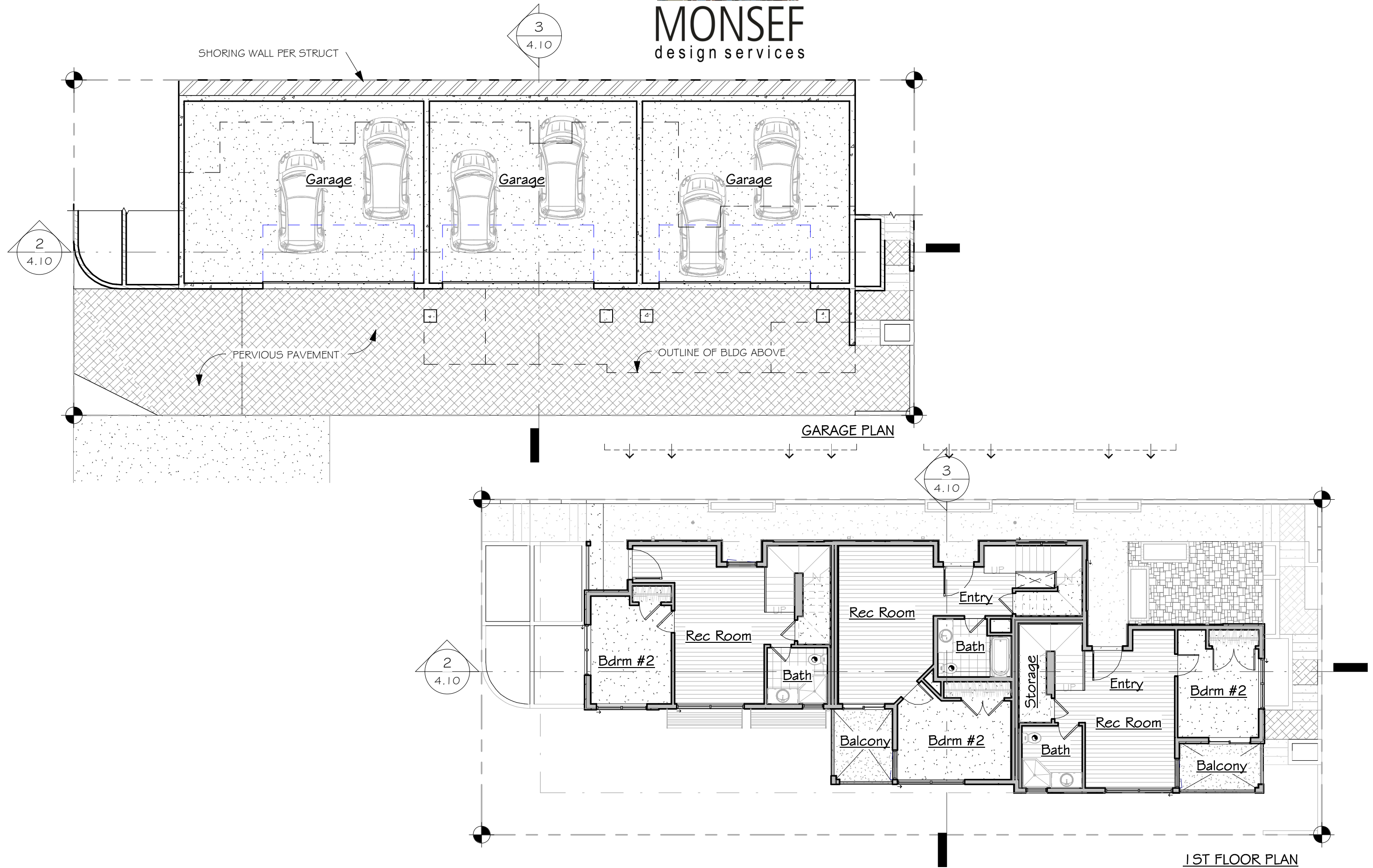


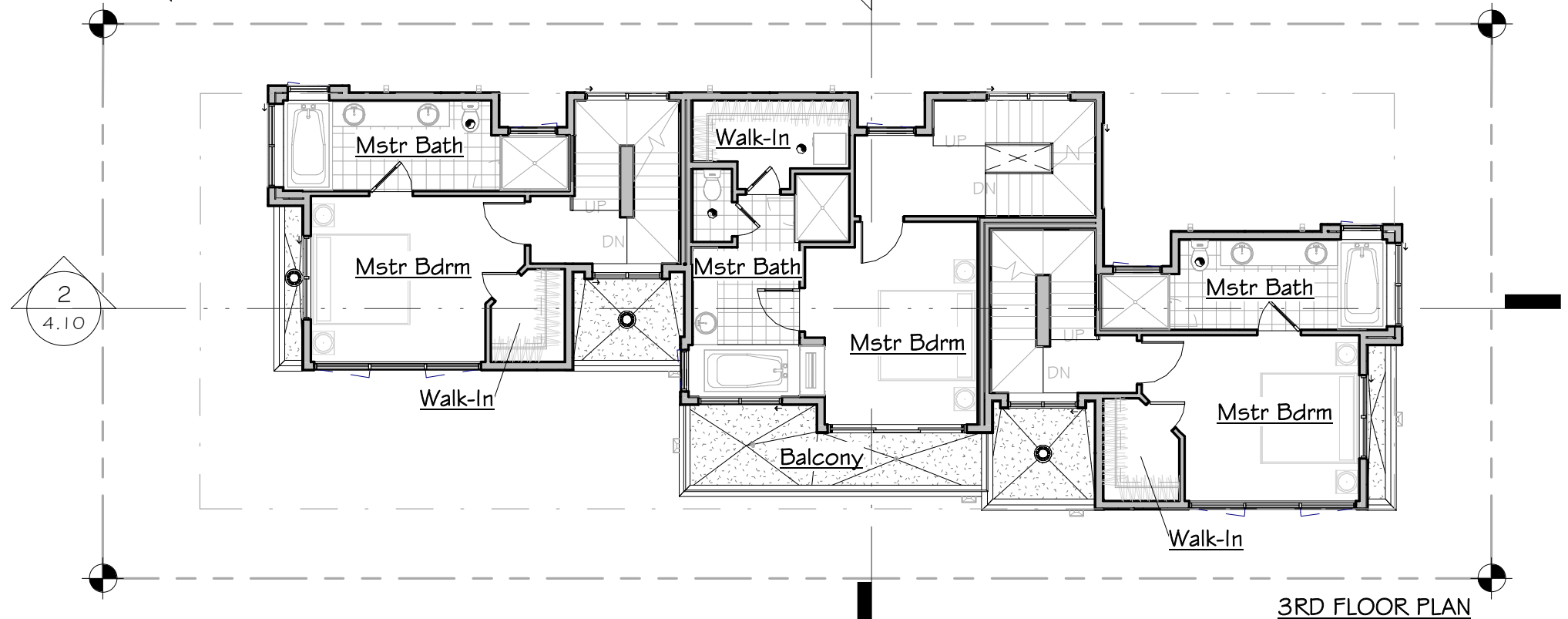
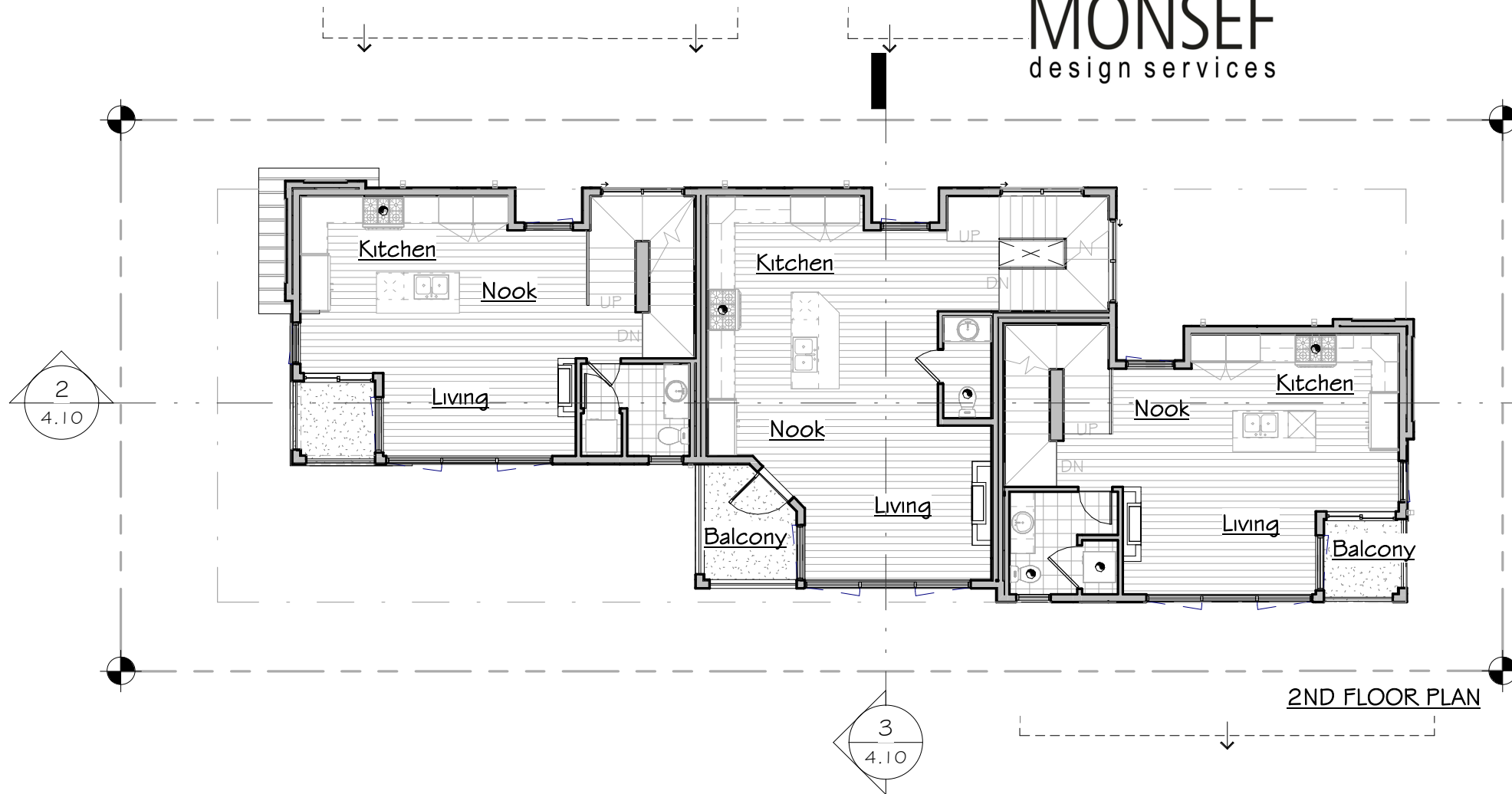
1 SOUTH ELEVATION

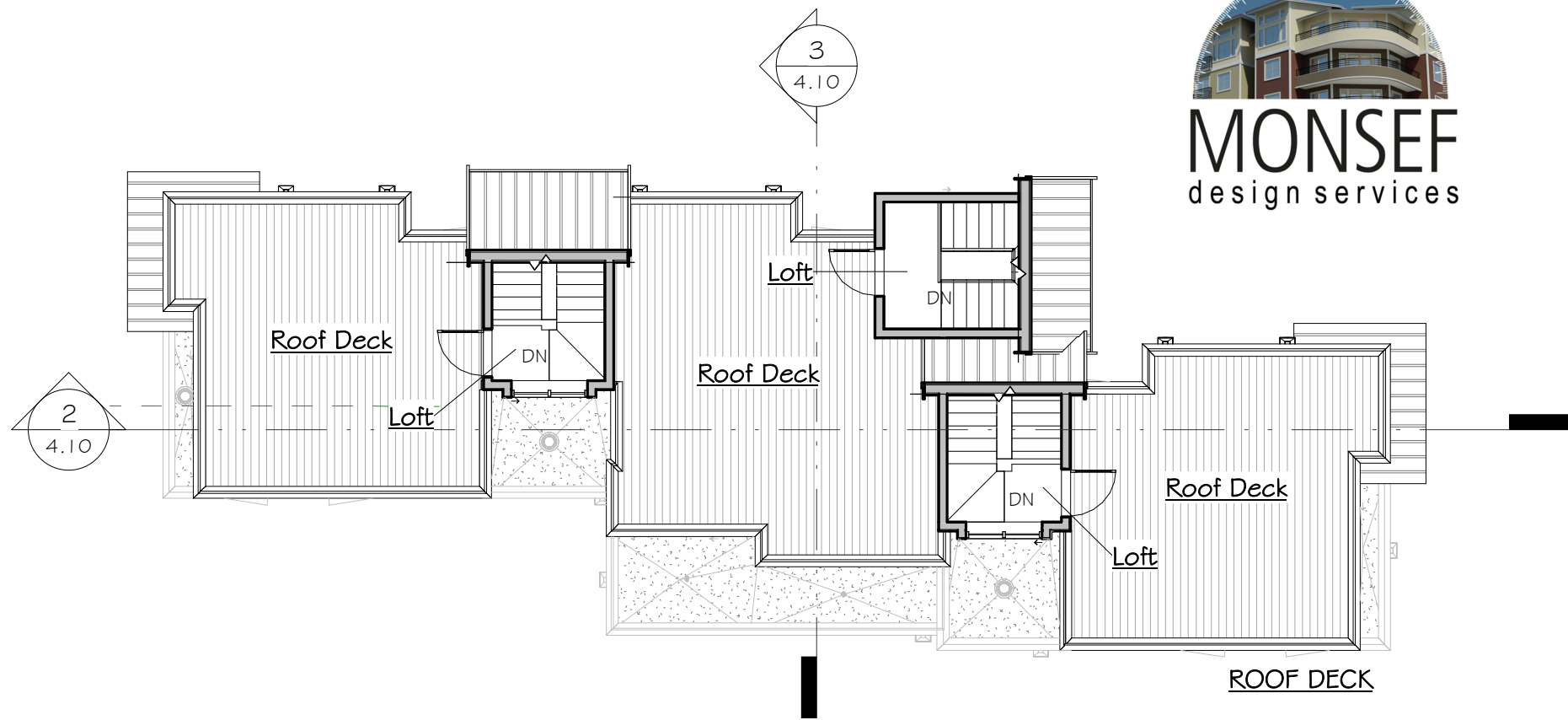
SCALE: 1/8" = 1'-0"



1 NORTH ELEVATION
SCALE: 1/8" = 1'-0"







- MAX PENTHOUSE
225.55
- T.O. PL-PENTHOUSE
221.57

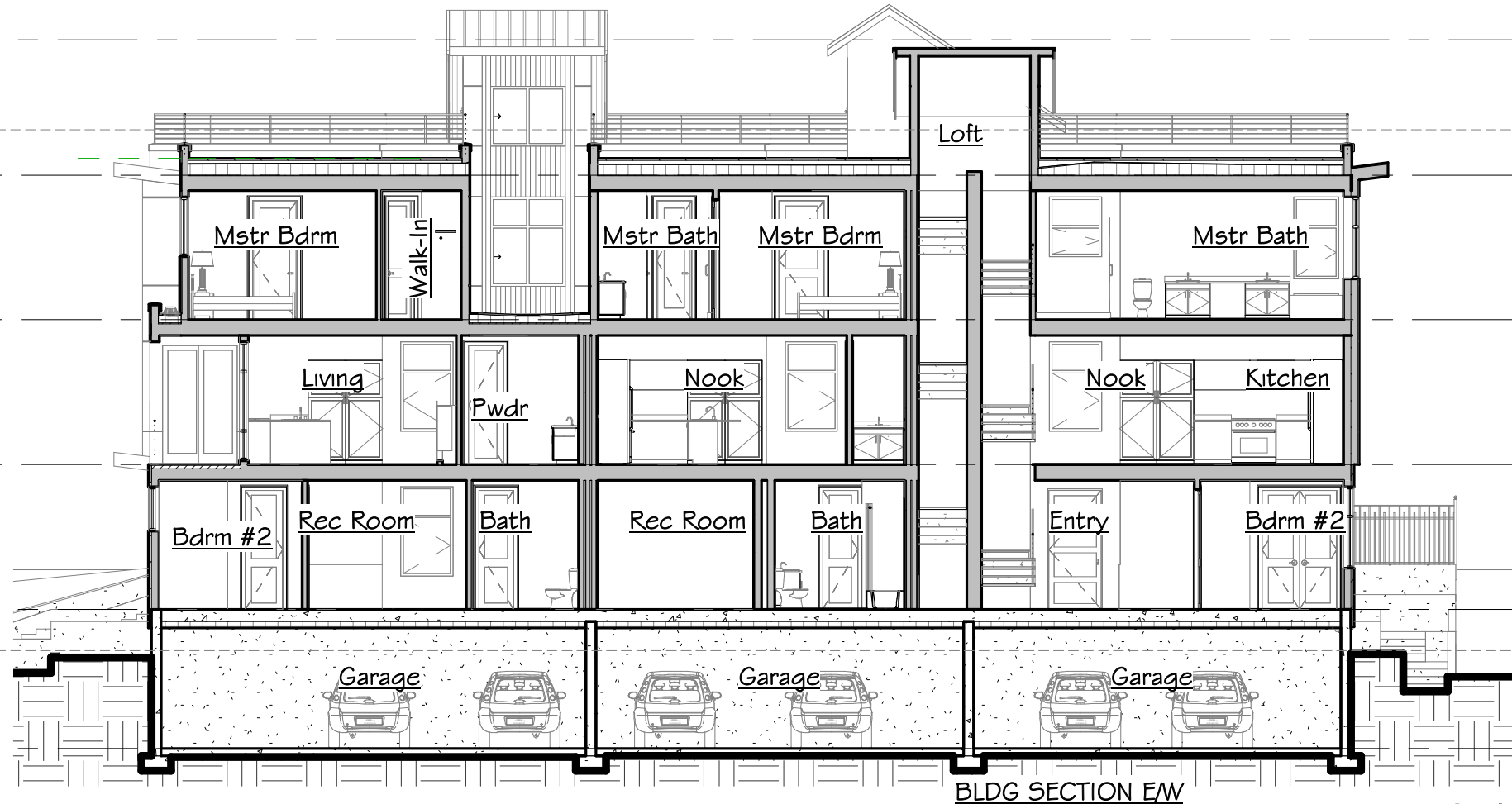
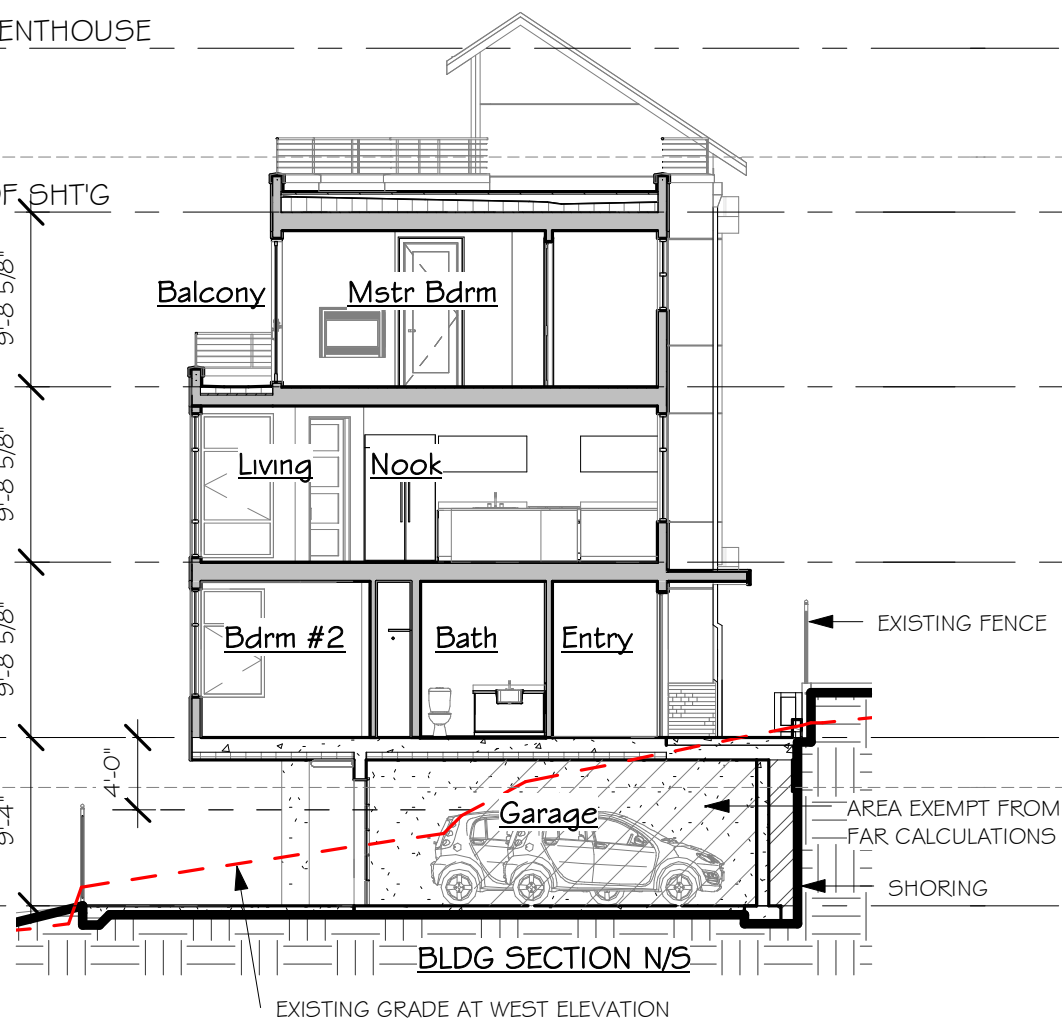
- T.O. ROOF SHT'G
212.49

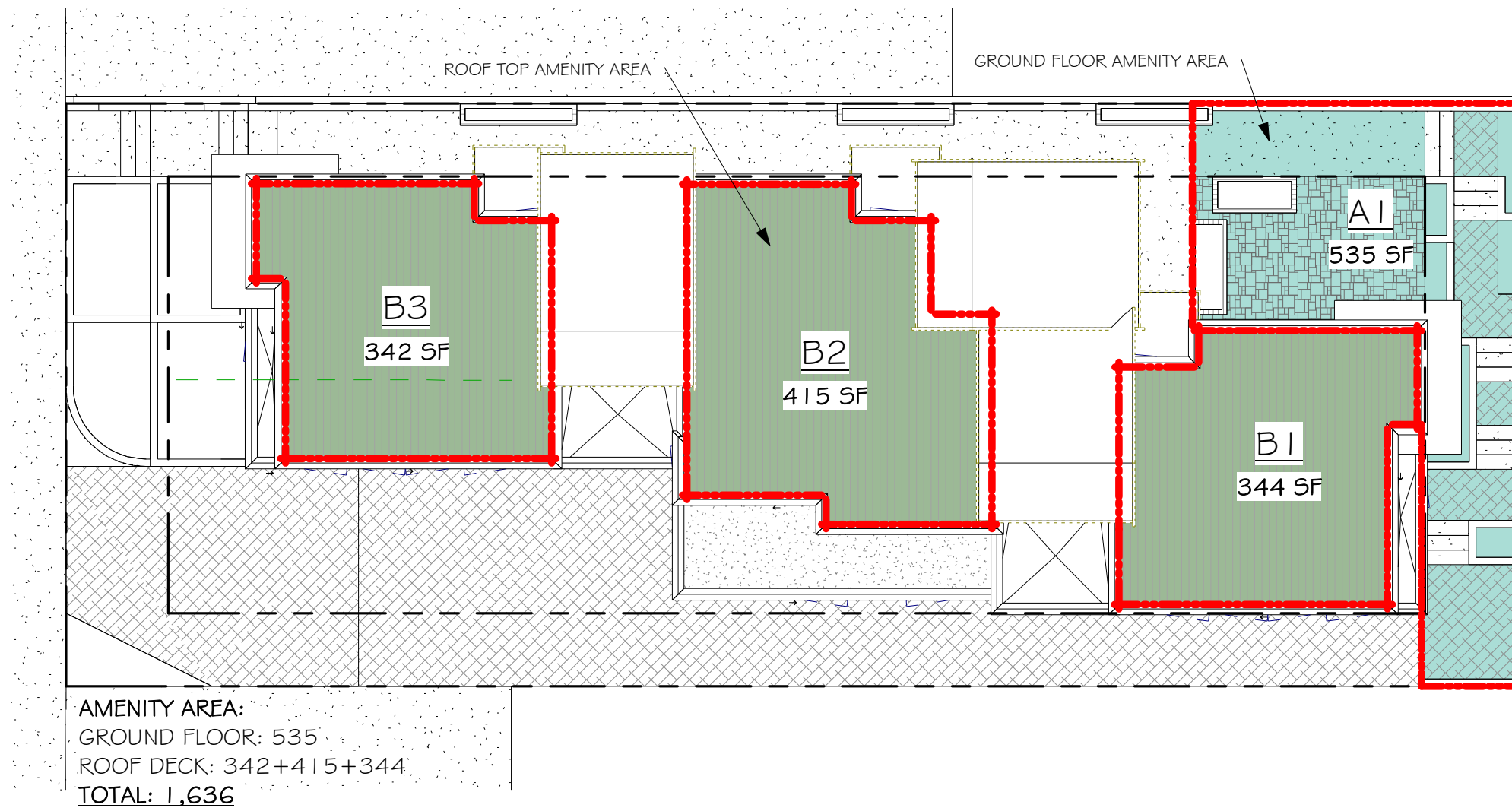
- Level 3
202.77

- Level 2
193.05

- Level 1
183.33

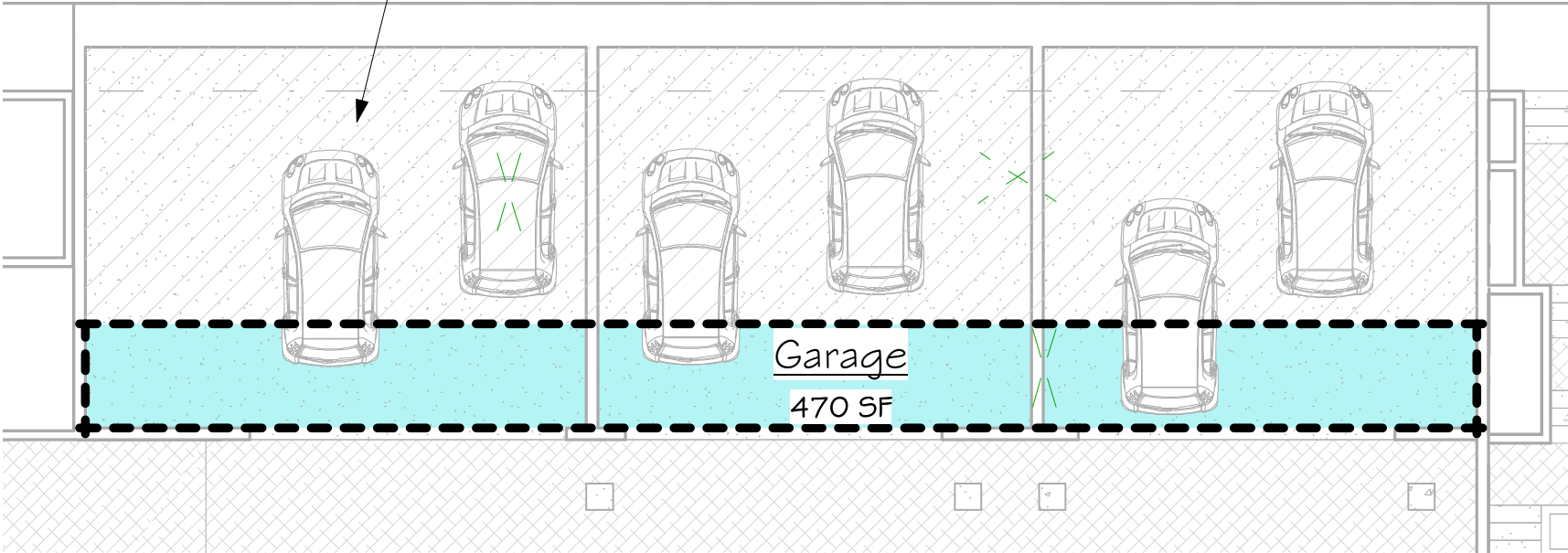
- Garage
174.00





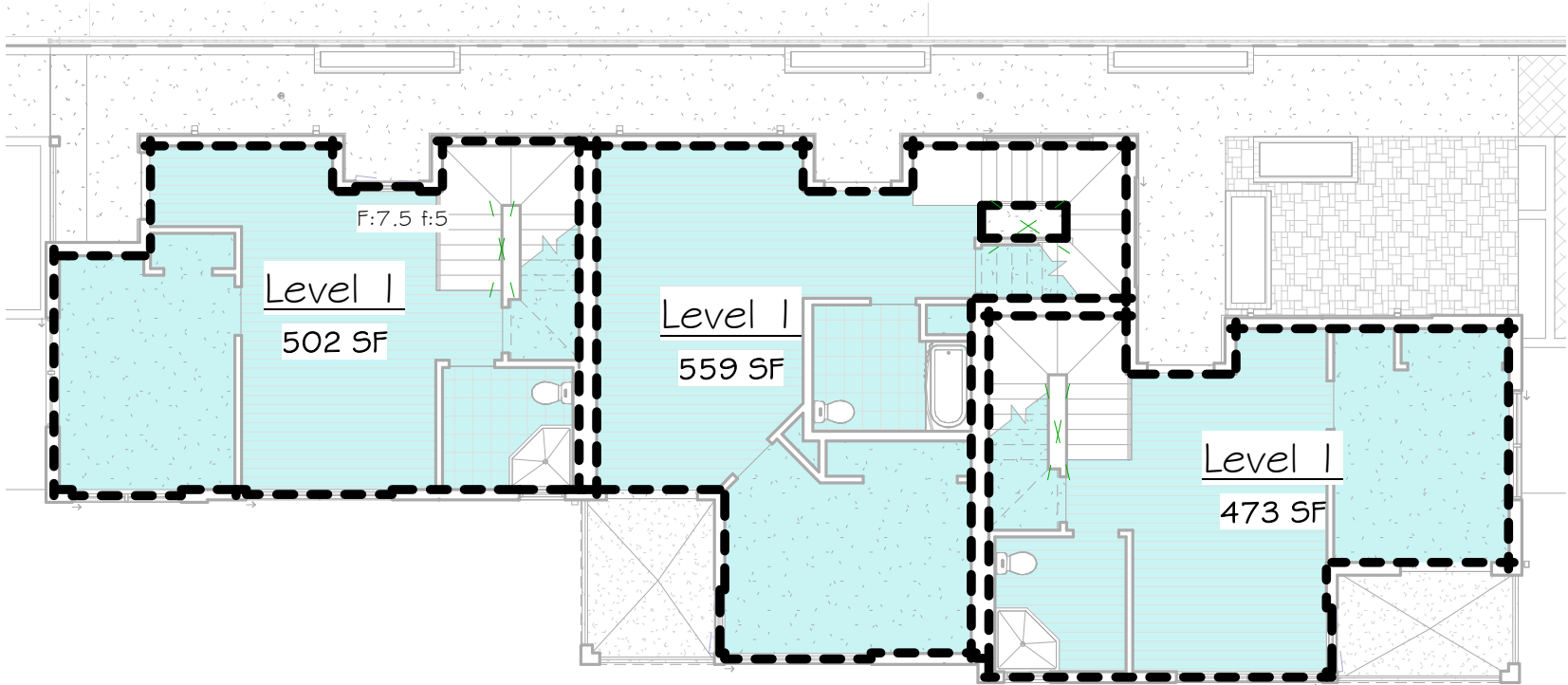


AREA EXEMPT FROM FAR CALCULATIONS.
SEE N/S BUILDING SECTION ON SHEET 4.10

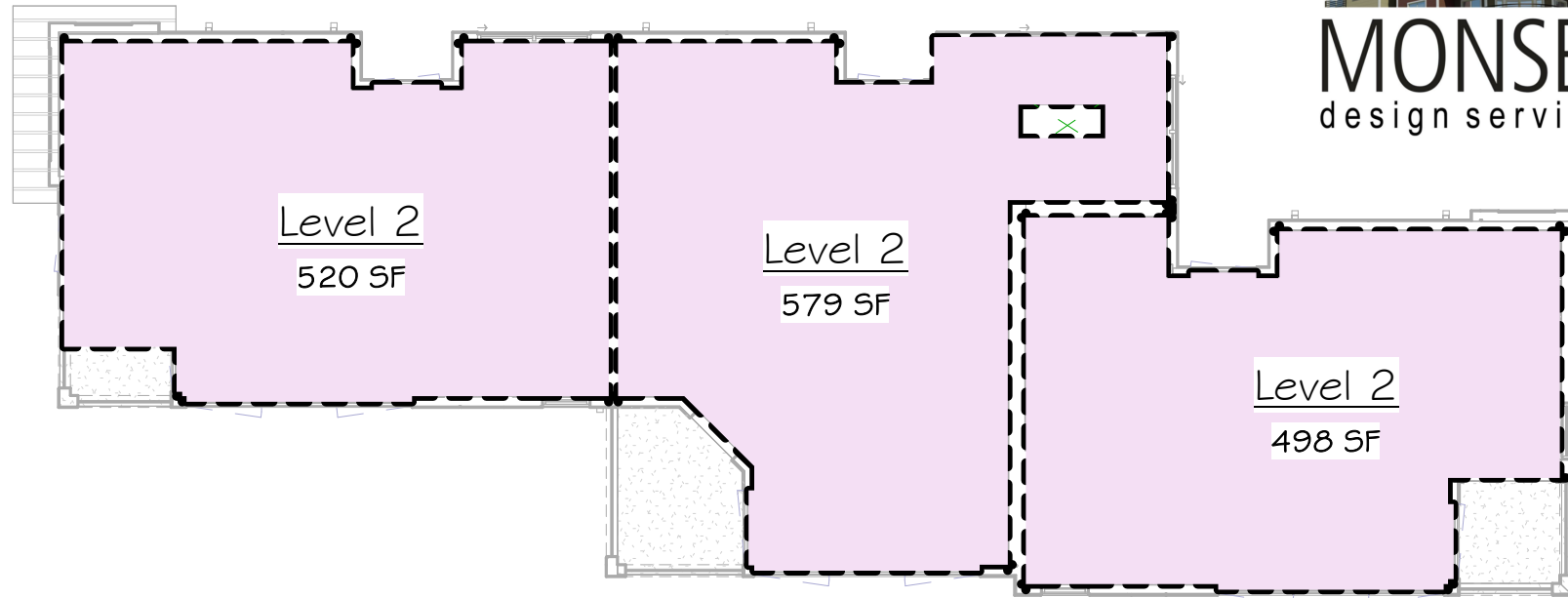


GARAGE PLAN

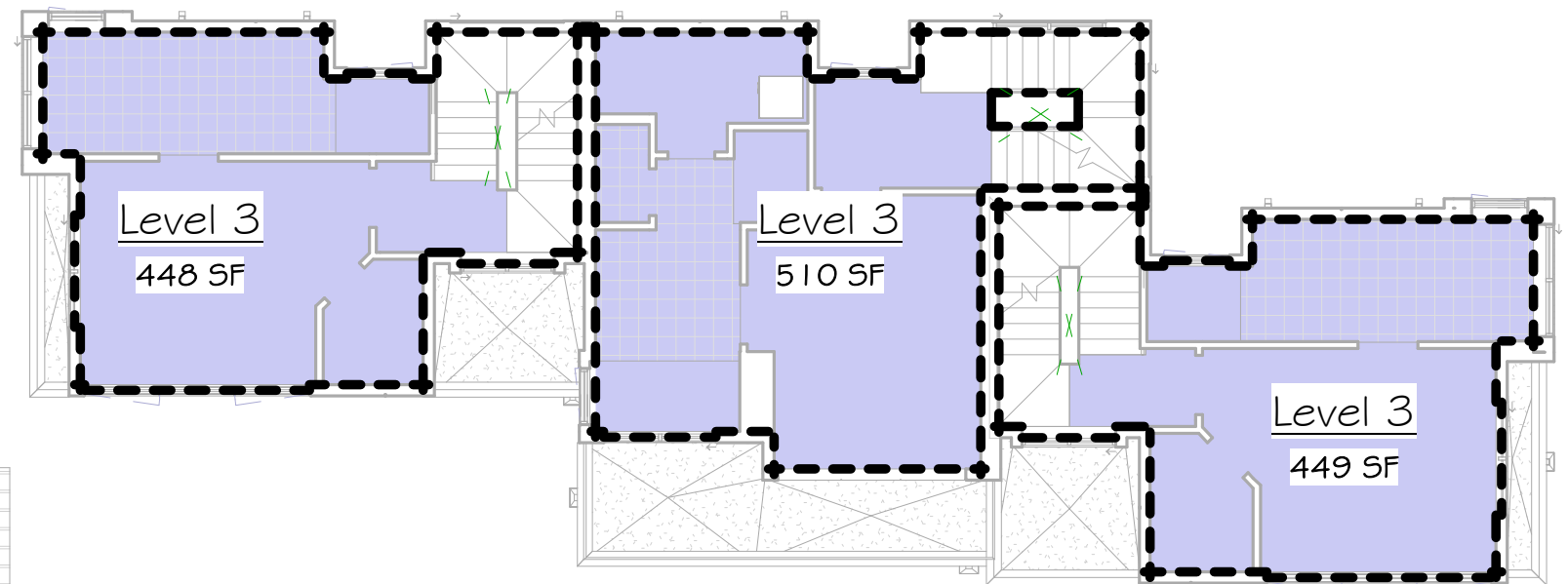
FAR CALCULATIONS		
Garage	470 SF	
: 1	470 SF	
Level 1	473 SF	UNIT A
Level 2	498 SF	UNIT A
Level 3	449 SF	UNIT A
Loft	42 SF	UNIT A
UNIT A: 4	1462 SF	
Level 1	559 SF	UNIT B
Level 2	579 SF	UNIT B
Level 3	510 SF	UNIT B
Loft	56 SF	UNIT B
UNIT B: 4	1704 SF	
Level 1	502 SF	UNIT C
Level 2	520 SF	UNIT C
Level 3	448 SF	UNIT C
Loft	42 SF	UNIT C
UNIT C: 4	1512 SF	
Grand total: 13	5147 SF	



1ST FLOOR PLAN



2ND FLOOR PLAN



3RD FLOOR PLAN

