



04.28.2014 SECOND RECOMMENDATION PACKAGE
3601 GREENWOOD AVE. N. | FREMONT GREEN | DPD PROJECT # 3015117

washington 2505 3rd avenue, suite 300c, seattle 98121 • california 1404 broad street, san luis obispo 93401 • www.caronarchitecture.com

caron

PROJECT HISTORY

The Early Design Guidance meeting was held on July 22, 2013

The Master Use Permit was submitted on August 30, 2013

The Building Permit was submitted on September 26, 2013

Initial Recommendation meeting was held on February 24, 2014

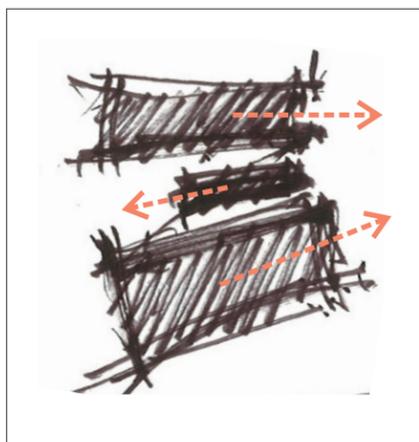
DEVELOPMENT OBJECTIVES

PROPOSED DEVELOPMENT WILL CREATE A MIXED-USE BUILDING WITH RESIDENTIAL UNITS ABOVE GROUND FLOOR COMMERCIAL SPACES. THE GROUND LEVEL WILL CONSIST OF ONE LIVE/WORK UNIT, TWO RESIDENTIAL UNITS, COMMERCIAL SPACE, RESIDENTIAL LOBBY AND PARKING SPACES. OTHER UTILITARIAN FUNCTIONS WILL ALSO BE PROVIDED ON THE GROUND FLOOR FOR THE EASE OF ACCESS AND MAINTENANCE. THE SECOND FLOOR THROUGH FOURTH FLOOR WILL HOUSE A MIX OF STUDIO, ONE BEDROOM, AND TWO BEDROOM UNITS. THE ROOF WILL BE ACCESSIBLE AND BE USED AS THE MAIN AMENITY SPACE FOR TENANTS WITH OPPORTUNITIES FOR ENTERTAINING, GARDENING AND RELAXATION.

THE PROJECT IS NOT REQUIRED TO PROVIDE PARKING SINCE IT IS LOCATED WITHIN THE URBAN VILLAGE. HOWEVER, STRUCTURED RESIDENTIAL PARKING WILL BE PROVIDED ON THE GROUND LEVEL WITH ACCESS OFF OF GREENWOOD AVE. N.

THE MAIN DESIGN CUES OF THE ARCHITECTURAL CONCEPT ARE INFLUENCED BY THE UNIQUE NEIGHBORHOOD CHARACTERISTICS OF FREMONT. THE ECLECTIC AND VIBRANT QUALITIES ARE TRANSLATED TO A SHIFT OF VOLUMES THAT, IN TURN, REVEAL INTERSTITIAL SPACES BETWEEN THE MASSING. THE DESIGN CELEBRATES THESE INTERSTITIAL SPACES, JUST AS FREMONT CELEBRATES THE MULTIFARIOUSNESS AND SYNERGY OF THE NEIGHBORHOOD CHARACTERISTICS.

THE MASSING TAKES ADVANTAGE OF THE NON-RECTANGULAR SHAPE OF THE SITE. THE BUILDING PLAYS OFF THE IRREGULARITY AND ANGLED LINES TO CREATE DYNAMIC SPACES WITHIN, AS WELL AS TO ALLOW MORE LIGHT IN TO THE MASSING CORE.



CONCEPT DIAGRAM

PROJECT DATA

DEVELOPMENT STATISTICS SUMMARY

Lot size : 15,189 sf
 FAR : 3.25
 Allowable : 49,364 sf
 Planned : 48,694 sf

Number of units: 64
 Number of parking stalls: 16
 Parking NOT required

DESIGN TEAM

OWNER

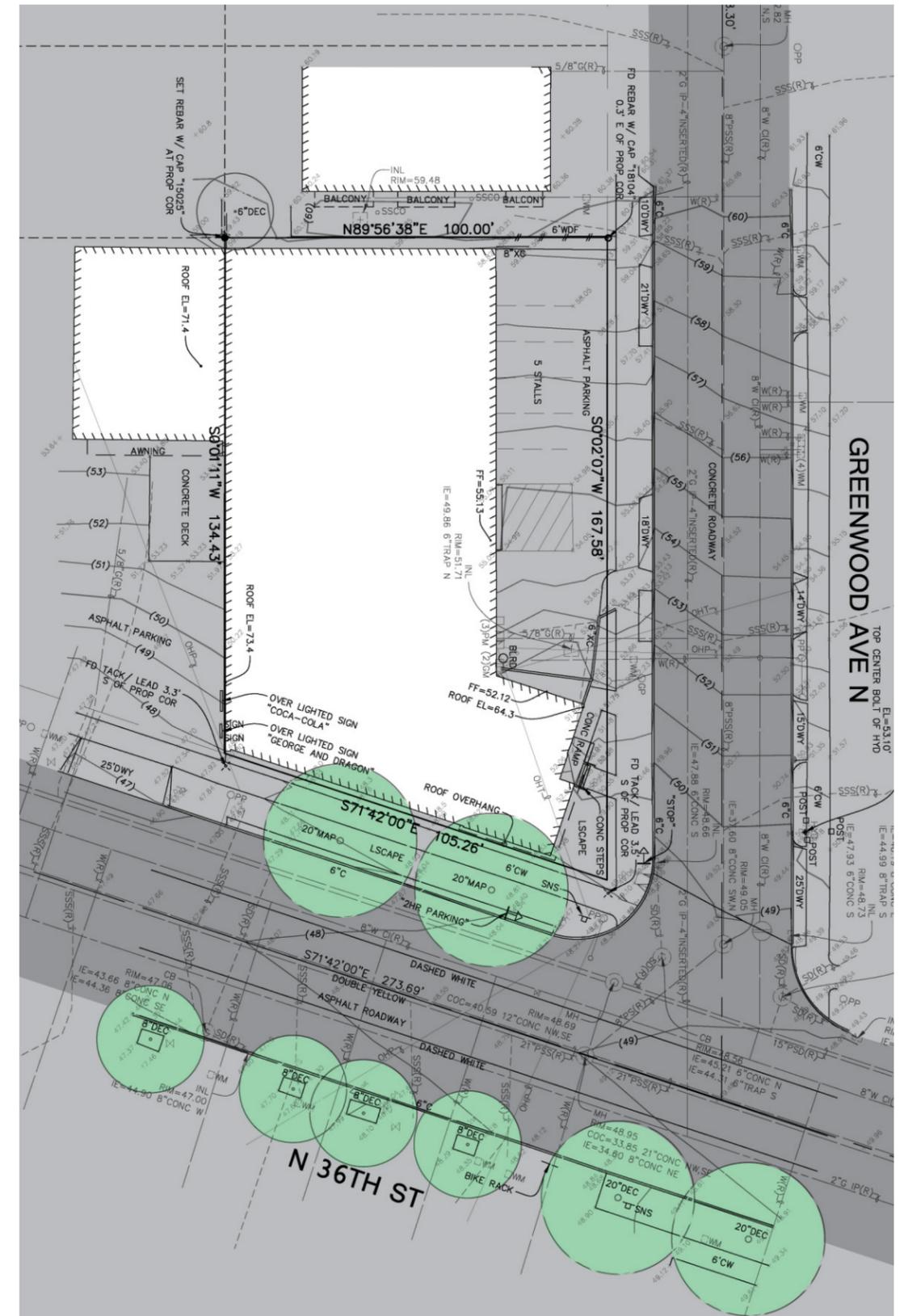
36 FREMONT GREEN LLC
 950 N. 72ND ST. SUITE 100
 SEATTLE, WA 98103

ARCHITECT

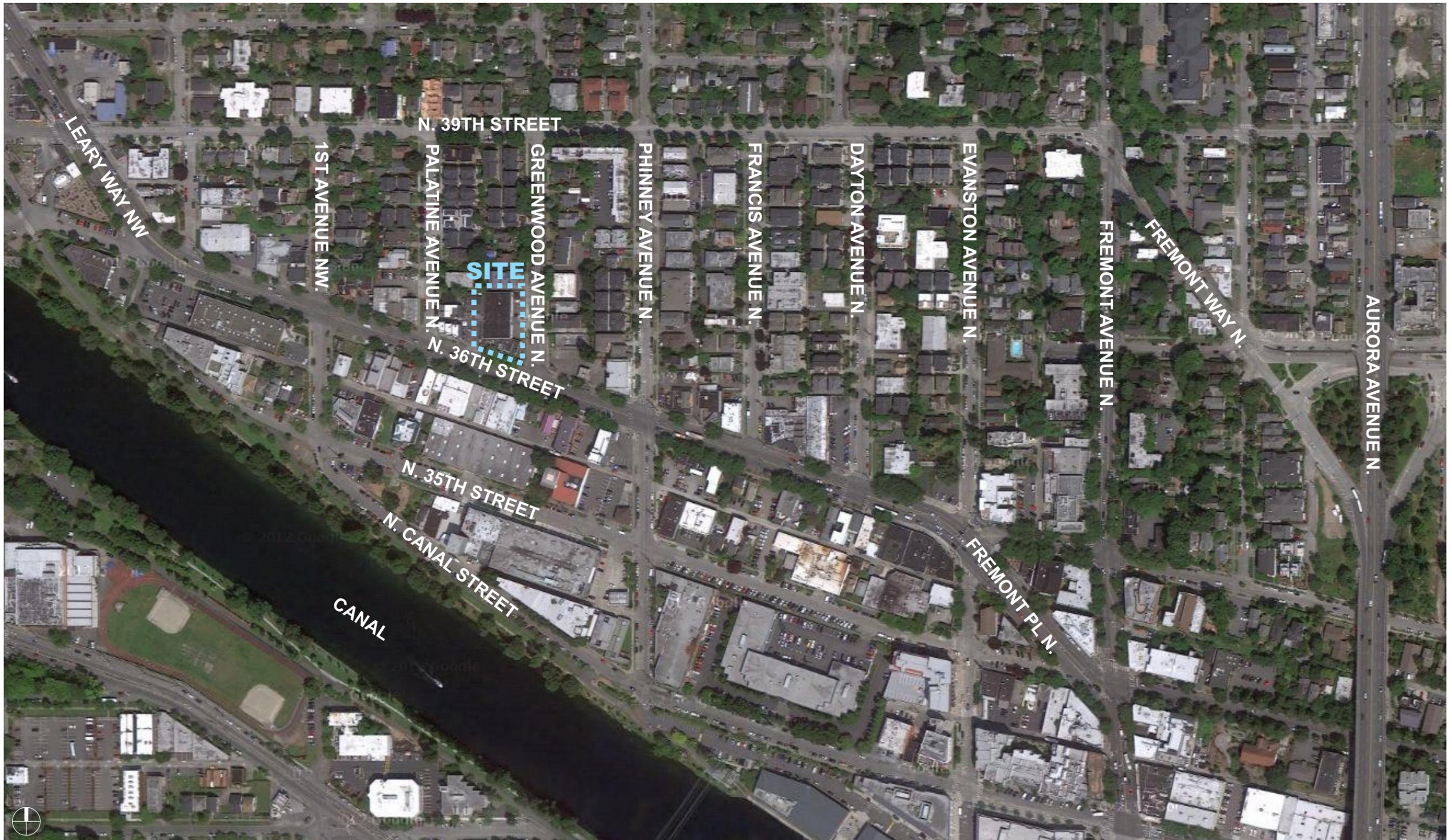
CARON ARCHITECTURE
 2505 3RD AVE. SUITE 300C
 SEATTLE, WA 98121

LANDSCAPE ARCHITECT

KAREN KIEST LANDSCAPE ARCHITECTS
 111 W. JOHN ST. SUITE 305
 SEATTLE, WA 98119

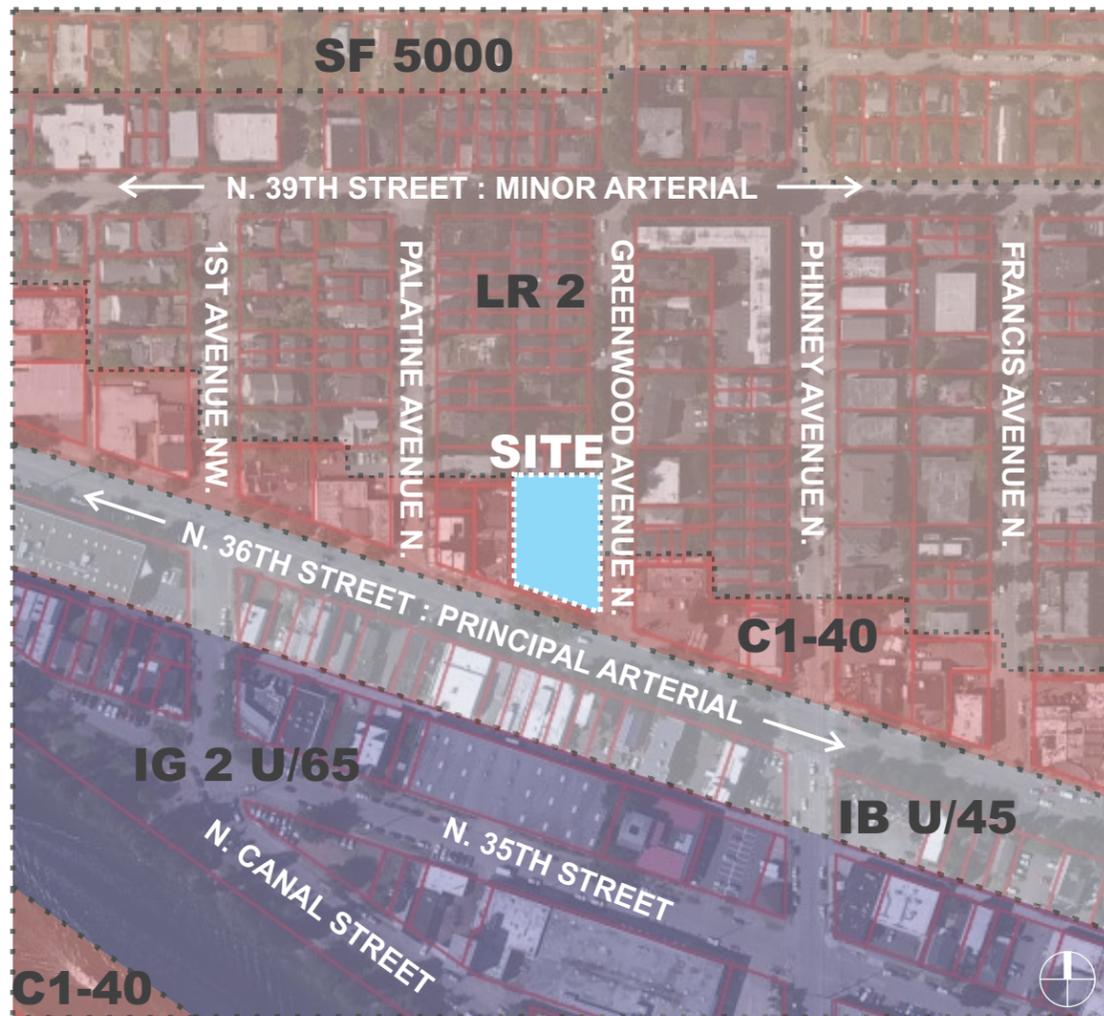


SURVEY OF EXISTING SITE



SITE ANALYSIS

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ZONING LEGEND

- SF 5000 SINGLE FAMILY
- LR 2 LOWRISE 2
- C1-40 COMMERCIAL 1
- IB U/45 INDUSTRIAL BUFFER
- IG 2 U/65 GENERAL INDUSTRIAL 2

THE SITE IS LOCATED ALONG A COMMERCIAL STREET IN THE FREMONT NEIGHBORHOOD. THE AREA IS COMPRISED OF VARIOUS ZONING TYPES, RANGING FROM INDUSTRIAL TO RESIDENTIAL, ALLOWING FOR DIVERSITY IN BUILDING TYPES, SCALES AND AGE. THE SITE IS ZONED C1-40, AND IS SURROUNDED BY THE SAME ZONING, WITH THE EXCEPTION OF THE ADJACENT NORTH PROPERTY, WHICH IS ZONED LR2.

THE VEHICULAR AND PEDESTRIAN TRAFFIC IS HEAVY IN THE AREA. FREQUENT PUBLIC TRANSIT IS READILY AVAILABLE WITH MAJOR BUS ROUTS ON N. 36TH STREET. THE SITE IS LOCATED WITHIN THE FREMONT HUB URBAN VILLAGE, WHICH REQUIRES NO VEHICULAR PARKING. THE SITE SLOPES ABOUT 10FT DOWN FROM NORTH TO SOUTH, AND REMAINS RELATIVELY FLAT FROM EAST TO WEST. THE SITE ABUTS A TOWNHOUSE BUILDING TO THE NORTH, AND A SPORTS BAR TO THE WEST.

SITE ANALYSIS



① Greenwood Ave. N



② N. 39th Street



③ N. 36th Street



④ Greenwood Ave. N



⑤ N. 39th Street



KEY MAP



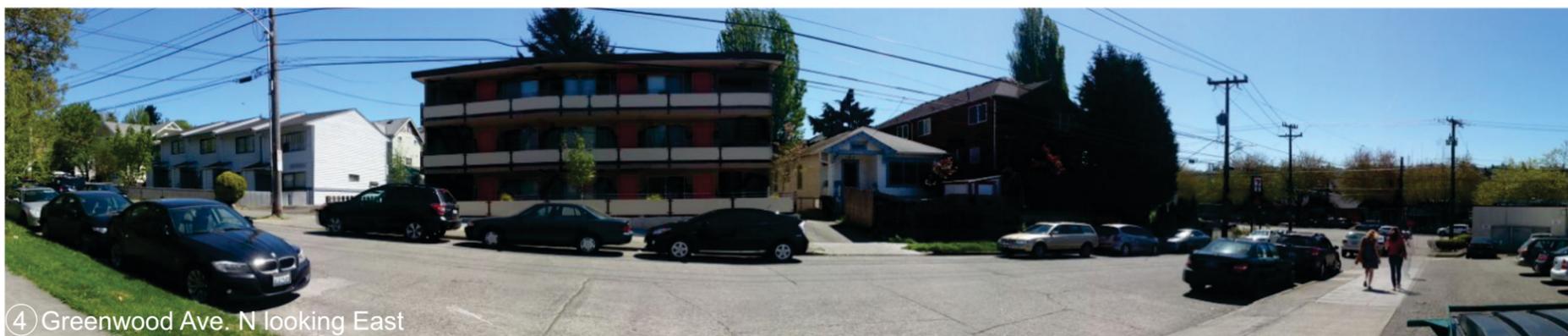
① N. 36th Street looking South



② Greenwood Ave. N looking West



③ N. 36th Street looking North



④ Greenwood Ave. N looking East



SITE PHOTOS

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SMC FOR C1-40	REQUIRED	PROPOSED	COMPLIES
23.47A.004 PERMITTED AND PROHIBITED USES	COMMERCIAL USES INCLUDING EATING & DRINKING ESTABLISHMENTS, SOME ENTERTAINMENT USES, FOOD PROCESSING AND CRAFT WORK, LAB/ RESEARCH FACILITIES, LODGING, MEDICAL SERVICES, OFFICES AND SALES ARE ALLOWED. LIVE-WORK UNITS PERMITTED. RESIDENTIAL USES PERMITTED.	COMMERCIAL USES, LIVE-WORK UNITS AND RESIDENTIAL USES PROPOSED	YES. SEE SHEETS A2.01-A2.05
23.47A.005 STREET-LEVEL USES	B. MINI-WAREHOUSES, WAREHOUSES, OR UTILITY USES MAY NOT ABUT A STREET-LEVEL STREET-FACING FACADE IN A STRUCTURE THAT CONTAINS MORE THAN ONE RESIDENTIAL DWELLING UNIT.	COMMERCIAL USES, LIVE-WORK UNIT, RESIDENTIAL UNITS, RESIDENTIAL LOBBY AND VEHICULAR ACCESS PROVIDED ON STREET-LEVEL STREET-FACING FACADES.	YES. SEE SHEET A1.01 & A2.01
23.47A.006 STREET-LEVEL DEVELOPMENT STANDARDS	A.2.b. BLANK SEGMENTS OF THE STREET-FACING FACADE BETWEEN 2 FEET AND 8 FEET ABOVE THE SIDEWALK MAY NOT EXCEED 20 FEET IN WIDTH. A.2.c. THE TOTAL OF ALL BLANK FACADE SEGMENTS MAY NOT EXCEED 40% OF THE WIDTH OF THE FACADE OF THE STRUCTURE ALONG THE STREET. B.2.a. 60% OF THE STREET-FACING FACADE BETWEEN 2FT AND 8FT ABOVE THE SIDEWALK SHALL BE TRANSPARENT. B.2.b. TRANSPARENT AREAS OF FACADES SHALL BE DESIGNED AND MAINTAINED TO ALLOW UNOBSTRUCTED VIEWS FROM THE OUTSIDE INTO THE STRUCTURE OR, IN THE CASE OF LIVE-WORK UNITS, INTO DISPLAY WINDOWS THAT HAVE A MIN. 3D INCH DEPTH. B.3. NONRESIDENTIAL USES SHALL EXTEND AN AVERAGE DEPTH OF AT LEAST 30FT AND A MIN. DEPTH OF 15FT FROM THE STREET-LEVEL STREET-FACING FACADE. B.3.b. NONRESIDENTIAL USES AT STREET LEVEL SHALL HAVE A FLOOR TO FLOOR HEIGHT OF AT LEAST 13FT. D.1. AT LEAST ONE OF THE STREET-LEVEL STREET-FACING FACADES CONTAINING A RESIDENTIAL USE SHALL HAVE A VISUALLY PROMINENT PEDESTRIAN ENTRY. D.2. THE FLOOR OF A DWELLING UNIT LOCATED ALONG THE STREET-LEVEL STREET-FACING FACADE SHALL BE AT LEAST 4FT ABOVE OR BELOW SIDEWALK GRADE, OR BE SET BACK AT LEAST 10FT FROM THE SIDEWALK.	NO BLANK FACADE EXCEEDING 20FT IS PROVIDED. MAX. BLANK FACADE SEGMENT PROPOSED IS 16.42FT. TOTAL OF ALL PROPOSED BLANK FACADE ALONG 36TH ST. N. IS 6%, AND ALONG GREENWOOD AVE. N. IS 37%. 92% OF FACADE ALONG 36TH ST. N. AND 63% OF FACADE ALONG GREENWOOD AVE. N. PROPOSED TO BE TRANSPARENT. TRANSPARENT AREAS ARE DESIGNED TO ALLOW UNOBSTRUCTED VIEWS INTO THE STRUCTURE. COMMERCIAL SPACE ALONG 36TH ST. N. HAS AN AVERAGE DEPTH OF 38FT. LIVE-WORK UNIT ALONG GREENWOOD AVE. N. HAS A DEPTH OF 32FT. COMMERCIAL SPACE IS PROPOSED TO HAVE 17FT FLOOR TO FLOOR HEIGHT, AND LIVE-WORK UNIT IS PROPOSED TO HAVE 13FT FLOOR TO FLOOR HEIGHT. A PROMINENT PEDESTRIAN ENTRY IS PROVIDED ON GREENWOOD AVE. N. DWELLING UNIT LOCATED ALONG THE STREET-LEVEL STREET-FACING FACADE IS APPROX. AVERAGE 2.9FT BELOW SIDEWALK GRADE. DEPARTURE WAS REQUESTED AT EDG MEETING.	YES. SEE STREET LEVEL DEVELOPMENT STANDARD DIAGRAMS ON THIS SHEET YES. SEE SHEET A4.01 & A4.02 YES. SEE SHEET A3.01 & A3.02 NO. DEPARTURE REQUESTED SEE EDG RESPONSE ON SHEET A0.04.
	E. WHEN A LIVE-WORK UNIT IS LOCATED ON A STREET-LEVEL STREET-FACING FACADE, PORTION OF EACH SUCH LIVE-WORK UNIT IN WHICH BUSINESS IS CONDUCTED MUST BE LOCATED BETWEEN THE PRINCIPAL STREET AND THE RESIDENTIAL PORTION OF THE LIVE-WORK UNIT.	LIVE-WORK UNIT IS PROPOSED TO HAVE THE PORTION IN WHICH BUSINESS IS CONDUCTED AT THE STREET FRONT.	YES. SEE SHEET A2.00 & A5.01
23.47A.012 STRUCTURE HEIGHT	A.1.a.1. THE HEIGHT OF A STRUCTURE MAY EXCEED UP TO 4FT IF A FLOOR-TO-FLOOR HEIGHT OF 13 FT OR MORE IS PROVIDED FOR NONRESIDENTIAL USES AT STREET LEVEL. C.2. OPEN RAILINGS, PLANTERS, PARAPETS AND FIREWALLS MAY EXTEND UP TO 4FT ABOVE HEIGHT LIMIT. C.4. MECHANICAL EQUIPMENT CAN EXTEND UP TO 15FT ABOVE HEIGHT LIMIT, STAIR AND ELEVATOR PENTHOUSES MAY EXTEND UP TO 16FT ABOVE HEIGHT LIMIT, AS LONG AS THE COMBINED TOTAL COVERAGE OF ALL FEATURES DOES NOT EXCEED 20% OF THE ROOF AREA, OR 25% OF THE ROOF AREA IF THE TOTAL INCLUDES STAIR OR ELEVATOR PENTHOUSES OR SCREENED MECHANICAL EQUIPMENT. C.7. PLANTERS AND NON-FIREWALL PARAPETS SHALL BE LOCATED AT LEAST 10FT FROM THE NORTH EDGE OF THE ROOF UNLESS A SHADOW DIAGRAM IS PROVIDED THAT DEMONSTRATES THAT LOCATING SUCH FEATURES WITHIN 10FT OF THE NORTH EDGE OF THE ROOF WOULD NOT SHADE PROPERTY TO THE NORTH ON JANUARY 21ST AT NOON MORE THAN WOULD A STRUCTURE BUILT TO MAX. PERMITTED HEIGHT AND FAR.	ALL NONRESIDENTIAL USES AT STREET LEVEL ARE PROPOSED TO BE MIN. 13FT. ALL PARAPETS, RAILINGS, PLANTERS AND FIREWALLS ARE MAX. 4FT ABOVE HEIGHT LIMIT. STAIR AND ELEVATOR PENTHOUSES ARE MAX. 16FT ABOVE HEIGHT LIMIT. TOTAL ROOF COVERAGE IS 11% OF TOTAL ROOF AREA. NO PLANTERS ARE PROPOSED TO BE LOCATED WITHIN 10FT FROM NORTH EDGE OF THE ROOF. 18 INCH PARAPET PROPOSED, WHICH MAKES MINIMAL DIFFERENCE IN SHADING FROM A STRUCTURE BUILT TO MAX. PERMITTED HEIGHT WOULD.	YES. SEE SHEETS A3.01 & A3.02 YES. SEE SHADOW STUDY.
23.47A.013 FLOOR AREA RATIO	B. 3.25 FAR ALLOWED.	TOTAL SITE AREA, 15,097.10 SF FAR ALLOWED: 49,045.575 SF FAR PROVIDED: 48,693.55 SF	YES. SEE SHEET A0.03
23.47A.014 SETBACK REQUIREMENTS	B.3. FOR A STRUCTURE CONTAINING A RESIDENTIAL USE, A SETBACK IS REQUIRED ALONG ANY SIDE OR REAR LOT LINE THAT ABUTS A LOT IN A RESIDENTIAL ZONE. a. 15FT FOR PORTIONS OF STRUCTURES ABOVE 13FT IN HEIGHT TO A MAX. 40FT. b. FOR EACH PORTION OF A STRUCTURE ABOVE 40FT IN HEIGHT, ADDITIONAL SETBACK AT THE RATE OF 2FT. B.5. NO ENTRANCE, WINDOW, OR OTHER OPENING IS PERMITTED CLOSE THAN 5FT TO AN ABUTTING RESIDENTIALLY ZONED LOT. E.3. RAMPS OR OTHER DEVICES NECESSARY FOR ACCESS FOR THE DISABLED AND ELDERLY, WHICH MEET SEATTLE BUILDING CODE, CHAPTER 11, ARE PERMITTED IN REQUIRED SETBACK.	NORTH PROPERTY LINE ABUTS A RESIDENTIAL ZONE. 15FT SETBACK PROPOSED FOR PORTIONS ABOVE 13FT TO A MAX. 40FT IN HEIGHT FROM EXISTING OR FINISH GRADE WHICHEVER IS LOWER.	YES. SEE SHEET A0.03
23.47A.016 LANDSCAPING AND SCREENING STANDARDS	A.2. GREEN FACTOR SCORE OF 0.3 OR GREATER REQUIRED. B.1. STREET TREE REQUIRED.	GREEN FACTOR SCORE 0.3 OR GREATER PROPOSED.	YES. SEE LANDSCAPE PLANS

LAND USE CODE ANALYSIS

LAND USE ANALYSIS

23.47A.022 LIGHT AND GLARE STANDARDS	A. EXTERIOR LIGHTING MUST BE SHIELDED AND DIRECTED AWAY FROM ADJACENT USES. B. INTERIOR LIGHTING IN PARKING GARAGES MUST BE SHIELDED TO MINIMIZE NIGHTTIME GLARE AFFECTING NEARBY USES. C. DRIVEWAYS AND PARKING AREAS FOR MORE THAN TWO VEHICLES SHALL BE SCREENED FROM ADJACENT PROPERTIES.	EXTERIOR LIGHTING WILL BE SHIELDED AND DIRECTED AWAY FROM ADJACENT USES.	YES. SEE A1.01
23.47A.024 AMENITY AREA	A. 5% OF TOTAL GROSS FLOOR AREA IN RESIDENTIAL USE REQUIRED. B. REQUIRED AMENITY AREAS SHALL MEET THE FOLLOWING STANDARDS: 1. ALL RESIDENTS SHALL HAVE ACCESS TO AT LEAST ONE COMMON OR PRIVATE AMENITY AREA 2. AMENITY AREAS SHALL NOT BE ENCLOSED 3. PARKING AREAS, VEHICULAR ACCESS EASEMENT, AND DRIVEWAYS DO NOT COUNT AS AMENITY AREAS 4. MIN. HORIZONTAL DIMENSION OF 10 FT, AND MIN. SIZE OF 250 SF.	TOTAL RESIDENTIAL USE AREA: 36,168.88 SF AMENITY AREA REQUIRED: 1,808.44 SF PROPOSED AMENITY SPACE: 6,625.66 SF	YES. SEE SHEET A0.03
23.54.015 REQUIRED PARKING	TABLE A.I.I.J & TABLE B.I.I.M. NO PARKING REQUIRED IN URBAN VILLAGES THAT ARE NOT WITHIN AN URBAN CENTER OR THE STATION AREA OVERLAY DISTRICT, IF LOCATED WITHIN 1,320FT OF A STREET WITH FREQUENT TRANSIT SERVICE, MEASURED AS THE WALKING DISTANCE FROM THE NEAREST TRANSIT STOP TO THE LOT LINE. TABLE E.D.2. 1 BICYCLE PARKING REQUIRED PER 4 UNITS. 67 UNITS / 4 = 17 BICYCLE STALLS REQUIRED	PER LETTER FROM BRADLEY WILBURN, SENIOR LAND USE PLANNER, DATED APRIL 26, 2013, IT HAS BEEN DETERMINED THAT EXEMPTIONS LISTED IN 23.54.020.F.2 CAN BE APPLIED TO THIS PROJECT. ADDITIONALLY, BECAUSE THE PROJECT SITE IS LOCATED WITHIN FREMONT HUB URBAN VILLAGE, NO VEHICLE PARKING IS REQUIRED. 20 BICYCLE STALLS PROVIDED	YES. SEE A0.04
23.54.040 SOLID WASTE AND RECYCLABLE MATERIALS STORAGE AND ACCESS	TABLE A: RESIDENTIAL DEVELOPMENT 51-100 DWELLING UNITS REQUIRE 375SF PLUS 45F FOR EACH ADDITIONAL UNIT ABOVE 50. NONRESIDENTIAL DEVELOPMENT OF 0-5,000SF REQUIRE 825F. B. MIXED USE DEVELOPMENT SHALL MEET THE STORAGE SPACE REQUIREMENTS SHOWN IN TABLE A FOR RESIDENTIAL DEVELOPMENT, PLUS 50% OF THE REQUIREMENT FOR NONRESIDENTIAL DEVELOPMENT. STORAGE SPACE FOR GARBAGE MAY BE SHARED BETWEEN RESIDENTIAL AND NONRESIDENTIAL USES, BUT SEPARATE SPACE FOR RECYCLING SHALL BE PROVIDED.	SOLID WASTE AND RECYCLABLE STORAGE PROVIDED TO MEET SPV STANDARD.	YES. SEE A2.01

LAND USE CODE ANALYSIS



City of Seattle
Department of Planning and Development
Diane M. Sugimura, Director

April 26, 2013

Radim Blazej
2505 3rd Ave. Suite #300C
Seattle WA 98121

Re: 3015150 – 3601 Greenwood Ave North
Applicability of SMC 23.54.020.F.2

Dear Mr. Blazej,

This letter is in response to your request for an early determination of the applicability of reductions to minimum parking requirements for development within multifamily and commercial zones when located with 1,320 feet of a frequent transit service pursuant to SMC 23.54.020.F.2.

Based on the information provided (site map and frequent transit service calculation table) and verification of Metro routes, it has been determined that exemptions listed in 23.54.020.F.2 can be applied to your project. Additionally, because the project site is located within Fremont Hub Urban Village no vehicle parking will be required. Bicycle parking will be required.

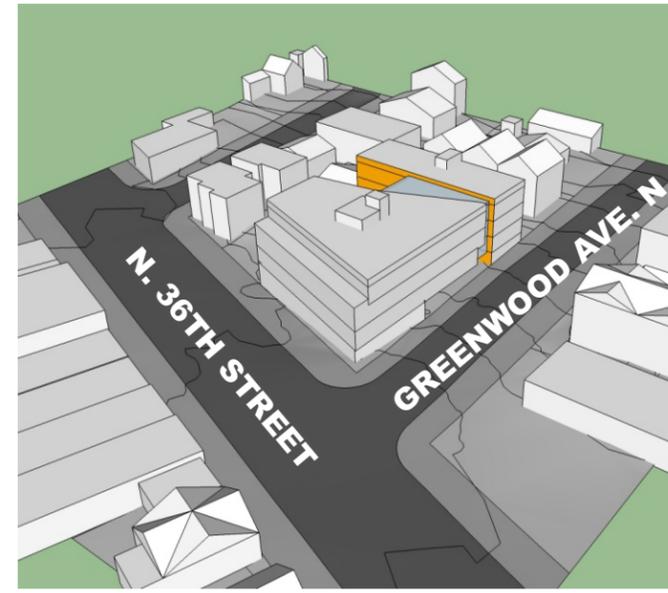
Feel free to provide a copy of this letter when applying for the building permit.

Sincerely,

(Signature on file)

Bradley Wilburn
Land Use Planner, Senior
Department of Planning and Development

PARKING EXEMPTION LETTER



PROS:

- APPEARS LESS MASSIVE ALONG N. 36TH STREET
- LARGER AMENITY SPACE ALONG WEST ON THE PODIUM LEVEL
- CODE COMPLIANT

CONS:

- APPEARS MORE MASSIVE ALONG GREENWOOD AVE. N.
- VEHICULAR ACCESS IN THE MID BLOCK
- MOST UNITS FACING EAST/WEST

MASSING OPTION A

EDG CONCEPT SUMMARY

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PROS:

- LESS MASS TOWARDS LESS INTENSE ZONING

CONS:

- APPEARS MORE MASSIVE ALONG N. 36TH STREET
- APPEARS MORE MASSIVE ALONG GREENWOOD AVE. N.
- VEHICULAR ACCESS IN THE MID BLOCK

MASSING OPTION B

PROS:

- APPEARS LESS MASSIVE ALONG GREENWOOD AVE. N
- MORE DYNAMIC MASSING FITTING WITH THE NEIGHBORHOOD
- GREATER SETBACK ON NORTH TOWARDS LESS INTENSE ZONING
- SMALLER MASSING ON NORTH TOWARDS RESIDENTIAL ZONE

CONS:

- SMALLER AMENITY SPACE ON PODIUM LEVEL
- VEHICULAR ACCESS IN THE MID BLOCK

MASSING OPTION C

PROS:

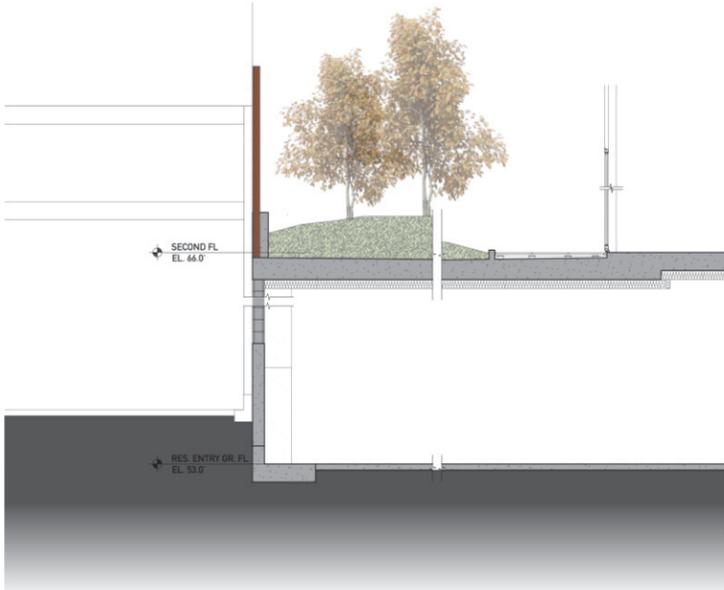
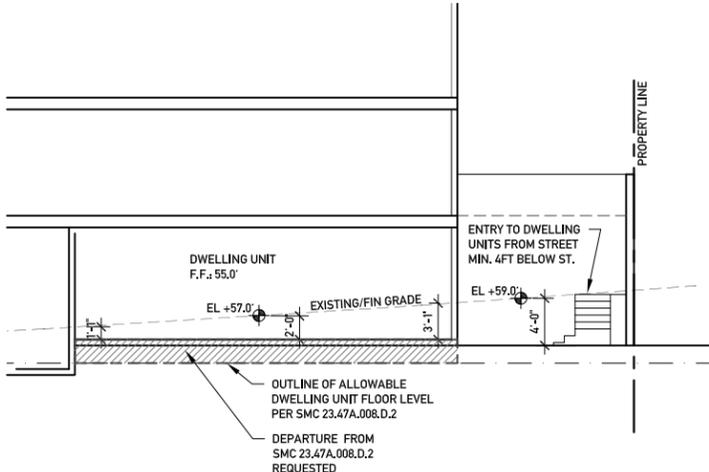
- APPEARS LESS MASSIVE ALONG GREENWOOD AVE. N
- MORE DYNAMIC MASSING FITTING WITH THE NEIGHBORHOOD
- GREATER SETBACK ON NORTH TOWARDS LESS INTENSE ZONING
- SMALLER MASSING ON NORTH TOWARDS RESIDENTIAL ZONE
- STRONG CORNER PRESENCE

MASSING OPTION C - REFINED



RENDERING - VIEW FROM SOUTH EAST CORNER

INITIAL RECOMMENDATION MEETING DIRECTION		RESPONSE
<p><u>CORNER</u></p> <p>Several of these questions were followed up during the Board’s deliberations. First was the alignment of the residential floor plans above the first floor and the effect that placing bedrooms at the corner had on the design. In effect, the building “turned its back” on the neighborhood and provided a situation lacking a desirable “eyes on the street.” The units needed greater openings at the corner and the living rooms belonged there, not bedrooms. The corner was thought to be the “weakest part” of the overall design of the building. The board would expect to see a stronger street presence at the southeast corner of the building, at the upper residential floors. This would appear to necessitate providing living area at the corner units.</p>		<p>Response: The design team agree with board’s recommendation, and revised the floor plans so living rooms are located at the southeast corner. The exterior of the building has been modified to provide strong corner delineation with large openings and the accent material.</p>
<p><u>GROUND FLOOR</u></p> <p>The vertical brick pilasters on the ground-floor, commercial level were at odds with the pronounced horizontality of the upper floors. Brick did not appear to be the proper choice in materials; the Board found the rationalization regarding contextual considerations of Fremont brick usage to be weak; the choice of brick struck the Board as being “too arbitrary.” Wood or concrete might be preferable as materials. The commercial frontage, it was suggested, could be all glass, with structural elements interior to the glass, or the entire lower level facade could respond to other elements of the Fremont look. It should echo the horizontality of the upper floors in some way. The perspective showing the residential entry and the bike rack is “anywhere USA”; it falls with a thud.</p>		<p>Response: The brick has been removed. Instead, the pilasters are proposed to be in concrete with 1’ft horizontal score lines to continue the horizontality of the rest of the building. The storefront also has been modified to add more horizontal mullions.</p>
<p><u>BLANK WEST WALL</u></p> <p>The Board thought that the blank wall on the west facade needed further attention. While unavoidable, the blank wall along the west facade still requires design treatment to reduce pedestrian discomfort and, since highly visible, to increase visual interest along the street scape. The Board was not convinced that the proposed treatment had exhausted the possibilities for a design that promoted pedestrian comfort and visible interest. Although the possibilities may be limited, there remained opportunities that needed further exploration. The EVO building, further west on N. 36th Street, was mentioned as an example of an art treatment of a highly visible blank wall.</p>		<p>Response: The west facade still continues to present challenges since there is no construction easement from the neighbor to the west. The project team is limited to what is physically possible to build only from one side of the wall. After the initial recommendation meeting, the project team redesigned the west facade so it is more integrated to the rest of the building. Per the Board’s request, the renderings show freestanding signs that are on the west neighbor’s property.</p>

INITIAL RECOMMENDATION MEETING DIRECTION		RESPONSE
<p>DECK DESIGN</p> <p>The low level of landscaping at the western edge of the upper roof amenity space does not provide a sufficient buffer to prevent residents from obtruding themselves into the G&D outdoor serving areas. The general design of the rooftop deck lacks detail, but nonetheless is unconvincing as an attractive amenity area or well-functioning space. While the lower amenity area, open to the west, seems to provide a sufficient buffer area at the western edge, a section through the space and through the entire property to the west would be useful to aid in the board's deliberation. In addition to the landscape buffer, add some type of screening/fence atop the wall at the slice through the building, probably of wood to match the other "slices" and with greater openness as it increases in height (No powder-coated aluminum).</p> <p>Likewise, at the north property line, there seems to be an adequate landscape buffer between the proposed structure and the town homes to the north. A question was raised regarding the alignment of windows with those in the town homes. More detailed views and cross sections of the retaining wall and plantings, continuing to the floor levels of the neighboring structures to the north would be most helpful in confirming this. More details and specificity are needed. The trees at the low courtyard should be shown in section. There should be an addition of vines growing down the western portion of the north wall.</p>		<p>Response:</p> <p>More landscaping along the west edge of the roof deck is provided to buffer further from G&D outdoor serving area. This landscaped area is composed of sedum trays with taller plants to clearly demarcate that the planted area is not for walking.</p> <p>On the 2nd floor west deck/lightwell, there will be 8ft tall wood fence along with average of 30ft landscape buffer.</p> <p>Additional cross sections are provided to show the relationship between the neighboring buildings to the proposed structure.</p>
<p>DECK RAILINGS AND BIKE RACKS</p> <p>The deck railings along N. 36th Street needs further scrutiny. Why is the pronounced horizontality of the rooftop handrail not matched with a more pronounced horizontality of the hand rail at the third floor? Why powder-coated aluminum railings off the shelf when architectural consistence would suggest a more industrial or other look?</p> <p>There should be short-term bike parking easily available for patrons of the commercial uses.</p>		<p>Response:</p> <p>The third floor railing now has matching railing as the roof. It will have 18" tall railing with perforated sheet metal above short parapet.</p> <p>Short-term bike parking will be provided at the place shown in the rendering, and on the plating strip along N 36th street, pending approval from SDOT.</p>
<p>DEPARTURES</p> <p>A departure was requested from SMC 23.47A.008.D.2, which requires the floor of a dwelling unit locate along the street level, street-facing facade to be at least 4 feet above or below sidewalk grade, or set back at least 10 feet from the sidewalk. As they had at the EDG meeting, the board indicated that they thought the departure was a reasonable request. The actual recommendation by the Board for granting this request must await the return of the proposal to the Board for a second recommendation meeting and would depend upon the applicant's responses to the Board's guidance given at the interim recommendation meeting and the compatibility of the forthcoming with the Design Review Guidelines.</p>		<p>Response:</p> <p>The design guideline A-6 (old guideline) Transition Between Residential and Street acknowledges that privacy and security are important issues for ground-level housing. The entry to both ground level units are 4ft below sidewalk, and will have security fence to clearly demarcate the line between public and private. The windows facing street are short so they let light in while minimizing the visibility from the street.</p> <p>The new design guideline PL3.A.1.d & PL3.B.2 call for transition elements and space, as well as appropriately scaled and detailed entry that offer privacy, safety and security for building occupants. The gated low fence that leads to common patio provides necessary security and safety for the occupants, and clearly delineates public/private threshold.</p>



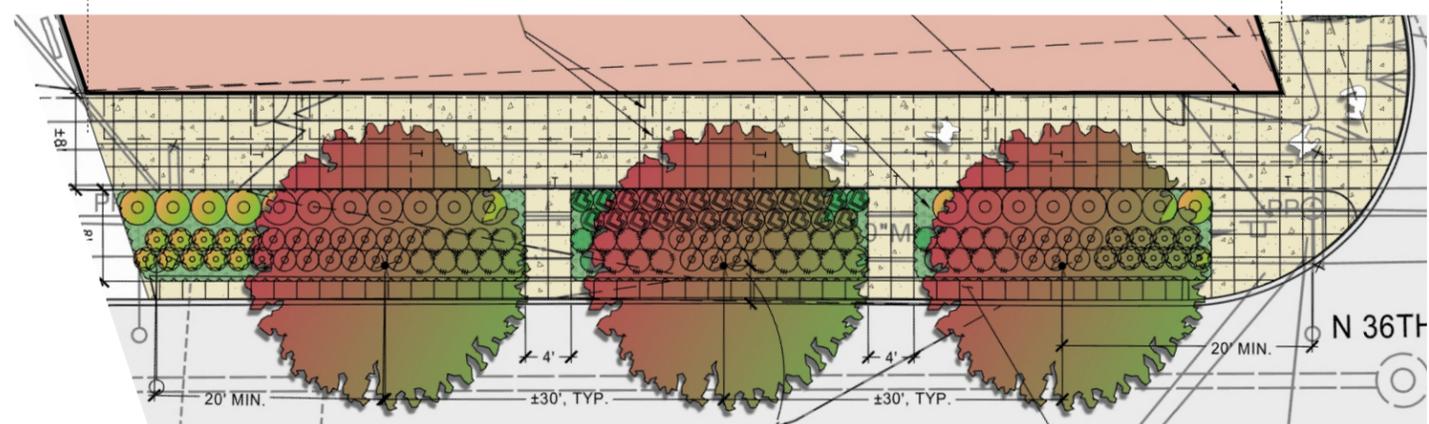
CONSISTENT RAILING THROUGHOUT

STRONGER CORNER PRESENCE

CONSISTENT RAILING THROUGHOUT

EXPOSED CONCRETE WITH HORIZONTAL SCORE LINES

HORIZONTAL STOREFRONT AND BASE



N. 36TH STREET

COLOR ELEVATIONS/ LANDSCAPE PLANS

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STRONG CORNER PRESENCE

C-1 ARCHITECTURAL CONCEPT: SLICE

A-1, A-5, B-1, SHORTER PARAPET AND SMALLER MASSING TOWARDS RESIDENTIAL ZONE

EXPOSED CONCRETE WITH HORIZONTAL SCORE LINES

HORIZONTAL STOREFRONT AND BASE



C-3, D-12 GLAZING AND CANOPIES AT RESIDENTIAL ENTRY

D-6 DUMPSTERS AND UTILITIES NOT VISIBLE FROM THE STREET

A-1, A-5, B-1, D-2, D-3, E-3 SHORTER RETAINING WALL WITH LANDSCAPING



GREENWOOD AVENUE N.

COLOR ELEVATIONS/ LANDSCAPE PLANS

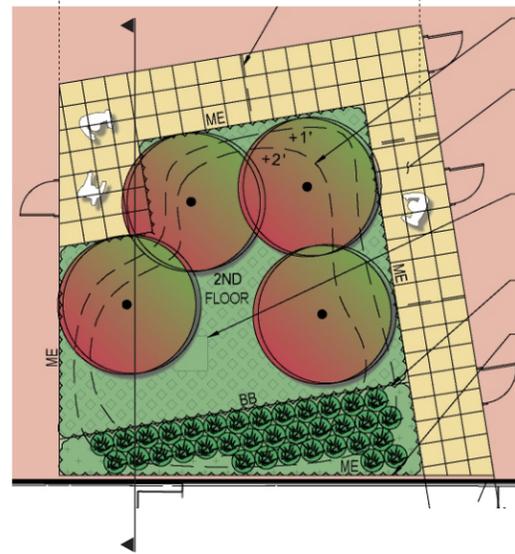
C-1 ARCHITECTURAL CONCEPT: SLICE

A-1, A-5, B-1, SHORTER PARAPET AND SMALLER MASSING TOWARDS RESIDENTIAL ZONE

GEORGE & DRAGON PUB



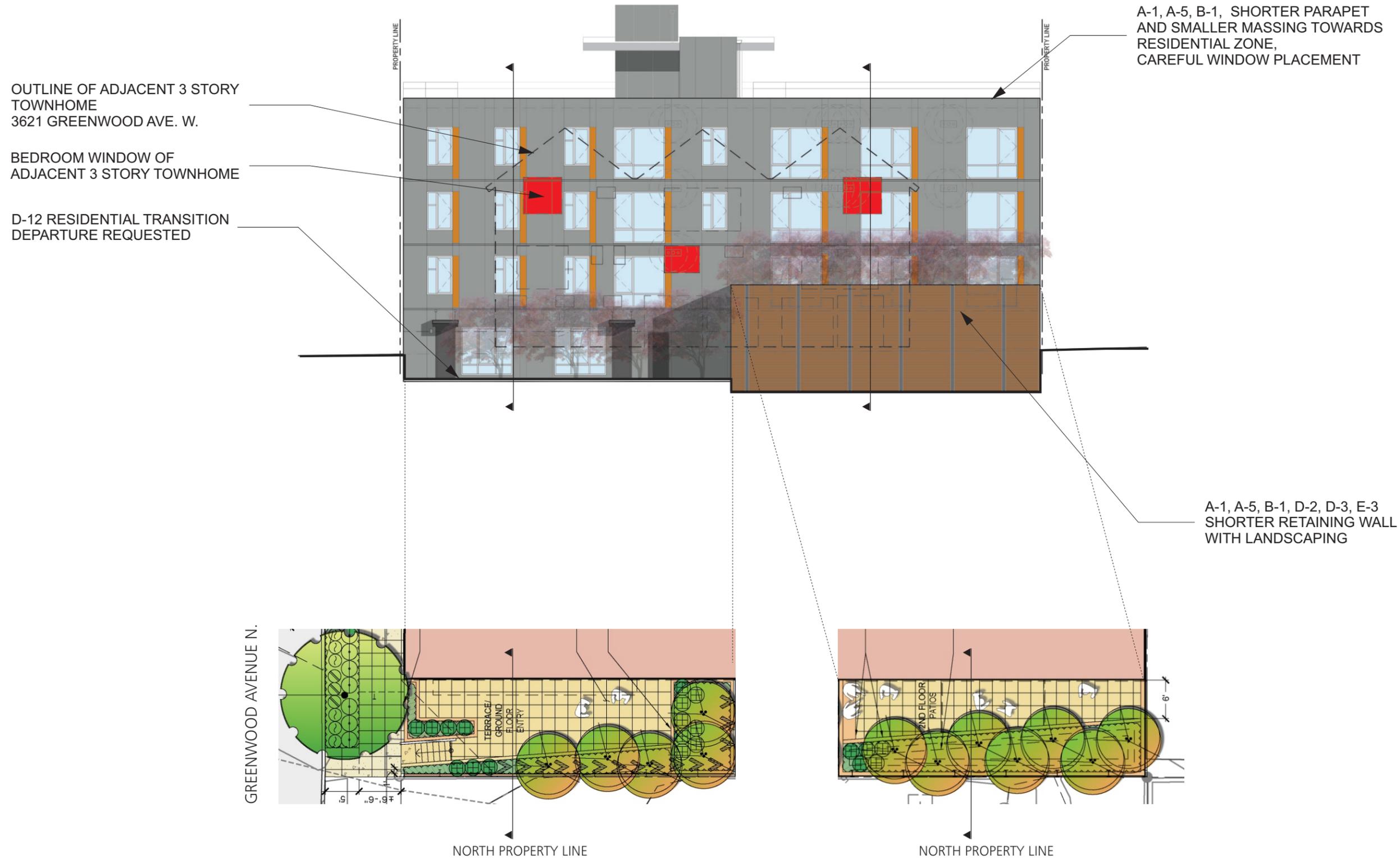
EXISTING GEORGE & DRAGON SIGNAGE
 EXISTING GEORGE & DRAGON SIGNAGE
 8' TALL WOOD FENCE



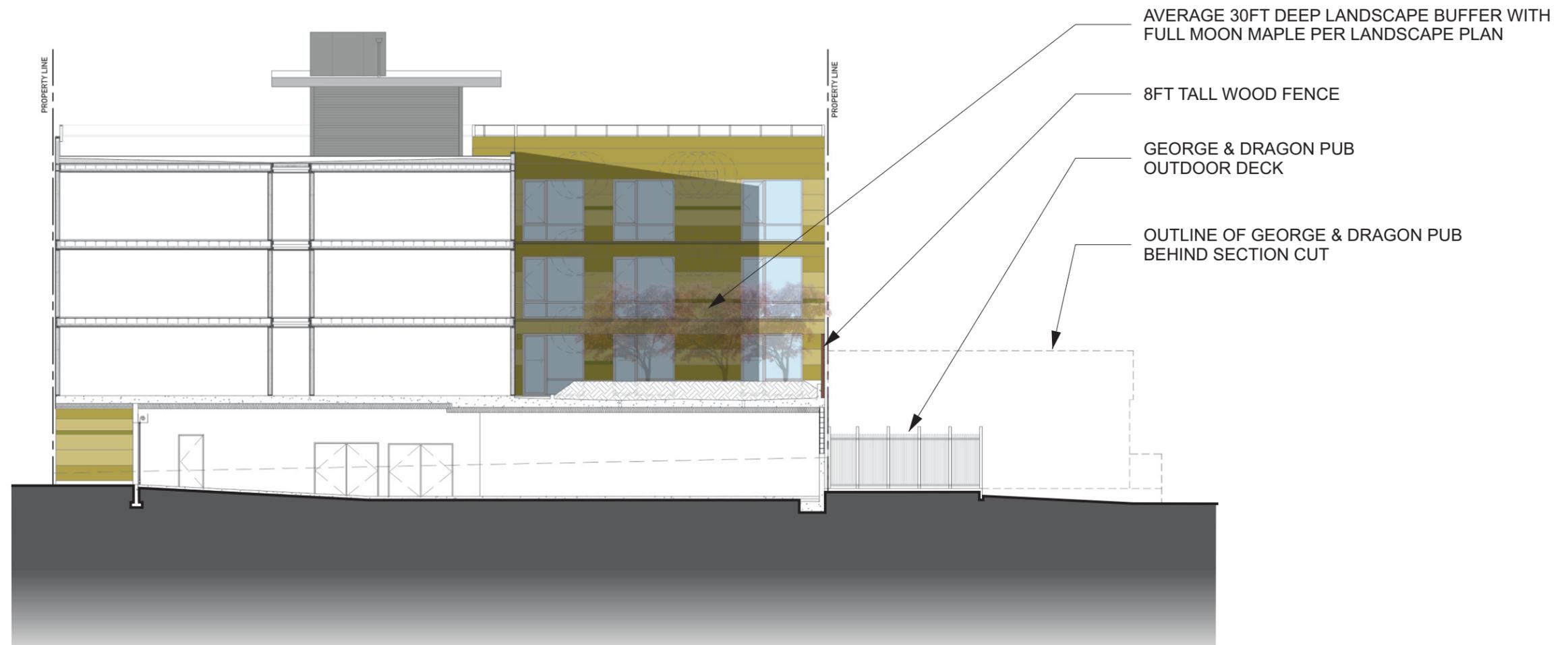
WEST PROPERTY LINE

COLOR ELEVATIONS/ LANDSCAPE PLANS

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COLOR ELEVATIONS/ LANDSCAPE PLANS



SECTION LOOKING SOUTH

COLOR ELEVATIONS/ SECTIONS

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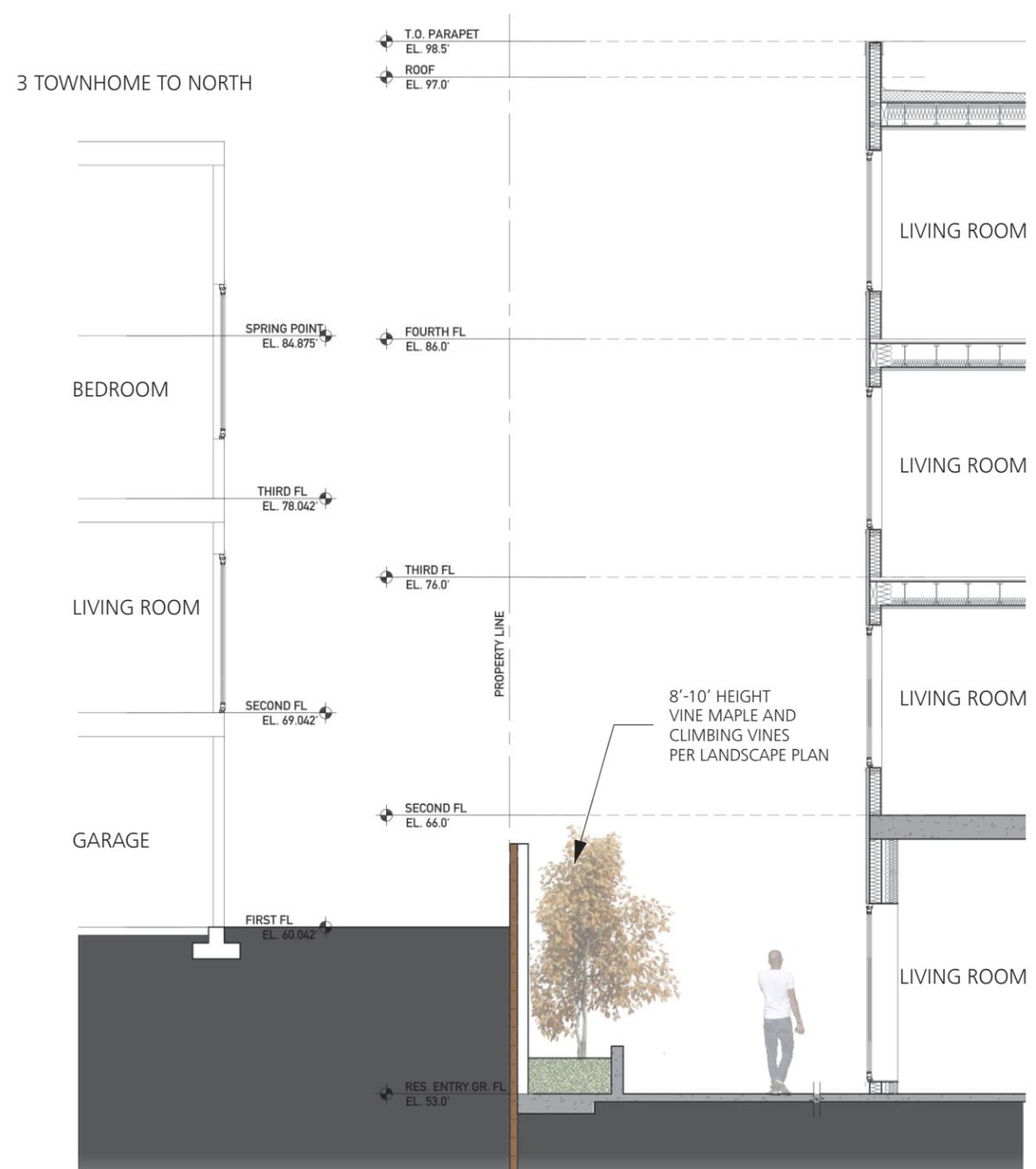
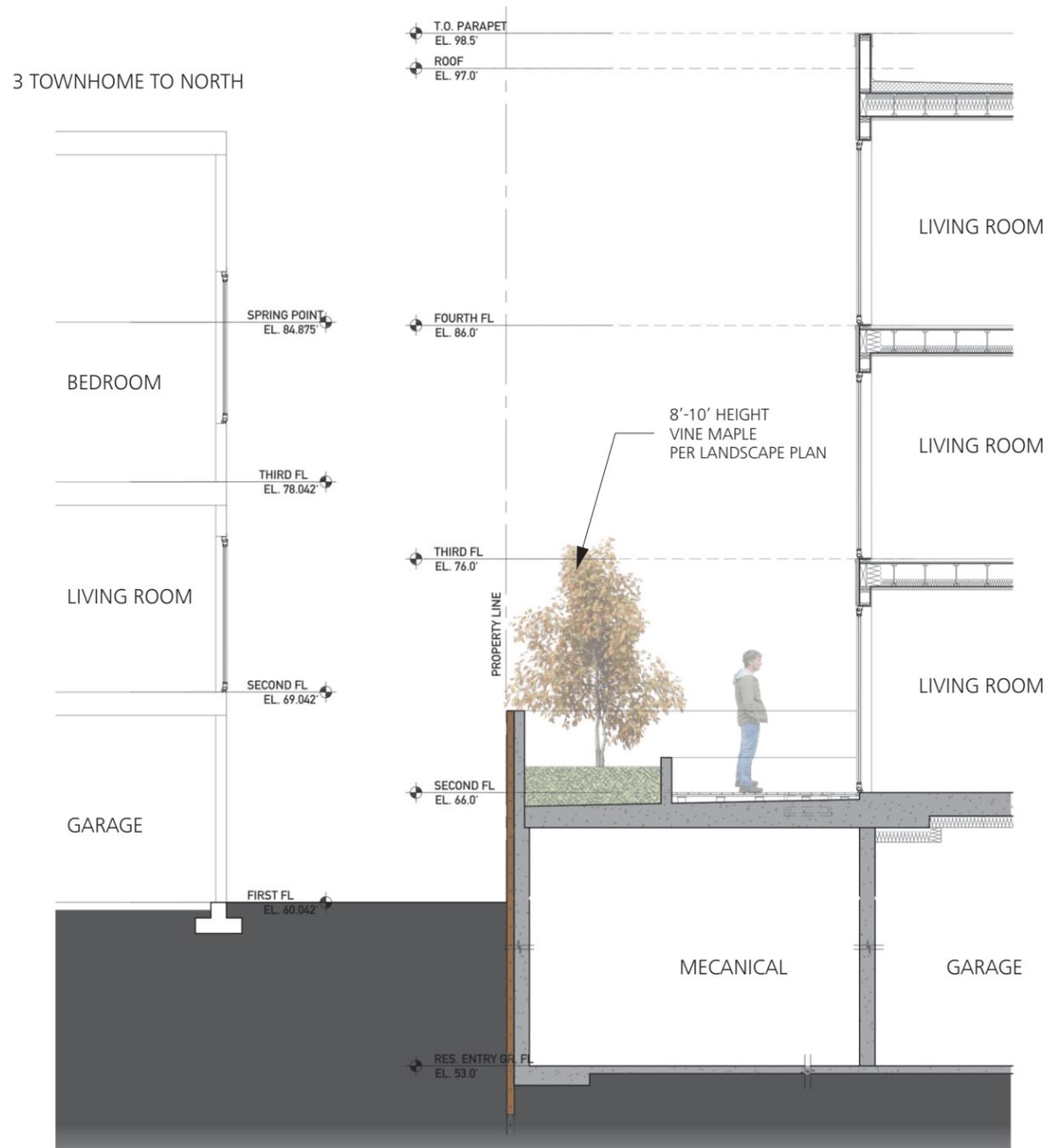
AVERAGE 30FT DEEP
LANDSCAPE BUFFER WITH
FULL MOON MAPLE PER
LANDSCAPE PLAN

8FT TALL WOOD FENCE

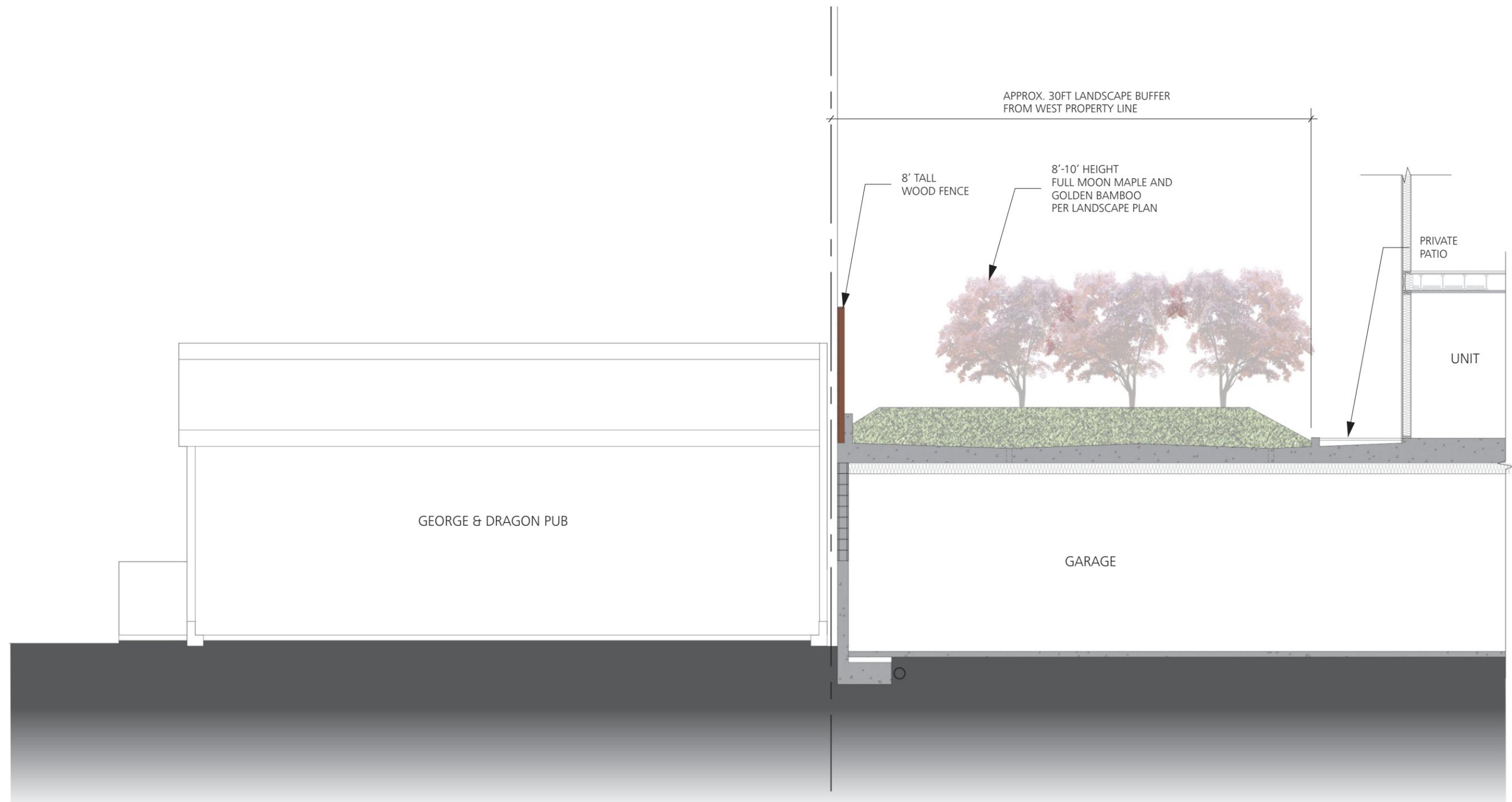
GEORGE & DRAGON PUB



SECTION LOOKING NORTH



SECTIONS THROUGH NORTH COURTYARD



SECTION THROUGH WEST COURTYARD/LIGHTWELL



RENDERING - STREET LEVEL COMMERCIAL AND RESIDENTIAL ENTRY

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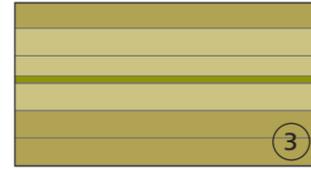
①

FIBER CEMENT PANEL: OFF WHITE



②

FIBER CEMENT PANEL: GRAY



③

FIBER CEMENT STRIPS: GREEN VARIATION



④

WOOD GRAIN COMPOSITE PANEL STRIP



⑤

VINYL WINDOWS: WHITE AND DARK BROWN



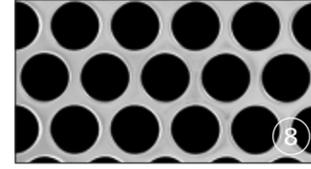
⑥

EXPOSED CONCRETE WITH HORIZONTAL SCORE LINES



⑦

ALUMINUM STOREFRONT : BRONZE ANODIZED



⑧

RAILING : PERFORATED METAL, ROUND HOLE



⑨

CANOPY : PAINTED STEEL CHANNELS AND STRUCTURAL T'S WITH TRANSLUCENT GLASS ON TOP.



RENDERING - VIEW FROM SOUTH EAST CORNER

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RENDERING - VIEW FROM EAST

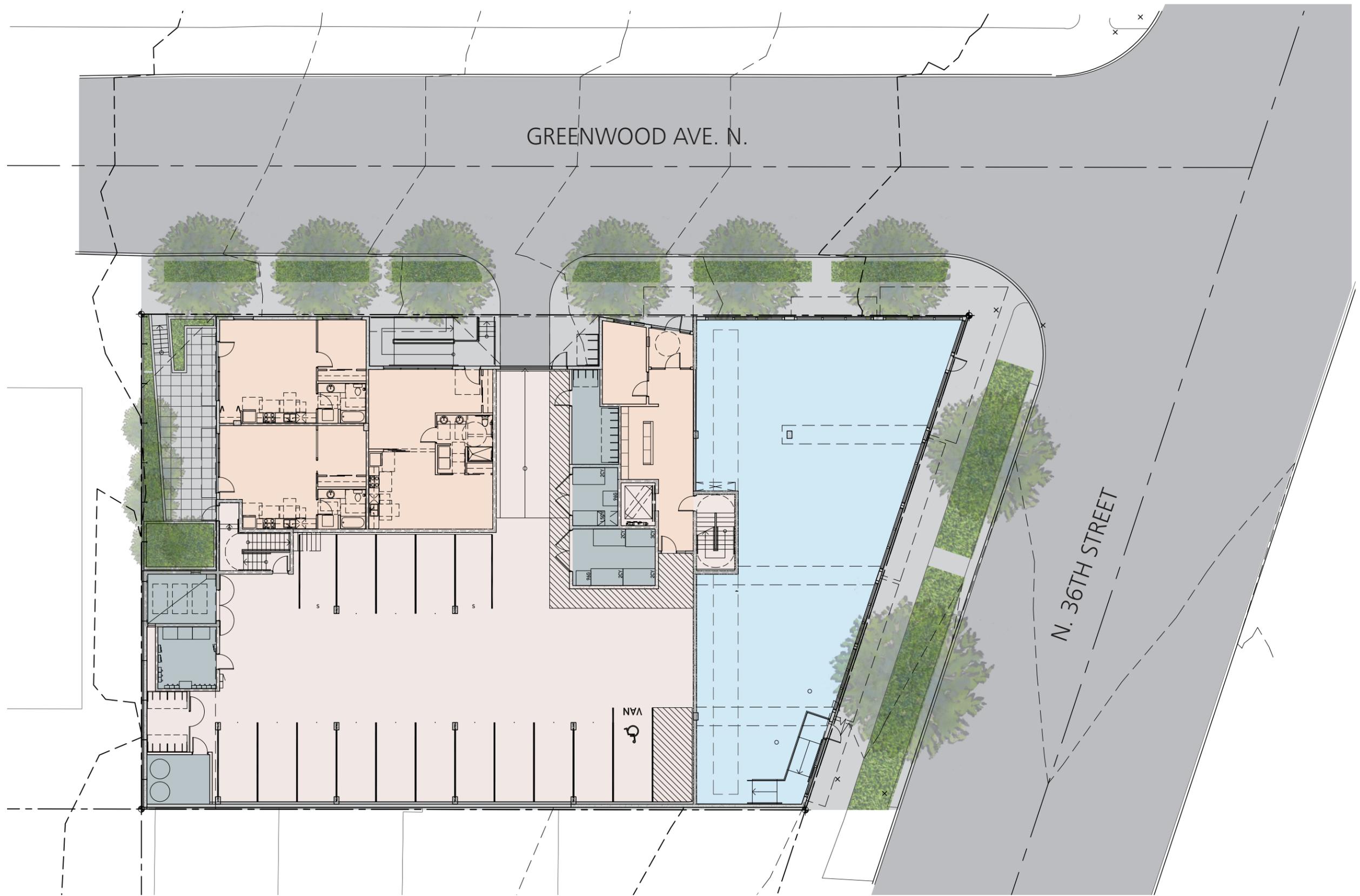


RENDERING - VIEW FROM SOUTH WEST CORNER

04.28.2014 SECOND RECOMMENDATION PACKAGE
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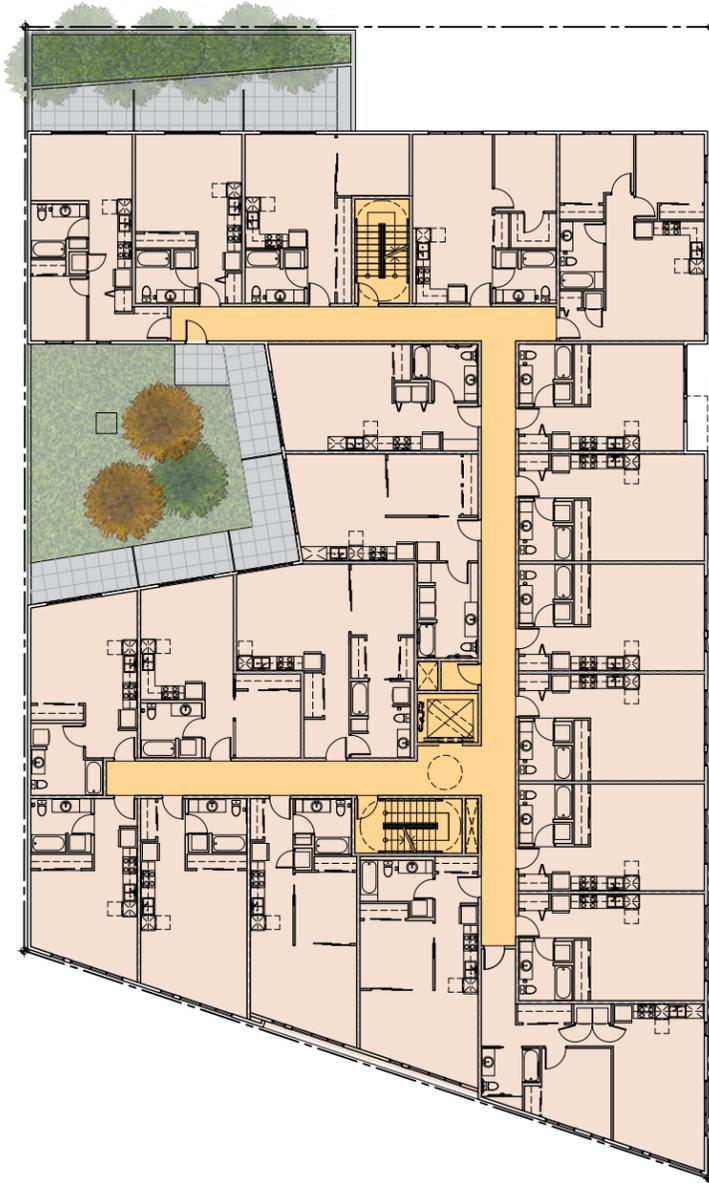


RENDERING - VIEW FROM NORTH EAST CORNER

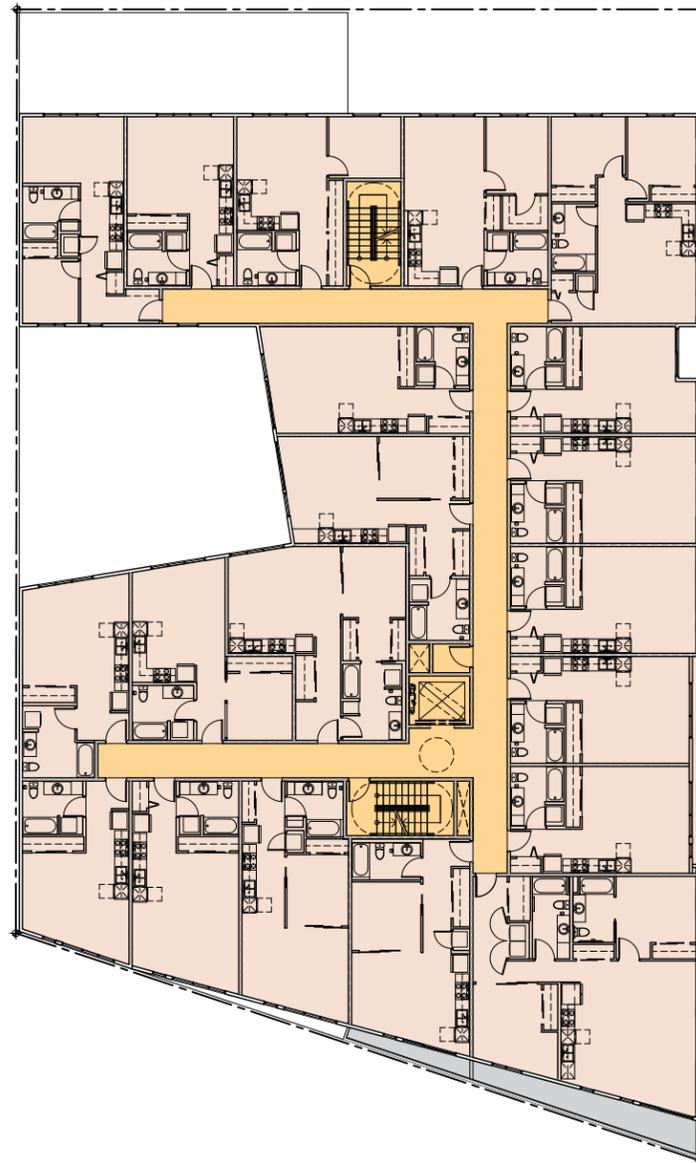


GROUND FLOOR PLAN 

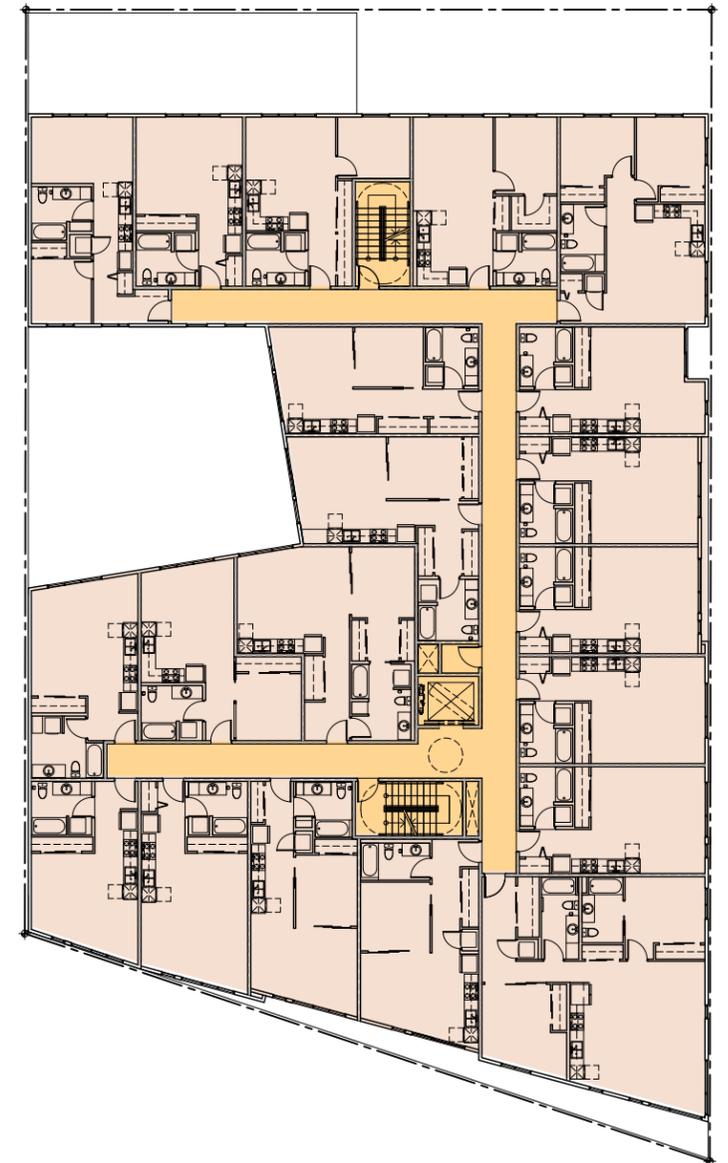
04.28.2014 SECOND RECOMMENDATION PACKAGE
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SECOND FLOOR PLAN 

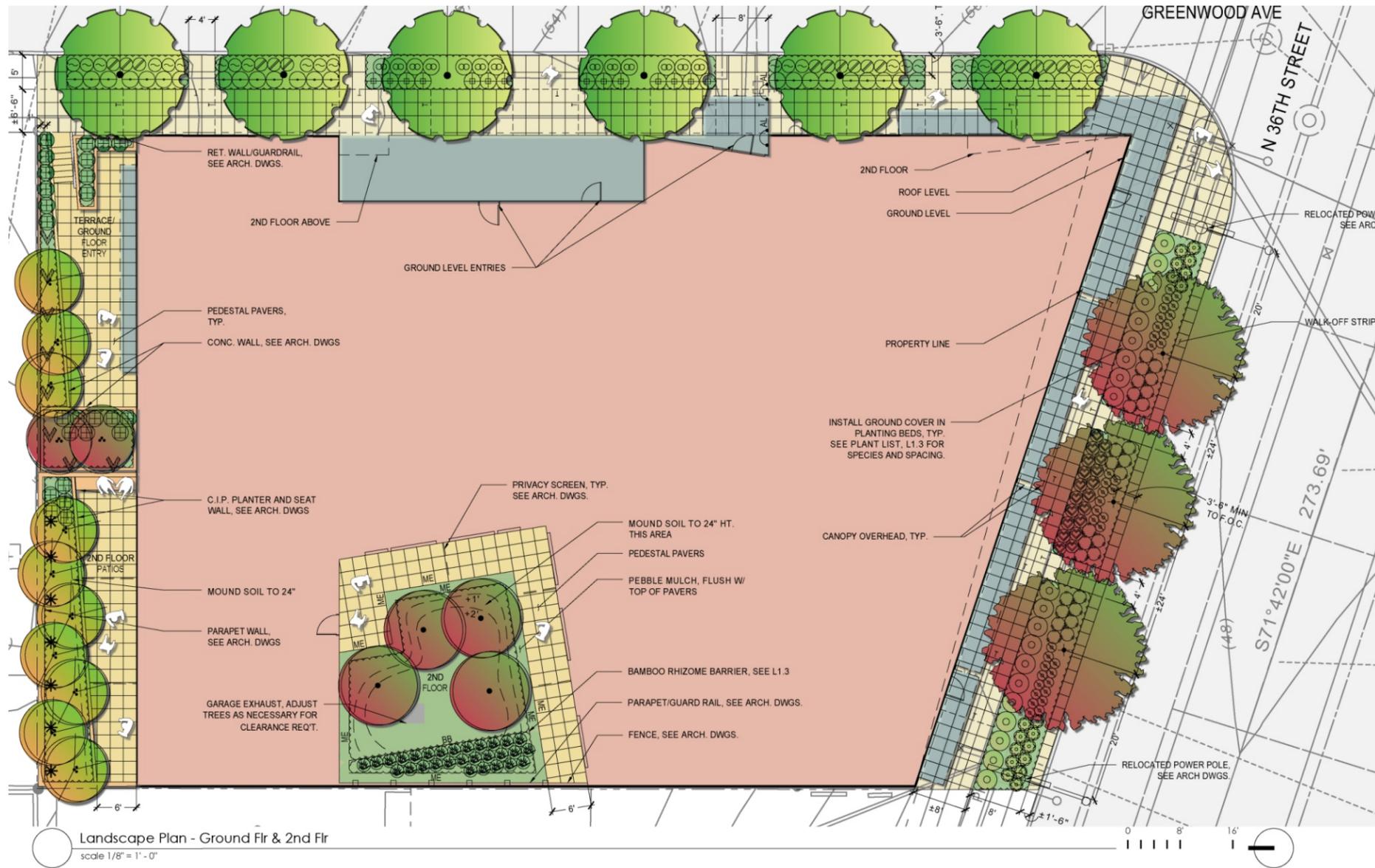


THIRD FLOOR PLAN 



FOURTH FLOOR PLAN 

FLOOR PLANS



PLANT LIST

* DROUGHT TOLERANT PLANTS PER GREEN SEATTLE GREEN FACTOR PLANT LIST
 ** DROUGHT TOLERANT PLANT REFERENCES: - SUNSET WESTERN GARDEN BOOK - GREAT PLANT PICKS - ELISABETH C. MILLER BOTANICAL GARDEN

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	CONDITION	SPACING
STREET TREES					
	ACER TRUNCATUM X A. PLATANOIDES 'WARRENRED'	PACIFIC SUNSET MAPLE	2-1/2" CAL.	B&B	PER PLAN
	ZELKOVA SERRATA 'VILLAGE GREEN'	VILLAGE GREEN ZELKOVA	2-1/2" CAL.	B&B	PER PLAN
ON-SITE TREES					
	ACER CIRCINATUM**	VINE MAPLE	8'-10' HT.	B&B	PER PLAN
	ACER JAPONICUM	FULL MOON MAPLE	8'-10' HT.	B&B	PER PLAN
	ACER PALMATUM 'KATSURA'	KATSURA JAPANESE MAPLE	8'-10' HT.	B&B	PER PLAN
SHRUBS / GRASSES					
	BUXUS MICROPHYLLA JAPONICA 'WINTER GEM'	'WINTER GEM' JAPANESE BOXWOOD	1 GAL.	CONT.	30" O.C.
	CAREX TESTACEA	ORANGE SEDGE	2 GAL.	CONT.	18" O.C.
	CORNUS STOLONIFERA 'KELSEY'	'KELSEY' RED TWIG DOGWOOD	1 GAL.	CONT.	30" O.C.
	HAKONECHLOA MACRA	JAPANESE FOREST GRASS	5 GAL.	CONT.	30" O.C.
	ILEX CRENATA 'HELLER'	'HELLER' JAPANESE HOLLY	1 GAL.	CONT.	24" O.C.
	LONICERA PILEATA	BOXLEAF HONEYSUCKLE	5 GAL.	CONT.	36" O.C.
	NANDINA DOMESTICA 'GULF STREAM'	'GULF STREAM' HEAVENLY BAMBOO	1 GAL.	CONT.	24" O.C.
	PHYLOSTACHYS AUREA*	GOLDEN BAMBOO	5 GAL.	CONT.	36" O.C.
	PIERIS JAPONICA 'CAVATINE'	'CAVATINE' JAPANESE PIERIS	1 GAL.	CONT.	24" O.C.
	ROSA 'AMBER' FLOWER CARPET	'AMBER' FLOWER CARPET ROSE	1 GAL.	CONT.	24" O.C.
	SARCOCOCCA RUSCIFOLIA	SWEET BOX	1 GAL.	CONT.	30" O.C.
	VIBURNUM DAVIDII*	DAVID'S VIBURNUM	5 GAL.	CONT.	30" O.C.
GROUNDCOVERS					
	OPHIPOGON P. 'NIGRESCENS'	BLACK MONDO GRASS	1 GAL.	CONT.	18" O.C.
	LIRIOPE SPICATA	CREeping LILYTURF	1 GAL.	CONT.	18" O.C.
	50% PACHYSANDRA TERMINALIS* 25% DRYOPTERIS ERYTHROSORA 15% BLECHNUM SPICANT 10% HELLEBORUS X HYBRIDUS 'SUNSHINE'	50% JAPANESE SPURGE 25% AUTUMN FERN 15% DEER FERN 10% 'SUNSHINE' HELLEBORE	1 GAL. 1 GAL. 1 GAL. 1 GAL.	CONT. CONT. CONT. CONT.	18" O.C. 18" O.C. 18" O.C. 18" O.C.
	50% EPIMEDIUM ALPINUM* 25% ASTILBE X ARENDII 'PEACH BLOSSOM' 25% POLYSTICHUM MUNIUM**	50% EPIMEDIUM 25% 'PEACH BLOSSOM' ASTILBE 25% SWORD FERN	1 GAL. 1 GAL. 1 GAL.	CONT. CONT. CONT.	18" O.C. 18" O.C. 18" O.C.
VINES					
	JASMINUM NUDIFLORUM	WINTER JASMIN	1 GAL.	CONT.	PER PLAN
	PARTHENOCISSUS QUINQUEFOLIA*	VIRGINIA CREEPER	1 GAL.	CONT.	PER PLAN
GREENROOF PLANTING					
	SEDUM TILE PREVEGETATED MATS*, 8" SOIL DEPTH				
	SEDUM TILE PREVEGETATED MATS*, 5.25" SOIL DEPTH				
COLOR MAX. AVAILABLE FROM ETERA, CONTACT DAVID GILMORE 360.661.2787					
ACCENT PERENNIALS					
	LIATRIS SPICATA 'KOBOLD'	'KOBOLD' GAYFEATHER	1 GAL.	CONT.	PER PLAN
	ECHINACEA PURPUREA	PURPLE CONEFLOWER	1 GAL.	CONT.	PER PLAN
	PENNISETUM ALOPECUROIDES 'LITTLE BUNNY'	'LITTLE BUNNY' DWARF FOUNTAIN GRASS	1 GAL.	CONT.	PER PLAN



Pacific Sunset Maple
Acer trunc. x A. plat.



Zelkova serrata
Village Green Zelkova



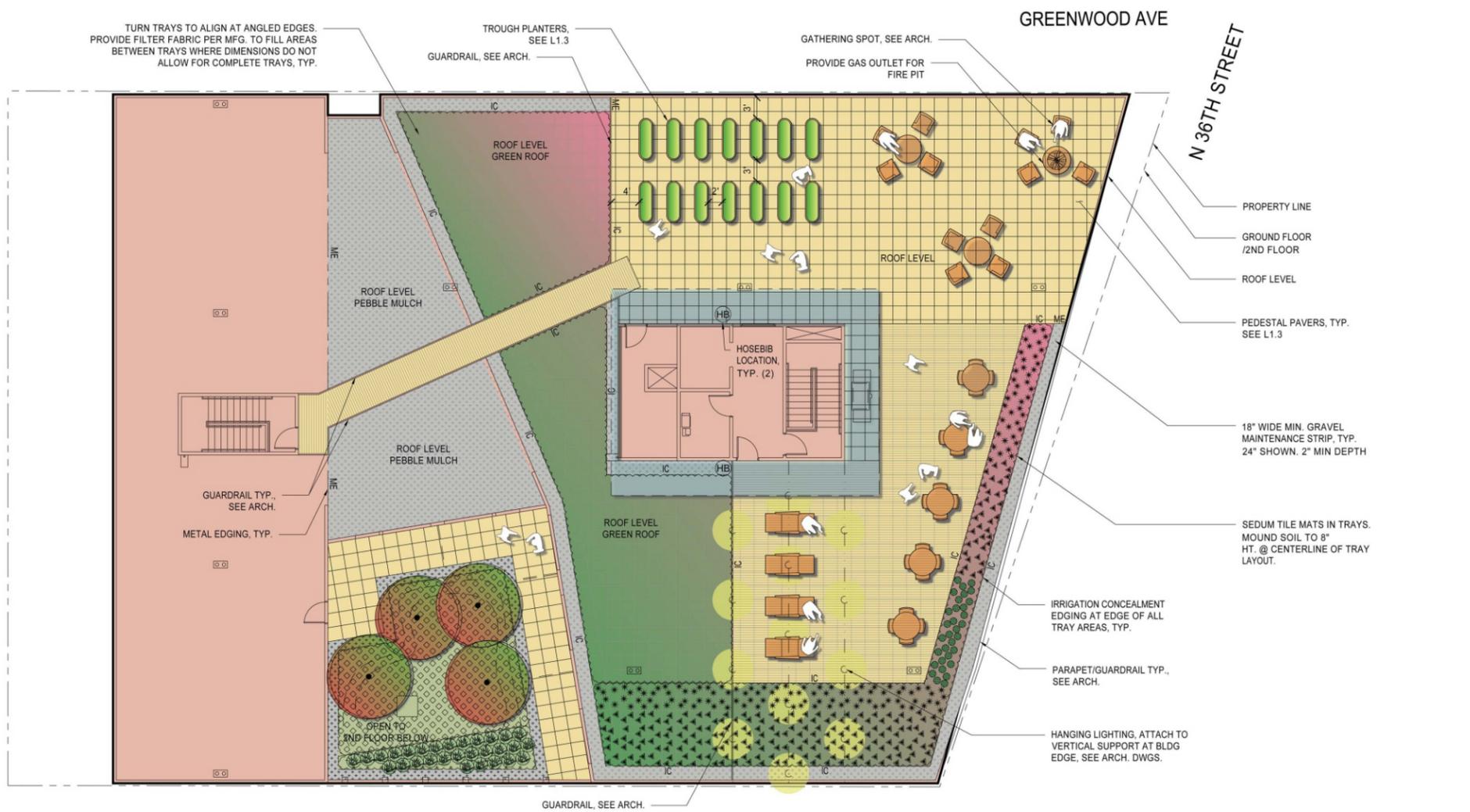
Bamboo



Streetscape

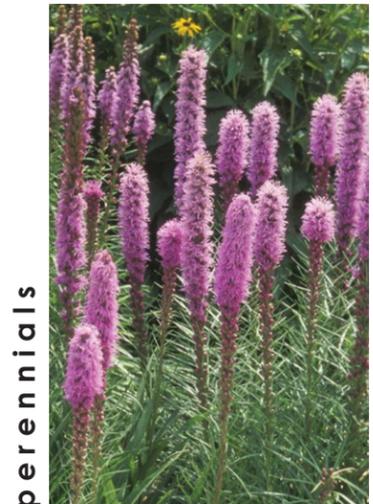


Mounded Soil & Seat Walls



- MATERIALS LIST - STREET LEVEL**
- CONCRETE PAVING
PER COS STD. PLAN 420 W/ THE FOLLOWING EXCEPTIONS:
-SAND COATED EXPANSION JOINTS
-SAW CUT CONTROL JOINTS
-FINISH: ACID ETCHED
 - THROUGH JOINT
- MATERIALS LIST - ON SITE**
- CONCRETE PAVERS
24"x24" HYDRAPRESSED SLABS
W/APPIAN WAY PEDESTAL SYSTEM
COLOR/FINISH: TEXADA - NATURAL
BY ABBOTSFORD CONCRETE PRODUCTS 1.800.863.4091
 - PEDESTAL SYSTEM
APPIAN WAY PEDESTAL SYSTEM
BY ABBOTSFORD CONCRETE PRODUCTS 1.800.863.4091
 - GREEN ROOF TRAYS
ADVANCED VEGETATIVE ROOF SYSTEM (AVRS)
24"x24" TRAYS BY COLUMBIA GREEN TECHNOLOGIES, INC. 503.684.9123. INSTALL PER MFG. INSTRUCTION.
 - GREEN ROOF MULTI-LAYER SYSTEM - AS REQ'D TO FILL GAPS BETWEEN TRAYS
ADVANCED VEGETATIVE ROOF SYSTEM (AVRS)
MULTI-LAYER SYSTEM, BY COLUMBIA GREEN TECHNOLOGIES, INC. 503.684.9123. INSTALL PER MFG. INSTRUCTION.
 - METAL EDGING
GEODEDGE ALUMINUM RESTRAINT, AVAIL. FROM COLUMBIA GREEN TECHNOLOGIES, INC. 503.684.9123. INSTALL PER MFG. INSTRUCTION.
 - IRRIGATION CONCEALMENT EDGING
AVRS EDGING - IRRIGATION CONCEALMENT, AVAIL. FROM COLUMBIA GREEN TECHNOLOGIES, INC. 503.684.9123. INSTALL PER MFG. INSTRUCTION.
 - BAMBOO RHIZOME BARRIER
AVAIL. FROM BEAUTY AND THE BAMBOO, 206.781.9790
 - PEBBLE MULCH
7/8" DIA CLEAN-WASHED GRANITE, AVAIL. FROM QUARRY S/E, INC., 525 SOUTH FRONT STREET, SEATTLE, WA 98108 206.522.8670, SEE PLAN FOR DEPTHS
 - ROOF DECKING
24"x24" IPE WOOD TILES ON PEDESTAL
 - GUARDRAIL, SEE ARCH.
 - TROUGH PLANTERS
6' L X 2' W X 24" MIN H GALVANIZED STOCK TANK
W/ (3) 1/2" DIA DRAINAGE HOLES IN BOTTOM
 - ROOF LIGHTING
SEE ARCH. DWGS.
 - SITE FURNITURE
OWNER FURNISHED

Landscape Plan - Roof Deck
scale 1/8" = 1' - 0"



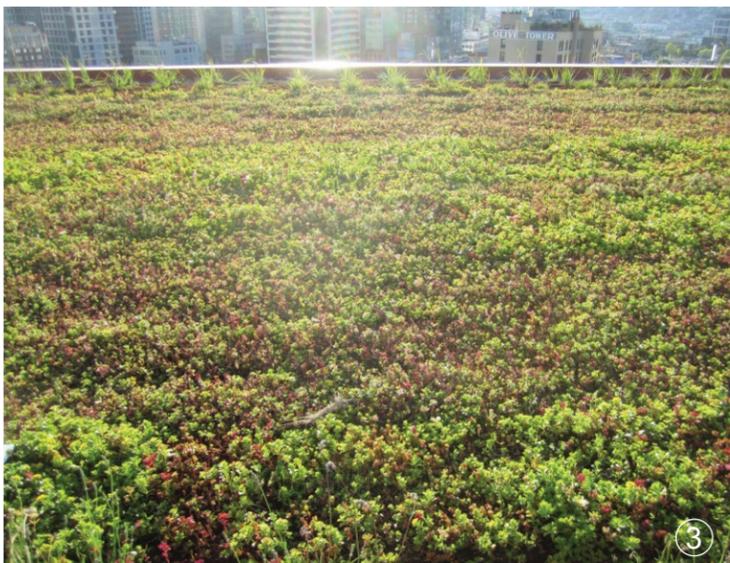
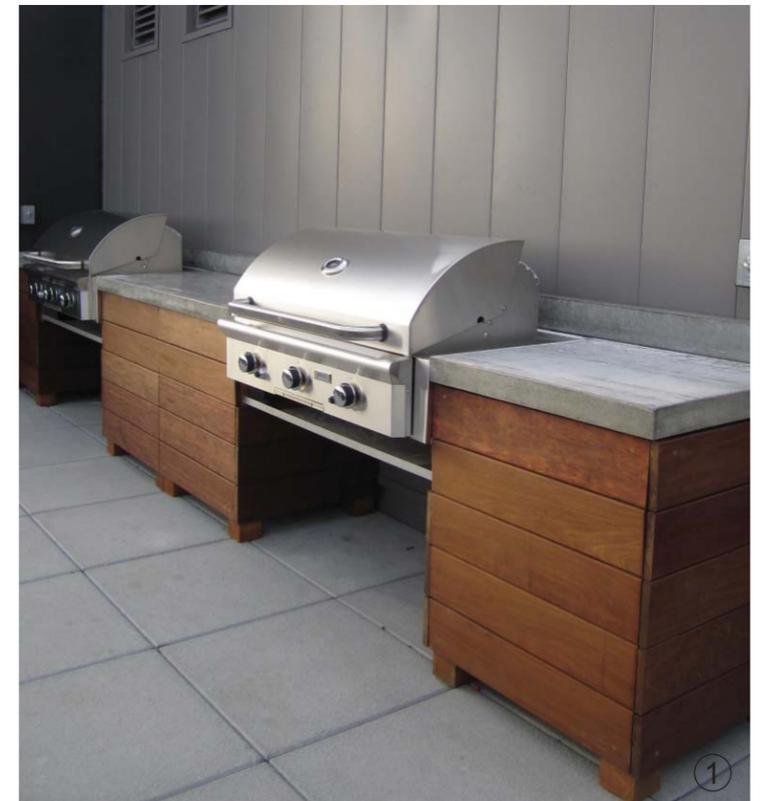
rooflevel

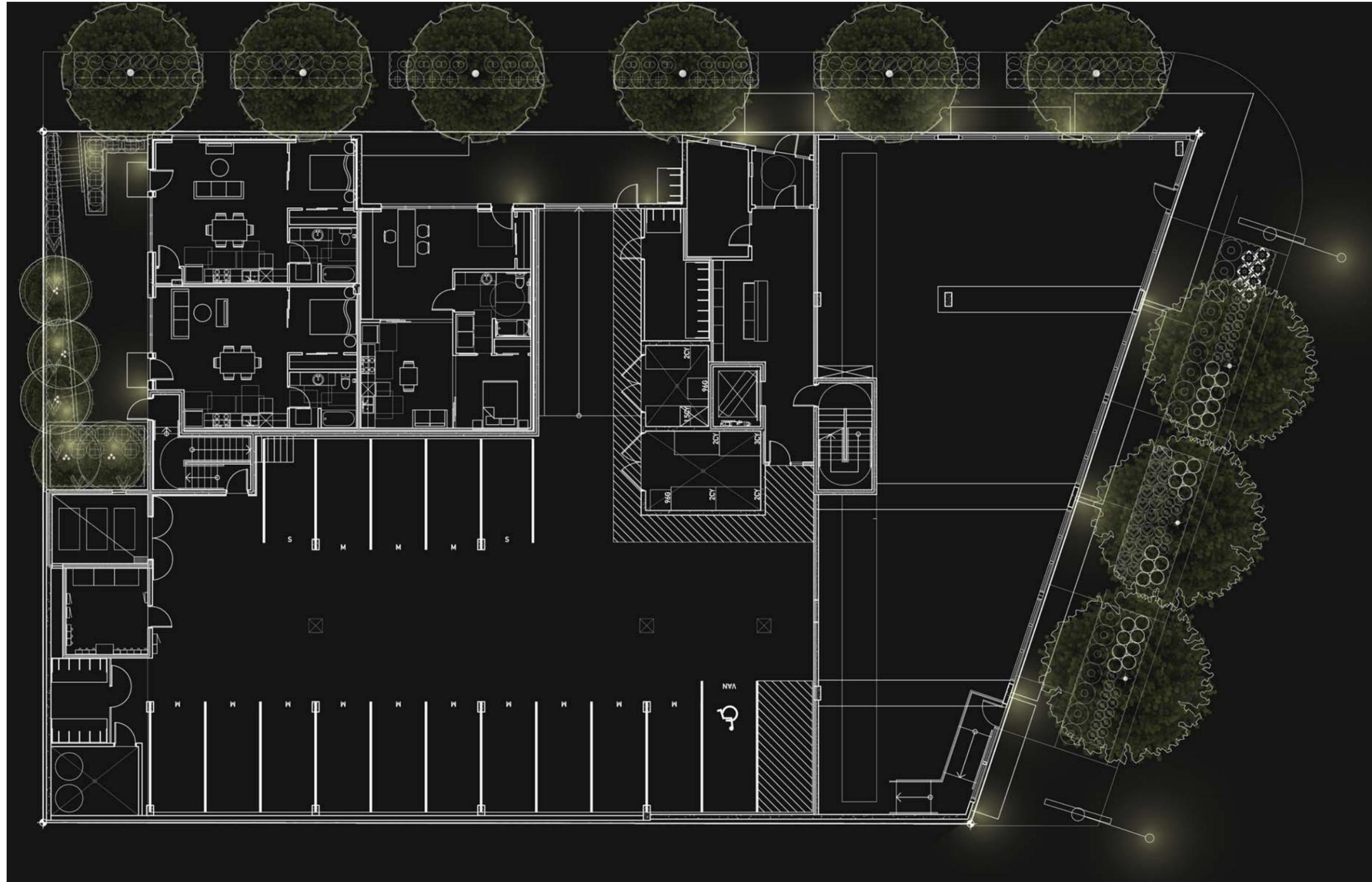




RENDERING - AERIAL VIEW OF ROOF DECK

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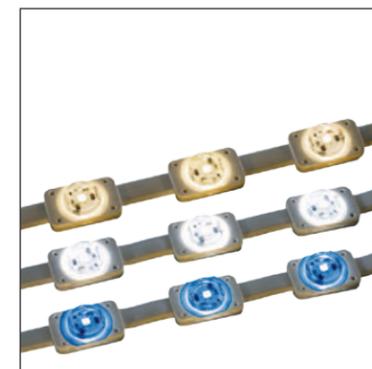




EXTERIOR WALL MOUNT:
VISION 3 WM1
OR SIM.



EXTERIOR ACCENT LIGHTING:
LUMIERE CAMBRIA OR SIM.



INDIRECT LED WALL WASH:
TOKISTAR TOKILUM OR SIM.



INDIRECT LED WALL WASH:
TOKISTAR REVLER OR SIM.

GROUND LEVEL LIGHTING PLAN 

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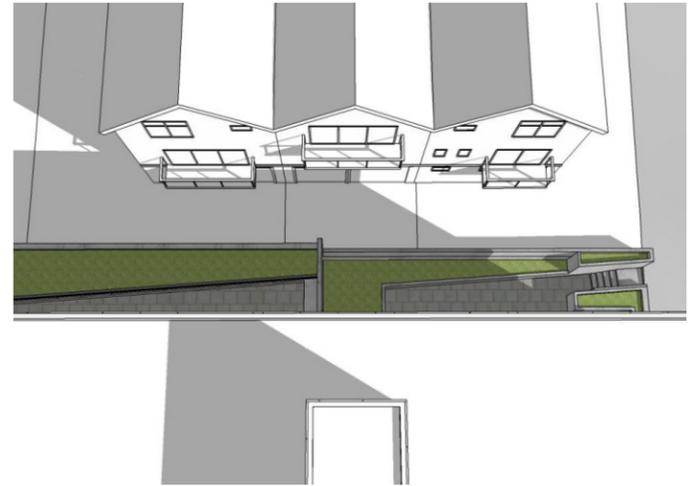
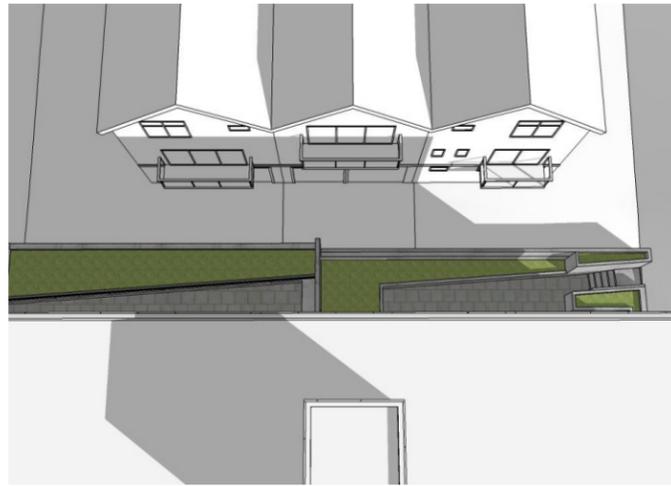
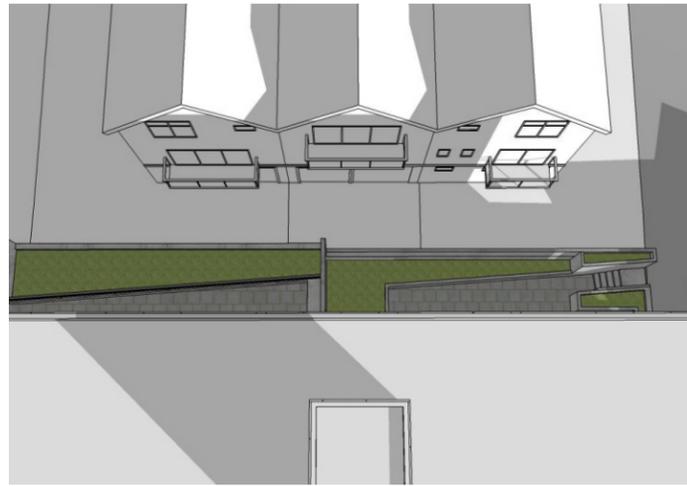
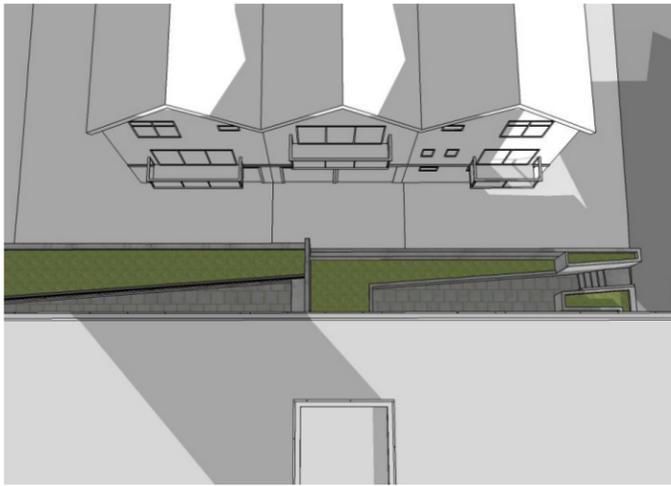


RENDERING - NIGHT VIEW SOUTHEAST CORNER

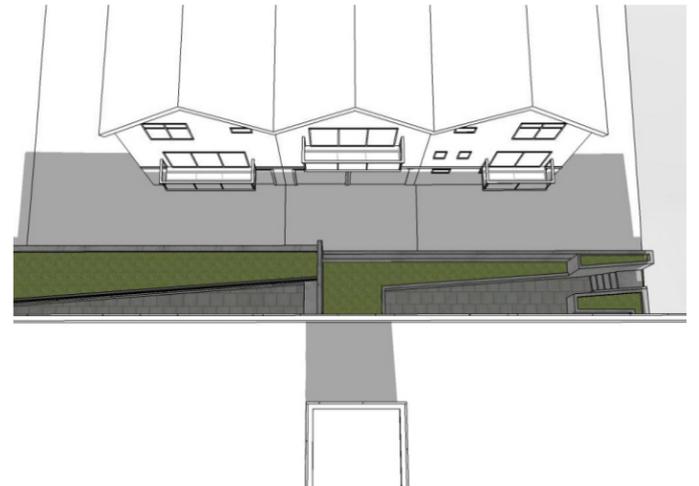
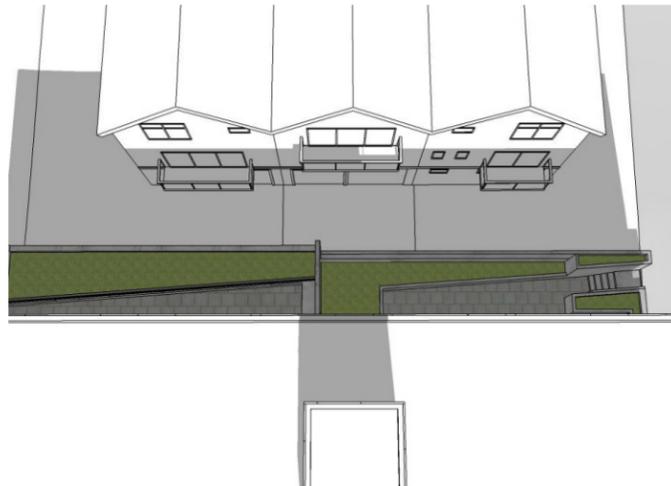
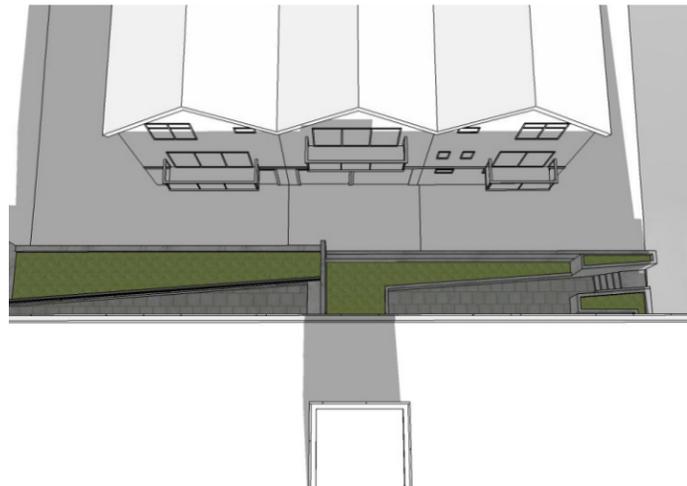
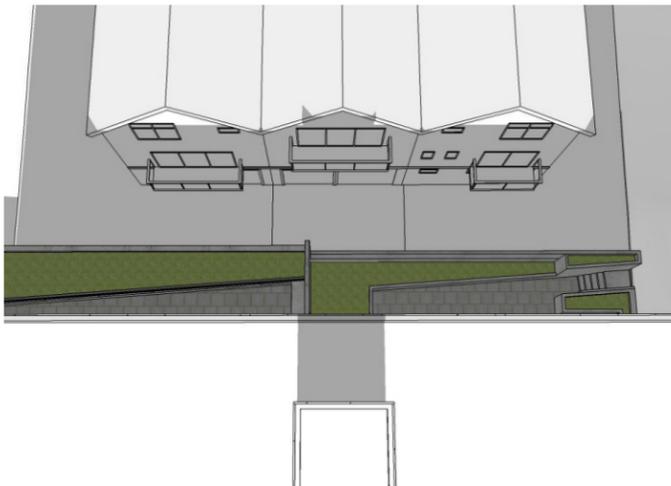


RENDERING - NIGHT VIEW EAST FACADE

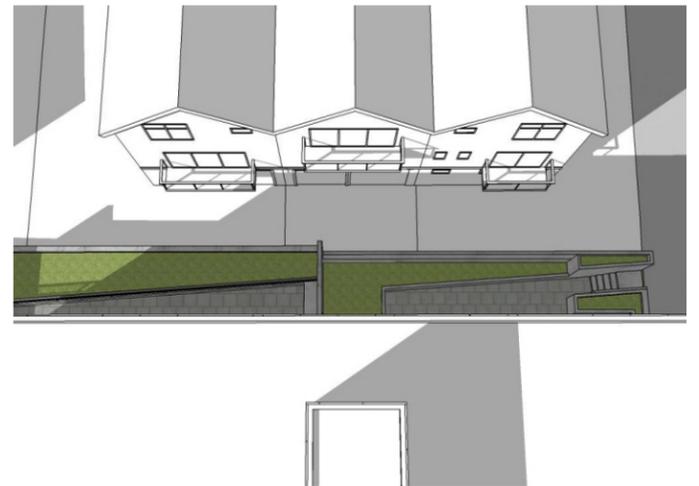
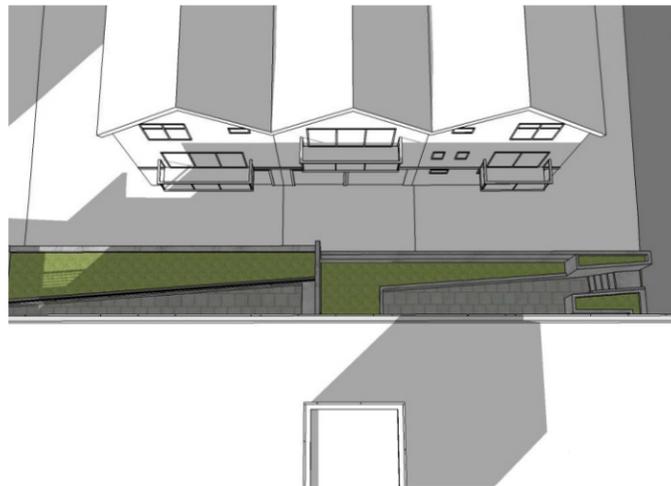
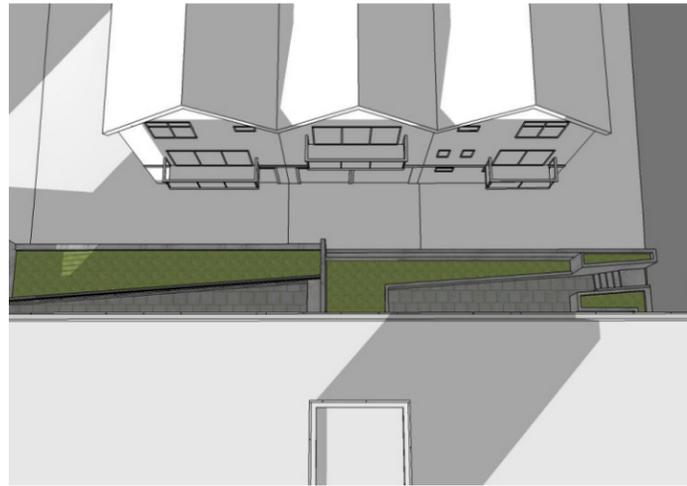
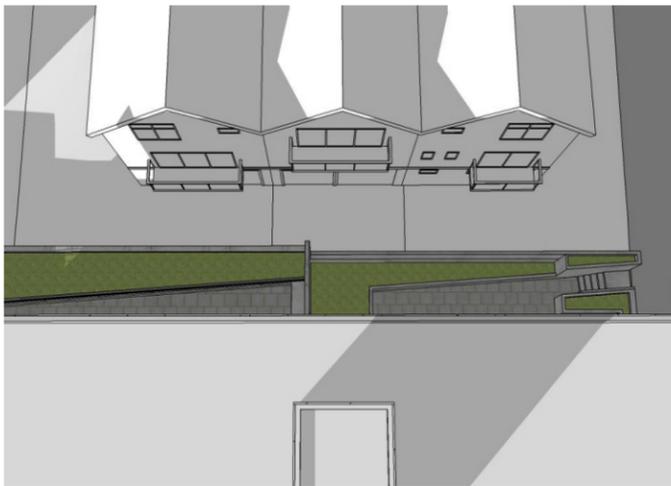
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9 AM



NOON



3 PM

DECEMBER 21ST
SHADOW STUDIES

JANUARY/ NOVEMBER 21ST

FEBRUARY/ OCTOBER 21ST

MARCH/ SEPTEMBER 21ST