



PROJECT HISTORY

The Early Design Guidance meeting was held on July 22, 2013

The Master Use Permit was submitted on August 30, 2013

The Building Permit was submitted on September 26, 2013

DEVELOPMENT OBJECTIVES

PROPOSED DEVELOPMENT WILL CREATE A MIXED-USE BUILDING WITH RESIDENTIAL UNITS ABOVE GROUND FLOOR COMMERCIAL SPACES. THE GROUND LEVEL WILL CONSIST OF ONE LIVE/WORK UNIT, TWO RESIDENTIAL UNITS, COMMERCIAL SPACE, RESIDENTIAL LOBBY AND PARKING SPACES. OTHER UTILITARIAN FUNCTIONS WILL ALSO BE PROVIDED ON THE GROUND FLOOR FOR THE EASE OF ACCESS AND MAINTENANCE. THE SECOND FLOOR THROUGH FOURTH FLOOR WILL HOUSE A MIX OF STUDIO, ONE BEDROOM, AND TWO BEDROOM UNITS. THE ROOF WILL BE ACCESSIBLE AND BE USED AS THE MAIN AMENITY SPACE FOR TENANTS WITH OPPORTUNITIES FOR ENTERTAINING, GARDENING AND RELAXATION.

THE PROJECT IS NOT REQUIRED TO PROVIDE PARKING SINCE IT IS LOCATED WITHIN THE URBAN VILLAGE. HOWEVER, STRUCTURED RESIDENTIAL PARKING WILL BE PROVIDED ON THE GROUND LEVEL WITH ACCESS OFF OF GREENWOOD AVE. N.

THE MAIN DESIGN CUES OF THE ARCHITECTURAL CONCEPT ARE INFLUENCED BY THE UNIQUE NEIGHBORHOOD CHARACTERISTICS OF FREMONT. THE ECLECTIC AND VIBRANT QUALITIES ARE TRANSLATED TO A SHIFT OF VOLUMES THAT, IN TURN, REVEAL INTERSTITIAL SPACES BETWEEN THE MASSING. THE DESIGN CELEBRATES THESE INTERSTITIAL SPACES, JUST AS FREMONT CELEBRATES THE MULTIFARIOUSNESS AND SYNERGY OF THE NEIGHBORHOOD CHARACTERISTICS.

THE MASSING TAKES ADVANTAGE OF THE NON-RECTANGULAR SHAPE OF THE SITE. THE BUILDING PLAYS OFF THE IRREGULARITY AND ANGLED LINES TO CREATE DYNAMIC SPACES WITHIN, AS WELL AS TO ALLOW MORE LIGHT IN TO THE MASSING CORE.

DEVELOPMENT STATISTICS SUMMARY

Lot size : 15,189 sf
FAR : 3.25
Allowable : 49,364 sf
Planned : 48,694 sf

Number of units: 64
Number of parking stalls: 16
Parking NOT required

DESIGN TEAM

OWNER

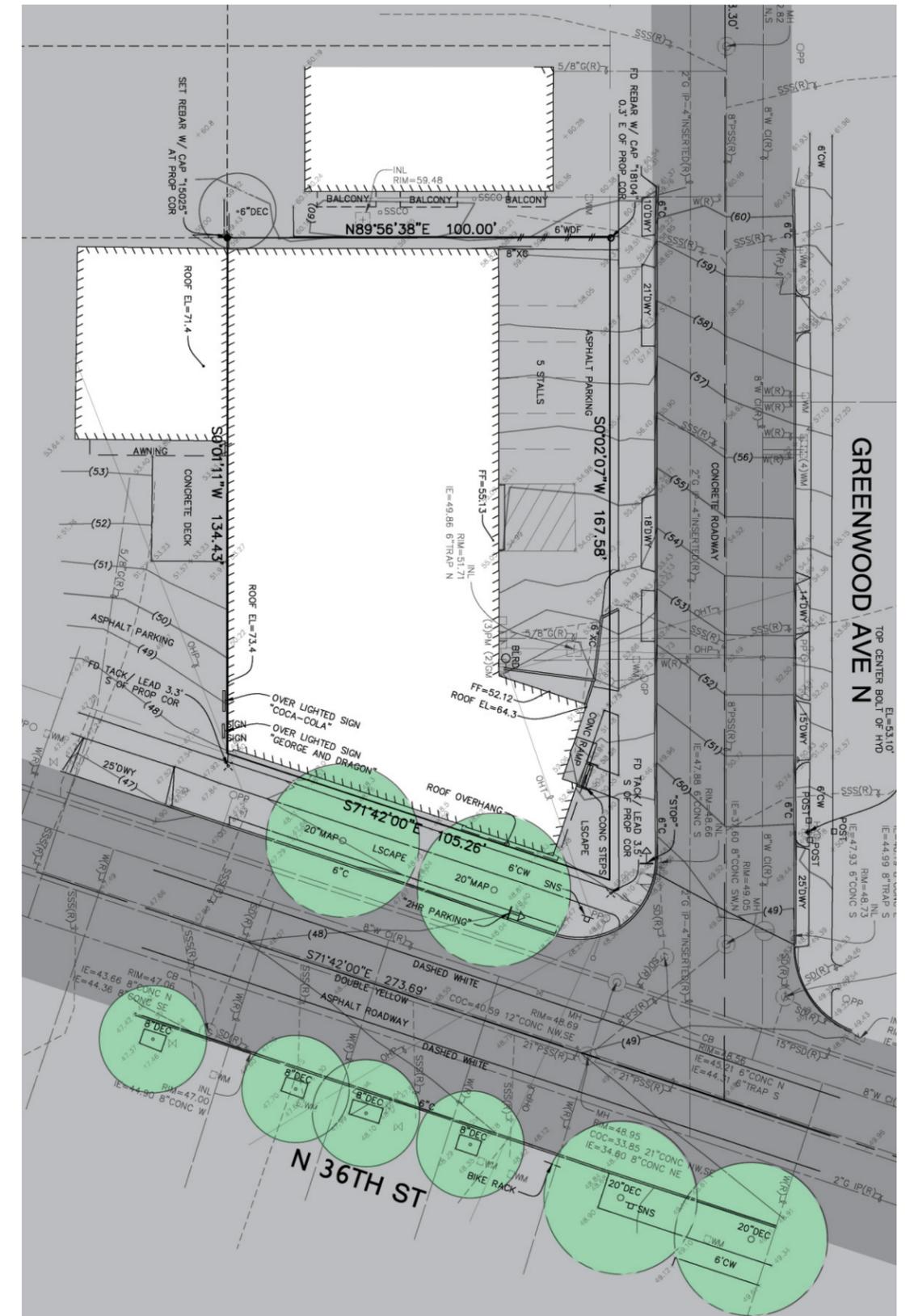
36 FREMONT GREEN LLC
950 N. 72ND ST. SUITE 100
SEATTLE, WA 98103

ARCHITECT

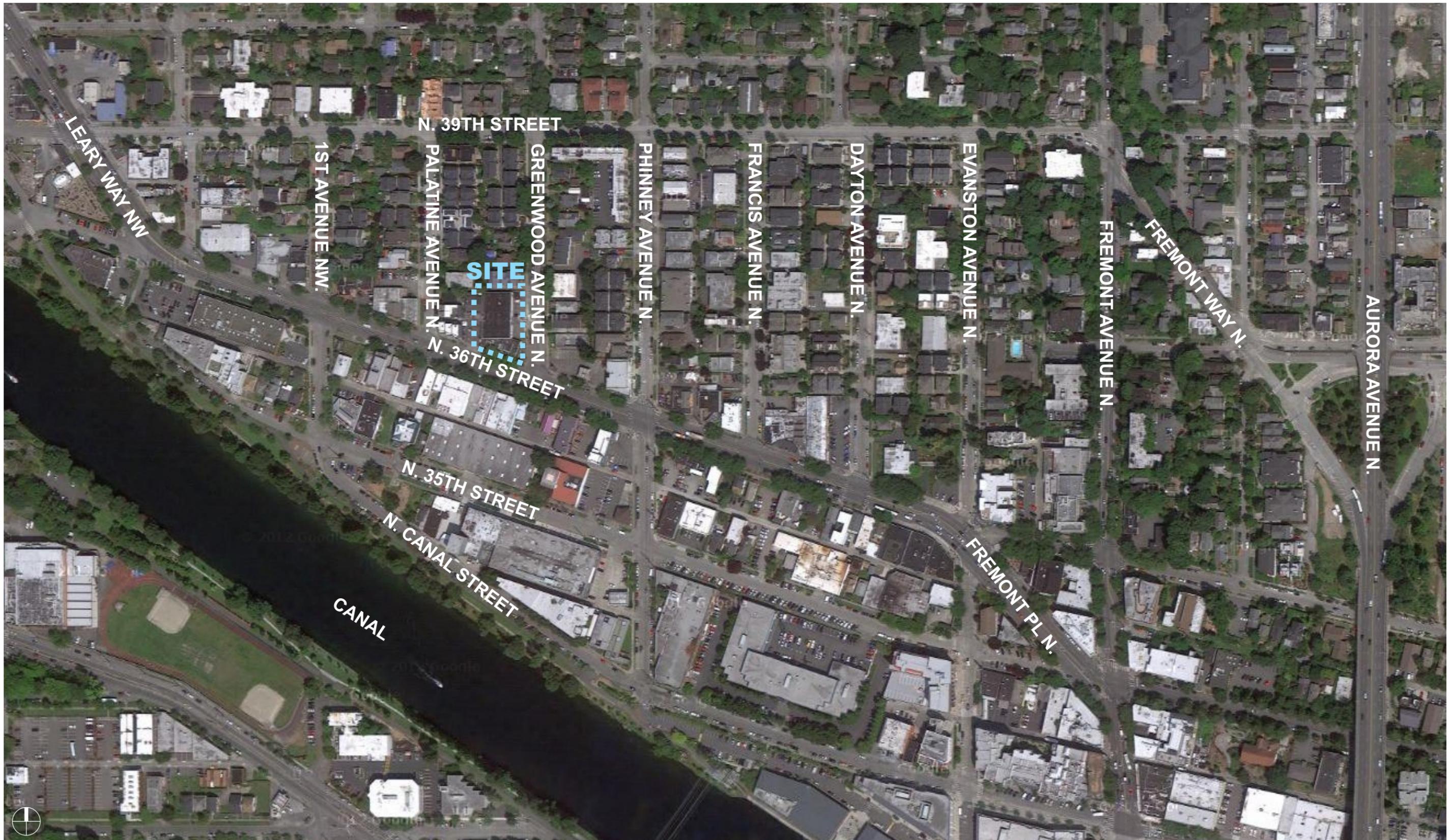
CARON ARCHITECTURE
2505 3RD AVE. SUITE 300C
SEATTLE, WA 98121

LANDSCAPE ARCHITECT

KAREN KIEST LANDSCAPE ARCHITECTS
111 W. JOHN ST. SUITE 305
SEATTLE, WA 98119

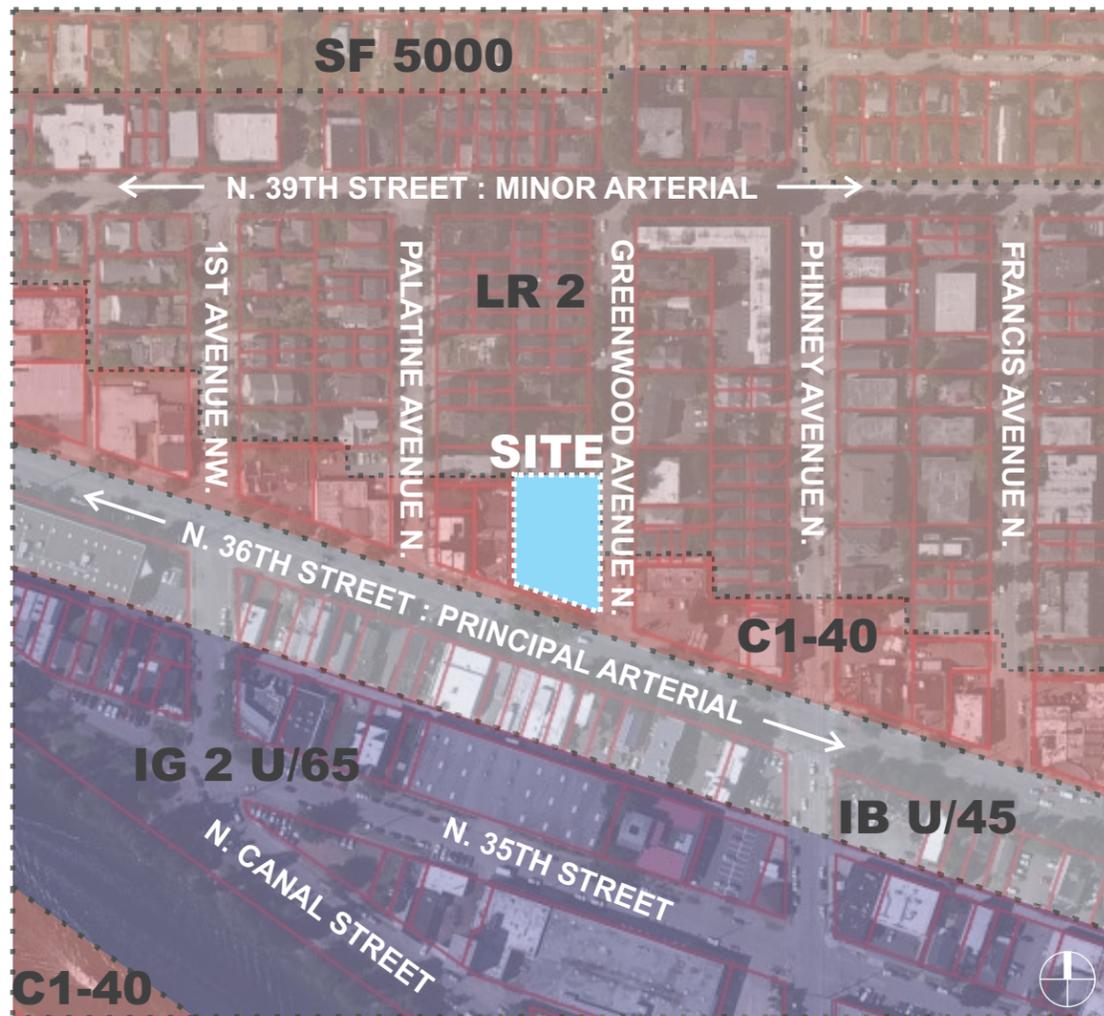


SURVEY OF EXISTING SITE



SITE ANALYSIS

02.24.2014 RECOMMENDATION PACKAGE
3601 GREENWOOD AVE. N. | FREMONT GREEN | DPD PROJECT # 3015117



ZONING LEGEND

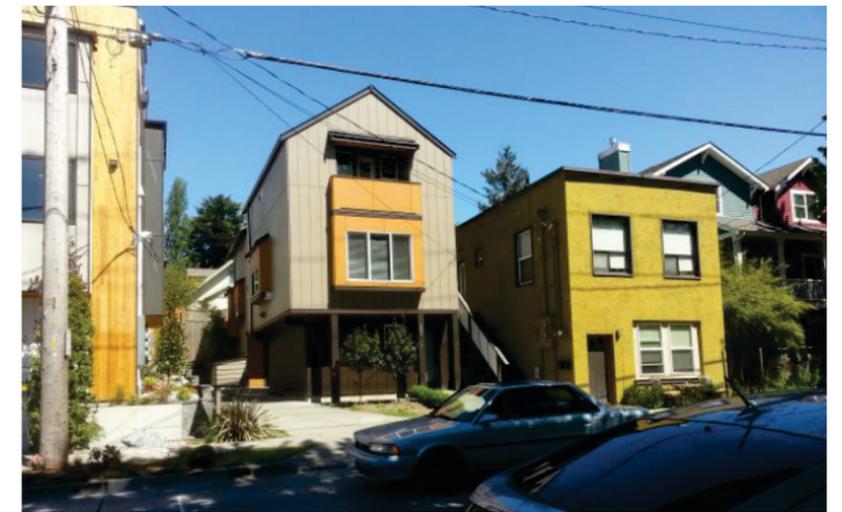
- SF 5000 SINGLE FAMILY
- LR 2 LOWRISE 2
- C1-40 COMMERCIAL 1
- IB U/45 INDUSTRIAL BUFFER
- IG 2 U/65 GENERAL INDUSTRIAL 2

THE SITE IS LOCATED ALONG A COMMERCIAL STREET IN THE FREMONT NEIGHBORHOOD. THE AREA IS COMPRISED OF VARIOUS ZONING TYPES, RANGING FROM INDUSTRIAL TO RESIDENTIAL, ALLOWING FOR DIVERSITY IN BUILDING TYPES, SCALES AND AGE. THE SITE IS ZONED C1-40, AND IS SURROUNDED BY THE SAME ZONING, WITH THE EXCEPTION OF THE ADJACENT NORTH PROPERTY, WHICH IS ZONED LR2.

THE VEHICULAR AND PEDESTRIAN TRAFFIC IS HEAVY IN THE AREA. FREQUENT PUBLIC TRANSIT IS READILY AVAILABLE WITH MAJOR BUS ROUTS ON N. 36TH STREET. THE SITE IS LOCATED WITHIN THE FREMONT HUB URBAN VILLAGE, WHICH REQUIRES NO VEHICULAR PARKING. THE SITE SLOPES ABOUT 10FT DOWN FROM NORTH TO SOUTH, AND REMAINS RELATIVELY FLAT FROM EAST TO WEST. THE SITE ABUTS A TOWNHOUSE BUILDING TO THE NORTH, AND A SPORTS BAR TO THE WEST.



① Greenwood Ave. N



② N. 39th Street



③ N. 36th Street



④ Greenwood Ave. N



⑤ N. 39th Street



KEY MAP

SITE ANALYSIS



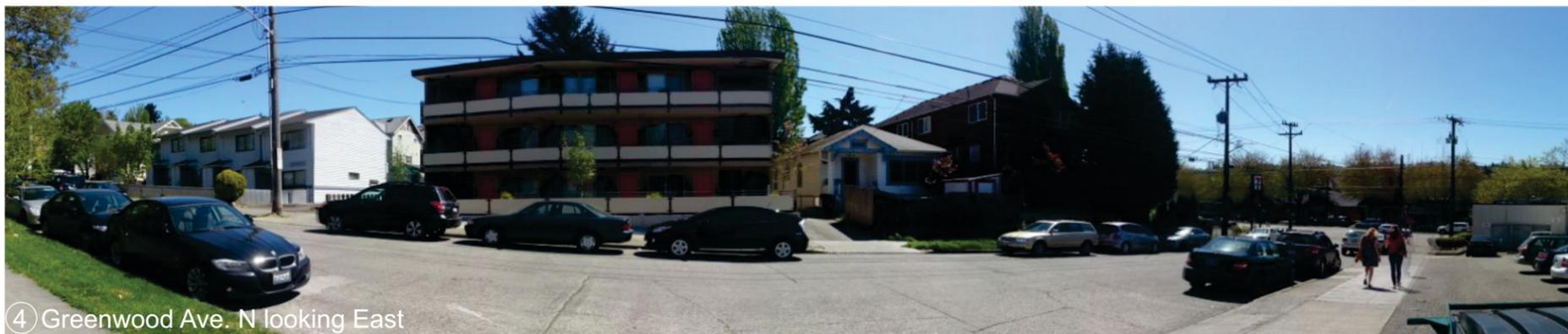
① N. 36th Street looking South



② Greenwood Ave. N looking West



③ N. 36th Street looking North



④ Greenwood Ave. N looking East



SITE PHOTOS

02.24.2014 RECOMMENDATION PACKAGE
 3601 GREENWOOD AVE. N. | FREMONT GREEN | DPD PROJECT # 3015117

SMC FOR C1-40	REQUIRED	PROPOSED	COMPLIES
23.47A.004 PERMITTED AND PROHIBITED USES	COMMERCIAL USES INCLUDING EATING & DRINKING ESTABLISHMENTS, SOME ENTERTAINMENT USES, FOOD PROCESSING AND CRAFT WORK, LAB/ RESEARCH FACILITIES, LODGING, MEDICAL SERVICES, OFFICES AND SALES ARE ALLOWED. LIVE-WORK UNITS PERMITTED. RESIDENTIAL USES PERMITTED.	COMMERCIAL USES, LIVE-WORK UNITS AND RESIDENTIAL USES PROPOSED	YES. SEE SHEETS A2.01-A2.05
23.47A.005 STREET-LEVEL USES	B. MINI-WAREHOUSES, WAREHOUSES, OR UTILITY USES MAY NOT ABUT A STREET-LEVEL STREET-FACING FACADE IN A STRUCTURE THAT CONTAINS MORE THAN ONE RESIDENTIAL DWELLING UNIT.	COMMERCIAL USES, LIVE-WORK UNIT, RESIDENTIAL UNITS, RESIDENTIAL LOBBY AND VEHICULAR ACCESS PROVIDED ON STREET-LEVEL STREET-FACING FACADES.	YES. SEE SHEET A1.01 & A2.01
23.47A.006 STREET-LEVEL DEVELOPMENT STANDARDS	A.2.b. BLANK SEGMENTS OF THE STREET-FACING FACADE BETWEEN 2 FEET AND 8 FEET ABOVE THE SIDEWALK MAY NOT EXCEED 20 FEET IN WIDTH. A.2.c. THE TOTAL OF ALL BLANK FACADE SEGMENTS MAY NOT EXCEED 40% OF THE WIDTH OF THE FACADE OF THE STRUCTURE ALONG THE STREET. B.2.a. 60% OF THE STREET-FACING FACADE BETWEEN 2FT AND 8FT ABOVE THE SIDEWALK SHALL BE TRANSPARENT. B.2.b. TRANSPARENT AREAS OF FACADES SHALL BE DESIGNED AND MAINTAINED TO ALLOW UNOBSTRUCTED VIEWS FROM THE OUTSIDE INTO THE STRUCTURE OR, IN THE CASE OF LIVE-WORK UNITS, INTO DISPLAY WINDOWS THAT HAVE A MIN. 3D INCH DEPTH. B.3. NONRESIDENTIAL USES SHALL EXTEND AN AVERAGE DEPTH OF AT LEAST 30FT AND A MIN. DEPTH OF 15FT FROM THE STREET-LEVEL STREET-FACING FACADE. B.3.b. NONRESIDENTIAL USES AT STREET LEVEL SHALL HAVE A FLOOR TO FLOOR HEIGHT OF AT LEAST 13FT. D.1. AT LEAST ONE OF THE STREET-LEVEL STREET-FACING FACADES CONTAINING A RESIDENTIAL USE SHALL HAVE A VISUALLY PROMINENT PEDESTRIAN ENTRY. D.2. THE FLOOR OF A DWELLING UNIT LOCATED ALONG THE STREET-LEVEL STREET-FACING FACADE SHALL BE AT LEAST 4FT ABOVE OR BELOW SIDEWALK GRADE, OR BE SET BACK AT LEAST 10FT FROM THE SIDEWALK.	NO BLANK FACADE EXCEEDING 20FT IS PROVIDED. MAX. BLANK FACADE SEGMENT PROPOSED IS 16.42FT. TOTAL OF ALL PROPOSED BLANK FACADE ALONG 36TH ST. N. IS 6%, AND ALONG GREENWOOD AVE. N. IS 37%. 92% OF FACADE ALONG 36TH ST. N. AND 63% OF FACADE ALONG GREENWOOD AVE. N. PROPOSED TO BE TRANSPARENT. TRANSPARENT AREAS ARE DESIGNED TO ALLOW UNOBSTRUCTED VIEWS INTO THE STRUCTURE. COMMERCIAL SPACE ALONG 36TH ST. N. HAS AN AVERAGE DEPTH OF 38FT. LIVE-WORK UNIT ALONG GREENWOOD AVE. N. HAS A DEPTH OF 32FT. COMMERCIAL SPACE IS PROPOSED TO HAVE 17FT FLOOR TO FLOOR HEIGHT, AND LIVE-WORK UNIT IS PROPOSED TO HAVE 13FT FLOOR TO FLOOR HEIGHT. A PROMINENT PEDESTRIAN ENTRY IS PROVIDED ON GREENWOOD AVE. N. DWELLING UNIT LOCATED ALONG THE STREET-LEVEL STREET-FACING FACADE IS APPROX. AVERAGE 2.9FT BELOW SIDEWALK GRADE. DEPARTURE WAS REQUESTED AT EDG MEETING.	YES. SEE STREET LEVEL DEVELOPMENT STANDARD DIAGRAMS ON THIS SHEET YES. SEE SHEET A4.01 & A4.02 YES. SEE SHEET A3.01 & A3.02 NO. DEPARTURE REQUESTED SEE EDG RESPONSE ON SHEET A0.04.
	E. WHEN A LIVE-WORK UNIT IS LOCATED ON A STREET-LEVEL STREET-FACING FACADE, PORTION OF EACH SUCH LIVE-WORK UNIT IN WHICH BUSINESS IS CONDUCTED MUST BE LOCATED BETWEEN THE PRINCIPAL STREET AND THE RESIDENTIAL PORTION OF THE LIVE-WORK UNIT.	LIVE-WORK UNIT IS PROPOSED TO HAVE THE PORTION IN WHICH BUSINESS IS CONDUCTED AT THE STREET FRONT.	YES. SEE SHEET A2.00 & A5.01
23.47A.012 STRUCTURE HEIGHT	A.1.a.1. THE HEIGHT OF A STRUCTURE MAY EXCEED UP TO 4FT IF A FLOOR-TO-FLOOR HEIGHT OF 13 FT OR MORE IS PROVIDED FOR NONRESIDENTIAL USES AT STREET LEVEL. C.2. OPEN RAILINGS, PLANTERS, PARAPETS AND FIREWALLS MAY EXTEND UP TO 4FT ABOVE HEIGHT LIMIT. C.4. MECHANICAL EQUIPMENT CAN EXTEND UP TO 15FT ABOVE HEIGHT LIMIT, STAIR AND ELEVATOR PENTHOUSES MAY EXTEND UP TO 16FT ABOVE HEIGHT LIMIT, AS LONG AS THE COMBINED TOTAL COVERAGE OF ALL FEATURES DOES NOT EXCEED 20% OF THE ROOF AREA, OR 25% OF THE ROOF AREA IF THE TOTAL INCLUDES STAIR OR ELEVATOR PENTHOUSES OR SCREENED MECHANICAL EQUIPMENT. C.7. PLANTERS AND NON-FIREWALL PARAPETS SHALL BE LOCATED AT LEAST 10FT FROM THE NORTH EDGE OF THE ROOF UNLESS A SHADOW DIAGRAM IS PROVIDED THAT DEMONSTRATES THAT LOCATING SUCH FEATURES WITHIN 10FT OF THE NORTH EDGE OF THE ROOF WOULD NOT SHADE PROPERTY TO THE NORTH ON JANUARY 21ST AT NOON MORE THAN WOULD A STRUCTURE BUILT TO MAX. PERMITTED HEIGHT AND FAR.	ALL NONRESIDENTIAL USES AT STREET LEVEL ARE PROPOSED TO BE MIN. 13FT. ALL PARAPETS, RAILINGS, PLANTERS AND FIREWALLS ARE MAX. 4FT ABOVE HEIGHT LIMIT. STAIR AND ELEVATOR PENTHOUSES ARE MAX. 16FT ABOVE HEIGHT LIMIT. TOTAL ROOF COVERAGE IS 11% OF TOTAL ROOF AREA. NO PLANTERS ARE PROPOSED TO BE LOCATED WITHIN 10FT FROM NORTH EDGE OF THE ROOF. 18 INCH PARAPET PROPOSED, WHICH MAKES MINIMAL DIFFERENCE IN SHADING FROM A STRUCTURE BUILT TO MAX. PERMITTED HEIGHT WOULD.	YES. SEE SHEETS A3.01 & A3.02 YES. SEE SHADOW STUDY.
23.47A.013 FLOOR AREA RATIO	B. 3.25 FAR ALLOWED.	TOTAL SITE AREA, 15,097.10 SF FAR ALLOWED: 49,045.575 SF FAR PROVIDED: 48,693.55 SF	YES. SEE SHEET A0.03
23.47A.014 SETBACK REQUIREMENTS	B.3. FOR A STRUCTURE CONTAINING A RESIDENTIAL USE, A SETBACK IS REQUIRED ALONG ANY SIDE OR REAR LOT LINE THAT ABUTS A LOT IN A RESIDENTIAL ZONE. a. 15FT FOR PORTIONS OF STRUCTURES ABOVE 13FT IN HEIGHT TO A MAX. 40FT. b. FOR EACH PORTION OF A STRUCTURE ABOVE 40FT IN HEIGHT, ADDITIONAL SETBACK AT THE RATE OF 2FT. B.5. NO ENTRANCE, WINDOW, OR OTHER OPENING IS PERMITTED CLOSER THAN 5FT TO AN ABUTTING RESIDENTIALLY ZONED LOT. E.3. RAMPS OR OTHER DEVICES NECESSARY FOR ACCESS FOR THE DISABLED AND ELDERLY, WHICH MEET SEATTLE BUILDING CODE, CHAPTER 11, ARE PERMITTED IN REQUIRED SETBACK.	NORTH PROPERTY LINE ABUTS A RESIDENTIAL ZONE. 15FT SETBACK PROPOSED FOR PORTIONS ABOVE 13FT TO A MAX. 40FT IN HEIGHT FROM EXISTING OR FINISH GRADE WHICHEVER IS LOWER.	YES. SEE SHEET A0.03
23.47A.016 LANDSCAPING AND SCREENING STANDARDS	A.2. GREEN FACTOR SCORE OF 0.3 OR GREATER REQUIRED. B.1. STREET TREE REQUIRED.	GREEN FACTOR SCORE 0.3 OR GREATER PROPOSED.	YES. SEE LANDSCAPE PLANS

23.47A.022 LIGHT AND GLARE STANDARDS	A. EXTERIOR LIGHTING MUST BE SHIELDED AND DIRECTED AWAY FROM ADJACENT USES. B. INTERIOR LIGHTING IN PARKING GARAGES MUST BE SHIELDED TO MINIMIZE NIGHTTIME GLARE AFFECTING NEARBY USES. C. DRIVEWAYS AND PARKING AREAS FOR MORE THAN TWO VEHICLES SHALL BE SCREENED FROM ADJACENT PROPERTIES.	EXTERIOR LIGHTING WILL BE SHIELDED AND DIRECTED AWAY FROM ADJACENT USES.	YES. SEE A1.01
23.47A.024 AMENITY AREA	A. 5% OF TOTAL GROSS FLOOR AREA IN RESIDENTIAL USE REQUIRED. B. REQUIRED AMENITY AREAS SHALL MEET THE FOLLOWING STANDARDS: 1. ALL RESIDENTS SHALL HAVE ACCESS TO AT LEAST ONE COMMON OR PRIVATE AMENITY AREA 2. AMENITY AREAS SHALL NOT BE ENCLOSED 3. PARKING AREAS, VEHICULAR ACCESS EASEMENT, AND DRIVEWAYS DO NOT COUNT AS AMENITY AREAS 4. MIN. HORIZONTAL DIMENSION OF 10 FT, AND MIN. SIZE OF 250 SF.	TOTAL RESIDENTIAL USE AREA: 36,168.88 SF AMENITY AREA REQUIRED: 1,808.44 SF PROPOSED AMENITY SPACE: 6,625.66 SF	YES. SEE SHEET A0.03
23.54.015 REQUIRED PARKING	TABLE A.I.I.J & TABLE B.I.I.M. NO PARKING REQUIRED IN URBAN VILLAGES THAT ARE NOT WITHIN AN URBAN CENTER OR THE STATION AREA OVERLAY DISTRICT, IF LOCATED WITHIN 1,320FT OF A STREET WITH FREQUENT TRANSIT SERVICE, MEASURED AS THE WALKING DISTANCE FROM THE NEAREST TRANSIT STOP TO THE LOT LINE. TABLE E.D.2. 1 BICYCLE PARKING REQUIRED PER 4 UNITS. 67 UNITS / 4 = 17 BICYCLE STALLS REQUIRED	PER LETTER FROM BRADLEY WILBURN, SENIOR LAND USE PLANNER, DATED APRIL 26, 2013, IT HAS BEEN DETERMINED THAT EXEMPTIONS LISTED IN 23.54.020.F.2 CAN BE APPLIED TO THIS PROJECT. ADDITIONALLY, BECAUSE THE PROJECT SITE IS LOCATED WITHIN FREMONT HUB URBAN VILLAGE, NO VEHICLE PARKING IS REQUIRED. 20 BICYCLE STALLS PROVIDED	YES. SEE A0.04
23.54.040 SOLID WASTE AND RECYCLABLE MATERIALS STORAGE AND ACCESS	TABLE A: RESIDENTIAL DEVELOPMENT 51-100 DWELLING UNITS REQUIRE 3756F PLUS 45F FOR EACH ADDITIONAL UNIT ABOVE 50. NONRESIDENTIAL DEVELOPMENT OF 0-5,000SF REQUIRE 825F. B. MIXED USE DEVELOPMENT SHALL MEET THE STORAGE SPACE REQUIREMENTS SHOWN IN TABLE A FOR RESIDENTIAL DEVELOPMENT, PLUS 50% OF THE REQUIREMENT FOR NONRESIDENTIAL DEVELOPMENT. STORAGE SPACE FOR GARBAGE MAY BE SHARED BETWEEN RESIDENTIAL AND NONRESIDENTIAL USES, BUT SEPARATE SPACE FOR RECYCLING SHALL BE PROVIDED.	SOLID WASTE AND RECYCLABLE STORAGE PROVIDED TO MEET SPV STANDARD.	YES. SEE A2.01

LAND USE CODE ANALYSIS



City of Seattle
Department of Planning and Development
Diane M. Sugimura, Director

April 26, 2013

Radim Blazej
2505 3rd Ave. Suite #300C
Seattle WA 98121

Re: 3015150 – 3601 Greenwood Ave North
Applicability of SMC 23.54.020.F.2

Dear Mr. Blazej,

This letter is in response to your request for an early determination of the applicability of reductions to minimum parking requirements for development within multifamily and commercial zones when located with 1,320 feet of a frequent transit service pursuant to SMC 23.54.020.F.2.

Based on the information provided (site map and frequent transit service calculation table) and verification of Metro routes, it has been determined that exemptions listed in 23.54.020.F.2 can be applied to your project. Additionally, because the project site is located within Fremont Hub Urban Village no vehicle parking will be required. Bicycle parking will be required.

Feel free to provide a copy of this letter when applying for the building permit.

Sincerely,

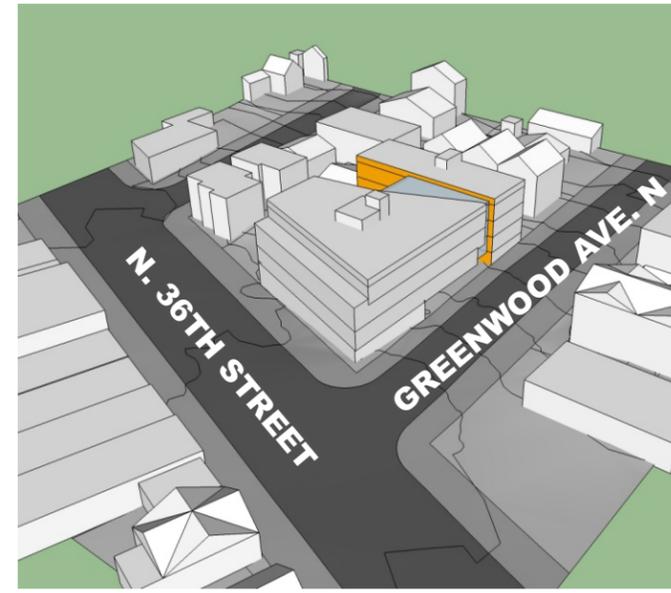
(Signature on file)

Bradley Wilburn
Land Use Planner, Senior
Department of Planning and Development

PARKING EXEMPTION LETTER

LAND USE CODE ANALYSIS

LAND USE ANALYSIS



PROS:

- APPEARS LESS MASSIVE ALONG N. 36TH STREET
- LARGER AMENITY SPACE ALONG WEST ON THE PODIUM LEVEL
- CODE COMPLIANT

CONS:

- APPEARS MORE MASSIVE ALONG GREENWOOD AVE. N.
- VEHICULAR ACCESS IN THE MID BLOCK
- MOST UNITS FACING EAST/WEST

MASSING OPTION A

EDG CONCEPT SUMMARY

02.24.2014 RECOMMENDATION PACKAGE

3601 GREENWOOD AVE. N. | FREMONT GREEN | DPD PROJECT # 3015117

PROS:

- LESS MASS TOWARDS LESS INTENSE ZONING

CONS:

- APPEARS MORE MASSIVE ALONG N. 36TH STREET
- APPEARS MORE MASSIVE ALONG GREENWOOD AVE. N.
- VEHICULAR ACCESS IN THE MID BLOCK

MASSING OPTION B

PROS:

- APPEARS LESS MASSIVE ALONG GREENWOOD AVE. N
- MORE DYNAMIC MASSING FITTING WITH THE NEIGHBORHOOD
- GREATER SETBACK ON NORTH TOWARDS LESS INTENSE ZONING
- SMALLER MASSING ON NORTH TOWARDS RESIDENTIAL ZONE

CONS:

- SMALLER AMENITY SPACE ON PODIUM LEVEL
- VEHICULAR ACCESS IN THE MID BLOCK

MASSING OPTION C

PROS:

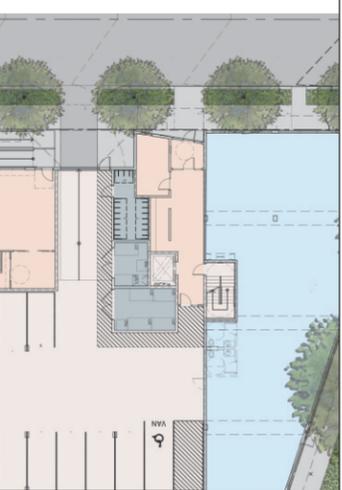
- APPEARS LESS MASSIVE ALONG GREENWOOD AVE. N
- MORE DYNAMIC MASSING FITTING WITH THE NEIGHBORHOOD
- GREATER SETBACK ON NORTH TOWARDS LESS INTENSE ZONING
- SMALLER MASSING ON NORTH TOWARDS RESIDENTIAL ZONE

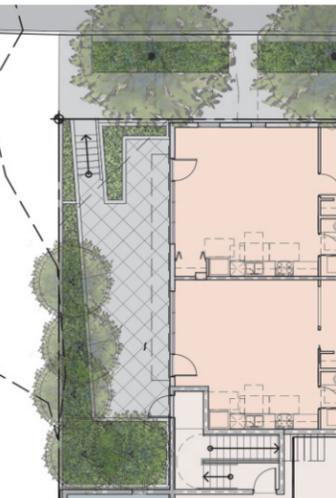
MASSING OPTION C - REFINED



RENDERING - VIEW FROM SOUTH EAST CORNER

EDG DIRECTION		RESPONSE
<p>A-1 RESPONDING TO SITE CHARACTERISTICS</p> <p>THE SITING OF BUILDINGS SHOULD RESPOND TO SPECIFIC <i>SITE CONDITIONS AND OPPORTUNITIES SUCH AS NON-RECTANGULAR LOTS, LOCATION ON PROMINENT INTERSECTIONS, UNUSUAL TOPOGRAPHY, SIGNIFICANT VEGETATION AND VIEWS OR OTHER NATURAL FEATURES.</i></p> <p>EDG Report: The Board was particularly concerned about two relationships, that of the proposed structure to the townhouses to the north and that of the proposed amenity space to the outside courtyard of George & Dragon. In developing the design the applicants should take steps to enhance the compatibility of these physical and social relationships.</p>		<p>Response:</p> <p>The relationship between the proposed structure to the north townhouses is addressed in three-folds - reduced height, window placement, and provision of soft landscape along the property line.</p> <p>The north portion of the proposed structure is lowered 2ft, providing more direct sunlight to the townhouses than what was presented at EDG. See shadow studies in following pages p.28.</p> <p>Proposed structure's north facade was carefully designed to avoid alignment of the two buildings bedroom windows. The proposed structure's north facing windows are offset from the townhouses' south facing bedroom windows, to provide privacy. In addition, there is about 28ft of distance between the two building. See the elevation overlay diagram on page 15.</p> <p>Soft landscape is proposed along the north property line, in order to minimize tall, harsh, concrete retaining wall. The height of the retaining wall is only at guardrail height from the north neighboring lot, with planters and trees softening the edge. See landscape plan and sections on page 18.</p> <p>The relationship to the proposed structure's west courtyard/lightwell and George & Dragon is addressed through landscape design. An area of landscaped mound is provided along the west edge of the courtyard/lightwell, prohibiting people from accessing. The courtyard/lightwell is also only meant to be private terraces for the units immediately surrounding it, reducing the number of potential users of the space. See landscaping plans and sections.</p>
<p>A-5 RESPECT FOR ADJACENT SITES</p> <p>BUILDINGS SHOULD RESPECT ADJACENT PROPERTIES BY BEING LOCATED ON THEIR SITES TO MINIMIZE DISRUPTION OF THE PRIVACY AND OUTDOOR ACTIVITIES OF RESIDENTS IN ADJACENT BUILDINGS.</p> <p>EDG Report: See the comments under A-1 above. The board noted that they would like to have the applicants explore what tweaks to the massing might minimize any disruptions of privacy for the townhouses and to the outdoor activities anticipated in the George & Dragon courtyard.</p>		<p>Response:</p> <p>See response above for A-1.</p> <p>In effort to explore the proposed structure's north massing in relation to the townhouses, a meeting was taken place with the Land Use Reviewer, Michael Dorcy, on August 1st. On that meeting, the project team presented three alternative options. At the end of the meeting, the project team, along with the reviewer, decided to move forward with a scheme that shortens the height of the north massing by 2ft, enhancing the amount of direct sunlight to the townhouses.</p>
<p>A-10 CORNER LOTS</p> <p>BUILDING ON CORNER LOTS SHOULD BE ORIENTED TO THE CORNER AND PUBLIC STREET FRONTS. PARKING AND AUTOMOBILE ACCESS SHOULD BE LOCATED AWAY FROM CORNERS.</p> <p>EDG Report: The Board anticipated more detail on commercial entries and the treatment of the street frontage, especially as the presentation packet offered suggestions of some bold moves to enhance the vibrancy of the streetscape.</p>		<p>Response:</p> <p>The design on the street facade has been further developed since EDG meeting. The project proposes maximum glazing and canopies for the commercial space facing both N. 36th Street and Greenwood Avenue N. The materials have been carefully chosen to create warm feeling.</p> <p>The concept of "architectural slice" is applied into smaller scale and brought to the corner view. They are treated with warm wood with accent lighting that create interests day and night.</p>
<p>B-1 HEIGHT, BULK AND SCALE COMPATIBILITY</p> <p>PROJECTS SHOULD BE COMPATIBLE WITH THE SCALE OF DEVELOPMENT ANTICIPATED BY THE APPLICABLE LAND USE POLICIES FOR THE SURROUNDING AREA AND SHOULD BE SITED AND DESIGNED TO PROVIDE A SENSITIVE TRANSITION TO NEAR-BY, LESS-INTENSIVE ZONES. PROJECTS ON ZONE EDGES SHOULD BE DEVELOPED IN A MANNER THAT CREATES A STEP IN PERCEIVED HEIGHT, BULK AND SCALE BETWEEN THE ANTICIPATED DEVELOPMENT POTENTIAL OF THE ADJACENT ZONES.</p> <p>EDG Report: The board was particularly interested in how the design development would address the residential zone to the north and how the applicant might explore ways in which the proposal could interface amicably with the existing neighbor.</p>		<p>Response:</p> <p>As mentioned in response under A-1, the relationship between the proposed structure to the residential zone to the north is addressed in three-folds - reduced height, window placement, and provision of soft landscape along the property line. See response for A-1</p>

EDG DIRECTION		RESPONSE
<p>C-1 ARCHITECTURAL CONTEXT</p> <p>NEW BUILDINGS PROPOSED FOR EXISTING NEIGHBORHOODS WITH A WELL-DEFINED AND DESIRABLE CHARACTER SHOULD BE COMPATIBLE WITH OR COMPLEMENT THE ARCHITECTURAL CHARACTER AND SITING PATTERN OF NEIGHBORING BUILDINGS.</p> <p>EDG Report: Although there was some discussion among the Board members about opening a courtyard along the east face of the building, it was generally agreed to and affirmed by the Board that the preferred Scheme C, with an architectural slice partially removed along the west massing showed the most promise. The applicant was encouraged to proceed in that direction with refinements as needed.</p>		<p>Response:</p> <p>The preferred scheme C has been further developed. The architectural slice is further emphasized with an widening courtyard/lightwell at the west. The Board's concern about the west facing courtyard/lightwell and its proximity to neighboring George & Dragon is addressed through providing rich landscaping.</p>
<p>C-3 HUMAN SCALE</p> <p>THE DESIGN OF NEW BUILDINGS SHOULD INCORPORATE ARCHITECTURAL FEATURES, ELEMENTS AND DETAILS TO ACHIEVE A GOOD HUMAN SCALE.</p> <p>EDG Report: This was affirmed by the Board as being of highest priority, but without more detail.</p>		<p>Response:</p> <p>The proposed structure addressed the issue of human scale through providing canopies at appropriate height, and tactile-rich materials. The street facades of ground floor commercial space and residential entry will be consist of warm-colored brick, wood, and colorful fiber cement board siding.</p>
<p>D-2 BLANK WALLS</p> <p>BUILDINGS SHOULD AVOID LARGE BLANK WALLS FACING THE STREET, ESPECIALLY NEAR SIDEWALKS. WHERE BLANK WALLS ARE UNAVOIDABLE, THEY SHOULD RECEIVE DESIGN TREATMENT TO INCREASE PEDESTRIAN COMFORT AND INTEREST.</p> <p>EDG Report: This guideline was selected by the Board in particular with regards the possibility of providing vegetative walls along the north and west lower wall levels.</p>		<p>Response:</p> <p>The wall along the north property line will be kept at minimum height. The proposed structure also proposes a sunken planter along the part of north property line, with rich landscaping and hanging plants. The blank wall along west property line will have orange accent panels similar to south and east facade.</p>
<p>D-3 RETAINING WALLS</p> <p>RETAINING WALLS NEAR A PUBLIC SIDEWALK THAT EXTEND HIGHER THAN EYE LEVEL SHOULD BE AVOIDED WHERE POSSIBLE. WHERE HIGH RETAINING WALLS ARE UNAVOIDABLE, THEY SHOULD BE DESIGNED TO REDUCE THEIR IMPACT ON PEDESTRIAN COMFORT AND TO INCREASE THE VISUAL INTEREST ALONG THE STREETScape.</p> <p>EDG Report: This was noted as of particular concern regarding the portion of the proposed structure that would address the George & Dragon outdoor courtyard.</p>		<p>Response:</p> <p>To minimize the height of blank wall, the west facing courtyard/lightwell will have a parapet wall at minimum height. On top, there will be open railing up to guardrail height. In respecting the privacy concern that was raised from George & Dragon owner, the courtyard/lightwell will have landscaped at the west edge, making the area inaccessible and richly landscaped. Also, the courtyard will only be used by the tenants of the units immediately adjacent to the courtyard, limiting the number of users of the area.</p>
<p>D-6 SCREENING OF DUMPSTERS, UTILITIES AND SERVICE AREAS</p> <p>BUILDING SITES SHOULD LOCATE SERVICE ELEMENTS LIKE TRASH DUMPSTERS, LOADING DOCKS AND MECHANICAL EQUIPMENT AWAY FROM THE STREET FRONT WHERE POSSIBLE.</p> <p>EDG Report: The public comment had raised some questions regarding location of dumpsters, related noise, etc. The applicant had noted that the commercial dumpster would be located facing Greenwood Ave. N. and would be screened by an attractively designed gate.</p>		<p>Response:</p> <p>With further development of the plans, the proposed structure now has both commercial and residential dumpsters away and not visible from the sidewalks.</p>

EDG DIRECTION		RESPONSE
<p>D-12 RESIDENTIAL ENTRIES AND TRANSITIONS</p> <p>FOR RESIDENTIAL PROJECTS IN COMMERCIAL ZONES, THE SPACE BETWEEN THE RESIDENTIAL ENTRY AND THE SIDEWALK SHOULD PROVIDE SECURITY AND PRIVACY FOR RESIDENTS AND A VISUALLY INTERESTING STREET FRONT FOR PEDESTRIANS.</p> <p>EDG Report: The applicants noted that they would be requesting a departure from the requirement that entries to ground level residential units must be located above or below grade and the Board indicated that they believe that to be a “reasonable” request and that they were open to it. It should be noted, however, that the actual recommendation by the Board of the granting of specific departures must await the return of the proposal to the Board at the time of a recommendation meeting and would depend upon the applicant’s responses to the identified guidelines and Board’s guidance.</p>		<p>Response: The proposed structure still requests for the departure at the ground level residential units.</p>
<p>E-3 LANDSCAPING TO REINFORCE DESIGN CONTINUITY WITH ADJACENT SITES</p> <p>THE LANDSCAPE DESIGN SHOULD TAKE ADVANTAGE OF SPECIAL ON-SITE CONDITIONS SUCH AS HIGH-BANK FRONT YARDS, STEEP SLOPES, VIEW CORRIDORS, OR EXISTING SIGNIFICANT TREES AND OFF-SITE CONDITIONS SUCH AS GREENBELTS, RAVINES, NATURAL AREAS, AND BOULEVARDS.</p> <p>EDG Report: As noted under Guideline D-2 above, the Board was concerned about the possible need for vegetated wall along the periphery of adjoining properties and noted they would have a particular interest in a refined landscape proposals intended for the setback area abutting the north property line.</p>		<p>Response: The proposed landscape plan shows the more detailed design along the periphery of adjoining properties. See landscape plans.</p>

DEPARTURE REQUESTED

SMC 23.47A.008.D.2

THE FLOOR OF A DWELLING UNIT LOCATED ALONG THE STREET-LEVEL STREET-FACING FACADE SHALL BE AT LEAST 4 FEET ABOVE OR 4 FEET BELOW SIDEWALK GRADE OR BE SET BACK AT LEAST 10 FEET FROM THE SIDEWALK.

REASONING:

THE DESIGN GUIDELINE ACKNOWLEDGES THAT PRIVACY AND SECURITY ARE IMPORTANT ISSUES FOR GROUND-LEVEL HOUSING. THE ENTRY TO BOTH GROUND LEVEL UNITS ARE 4FT BELOW SIDEWALK, AND WILL HAVE SECURITY FENCE TO CLEARLY DEMARCATATE THE LINE BETWEEN PUBLIC AND PRIVATE. THE WINDOWS FACING THE STREET ARE NARROW, SO THEY LET LIGHT IN WHILE MINIMIZING THE VISIBILITY FROM THE STREET.

EDG REPORT:

"BOARD INDICATED THAT THEY BELIEVE THAT TO BE A 'REASONABLE' REQUEST AND THAT THEY WERE OPEN TO IT. IT SHOULD BE NOTED, HOWEVER, THAT THE ACTUAL RECOMMENDATION BY THE BOARD OF THE GRANTING OF SPECIFIC DEPARTURES MUST AWAIT THE RETURN OF THE PROPOSAL TO THE BOARD AT THE TIE OF A RECOMMENDATION MEETING AND WOULD DEPEND UPON THE APPLICANT'S RESPONSES TO THE IDENTIFIED GUIDELINES AND BOARD'S GUIDANCE".



DEPARTURES



COLOR ELEVATIONS/ LANDSCAPE PLANS

02.24.2014 RECOMMENDATION PACKAGE
 3601 GREENWOOD AVE. N. | FREMONT GREEN | DPD PROJECT # 3015117

C-1 ARCHITECTURAL CONCEPT: SLICE

C-1 ARCHITECTURAL CONCEPT: SLICE

A-1, A-5, B-1, SHORTER PARAPET AND SMALLER MASSING TOWARDS RESIDENTIAL ZONE

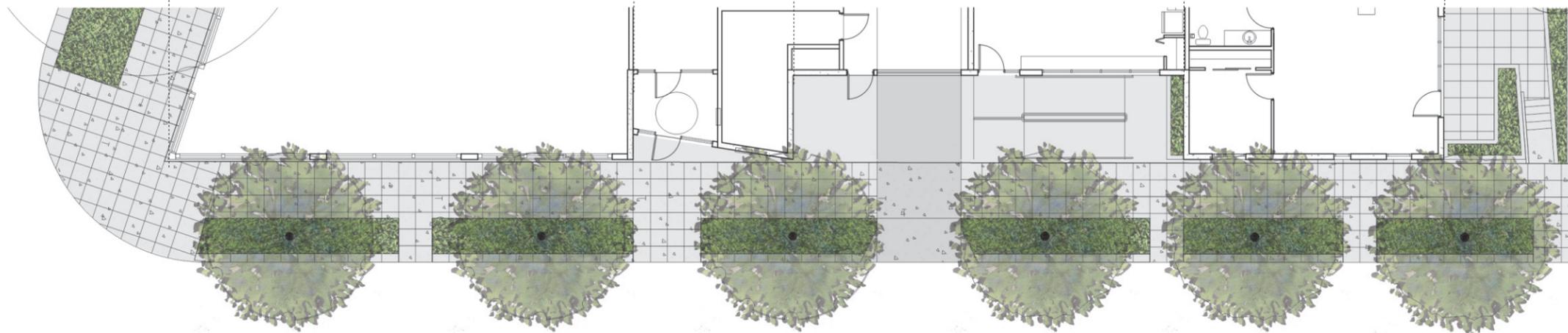
A-10, C-3, MAXIMUM GLAZING AND CANOPY



C-3, D-12 GLAZING AND CANOPIES AT RESIDENTIAL ENTRY

D-6 DUMPSTERS AND UTILITIES NOT VISIBLE FROM THE STREET

A-1, A-5, B-1, D-2, D-3, E-3 SHORTER RETAINING WALL WITH LANDSCAPING



GREENWOOD AVENUE N.

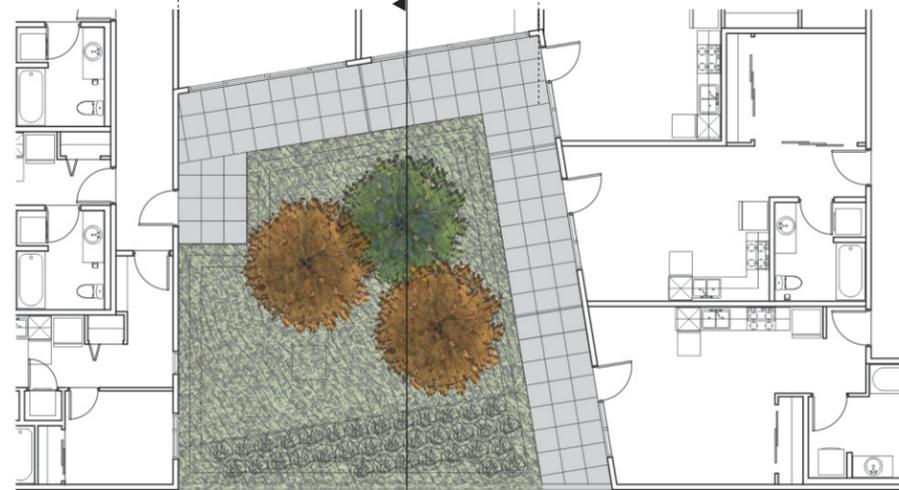
COLOR ELEVATIONS/ LANDSCAPE PLANS

C-1 ARCHITECTURAL CONCEPT: SLICE

A-1, A-5, B-1, SHORTER PARAPET AND SMALLER MASSING TOWARDS RESIDENTIAL ZONE



A-1, A-5, B-1, D-2, D-3, E-3
WEST COURTYARD WITH RICH
LANDSCAPING FOR PRIVACY



WEST PROPERTY LINE

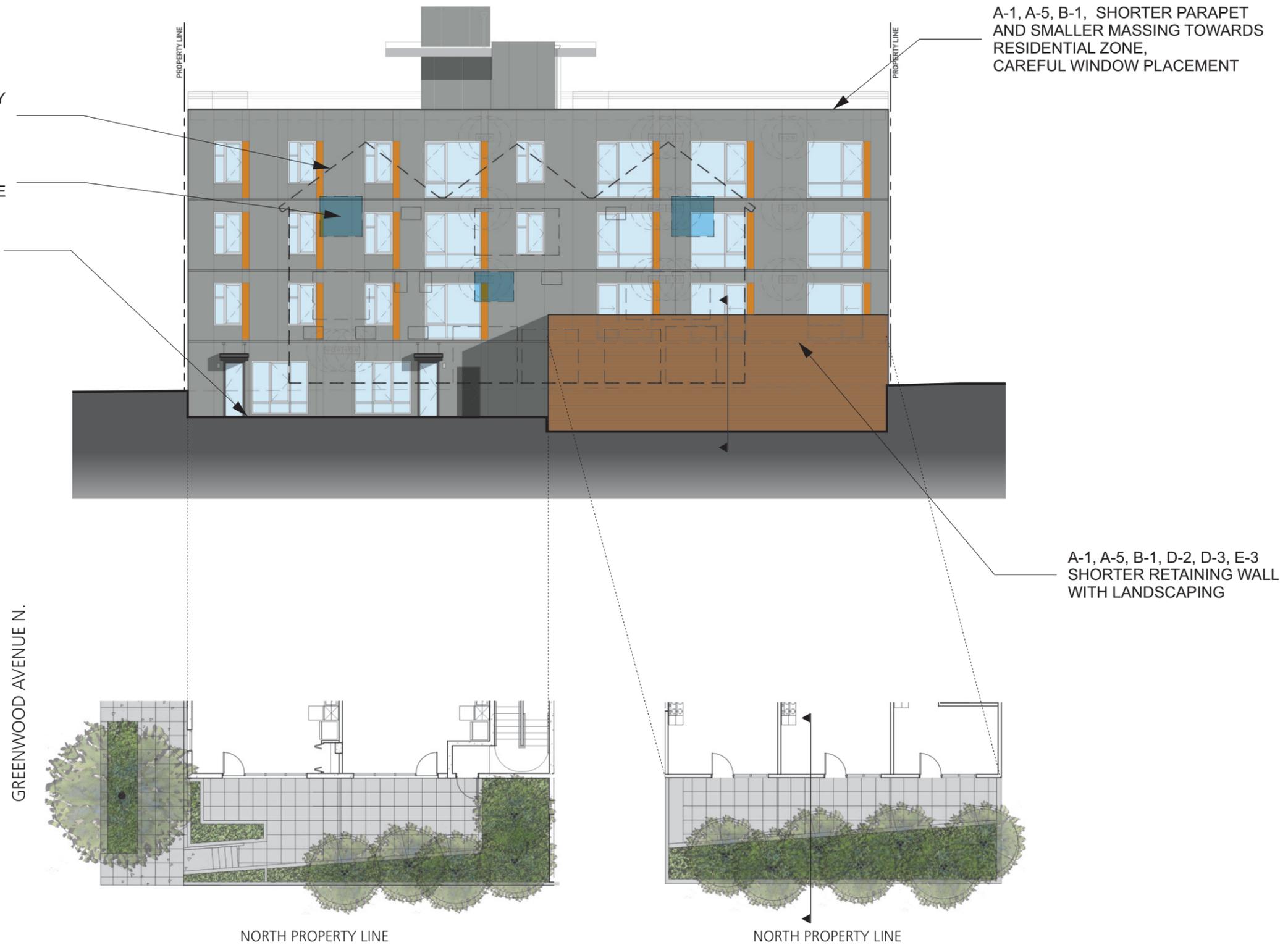
COLOR ELEVATIONS/ LANDSCAPE PLANS

OUTLINE OF ADJACENT 3 STORY TOWNHOME
3621 GREENWOOD AVE. W.

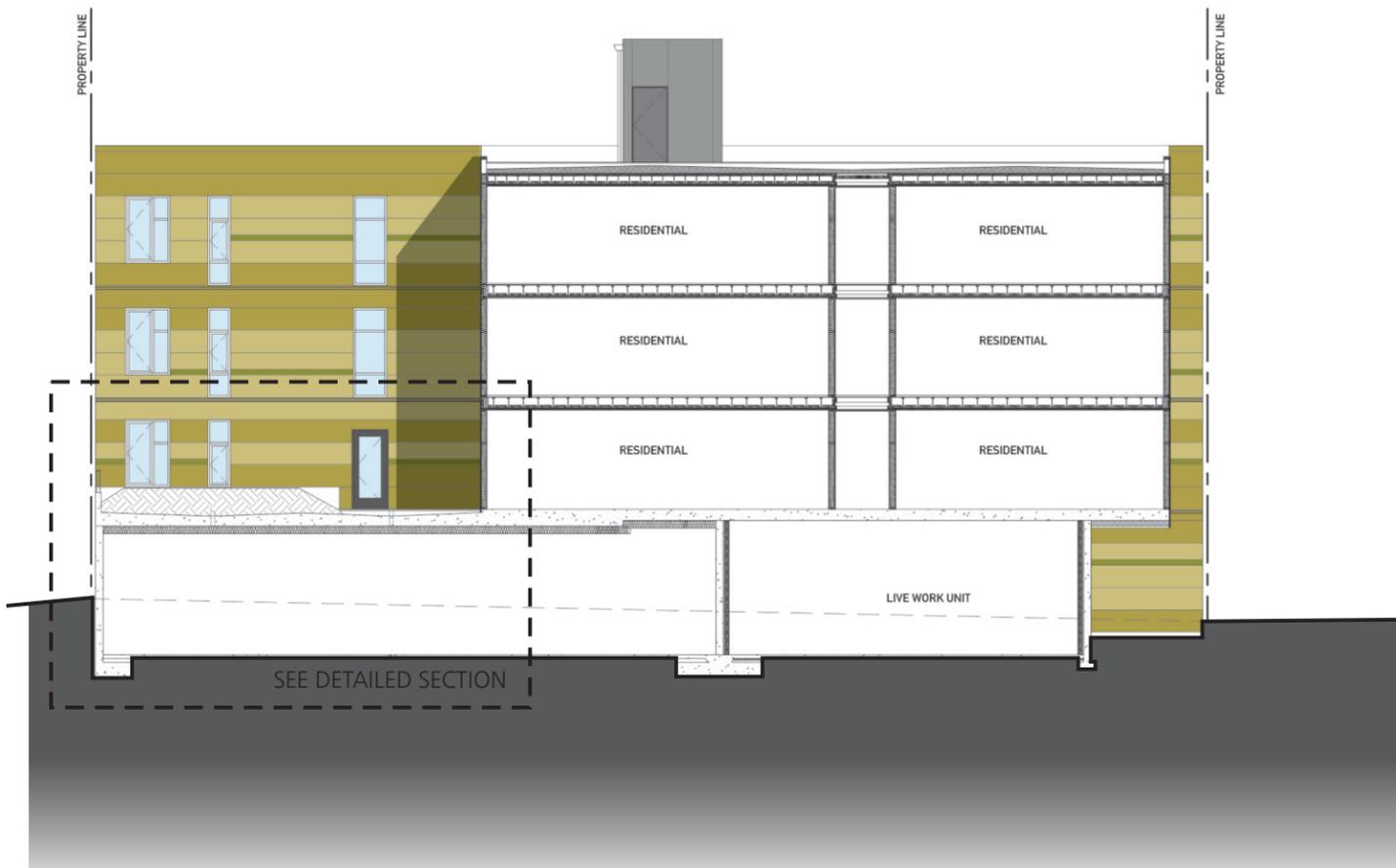
BEDROOM WINDOW OF
ADJACENT 3 STORY TOWNHOME

D-12 RESIDENTIAL TRANSITION
DEPARTURE REQUESTED

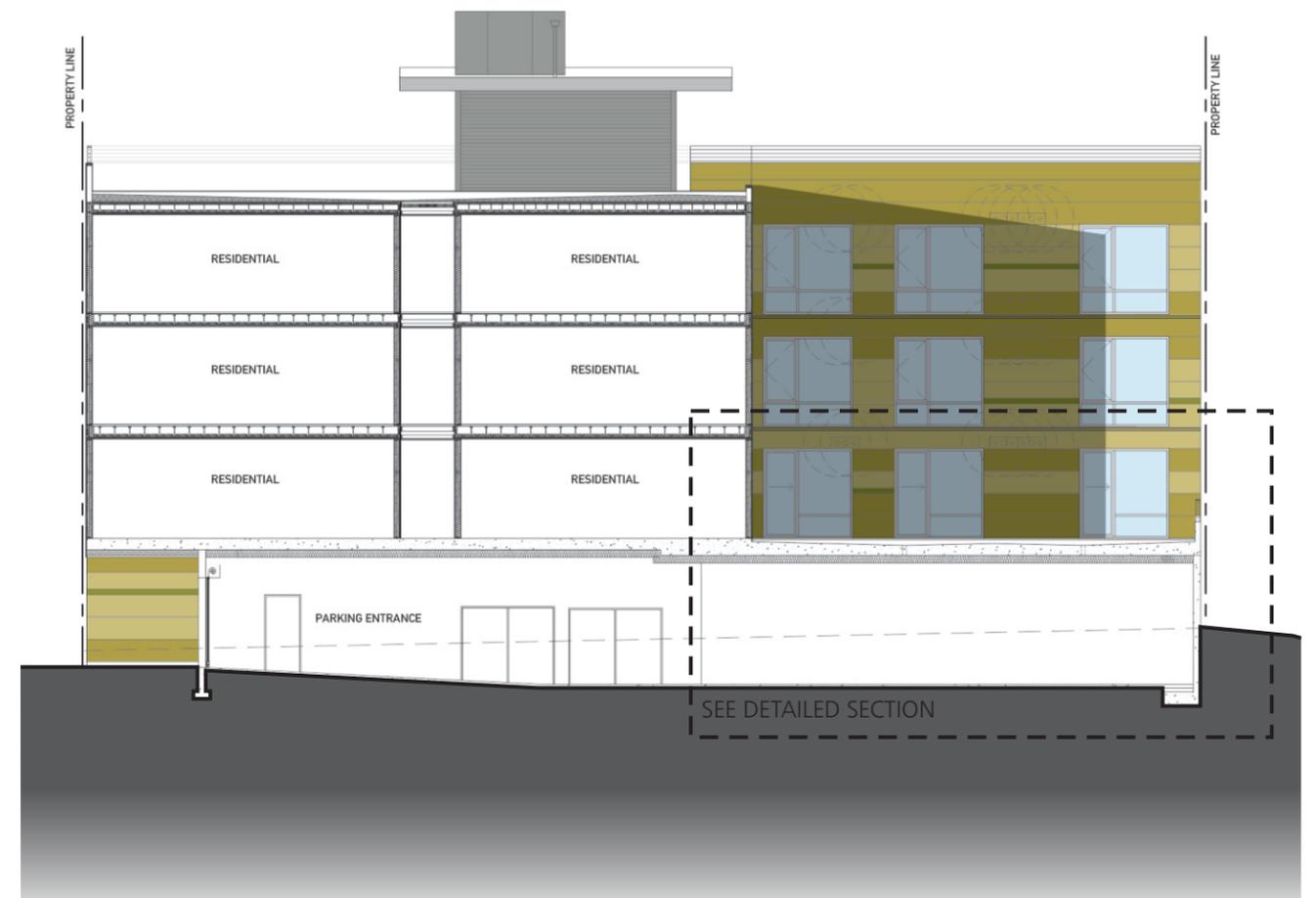
A-1, A-5, B-1, SHORTER PARAPET
AND SMALLER MASSING TOWARDS
RESIDENTIAL ZONE,
CAREFUL WINDOW PLACEMENT



A-1, A-5, B-1, D-2, D-3, E-3
SHORTER RETAINING WALL
WITH LANDSCAPING



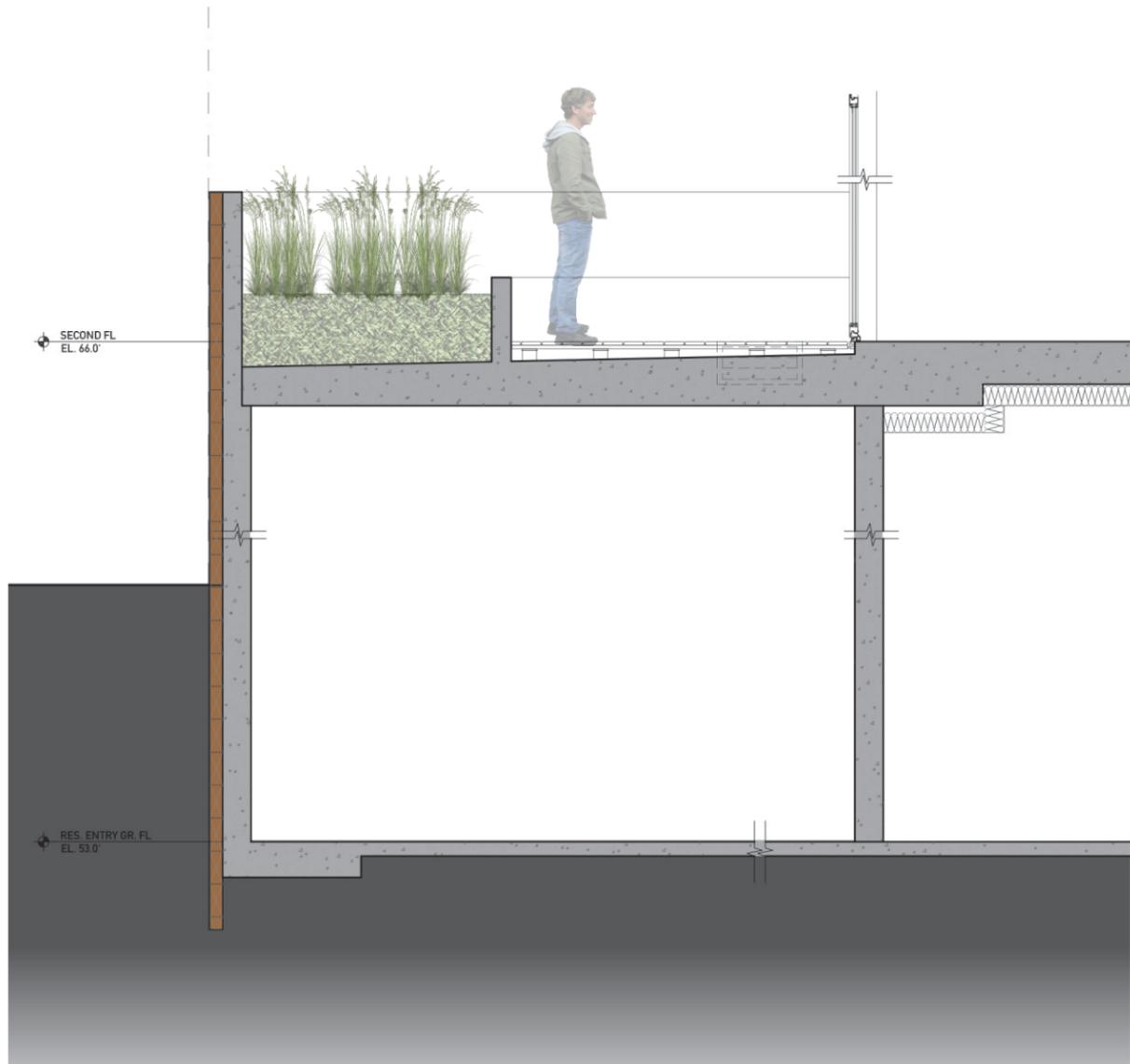
SECTION LOOKING NORTH



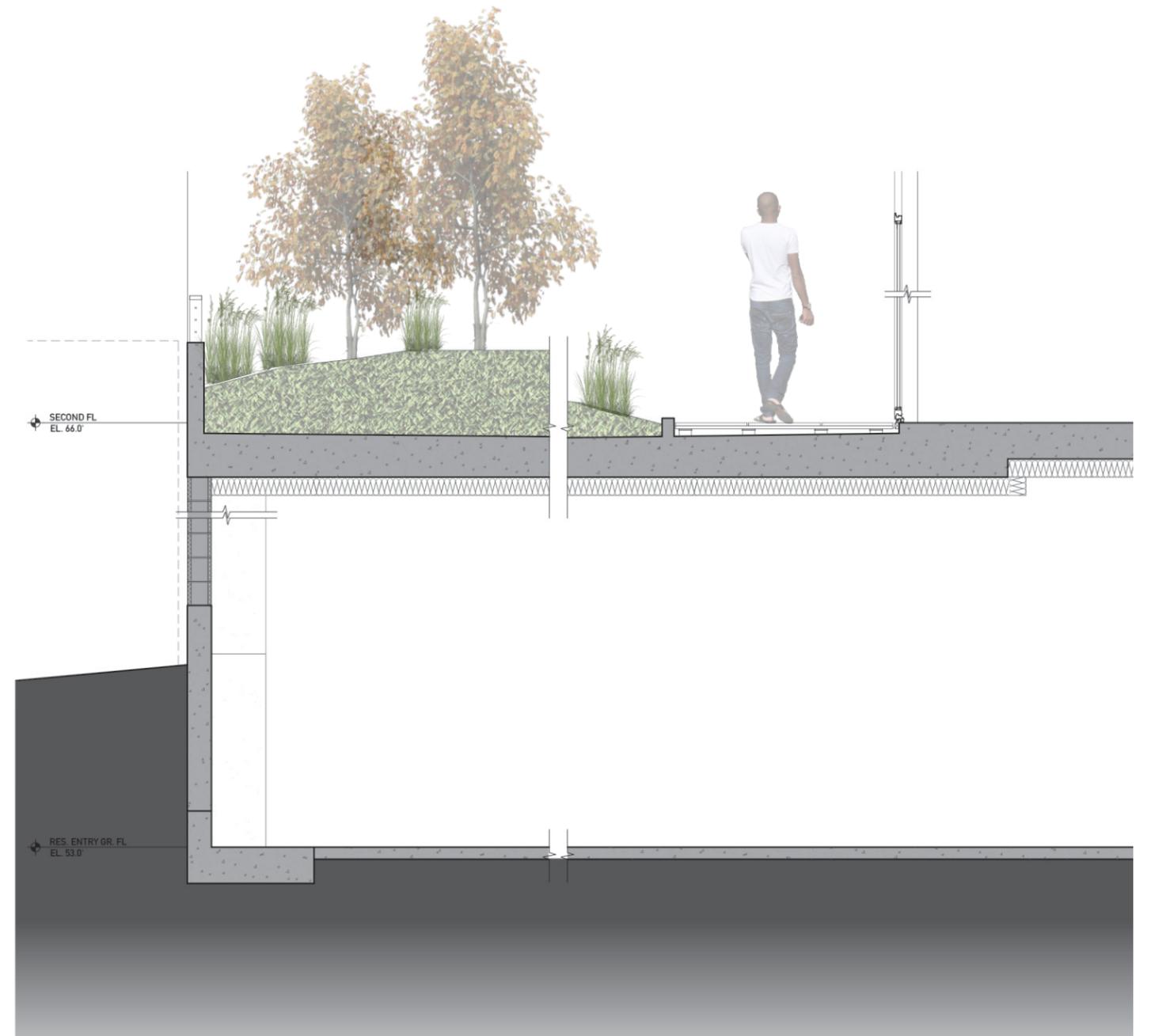
SECTION LOOKING SOUTH

COLOR ELEVATIONS/ SECTIONS

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SECTION THROUGH NORTH COURTYARD



SECTION THROUGH WEST COURTYARD/LIGHTWELL

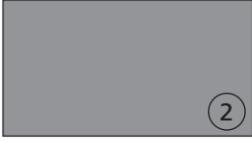
DETAILED SECTION



RENDERING - STREET LEVEL COMMERCIAL AND RESIDENTIAL ENTRY

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- 
FIBER CEMENT PANEL: OFF WHITE
①
- 
FIBER CEMENT PANEL: GRAY
②
- 
FIBER CEMENT STRIPS: GREEN VARIATION
③
- 
WOOD STRIP
④
- 
VINYL WINDOWS: WHITE AND DARK BROWN
⑤
- 
BRICK: BROWN
⑥
- 
ALUMINUM STOREFRONT & CANOPIES: CHARCOAL
⑦



RENDERING - VIEW FROM SOUTH EAST CORNER

02.24.2014 RECOMMENDATION PACKAGE
3601 GREENWOOD AVE. N. | FREMONT GREEN | DPD PROJECT # 3015117



RENDERING - VIEW FROM EAST

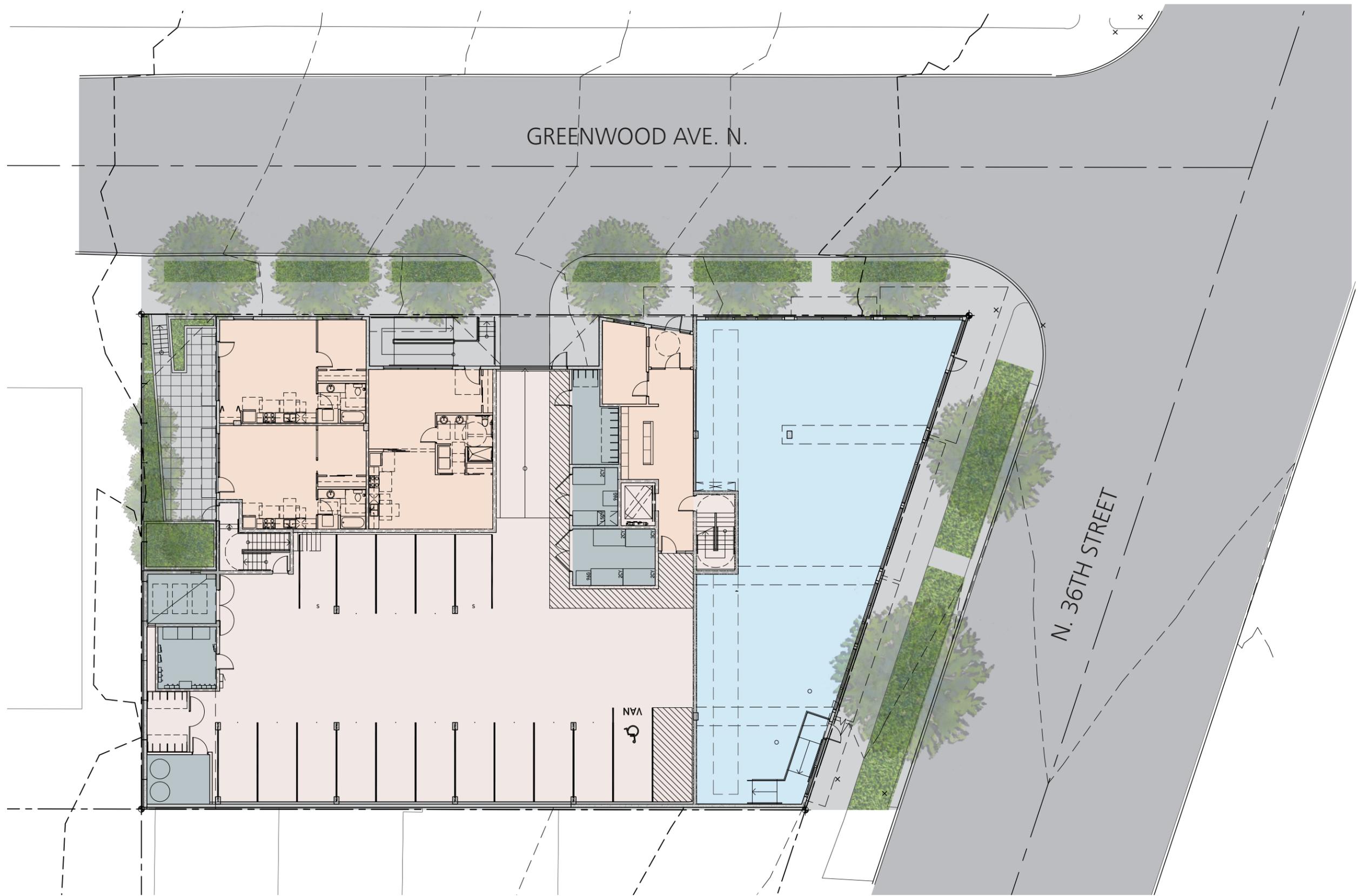


RENDERING - VIEW FROM SOUTH WEST CORNER

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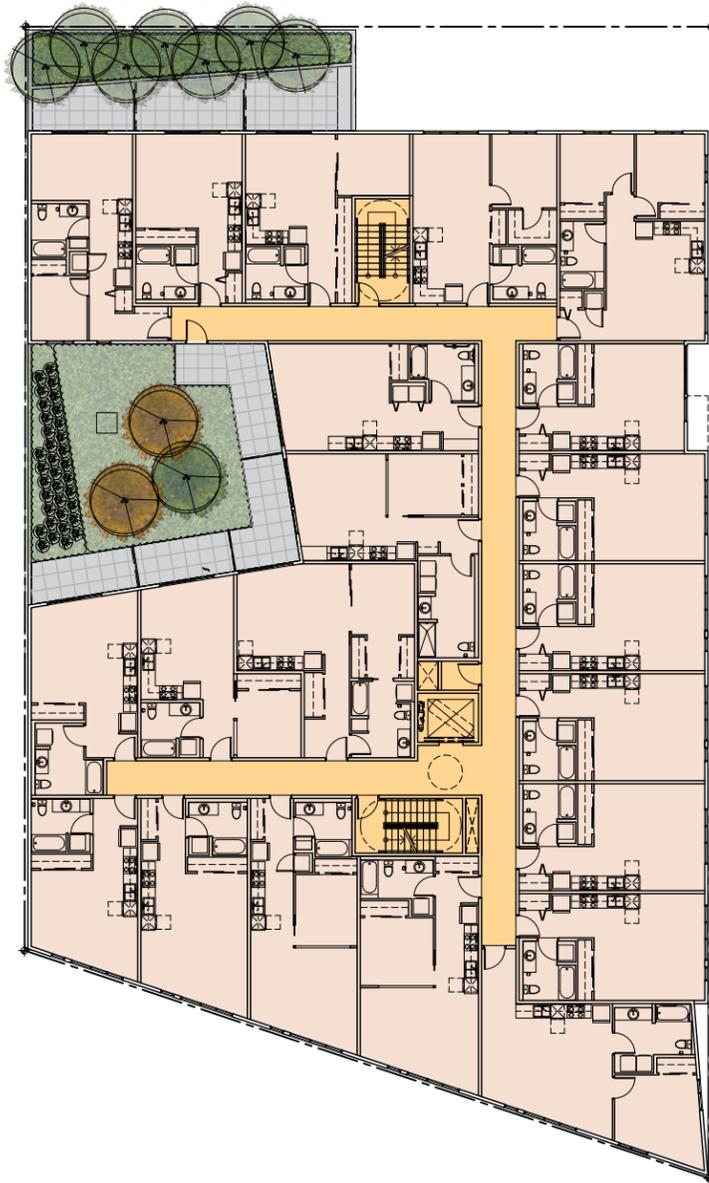


RENDERING - VIEW FROM NORTH EAST CORNER

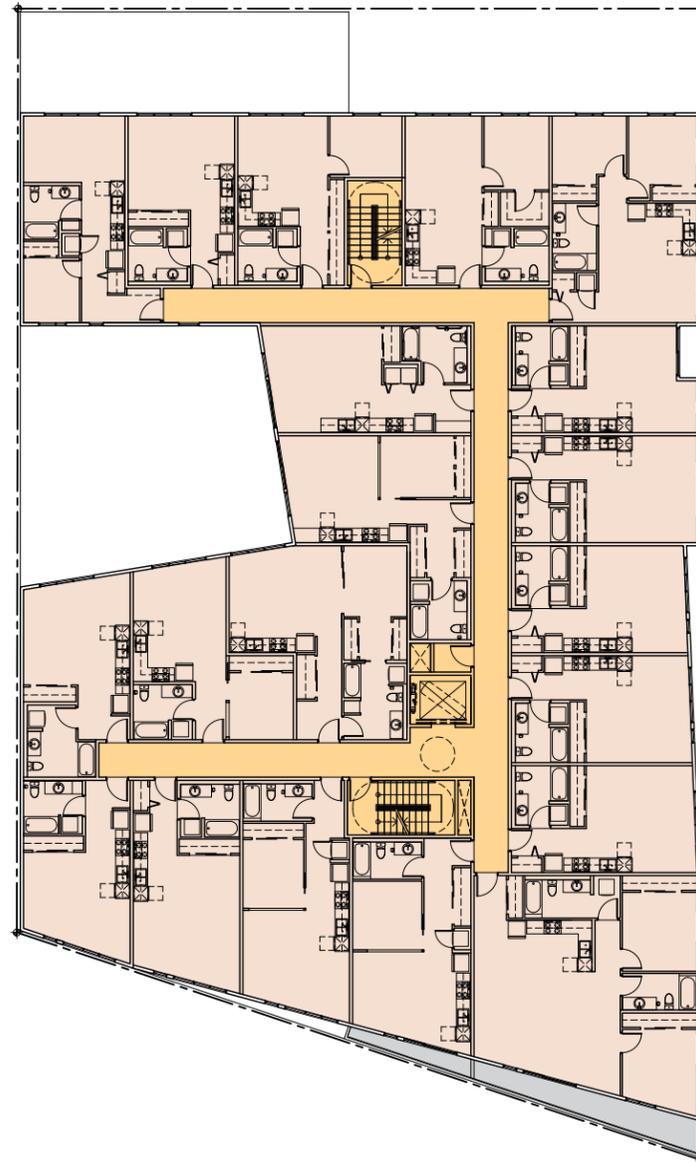


GROUND FLOOR PLAN 

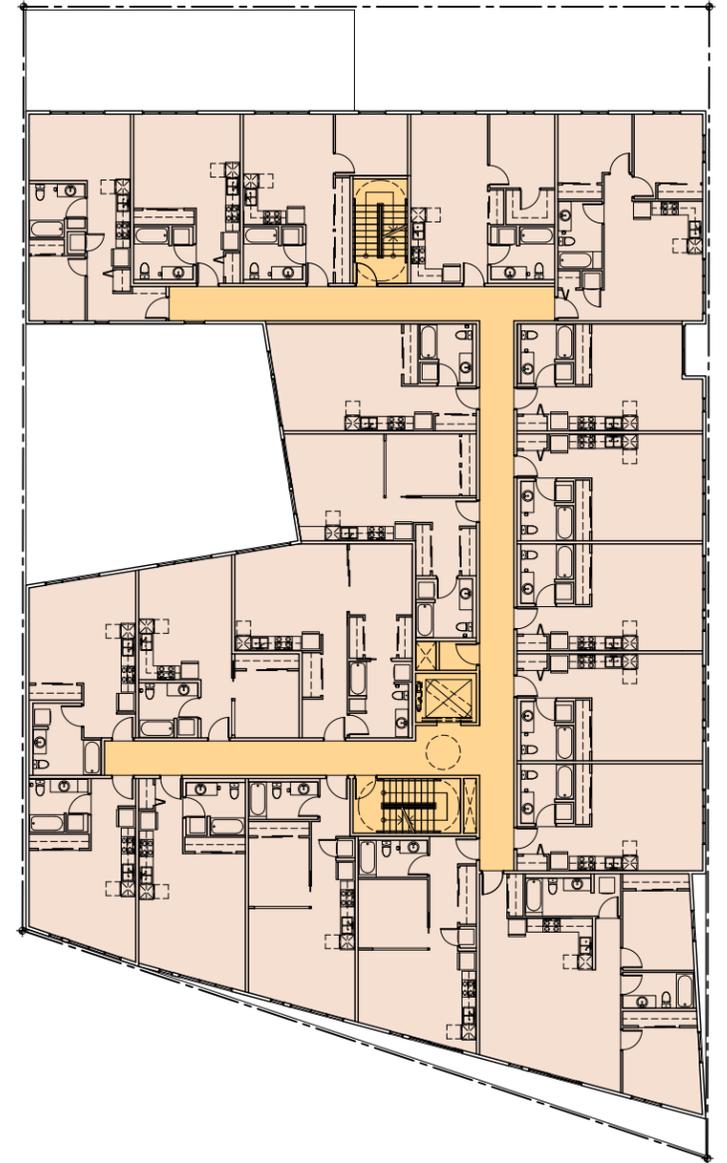
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SECOND FLOOR PLAN 

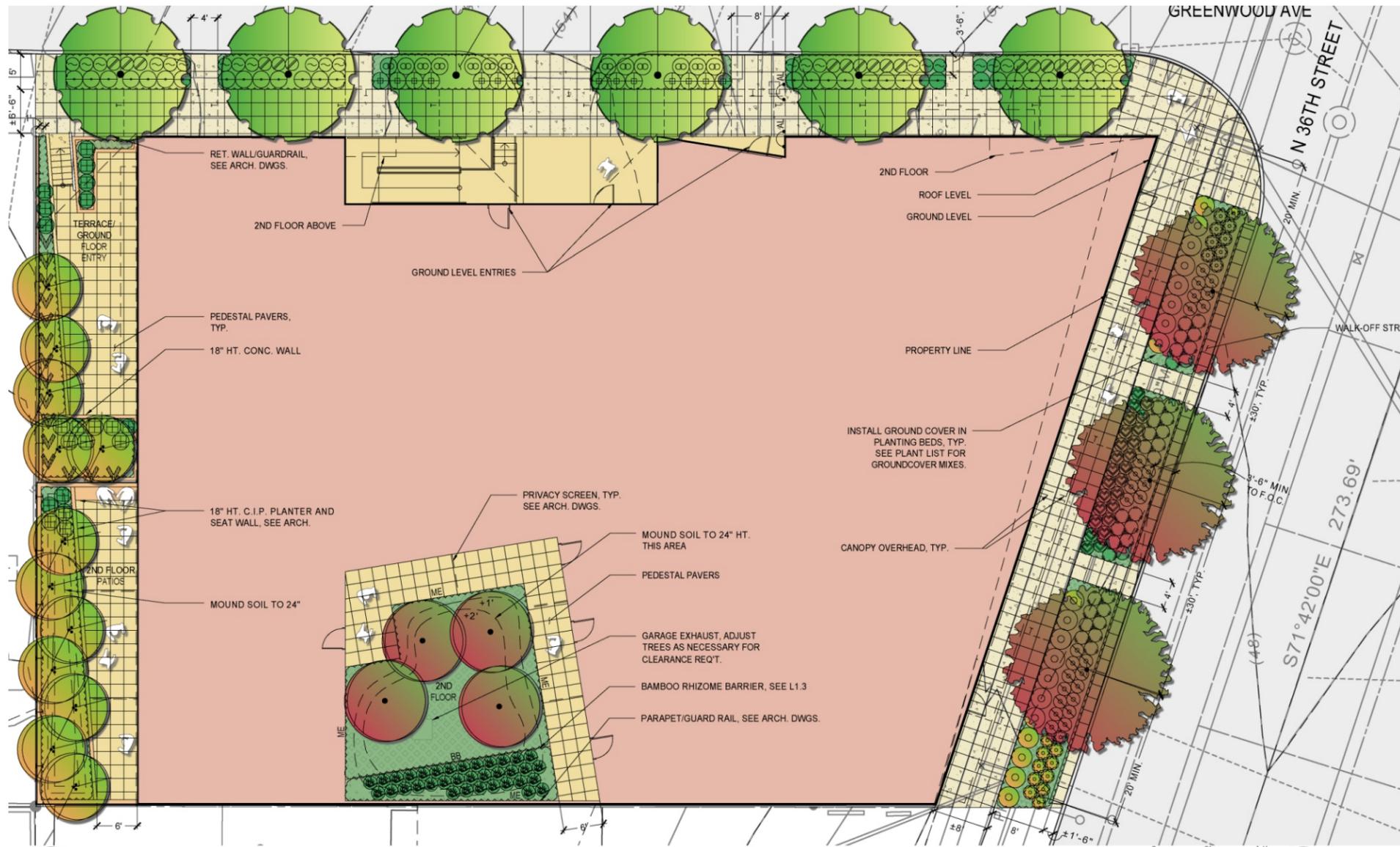


THIRD FLOOR PLAN 



FOURTH FLOOR PLAN 

FLOOR PLANS



Landscape Plan - Ground Flr & 2nd Flr
scale 1/8" = 1' - 0"

PLANT LIST		* DROUGHT TOLERANT PLANTS PER GREEN SEATTLE GREEN FACTOR PLANT LIST		** DROUGHT TOLERANT PLANT REFERENCES: - SUNSET WESTERN GARDEN BOOK - GREAT PLANT PICKS - ELISABETH C. MILLER BOTANICAL GARDEN	
SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	CONDITION	SPACING
STREET TREES					
	ACER TRUNCATUM X A. PLATANOIDES 'WARRENRED' - APPROVED BY SDOT ARBORIST BILL AMES, 10.18.2013	PACIFIC SUNSET MAPLE	2-1/2" CAL.	B&B	PER PLAN
	ZELKOVA SERRATA 'VILLAGE GREEN' - APPROVED BY SDOT ARBORIST BILL AMES, 01.23.2014	VILLAGE GREEN ZELKOVA	2-1/2" CAL.	B&B	PER PLAN
ON-SITE TREES					
	ACER CIRCINATUM**	VINE MAPLE	8'-10' HT.	B&B, MULTI	PER PLAN
	ACER JAPONICUM	FULL MOON MAPLE	8'-10' HT.	B&B, MULTI	PER PLAN
SHRUBS / GRASSES					
	CORNUS STOLONIFERA 'KELSEY'	'KELSEY' RED TWIG DOGWOOD	1 GAL.	CONT.	30" O.C.
	SARCOCOCCA RUSCIFOLIA	SWEET BOX	1 GAL.	CONT.	30" O.C.
	BUXUS MICROPHYLLA JAPONICA 'WINTER GEM'	'WINTER GEM' JAPANESE BOXWOOD	1 GAL.	CONT.	30" O.C.
	LONICERA PILEATA	BOXLEAF HONEYSUCKLE	5 GAL.	CONT.	36" O.C.
	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER'	'KARL FOERSTER' FEATHER REED GRASS	5 GAL.	CONT.	30" O.C.
	ROSA 'AMBER' FLOWER CARPET	'AMBER' FLOWER CARPET ROSE	1 GAL.	CONT.	24" O.C.
	SHIBATAEA KUMASACA**	SHIBATAEA BAMBOO	5 GAL.	CONT.	36" O.C.
	ILEX CRENATA 'HELLERI'	'HELLERI' JAPANESE HOLLY	1 GAL.	CONT.	24" O.C.
	PIERIS JAPONICA 'CAVATINE'	'CAVATINE' JAPANESE PIERIS	1 GAL.	CONT.	24" O.C.
	NANDINA DOMESTICA 'GULF STREAM'	'GULF STREAM' HEAVENLY BAMBOO	1 GAL.	CONT.	24" O.C.
	VIBURNUM DAVIDII*	DAVID'S VIBURNUM	5 GAL.	CONT.	30" O.C.
GROUNDCOVERS					
	OPHIOPOGON P. 'NIGRESCENS'	BLACK MONDO GRASS	1 GAL.	CONT.	18" O.C.
	LIRIOPE SPICATA	CREEPING LILYTURF	1 GAL.	CONT.	18" O.C.
	50% PACHYSANDRA TERMINALIS*	50% JAPANESE SPURGE	1 GAL.	CONT.	18" O.C.
	25% DRYOPTERIS ERYTHROSORA	25% AUTUMN FERN	1 GAL.	CONT.	18" O.C.
	15% BLECHNUM SPICANT	15% DEER FERN	1 GAL.	CONT.	18" O.C.
	10% HELLEBORUS X HYBRIDUS 'SUNSHINE'	10% 'SUNSHINE' HELLEBORE	1 GAL.	CONT.	18" O.C.
	50% EPIMEDIUM ALPINUM*	50% EPIMEDIUM	1 GAL.	CONT.	18" O.C.
	25% ASTILBE X ARENDSII 'PEACH BLOSSOM'	25% 'PEACH BLOSSOM' ASTILBE	1 GAL.	CONT.	18" O.C.
	25% POLYSTICHUM MUNITUM**	25% SWORD FERN	1 GAL.	CONT.	18" O.C.
VINES					
	50% HYDRANGEA PETIOLARIS	50% CLIMBING HYDRANDEA	1 GAL.	CONT.	PER PLAN
	50% PARTHENOCISSUS QUINQUEFOLIA*	50% VIRGINIA CREEPER	1 GAL.	CONT.	PER PLAN
GREENROOF PLANTING					
	SEDUM TILE PREVEGETATED MATS*, 8" SOIL DEPTH				
	SEDUM TILE PREVEGETATED MATS*, 5.25" SOIL DEPTH				
COLOR MAX. AVAILABLE FROM ETERA, CONTACT DAVID GILMORE 360.661.2767					
ACCENT PERENNIALS					
	PENNISETUM ALOPECUROIDES 'LITTLE BUNNY'	'LITTLE BUNNY' DWARF FOUNTAIN GRASS	1 GAL.	CONT.	18" O.C.
	LIATRIS SPICATA 'KOBOLD'	'KOBOLD' GAYFEATHER	1 GAL.	CONT.	PER PLAN
	NARCISSUS POETICUS 'ACTAEA'	'ACTAEA' POET'S DAFFODIL	(3) BULBS IN CLUMP AT EACH SYMBOL		



Pacific Sunset Maple
Acer trunc. x A. plat.
02.24.2014



Zelkova serrata
Village Green Zelkova



Vine Maple
Acer circinatum



Streetscape

3601 GREENWOOD AVE. N. | FREMONT GREEN | DPD PROJECT # 3015117

street level



MATERIALS LIST - STREET LEVEL

- CONCRETE PAVING
PER COS STD. PLAN 420 W/ THE FOLLOWING EXCEPTIONS:
-SAND COATED EXPANSION JOINTS
-SAW CUT CONTROL JOINTS
-FINISH: ACID ETCHED
- THROUGH JOINT

MATERIALS LIST - ON SITE

- CONCRETE PAVERS
24"X24" HYDRAPRESSED SLABS
W/APPIAN WAY PEDESTAL SYSTEM
COLOR/FINISH: TEXADA - NATURAL
BY ABBOTSFORD CONCRETE PRODUCTS 1.800.663.4091
- PEDESTAL SYSTEM
APPIAN WAY PEDESTAL SYSTEM
BY ABBOTSFORD CONCRETE PRODUCTS 1.800.663.4091
- GREEN ROOF TRAYS
ADVANCED VEGETATIVE ROOF SYSTEM (AVRS)
24"X24" TRAYS BY COLUMBIA GREEN TECHNOLOGIES, INC. 503.684.9123.
INSTALL PER MFG. INSTRUCTION.
- GREEN ROOF MULTI-LAYER SYSTEM - AS REQ'D TO FILL GAPS BETWEEN TRAYS
ADVANCED VEGETATIVE ROOF SYSTEM (AVRS)
MULTI-LAYER SYSTEM, BY COLUMBIA GREEN TECHNOLOGIES, INC. 503.684.9123.
INSTALL PER MFG. INSTRUCTION.
- METAL EDGE
GEODEGE ALUMINUM RESTRAINT, AVAIL. FROM COLUMBIA GREEN TECHNOLOGIES, INC. 503.684.9123. INSTALL PER MFG. INSTRUCTION.
- IRRIGATION CONCEALMENT EDGING
AVRS EDGING - IRRIGATION CONCEALMENT, AVAIL. FROM COLUMBIA GREEN TECHNOLOGIES, INC. 503.684.9123. INSTALL PER MFG. INSTRUCTION.
- BAMBOO RHIZOME BARRIER
AVAIL. FROM BEAUTY AND THE BAMBOO, 206.781.9790
- PEBBLE MULCH
7/8" DIA CLEAN-WASHED GRANITE, AVAIL. FROM QUARRY S/E, INC., 525 SOUTH FRONT STREET, SEATTLE, WA 98108 206.522.8670, 4" DEPTH MIN., FLUSH W/ ADJ. TRAYS.
- ROOF DECKING
SEE ARCH. DWGS
- GUARDRAIL, SEE ARCH.
- BBO
N.I.C.
- TROUGH PLANTERS
6' L X 2"W X 24" MIN H GALVANIZED STOCK TANK W/ (3) 1/2"Ø DRAINAGE HOLES IN BOTTOM
- ROOF LIGHTING
HANGING LIGHTS, SEE ARCH. DWGS FOR PRODUCT & ATTACHMENT

Landscape Plan - Roof Deck
scale 1/8" = 1' - 0"



Sedum Mix

Accent Perennials

rooflevel





RENDERING - AERIAL VIEW OF ROOF DECK

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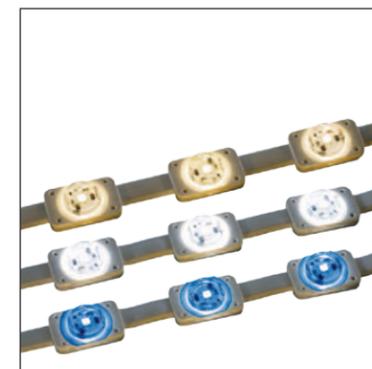
RENDERING - VIEW OF ROOF DECK



EXTERIOR WALL MOUNT:
VISION 3 WM1
OR SIM.



EXTERIOR ACCENT LIGHTING:
LUMIERE
CAMBRIA OR SIM.



INDIRECT LED WALL WASH:
TOKISTAR
TOKILUM OR SIM.



INDIRECT LED WALL WASH:
TOKISTAR
REVLER OR SIM.

GROUND LEVEL LIGHTING PLAN 

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RENDERING - VIEW FROM SOUTH EAST CORNER



RENDERING - VIEW FROM SOUTH WEST CORNER

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3601 GREENWOOD AVE. N. | FREMONT GREEN | DPD PROJECT # 3015117

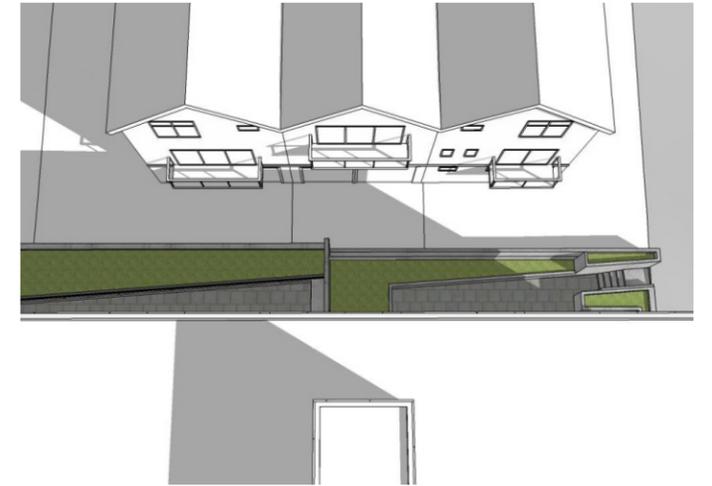
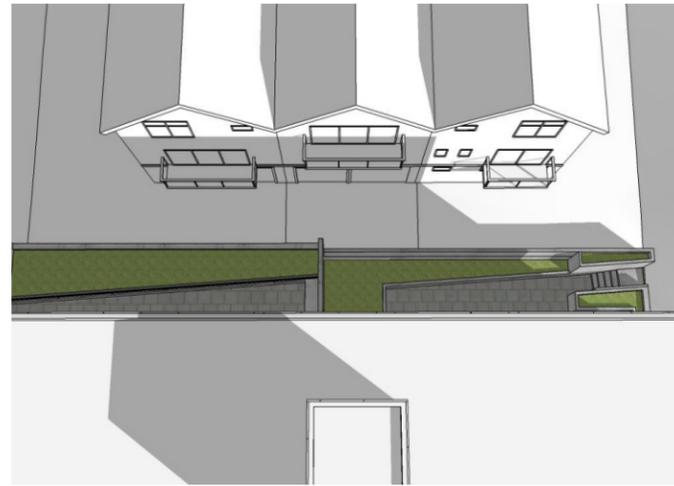
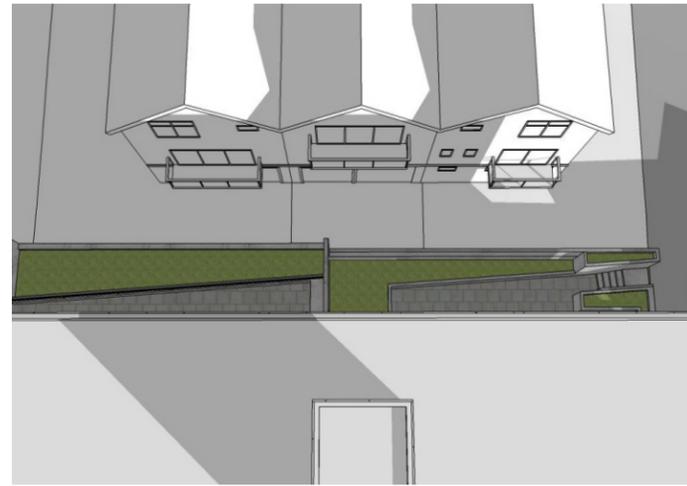
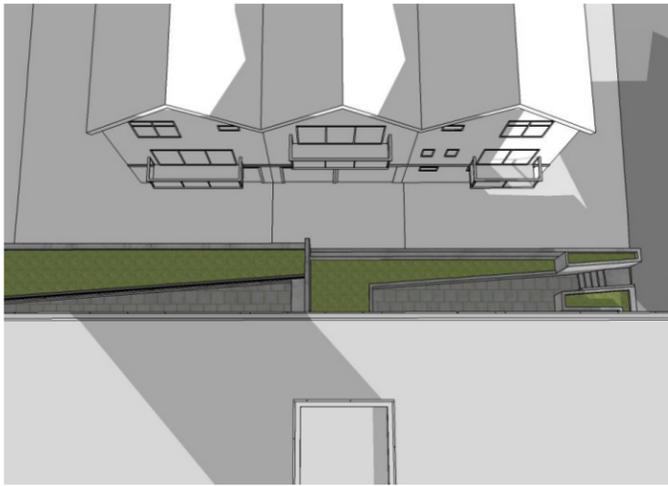


RENDERING - VIEW OF ROOF DECK

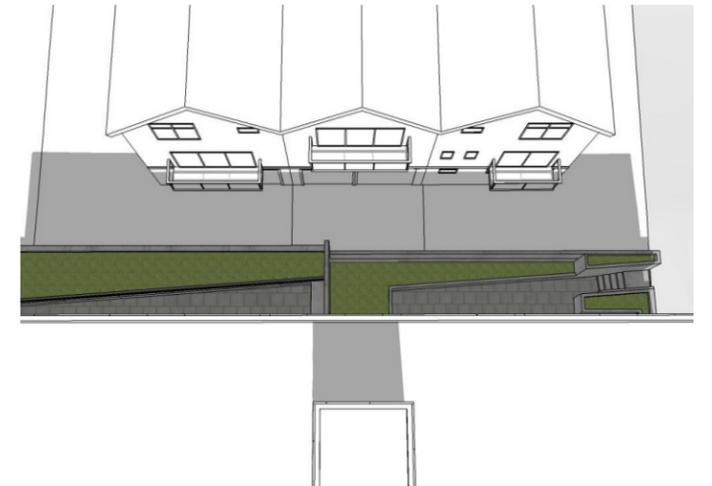
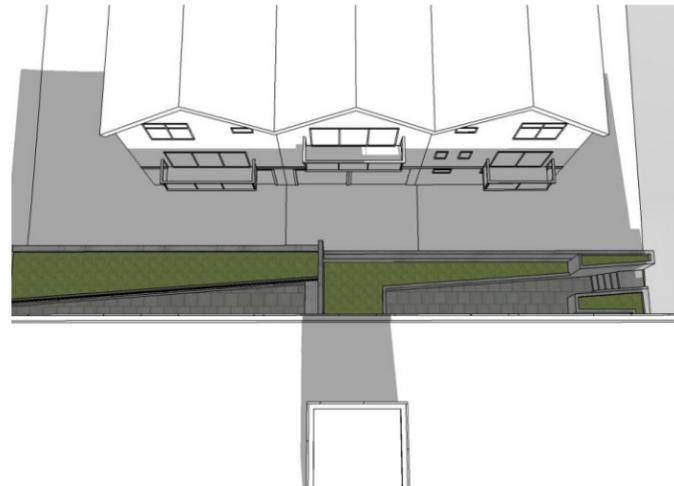
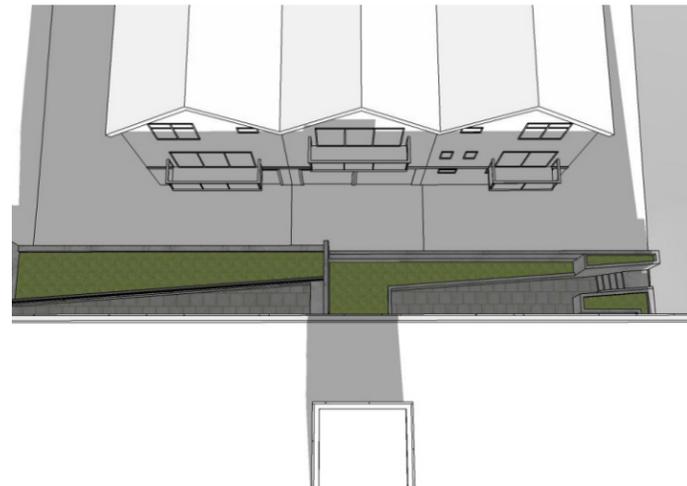
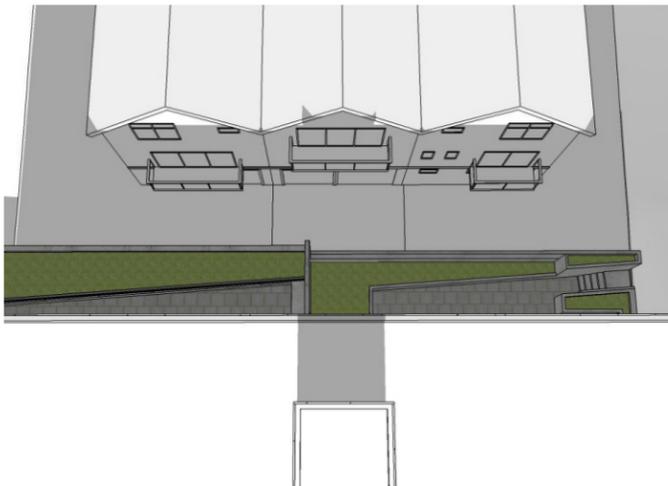


RENDERING - VIEW OF EAST FACADE

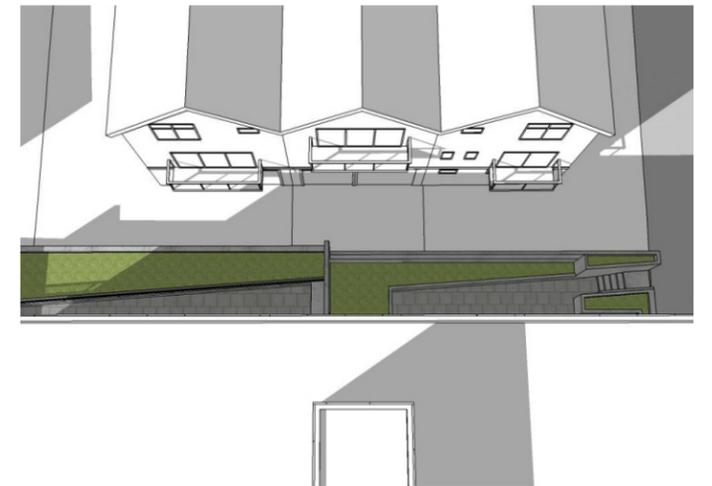
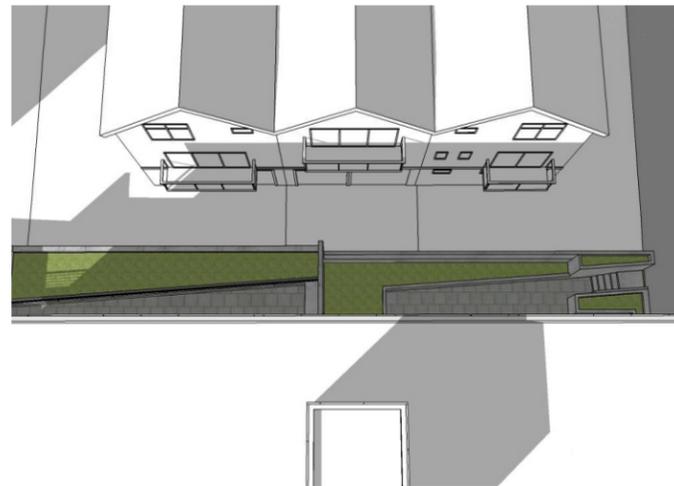
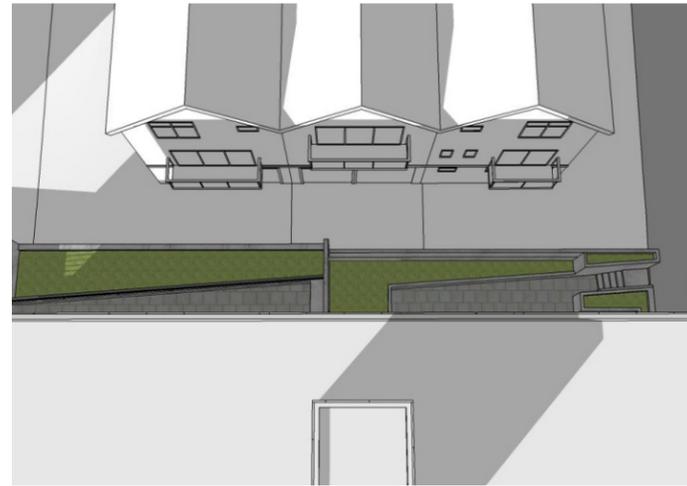
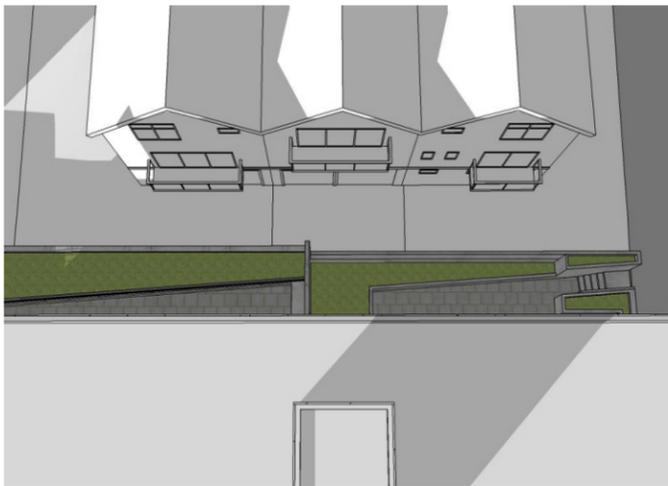
02.24.2014 RECOMMENDATION PACKAGE
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9 AM



NOON



3 PM

DECEMBER 21ST
SHADOW STUDIES

JANUARY/ NOVEMBER 21ST

FEBRUARY/ OCTOBER 21ST

MARCH/ SEPTEMBER 21ST