



463 14th Ave / Seattle, WA



PROJECT

Address: 463 14th Ave / Seattle, WA  
 Zone: NC-240 (12th Avenue Urban Center Village)  
 DPD #: 3015025/6352077  
 APN: 290870-0035  
 DPD Staff: Bradley Wilburn

PROPOSAL

We are proposing three four-story townhomes with rooftop decks. Although parking is not required, we are proposing a one-car garage per townhome. There is a 3'-0" alley dedication requirement.

CONTEXT

The current use is of a small 1 story restaurant with 9 surface parking spaces. Immediately to the north of site (across Jefferson) is a large playing field (Seattle University); to the east is a large 6 story medical building; to the south is a complex of two one-story single family homes and 3 rowhouses and 1 townhome; to the west is a single story commercial building and surface parking lot.

Farther off, to the north, are more Seattle University buildings; to the west, 12th avenue pedestrian corridor with several small business; to the east, residential; and to the south is the large King County Juvenile Detention center.

This neighborhood is a dynamic and vital spot with a lots of potential foot traffic. Many residents & students will walk by on their way to other businesses and university facilities.

ADJUSTMENTS

23.47A.008 Street-level development standards  
 D.2: The floor of a dwelling unit located along the street-level street-facing facade shall be at least 4 feet above or 4 feet below sidewalk grade or be set back at least 10 feet from the sidewalk.

We are requesting a departure from this requirement because we believe that raising, or lowering, the ground floor 4 feet does not maintain a friendly pedestrian access to the structure. We propose a street level entrance set back 5' from the sidewalk. This allows us to provide non-required garage parking (this flat site would not accommodate the required sloping for a garage if it were raised or lowered 4 feet), a strong continuous street-facing facade, and a friendly accessible entry. We are proposing an entry that is marked architecturally by a large overhang with a boundary suggested by a steel post and a warm cedar cladding. To further define the entry and make it more defensible, we are proposing a galvanized planter with horsetail plants which are hardy & fast growing plants that are commonly used for screening. Addressing and lighting will further define the space. The ground floor space use is limited to entry, utility and waste/recycling storage, and garage.



Overview



Entry on 14th Ave, a mix of friendly & accessible with defensible space

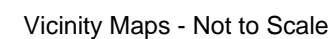


Example of unfriendly, but highly defensible, raised entry

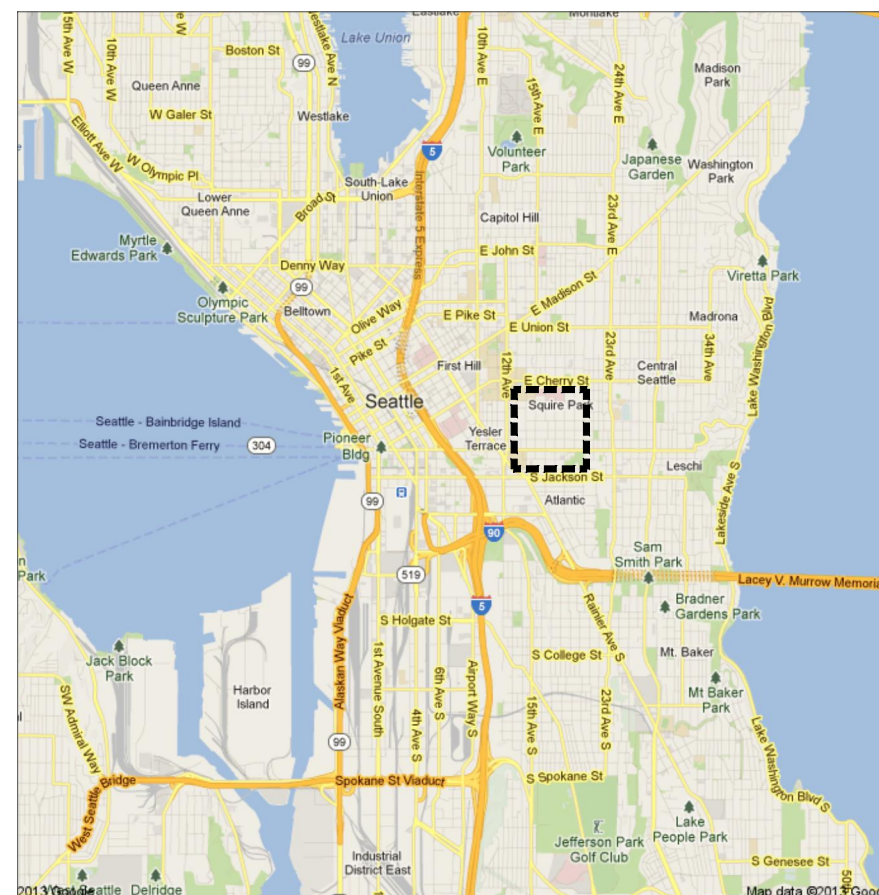


Friendly at sidewalk





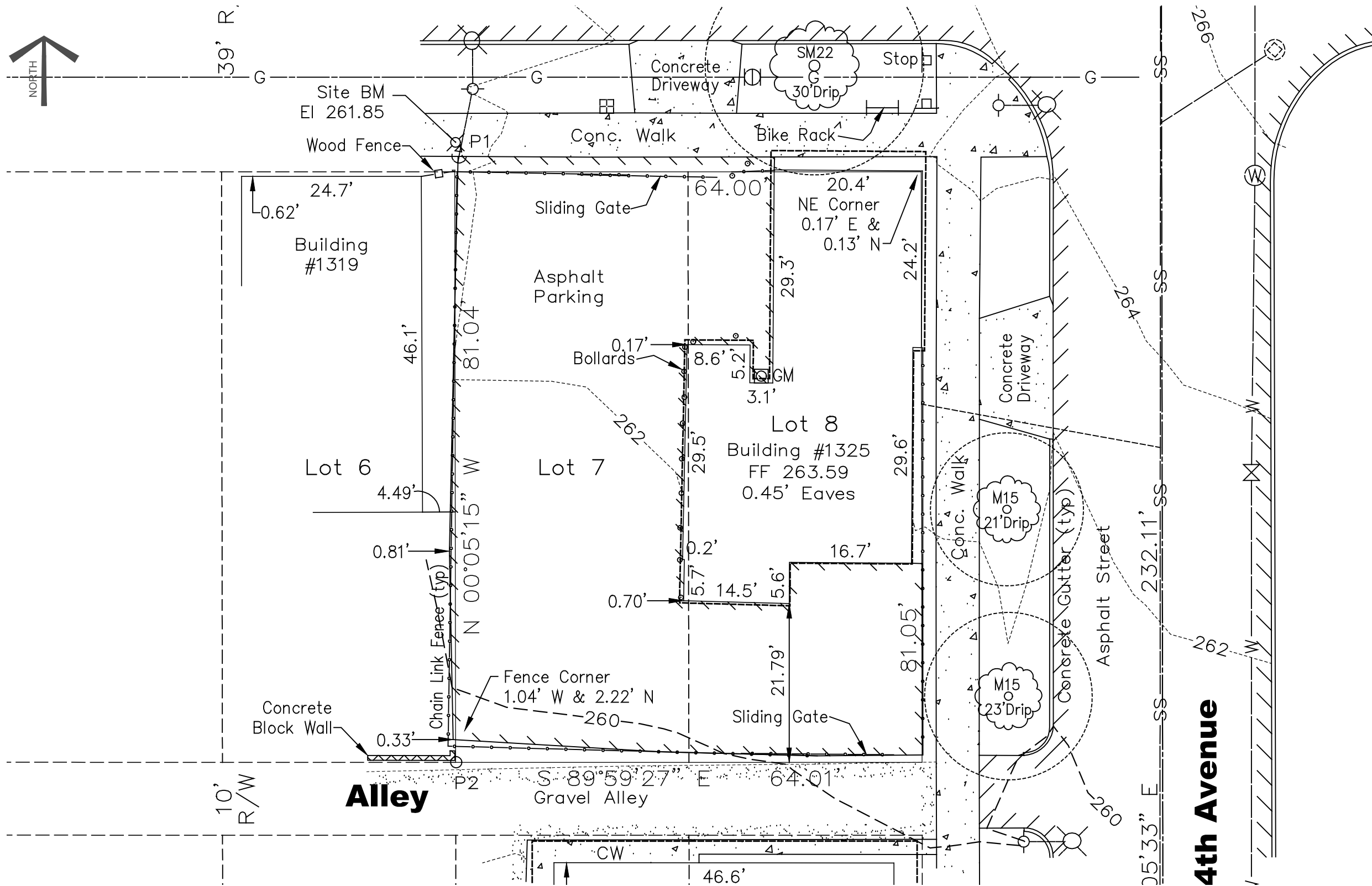
### Aerial View of Site

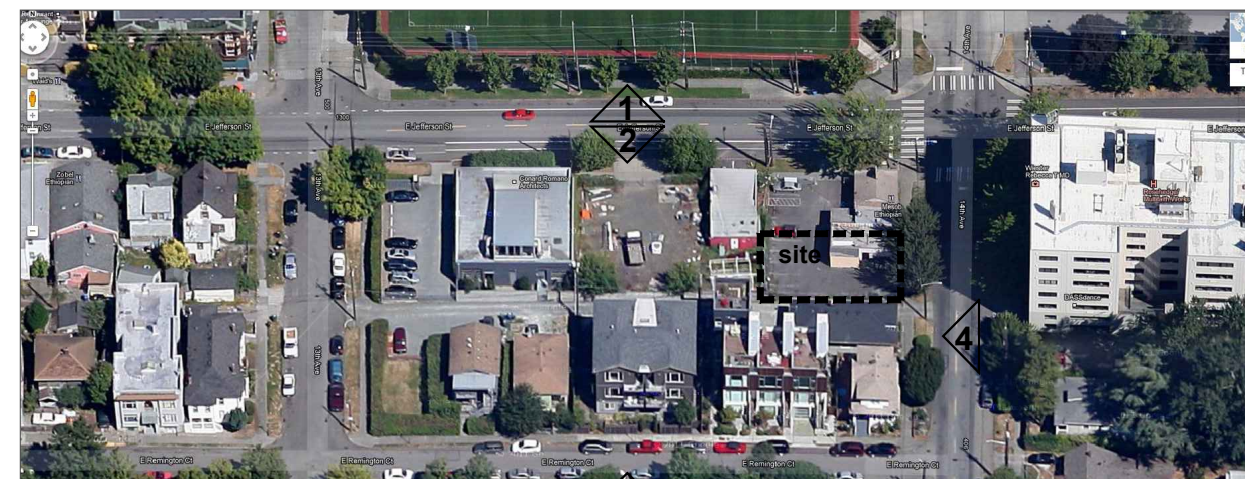


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## Streamlined Design Review

General Packet: May 3, 2013





aerial view



13th looking north



Seattle University Playing Fields



14th looking north  
[1] Jefferson street panorama looking north



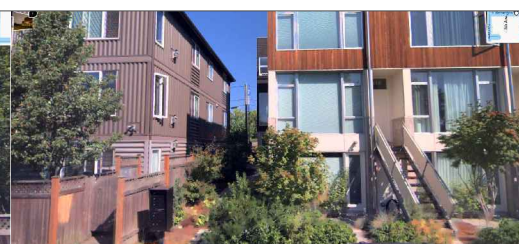
looking south down 14th



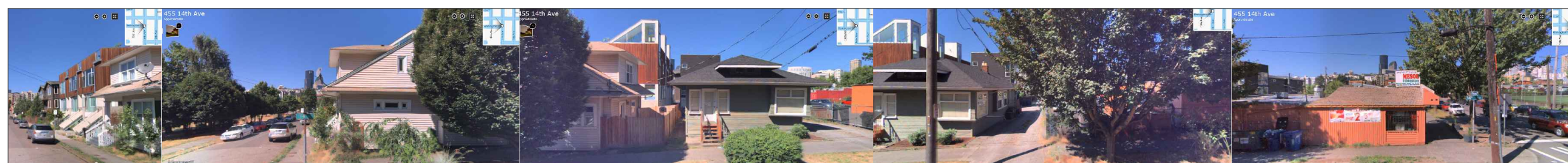
existing restaurant and  
surface parking lot



[2] Jefferson street panorama looking south

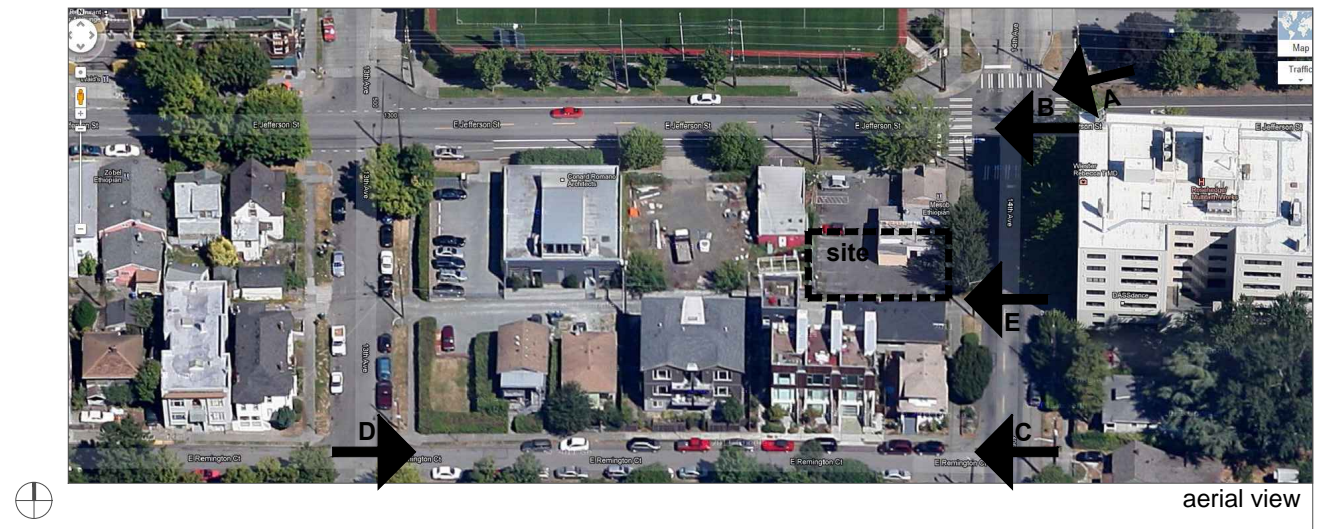


[3] E. Remington Court panorama looking north

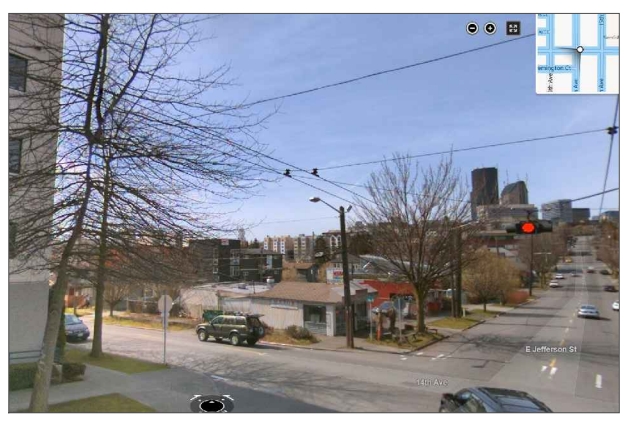


[4] 14th Ave street elevation looking west

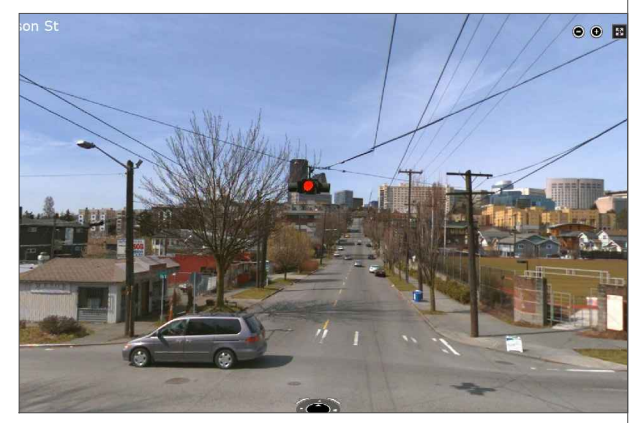




aerial view



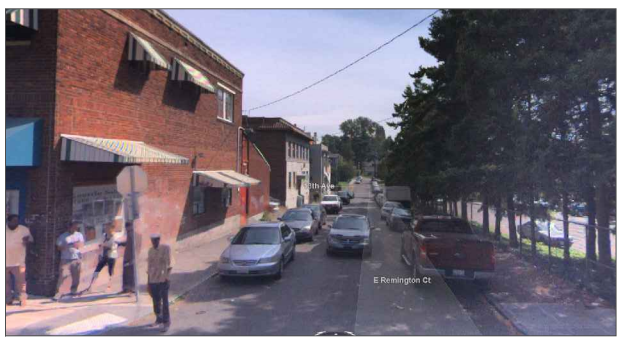
[A] corner view



[B] view looking west down Jefferson Street



[C] looking west down E. Remington Court

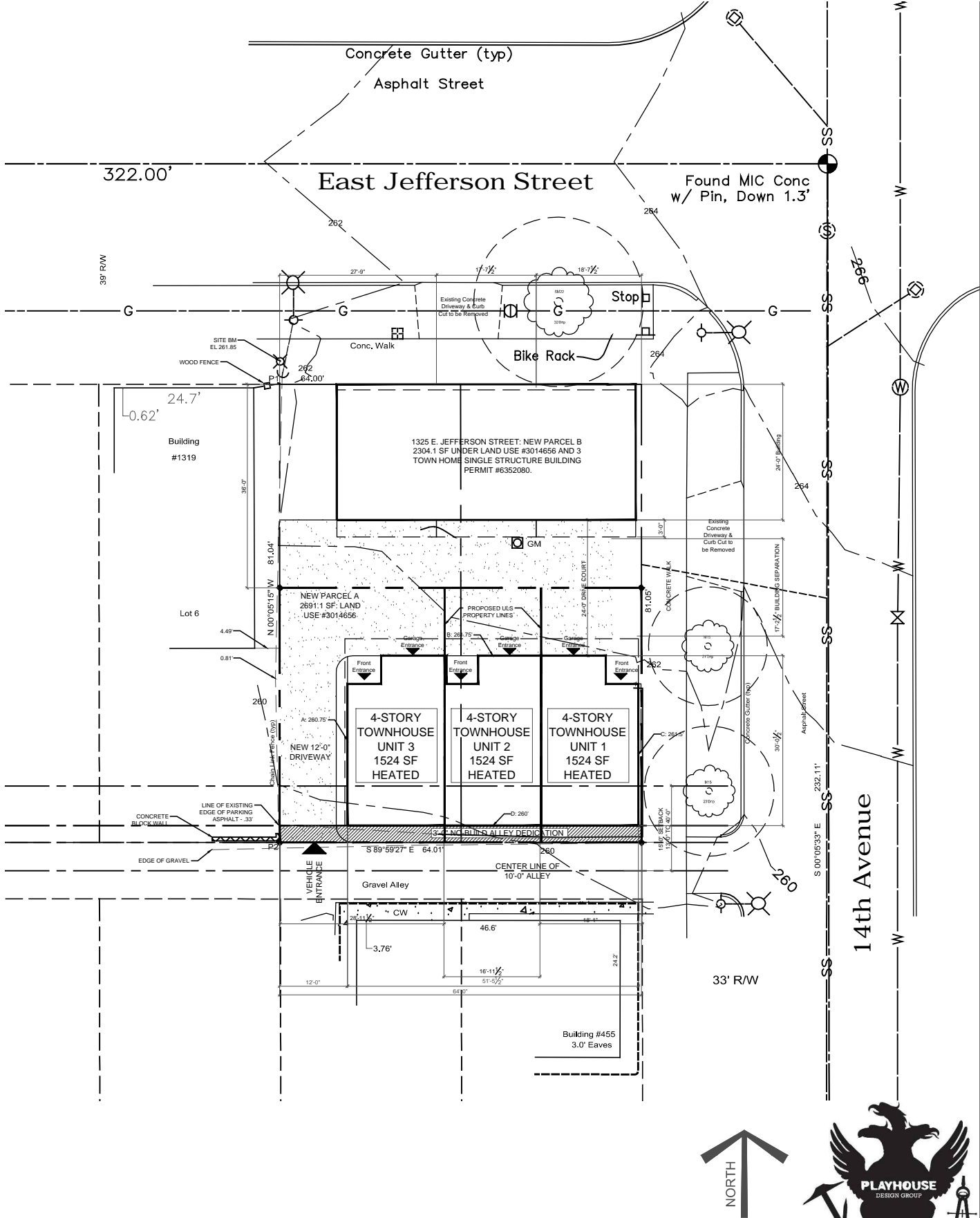


[D] looking east down E. Remington Court



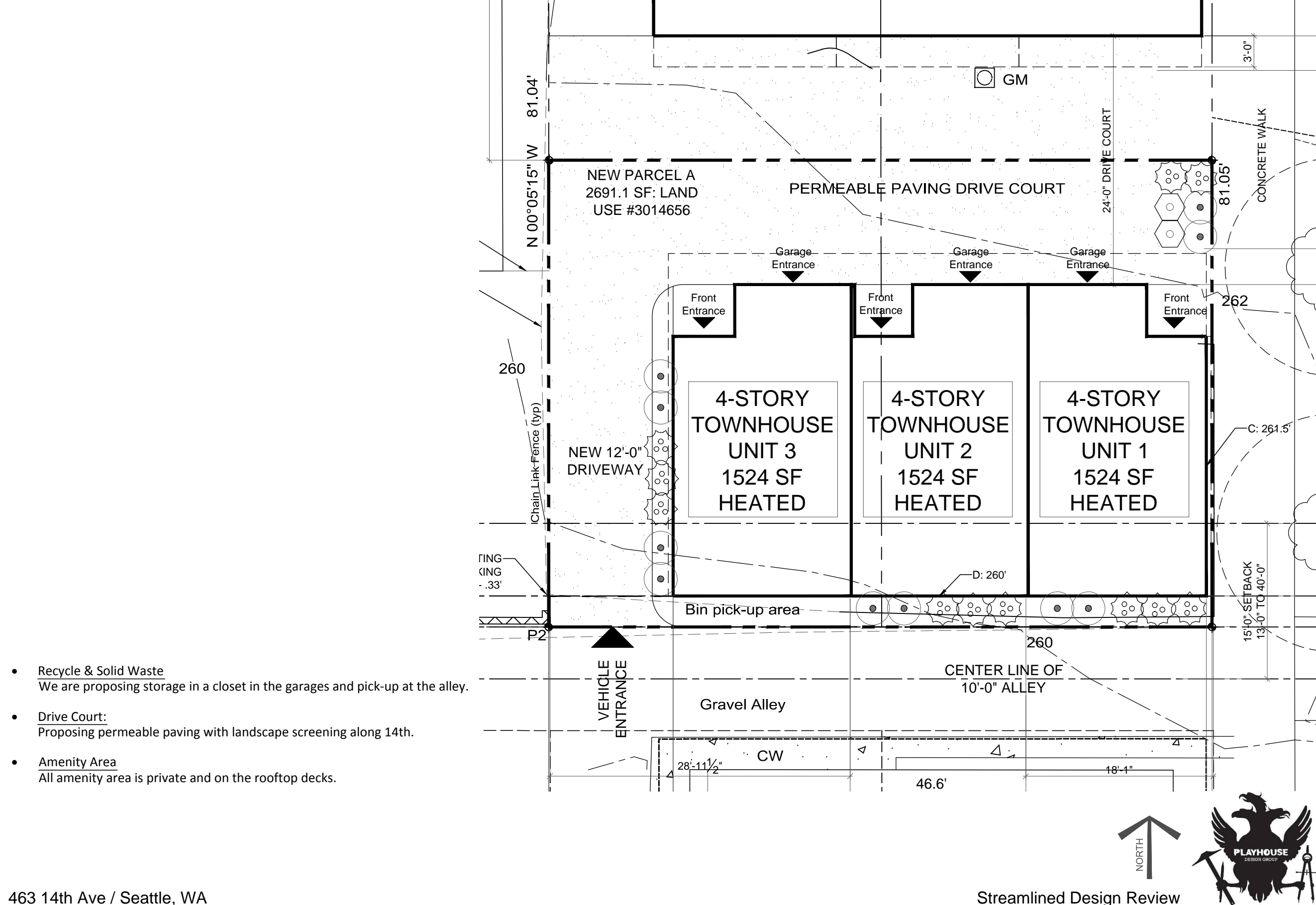
[E] looking west down the alley, our site to the left





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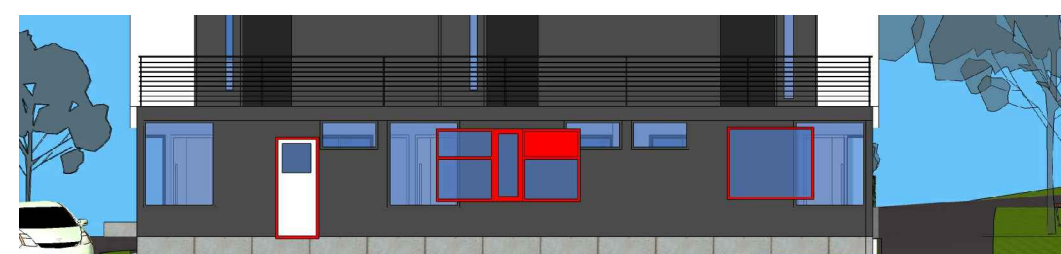


- Recycle & Solid Waste  
We are proposing storage in a closet in the garages and pick-up at the alley.
- Drive Court:  
Proposing permeable paving with landscape screening along 14th.
- Amenity Area  
All amenity area is private and on the rooftop decks.





Outline of Stairs



Alley Elevation with Facing Single Family Residence Windows Super-Imposed on Elevation

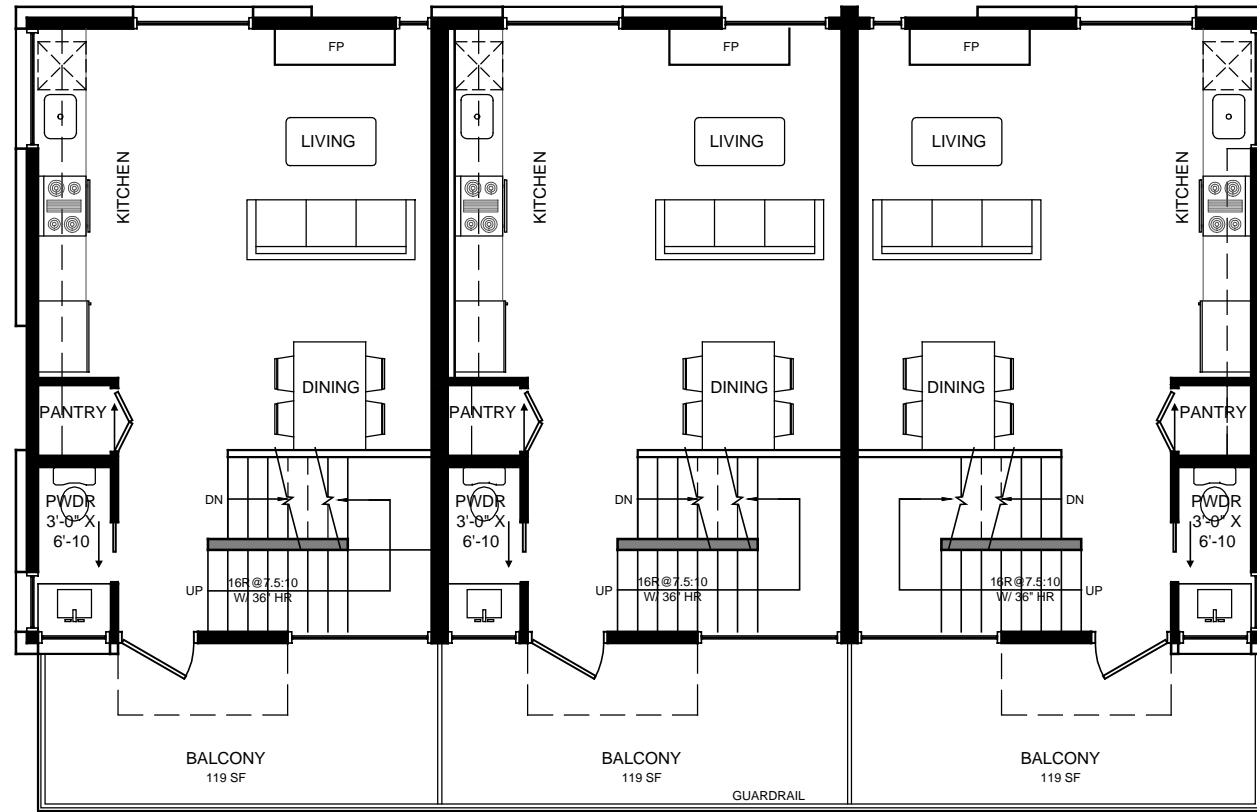
The single family residence to the south across the alley is the closest structure to our proposed project. This image shows the existing residences windows super-imposed on our elevation. This space on the ground floor is an office/storage space and therefore is not a high use area.



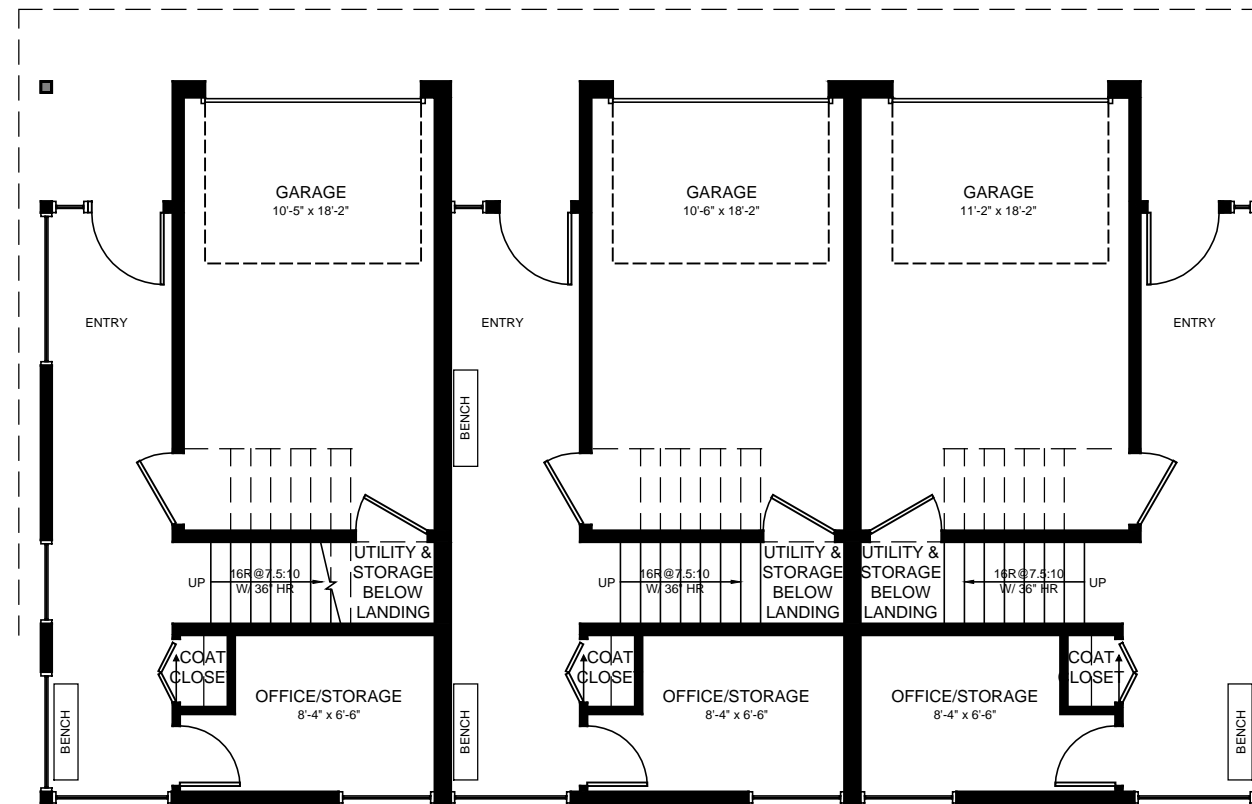


Elevation along 14th Ave



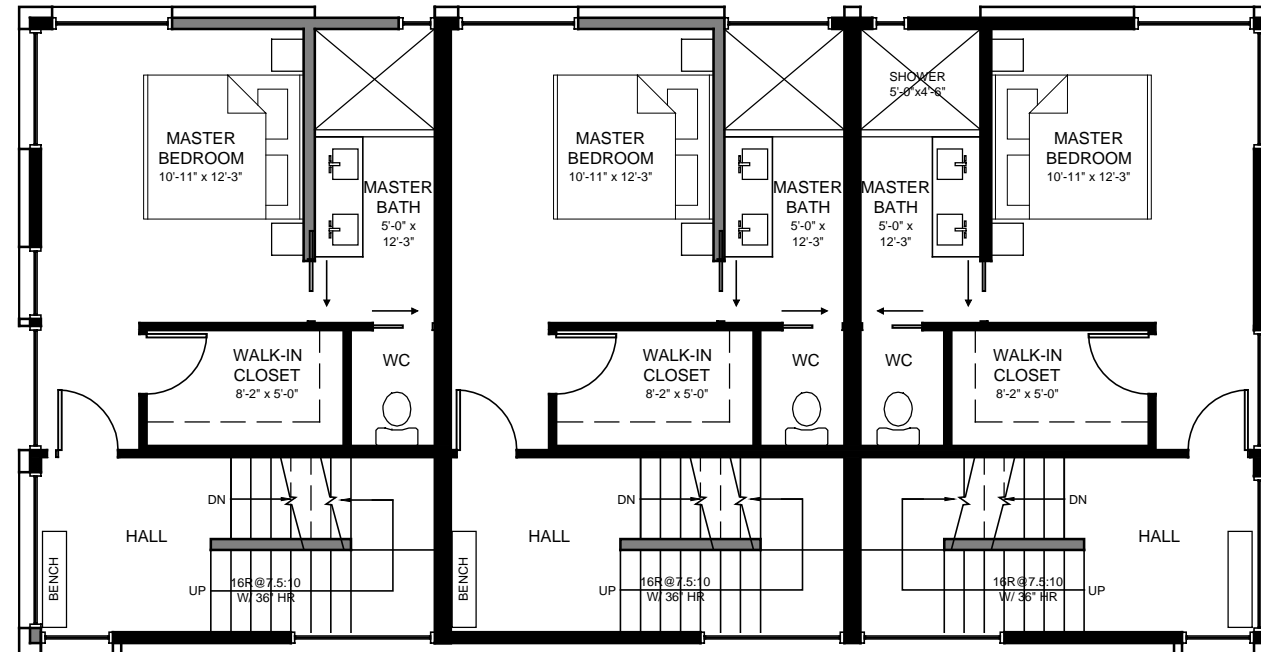


[2] second floor plan

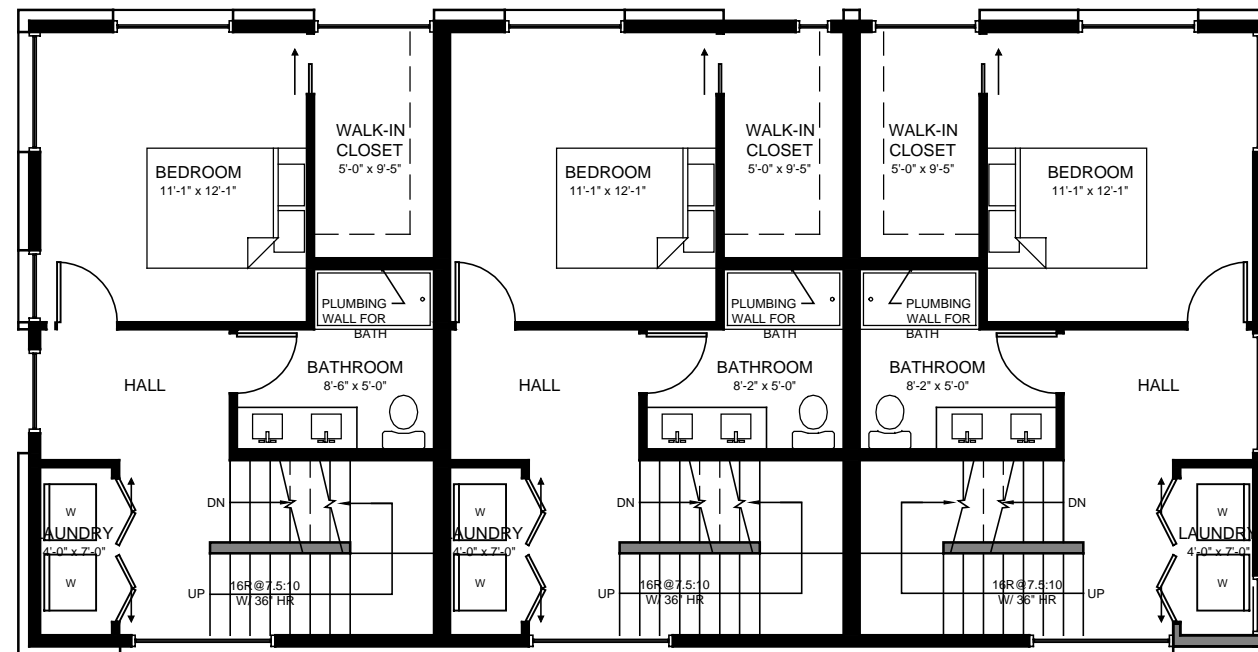


[1] first floor plan



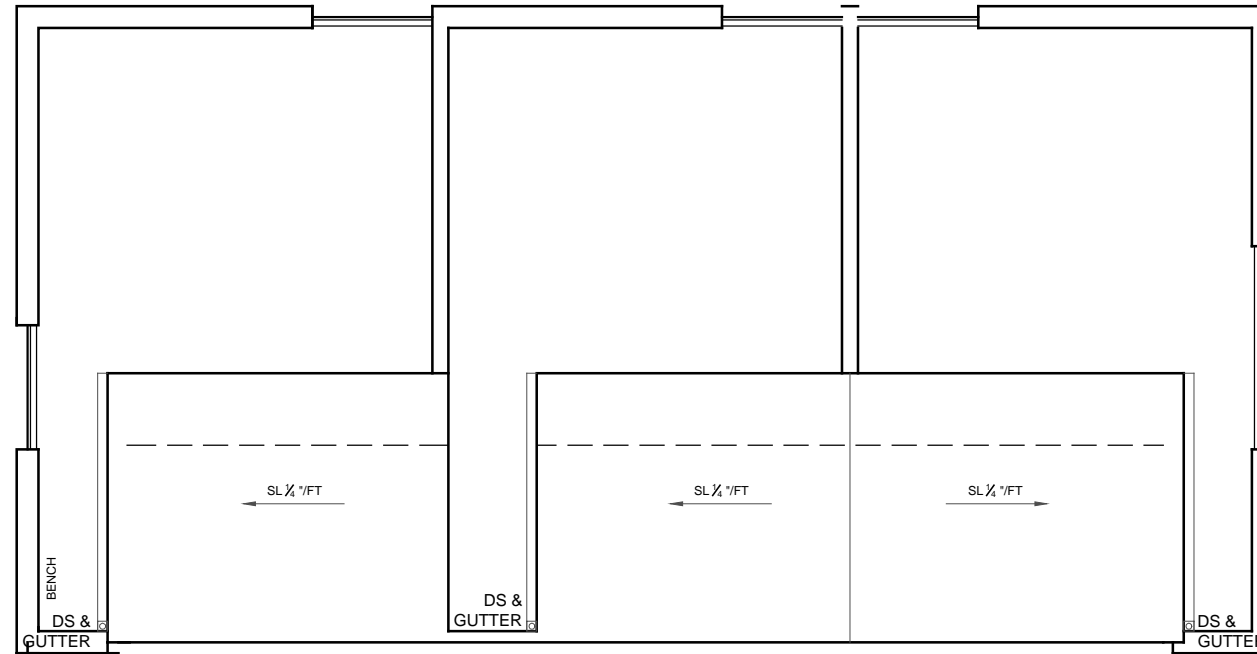


[2] fourth floor plan

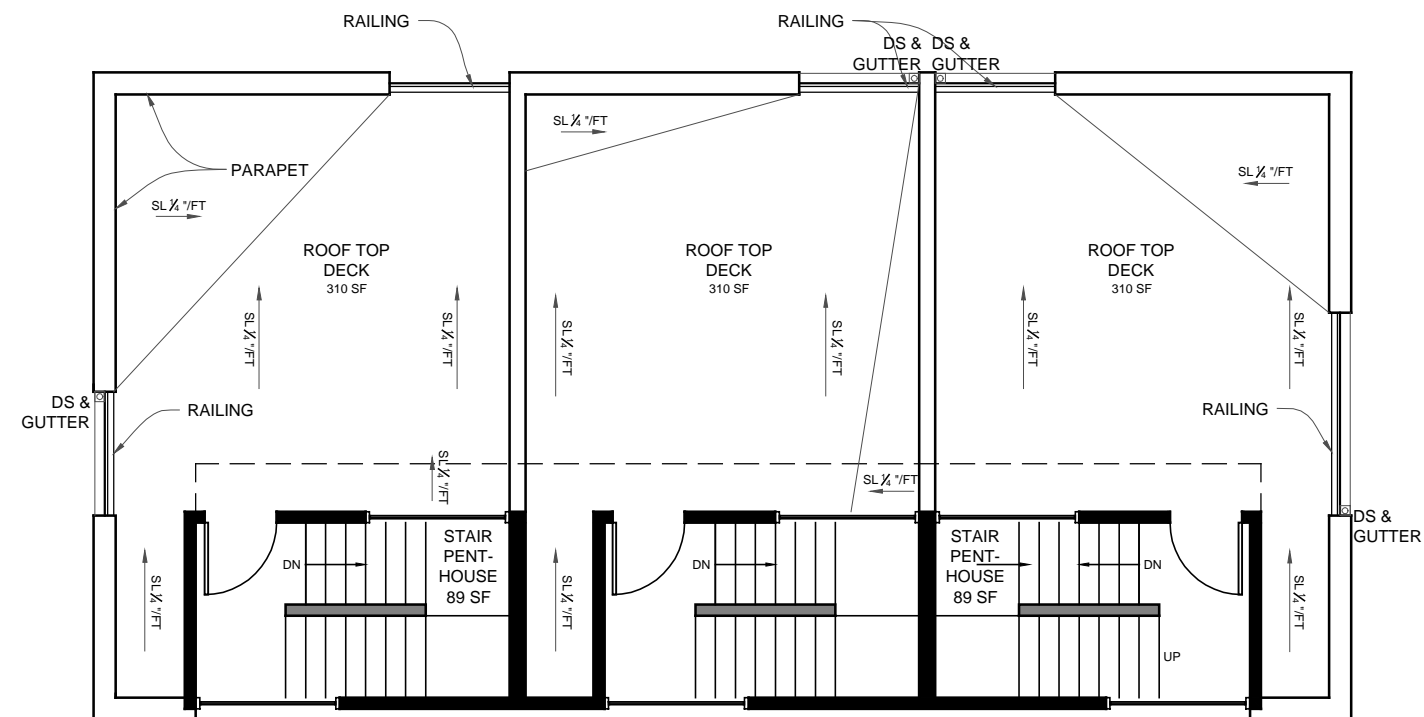


[1] third floor plan



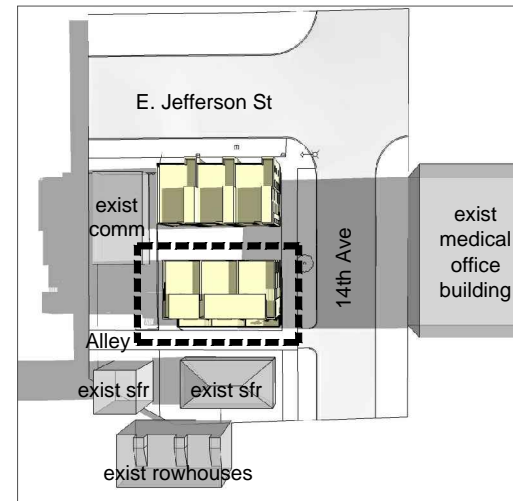


[2] roof plan

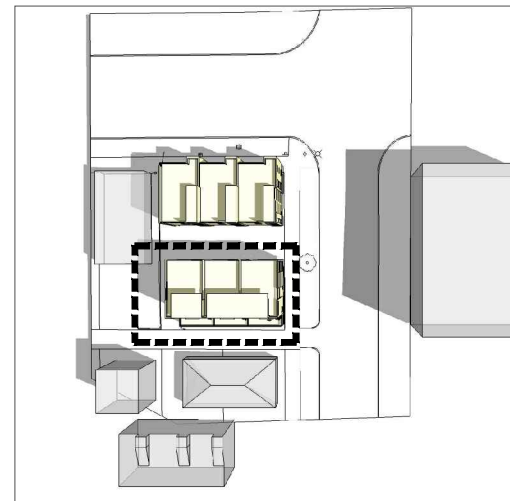


[1] rooftop deck floor plan

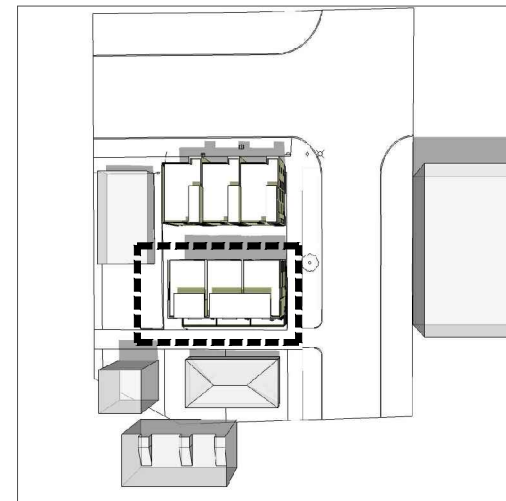




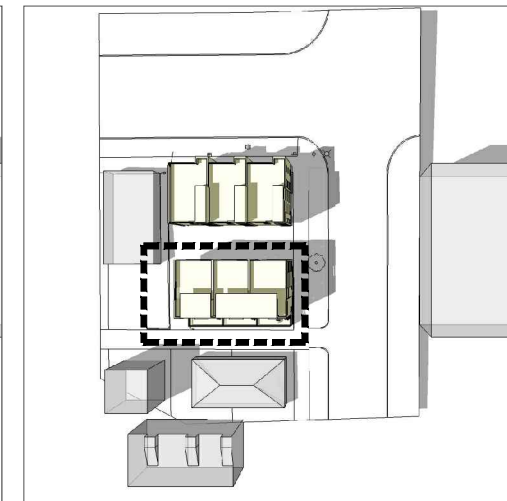
June 21 - 8 am



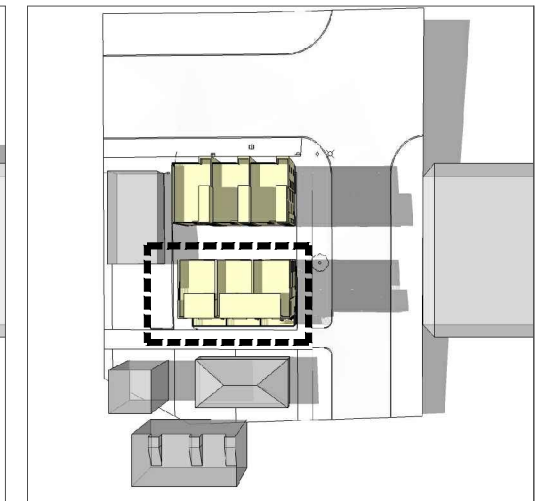
June 21 - 10 am



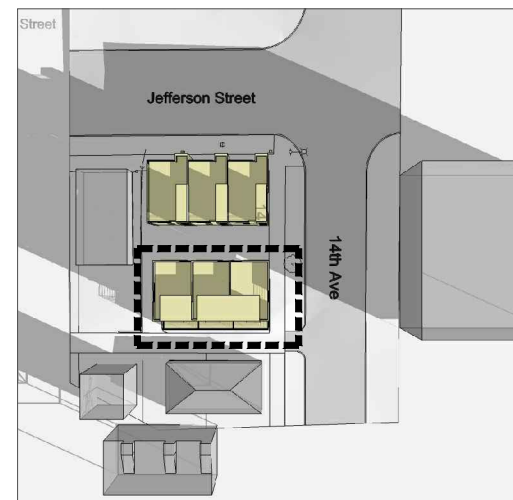
June 21 - 12 pm



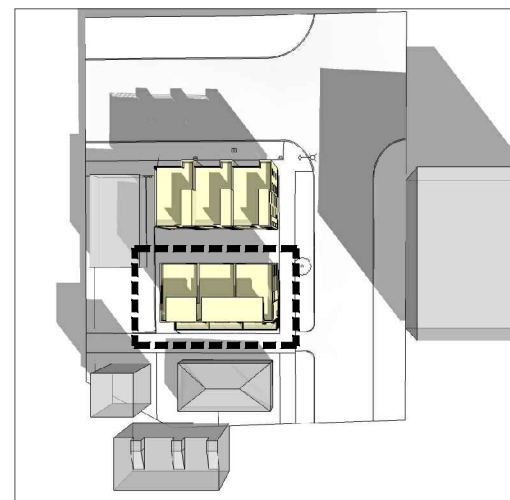
June 21 - 2 pm



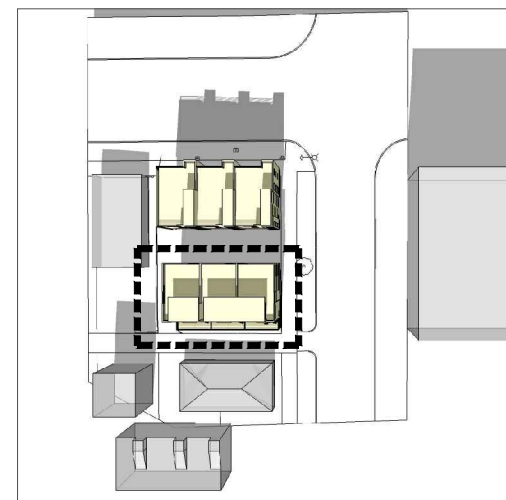
June 21 - 4 pm



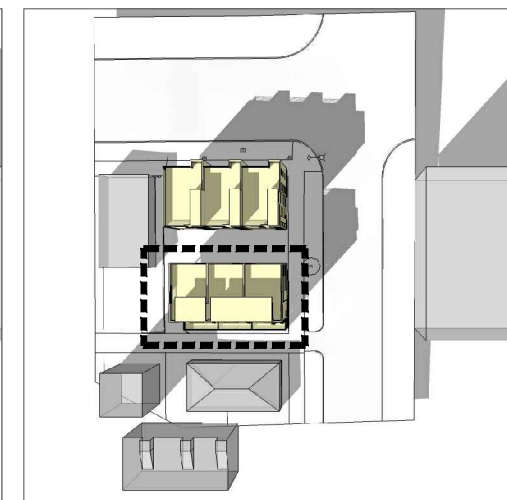
September 21 - 8 am



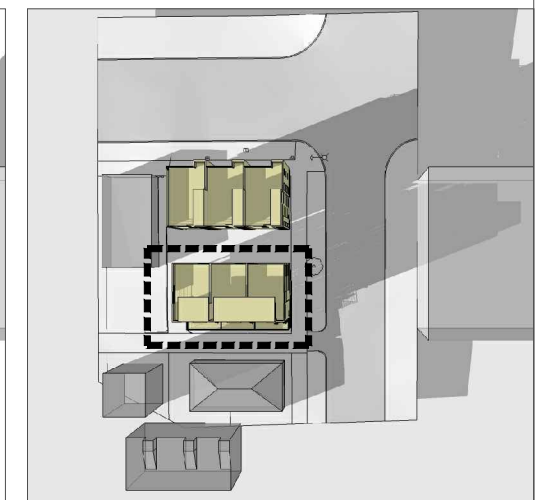
September 21 - 10 am



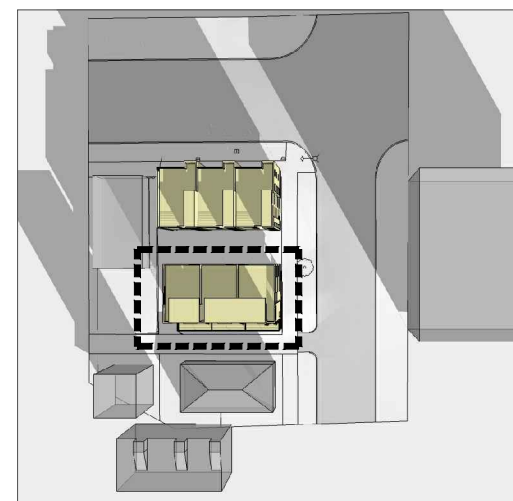
September 21 - 12 pm



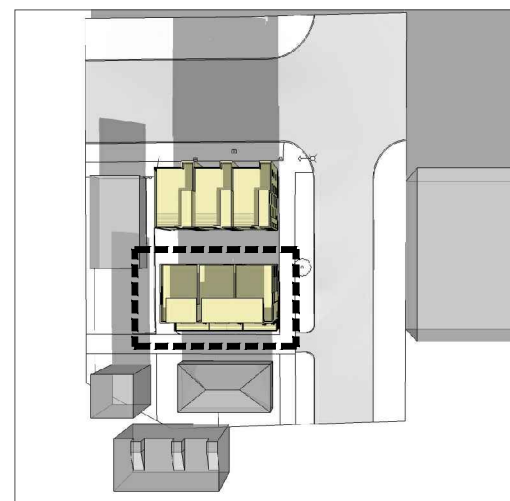
September 21 - 2 pm



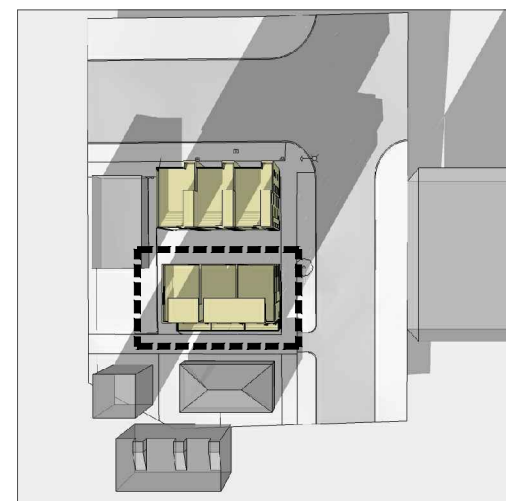
September 21 - 4 pm



December 21 - 10 am



December 21 - 12 pm



December 21 - 2 pm

### Shadow Study

The proposed structure has a minimal impact on the residential structures due to their being situated to the south. The large medical office building to the east casts a very big shadow. The structures do cast a shadow over the neighboring one-story commercial building to the west. In winter, our structure does cast a shadow on the lower levels of the large medical office building to the east. There is no other impact to structures across either E. Jefferson or 14th Ave.



Existing Conditions



Our Site



Design Guidelines - Preliminary Guidance Responses				Site Reconnaissance Checklist Responses			
A-2	Streetscape Compatibility	<p>We agree the neighborhood is in transition. There are a lot of styles in this area that are intriguing; from Holl's St. Ignatious Chapel to the several new student housing buildings. There also are a lot of older industrial brick buildings. We believe our proposed structure picks up on the direction of recent modern and refreshing work. We hope our designs will continue to inject energy into this area in a similar way as the three rowhomes on E. Remington Court to the south. It will also add another kind of residential use to the area.</p>	1	ROW Improvements (See PAR)	<p>Standard Improvements Apply. Three-foot alley dedication required.</p> <p>Response: Application for three-foot alley dedication was submitted to Larry Huggins at SDOT on April 18, 2013.</p>		
A-6	Transition Between Residence and Street		2	Trees (large & significant trees, grove)			
	Be sensitive to the pedestrian experience along 14th Ave with its proximity to a less dense residential area south of the alley and institutional use (Seattle University) to the north of Jefferson Street.		C-4	Exterior Finish Materials		No trees or plants of significance at development site. Check in with SDOT Urban Forestry group about the two existing street trees, is pruning an option at the minimum.	Response: Bill Ames and I discussed our options on the telephone on 4/30/2013; I sent him a site plan and he is going to email us his response.
	With the level of pedestrian activity surrounding the site, it's important to establish defensible spaces.						
	Response: Our intention is to create a strong facade which comes right up to the sidewalk so that there are no areas for loitering. We are softening up the architecture by playful window placement and friendly materials. Overhanging architecture defines entrances; warm wood materials are inviting and suggest residential use; playful window placement softens the walls; and posts, addressing, lighting, and landscaping act in unison to define entrances and demarcate them from the sidewalk. We understand the need in this area to have a clear defensible space and with that in mind we have added a galvanized metal planter with appropriate landscaping (vertical horsetail reed, hardy, fast growing evergreen plant which is perfect for screening and easy to maintain/grow) at the edge of sidewalk to act as a barrier and further define the entry space which is set back 5' from the sidewalk. We also have made the ground floor garage, solid waste storage, utility storage, and entry space, so that it is not some place where there will be long term use.						
B-1	Height, Bulk, and Scale Compatibility	D-6	Screening of Dumpsters, Utilities and Services Areas	3	Structures on site to be demolished.		
C-2	Architectural Concept and Consistency	D-8	Treatment of Alley	4	N/A		
	The challenge is to establish a sensitive design form in relationship to parcel across the alley to the south.	D-12	Residential Entries and Transitions	5	General Development Standards		
	This neighborhood is in transition architecturally, seek a statement that clearly articulates its presence without overwhelming neighboring structures. You may consider taking visual cues from the newer structures including from SU.			<p>Please include a shadow study to measure the impacts of proposed one-story structure across the alley to the south. Include study to determine privacy from roof decks and window placement upon adjacent uses.</p> <p>Response: Shadow study has been added to this set showing the conditions on December 21st, June 21st, &amp; September 21st. Because our project is to the north of the single family residence across the alley; the shadow impact upon it is negligible.</p> <p>We are proposing landscaping on the rooftop decks to mitigate privacy. The stair penthouses are to the south of the structure so there is limited area with views to the residences to the south (south of the alley).</p> <p>The commercial structure to the west is a one story structure so there is little opportunity for views from the rooftop decks. The large medical office building to the east across 14th does have potential for views, so this is where we are proposing that landscape act as a screen for privacy.</p>			
	Response: In order to respond to the one story single family structure across the alley to the south we have elected to put roof top decks on the roof of the first floor living level along the alley. Originally we did not have any structure but thought a one level setback would help with the transition with this existing home. The "backyards" can be herb gardens for the kitchens, or spaces to hang out, but will provide a mass that is more in tune with the house and mitigate the height of the overall structure.						

