

Streamlined Design Review - DPD Project #3014994

Design Guidance Application Packet

Project Information:

Parcel Number 6382500060

Property Address: 1525 NW 90th Street
Seattle, WA 98117

Owner: Matt Carroll
 311 N. 85th Street
 Seattle, WA 98103

Architect: West Carroll Architecture
 Kevin Carroll, AIA, President
 West Coast Studios
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1. Proposal. *Statement of development objectives indicating types of desired uses, structure height, number of residential units, amount of commercial square footage and number of parking stalls.*

Development Objectives, Uses, & Residential Units:

The objective of this project is to maintain the existing duplex on this property, which faces North onto 90th, and is across the street from Sound View Park. The proposed use of the new development will be to add a 3-unit townhome with entrances facing North, located in the rear yard of the duplex. There will be a total of 5-units on the site when complete.

Structure Height:

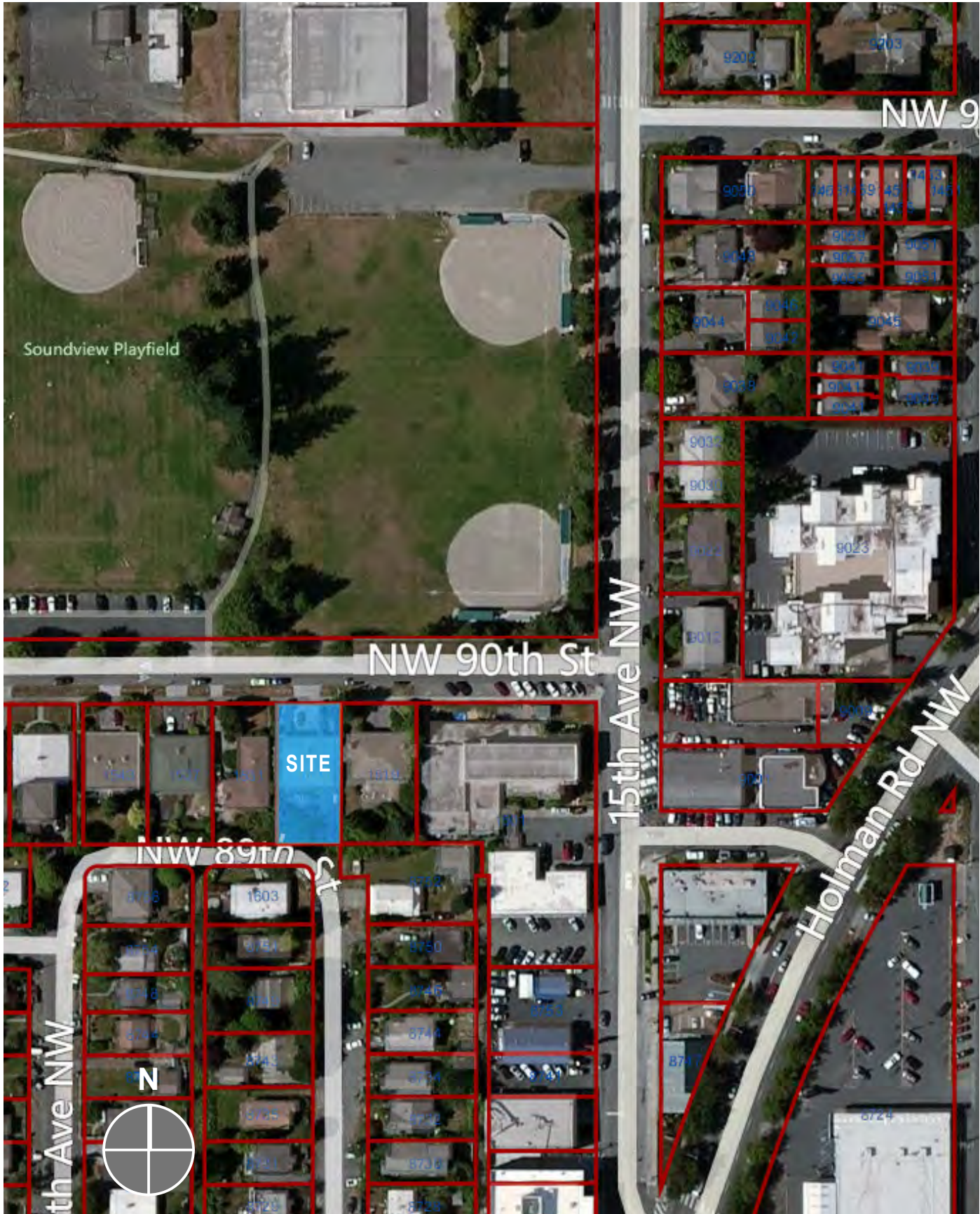
The proposed townhomes will have a flat roof/roof terrace, at allowable height of 30', with roof access/mechanical penthouses less than 10' above the flat roof level.

Access and Parking:

Pedestrian access to the new townhome units shall be by one path from 90th, along the Eastern side of property. Pedestrians will enter the site at the NE corner of the property, to access one duplex unit, as well as the three townhomes in the rear yard. A signage bollard with unit addresses and lighting shall identify the path, with low level pedestrian path lighting along the path to the rear yard. The existing duplex affords pedestrian and parking access directly off of NW 90th street. The duplex units each have daylight garages. The proposed townhomes shall have parking in daylight garages, entered off of the named alley, NW 89th.



Existing Duplex - North Elevation



Context Map

2. Analysis of Context.

Initial site analysis addressing site opportunities and constraints, adjacent buildings, zoning of the site and adjacent properties, overlay designations, solar access, views, circulation patterns, community nodes, landmarks, and existing architectural and siting patterns.

Site context and zoning

The neighborhood zoning is low-rise multifamily and single family. The adjacent properties along 90th are all duplexes with one site having another multifamily unit in the rear yard. There are two adjacent developments in the planning stages with DPD, similarly adding multi-story townhomes to the rear yard of existing duplexes. See site plan for proposed unit locations as well as general building massing.

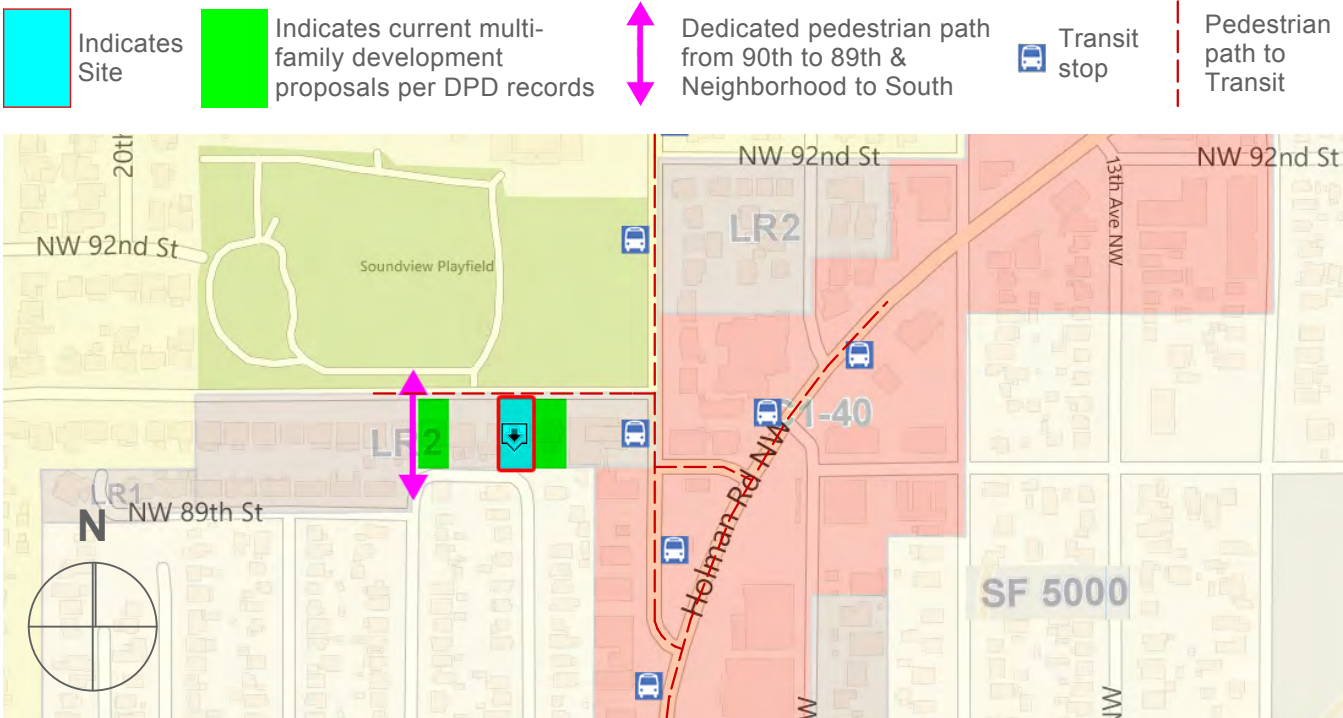
A larger area of commercial zoning and use, exists along Holman Road and 15th Ave. NW, immediately to the East. There is a development in the planning stages at the corner of 90th and 15th Ave. NW, which will increase the density and scale of the neighborhood, which will further support the increased scale and massing of this proposed townhome development. The commercial uses and direct access to mass transit bus lines are within walking distance of the proposed townhomes.

Circulation

Pedestrian circulation is predominantly along 90th, which provides direct pedestrian walks from neighborhood multifamily units to the commercial district and transit. There is a dedicated pedestrian path, linking the neighboring single and multifamily homes to the South along NW89th, to 90th, affording access to the community asset, Sound View Park. The park attracts residents from the entire area that arrive by walking, biking, or by automobile. Off-street parking is provided at the South side of park, along 90th. Vehicular access to the new townhomes shall be from named alley NW89th, which loops between 15th and 16th Ave. NW.

Existing Architecture

The neighborhood is comprised of 50's duplexes with low sloped roofs, predominately on 90th. Area to South is a mixture of housing types from 50's ranch homes, 60's split levels, infill houses, and old cottages. There are a few townhomes in the neighborhood, with at least two more in the planning stages. The townhomes are taller, combination of hipped and gabled roofs, include auto courts, and are generally a neutral beige color. Close by is a more contemporary townhome with garages located off the named alley, flat roofs, and a more varied color palette. The neighborhood is an eclectic mix of house types from contemporary to traditional.



Zoning Map



Site Analysis



Proposed Multifamily Unit per DPD records, approx. height shown.

Proposed Multifamily Unit on Site, approx. height shown.

Proposed Multifamily Unit per DPD records, approx. height shown.

View C: Panorama of NW 90th Street Elevations



View D: Site from Park / Playfield



View B: Park / Playfield from Site



Site Plan



View A: South from Alley

3. Existing Site Conditions

A drawing of existing site conditions, indicating topography of the site or other physical features and location of structures and prominent landscape elements on the site including but not limited to all trees 6 inches or greater in diameter measured 4.5' above the ground (see CAM 242).

Site Topography:

The site has a gentle cross slope along 90th, and is on the upper East end of a street sloping down to mid block heading West. There are views over the existing duplex to Sound View Park to the North. First floor elevated views are afforded to the South along 89th, with favorable southern exposure. Elevated views are also provided to the West and East.

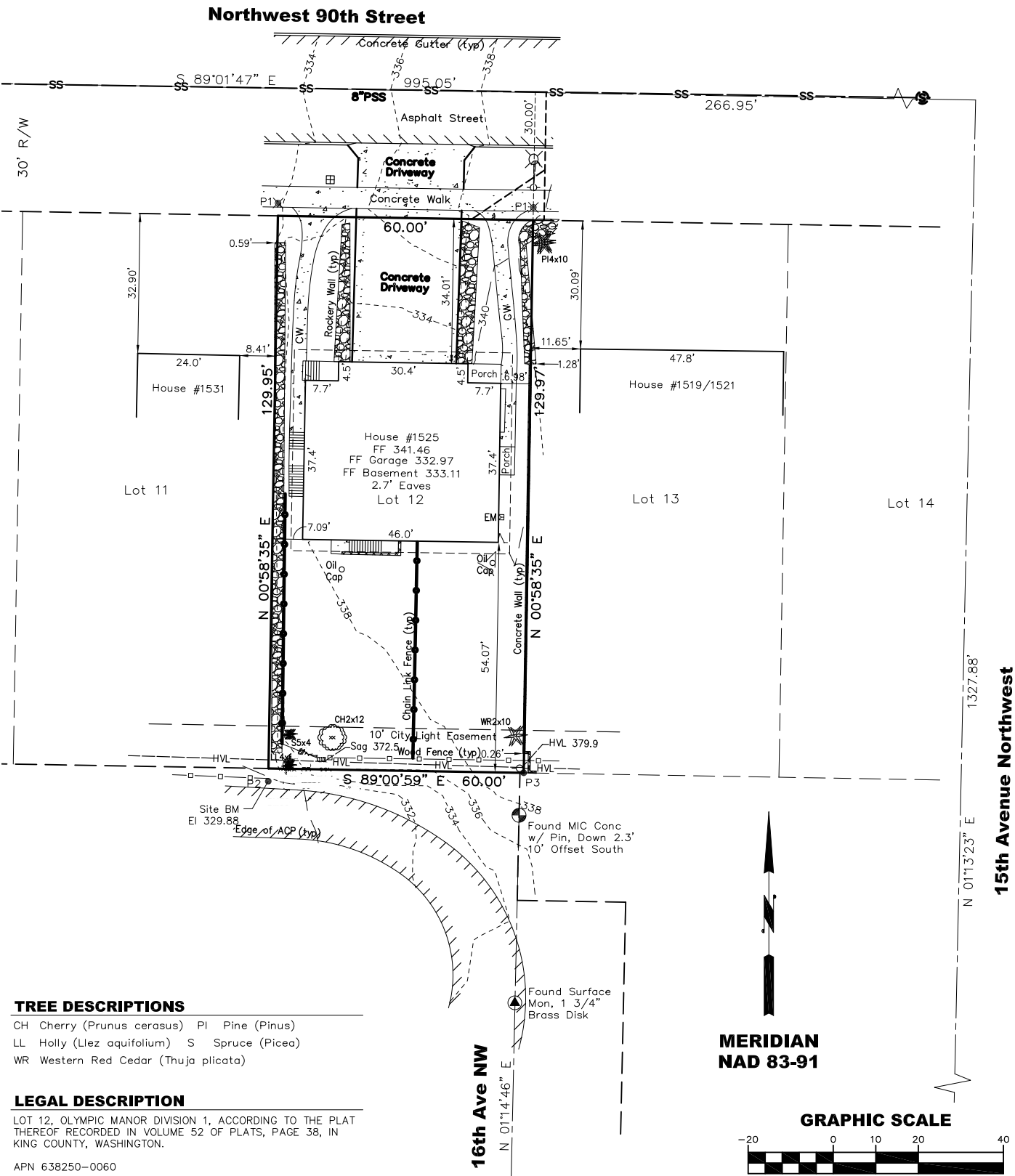
Site conditions and limitations:

The existing site has a few restrictions. There is a restrictive 10' utility easement along the South property line, for Seattle City Light's power line which extends across the property, E&W. Additionally, the existence of the power line requires a 12'6" radius setback clearance from the power line, which affects the proposed building massing. See building elevations and section for delineation of these constraints.

Additionally, the existing duplex has a large footprint, which dictates the location and footprint of the proposed townhomes. In order to accommodate a reasonable living area, and amenities, the townhomes shall be narrow, with three floors of living area, daylight garages below primary grade along 89th, and roof deck amenities and green space area.

Site Trees:

See the existing site plan for the existing tree types on the site, and scientific names. Site is overgrown with vegetation in rear yard, with minimal specimen trees, some of which shall be preserved with development. Front and side yards have established and maintained landscapes which shall be preserved, and supplemented to enhance pedestrian path and user amenity.



4. Site Plan. A preliminary site plan including proposed structures, open spaces, vehicular and pedestrian access, and landscaping. Include all dimensions.

Site & Zoning Information

Site Zoning	=	LR2
Lot Area	=	7,800 SF
Density Limit:	1/ 1,600 SF Lot Area	
	=	4.875 = 5 units
Building Height	=	30' + 5' for roof w/ minimum 6:12 pitch
Building Width Limit	=	90'
Maximum Façade Length	=	65% lot length for portions of facades within 15' of a lot that is not a rear, street or alley lot line.
	Max. allowed =	84'-6" (65% x 130'-0")
	Proposed =	72'-0" < 84'-6" (OK, Complies)
Building Setbacks:	Front: 7' average, 5' minimum	
	Rear: 7' average, 5' minimum	
	Side: 5' if building <= 40'L; or 7' average, 5' minimum	
Green Factor	>=	0.60 (functionally 60% of Lot Area)
	>=	960 SF (approximate calc., no plant type factor)
Proposed Green Site Area =		3,032 SF footprint, plant type factor to be determined in final design and to be submitted in future package)
Permeable paving & structural soils <=		33% of Green Factor score
Amenities Area:	Total Required =	25% of Lot Area
	=	1,950 SF
Ground Level Amenities Required =		50% of Lot Area
	=	975 SF
Private Amenities Areas =		Min. 10' from side lot line (OK, Complies)
Common Amenities Areas =		Min. 250 SF & Min. 10' dimension (OK, Complies)

Proposed Amenities	Ground Level	Building Amenities
Common =	781 SF	0 SF
Existing Unit 1 =	274 SF	0 SF
Existing Unit 2 =	248 SF	0 SF
Unit A =	0 SF	40 SF (balconies)
		294 SF (roof deck)
Unit B =	0 SF	48 SF (balconies)
		320 SF (roof deck)
Unit C =	0 SF	40 SF (balconies)
		294 SF (roof deck)
Total =	1,303 SF > 975 SF, OK	1,036 SF

Total Amenities = 2,339 SF > 1,950 SF, OK

Parking: = 1 per unit (South Facing Garage per Unit)

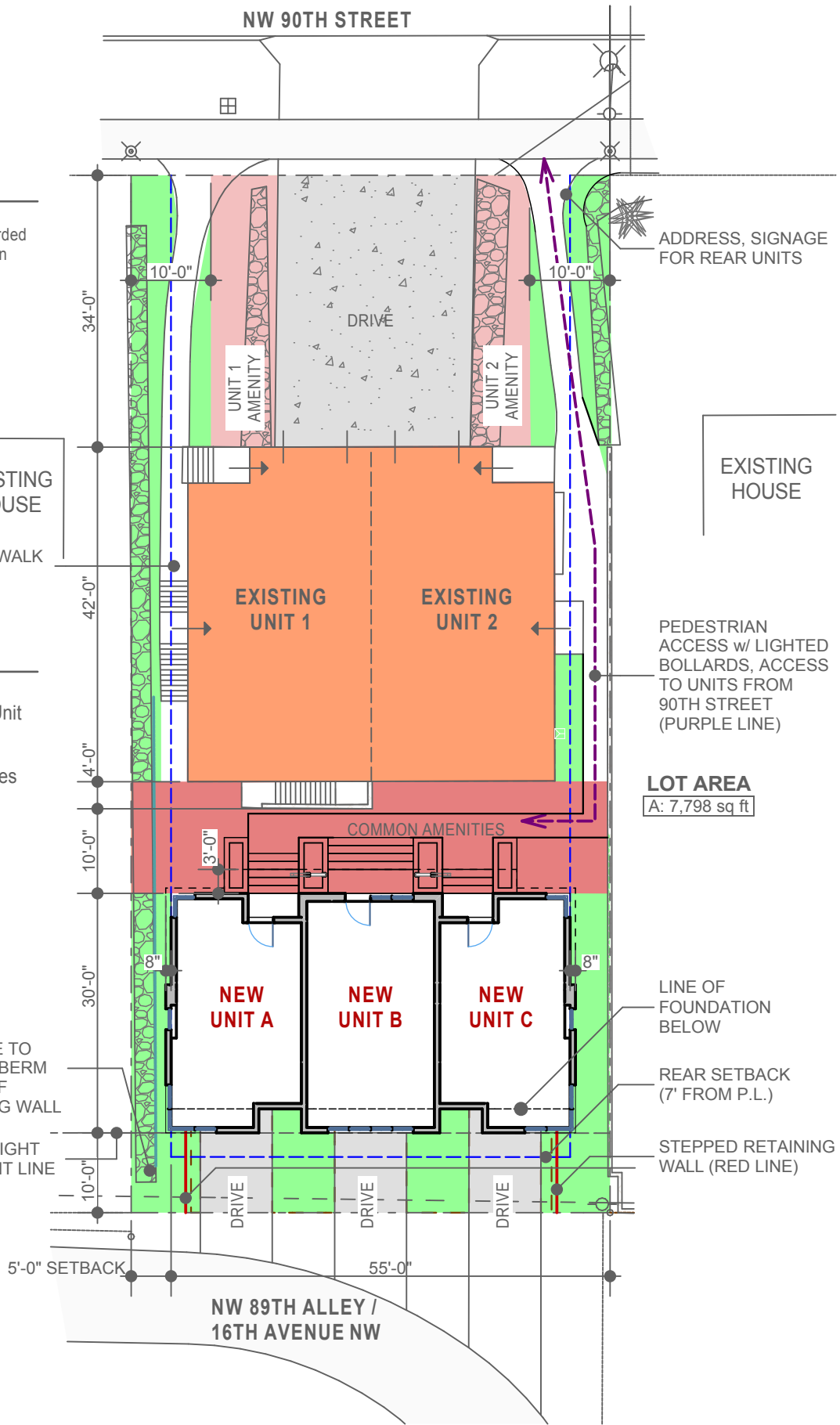
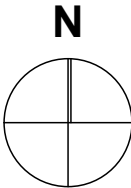
Legal Description:

Lot 12, Olympic Manor Division 1,
According to the Plat thereof recorded
in Volume 52 of Plats, Page 38, in
King County, Washington.

APN 638250-0060

Site Plan Legend

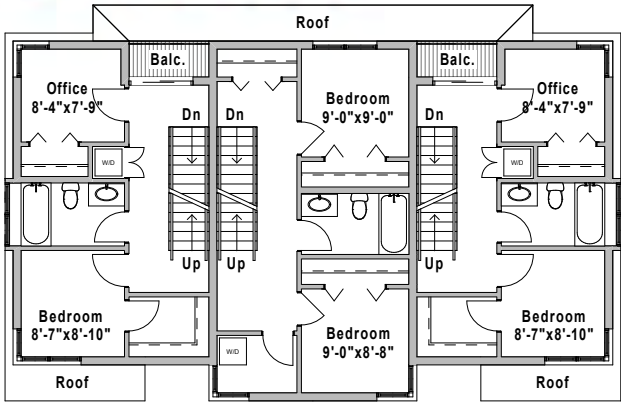
- Existing Duplex Unit
- Common Amenities Area
- Private Amenities Area
- Landscape Areas



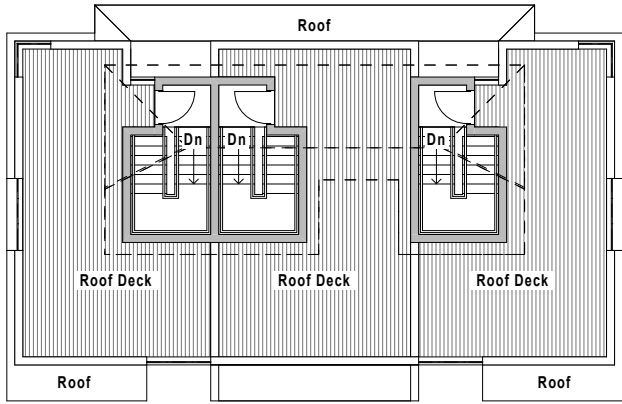
6. Architectural Concept. One or more color renderings adequate to depict the overall massing of structures and the design concept. Graphics should show proposed siting, massing, open space, and façade treatments. Three dimensional studies and sketches, including those at the street level are optional, and may assist the planner to evaluate the design proposal. May also include images from the neighborhood or beyond that will inform the design development of the proposed development.

Architecural Concept

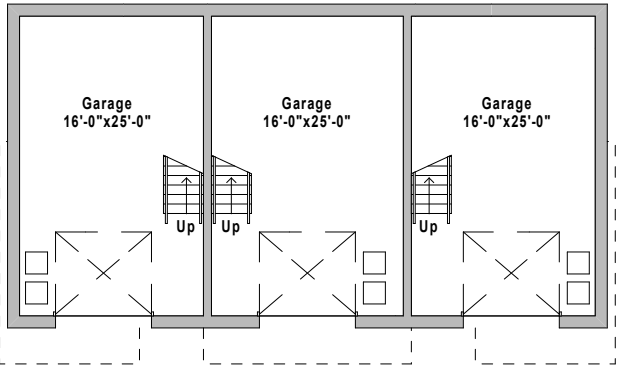
The primary objectives for site are to maintain and provide for pedestrian access and entry from NW 90th. Entry path for the townhomes shall be along enhanced walkway on the East side of the property to townhome entrances which shall face 90th, North. Parking is a limited in the neighborhood, so proposed garage parking, accessed off the named alley 89th street, was envisioned as a positive amenity to include.



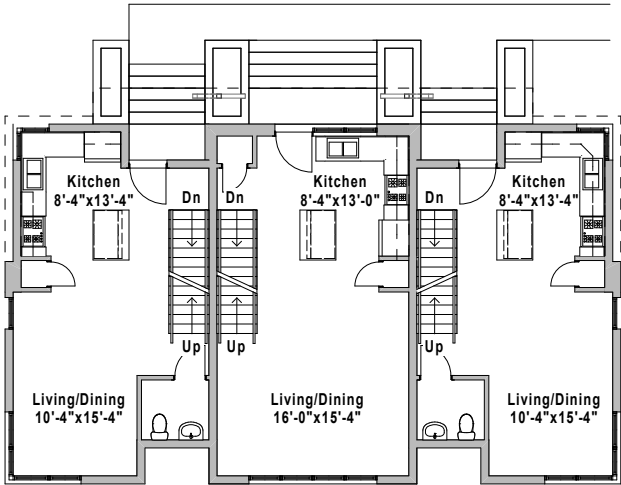
Second Floor Plan



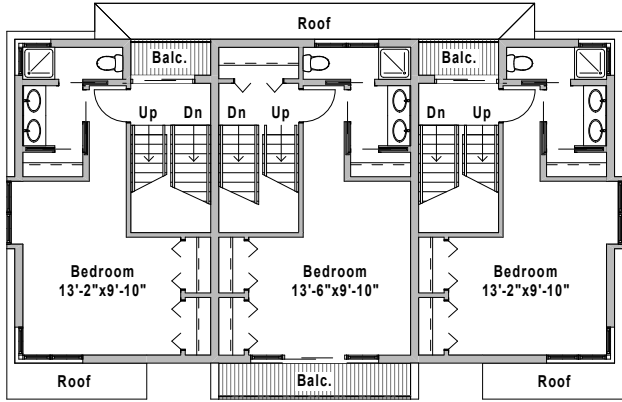
Roof Floor Plan



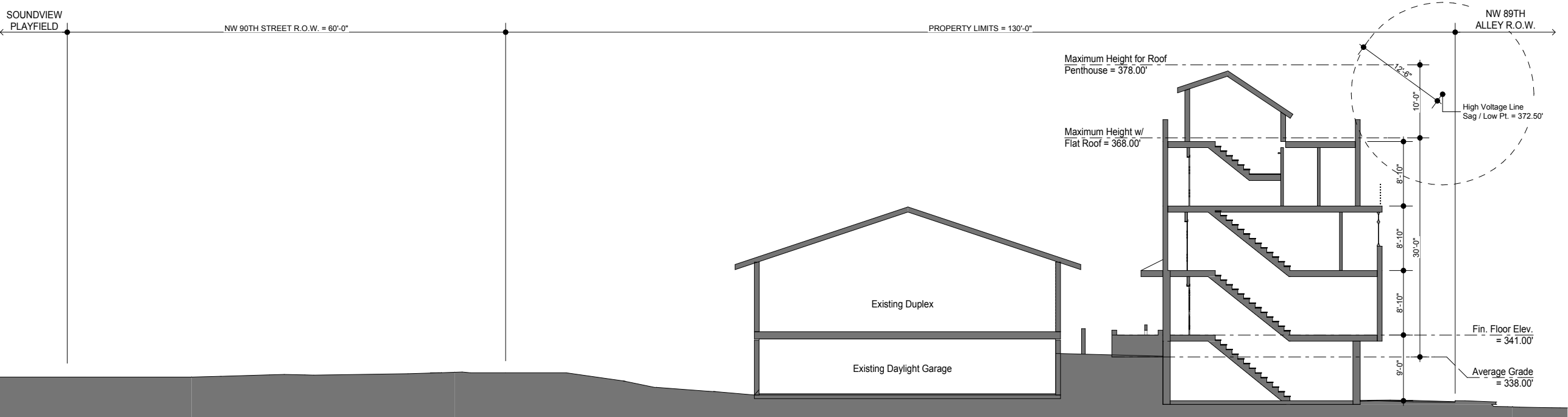
Basement Plan



First Floor Plan



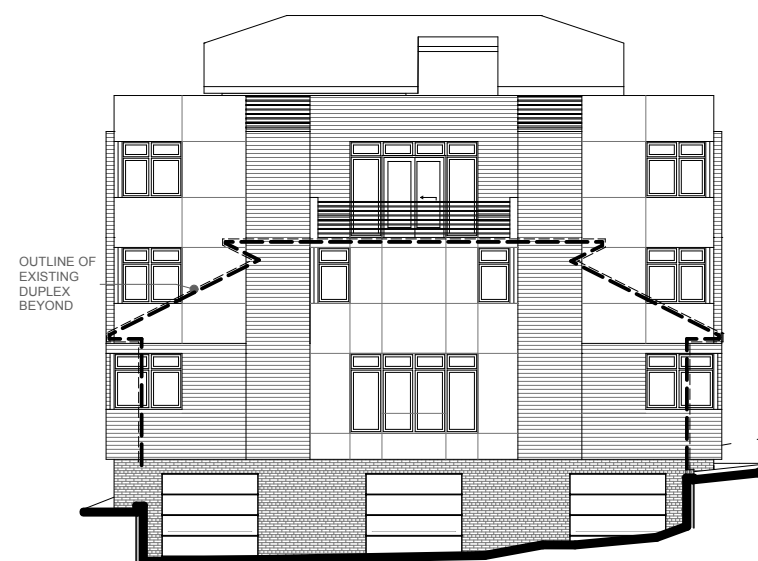
Third Floor Plan



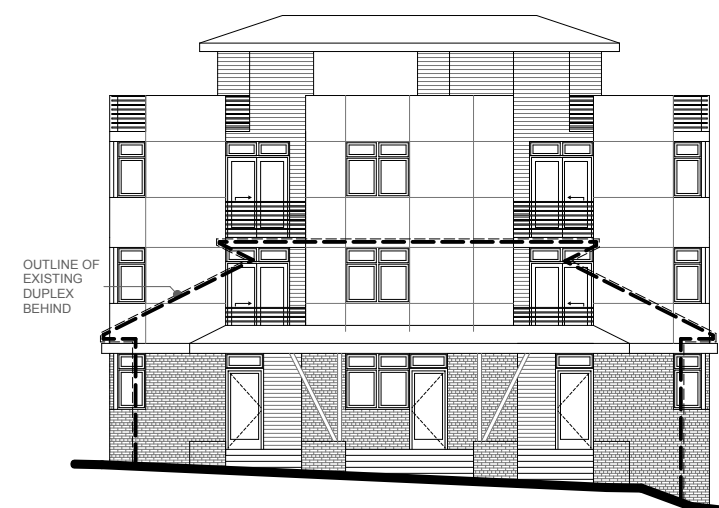
Site Section

6. Architectural Concept - Continued.

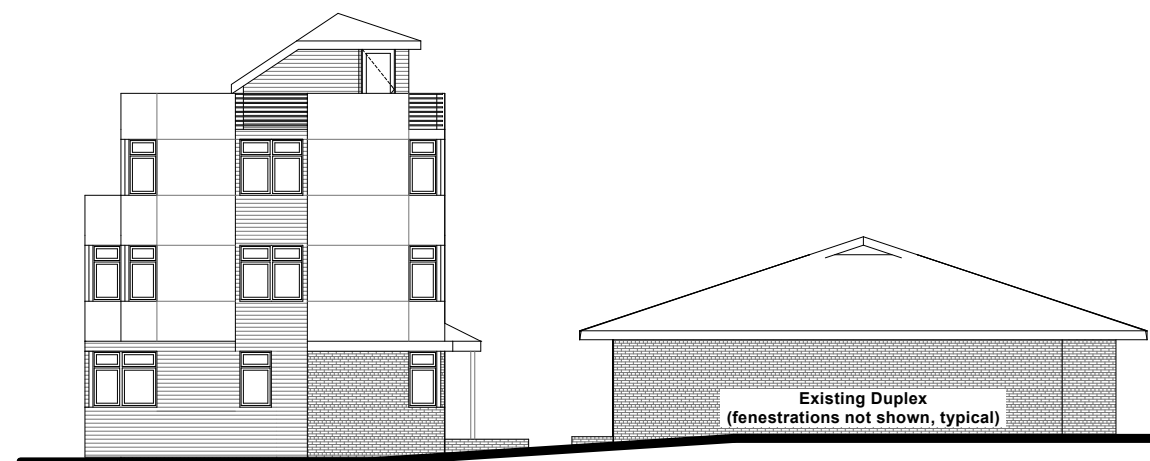
Stylistically, the new townhomes are a reaction to the varied architecture of the surrounding site, comprising an eclectic mix of styles and scale. Integrating a taller structure on the site is better afforded by locating improvements in the rear yard, maintaining the visual continuity of the existing period streetscape on 90th, while integrating familiar architecture to the proposed townhomes. This approach is further supported with other developments of similar scale and density in the planning stages along 90th. Low sloped roofs, a common attribute of many of the surrounding homes, are utilized at pedestrian entrances and as roof terminations over roof terrace penthouses. The proposed hipped penthouse roofs are similar to the existing duplex in both shape and material. The townhome style is purposefully contemporary, but contextual. A building of its time, with material, color, corner window, and roof massing cues incorporated from the adjacent existing duplex. Material usage and building forms shall be articulated and varied to provide a properly scaled and interesting improvement to the neighborhood.



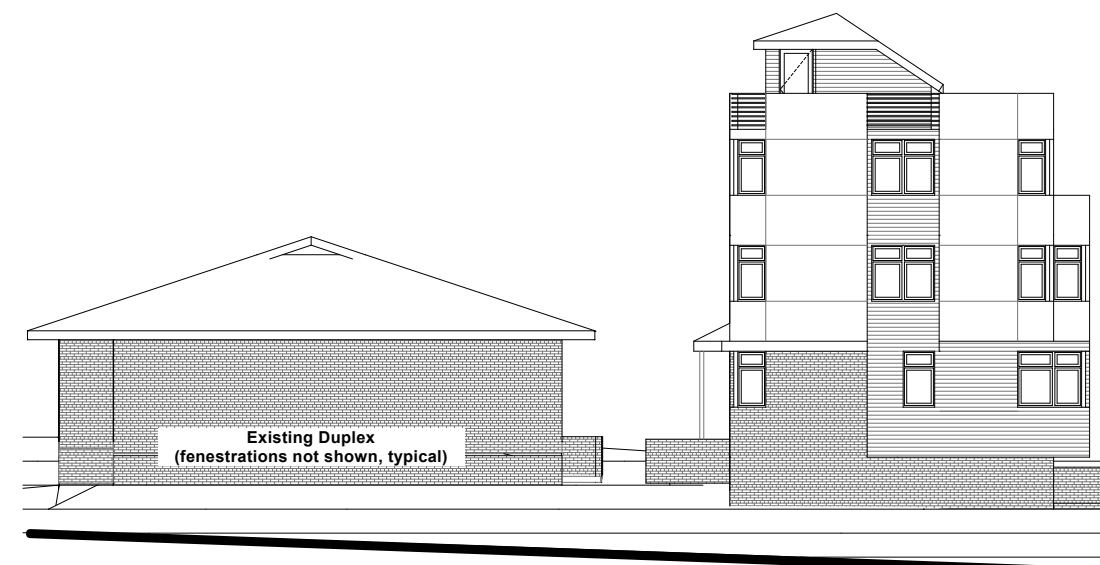
South Elevation



North Elevation



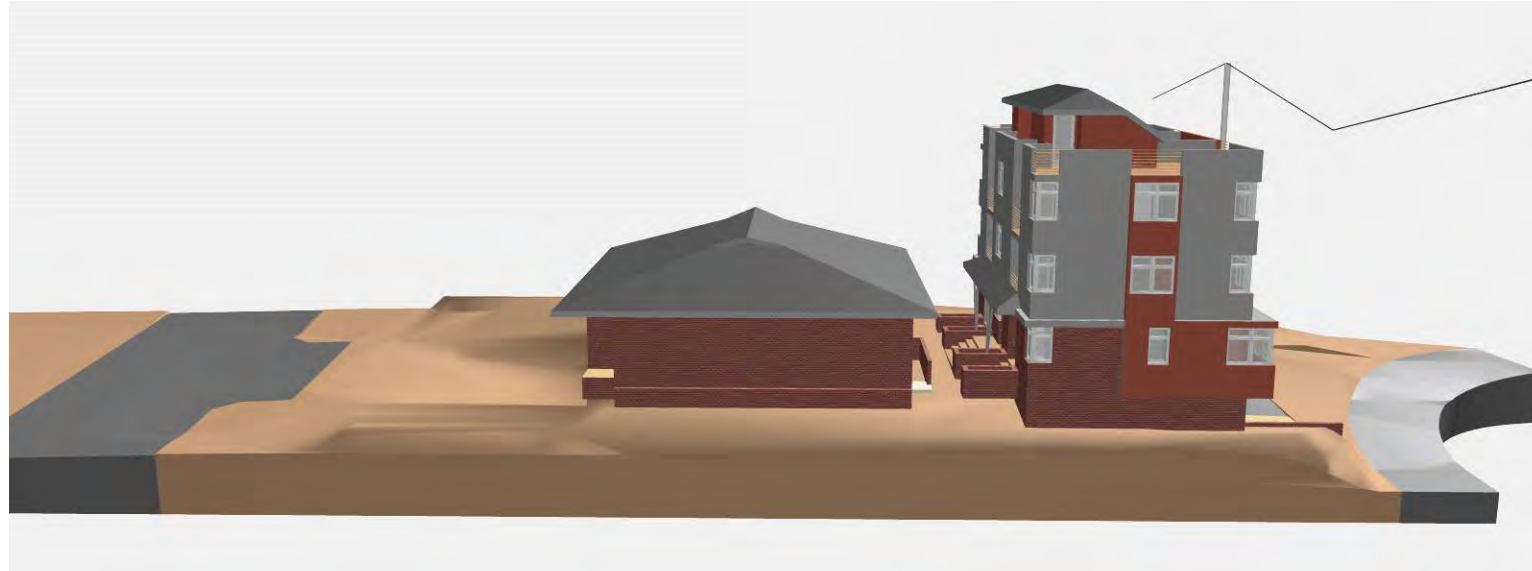
East Elevation



West Elevation

6. Architectural Concept - Continued.

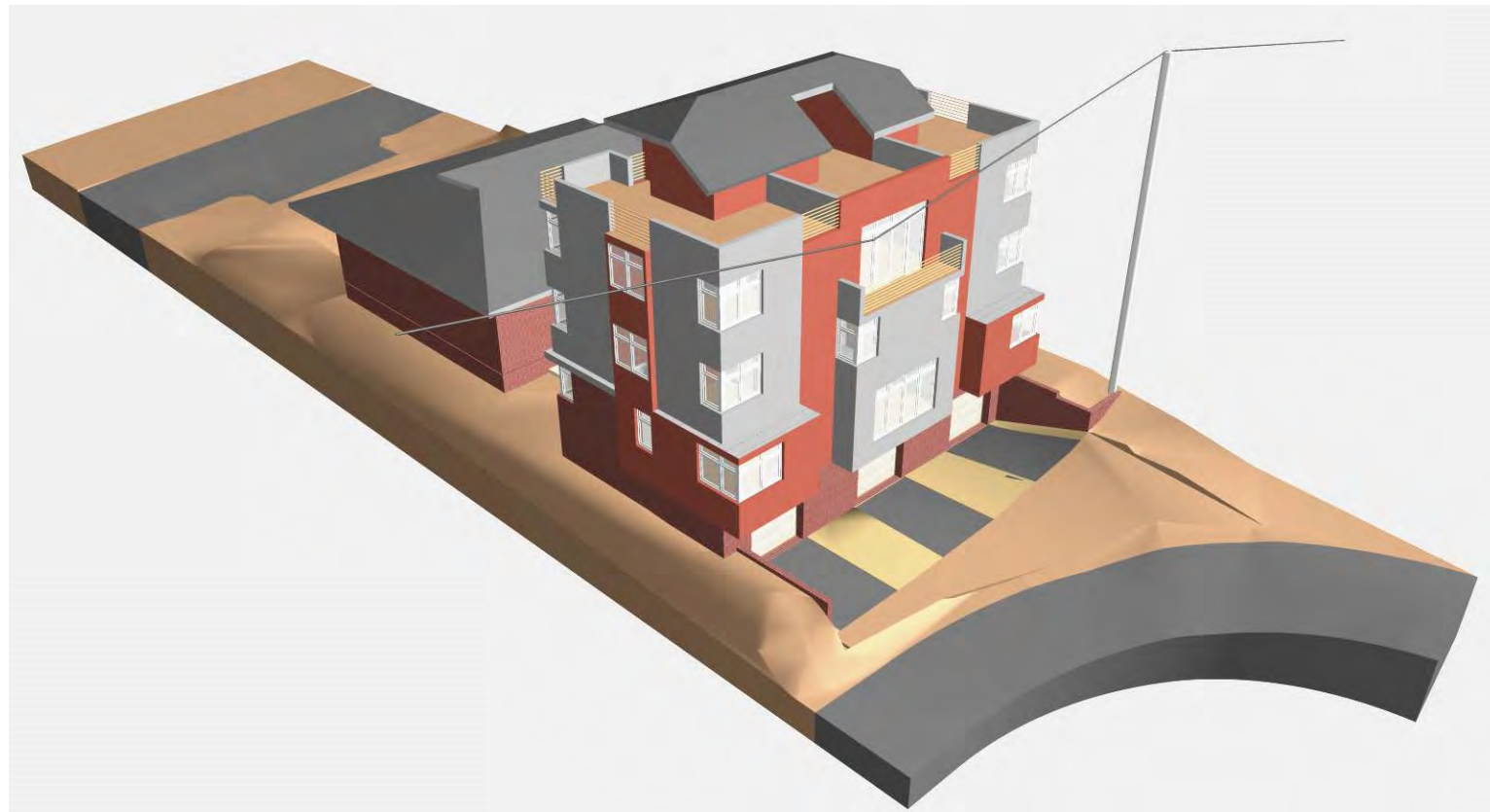
7. Adjustments and/or Departures - None included.



Massing Model - View from W



Massing Model - View from N



Massing Model - View from SW



Massing Model - View from SE