WESTCARROLL Townhouses at 1525 NW 90th Street

Streamlined Design Review - DPD Project #3014994

Design Guidance Application Packet

Project Information:

Parcel Number 6382500060

- Property Address: 1525 NW 90th Street Seattle, WA 98117
- Owner: Matt Carroll 311 N. 85th Street Seattle, WA 98103
- Architect: West Carroll Architecture Kevin Carroll, AIA, President West Coast Studios 311 N. 85th Street Seattle, WA 98103 419.885.0001

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Parcel #6382500060	
Owner: Matt Carroll	

1. Proposal. Statement of development objectives indicating types of desired uses, structure height, number of residential units, amount of commercial square footage and number of parking stalls.

Development Objectives, Uses, & Residential Units:

The objective of this project is to maintain the existing duplex on this property, which faces North onto 90th, and is across the street from Sound View Park. The proposed use of the new development will be to add a 3-unit townhome with entrances facing North, located in the rear yard of the duplex. There will be a total of 5-units on the site when complete.

Structure Height:

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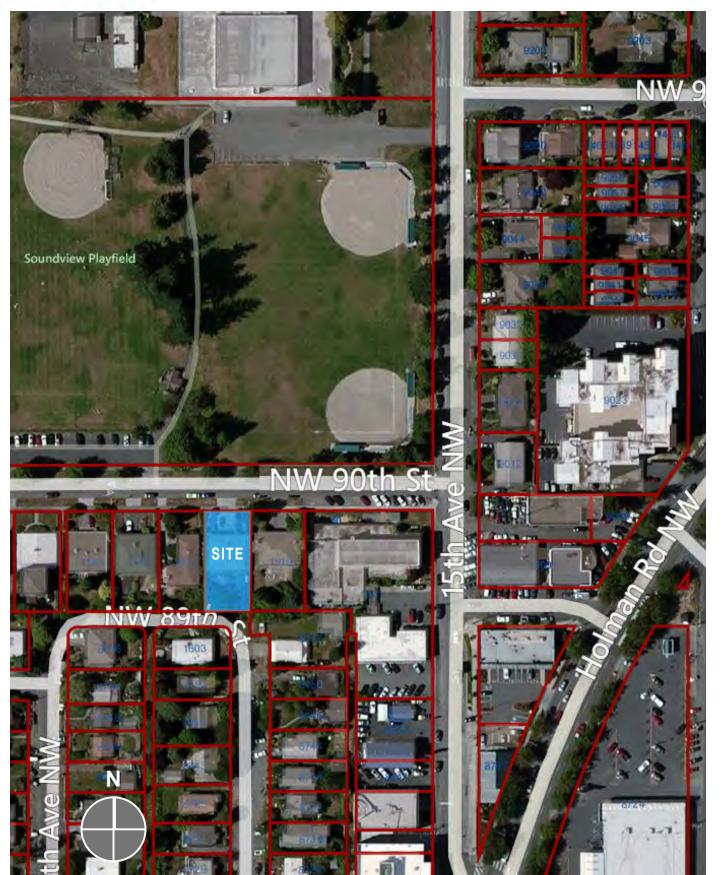
The proposed townhomes will have a flat roof/roof terrace, at allowable height of 30', with roof access/mechanical penthouses less than 10' above the flat roof level.

Access and Parking:

Pedestrian access to the new townhome units shall be by one path from 90th, along the Eastern side of property. Pedestrians will enter the site at the NE corner of the property, to access one duplex unit, as well as the three townhomes in the rear yard. A signage bollard with unit addresses and lighting shall identify the path, with low level pedestrian path lighting along the path to the rear yard. The existing duplex affords pedestrian and parking access directly off of NW 90th street. The duplex units each have daylight garages. The proposed townhomes shall have parking in daylight garages, entered off of the named alley, NW 89th.



Existing Duplex - North Elevation



Context Map

2. Analysis of Context. Initial site analysis addressing site opportunities and constraints, adjacent buildings, zoning of the site and adjacent properties, overlay designations, solar access, views, circulation patterns, community nodes, landmarks, and existing architectural and siting patterns.

Site context and zoning

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The neighborhood zoning is low-rise multifamily and single family. The adjacent properties along 90th are all duplexes with one site having another multifamily unit in the rear yard. There are two adjacent developments in the planning stages with DPD, similarly adding multi-story townhomes to the rear yard of existing duplexes. See site plan for proposed unit locations as well as general building massing.

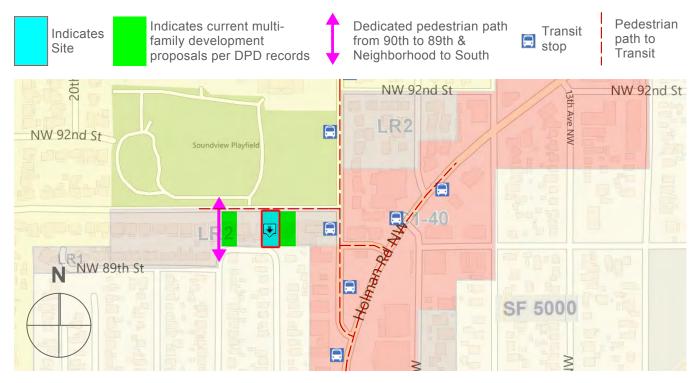
A larger area of commercial zoning and use, exists along Holman Road and 15th Ave. NW, immediately to the East. There is a development in the planning stages at the corner of 90th and 15th Ave. NW, which will increase the desity and scale of the neighborhood, which will further support the increased scale and massing of this proposed townhome development. The commercial uses and direct access to mass transit bus lines are within walking distance of the proposed townhomes.

Circulation

Pedestrian circulation is predominantly along 90th, with provides direct pedestrian walks from neighborhood multifamily units to the commercial district and transit. There is a dedicated pedestrian path, linking the neighboring single and multifamily homes to the South along NW89th, to 90th, affording access to the community asset, Sound View Park. The park attracts residents from the entire area that arrive by walking, biking, or by automobile. Off-street parking is provided at the South side of park, along 90th. Vehicular access to the new townhomes shall be from named alley NW89th, which loops between 15th and 16th Ave. NW.

Existing Architecture

The neighborhood is comprised of 50's duplexes with low sloped roofs, predominately on 90th. Area to South is a mixture of housing types from 50's ranch homes, 60's split levels, infill houses, and old cottages. There are a few townhomes in the neighborhood, with at least two more in the planning stages. The townhomes are taller, combination of hipped and gabled roofs, include auto courts, and are generally a neutral beige color. Close by is a more contemporary townhome with garages located off the named alley, flat roofs, and a more varied color palette. The neighborhood is an eclectic mix of house types from contemporary to traditional.



Soundview Playfield



Zoning Map

Site Analysis

2. Analysis of Context WCA 13.003.00 Page 03 of 10



Proposed Multifamily Unit per DPD records, approx. height shown.

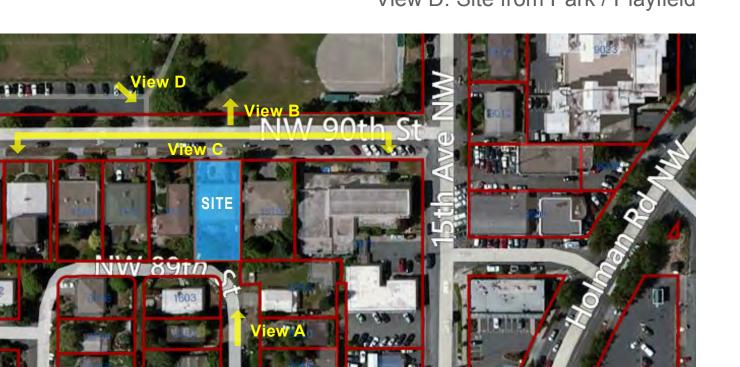
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Proposed Multifamily Unit on Site, approx. height shown.

Proposed Multifamily Unit per DPD records, approx. height shown.



View D: Site from Park / Playfield



Site Plan





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View C: Panorama of NW 90th Street Elevations

View B: Park / Playfield from Site

View A: South from Alley

2. Analysis of Context - Continued WCA 13.003.00 Page 04 of 10

30,

3. Existing Site Conditions. A drawing of existing site conditions, indicating topography of the site or other physical features and location of structures and prominent landscape elements on the site including but not limited to all trees 6 inches or greater in diameter measured 4.5' above the ground (see CAM 242).

Site Topography:

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The site has a gentle cross slope along 90th, and is on the upper East end of a street sloping down to mid block heading West. There are views over the existing duplex to Sound View Park to the North. First floor elevated views are afforded to the South along 89th, with favorable southern exposure. Elevated views are also provided to the West and East.

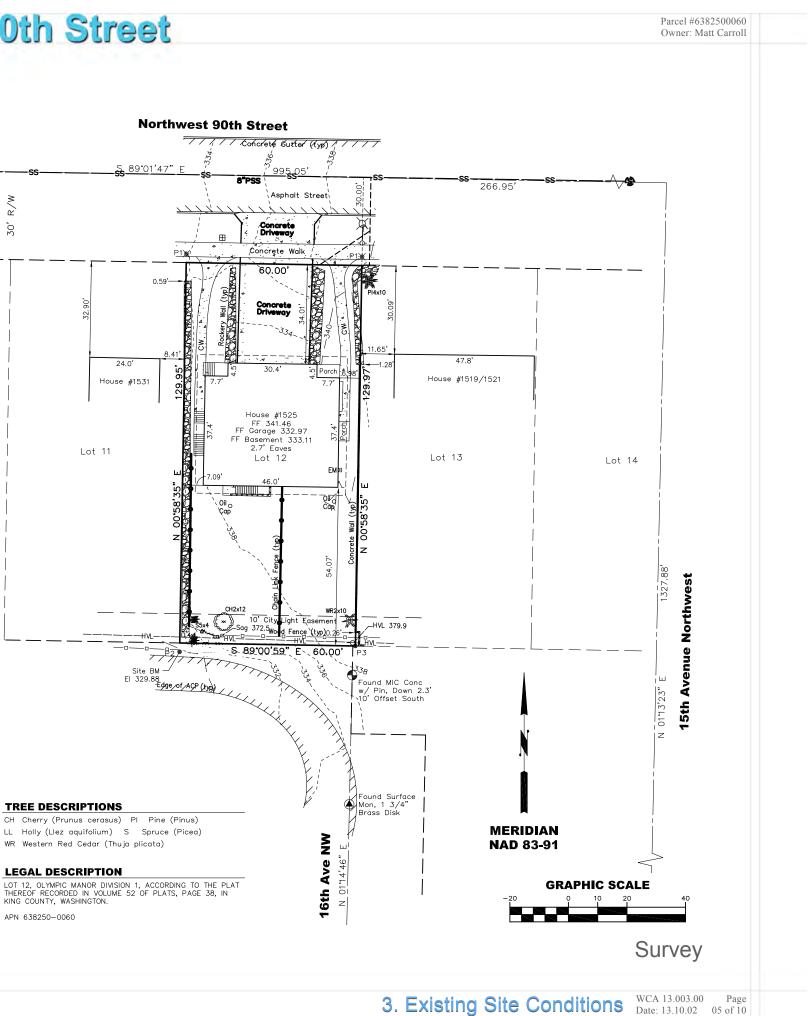
Site conditions and limitations:

The existing site has a few restrictions. There is a restrictive 10' utility easement along the South property line, for Seattle City Light's power line which extends across the property, E&W. Additionally, the existence of the power line requires a 12'6" radius setback clearance from the power line, which affects the proposed building massing. See building elevations and section for delineation of these constraints.

Additionally, the existing duplex has a large footprint, which dictates the location and footprint of the proposed townhomes. In order to accommodate a reasonable living area, and amenities, the townhomes shall be narrow, with three floors of living area, daylight garages below primary grade along 89th, and roof deck amenities and green space area.

Site Trees:

See the existing site plan for the existing tree types on the site, and scientific names. Site is overgrown with vegetation in rear yard, with minimal specimen trees, some of which shall be preserved with development. Front and side yards have established and maintained landscapes which shall be preserved, and supplemented to enhance pedestrian path and user amenity.



4. Site Plan. A preliminary site plan including proposed structures, open spaces, vehicular and pedestrian access, and landscaping. Include all dimensions. Site & Zoning Information Legal Description: Site Zoning Lot 12, Olympic Manor Division 1, According to the Plat thereof recorded LR2 = Lot Area 7,800 SF = in Volumne 52 of Plats, Page 38, in King County, Washington. Density Limit: SF Lot Area 1/ 1,600 4.875 = 5 units APN 638250-0060 Building Height = 30' + 5' for roof w/ minimum 6:12 pitch Building Width Limit 90' Maximum Façade Length 65% lot length for portions of facades within 15' of a lot that is not = a rear, street or alley lot line. 84'-6" (65% x 130'-0") Max. allowed = 72'-0" < 84'-6" (OK, Complies) Proposed = Building Setbacks: Front: 7' average, 5' minimum Rear: 7' average, 5' minimum Side: 5' if building <= 40'L; or 7' average, 5' minimum Site Plan Legend Green Factor 0.60 (functionally 60% of Lot Area) >= 960 SF (approximate calc., no plant type factor) >= Proposed Green Site Area = 3,032 SF footprint, plant type factor to be determined in final design and to be submitted in future package) Permeable paving &

 structural soils <=</td>
 33% of Green Factor score

 Amenities Area:
 Total Required =
 25% of Lot Area

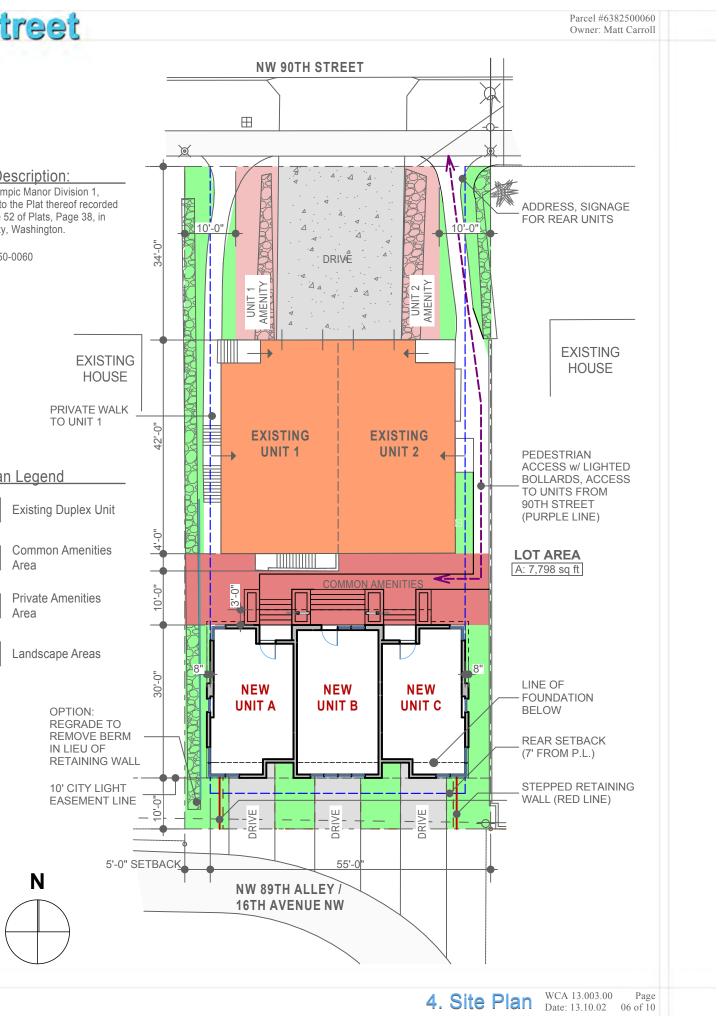
 =
 1,950 SF

 Ground Level Amenities Required =
 50% of Lot Area

 =
 975 SF

Private Amenities Areas = Min. 10' from side lot line (OK, Complies) Common Amenities Areas = Min. 250 SF & Min. 10' dimension (OK, Complies)

Proposed Amenities		
	Ground Level	Building Amenities
Common =	781 SF	0 SF
Existing Unit 1 =	274 SF	0 SF
Existing Unit 2 =	248 SF	0 SF
Unit A =	0 SF	40 SF (balconies)
		294 SF (roof deck)
Unit B =	0 SF	48 SF (balconies)
		320 SF (roof deck)
Unit C =	0 SF	40 SF (balconies)
		294 SF (roof deck)
Total =	1,303 SF > 975 SF, OK	1,036 SF
Total Amenities =	2,339 SF >1,950 SF, OK	



Parking:

= 1 per unit (South Facing Garage per Unit)

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5. Design Guidelines. A brief description of how the proposal meets the intent of the applicable citywide and neighborhood design review guidelines. Identify design guidelines most relevant to the proposal.

A-1 Response to Site Characteristics

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The form and size of the townhomes are reflected by the allowable setbacks from the existing duplex, the sideyards, and the power line easement at the South. Wonderful elevated views of the park are afforded to the North, the Olympic Mountains to the West, with generous Southern exposure to the units. The pedestrian walkway along the East side of site shall be marked with appropriate address signage, enhanced landscape elements, and bollard lighting along the path, leading to individually expressed, weather protected townhome entries. The proposed daylight garages require removal of existing overgrown vegetation at the South side. Landscaped areas flanking each garage door shall be planted to soften the size and scale of the townhomes and provide some low level street tree enhancements for both neighborhood and occupants.

A-2 Streetscape Compatibility

The proposal does not largely modify ones impression of the Streetscape and scale along 90th, as the generous front yards, off street parking aprons, and daylight garages synonymous with the neighborhood remain intake. This proposal to add townhomes in the rear yard will effectively allow the continued densification of the street where multistory rear yard townhomes exist to West, along with two proposed units to either side of this address. Massing offsets to the proposed townhome at the South serve to reduce the apparent size and scale of the units with street level vegetation and plantings added to enhance the streetscape. Architectural elements and materiality of the existing duplex, shall be re-introduced on the townhomes, in the form of low slope hip roofs at entries, and klinker brick veneer on first level where pedestrians engage the building. A simple mix of alternative siding materials, more contemporary and varied in application, shall sheath the balance of the building mass, effectively reducing the scale of this multi-level façade, but also blending more symbiotically with adjacent properties.

A-3 Entrance Visible from the Street

The units are behind the existing duplex, therefore, it will be important to identify and mark the pedestrian walk along 90th. This path shall be marked with an address pylon at the NE corner, path widened with paver materials along the existing hardscape walk, more openly landscaped, lighted, and shall be inviting to pedestrians. Given the height of the units, the townhomes are visible from 90th providing visual cues to entry and access. The elevation and massing of the each unit shall be modulated to emphasize three distinct entries, easily visible and distinguishable once one passes the duplex SE corner.

A-5 Respect for Adjacent Sites

Locating the townhomes in the rear yard respects the 90th street frontage, and preserves existing views from the N,E, and W vantages of all properties. The block front is transforming in this section of the city, with a number of adjacent sites adding housing mass to the rear yards of subject properties.

A-6 Transition Between Residence and Street

The transition from 90th to the existing duplexes is effectively unchanged from a pedestrian standpoint. The large setback to the proposed townhomes in rear yard from 90th, at 90 feet, allows the gentle transition from open street space to the developed site. Varied massing, streetscape planting, and setbacks on 89th are handled in such a manner as to not overwhelm the streetscape.

A-7 Residential Open Space

There is a sequence of open spaces on the site. The existing streetscape is broad and open, we wish to maintain and enhance this. Private amenity space is afforded the two duplex units with front yard landscape areas and walks to entries, supplemented with access to rear yard townhomes on the East. The space between the duplex and townhomes shall be articulated as common amenity area reinforcing the properties community open space for all to use. This space also serves as front entry for units. Small private amenity areas for townhomes are afforded at grade to the south adjacent to garages, as well as enhanced with individual private amenity roof decks for each unit.

A-8 Parking and Vehicle Access

Parking is provided for each townhome unit in a daylight garage, accessed from the named alley, NW 89^{th.} Existing duplexes also have parking in daylight garages accessed from 90th, in addition to a wide drives in front of garages, providing off street parking. Mass transit stops are in close proximity, along Holman Rd., and there are both community park, and commercial district, access within a short walking distance.

B-1 Height, Bulk, and Scale

Height bulk and scale of proposed development is in concert with both existing, and additionally proposed projects along 90th currently in the planning stages.

C-2 Architectural Concept and Consistency

The primary objectives for the site are to maintain, provide, and enhance pedestrian access, pedestrian path, and emphasize individual entries from NW 90th. Individual porches shall be provided for each unit at the entry from the common path. Weather protection shall be afforded each unit entry using a low pitch sloped roof similar to the existing duplex. Privacy issues to adjacent neighbors to the East and West shall be mitigated by modulating the height of window sills, allowing natural light, but affecting views both internally and externally. Additionally, corner window units, a cue from the existing duplex architecture, allow views to be directed to the North and South from the East and West facades, enhancing the privacy and views for unit occupants. The East and West facades shall be modulated in both material and offsets to reduce the apparent size and massing of the townhomes to adjacent properties, as well as to the South. The townhome exterior materials shall be compatible and complimentary to the existing duplex.

C-4 Exterior Finish Material

The townhomes shall be sheathed in a high quality material that will weather well and be low maintenance. Each unit shall be emphasized with a sensitive distribution of exterior finishes and building mass offsets. The material and colors shall be similar the existing duplex in expression, but more contemporarily applied. **D-3 Retaining Walls and Fences** There is an existing fence along the West property line that will be maintained for screening and to enhance the existing condition. A retaining wall will be necessary in the SE corner of the site to react to grade differential. Retaining wall materials and configuration shall be compatible with surrounding structures.

D-1 Pedestrian Open Spaces and Entrances

Convenient access to building entries is provided for each unit. Paths and entry areas are lighted, and entries protected from weather, with tenant open space at ground level for each occupant. Additional private open space is provided at rooftop terraces.

D-3 Retaining Walls and Fences

There is an existing fence along the West property line that will be maintained for screening and to enhance the existing condition. The East property line has an existing screen wall which will be maintained, supplemented with ground level plantings to soften this existing concrete surface. A retaining wall will be necessary in the SE corner of the site to react to grade differential. Retaining wall materials and configuration shall be compatible with surrounding structures.

D-6 Screening of Dumpsters, Utilities and Service Areas

Each unit has its own garage, directly off alley, with dedicated space for refuse and recycling collection out of site to all neighbors.

D-7 Pedestrian Safety

The entry path along the East shall be more open and well illuminated for pedestrian access and safety. Visibility to the entry path from unit windows shall also enhance safety.

D-8 Treatment of Alley

Garage doors shall face the alley, along with street drive improvements from existing street into garages. Garage doors shall be designed to enhance the streetscape and reinforce safety and privacy objectives. Some amenity space is afforded at this location in addition to landscape zones with shrubs and street trees, carefully considered with the power line overhead.

E-2 Landscaping to Enhance the Building and/or Site

Landscaping on the North side is fully developed, mature and well maintained and shall remain in service and use for duplex tenant amenity areas. The sidewalk, path and plantings on the East side shall be widened, enhanced to acknowledge and present pedestrian path from 90th to the townhomes in the rear, where common area amenity space is afforded at front entry to each unit. Additional plantings space is available privately to tenants on roof decks, accessed individually by each unit.

E-3 Landscaping Design to Address Special Site Conditions

Due to existing duplex and large front setback condition, new landscaping shall be reconfigured and distributed along access path to common area planting beds in front of each unit. Roof planting areas envisioned at roof terraces. Permeable paving is envisioned for garage access drives, bordered by green space, portions of which are in the named alley right of way at 89th.

5. Design Guidelines WCA 13.003.00 Page Date: 13.10.02 07 of 10

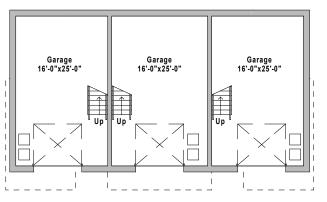
6. Architectural Concept. One or more color renderings adequate to depict the overall massing of structures and the design concept. Graphics should show proposed siting, massing, open space, and façade treatments. Three dimensional studies and sketches, including those at the street level are optional, and may assist the planner to evaluate the design proposal. May also include images from the neighborhood or beyond that will inform the design development of the proposed development.

Architecural Concept

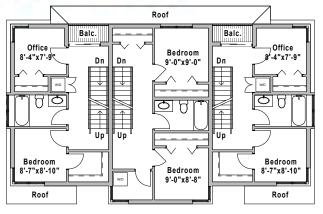
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CHITECTURE

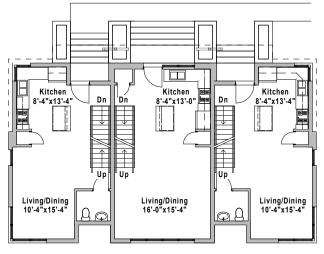
The primary objectives for site are to maintain and provide for pedestrian access and entry from NW 90th. Entry path for the townhomes shall be along enhanced walkway on the East side of the property to townhome entrances which shall face 90th, North. Parking is a limited in the neighborhood, so proposed garage parking, accessed off the named alley 89th street, was envisioned as a positive amenity to include.



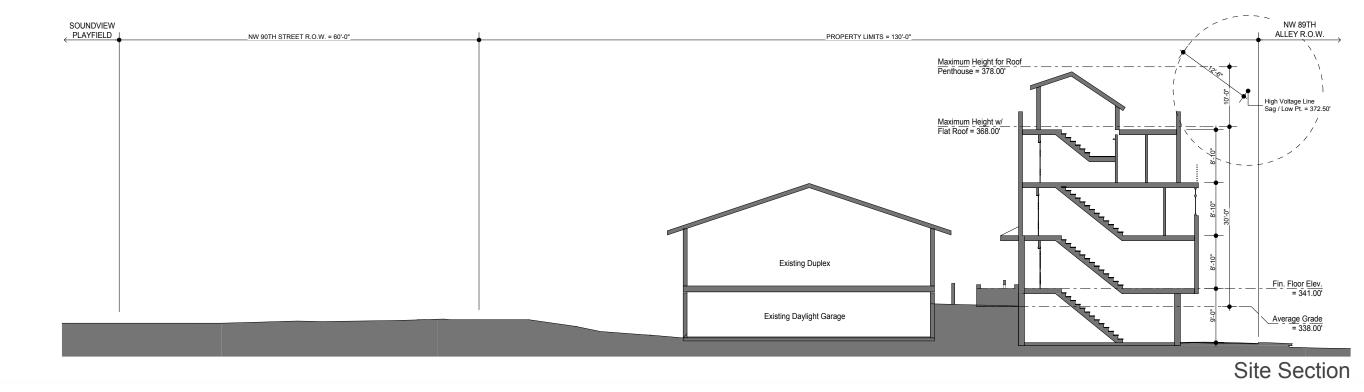
Basement Plan



Second Floor Plan



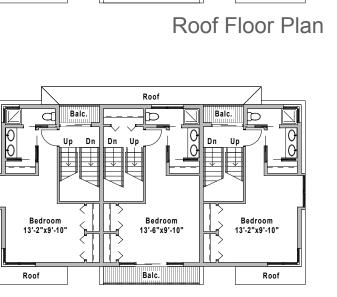
First Floor Plan



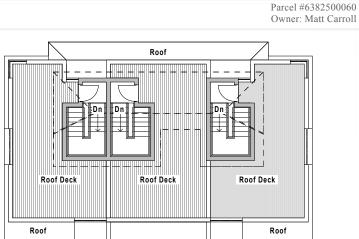
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Third Floor Plan

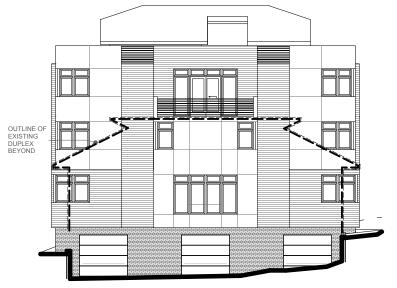


6. Architectural Concept - Continued.

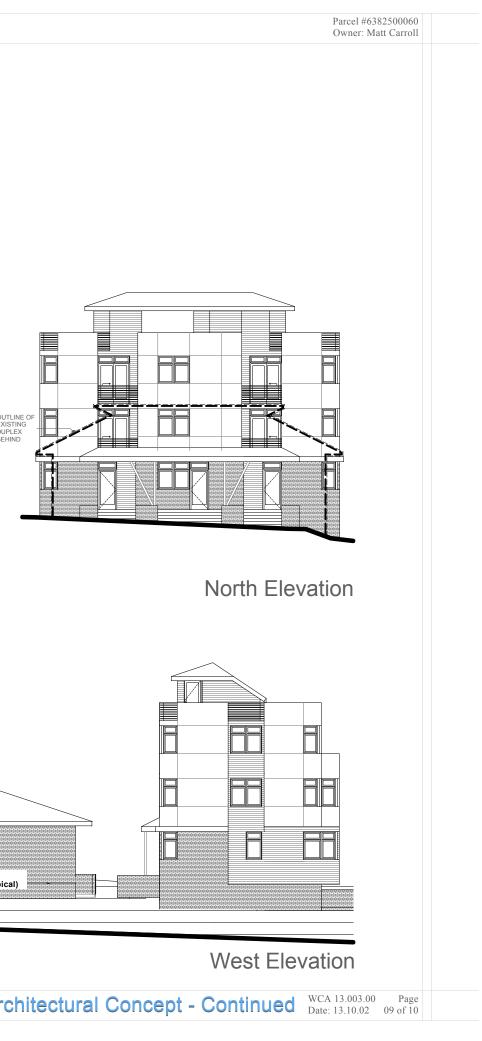
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CHITECTURE

Stylistically, the new townhomes are a reaction to the varied architecture of the surrounding site, comprising an eclectic mix of styles and scale. Integrating a taller structure on the site is better afforded by locating improvements in the rear yard, maintaining the visual continuity of the existing period streetscape on 90th, while integrating familiar architecture to the proposed townhomes. This approach is further supported with other developments of similar scale and density in the planning stages along 90th. Low sloped roofs, a common attribute of many of the surrounding homes, are utilized at pedestrian entrances and as roof terminations over roof terrace penthouses. The proposed hipped penthouse roofs are similar to the existing duplex in both shape and material. The townhome style is purposefully contemporary, but contextual. A building of its time, with material, color, corner window, and roof massing cues incorporated from the adjacent existing duplex. Material usage and building forms shall be articulated and varied to provide a properly scaled and interesting improvement to the neighborhood.





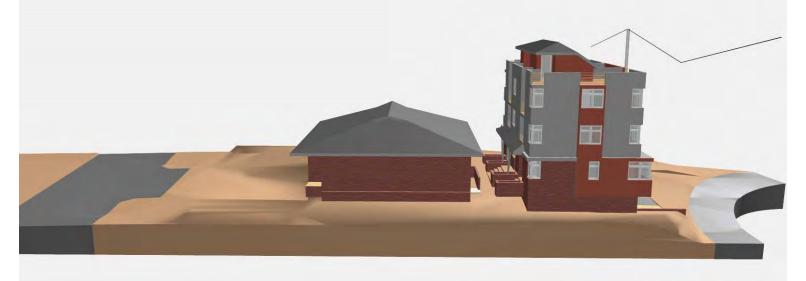






WESTCARROLL ARCHITECTURE Townhouses at 1525 NW 90th Street

- 6. Architectural Concept Continued.
- 7. Adjustments and/or Departures None included.



Massing Model - View from W







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Massing Model - View from SE