

**300 & 333 8th Ave N**  
**Design Recommendation**  
**West DRB – May 21, 2014**

DPD Project Numbers: 3014981/3014982



**GRAPHITE**



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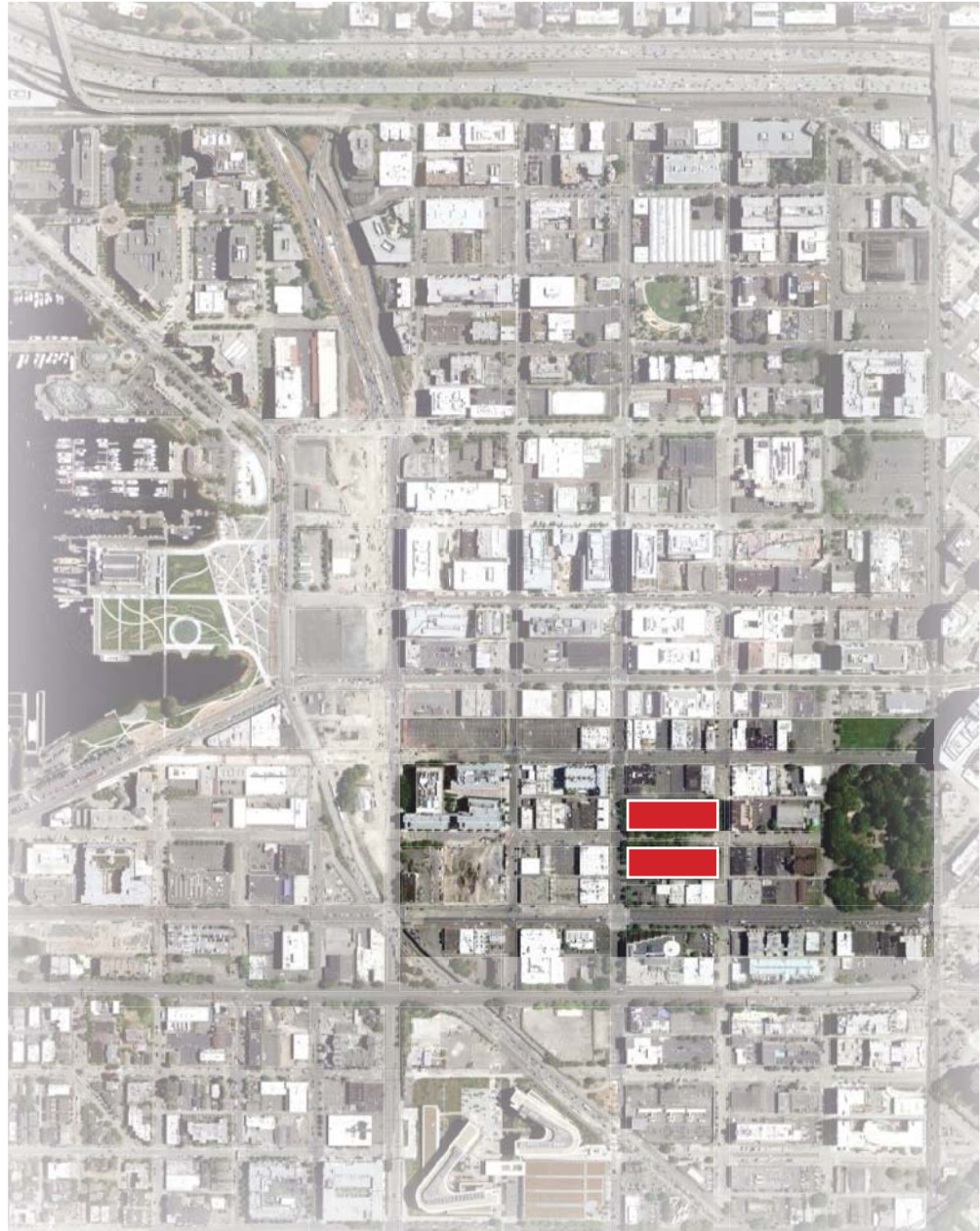
Materials
“5th Elevation” Roof Design
Cladding Details
Material Palettes
Building Signage
Green Street Proposal
Site Plan- Green Street Proposal
Landscape- Green Street Proposal
Lighting- Green Street Proposal
Rendering- Green Street Proposal
95’ Height Proposal
Building Elevations- 95’ Proposal
Section Detail - 95’ Proposal
Street Sections - 95’ Proposal
Building Sections - 95’ Proposal
Departures & Appendix
Departures
Zoning Analysis
Existing Site Plan- 300
Existing Site Plan- 333
Environmental Analysis
SLU Street Concept (Proposed)

Project Info

Property Addresses	300 8th Ave N (Vulcan Block 52W) & 333 8th Ave N (Vulcan Block 57E) Seattle, WA 98109
DPD Project Numbers	3014981 & 3014982
Owner	City Investors VII, LLC 505 5th Avenue South, Suite 900 Seattle, WA 98104 <i>Contact:</i> Jodi Patterson-O’Hare 425.681.4718 jodi@permitcnw.com www.permitconsultantsnw.com
Architect	Graphite Design Group 80 Vine St, #202 Seattle, WA 98121 <i>Contact:</i> Peter Krech 206.224.3335 peter.krech@graphitedesigngroup.com www.graphitedesigngroup.com
Development Objectives	<p>The applicant proposes to build two 6-story structures with approximately 194,400 square feet (each) of above-grade construction including 192,000 square feet of office and 2,400 square feet of retail in one building adjacent to the intersections and 1200 square feet of retail on the other. Below grade parking will be provided for approximately 440 stalls at 300 8th Ave. N and approximately 290 stalls at 333 8th Ave. N. Primary building entrances will be off of 8th Avenue North. Auto access and loading will be off of the adjacent alleys. Three loading berths and trash-recycling facilities will be provided for each building.</p> <p>Specific tenants have not yet been identified for the two office buildings. These buildings are being reviewed under the previous SM-85 zoning code.</p> <p>Two building proposals are presented for review. One proposal is for each building to be built to a height of 85 feet. The other proposes to increase overall building heights for laboratory use to approximately 95’ as permissible by SMC 23.48.10.B.</p> <p>Additionally, two proposals for developing the right-of-way on 8th Ave N are presented for review. The proposal referred to as the “Woonerf” is pending approval by SDOT. The second proposal, referred to as the “Green Street” satisfies current standard SDOT and zoning requirements.</p>





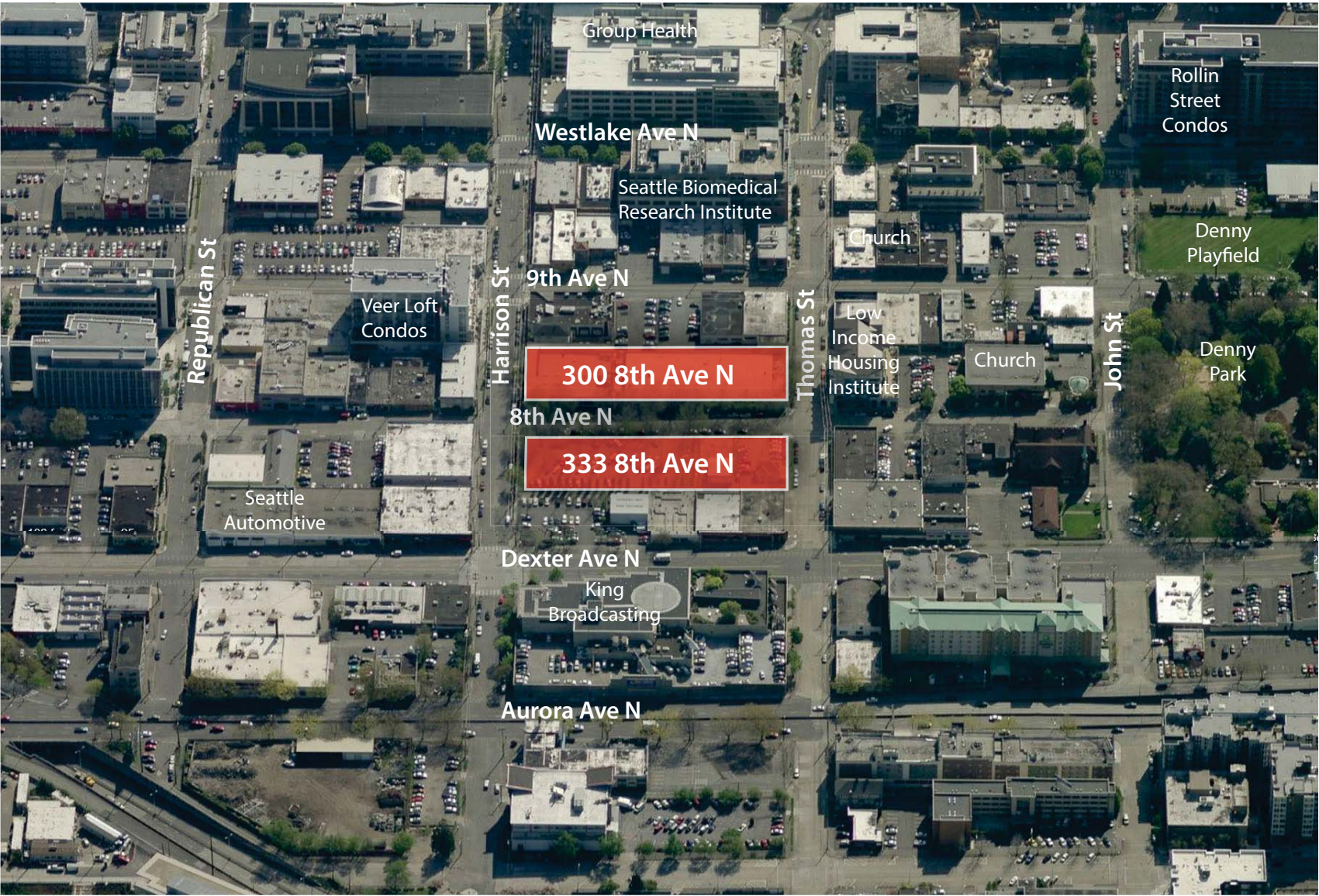


I-5

- Fairview Ave N
- Boren Ave N
- Terry Ave N
- Westlake Ave N
- 9th Ave N
- 8th Ave N
- Dexter Ave N
- Aurora Ave N



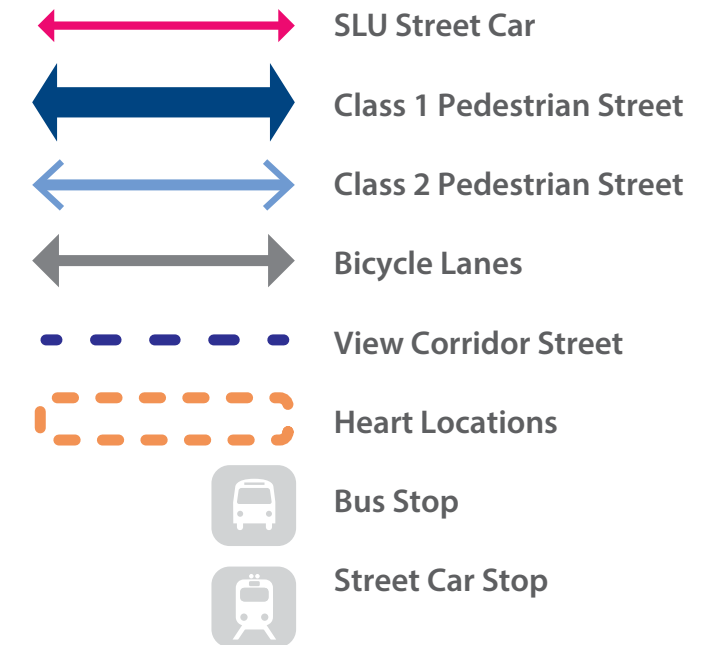
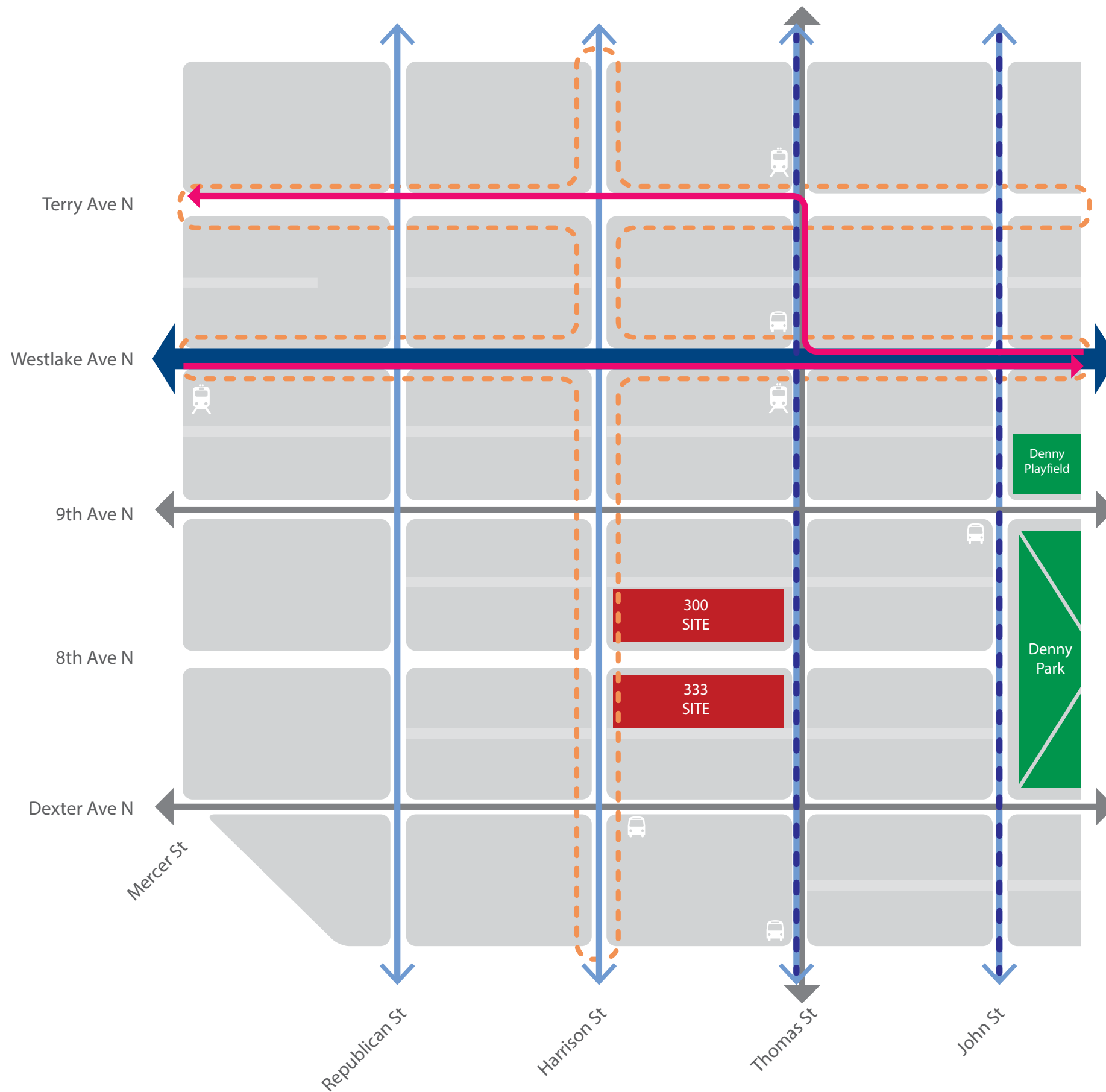
- Mercer St
- Republican St
- Harrison St
- Thomas St
- John St
- Denny Wy













# Formal Concept

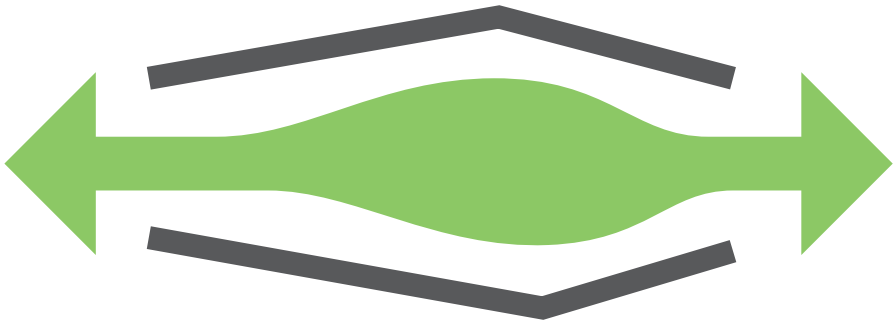
## Cradle & Guide vs. Capture & Focus



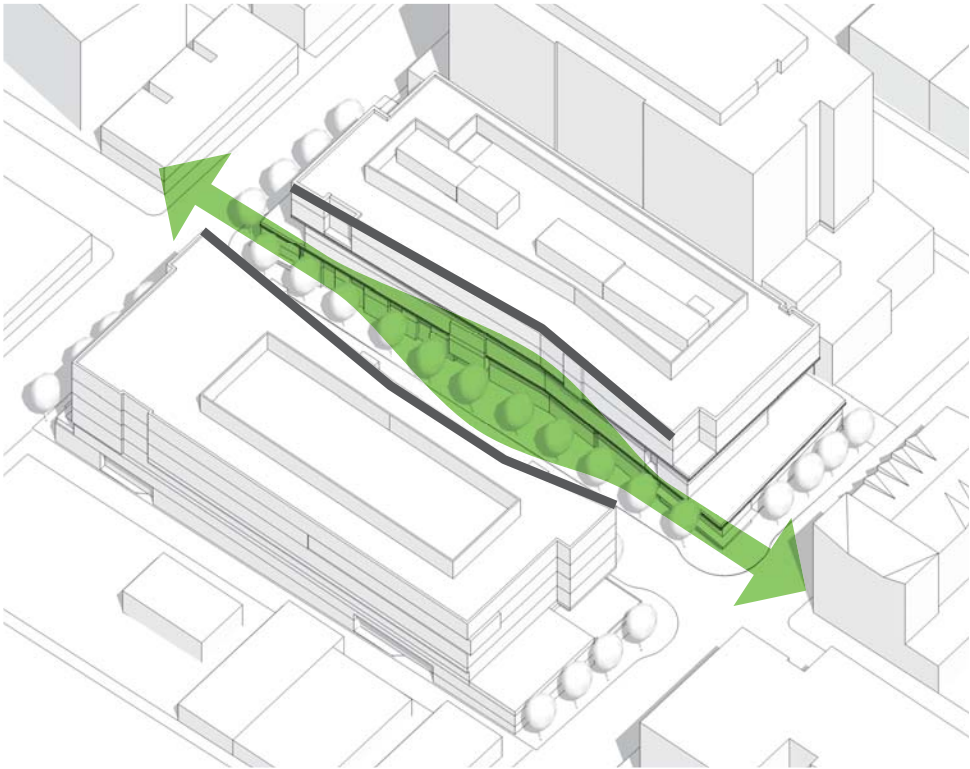
The cradling gesture blurs the edge of the mid block room while still accomplishing the intention of neighborhood open space and integrated street design. A heavy emphasis is placed on preserving and providing air & light to the existing large 'Sweet Gum' tree canopy at 8th Ave N.



Capture & Focus



Cradle & Guide



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A-6 | 8th Avenue N. Design Concept

300 & 333 8th Ave N  
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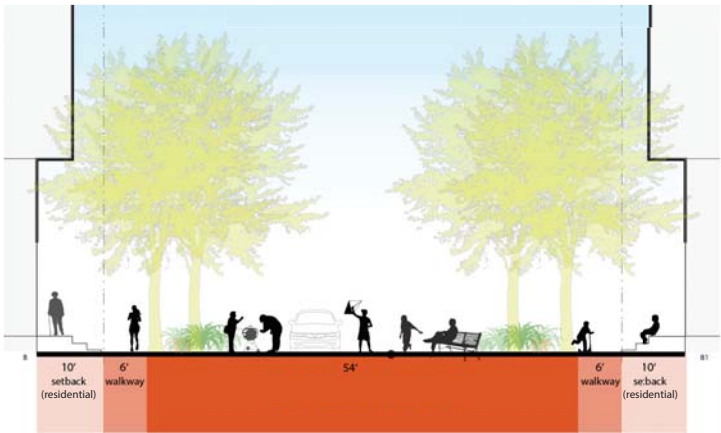


South Lake Union Street Concept  
(Central Street Room)

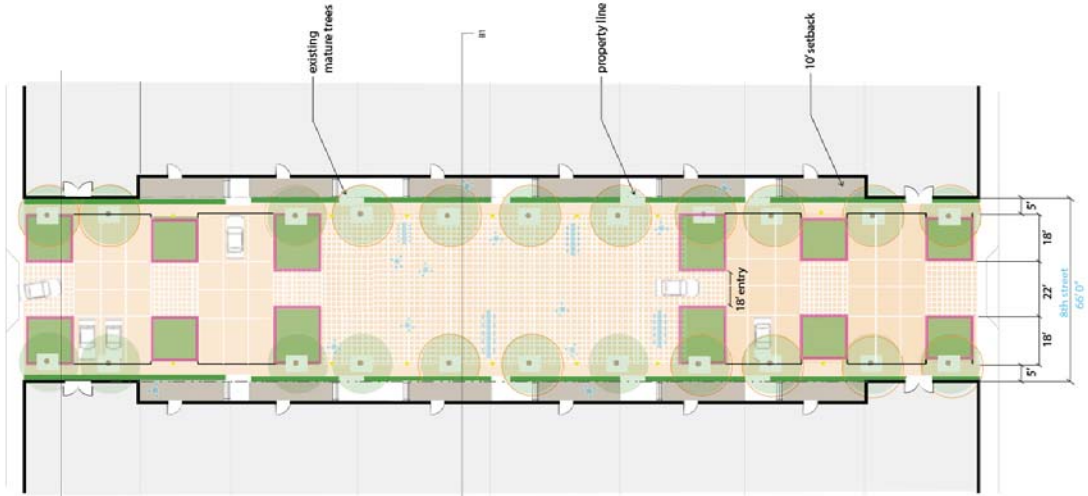
Per SOUTH LAKE UNION STREET CONCEPT PLANS  
Prepared for City of Seattle, April 2013 by:  
Weinstein A|U, CMG Landscape Architecture, CPL  
Civil Engineers

8th Ave N Central Street Room

- Larger open space towards mid-block
- Large tree canopy
- Low plantings
- Permanent & temporary street furniture



Section B1- Central Street Room



Plan- Central Street Room



- 8th Ave N**
- Woonerf (Shared Street)
  - Pedestrian/bicycle emphasis
  - May restrict access to deliveries and emergency vehicles

- Thomas St**
- Green Street
  - Encourages bicycle/pedestrian
  - Substantial street tree canopy

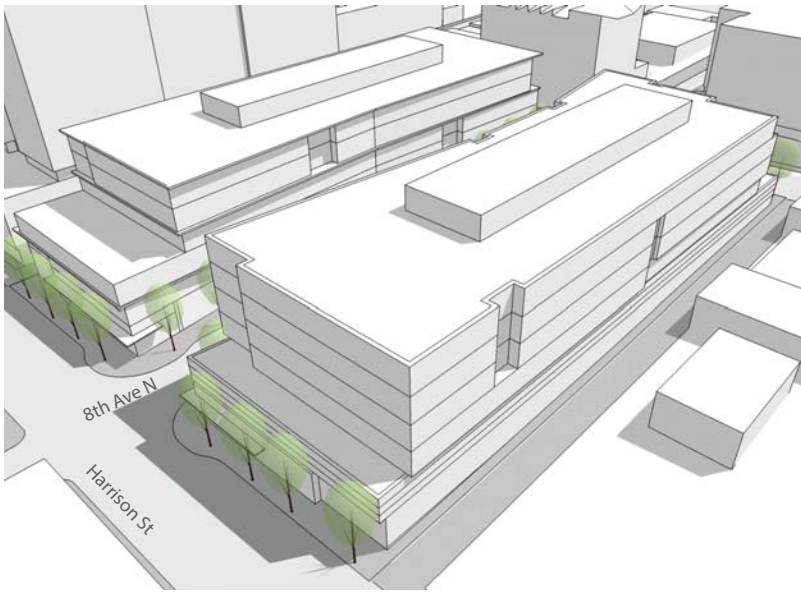
- Harrison St**
- Mixed-Use Street
  - Transit route
  - Standard landscape

- BOULEVARD
- MIXED USE
- SHARED USE STREET (WOONERF)
- GREEN STREET
- FESTIVAL STREET





Aerial Looking Southwest



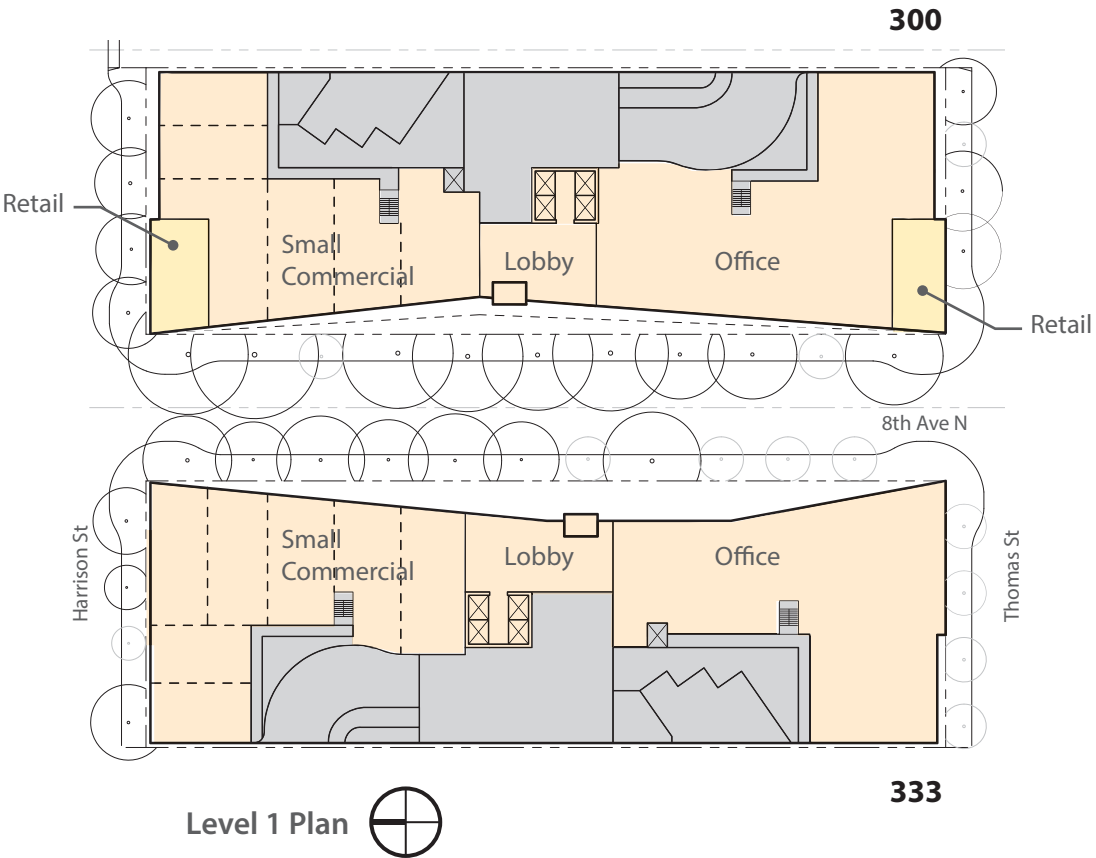
Aerial Looking Southeast (333 Alley)



8th Ave- street view looking North



Aerial Looking Northeast





300 8th Ave N

		1000	
		Stair/ Elev Penthouses	
6		office	31,900
5		office	31,900
4		office	31,700
3		office	36,000
2		office	38,000
1	2400 Retail	21800 office	15,462 loading/service
P1		parking	43,200
P2		parking	43,200
P3		parking	43,200
P4		parking	43,200

### Area Summary

Site Area	43,200 ft <sup>2</sup>
Base FAR	4.5
Maximum Chargeable FAR	194,400 ft <sup>2</sup>

Chargeable Office Area	191,300 ft <sup>2</sup>
Chargeable Loading/Service Area	16,462 ft <sup>2</sup>
Chargeable Retail Area	2,400 ft <sup>2</sup>
Sub-total Chargeable Area	210,162 ft <sup>2</sup>
7.5% Mechanical Deduction (FAR Exempt)	15,762 ft <sup>2</sup>
<b>Total chargeable area</b>	<b>194,400 ft<sup>2</sup></b>

Total Above Grade Construction Area	210,162 ft <sup>2</sup>
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Parking Area	172,800 ft <sup>2</sup>
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<b>Total Gross Construction Area</b>	<b>367,200 ft<sup>2</sup></b>
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333 8th Ave N

	1000 Stair/ Elev Penthouses		
6	office		33,000
5	office		33,600
4	office		33,600
3	office		33,600
2	office		38,500
1	2400 Retail	20500 office	13,962 loading/service
P1	parking		43,200
P2	parking		43,200
P3	parking		43,200

### Area Summary

Site Area	43,200 ft <sup>2</sup>
Base FAR	4.5
<b>Maximum Chargeable FAR</b>	<b>194,400 ft<sup>2</sup></b>

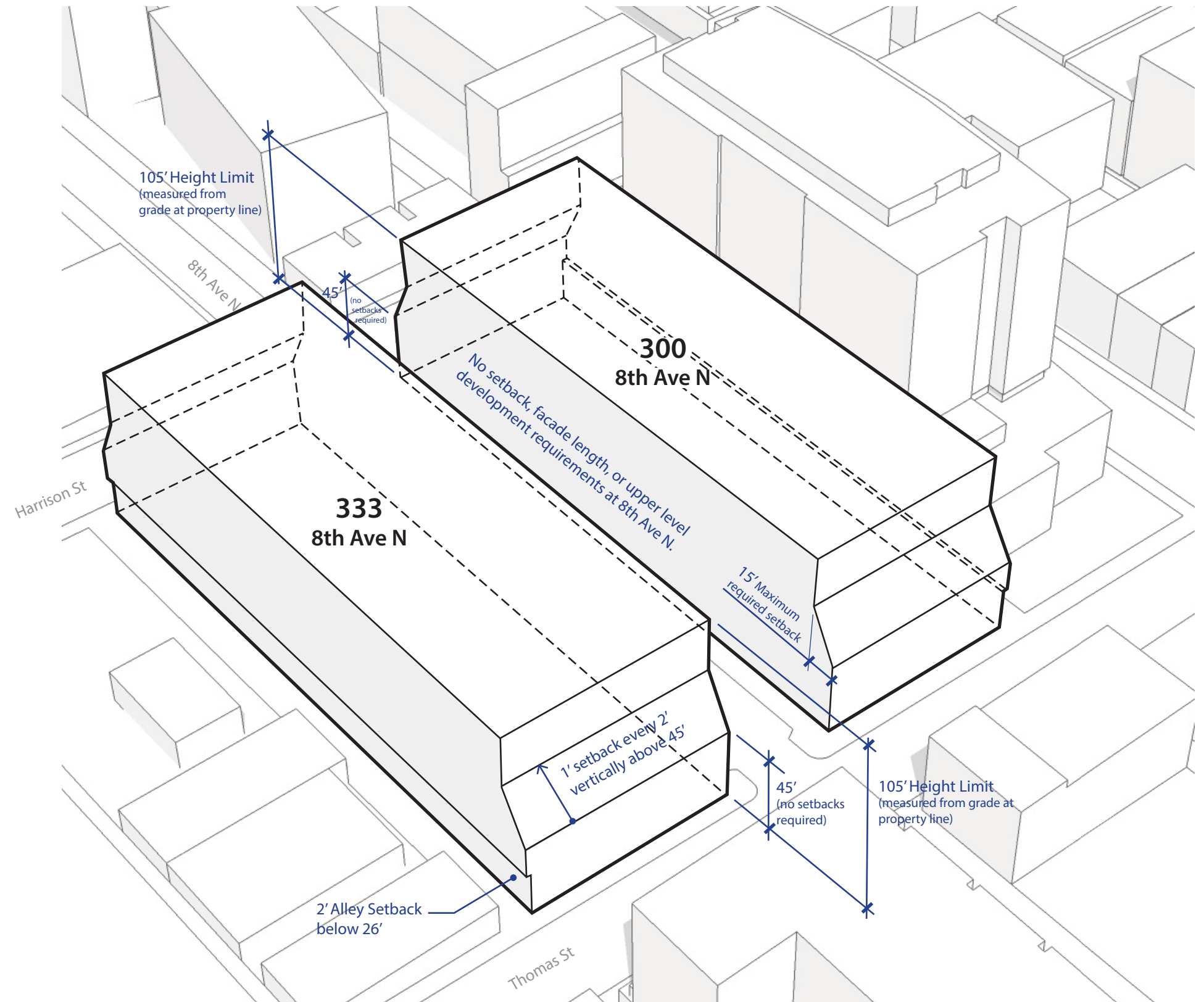
Chargeable Office Area	192,800	ft <sup>2</sup>
Chargeable Loading/Service Area	14,962	ft <sup>2</sup>
Chargeable Retail Area	2,400	ft <sup>2</sup>
Sub-total Chargeable Area	210,162	ft <sup>2</sup>
7.5% Mechanical Deduction (FAR Exempt)	15,762	ft <sup>2</sup>
<b>Total chargeable area</b>	<b>194,400</b>	<b>ft<sup>2</sup></b>

<b>Total Above Grade Construction Area</b>	<b>210,162 ft<sup>2</sup></b>
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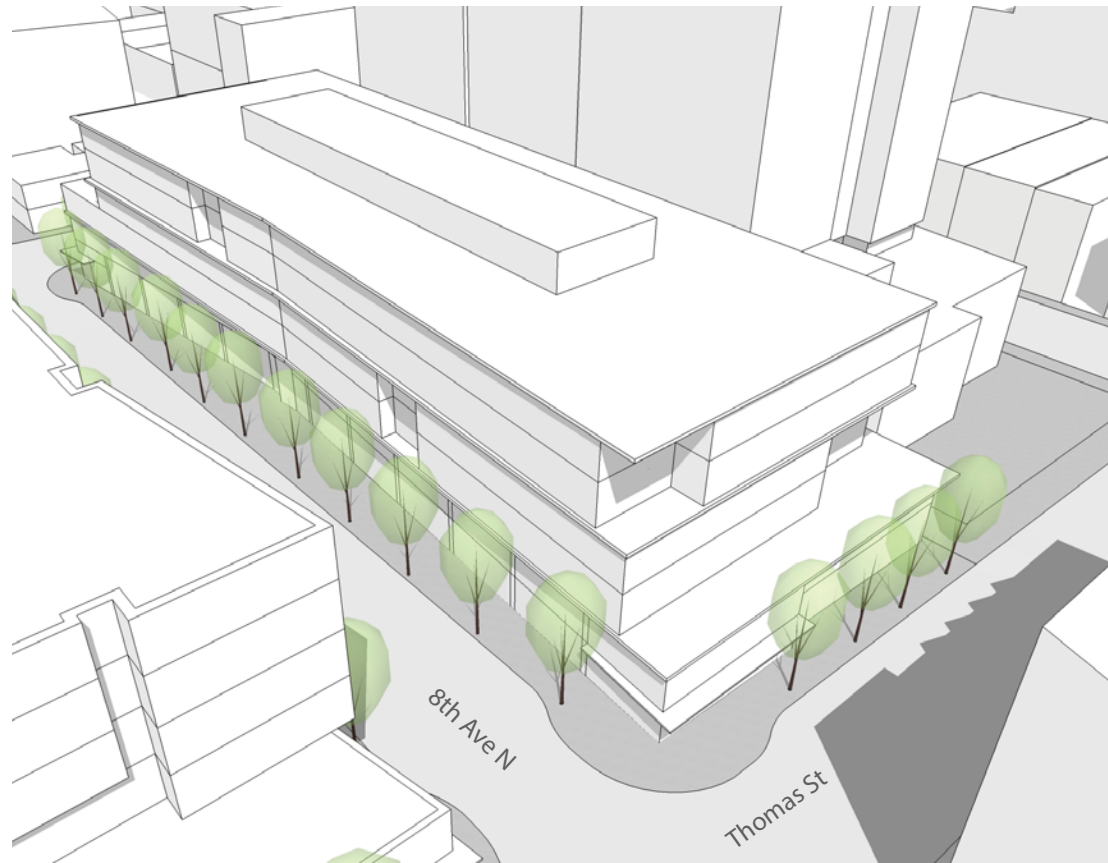
Parking Area	129,600 ft <sup>2</sup>
--------------	-------------------------

<b>Total Gross Construction Area</b>	<b>324,000 ft<sup>2</sup></b>
--------------------------------------	-------------------------------

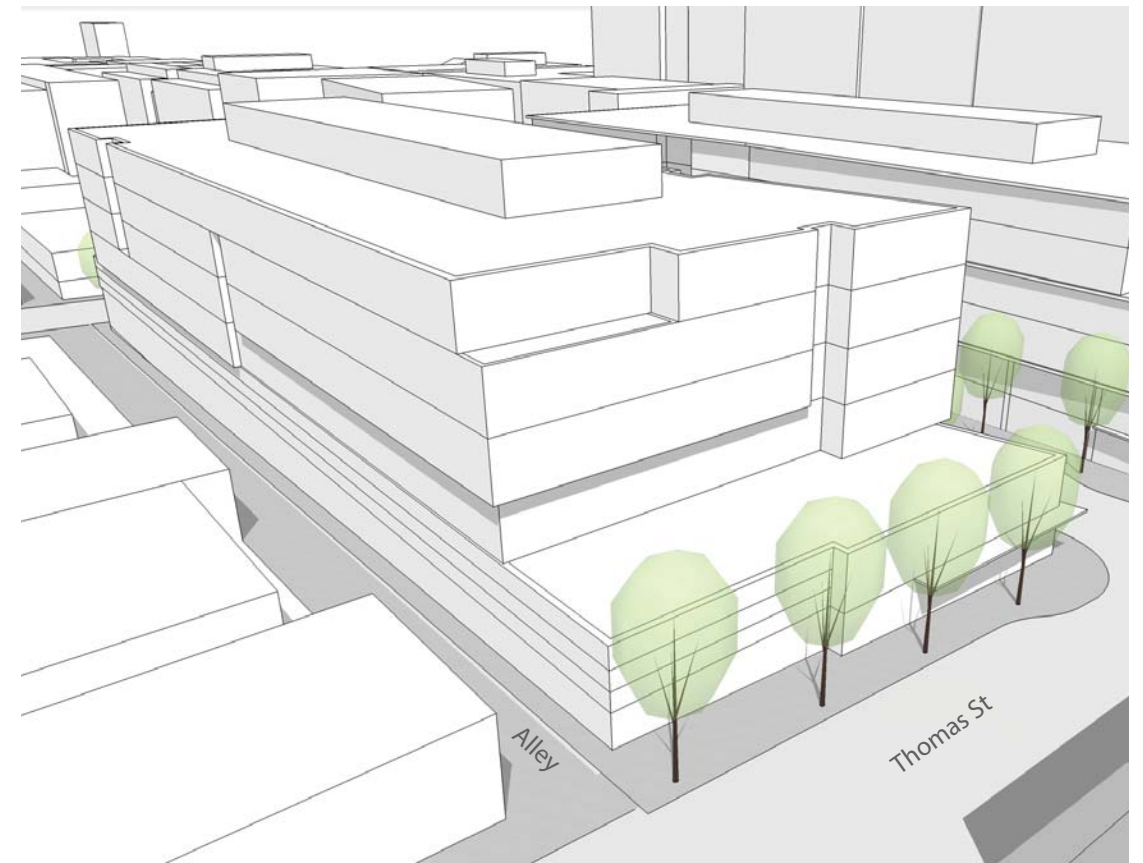
## Height Limit & Setbacks



300



333



GRAPHITE

A-10 | Massing Diagrams from EDG

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300



333



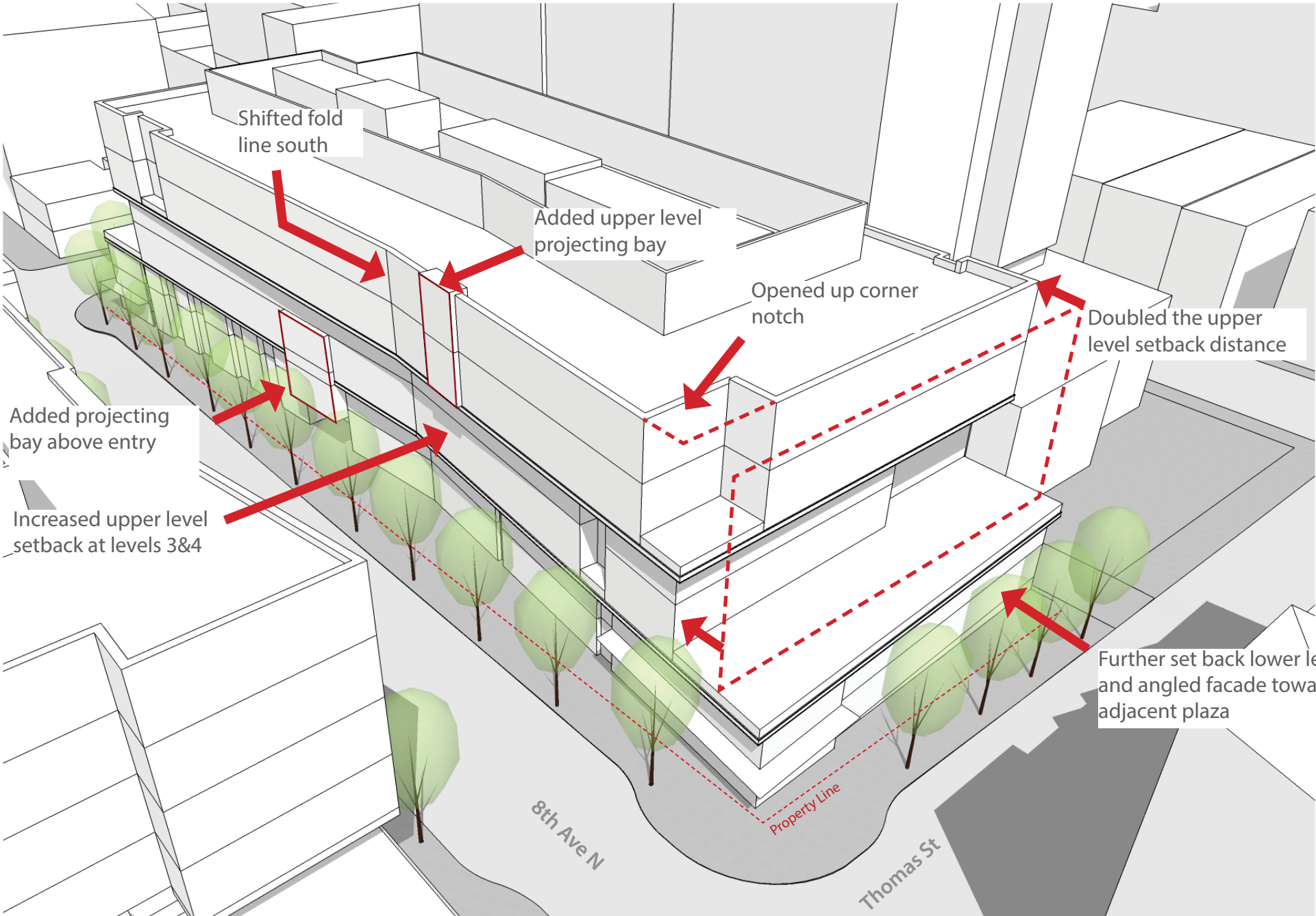


# Massing Updates- 300

Improvements from EDG



EDG Massing



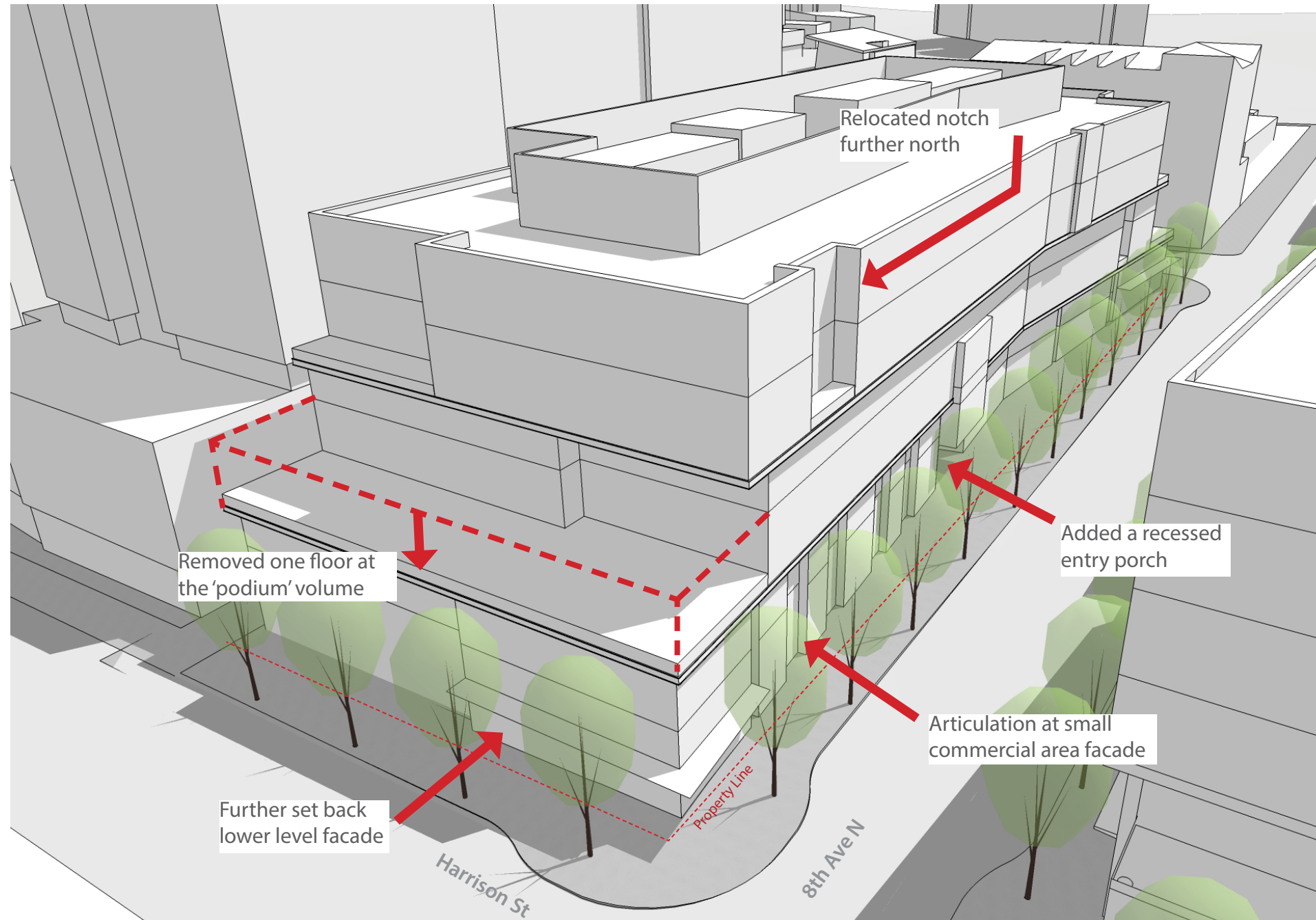
Updated Massing





# Massing Updates- 300

Improvements from EDG



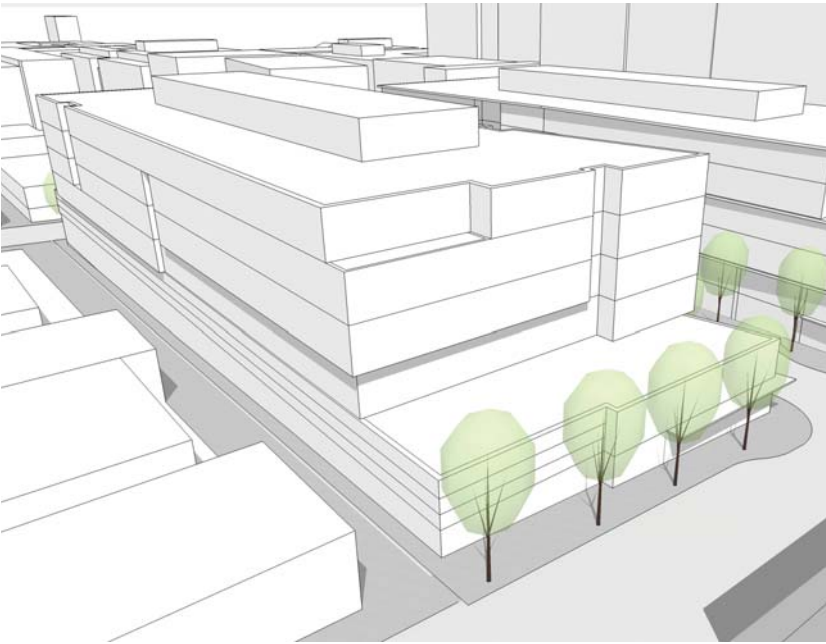
Updated Massing



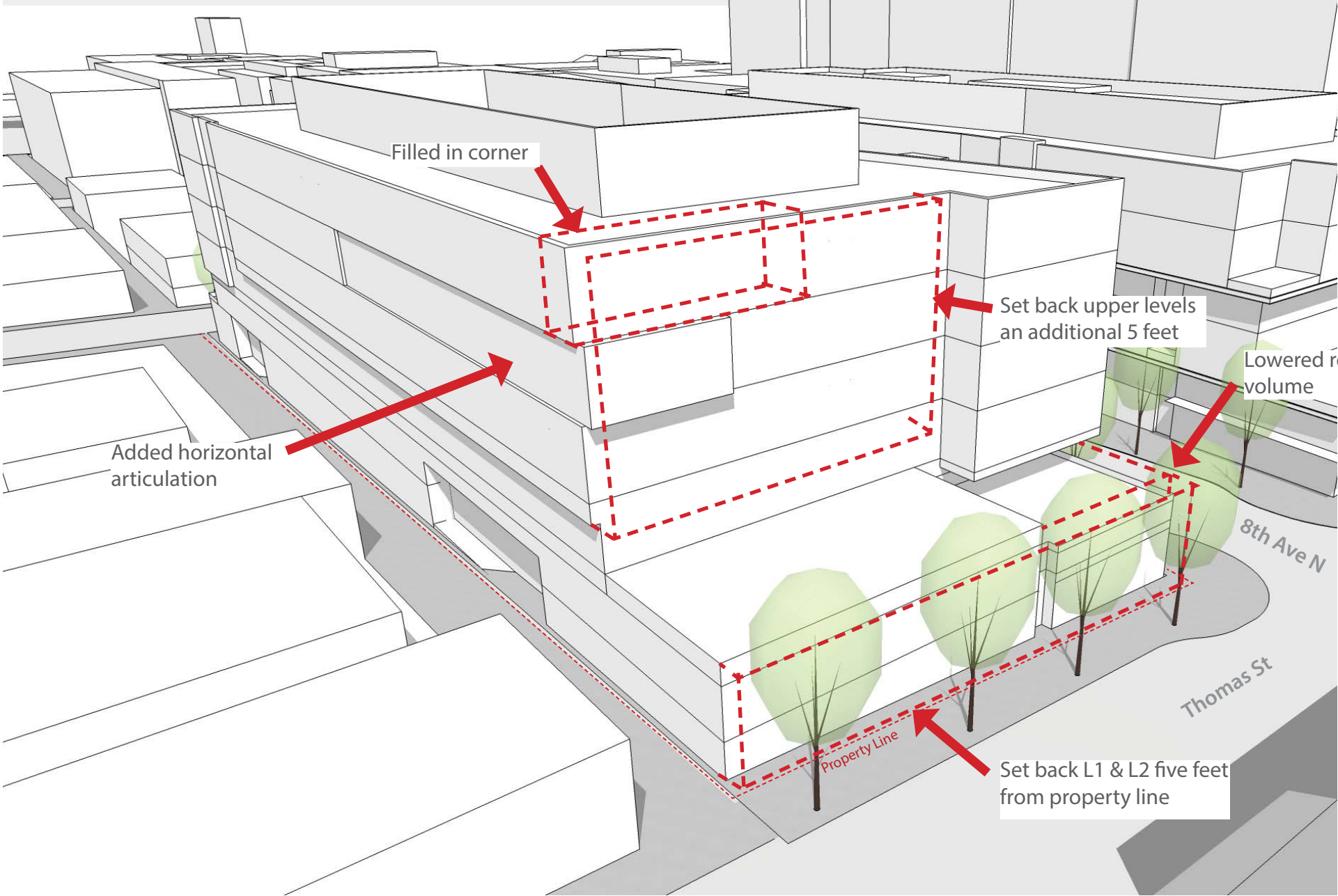
EDG Massing



Massing Updates- 333  
Improvements from EDG



EDG Massing



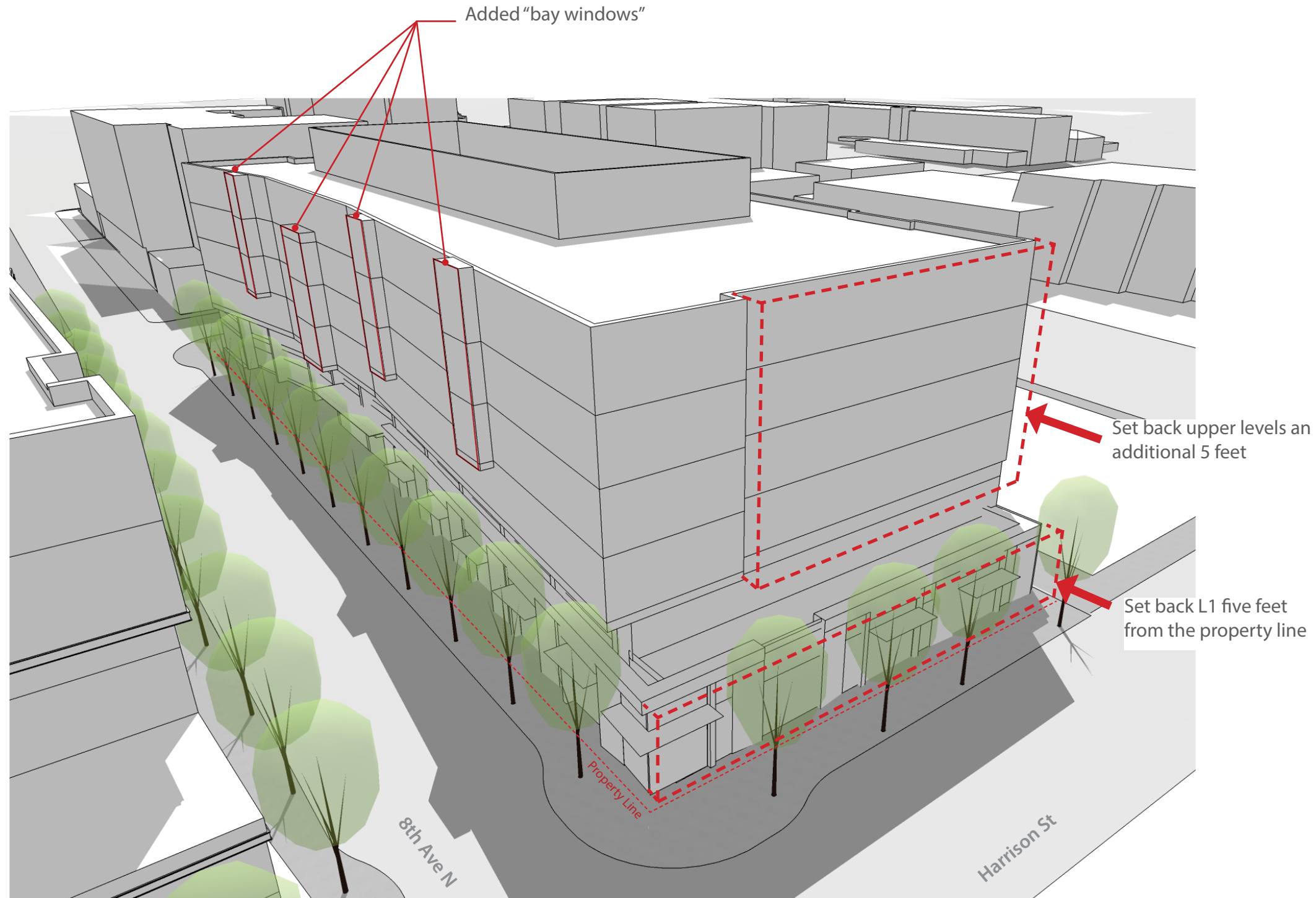
Updated Massing



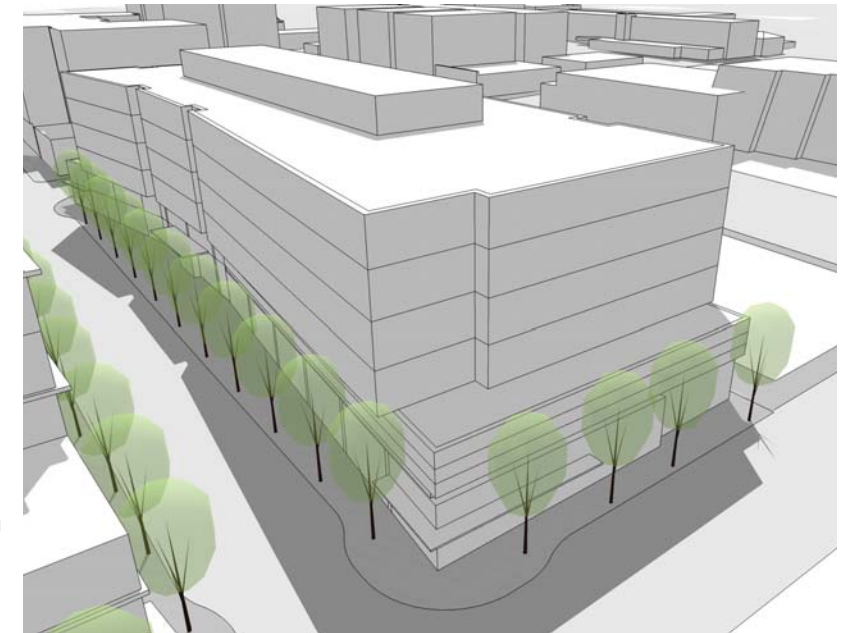


## Massing Updates- 333

Improvements from EDG



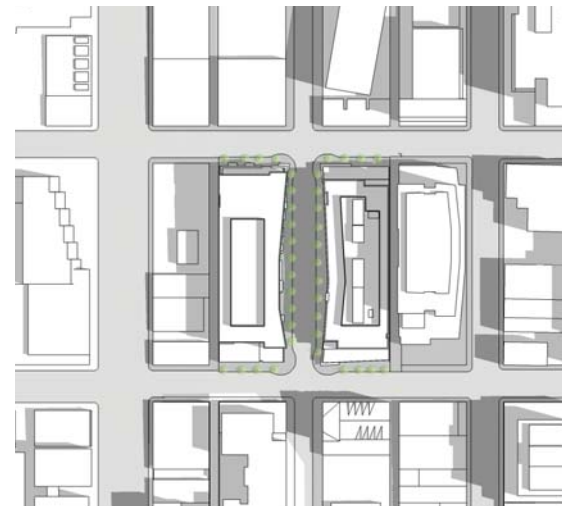
Updated Massing



EDG Massing



Summer-  
June 21st



9:00 am



12:00 pm



3:00 pm

Spring & Fall-  
March & Sept. 20th



9:00 am

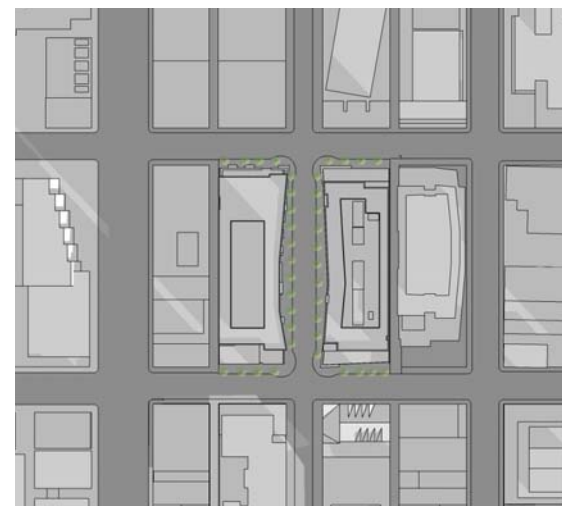


12:00 pm

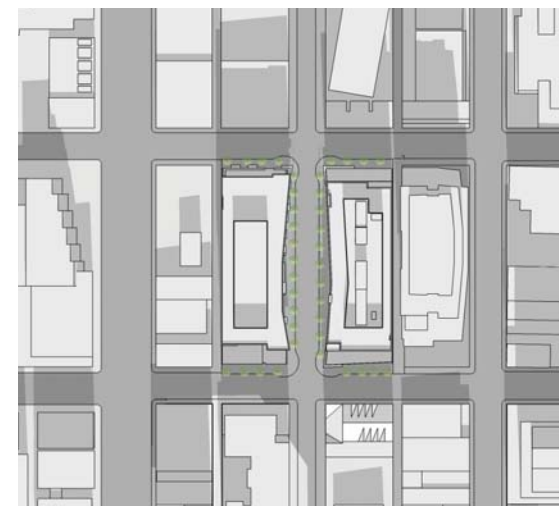


3:00 pm

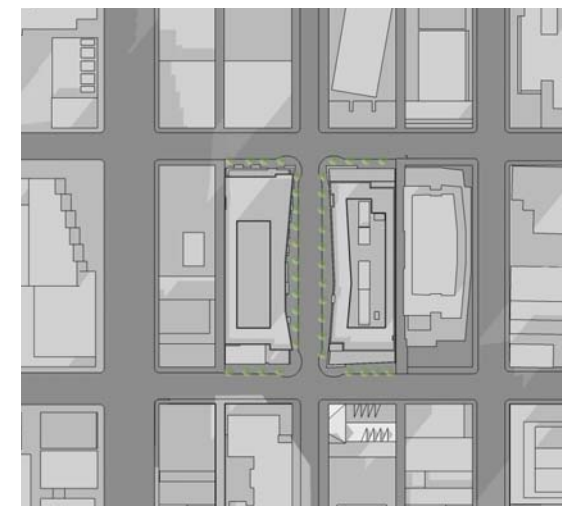
Winter-  
December 21st



9:00 am



12:00 pm



3:00 pm



GRAPHITE

A-16 | Shadow Studies (95' Height Proposal Shown)

300 & 333 8th Ave N

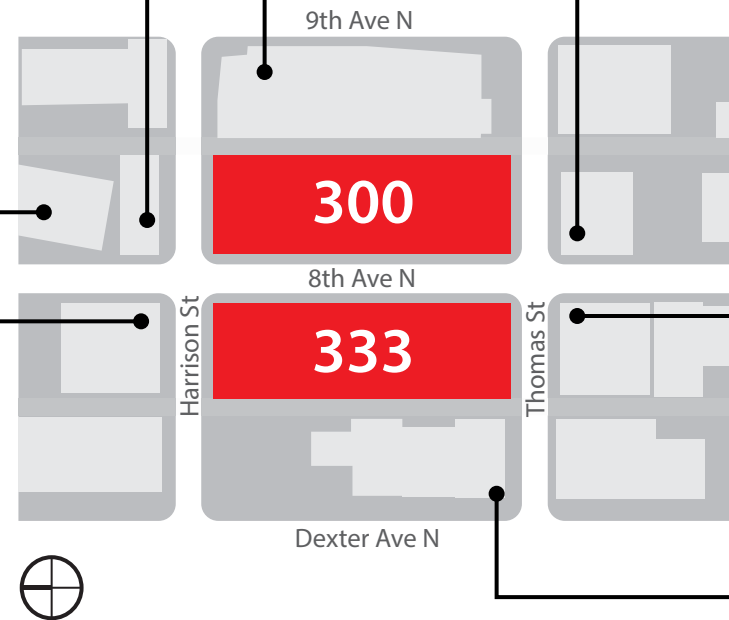
3014981 & 3014982

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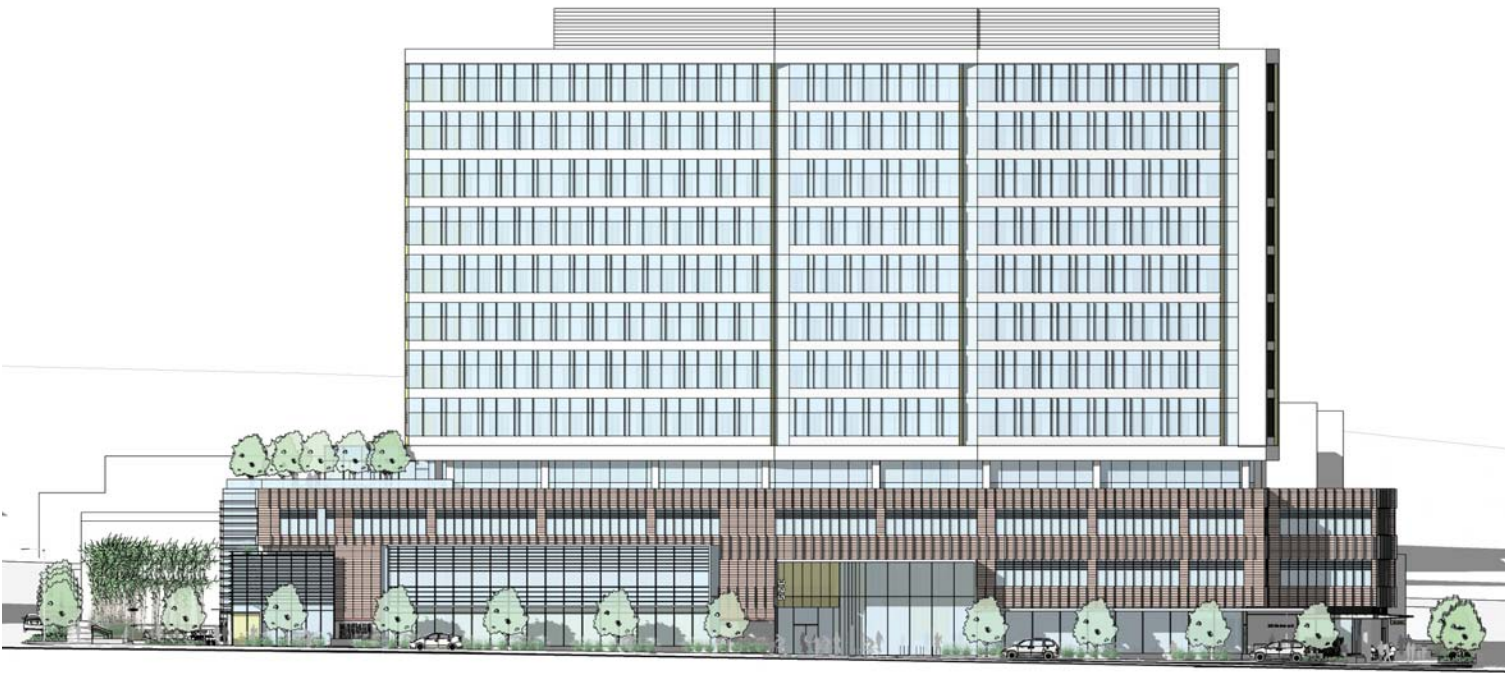






# Scalar Relationship to Nearby Projects

Built and Permitted Projects



**325 9th Avenue N.**  
Commercial 160' height  
0 blocks away

Nearby projects constitute a diversity of scales, materiality and uses. Several are illustrated here.

Of note: There is yet to be constructed in SLU a residential tower that utilizes the full 240' or 400' height limits permitted under current zoning. The 2201 9th Avenue Project in the Denny Triangle, at 220' tall, is shown here as an example of anticipated future development scale and typology.



**2201 9th Avenue**  
Residential & Commercial 220' height  
2.5 blocks away



**430 8th Avenue N**  
Residential 85' height  
1 block away



**300 8th Avenue N**  
Commercial 87' height



GRAPHITE

A-18 | Scalar Analysis

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# Guiding Principles

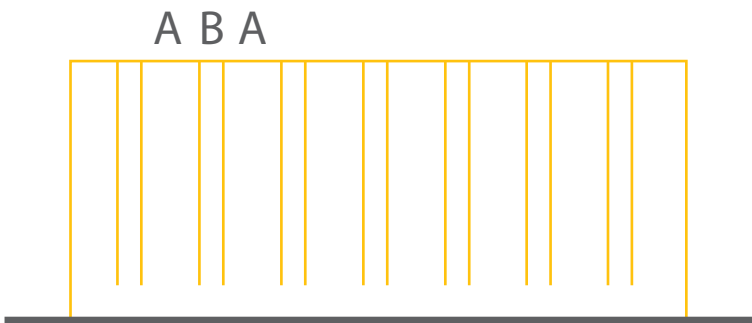
Architectural Vocabulary

A survey of residential and mixed-use projects reveal common themes and formal vocabularies that contribute to their architectural character.

The 8th Avenue projects draw from this vocabulary in their composition to successfully integrate into the neighborhood.



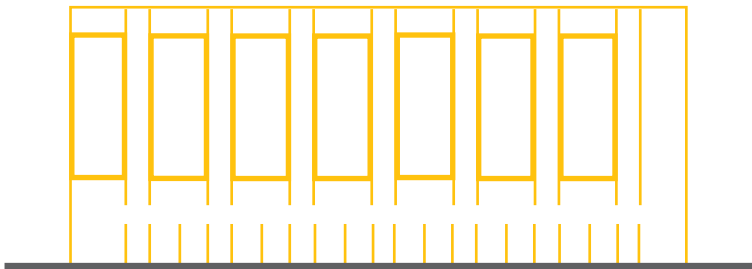
Syncopated Rhythm



Vertical Bays



Ground Level Delineation





# Scalar Relationship to Nearby Projects

Built and Permitted Projects



**Borealis**  
109 Dexter Avenue N

- ✓ Syncopated Rhythm
- ✓ Vertical Bays
- ✓ Ground Level Delineation



**8th & Republican**  
430 8th Avenue N

- ✓ Syncopated Rhythm
- ✓ Vertical Bays
- ✓ Ground Level Delineation



**Veer Lofts**  
401 9th Avenue N

- ✓ Syncopated Rhythm
- ✓ Vertical Bays
- ✓ Ground Level Delineation



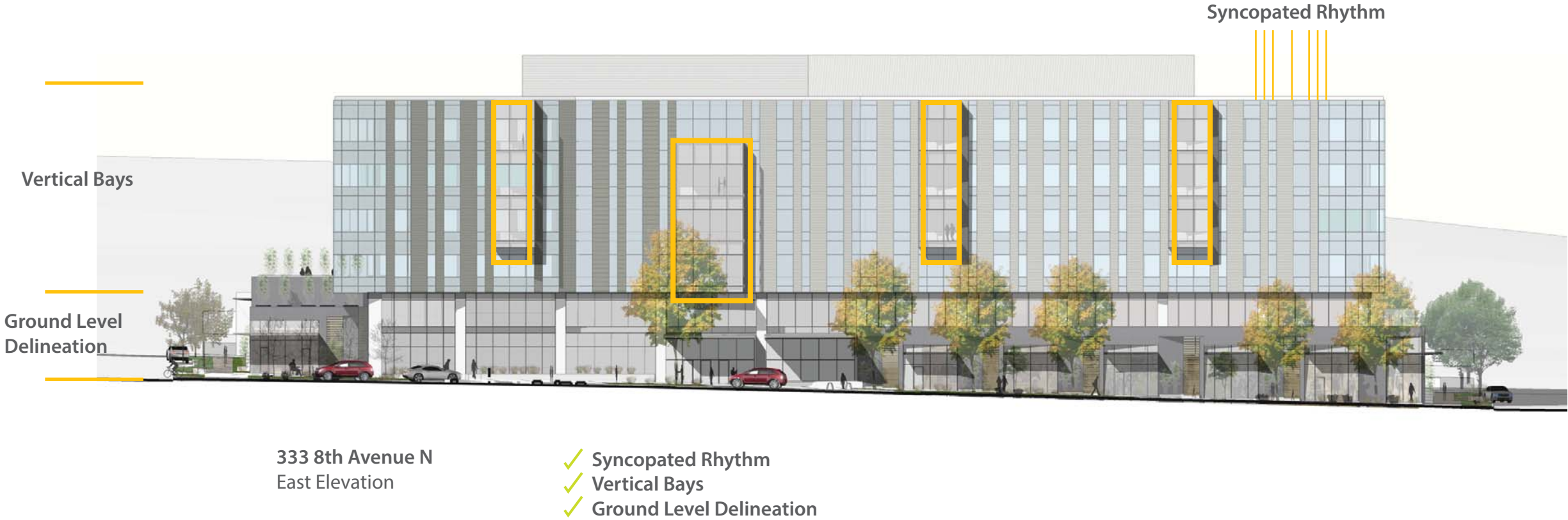
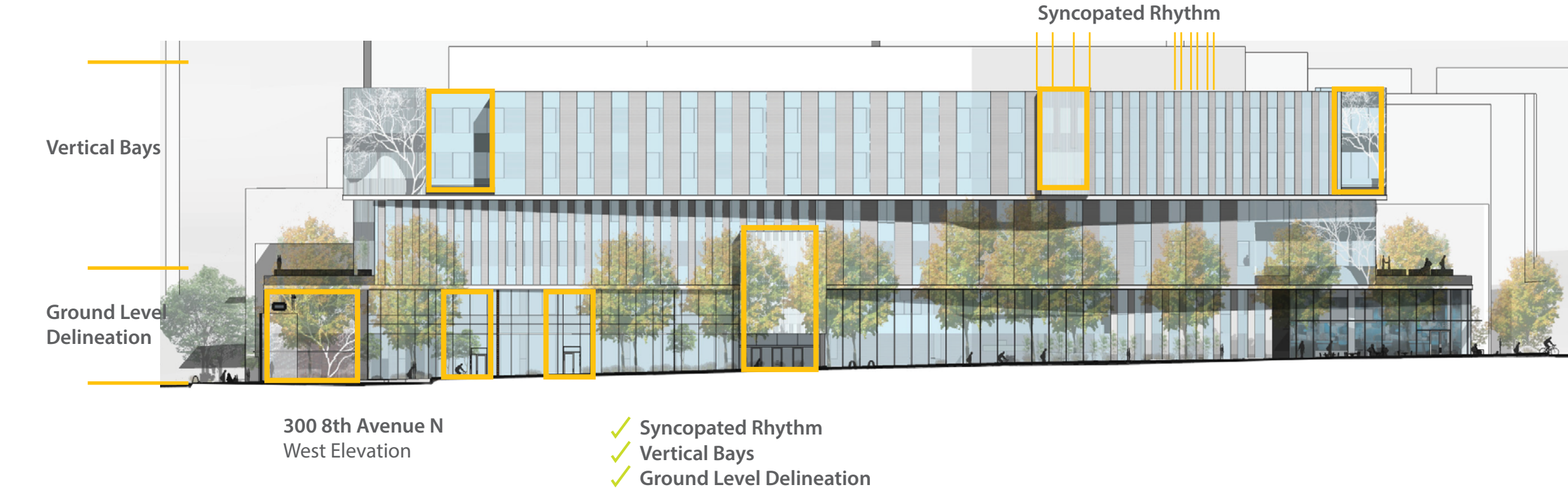
**777 8th Avenue North**

- ✓ Syncopated Rhythm
- ✓ Vertical Bays
- ✓ Ground Level Delineation

NOTE: All images these two pages shown at similar scale

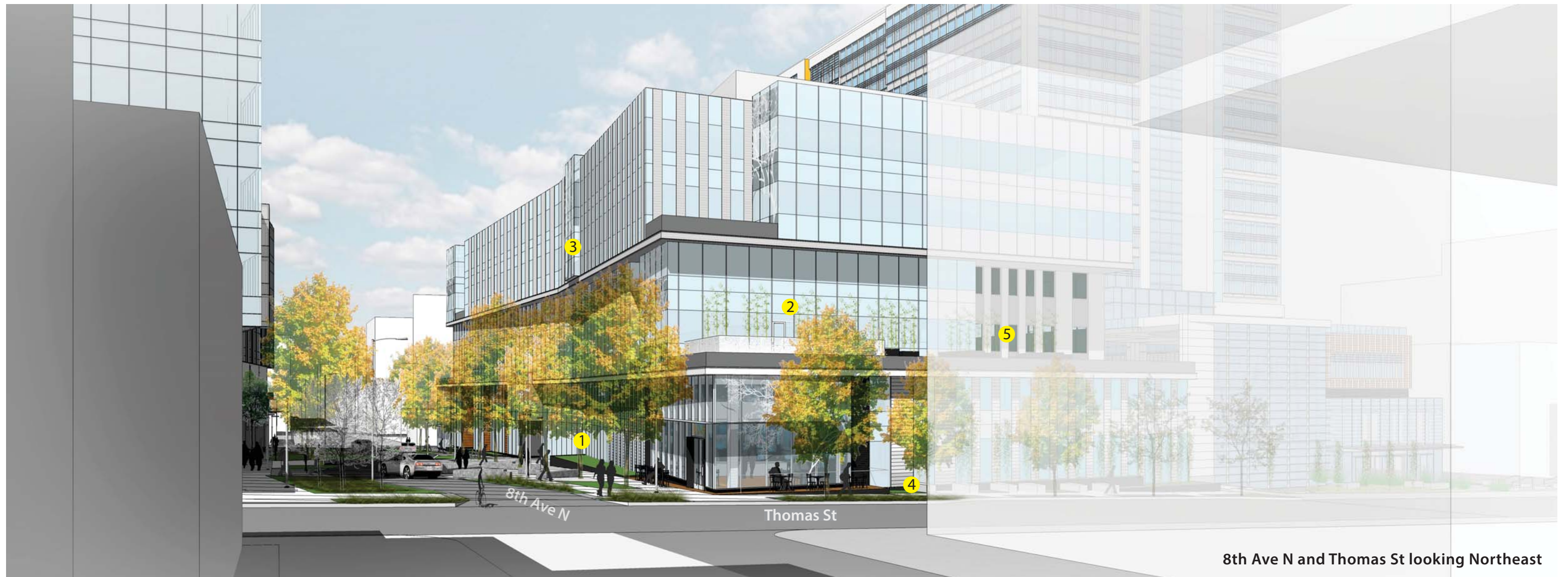






NOTE: All images these two pages shown at similar scale





8th Ave N and Thomas St looking Northeast

- ① Increased building setback at 8th Ave N
- ② Additional upper level setbacks at south for solar access on 8th Avenue
- ③ Enhanced building articulation, residential-scaled modulation
- ④ Widened sidewalk, added planting and seating at Thomas (future green street)
- ⑤ Landscaped upper-level terraces



GRAPHITE

A-22 | Views in Neighborhood Context

300 & 333 8th Ave N  
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Harrison St and 8th Ave N looking East



Existing

- ① Retail at northeast intersection of Harrison St and 8th Ave N
- ② Upper level setbacks at north for transition to adjacent residential properties
- ③ Enhanced building articulation, residential-scaled modulation
- ④ Widened sidewalk, added planting and seating at Harrison Street (heart location)
- ⑤ Landscaped upper-level terraces





- 1 Retail at Northeast intersection of 8th Ave N and Harrison St
- 2 Upper level setbacks at North for transition to adjacent residential properties
- 3 Enhanced building articulation, residential-scaled modulation
- 4 Widened sidewalk, added planting and seating at Harrison Street (heart location)
- 5 Landscaped upper-level terraces



**GRAPHITE**

**A-24** | Views in Neighborhood Context

300 & 333 8th Ave N  
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Thomas St and 8th Ave N looking Northwest

Thomas St

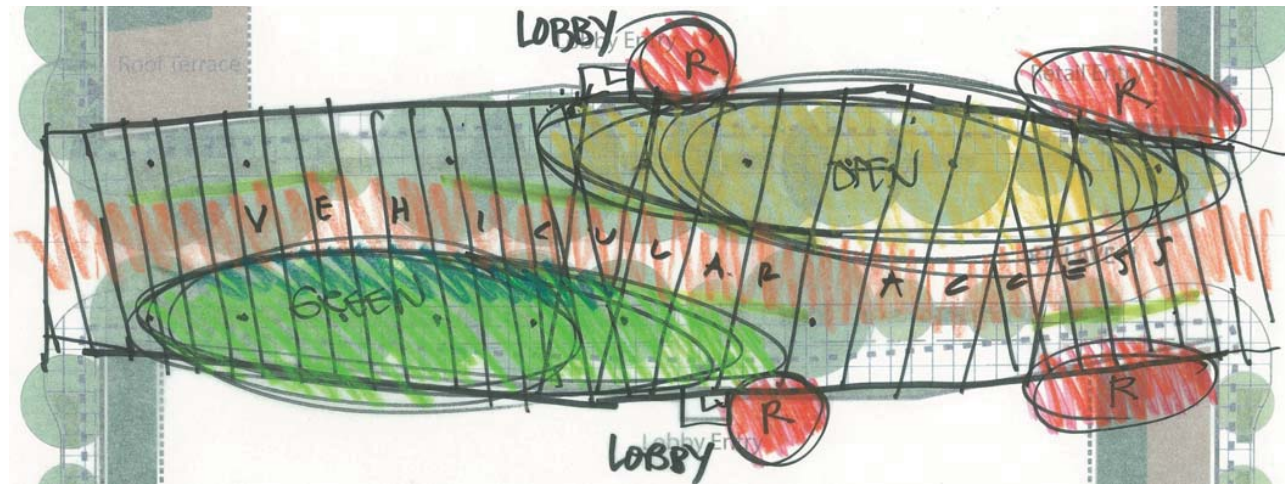
8th Ave N



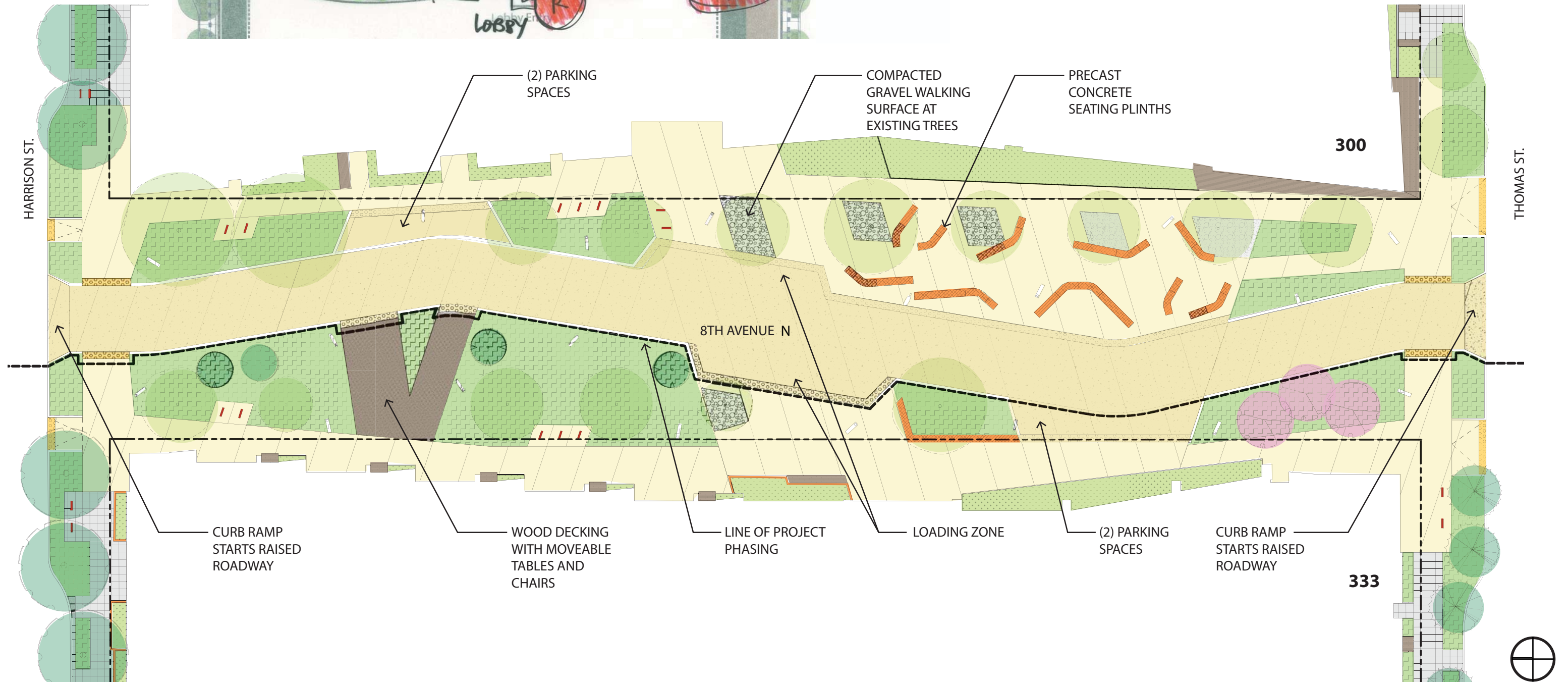
Existing

- ① Increased building setback at 8th Avenue N with public open space
- ② Additional upper level setbacks at south for solar access on 8th Avenue N
- ③ Enhanced building articulation, residential-scaled modulation
- ④ Widened sidewalk, added planting and seating at Thomas (future green street)
- ⑤ Landscaped upper-level terraces





## Organizational Concept



GRAPHITE

A-26 | Landscape- Woonerf Proposal

300 & 333 8th Ave N

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- 1. PRECAST CONCRETE SEATING PLINTHS
- 2. WOOD DECKING ON GRADE
- 3. BIKE RACK, TYP.
- 4. SPECIALTY PAVING PATTERN AT WOONERF
- 5. TACTILE DOME WARNING PAVERS, TYP.
- 6. GRAVEL WALKING SURFACE







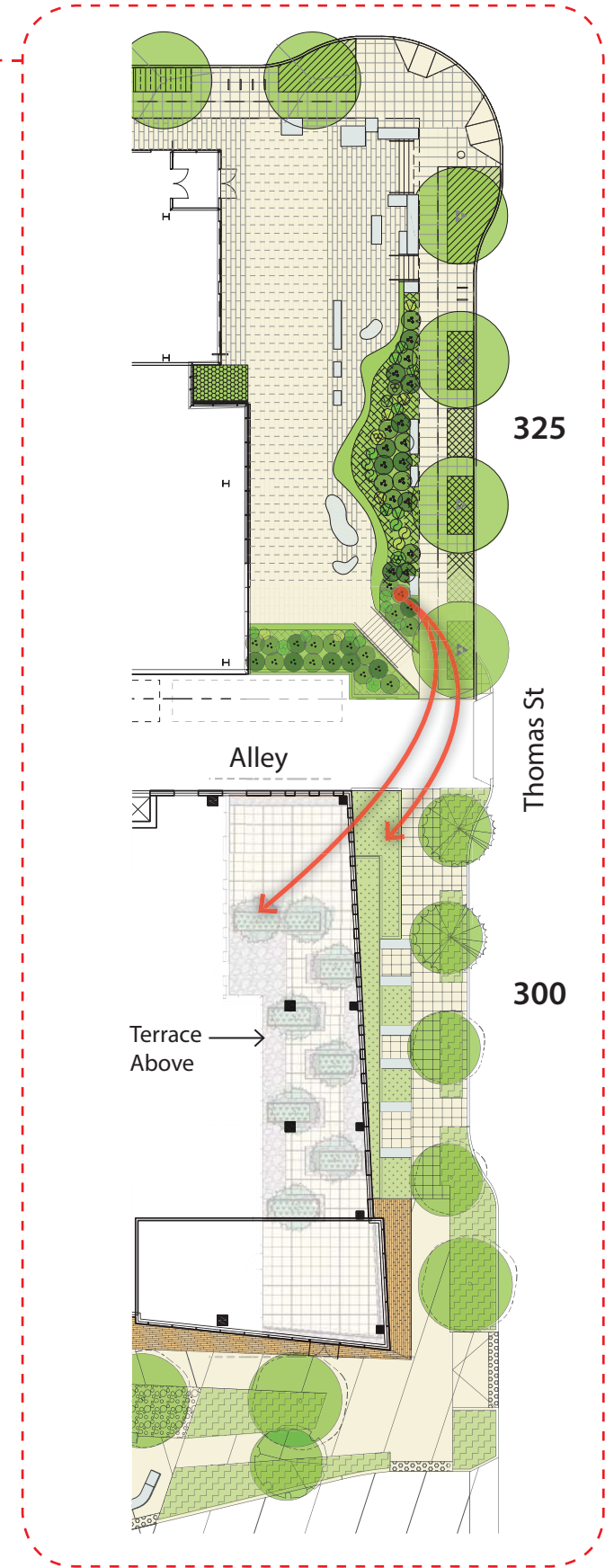
Street tree species continue from 325 9th Ave - DeGroot Little Leaf Linden



Street tree species continue from 325 9th Ave - Zelkova 'Green Vase'



Bamboo continues from 325 9th Ave N reinforcing the alley threshold in at-grade planters and the level 3 terrace.



GRAPHITE

A-28 | Landscape- Woonerf Proposal

300 & 333 8th Ave N

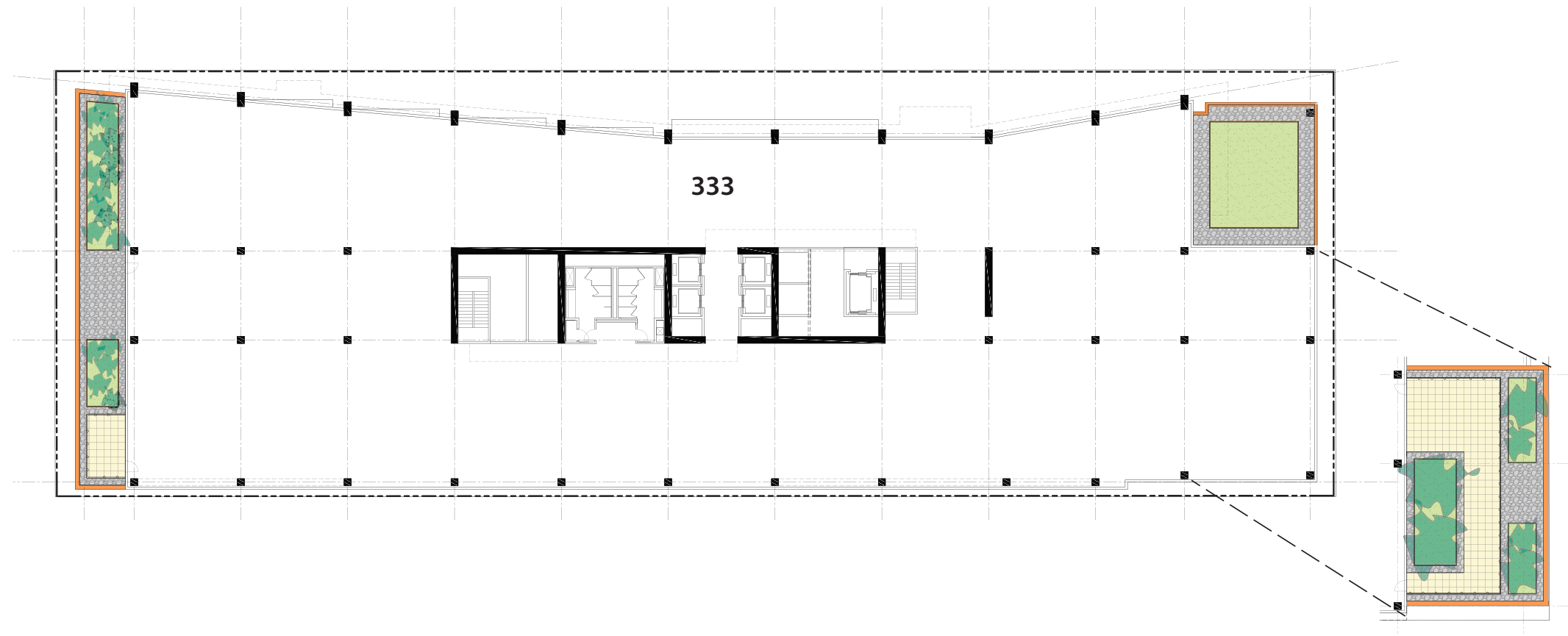
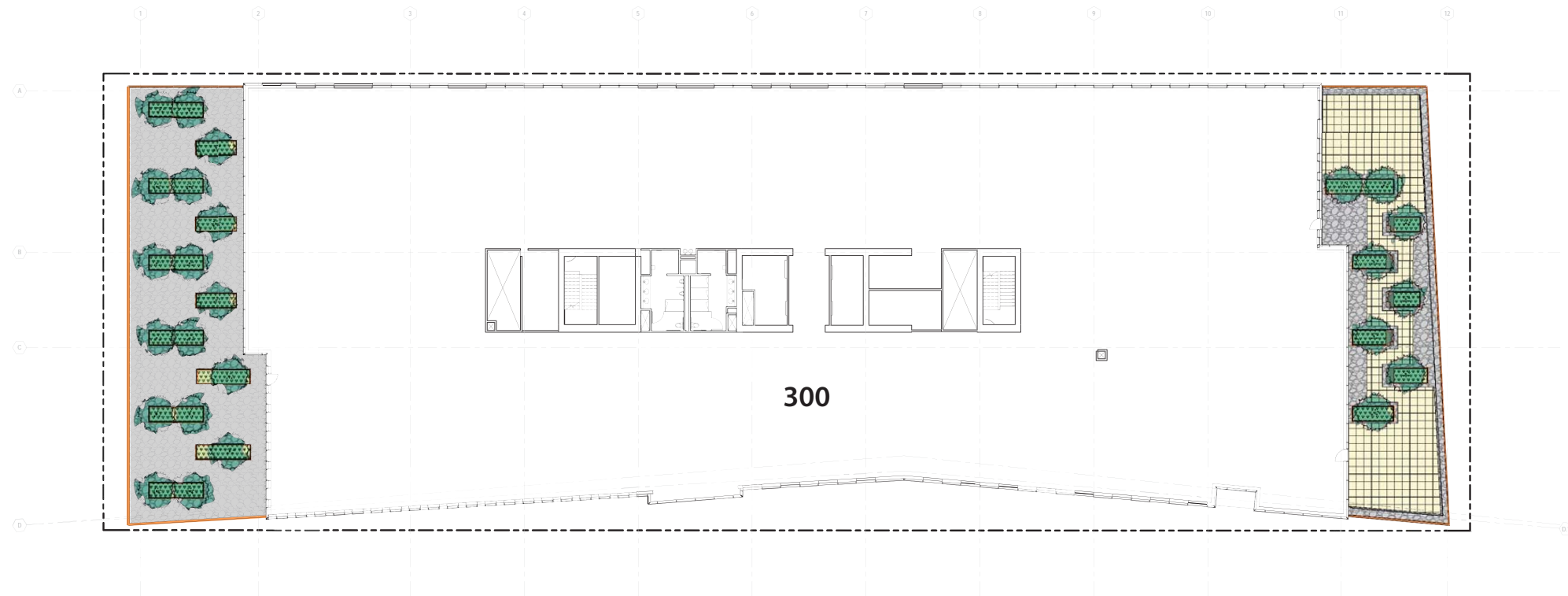
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Terrace Plans







EXISTING STREET TREES ON 8TH AVENUE



Zelkova



Little Leaf Linden



STREET TREES UNDERPLANTED WITH LOW VEGETATION



Acer circinatum



Amelanchier 'Autumn Brilliance'



GRAPHITE

A-30 | Landscape- Materials

300 & 333 8th Ave N  
3014981 & 3014982

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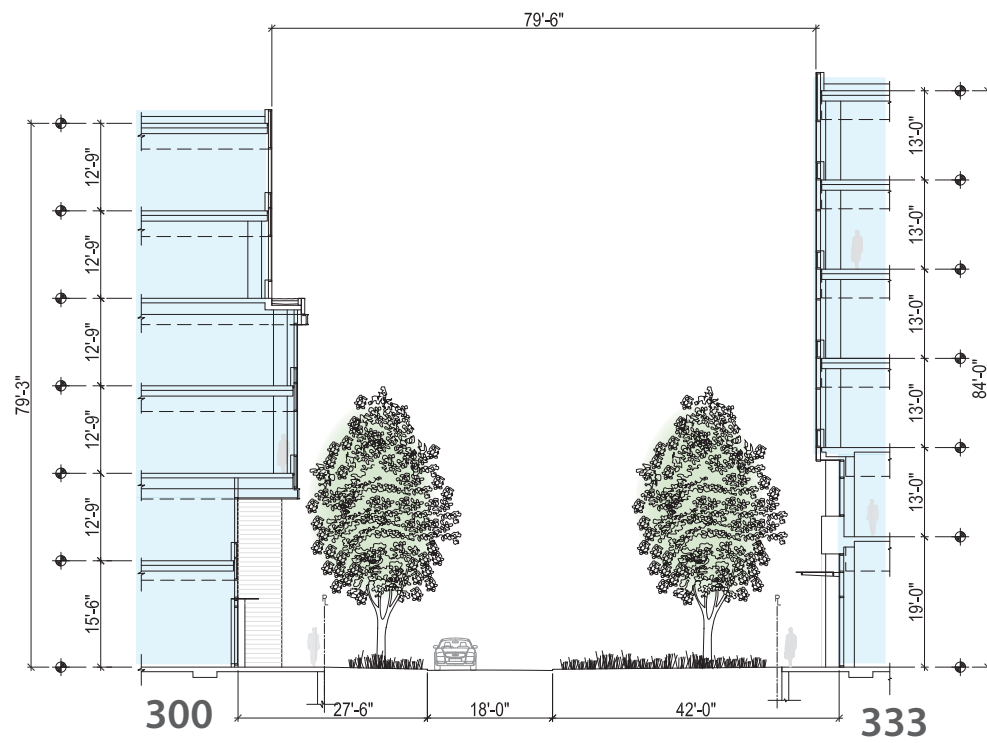




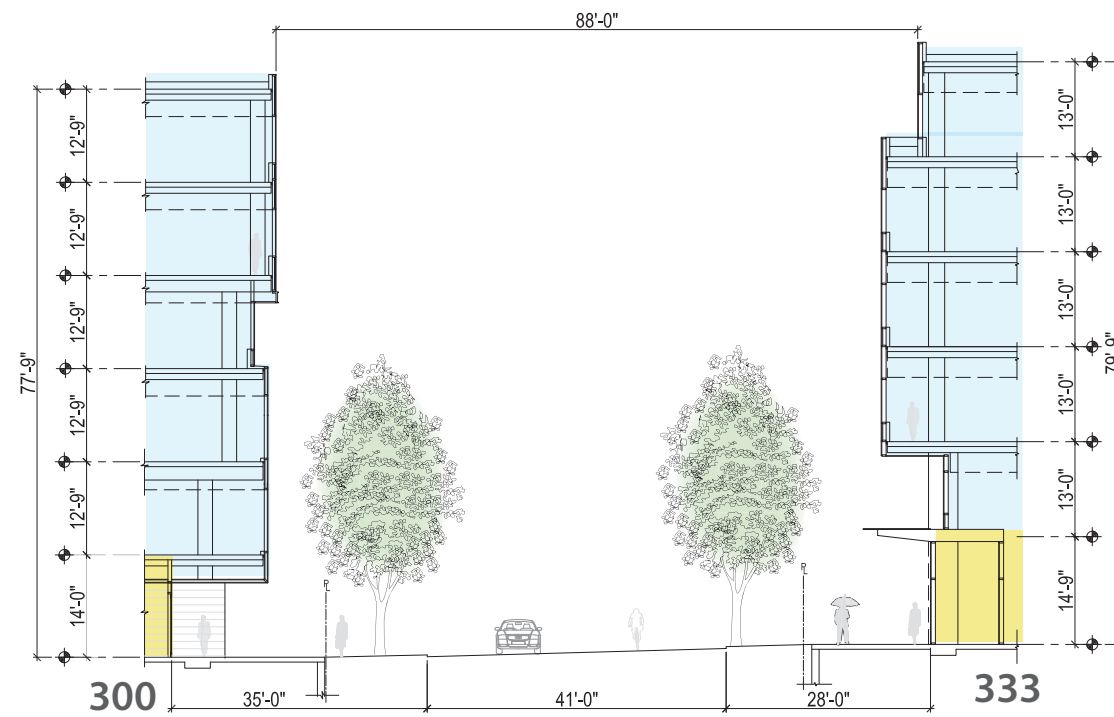




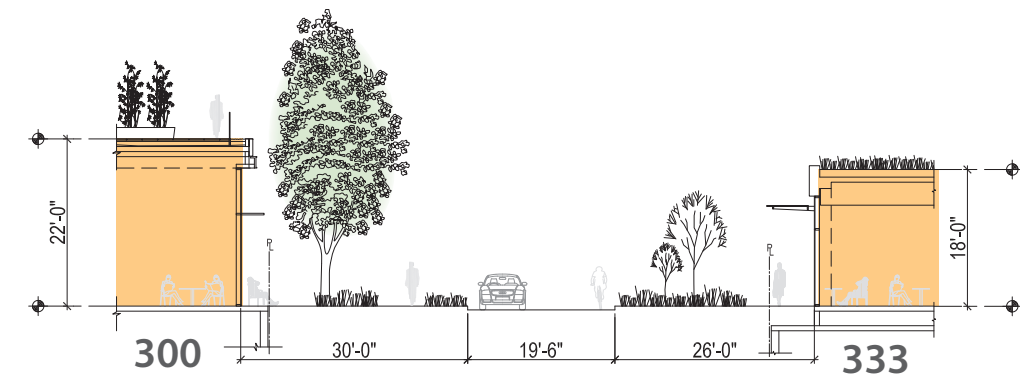




SECTION A-A



SECTION B-B



SECTION C-C







## Thomas Street (A-1, A-2, A-4, B-1, C-2, E-3)

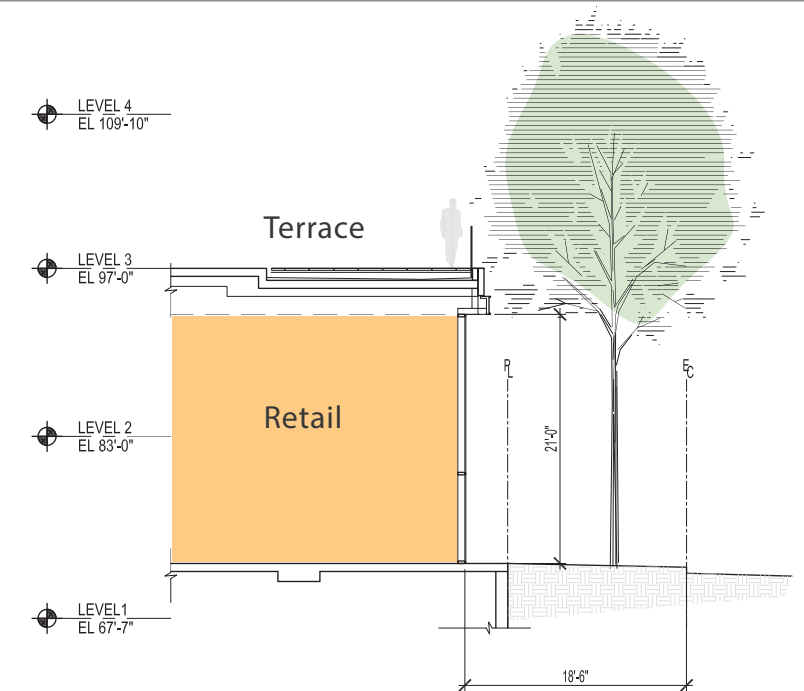
- Recommended the south facade designed in response to the courtyard to the east
- Recommended designing Thomas St frontage with additional setbacks and/or landscaping

## Design Responses

- Doubled the upper level setback distance (from 16' to 32')
- Increased setback at Thomas St and angled facade towards the plaza to the east
- Notched the southwest upper floor corner allowing more daylight onto 8th

### Keynotes

- ① Retail Entry
- ② Planter with Seat Plinths
- ③ Retail Terrace Seating
- ④ Metal Canopy
- ⑤ Office Terrace
- ⑥ Outdoor Gathering with Fixed Seating
- ⑦ Office Entry
- ⑧ Flush Curb
- ⑨ Planting Beds



SECTION 1



GRAPHITE

A-34 | 300- Street Level Experience- Woonerf Proposal

300 & 333 8th Ave N

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Design Recommendation

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## 8th Avenue North (A-2, A-4, A-10, B-1, C-3, D-2)

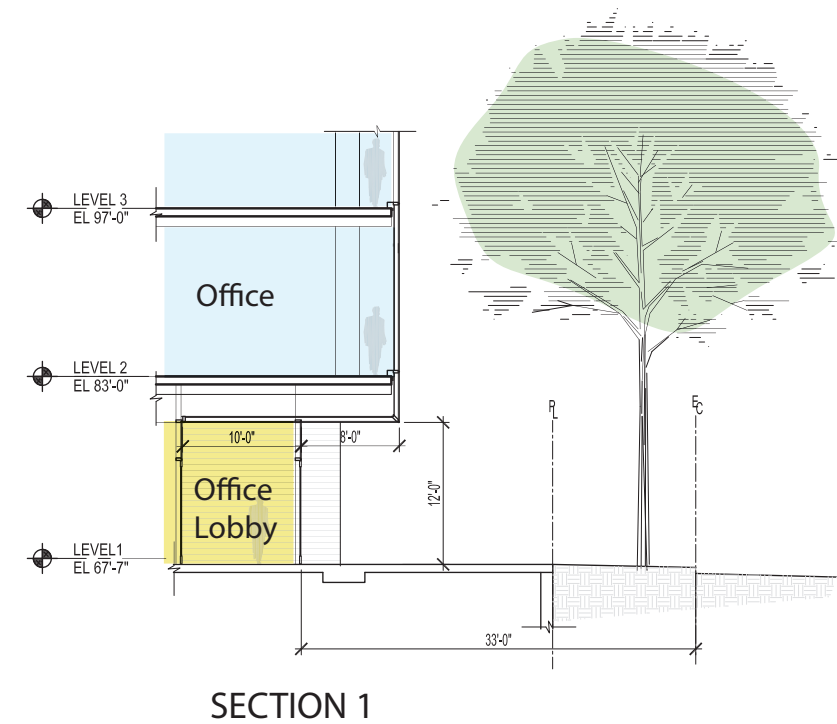
- Suggested increasing upper level setbacks allowing more solar exposure to 8th Ave N and plaza to the east
- Suggested increasing upper level setbacks along 8th Ave N while decreasing setback at alley
- Supported lower levels extending to intersection corners framing the “living room”
- Recommended street frontage to include spaces & amenities that function during office and off-hours
- Suggested street level facade to be designed with porosity and transparency
- Suggested 8th Ave N woonerf be maximized with creative and innovating pedestrian amenities

## Design Responses

- Increased upper level setback at levels 3&4
- Northern spaces have been designed to accommodate multiple entry points and subdivision of space (both buildings)
- Southern retail space rotated to benefit the 8th Ave N frontage
- Street level pedestrian experience is formed by landscape interaction

### Keynotes

- ① Office Entry
- ② Projecting Soffit
- ③ Outdoor Gathering With Fixed Seating
- ④ Retail Beyond
- ⑤ Street Parking with Flush Curb
- ⑥ Planting Beds
- ⑦ Pedestrian Lighting







## Harrison Street (A-1, A-2, A-4, B-1, D-1, E-1, E-3)

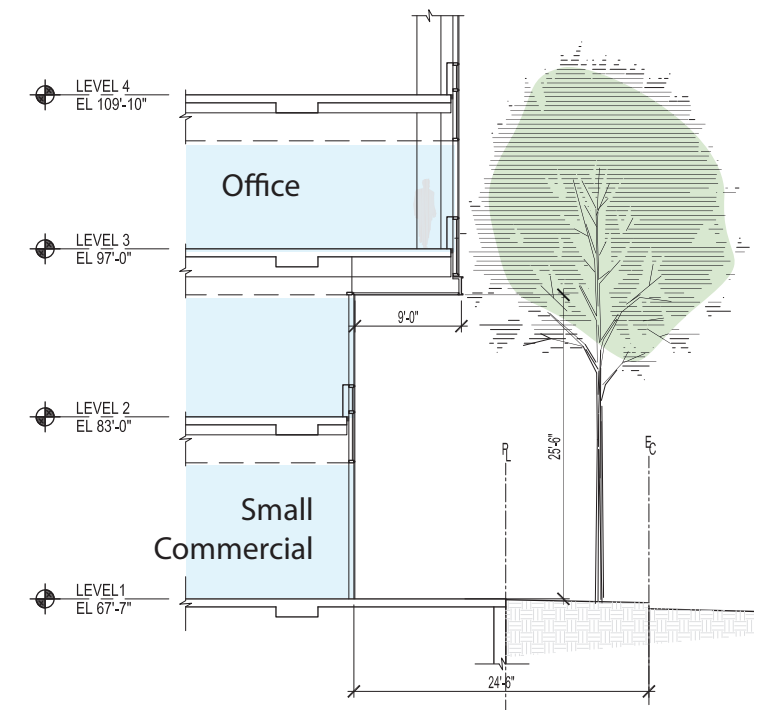
- Supported the use of the 2-story ground floor, upper level setbacks, commercial spaces, & curb bulbs
- Suggested designing the street level to function as live/work or future residential use
- Supported retail or small commercial spaces as shown to the north
- Recommended the inclusion of seating and other street level amenities
- Supported the retention of existing street trees and land/hardscape response to project to the east

## Design Responses

- Street level functions include both small commercial and retail spaces
- Seating, bike racks, and large planters have been added as pedestrian amenities
- Subtracted one floor from 'podium' portion, lowering the height of the street level facade
- Increased street level setback for a more gracious sidewalk at this heart location

### Keynotes

- ① Small Commercial Entry
- ② Retail Entry
- ③ Widened Sidewalk (Harrison)
- ④ Raised Metal Planters
- ⑤ Curb Bulb
- ⑥ Pedestrian Lighting
- ⑦ Metal Canopy
- ⑧ Planting Beds



SECTION 1



GRAPHITE

A-36 | 300- Street Level Experience- Woonerf Proposal

300 & 333 8th Ave N

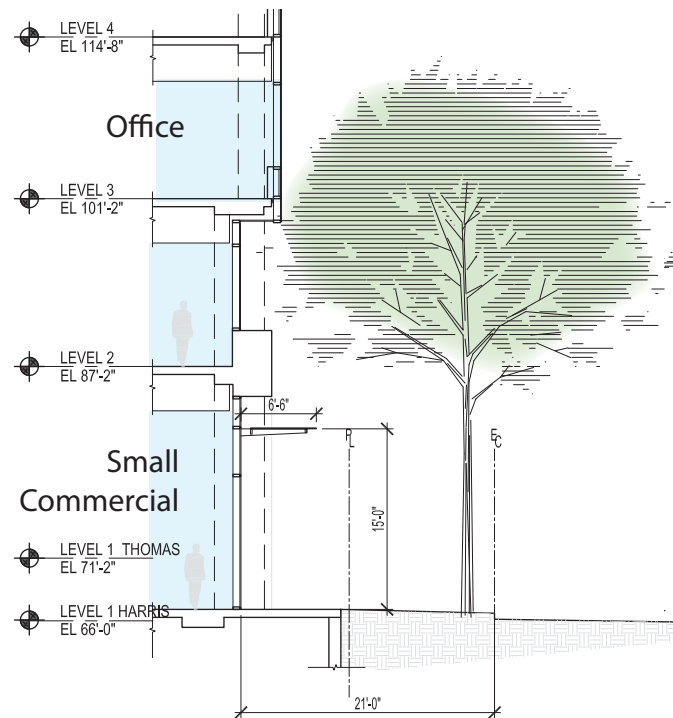
3014981 & 3014982

Design Recommendation

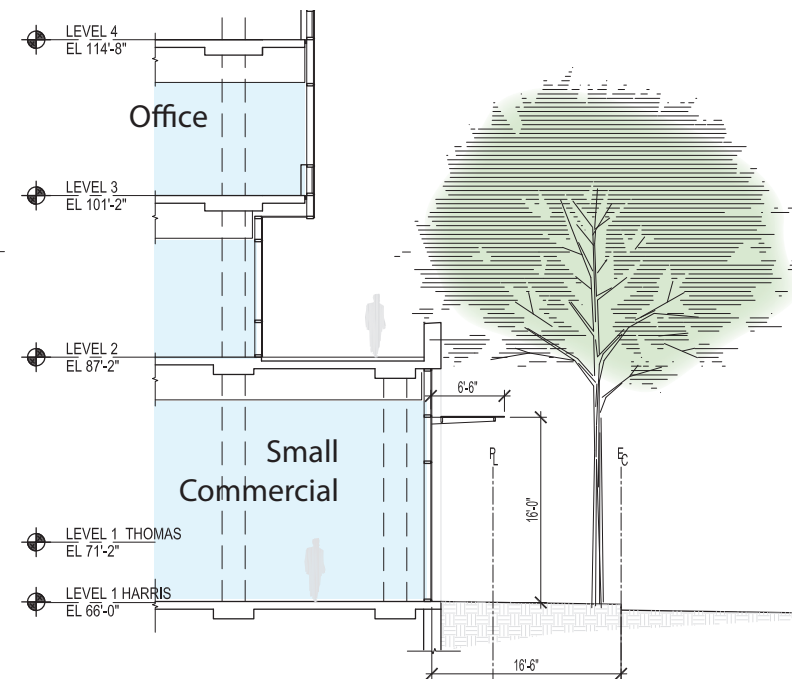
May 21, 2014







SECTION 1



SECTION 2

#### Keynotes

- ① Small Commercial Entry
- ② Dark Brick Cladding
- ③ Widened Sidewalk (Harrison)
- ④ Raised Metal Planters
- ⑤ Curb Bulb
- ⑥ Pedestrian Lighting
- ⑦ Vertical Wood Trellis
- ⑧ Planting Beds

#### Harrison Street (A-1, A-2, A-4, B-1, D-1, E-1, E-3)

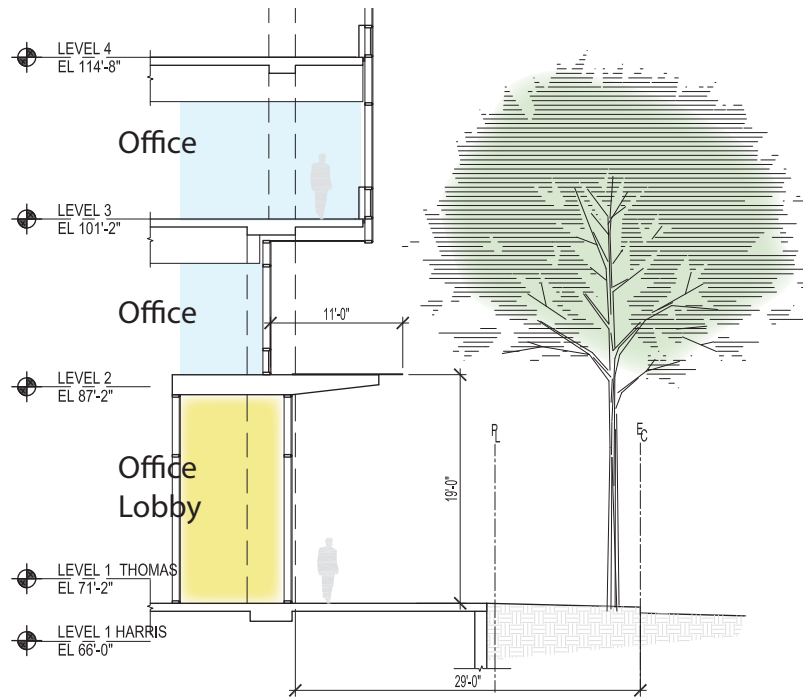
- Supported the use of the 2-story ground floor, upper level setbacks, commercial spaces, & curb bulbs
- Suggested designing the street level to function as live/work or future residential use
- Recommended the inclusion of seating and other street level amenities

#### Design Responses

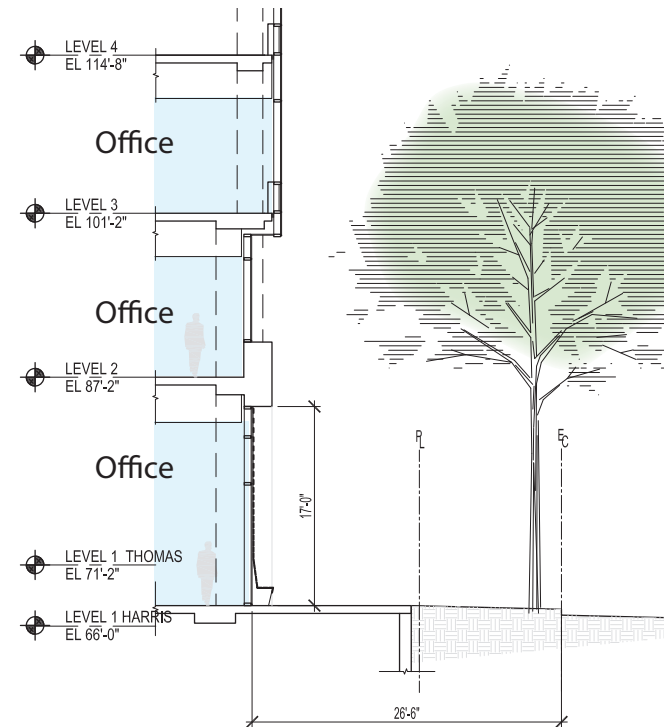
- Street level functions include both small commercial and retail spaces
- Increased street level setback for a more gracious sidewalk at this heart location
- Street level functions include both small commercial and retail spaces







SECTION 1



SECTION 2

#### Keynotes

- ① Small Commercial Entry
- ② Dark Brick Cladding
- ③ Office Entry
- ④ Clad Canopy with Wood Soffit
- ⑤ Vertical Wood Trellis With Bench
- ⑥ Street Parking with Flush Curb
- ⑦ Metal Clad Column
- ⑧ Raised Planter
- ⑨ Retail Beyond

#### 8th Avenue North (A-2, A-4, A-10, B-1, C-3, D-2)

- Supported lower levels extending to intersection corners framing the “living room”
- Appreciated upper level setback on Thomas St allowing light and air into the 8th Ave “living room”
- Suggested the addition of retail space at the south
- Suggested street level facade to be designed with porosity and transparency
- Suggested 8th Ave N woonerf be maximized with creative and innovating pedestrian amenities
- Appreciated the potential for 8th Ave N to be used as a festival street or other active use for residents
- Requested a demonstration of how small commercial space will maximize human activity

#### Design Responses

- Added multiple ‘box’ elements and notch elements to the 8th Ave N facades (both buildings)
- Pedestrian amenities such as walkway lighting, seating elements, and large planters have been incorporated in the 8th Ave N woonerf design
- Street level pedestrian experience is formed by landscape interaction



GRAPHITE

A-38 | 333- Street Level Experience- Woonerf Proposal

300 & 333 8th Ave N

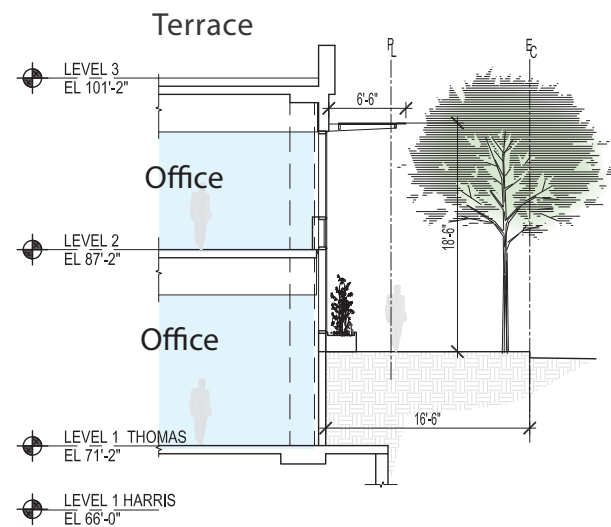
3014981 & 3014982

Design Recommendation

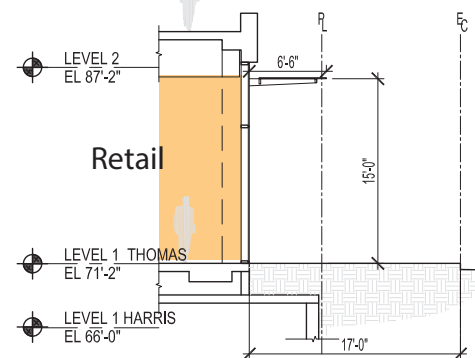
May 21, 2014







SECTION 1



SECTION 2

#### Keynotes

- 1 Retail Entry
- 2 Dark Brick Cladding
- 3 Widened Sidewalk (Thomas)
- 4 Clad Canopy with Wood Soffit
- 5 Vertical Wood Trellis With Bench
- 6 Planting Bed
- 7 Office Terrace
- 8 Vegetated Roof
- 9 Raised Planter
- 10 Curb Bulb

#### Thomas Street (A-1, A-2, A-4, B-1, C-2, E-3)

- Supported the setback at Thomas St and recommended it to be maintained
- Recommended the inclusion of landscaping, building entries, and other activating uses
- Recommended the south facade designed in response to the courtyard to the east
- Recommended designing Thomas St frontage with additional setbacks and/or landscaping

#### Design Responses

- Set the south facade back 5' and added landscaping at building
- Added retail use at the intersection, activating Thomas St and 8th Avenue N
- Included upper level planting on building terraces visible from intersection







**GRAPHITE**

**A-40** | Aerial Looking North at Thomas Street- 85' Proposal & Woonerf Proposal

300 & 333 8th Ave N

3014981 & 3014982

Design Recommendation

May 21, 2014







Design Recommendation  
May 21, 2014

300 & 333 8th Ave N  
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Aerial Looking South at Harrison Street- 85' Proposal & Woonerf Proposal | A-41



GRAPHITE





## Small Commercial Spaces on 8th Avenue North

The small commercial spaces on the north half of both 300 and 333 8th Avenue North create an opportunity to provide additional diversity and activity to the neighborhood. The spaces are well suited for business such as design studios, professional services, galleries, live-work space and other small creative tenants who desire modest footprints and a street presence. In growing neighborhoods these spaces are frequently displaced by new, larger residential and commercial development. By providing this flexible space, 300 and 333 8th Avenue North seek to preserve the potential for this vital typology in South Lake Union.

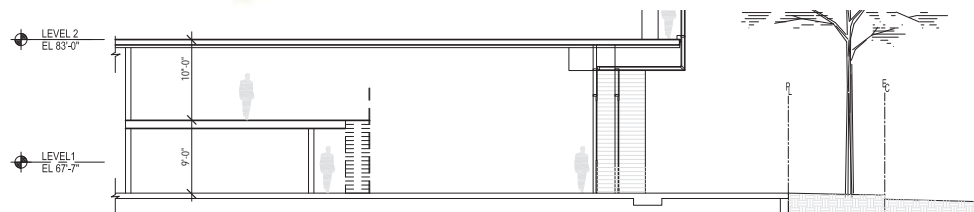
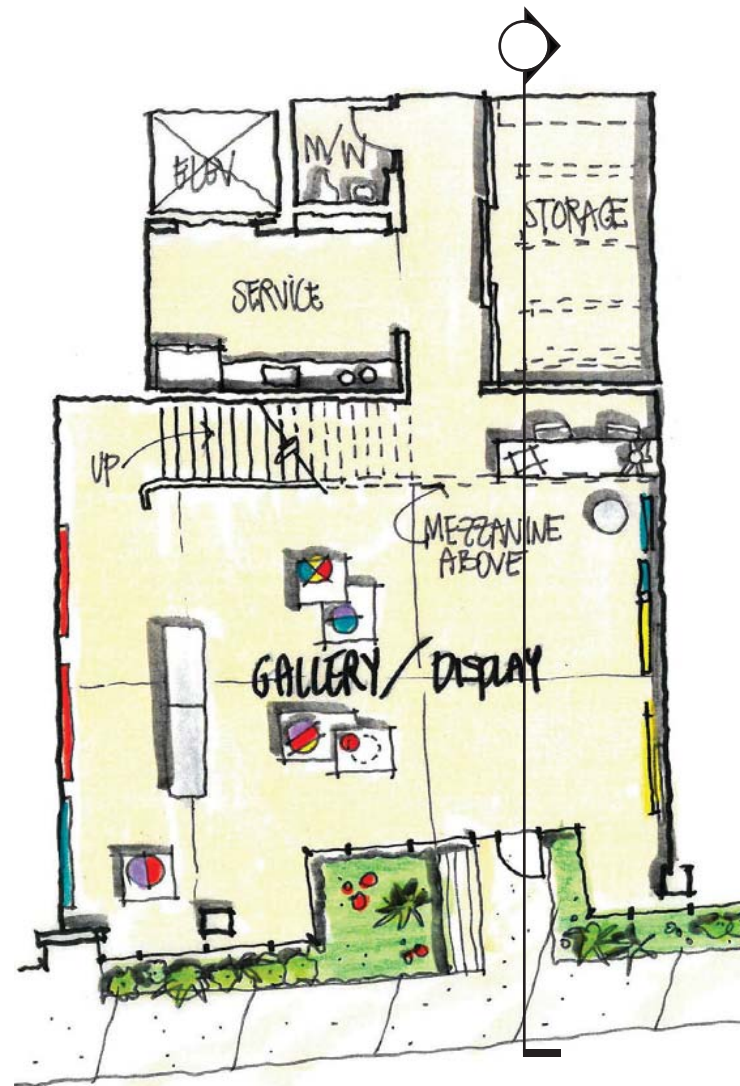
### Characteristics of Proposed Small Commercial Spaces:

- Small, flexible lease areas (1,000-5,000 SF)
- Ability to combine or sub-divide over time
- Individual street-level entries
- Tall ceilings (18' to 20') with mezzanine opportunities
- Signage and storefront window opportunities

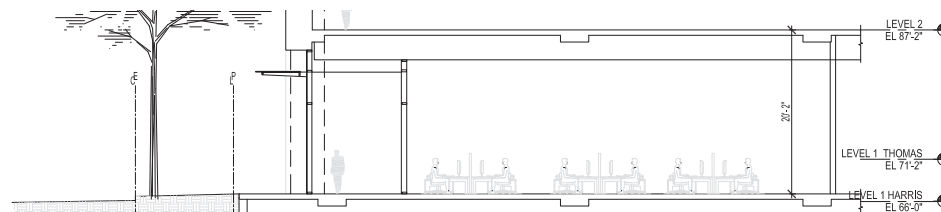
Various conceptual test-fits have been performed for a variety of potential uses to verify that the size, depth and height of the small commercial spaces are appropriate for a diverse range of prospective tenants.







300 8th Avenue North Art Gallery Test Fit (19'-0" floor-to-floor) NTS



333 8th Avenue North Ad Agency Test Fit (20'-2" floor-to-floor) NTS



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Small Commercial Spaces | A-43



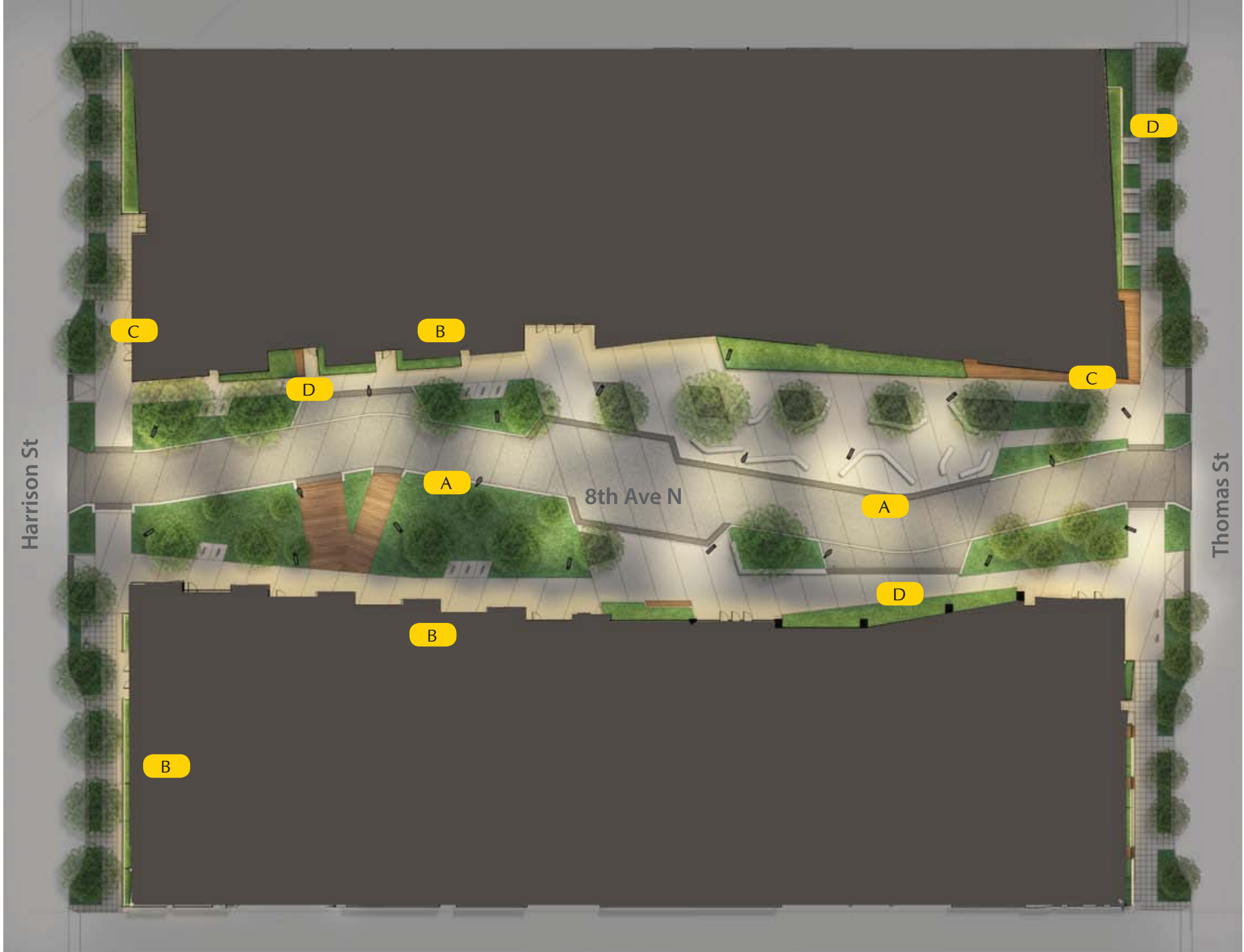
GRAPHITE



SITE LIGHTING

300

333



GRAPHITE

A-44

OCULUS  
LIGHT STUDIO

Site & Building Lighting- Woonerf Proposal

300 & 333 8th Ave N  
3014981 & 3014982

Design Recommendation  
May 21, 2014





## A Right of Way

A combination of larger- and smaller- scale post-top fixtures provide general lighting for vehicles as well as pedestrian-level illumination.



## B Building Facade

Recessed downlights in the overhang above the wood panel walls graze the textured vertical surfaces. Built-in niches with recessed downlights create an architecturally integrated “sconce”.



## C Canopies and Entries

Small LED downlights integrated within canopies provide functional lighting with minimal lighting hardware. Linear recessed fixtures draw focus to the entry and recall the lighting at the entry of Block 52 East.



## D Planters

Planters with uplit bamboo and other planting surround the site, spotlit by recessed downlights at building overhangs, continue the visual thought from Block 52 East and contribute to a warm and welcoming nighttime atmosphere.





SITE LIGHTING

WOONERF STREET SCHEME

- A LED “cobrahead” Seattle standard post-top fixture at roadway
- B LED modular Seattle non-standard post-top fixture at pedestrian path

300

333



GRAPHITE

A-46

OCULUS  
LIGHT STUDIO

Site & Building Lighting- Woonerf Proposal

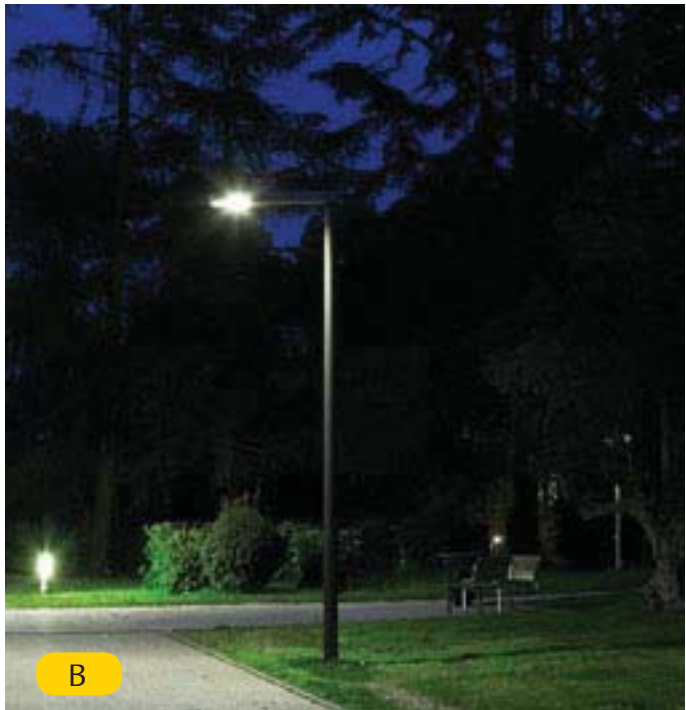
300 & 333 8th Ave N  
3014981 & 3014982

Design Recommendation  
May 21, 2014



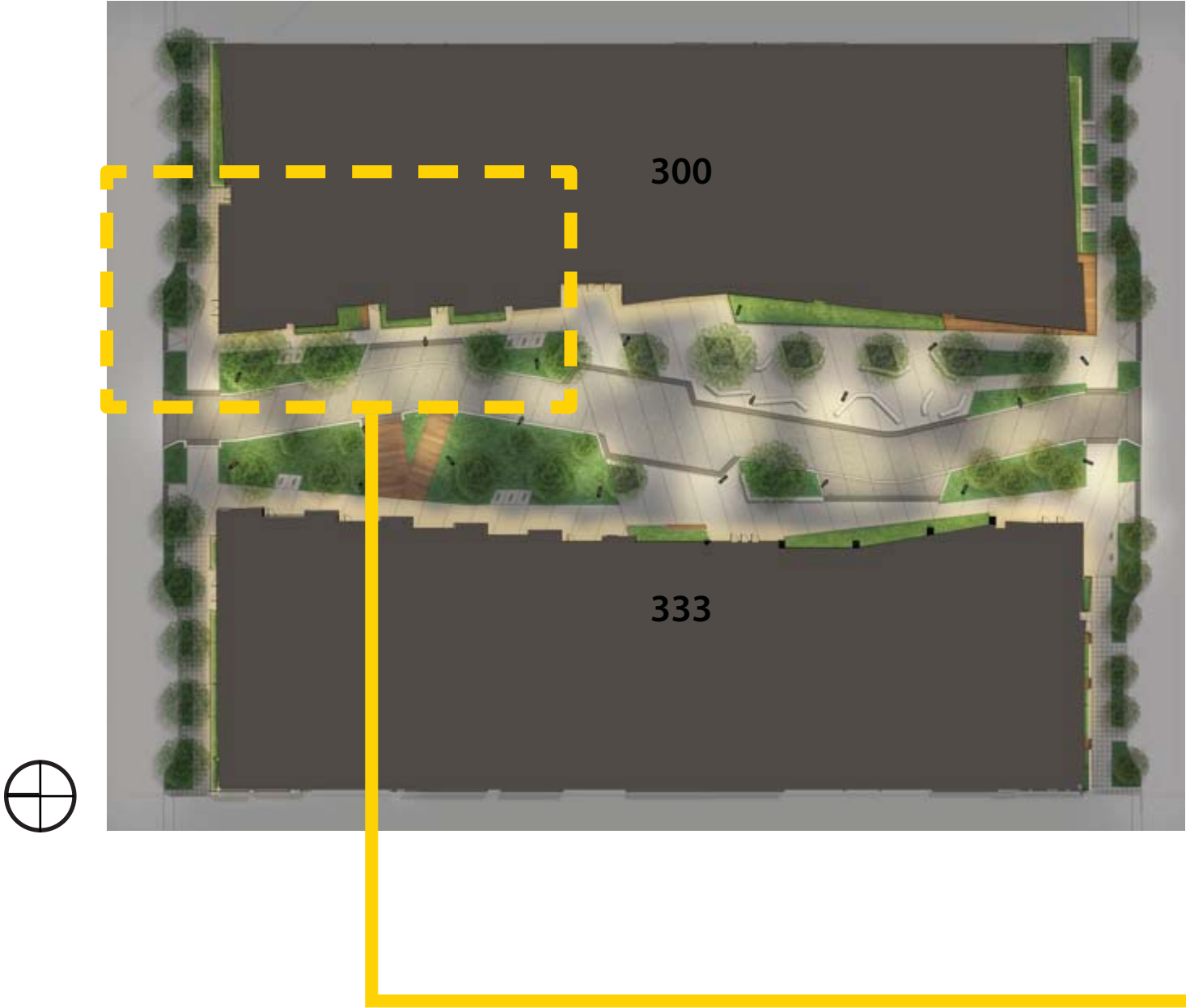


- A LED "cobrahead" Seattle standard post-top fixture at roadway
- B LED modular Seattle non-standard post-top fixture at pedestrian path

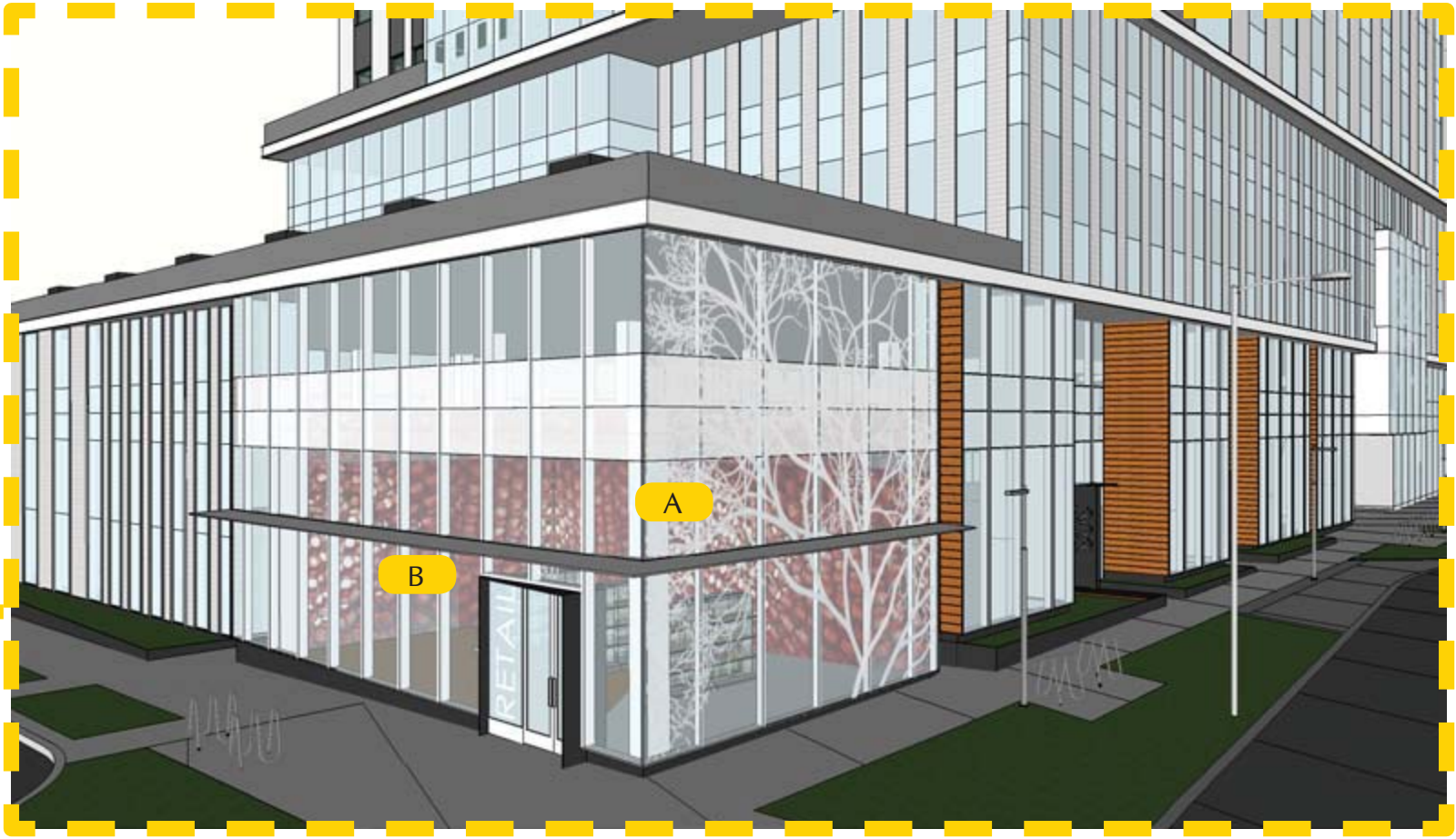




SITE LIGHTING



- A LED linear wallgrazer at etched window graphics
- B LED small profile downlight at canopies



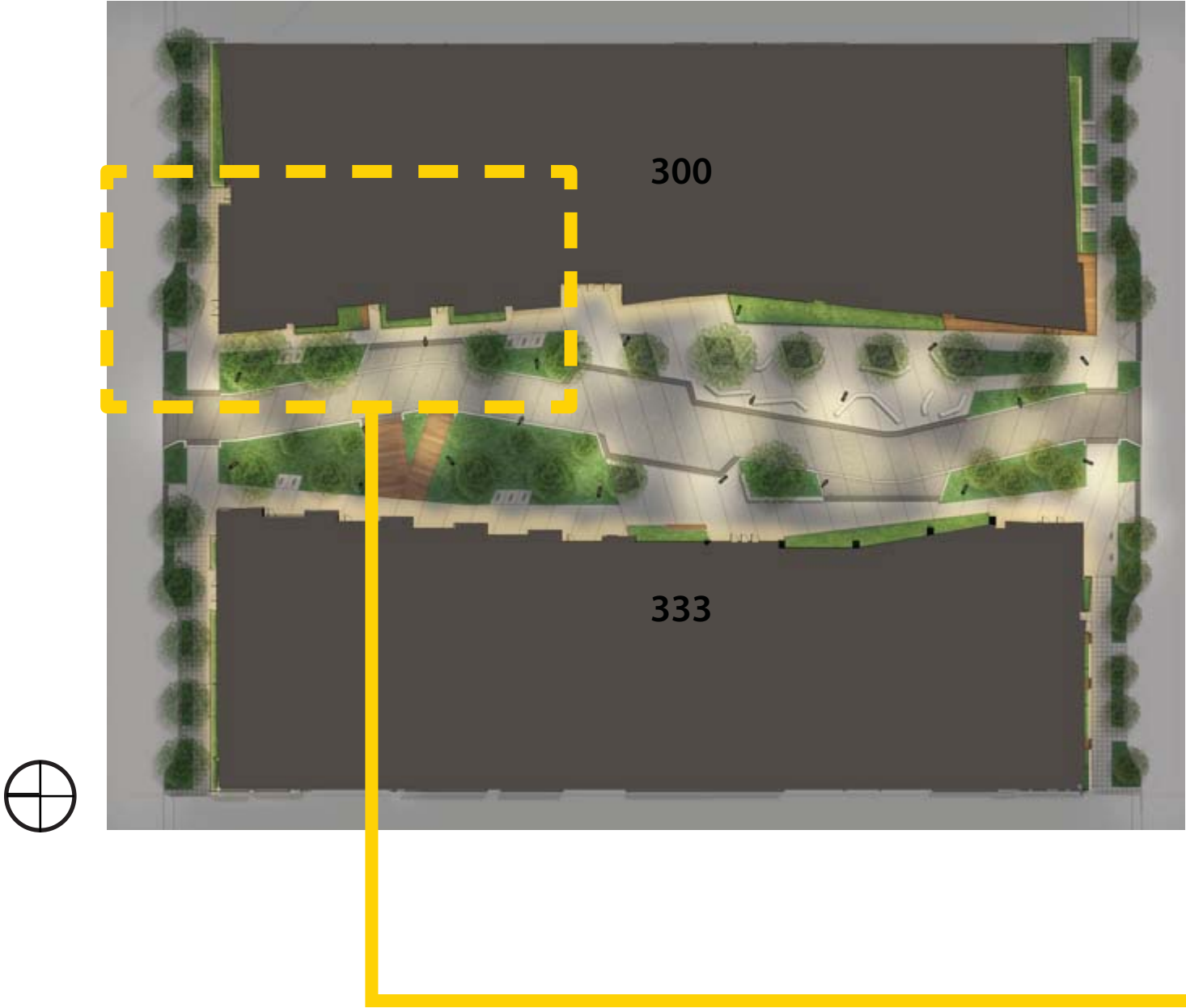


- A LED linear wallgrazer at etched window graphics
- B LED small profile downlight at canopies





SITE LIGHTING



- A LED recessed downlights to graze wood panel walls
- B LED adjustable accents above Japanese moss planter





- A LED recessed downlights to graze wood panel walls
- B LED adjustable accents above Japanese moss planter



A



A



A



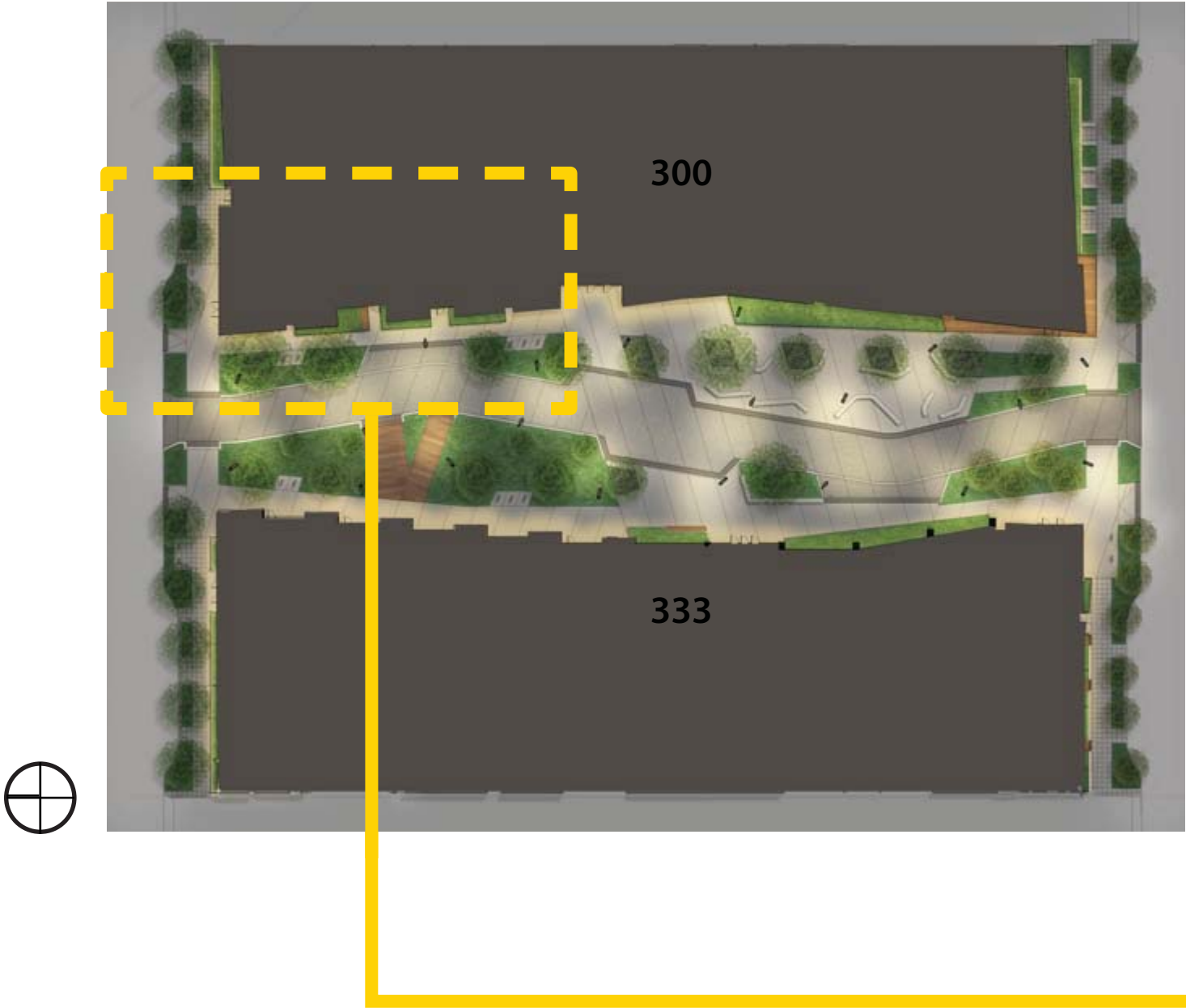
B



B



SITE LIGHTING



A LED recessed linears in the overhang recall the way the Block 52 East entry is lit



GRAPHITE

A-52

OCULUS  
LIGHT STUDIO

Site & Building Lighting- Woonerf Proposal

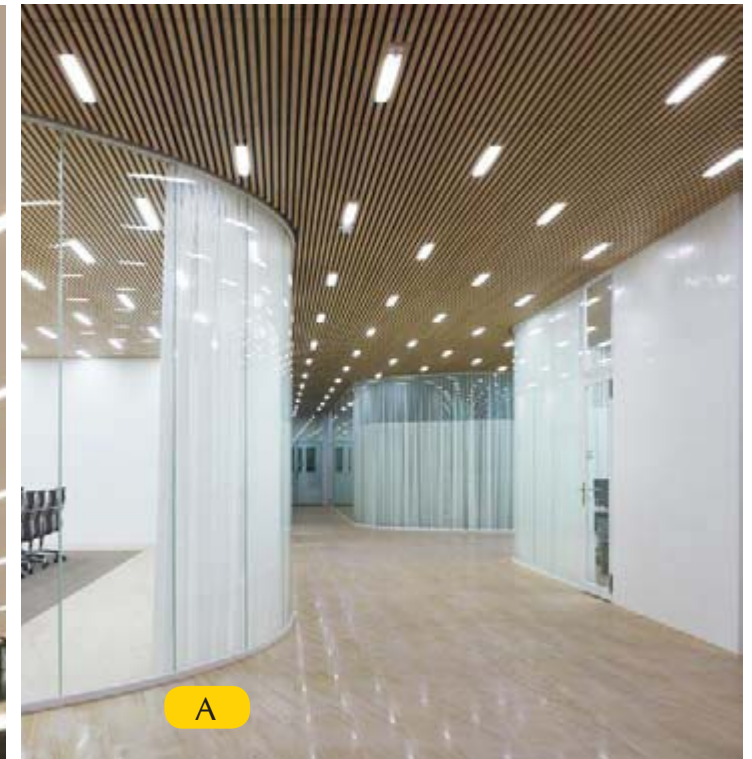
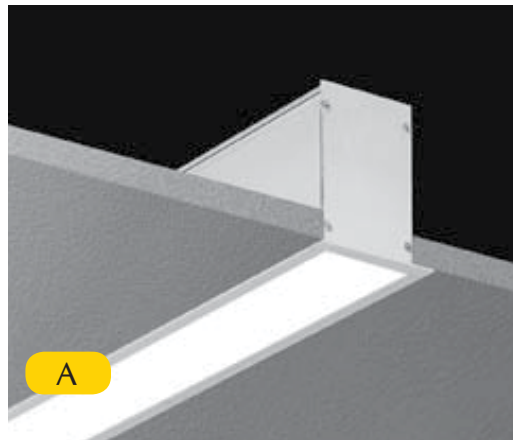
300 & 333 8th Ave N  
3014981 & 3014982

Design Recommendation  
May 21, 2014



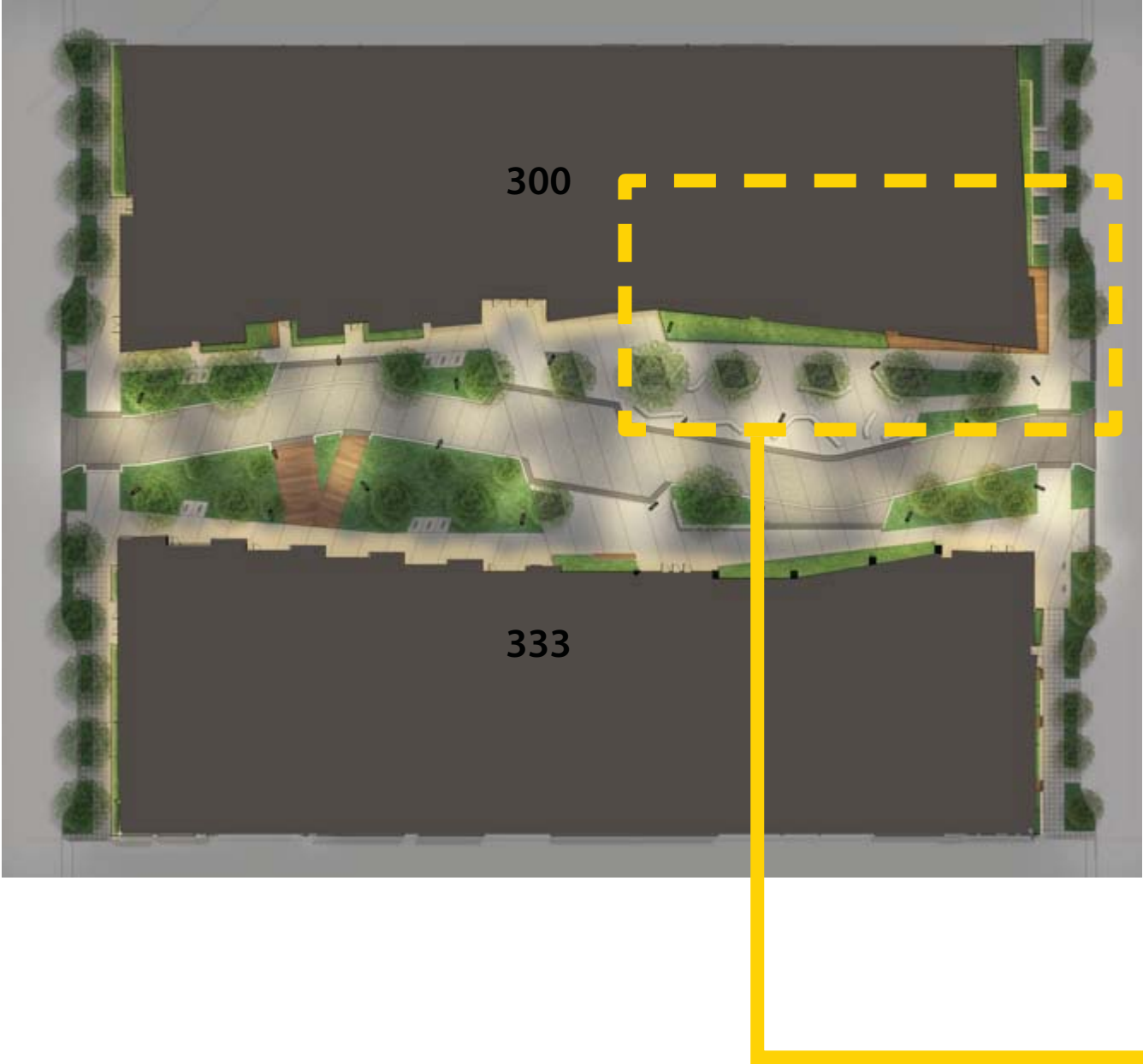


**A** LED recessed linears in the overhang recall the way the Block 52 East entry is lit





SITE LIGHTING



- A LED linear wallgrazer at etched window graphics
- B LED ground-mounted uplights located within bamboo planters



GRAPHITE

A-54

OCULUS  
LIGHT STUDIO

Site & Building Lighting- Woonerf Proposal

300 & 333 8th Ave N  
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Design Recommendation  
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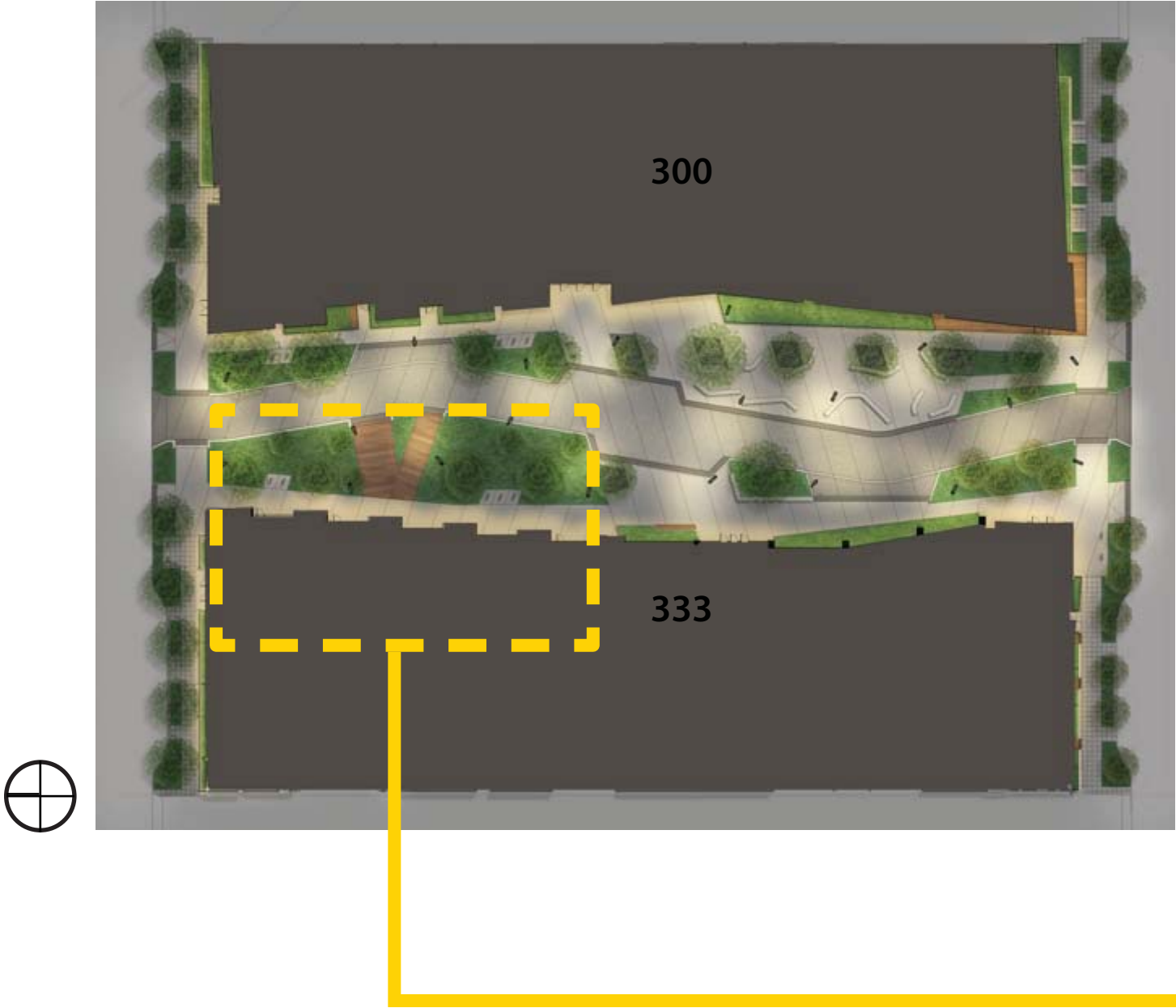


- A** LED linear wallgrazer at etched window graphics
- B** LED ground-mounted uplights located within bamboo planters





SITE LIGHTING



- A LED recessed downlights above wood slat benches
- B LED recessed downlights in architectural "sconce" niches

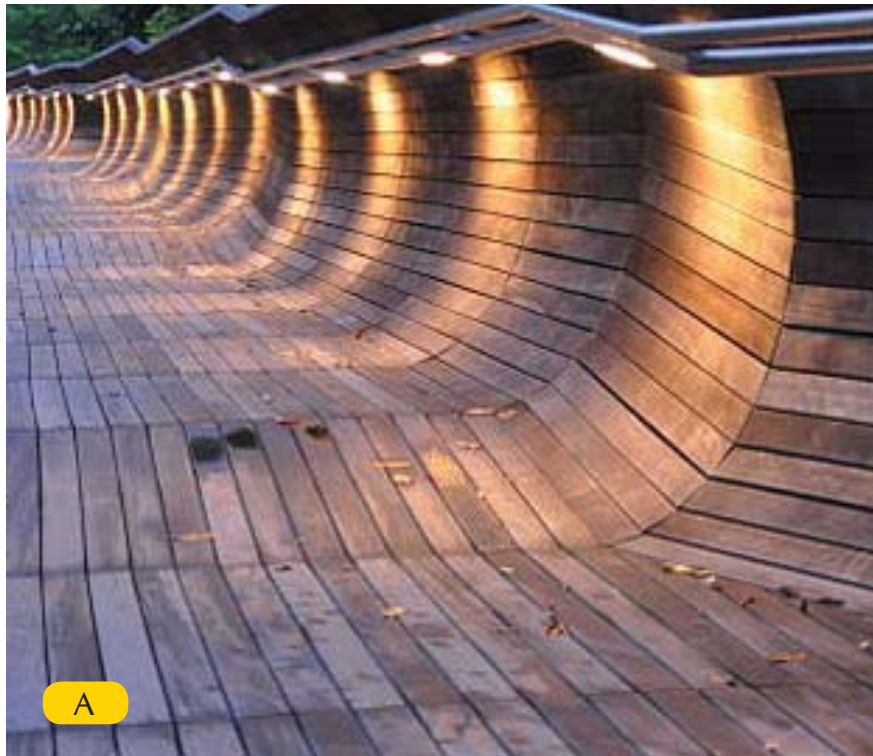




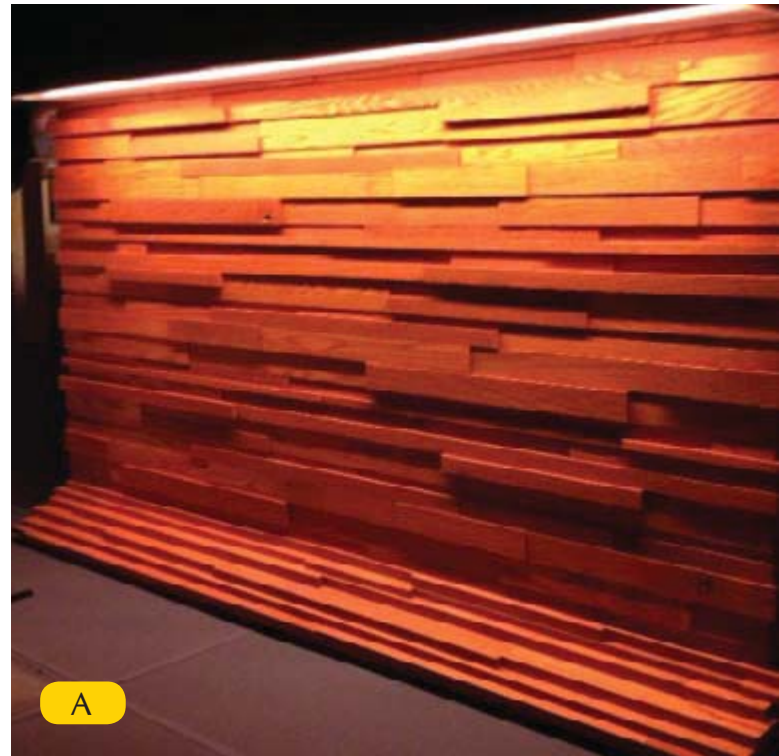
- A LED recessed downlights above wood slat benches
- B LED recessed downlights in architectural “sconce” niches



A



A



A



B



B



B



Intentionally Blank









GRAPHITE

A-60 | 300- View Looking Northeast- 85' Proposal & Woonerf Proposal

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Design Recommendation  
May 21, 2014







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May 21, 2014

300 & 333 8th Ave N  
3014981 & 3014982

300- View Looking Southeast- 85' Proposal & Woonerf Proposal | A-61



GRAPHITE





GRAPHITE

A-62 | 300- View Looking East- 85' Proposal & Woonerf Proposal

300 & 333 8th Ave N  
3014981 & 3014982

Design Recommendation  
May 21, 2014











**GRAPHITE**

**A-64** | 333- View Looking Southwest- 85' Proposal & Woonerf Proposal

300 & 333 8th Ave N  
3014981 & 3014982

Design Recommendation  
May 21, 2014

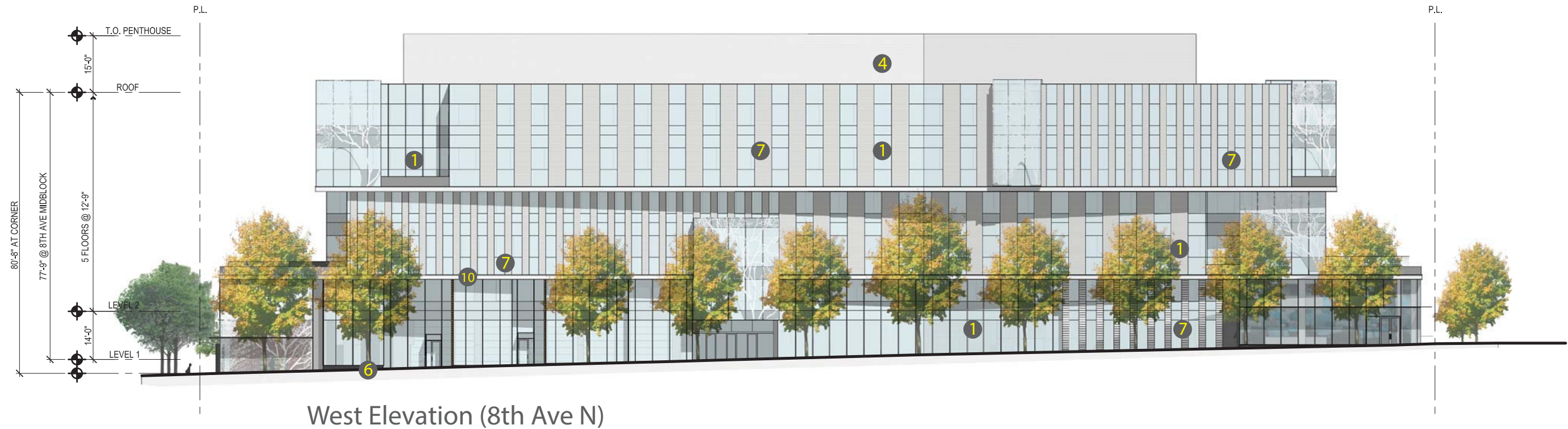








Elevations: 300



GRAPHITE

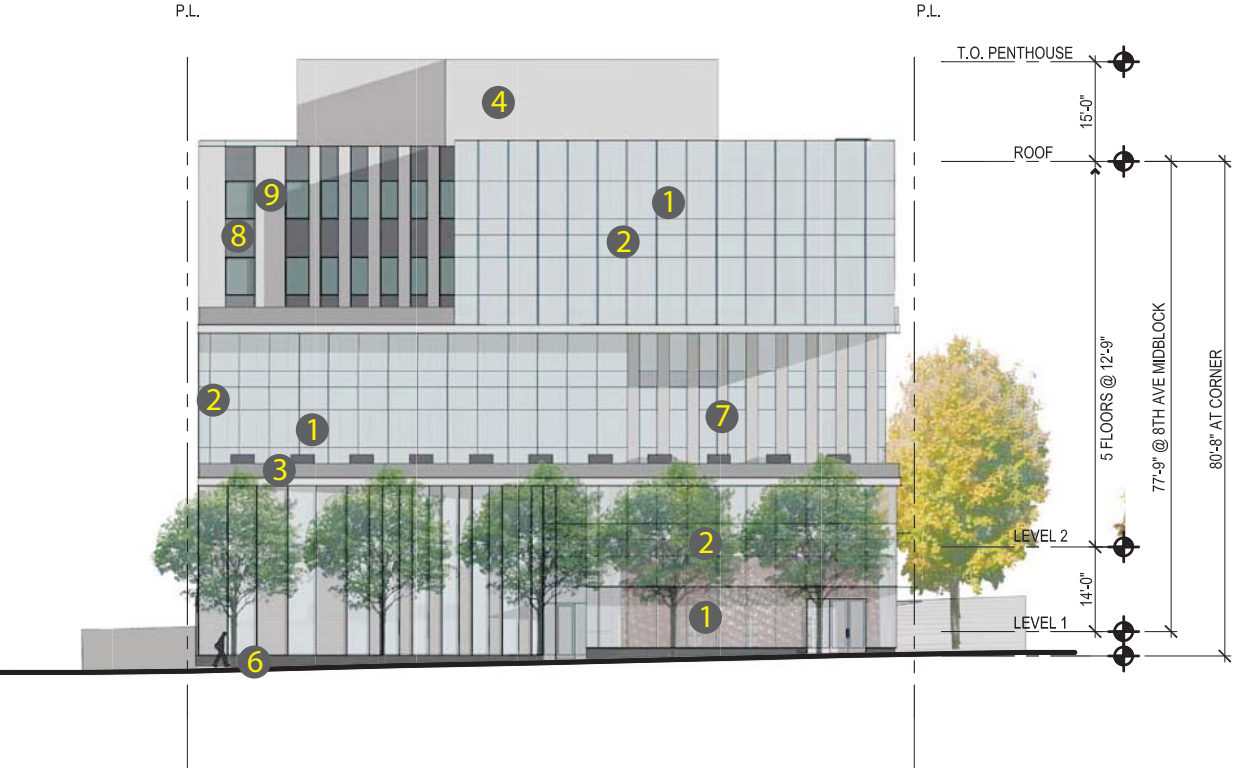
A-66 | 300- Building Elevations- 85' Proposal

300 & 333 8th Ave N  
3014981 & 3014982

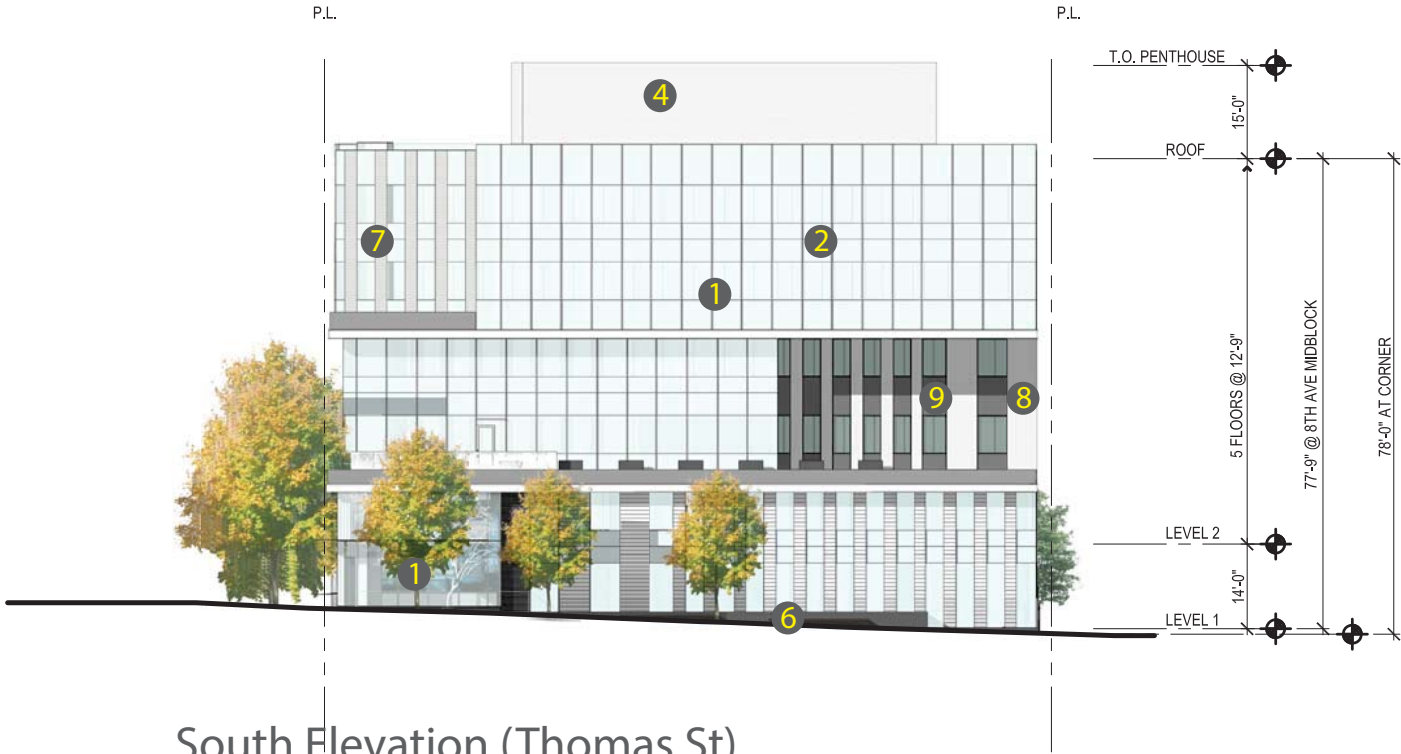
Design Recommendation  
May 21, 2014







North Elevation (Harrison St)



South Elevation (Thomas St)

Material Palette

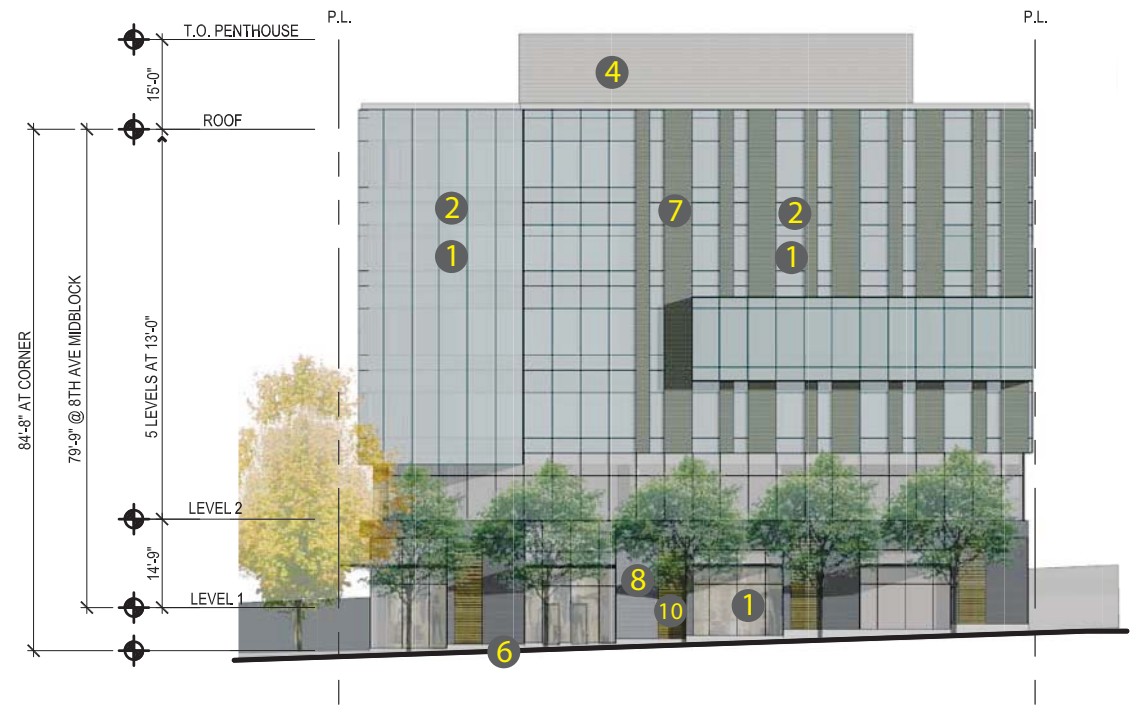
- 1 Vision Glass
- 2 Spandrel Glass
- 3 Metal 1
- 4 Metal 2
- 5 Metal 3
- 6 Metal 4
- 7 Cement Panel Cladding
- 8 Corrugated Metal Siding
- 9 Corrugated Metal Siding
- 10 Composite Metal
- 11 Wood Planks
- 12 Cast-in-Place Concrete
- 13 Paving Units



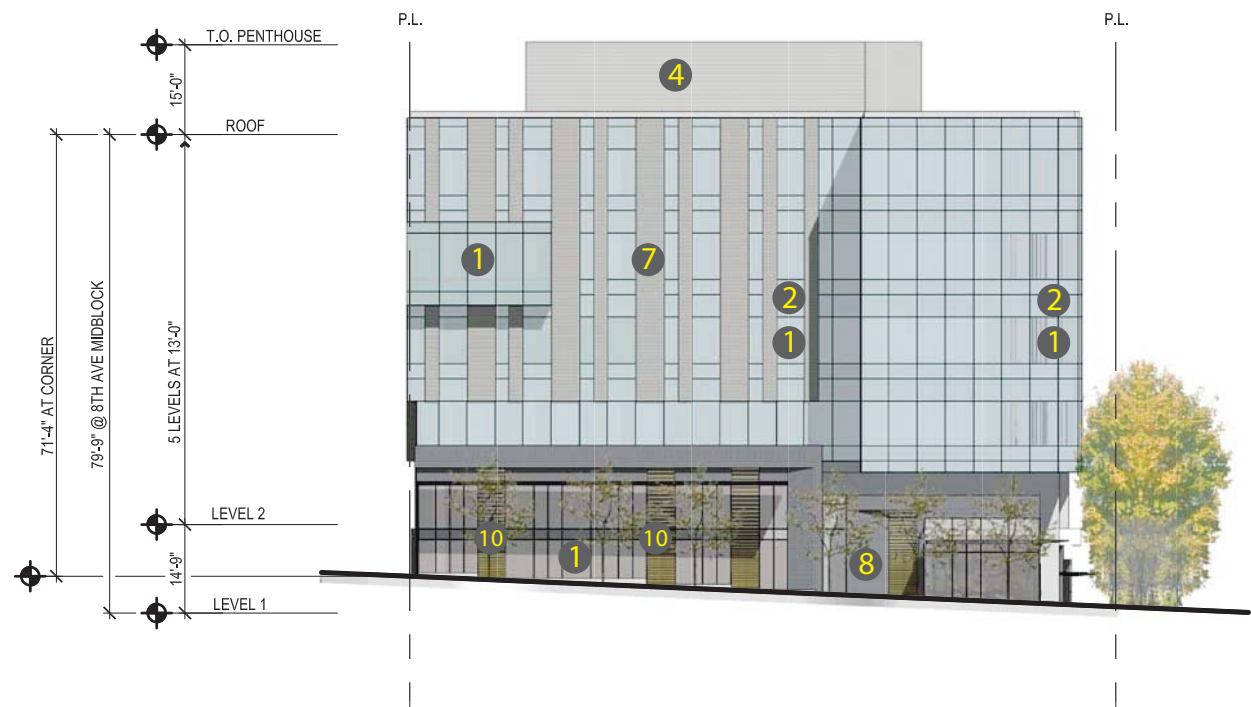
Elevations: 333







North Elevation (Harrison St)

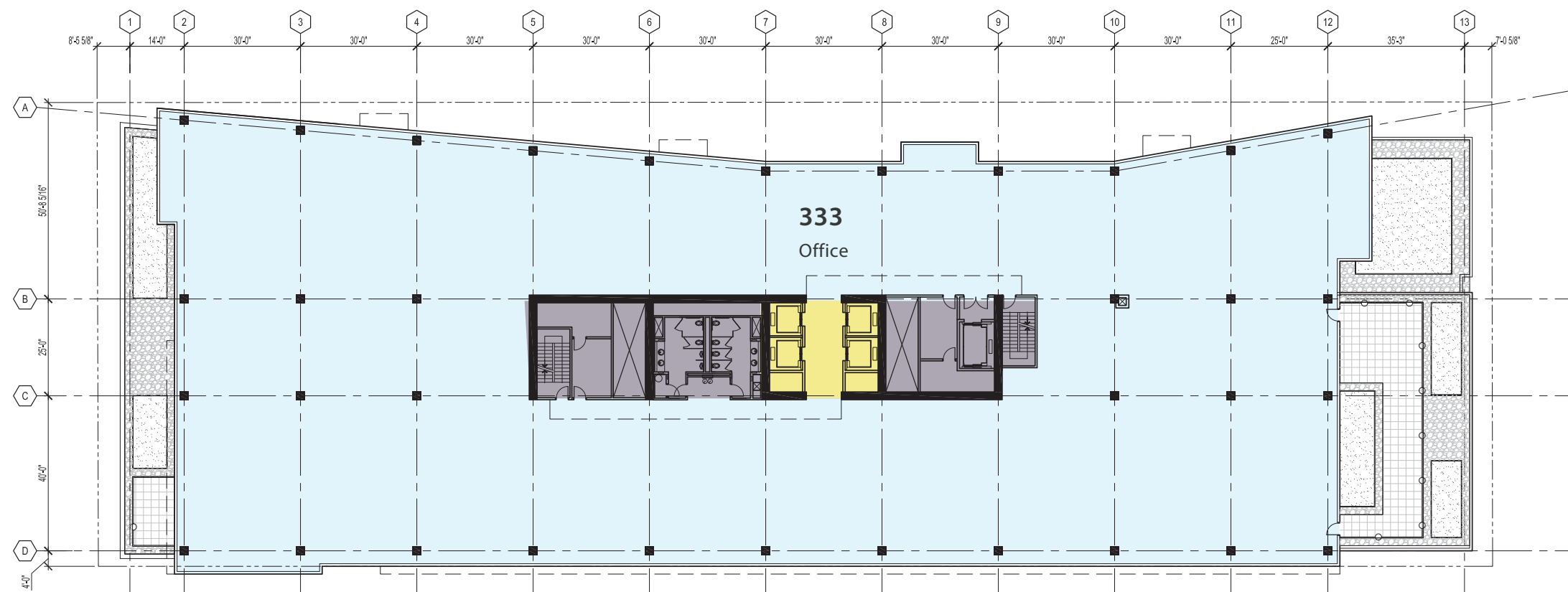
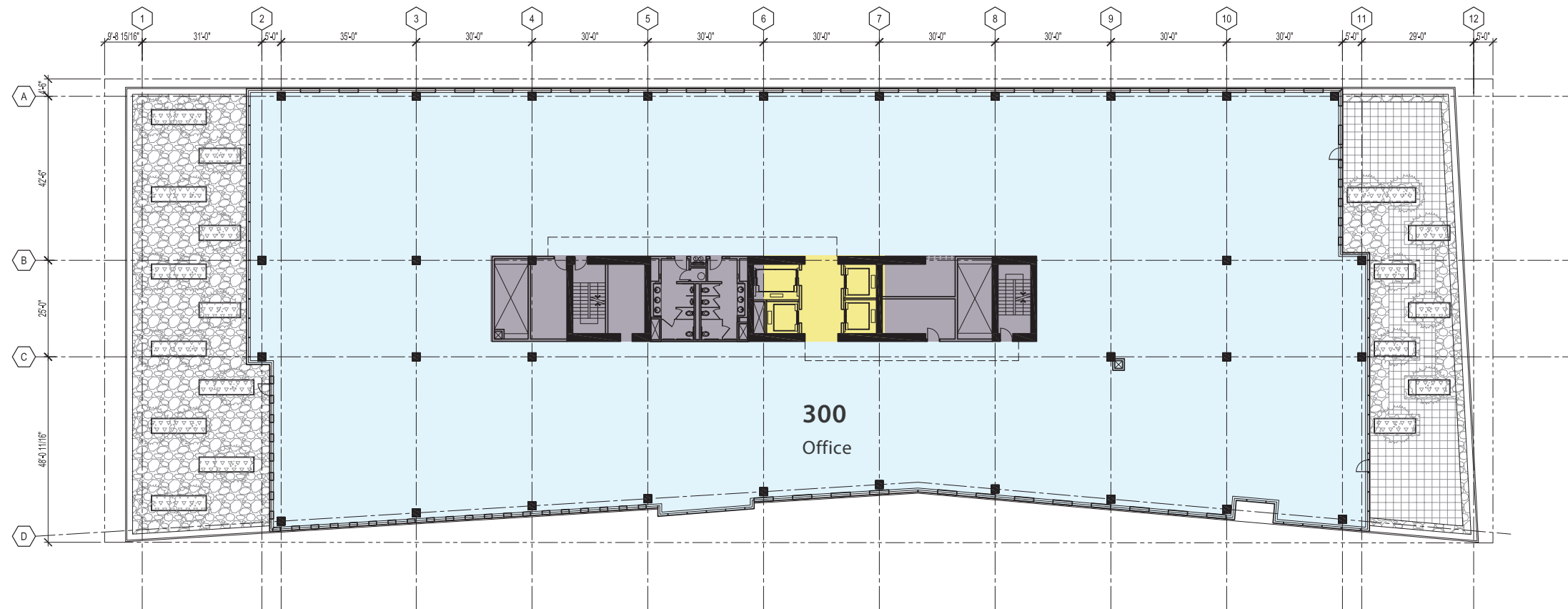


South Elevation (Thomas St)

Material Palette

- 1 Vision Glass
- 2 Spandrel Glass
- 3 Metal 1
- 4 Metal 2
- 5 Metal 3
- 6 Metal 4
- 7 Cement Panel Cladding
- 8 Brick
- 9 Composite Metal
- 10 Wood Planks
- 11 Cast-in-Place Concrete
- 12 Paving Units





Level 3 Plans



GRAPHITE

A-70 Floor Plans

300 & 333 8th Ave N

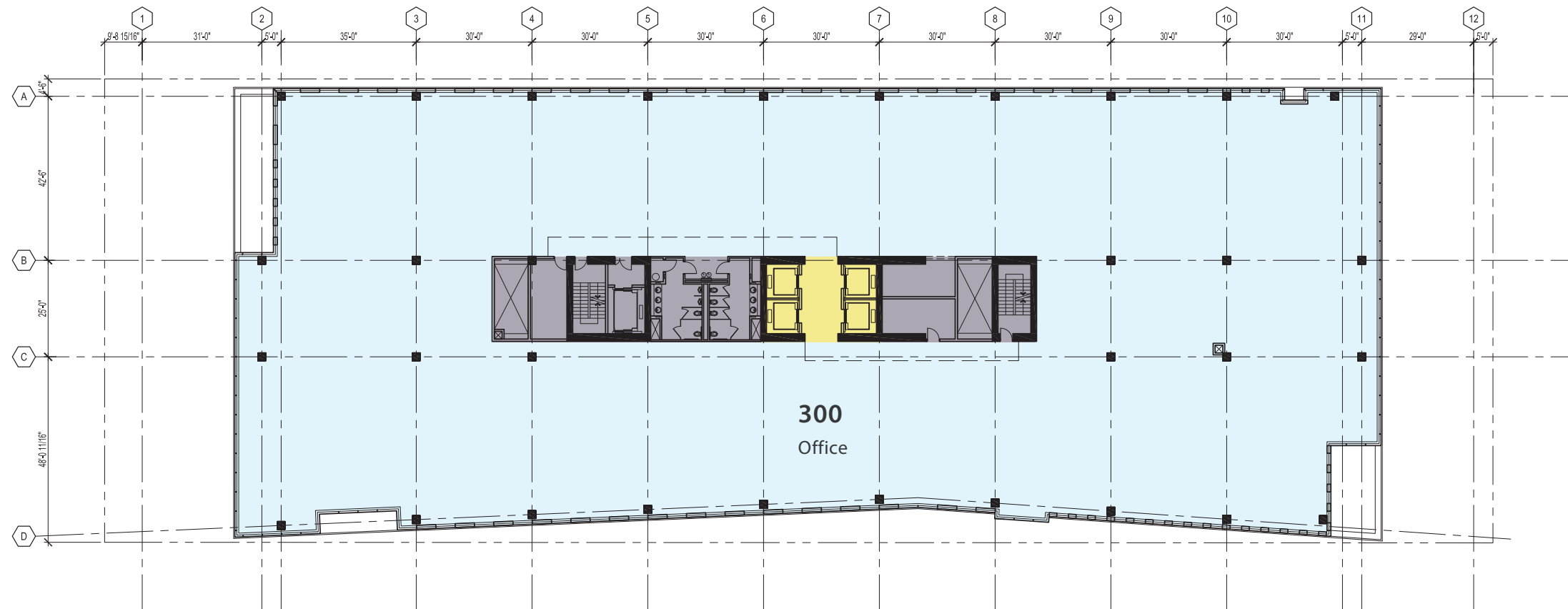
3014981 & 3014982

Design Recommendation

May 21, 2014



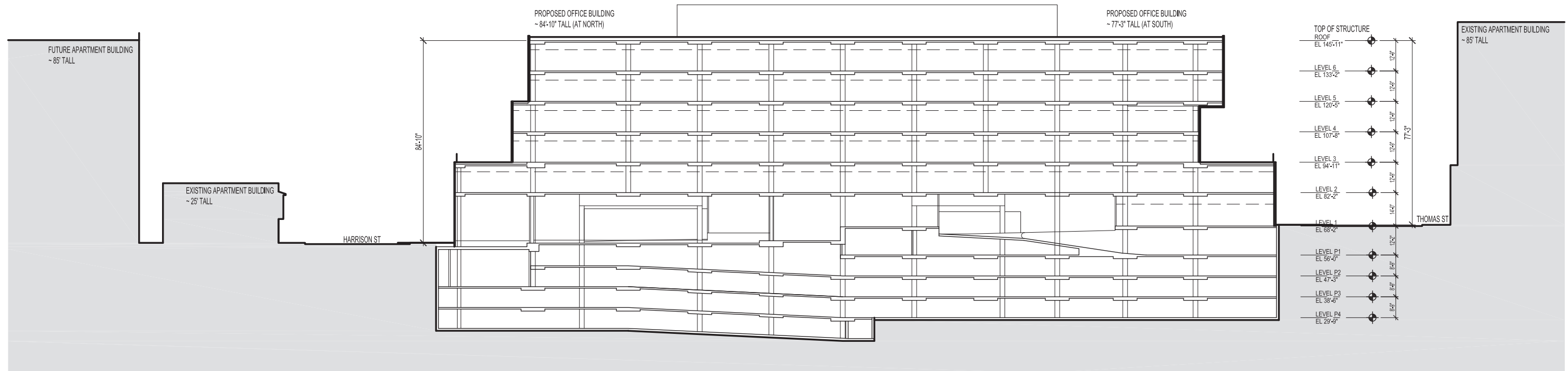
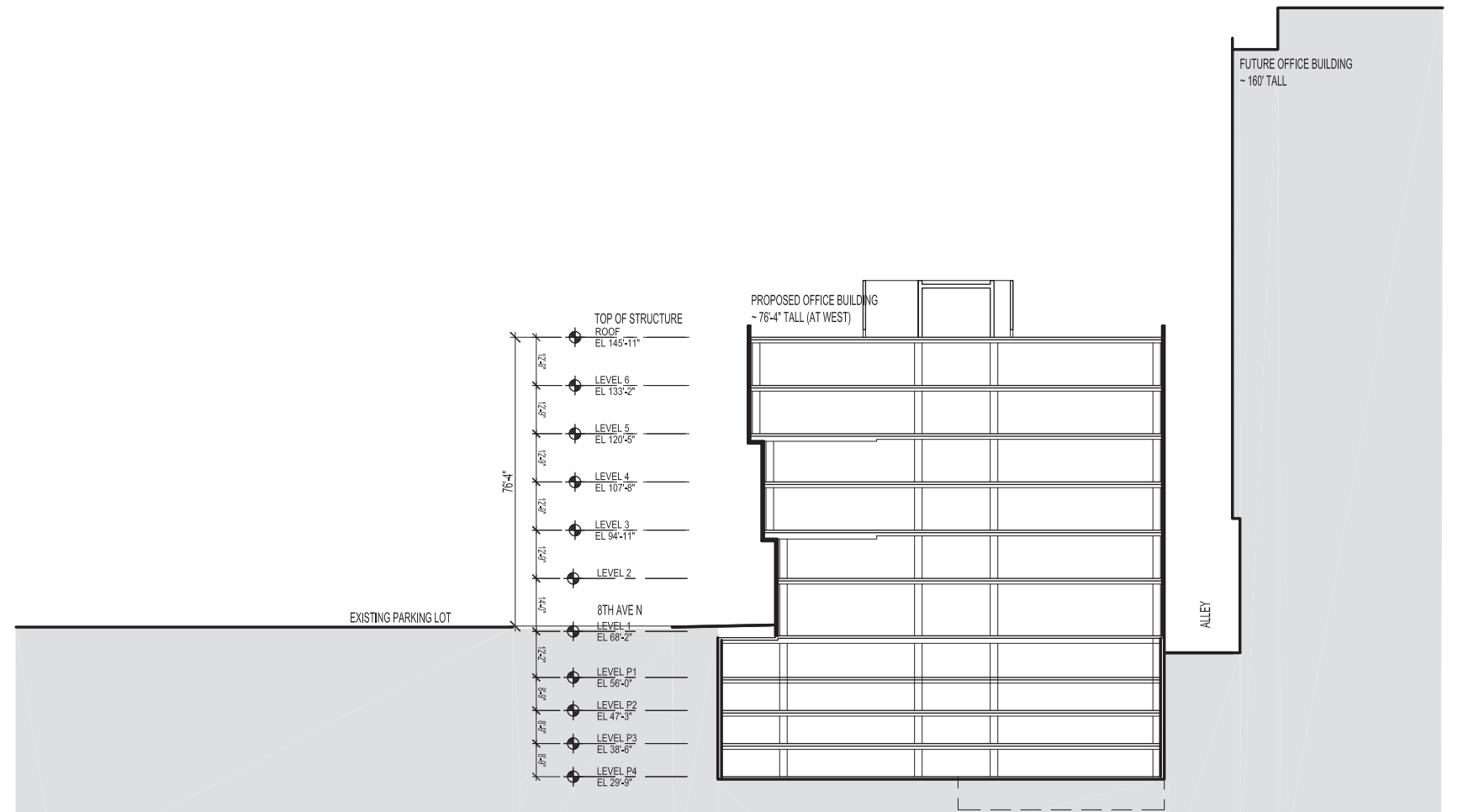




Levels 4-6 Plans







GRAPHITE

A-72 | 300- Building Sections- 85' Proposal

300 & 333 8th Ave N

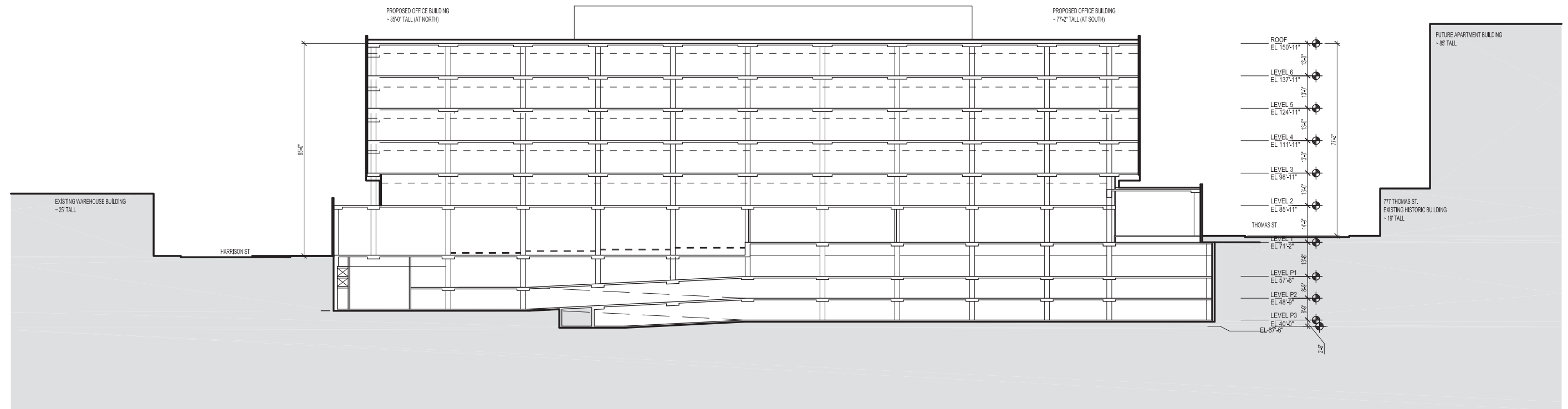
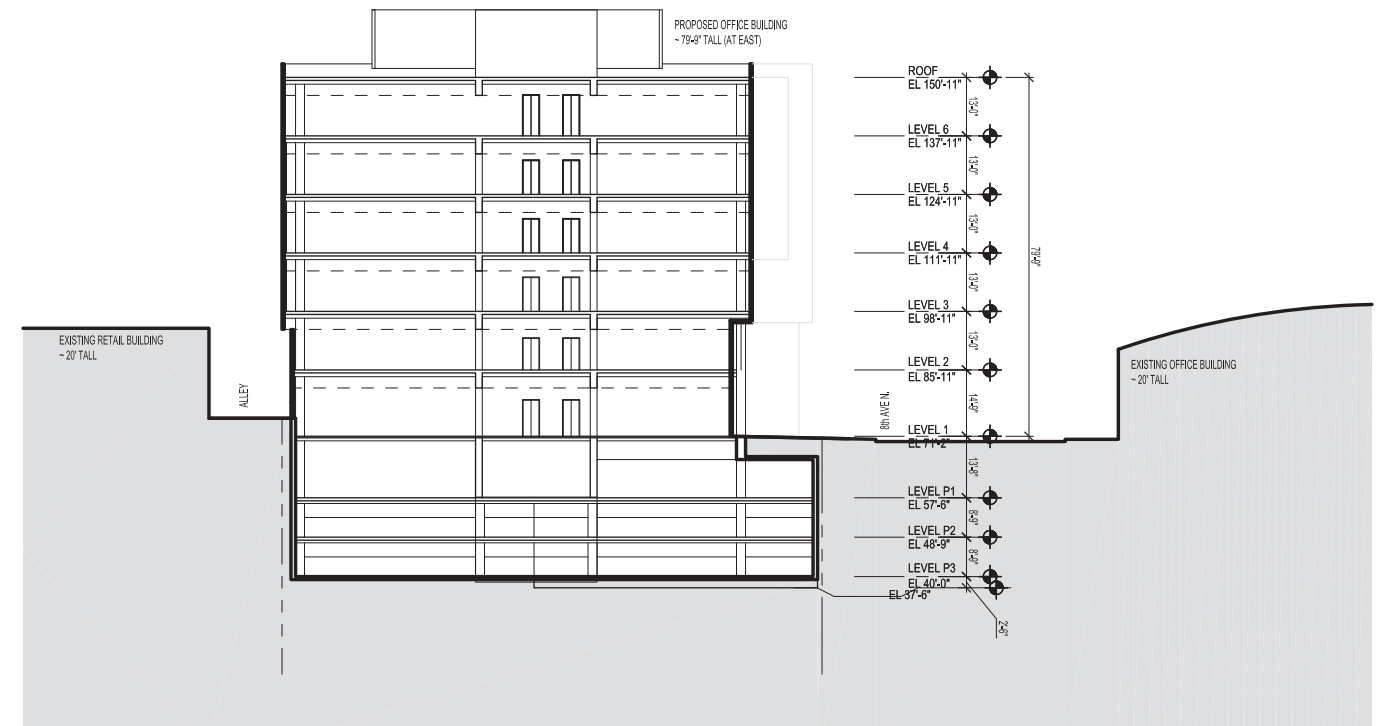
3014981 & 3014982

Design Recommendation

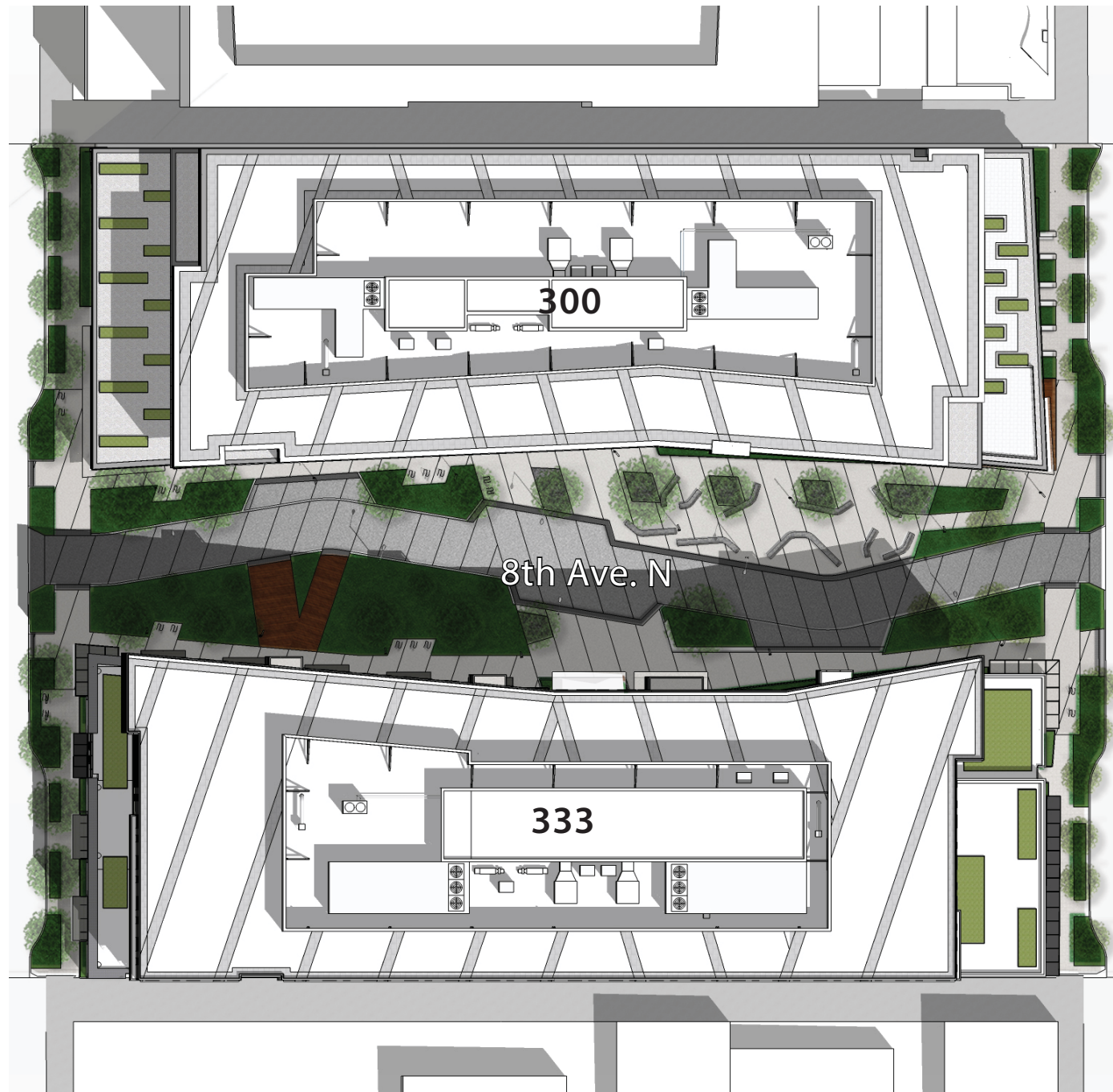
May 21, 2014





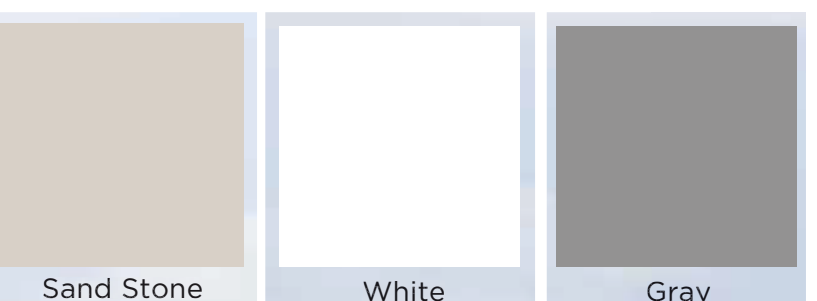
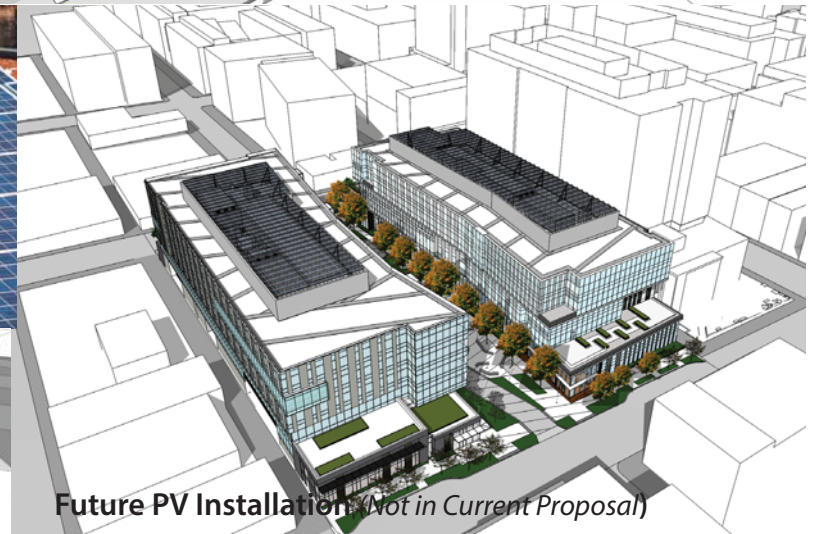
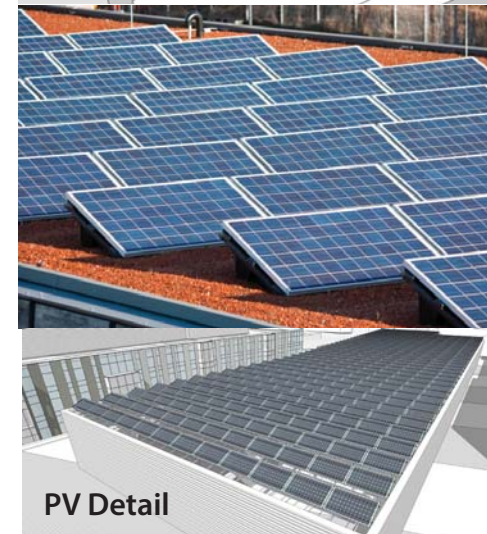






## Vicinity Plan

The roofscape (the “5th Elevation”) has been designed with an angular pattern that ties into the landscape below. Utilizing alternating colors of TPO roofing and access walks, a striking relationship is formed between ground and roof. A vertical screen wall shields horizontal views. The vertical screen also has the potential to be a support armature for future clean energy technologies such as photovoltaic panels.



GRAPHITE

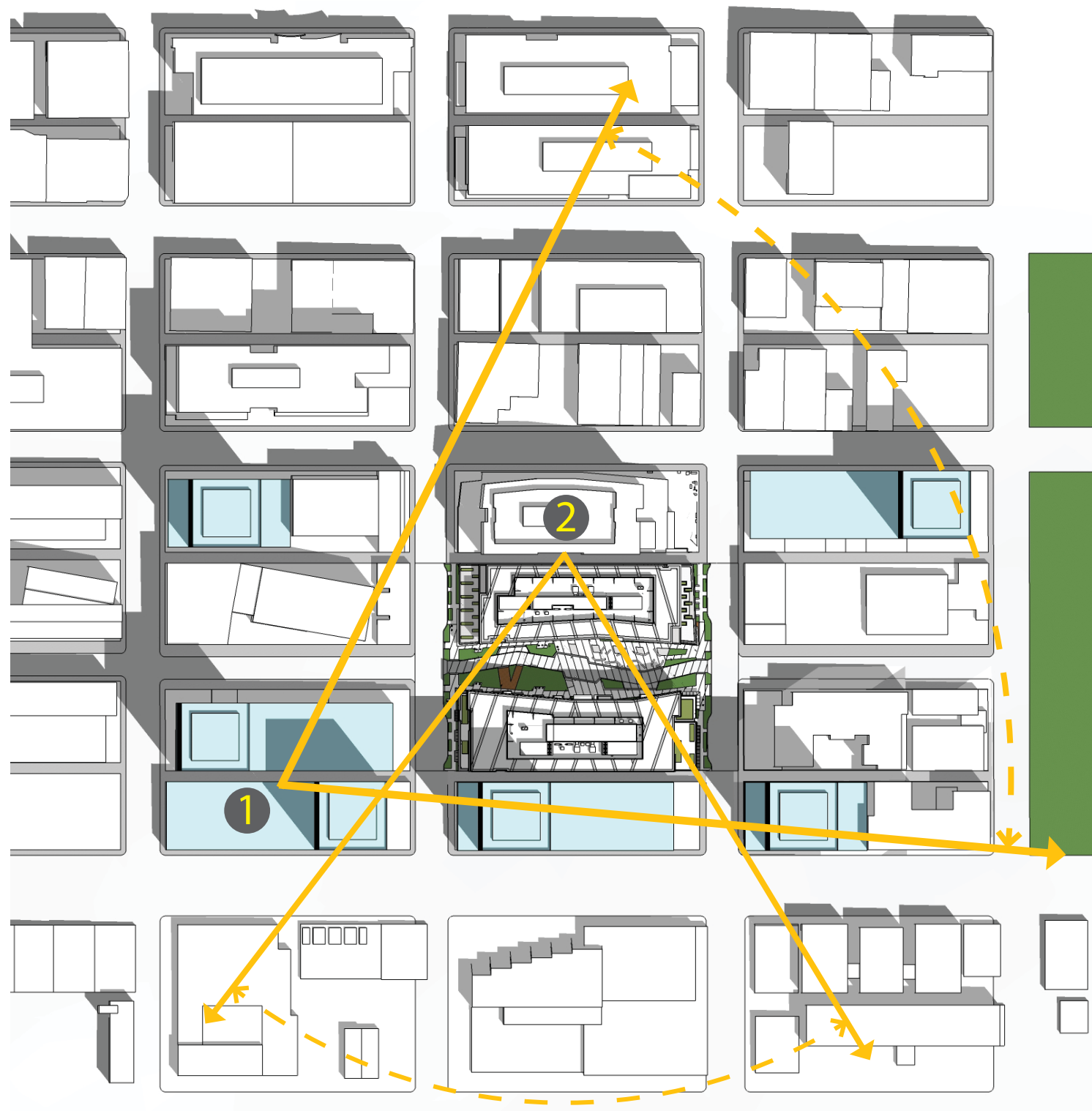
A-74 | “5th Elevation” Roof Design

300 & 333 8th Ave N  
3014981 & 3014982

Design Recommendation  
May 21, 2014



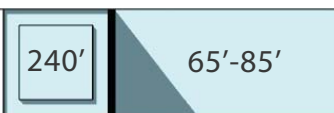




Vicinity Plan

Hypothetical Viewshed

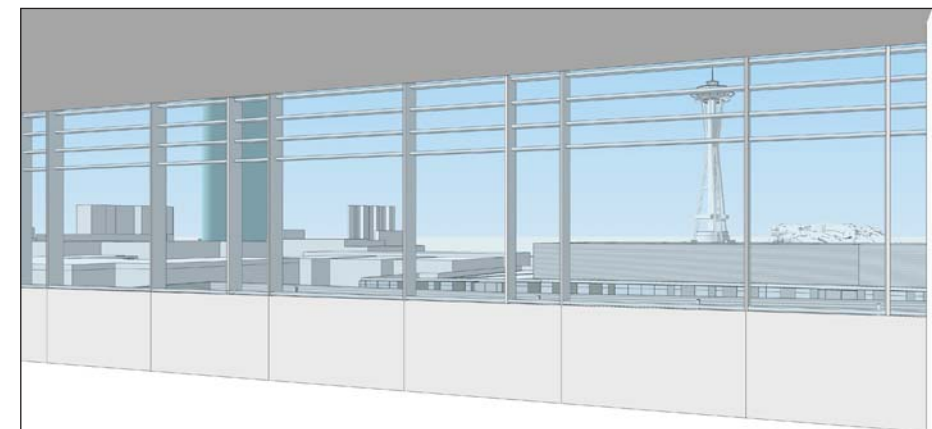
Hypothetical Residential Tower



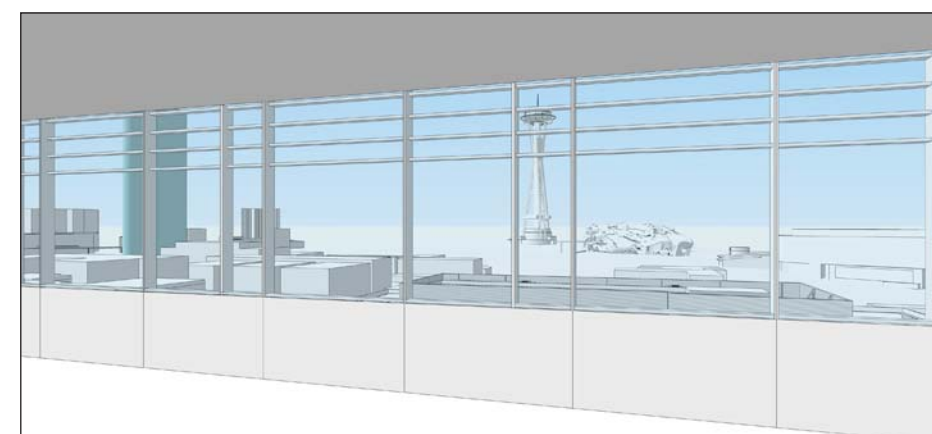
1 View from +100'



1 View from +220'



2 View from +100' (Level 7)



2 View from +135' (Level 10)



Design Recommendation  
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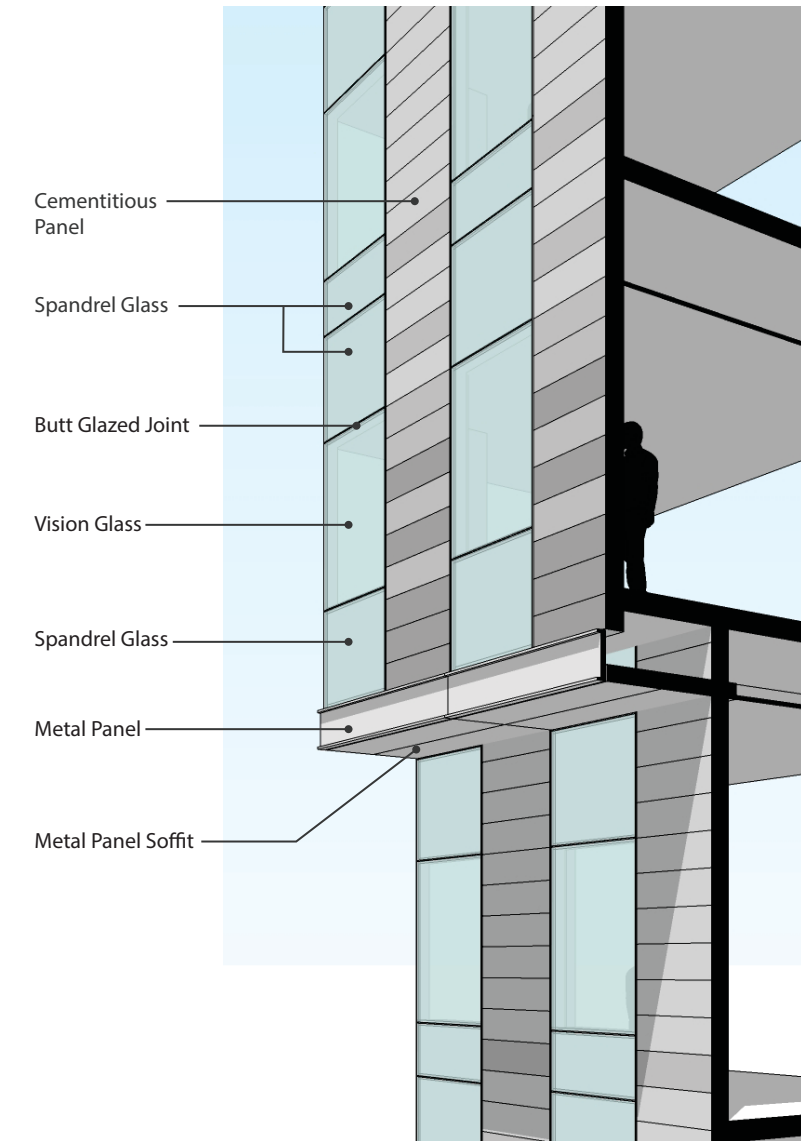
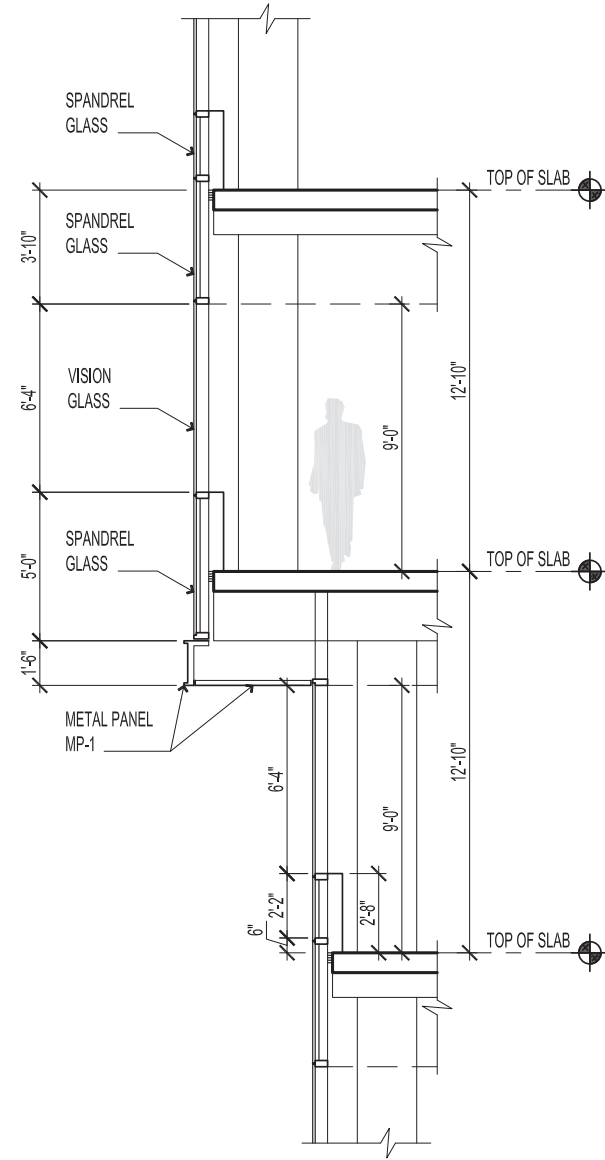
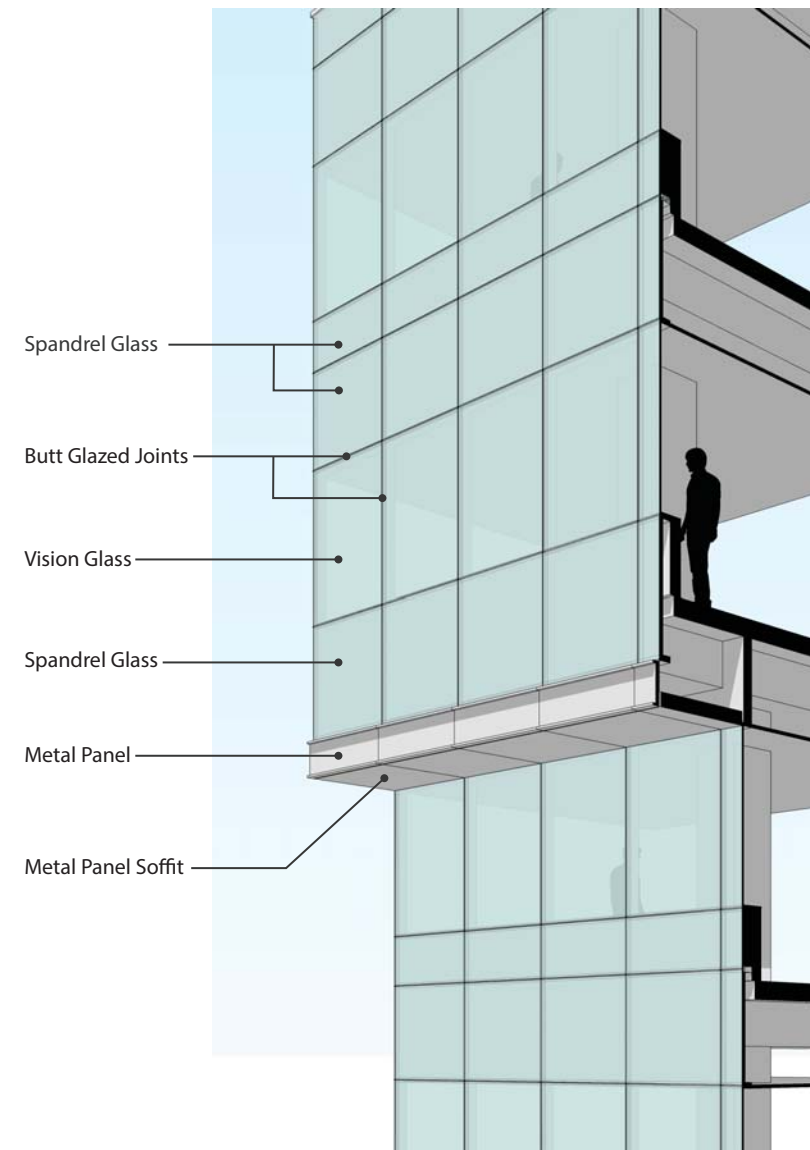
300 & 333 8th Ave N  
3014981 & 3014982

"5th Elevation" Roof Design | A-75



GRAPHITE





**GRAPHITE**

**A-76** | 300- Cladding Details

300 & 333 8th Ave N

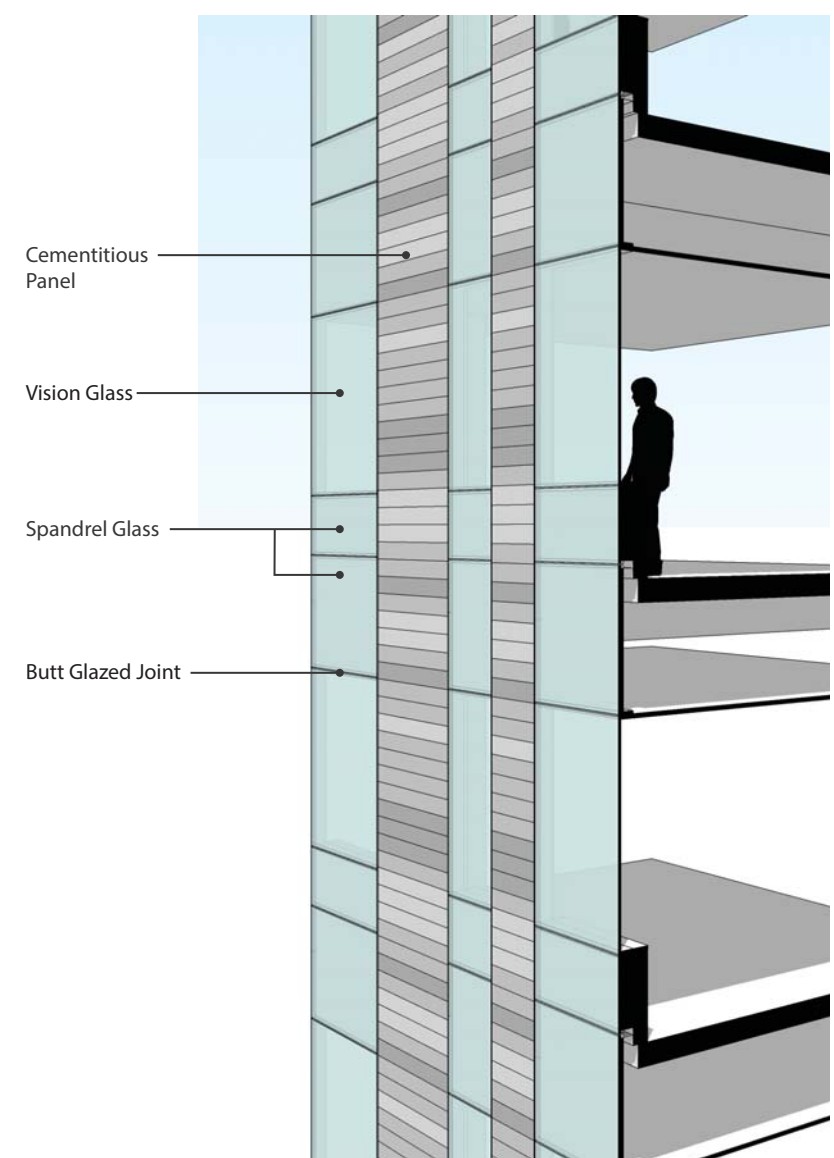
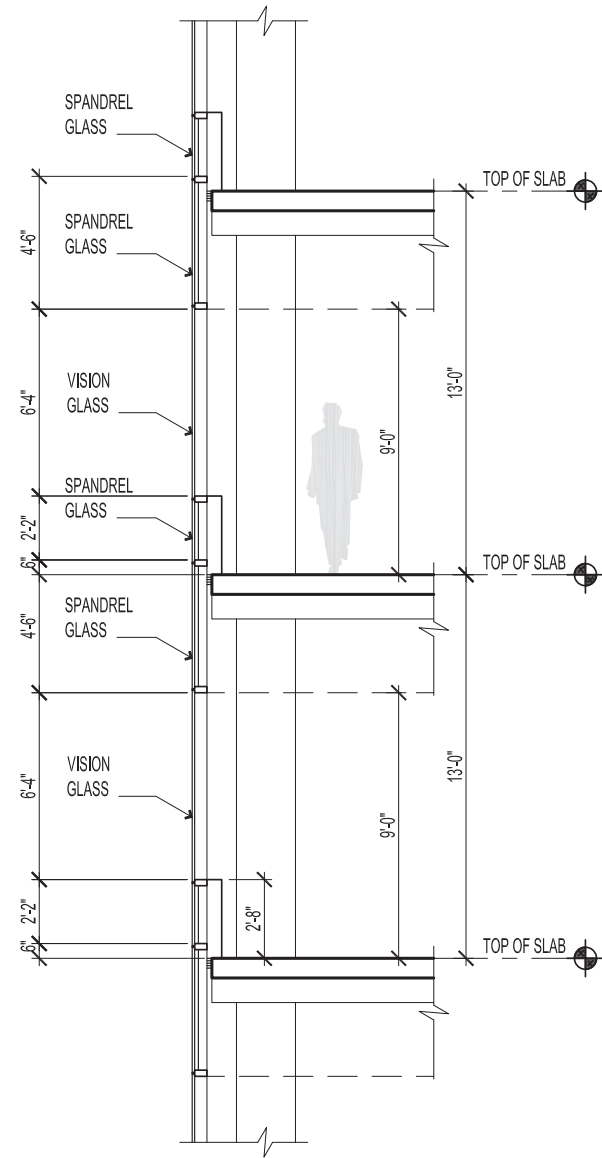
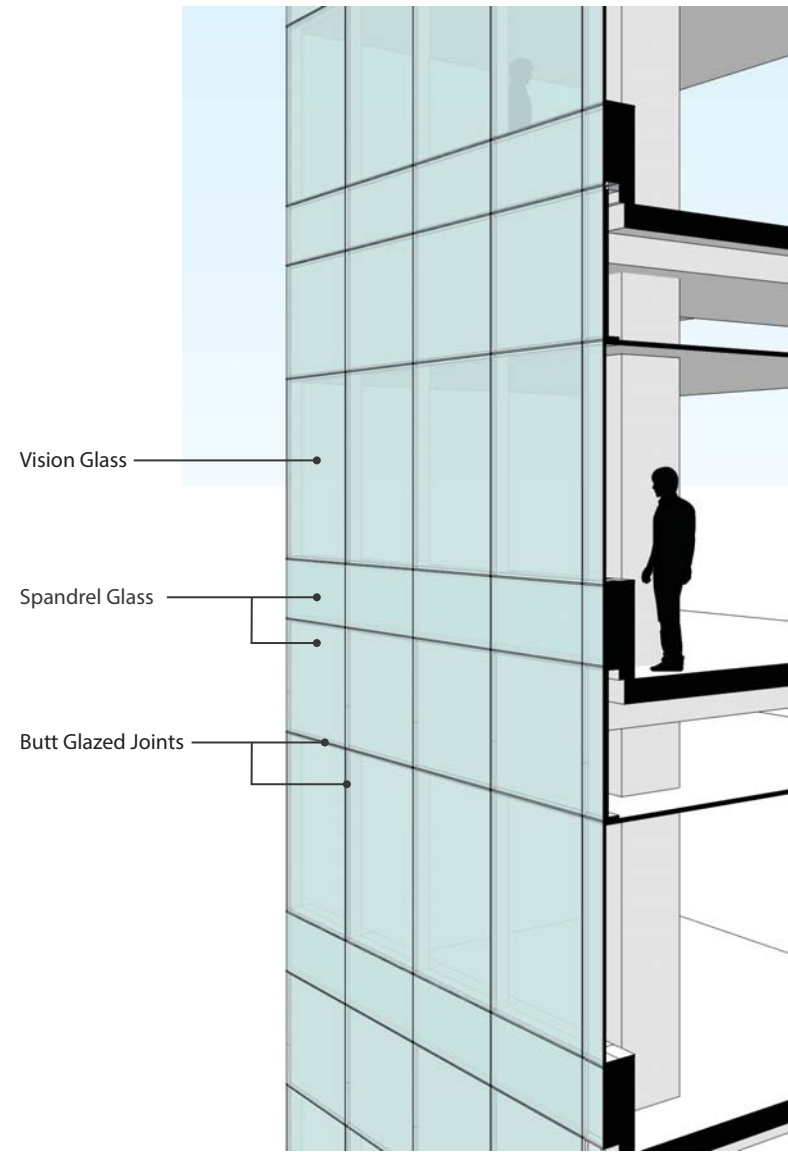
3014981 & 3014982

Design Recommendation

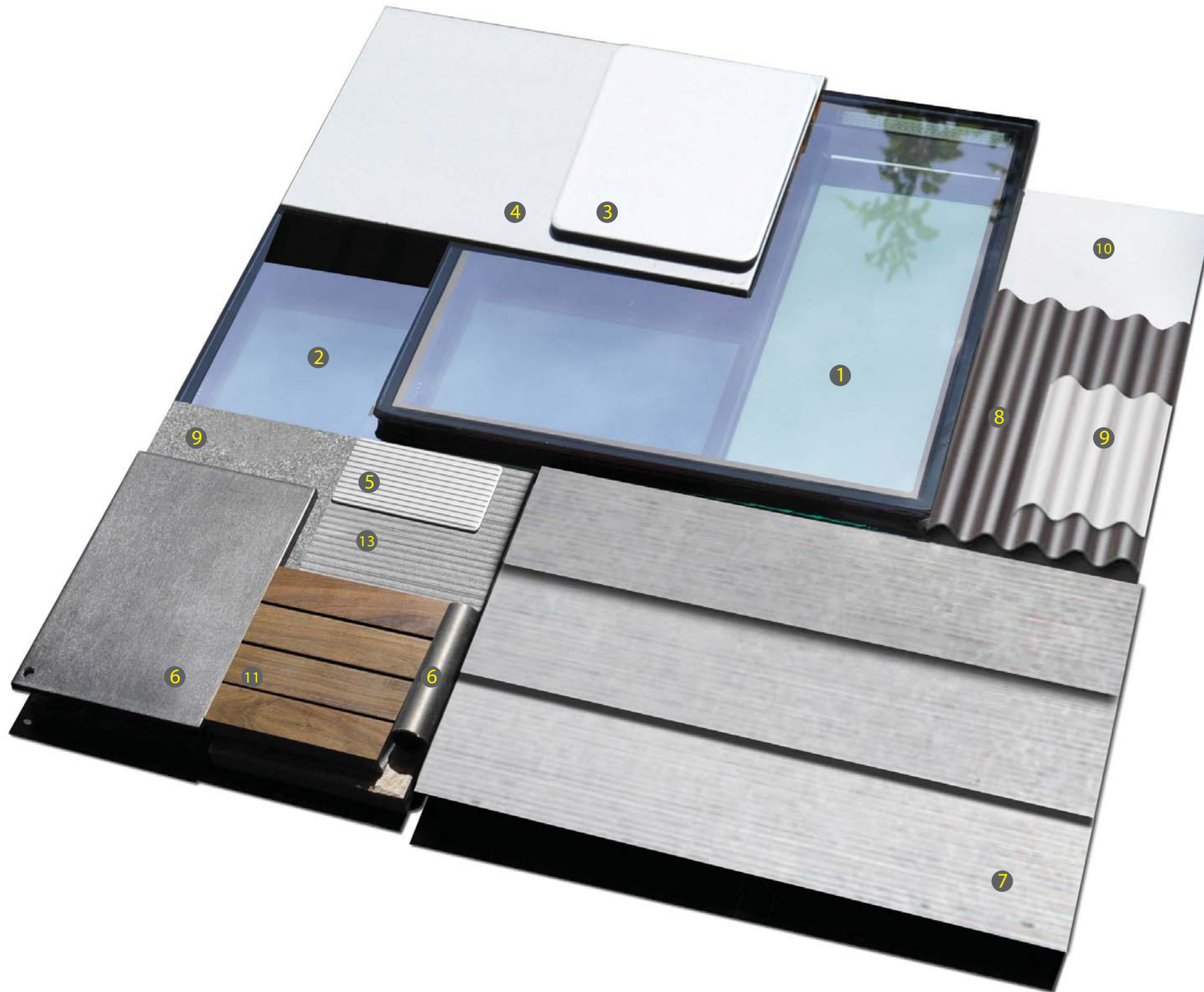
May 21, 2014









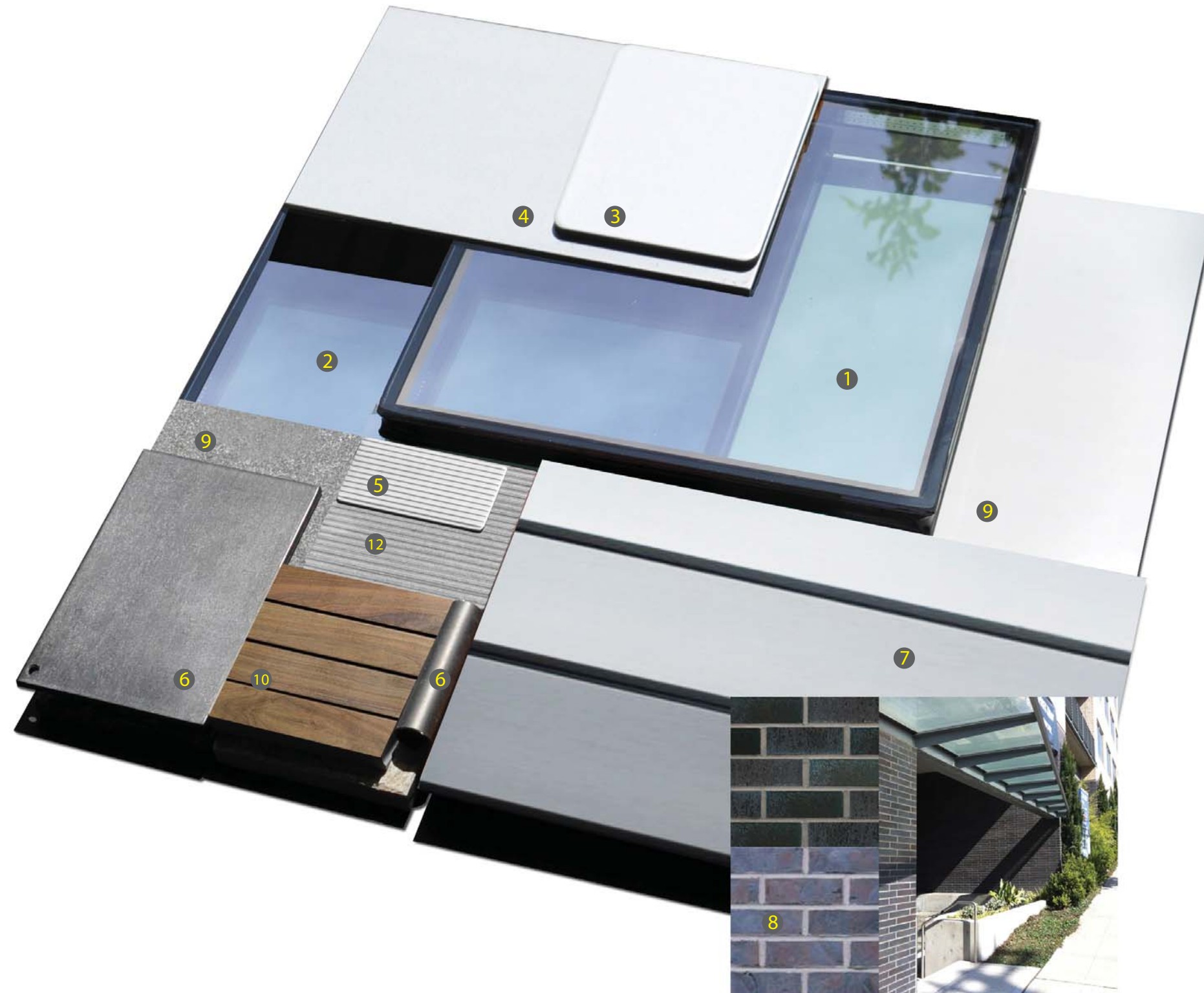


## Material Palette- 300

- ① Vision Glass
  - Radiant Low-E Glass
  - Tower Glazing
  - Podium Glazing
  - Storefront Glazing
- ② Spandrel Glass
  - Opaque Low-E Glass
  - Tower Glazing
- ③ Metal 1
  - Curtain Wall Framing
  - Storefront Framing
  - Curtain Wall Panels
- ④ Metal 2
  - Wall Panels
- ⑤ Metal 3
  - Stainless Steel
  - Hardware and Site Furnishings
- ⑥ Metal 4
  - Natural Steel
  - Podium Accents
  - Landscape Planters
- ⑦ Cement Panel Cladding
  - Integral Color
  - Tonal Variation
- ⑧ Corrugated Metal Siding
  - Alley Facade
- ⑨ Corrugated Metal Siding
  - Alley Facade
- ⑩ Composite Metal
  - Soffits
- ⑪ Wood Planks
  - Podium Accent Cladding
- ⑫ Cast-in-Place Concrete
  - Site Walls
  - Site Paving (Scored)
- ⑬ Paving Units
  - Accent Paving







### Material Palette- 333

- ① Vision Glass
  - Radiant Low-E Glass
  - Tower Glazing
  - Podium Glazing
  - Storefront Glazing
- ② Spandrel Glass
  - Opaque Low-E Glass
  - Tower Glazing
- ③ Metal 1
  - Curtain Wall Framing
  - Storefront Framing
  - Curtain Wall Panels
- ④ Metal 2
  - Wall Panels
- ⑤ Metal 3
  - Stainless Steel
  - Hardware and Site Furnishings
- ⑥ Metal 4
  - Natural Steel
  - Podium Accents
  - Landscape Planters
- ⑦ Cement Panel Cladding
  - Integral Color
  - Tonal Variation
- ⑧ Brick
  - Podium
- ⑨ Composite Metal
  - Soffits
- ⑩ Wood Planks
  - Podium Accent Cladding
- ⑪ Cast-in-Place Concrete
  - Site Walls
  - Site Paving (Scored)
- ⑫ Paving Units
  - Accent Paving



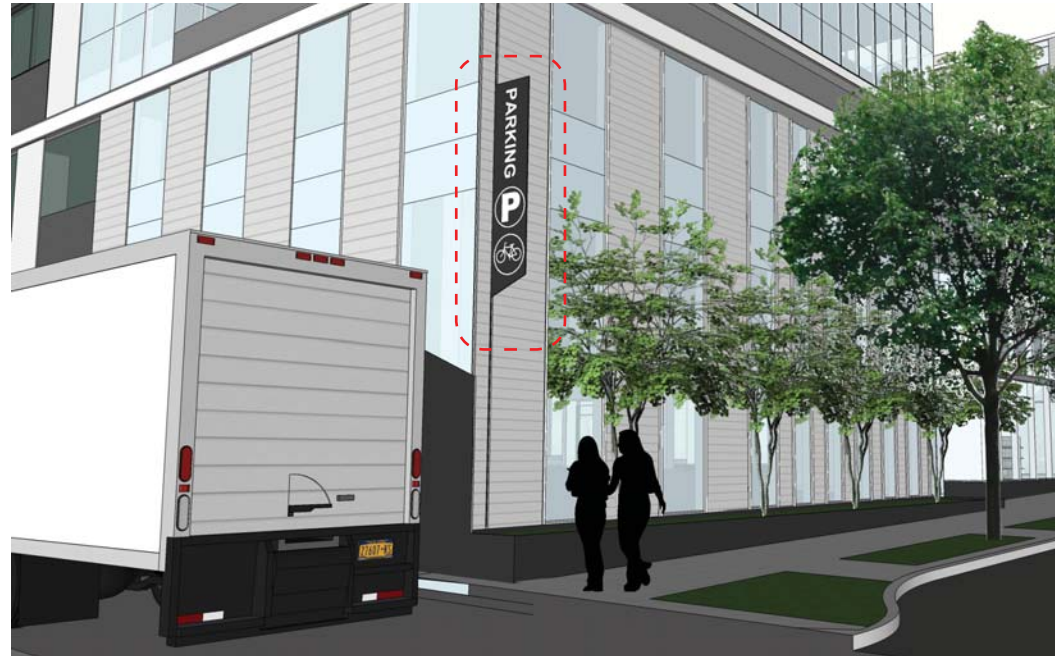
Signage Locations:

- 1 Bike/Auto Wayfinding
- 2 Retail
- 3 Building Identity



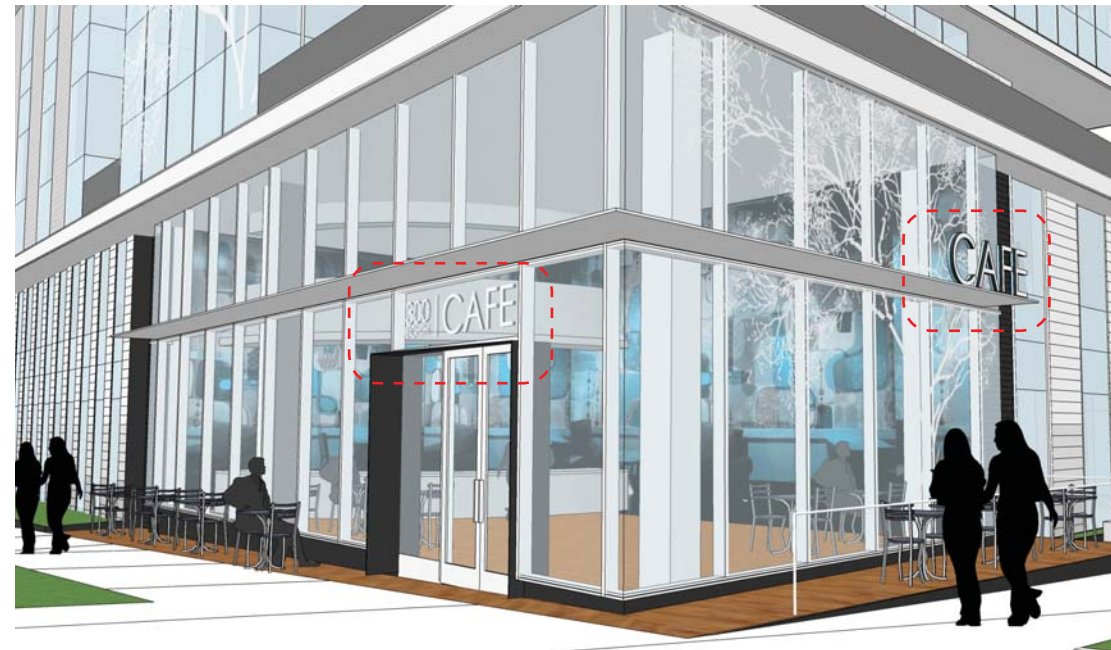


## 1 Bike/Auto Wayfinding



**Description:** Building-mounted blade sign. Powder-coated metal with contrasting letters

## 2 Retail



**Description:** Glass adhered or pin-mounted to canopy. Three-dimensional relief letters in stainless steel or powder-coated metal. (Note: final retail signage is subject to retailer's requirements and will be reviewed by owner for consistency with building design).

## 3 Building Identity



**Description:** Building-mounted blade sign. Powder-coated metal with contrasting letters (Small commercial ID). Large-format etched glass, integral to building cladding (building ID).



**Description:** Pin-mounted to entry canopy. Three-dimensional relief letters in stainless steel, powder-coated metal or illuminated channel letters.

## Possible Configurations





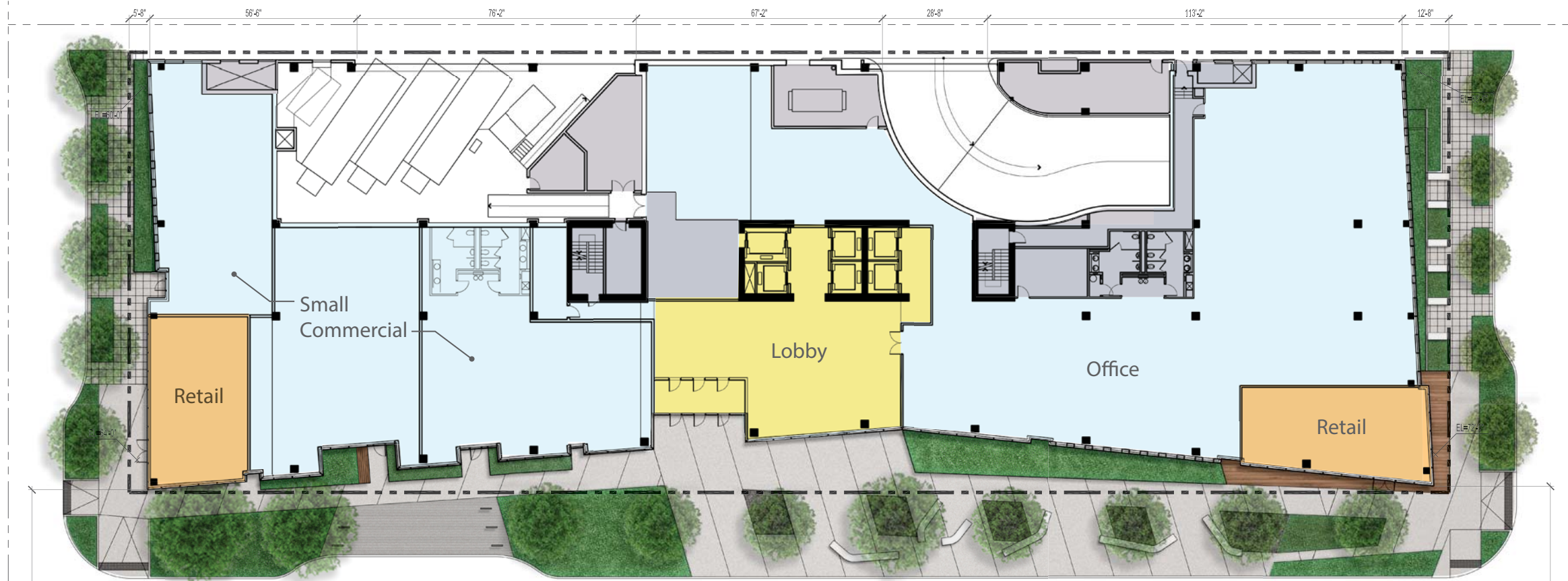
8th Avenue N Green Street Proposal Exhibits





300

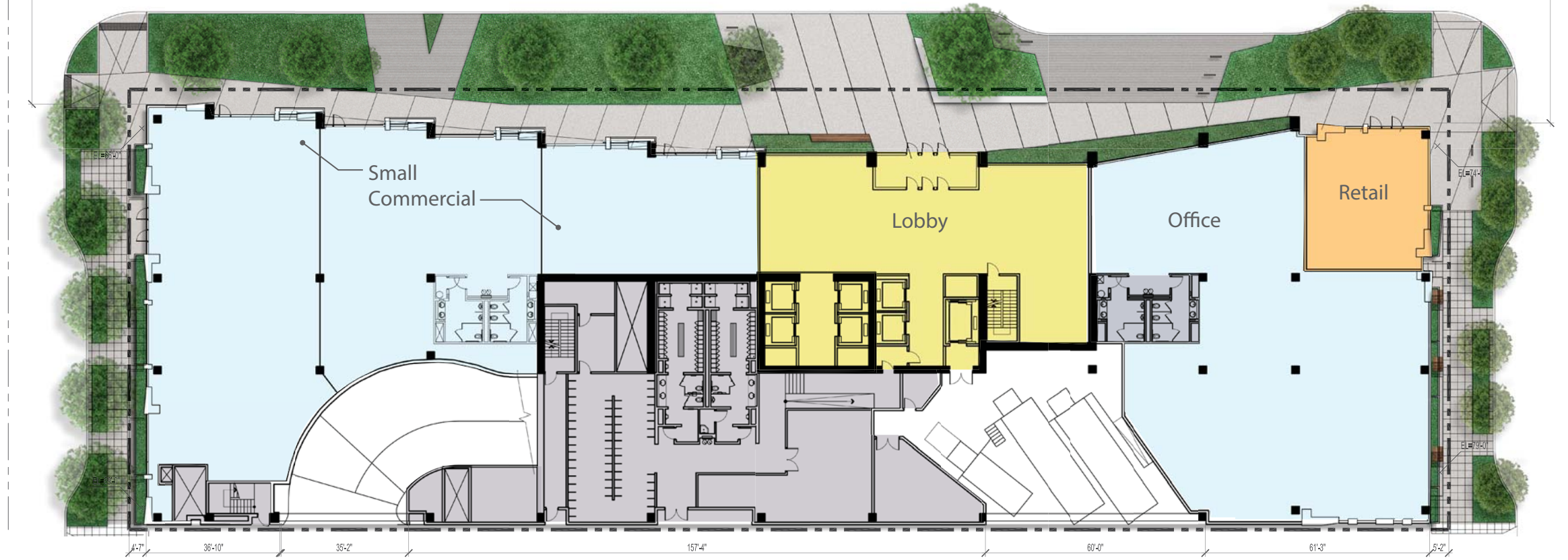
Harrison St



8th Ave N

Thomas St

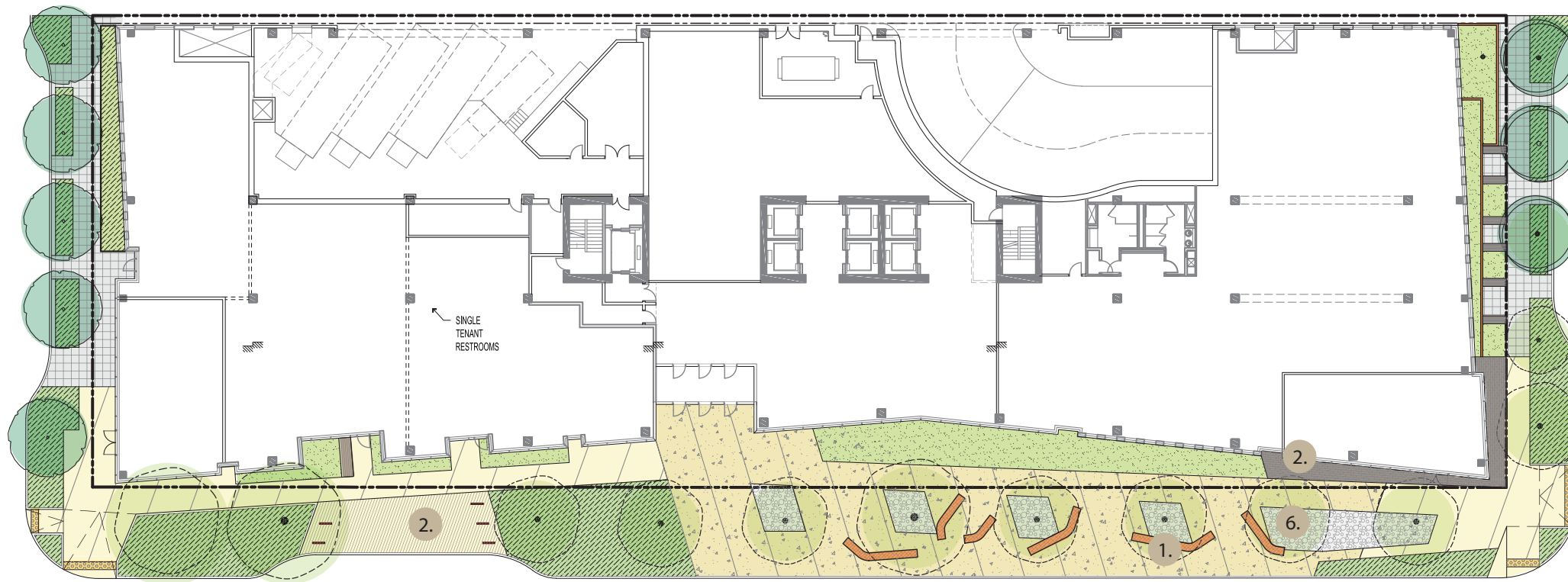
333





300

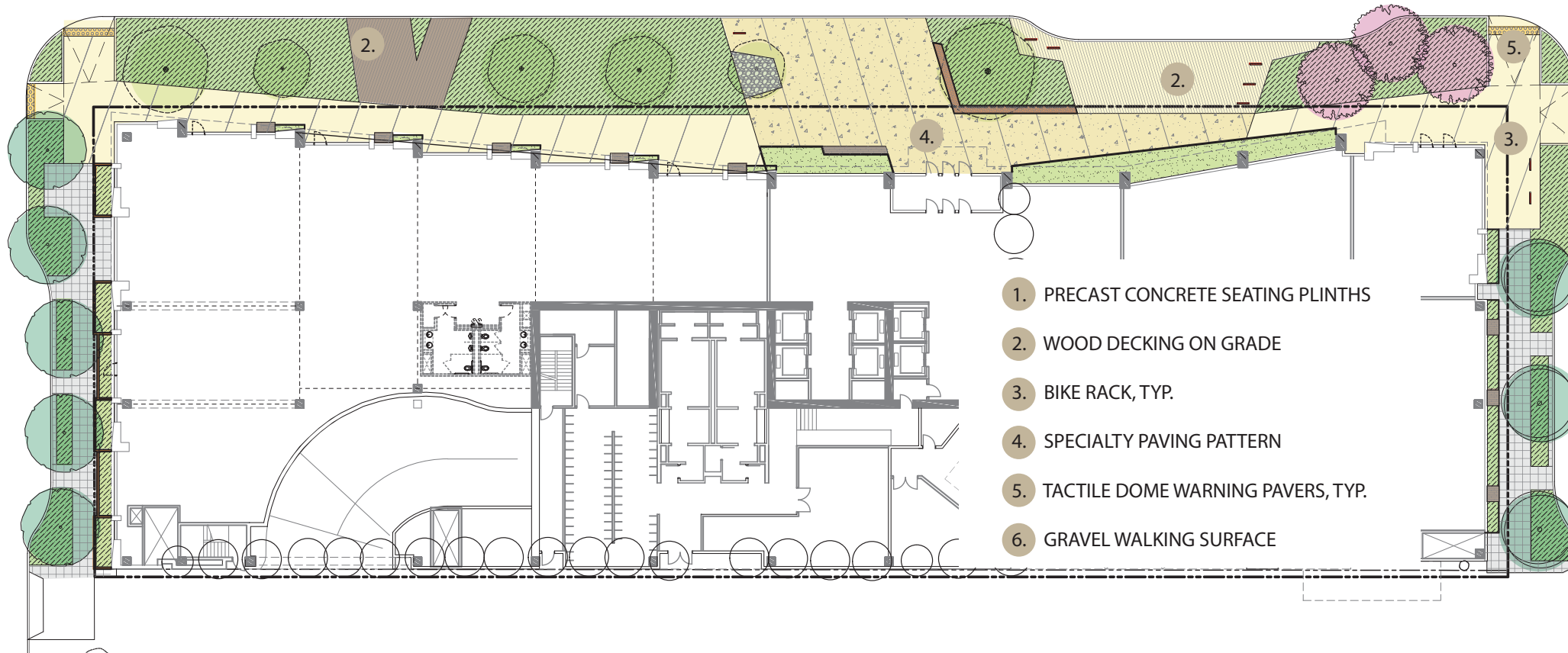
Harrison St



8TH AVENUE

Thomas St

333



- 1. PRECAST CONCRETE SEATING PLINTHS
- 2. WOOD DECKING ON GRADE
- 3. BIKE RACK, TYP.
- 4. SPECIALTY PAVING PATTERN
- 5. TACTILE DOME WARNING PAVERS, TYP.
- 6. GRAVEL WALKING SURFACE



GRAPHITE

A-84 | Landscape- Green Street Proposal

300 & 333 8th Ave N

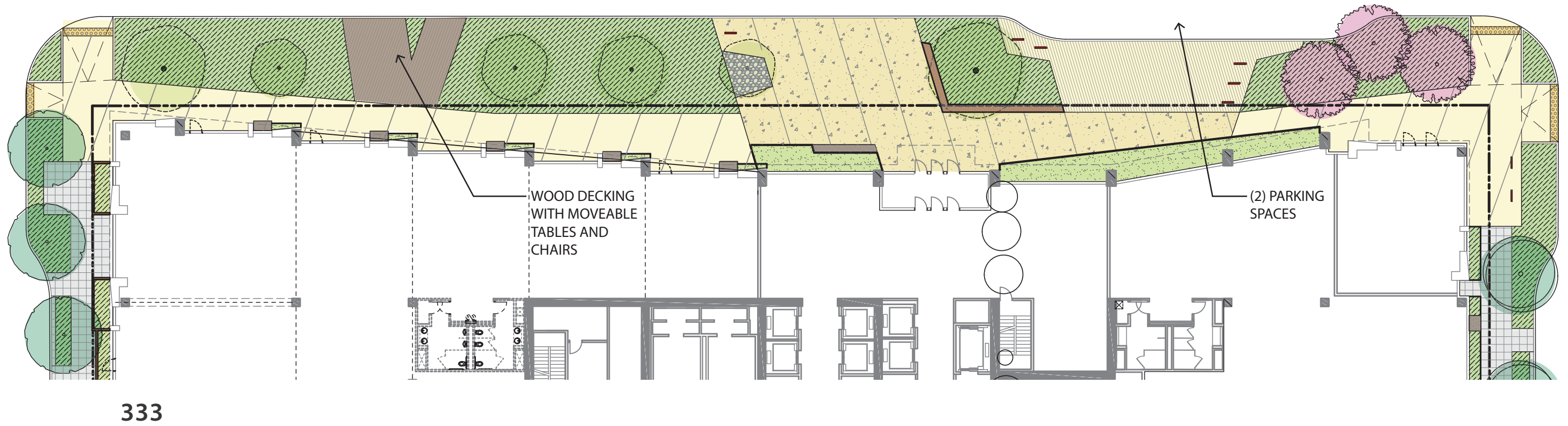
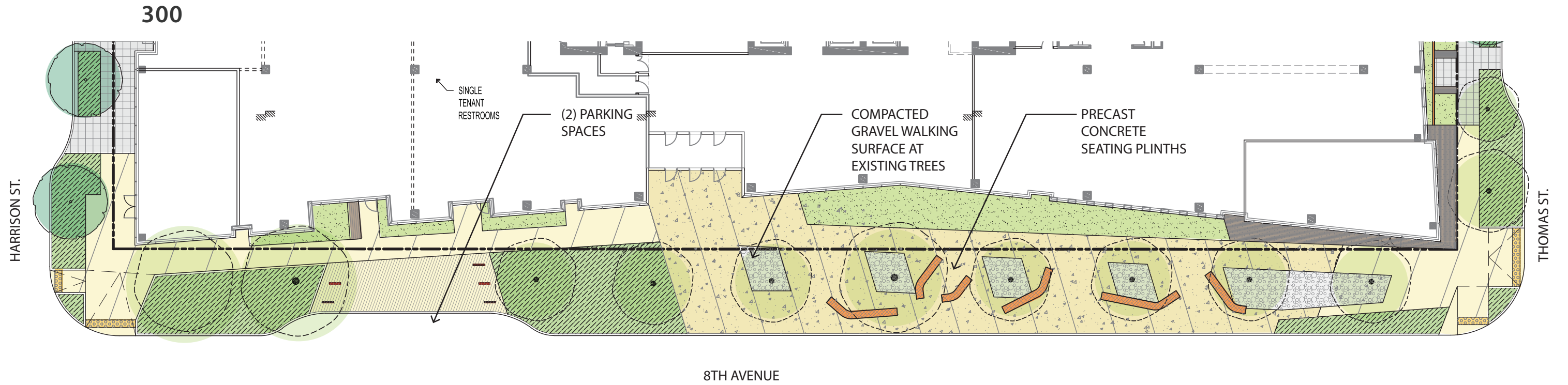
3014981 & 3014982

Design Recommendation

May 21, 2014









SITE LIGHTING

ALTERNATE “GREEN STREET” SCHEME

- A LED “cobrahead” Seattle standard post-top fixture at roadway
- B LED modular Seattle non-standard post-top fixture at pedestrian path



GRAPHITE

A-86



Site & Building Lighting- Green Street Proposal

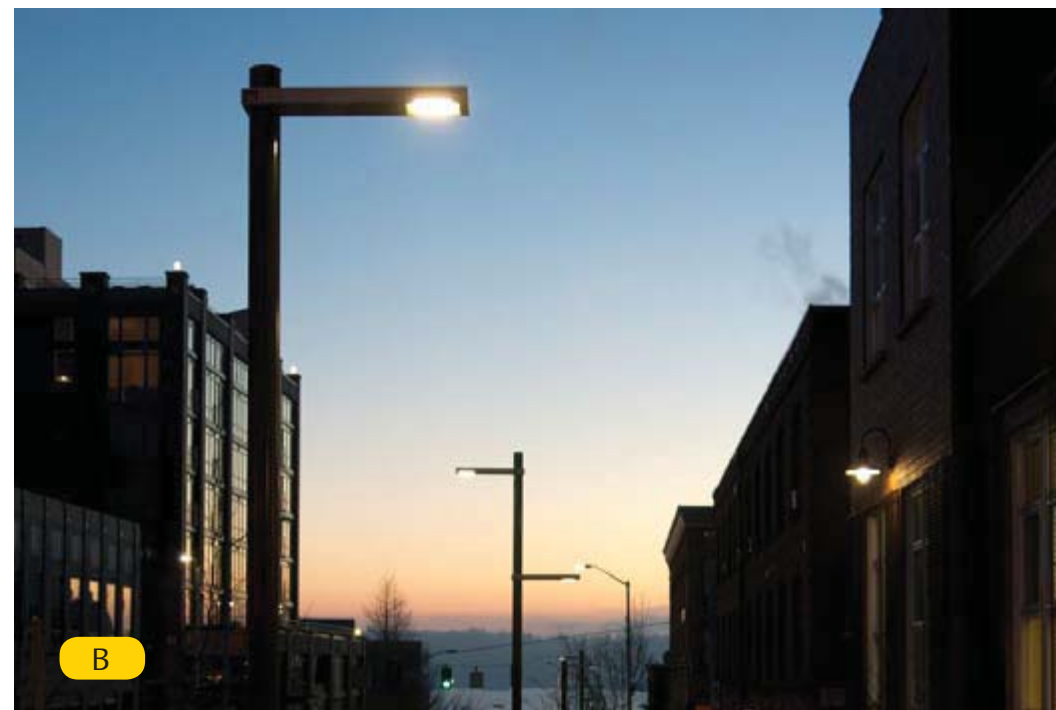
300 & 333 8th Ave N  
3014981 & 3014982

Design Recommendation  
May 21, 2014





- A** LED "cobrahead" Seattle standard post-top fixture at roadway
- B** LED modular Seattle non-standard post-top fixture at pedestrian path







GRAPHITE

A-88 | Rendering- Green Street Proposal

300 & 333 8th Ave N  
3014981 & 3014982

Design Recommendation  
May 21, 2014





95' Height Proposal Exhibits



Design Recommendation  
May 21, 2014

300 & 333 8th Ave N  
3014981 & 3014982

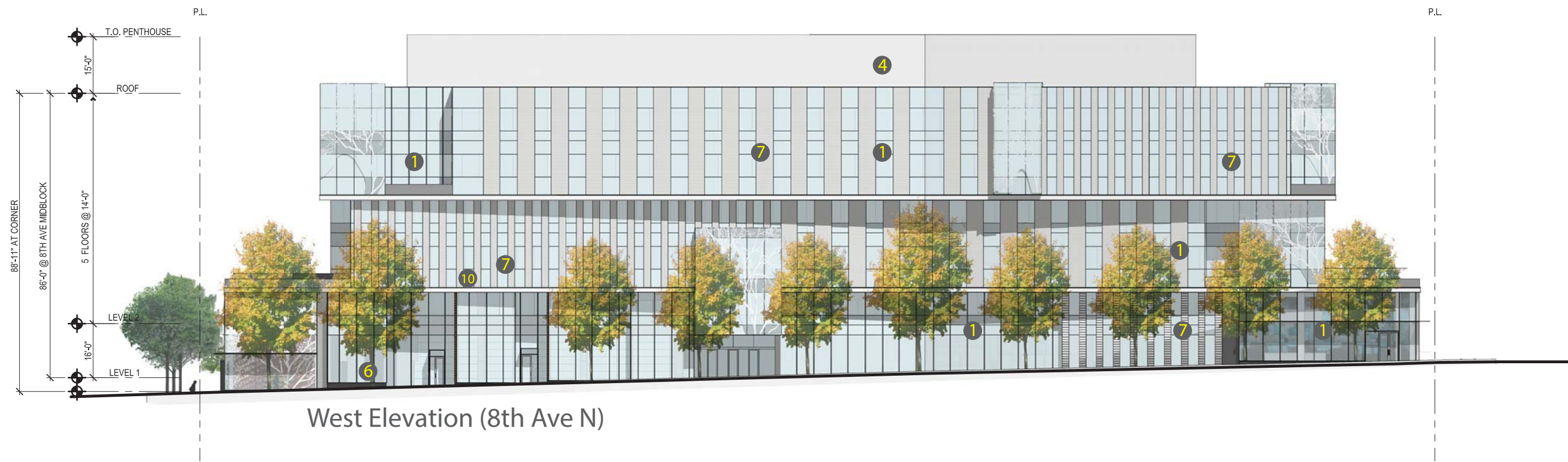
A-89



GRAPHITE



Elevations: 300



GRAPHITE

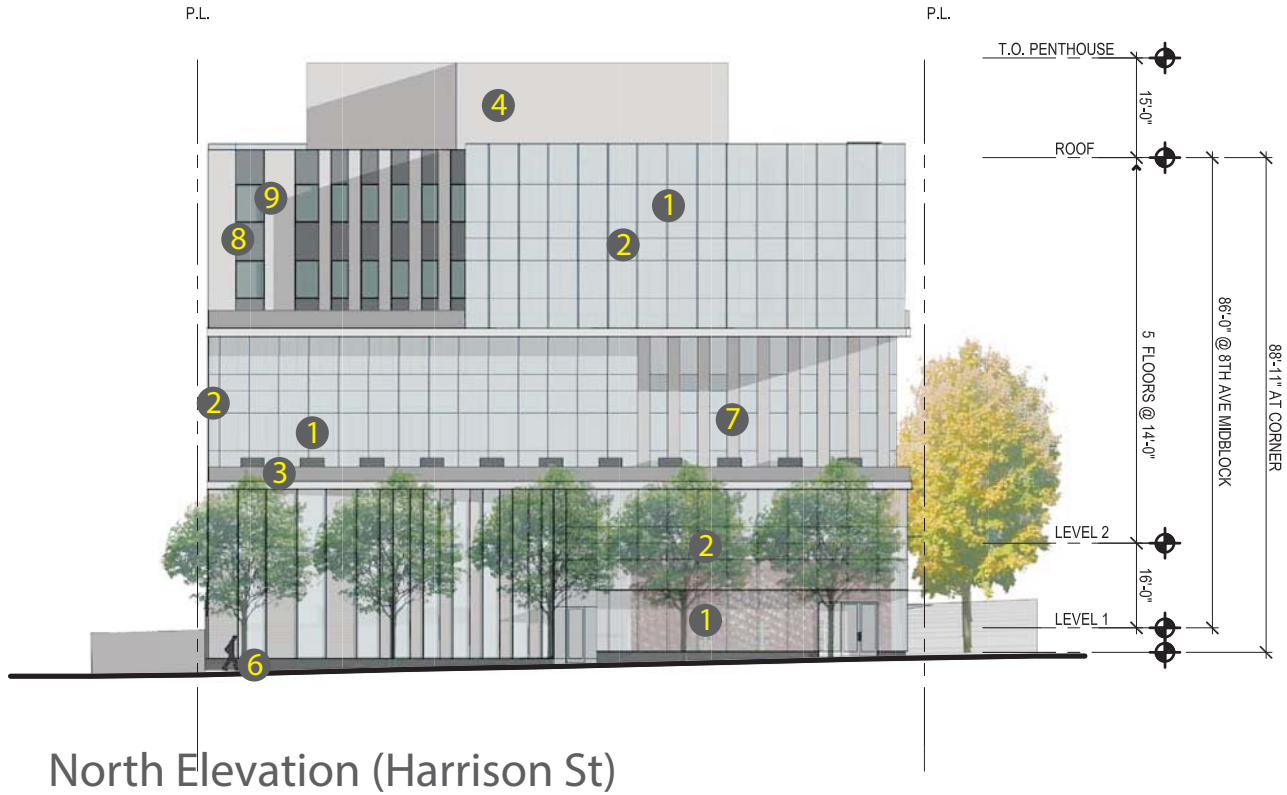
A-90 | 300- Building Elevations- 95' Proposal

300 & 333 8th Ave N  
3014981 & 3014982

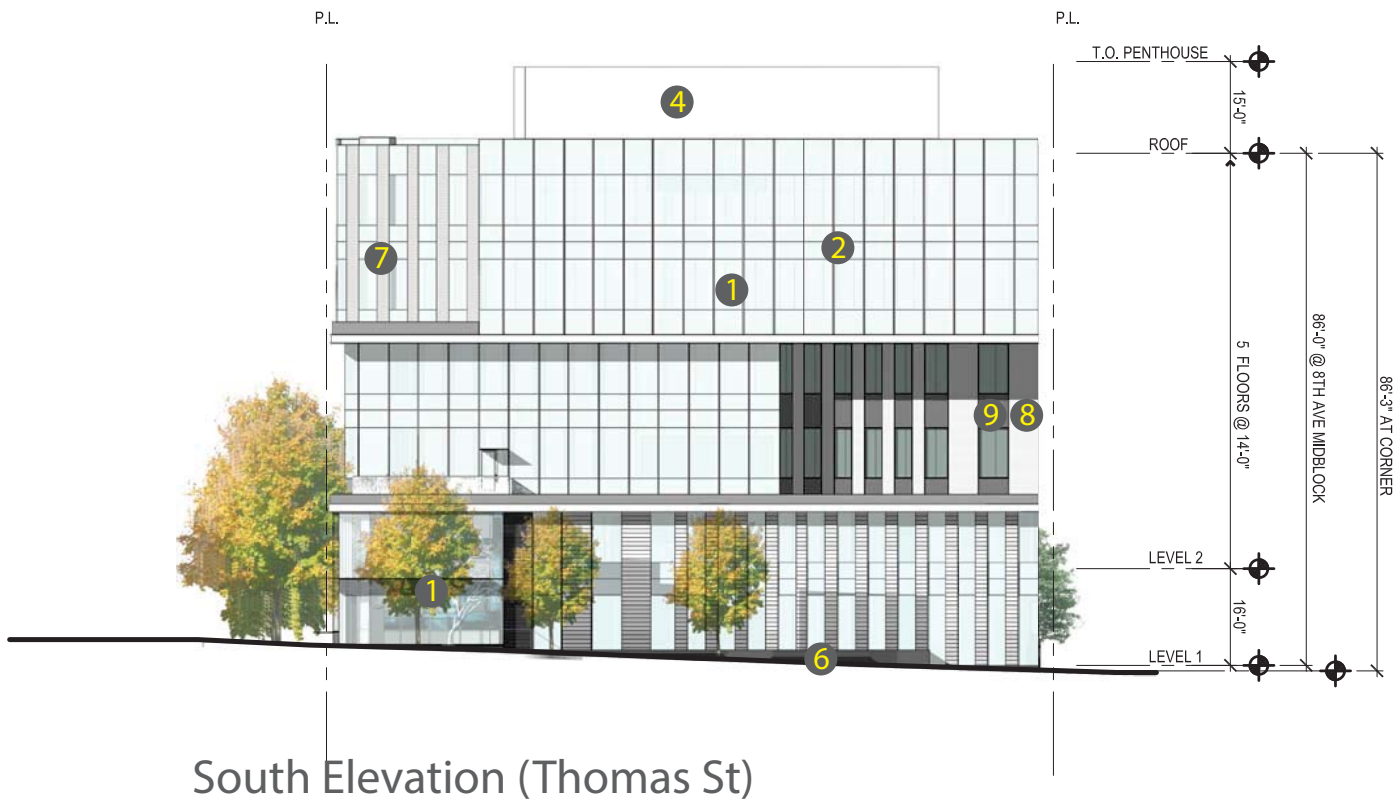
Design Recommendation  
May 21, 2014







North Elevation (Harrison St)



South Elevation (Thomas St)

Material Palette

- 1 Vision Glass
- 2 Spandrel Glass
- 3 Metal 1
- 4 Metal 2
- 5 Metal 3
- 6 Metal 4
- 7 Cement Panel Cladding
- 8 Corrugated Metal Siding
- 9 Corrugated Metal Siding
- 10 Composite Metal
- 11 Wood Planks
- 12 Cast-in-Place Concrete
- 13 Paving Units



Elevations: 333



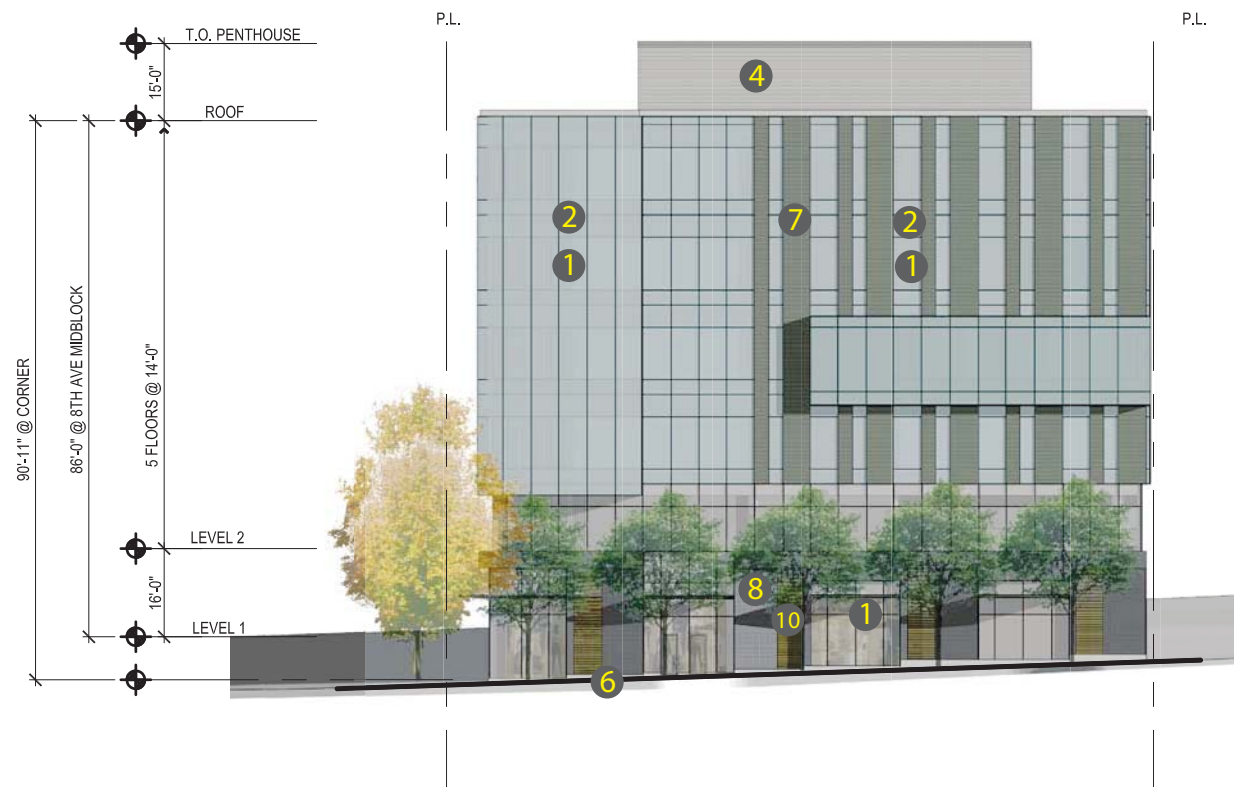
East Elevation (8th Ave N)



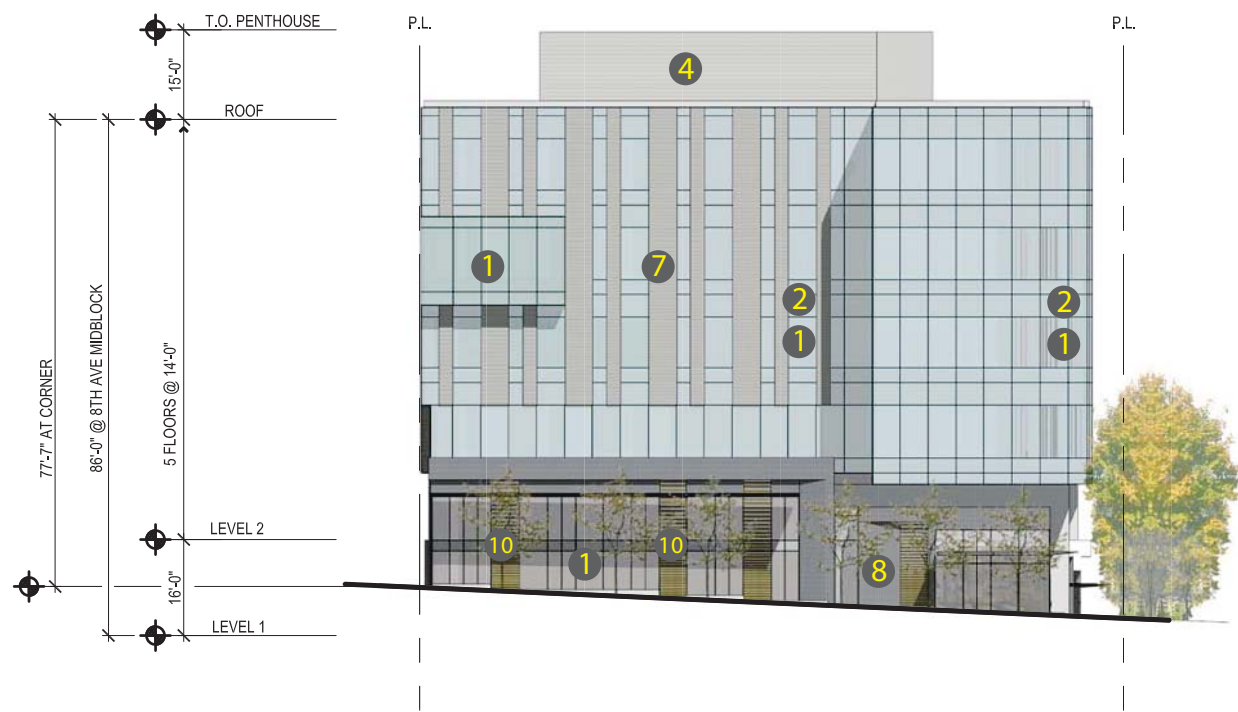
West Elevation (Alley)







North Elevation (Harrison St)

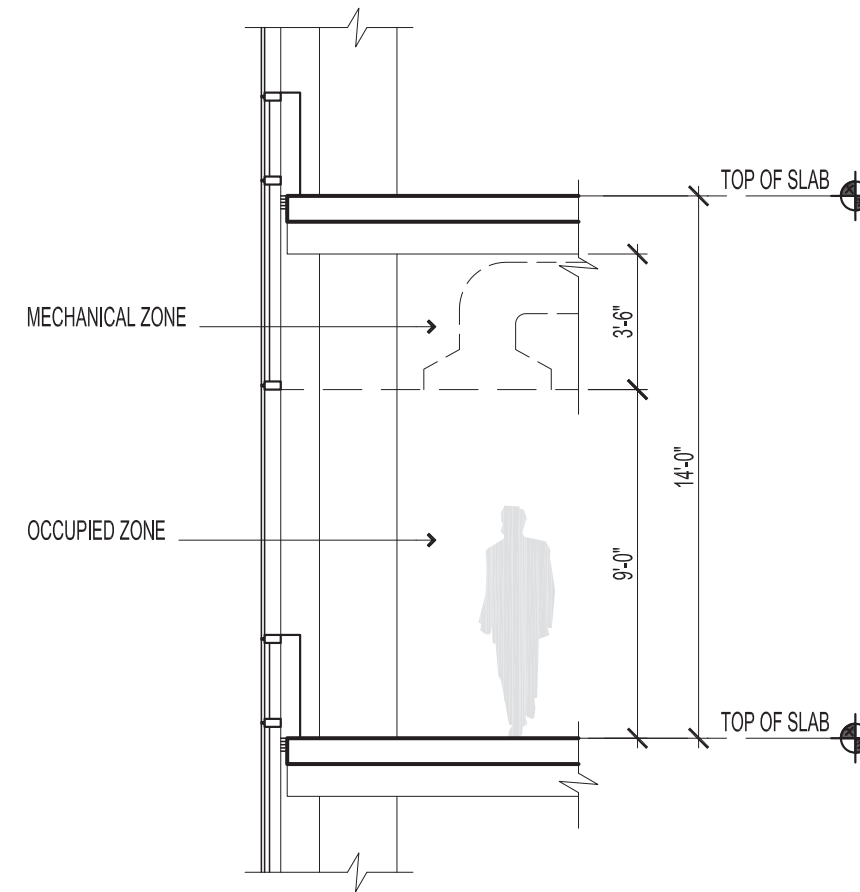


South Elevation (Thomas St)

Material Palette

- 1 Vision Glass
- 2 Spandrel Glass
- 3 Metal 1
- 4 Metal 2
- 5 Metal 3
- 6 Metal 4
- 7 Cement Panel Cladding
- 8 Brick
- 9 Composite Metal
- 10 Wood Planks
- 11 Cast-in-Place Concrete
- 12 Paving Units





## Wall Section- Increased Floor Height

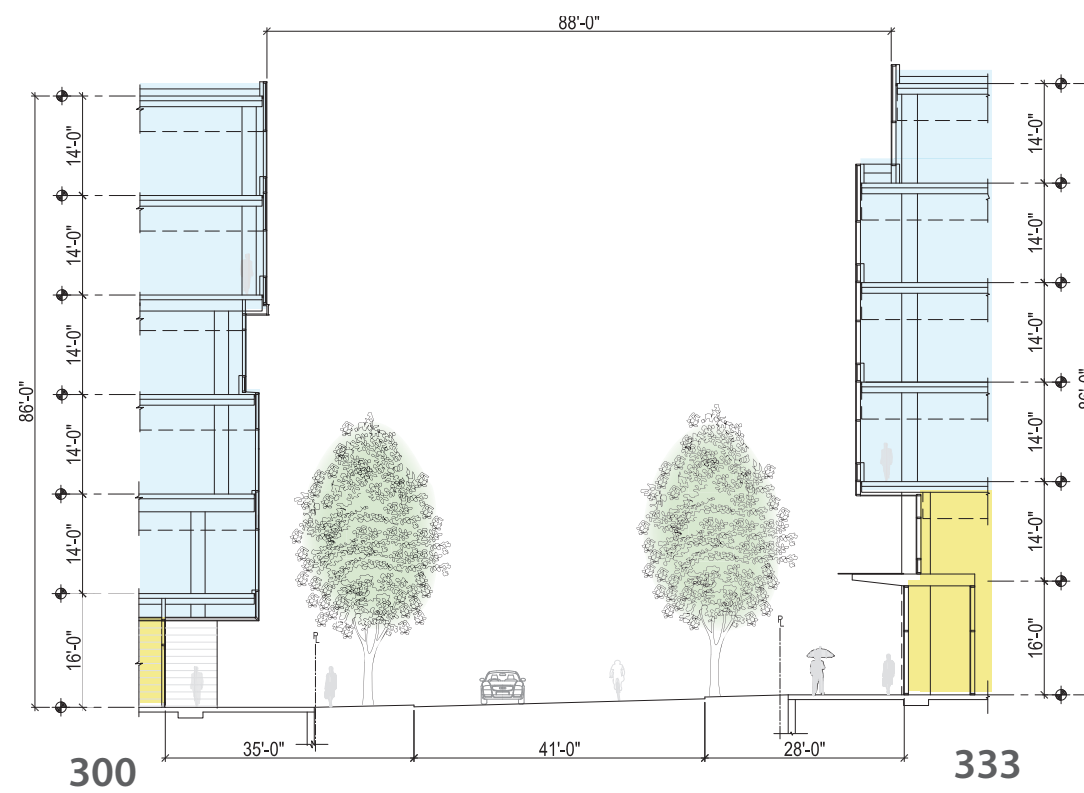
Laboratory use is one of the expected uses of the proposed buildings. This use would utilize the zoning code allowance (Seattle Municipal Code 23.48.10.B.) to increase building height allowing appropriately sized mechanical space to be implemented into taller than typical floor to floors. The section diagram illustrates a possible proportion of mechanical zone to occupied zone while utilizing the code allowance for a taller building (105' allowed, 95' proposed).







SECTION A-A



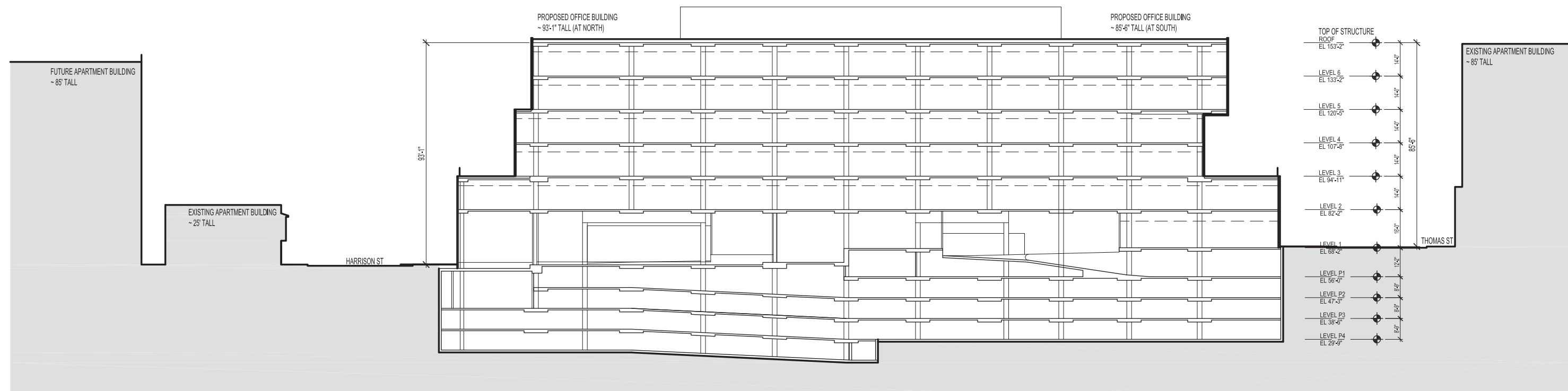
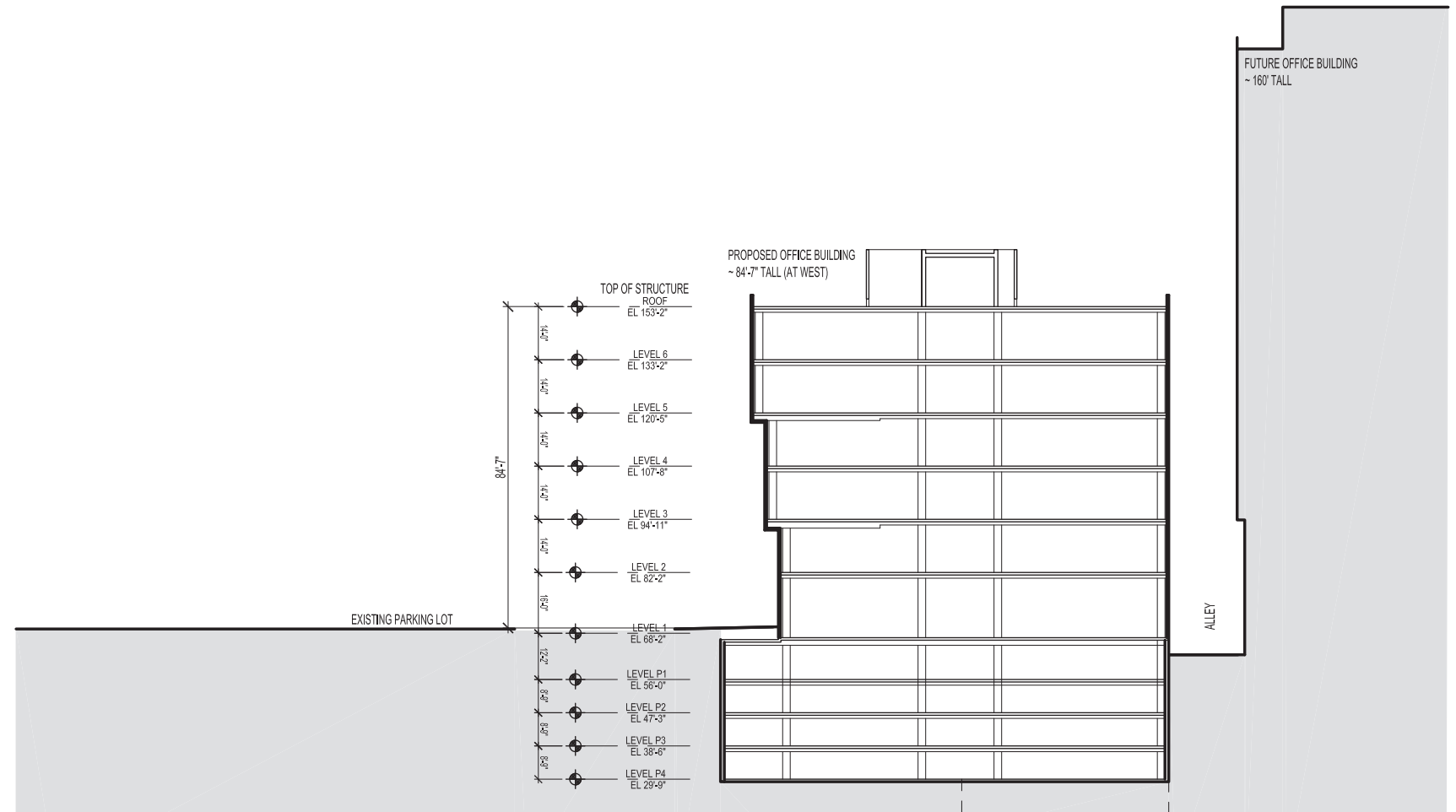
SECTION B-B



SECTION C-C





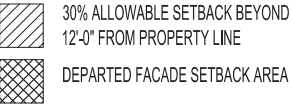
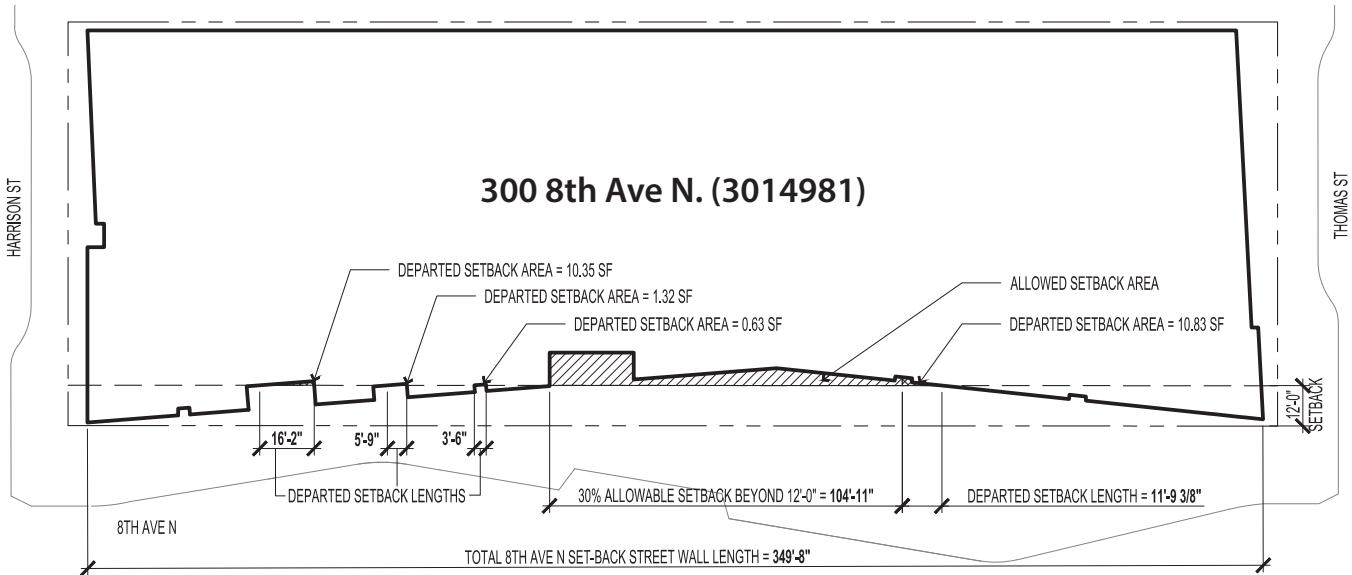








300- Departure #1 & 2:  
Street Level Setback &  
Landscape Standards



DEPARTED STREET-LEVEL SETBACK AREA CALCULATIONS  
SET-BACK STREET WALL LENGTH = 349'-8"  
ALLOWABLE SETBACK LENGTH BEYOND 12'-0" = 30% OF SETBACK STREET WALL LENGTH = 104'-11"  
PROPOSED SETBACK LENGTH BEYOND 12'-0" = 16'-2" + 5'-9" + 3'-6" + 104'-11" + 11'-9 3/8" = 142'-1 3/8"  
DEPARTED SETBACK LENGTH = 16'-2" + 5'-9" + 3'-6" + 11'-9 3/8" = 37'-2 3/8"  
DEPARTED SETBACK AREA: 10.35 + 1.32 + 0.63 + 10.83 = 23.13 SF

DEPARTED LANDSCAPE IN SETBACK AREA CALCULATIONS  
SETBACK AREA: 23.13 SF  
MAX. ALLOW. HARDSCAPE IN SETBACK @ 30% = 6.9 SF  
PROPOSED HARDSCAPE IN SETBACK: 23.13 SF

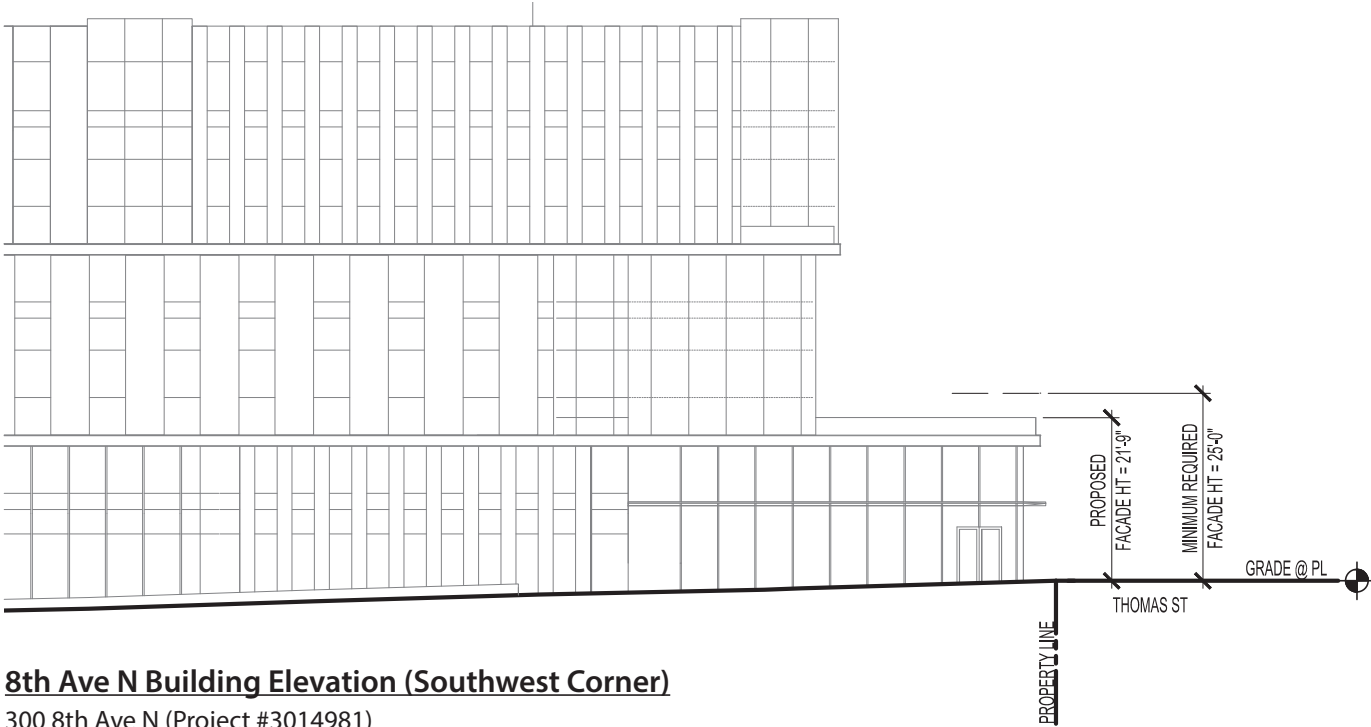
**Proposed Plan**  
300 8th Ave N (Project #3014981)

**Development Standard Departure Request**  
300 8th Ave N (Project #3014981)

Note:  
Departure Requests 1 & 2 apply to 85' Proposal, 95'  
Proposal, Woonerf Proposal, and Green Street Proposal.

Request #	SMC Development Standard	Departure Request	Proposed	How the Code Departure Better Meets Design Guidelines	Applicable Design Guidelines
1	<b>SMC 23.48.014 (D)</b> <b>General Façade Requirements</b>  <b>Section (D) Street Level Setback</b>  Street façade may be setback up to 12' from street lot line if: <ul style="list-style-type: none"><li>Landscaped per 23.48.024</li><li>Additional setbacks permitted for up to 30% of façade that are setback from street lot line as long as the additional setback is located further than 20' from any street corner.</li></ul>	Increase setback area greater than 12' from street lot line along Eighth Avenue North more than 30% of façade - SMC 23.48.014(D)	<b>Proposed façade length along Eighth Avenue North: 349'-8"</b>  <b>Proposed Façade length setback beyond 12' from street lot line: 142'-1 3/8"</b>  <b>Setback % beyond 12' from street lot line = 40.8%</b>  <b>Total area in setback area within departure request: 23.13 SF</b>	<ul style="list-style-type: none"><li>Increased building setback works in concert with similar setback proposed at structure on opposite side of 8th Avenue to create enhanced public open space</li><li>Setback is consistent with 8th Avenue design recommendations that encourages central "street room" and active uses</li><li>Larger public open space encourages active uses along 8th Avenue, including retail &amp; outdoor dining opportunities</li><li>More flexible open space (in lieu of prescribed landscaping) encourages more active street use and reinforces the concept of the open space as an extension of the greater central "street room"</li></ul>	<b>A-2: Streetscape Compatibility</b> <b>A-4: Human Activity</b> <b>A-5: Respect for Adjacent Sites</b> <b>C-1: Architectural Context</b> <b>D-1: Pedestrian Open Spaces and Entrances</b>
2	<b>SMC 23.48.024 (A)</b> <b>Screening and Landscaping Standards</b>  Each setback area shall be planted with trees, shrubs, and grass or evergreen groundcover. Features such as pedestrian access meeting the Washington State Rules and Regulations for Barrier-Free Design, decorative pavers, sculptures or fountains may cover a maximum of thirty (30) percent of each required landscaped area or berm. Landscaping shall be provided according to standards promulgated by the Director. Landscaping designed to provide treatment for storm water runoff qualifies as required landscaping.	Reduce landscape planting within setback area and provide more structured open space adjacent to building and public right-of-way	<b>The proposed setback area beyond 12' is a combination of paved hardscaping and landscaping as illustrated on the Landscape Plan L1.00. Fixed seating and decorative planting are proposed as shown</b>	<ul style="list-style-type: none"><li>The proposed integrated landscape and hardscape design extends sidewalk and ROW vocabulary from curb line to building edge.</li><li>Setback is consistent with 8th Avenue design recommendations that encourages central "street room" and active uses</li><li>Integration of fixed seating, retail terraces and occupiable spaces is more consistent with the intended residential character of 8th Avenue</li></ul>	<b>A-2: Streetscape Compatibility</b> <b>A-4: Human Activity</b> <b>A-5: Respect for Adjacent Sites</b> <b>C-1: Architectural Context</b> <b>D-1: Pedestrian Open Spaces and Entrances</b>





**8th Ave N Building Elevation (Southwest Corner)**  
300 8th Ave N (Project #3014981)

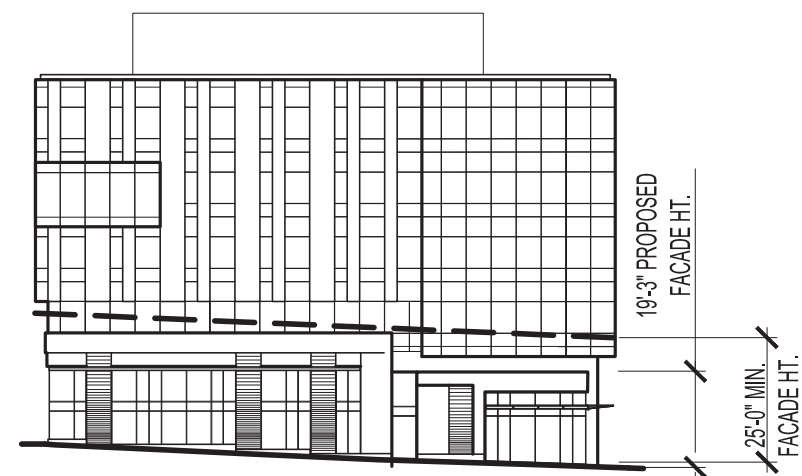
**Development Standard Departure Request**  
300 8th Ave N (Project #3014981)

Request #	SMC Development Standard	Departure Request	Proposed	How the Code Departure Better Meets Design Guidelines	Applicable Design Guidelines
3	<b>SMC 23.48.014 (B)</b> <b>General Facade Requirements</b> <b>Section (B) Minimum Façade Height</b>  On Class 2 Pedestrian Streets, all facades shall have a minimum height of 25'.	Decrease minimum façade height along Thomas Street (Class 2 Pedestrian Street) to lower than 25' as measured from grade.	<b>Proposed minimum façade height of 21'-9"</b>	<ul style="list-style-type: none"><li>Stepped façade provides appropriate scale transition to adjacent residential structures</li><li>Lower façade height allows greater access to daylight and air at 8th Avenue open space, further encouraging active street use.</li></ul>	<b>A-2: Streetscape Compatibility</b> <b>A-5: Respect for Adjacent Sites</b> <b>C-1: Architectural Context</b> <b>C-3: Human Scale</b>

Note:  
Departure Request 3 only applies to 85' Proposal, Woonerf Proposal, and Green Street Proposal.  
Departure not required on 95' Proposal



333- Departure #1 & 2  
Minimum Facade Height



Thomas St Building Elevation (Southeast Corner)  
333 8th Ave N (Project #3014982)



Harrison St Building Elevation (Northeast Corner)  
333 8th Ave N (Project #3014982)

Development Standard Departure Request  
333 8th Ave N (Project #3014982)

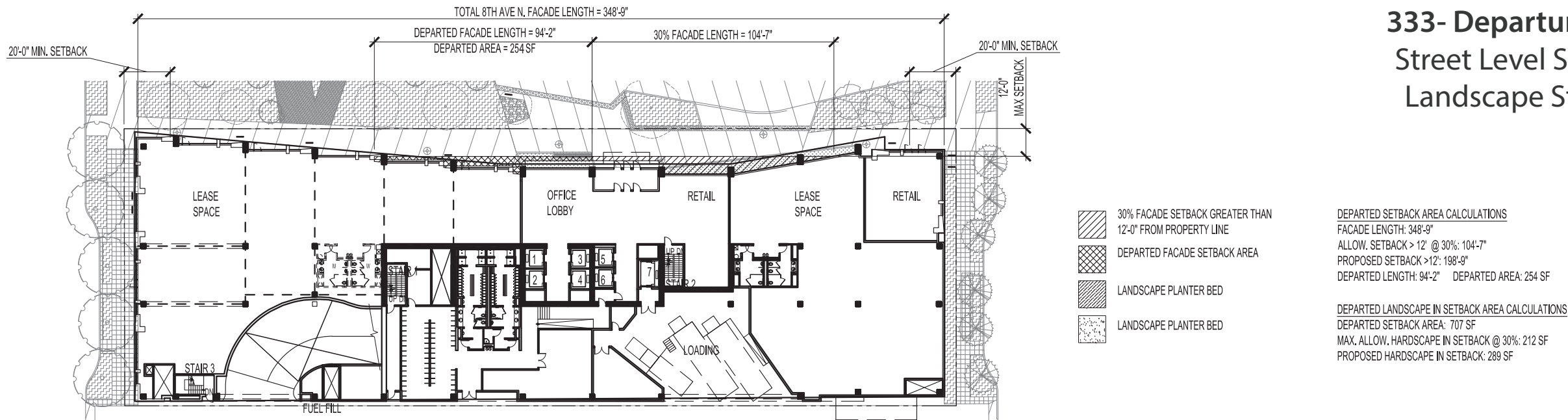
Note:  
Departure Requests 1 & 2 apply to 85' Proposal, 95' Proposal, Woonerf Proposal, and Green Street Proposal.

Request #	SMC Development Standard	Departure Request	Proposed	How the Code Departure Better Meets Design Guidelines	Applicable Design Guidelines
1	<b>SMC 23.48.014 (B)</b> <b>General Facade Requirements</b> <b>Section (B) Minimum Façade Height</b>  On Class 2 Pedestrian Streets, all facades shall have a minimum height of 25'.	Decrease minimum façade height along Thomas Street (Class 2 Pedestrian Street) to lower than 25' as measured from grade.	<b>Proposed minimum façade height of 18'-3"</b>	<ul style="list-style-type: none"><li>• Stepped façade provides appropriate scale transition to adjacent residential structures</li><li>• Lower façade height allows greater access to daylight and air at 8th Avenue open space, further encouraging active street use.</li></ul>	<b>A-2: Streetscape Compatibility</b> <b>A-5: Respect for Adjacent Sites</b> <b>C-1: Architectural Context</b> <b>C-3: Human Scale</b>
2	Same as request #1 above	Decrease minimum façade height along Harrison Street (Class 2 Pedestrian Street) to lower than 25' as measured from grade.	<b>Proposed minimum façade height of 17'-6"</b>	<ul style="list-style-type: none"><li>• Stepped façade provides appropriate scale transition to adjacent residential structures</li><li>• Lower façade height allows greater access to daylight and air at Harrison Street, further encouraging active street use at this "Heart Location"</li></ul>	





333- Departure #3 & 4  
Street Level Setback &  
Landscape Standards



Proposed Plan  
333 8th Ave N (Project #3014982)

Development Standard Departure Request  
333 8th Ave N (Project #3014982)

Note:  
Departure Requests 3 & 4 apply to  
85' Proposal, 95' Proposal, Woonerf  
Proposal, and Green Street Proposal.

3	<p><b>SMC 23.48.014 (D)</b> <b>General Façade Requirements</b></p> <p><b>Section (D) Street Level Setback</b></p> <p>Street façade may be setback up to 12' from street lot line if:</p> <ul style="list-style-type: none"><li>Landscaped per 23.48.024</li><li>Additional setbacks permitted for up to 30% of façade that are setback from street lot line as long as the additional setback is located further than 20' from any street corner.</li></ul>	<p>Increase setback area greater than 12' from street lot line along Eighth Avenue North more than 30% of façade - SMC 23.48.014(D)</p>	<p><b>Proposed façade length along Eighth Avenue North: 348'-9"</b></p> <p><b>Proposed Façade length setback beyond 12' from street lot line: 198'-9"</b></p> <p><b>Setback % beyond 12' from street lot line = 56.8%</b></p> <p><b>Total area in setback area within departure request: 254 SF</b></p>	<ul style="list-style-type: none"><li>Increased building setback works in concert with similar setback proposed at structure on opposite side of 8th Avenue to create enhanced public open space</li><li>Setback is consistent with 8th Avenue design recommendations that encourages central "street room" and active uses</li><li>Larger public open space encourages active uses along 8th Avenue, including retail &amp; outdoor dining opportunities</li><li>More flexible open space (in lieu of prescribed landscaping) encourages more active street use and reinforces the concept of the open space as an extension of the greater central "street room"</li></ul>	<p><b>A-2: Streetscape Compatibility</b></p> <p><b>A-4: Human Activity</b></p> <p><b>A-5: Respect for Adjacent Sites</b></p> <p><b>C-1: Architectural Context</b></p> <p><b>D-1: Pedestrian Open Spaces and Entrances</b></p>
4	<p><b>SMC 23.48.024 (A)</b> <b>Screening and Landscaping Standards</b></p> <p>Each setback area shall be planted with trees, shrubs, and grass or evergreen groundcover. Features such as pedestrian access meeting the Washington State Rules and Regulations for Barrier-Free Design, decorative pavers, sculptures or fountains may cover a maximum of thirty (30) percent of each required landscaped area or berm. Landscaping shall be provided according to standards promulgated by the Director. Landscaping designed to provide treatment for storm water runoff qualifies as required landscaping.</p>	<p>Reduce landscape planting within setback area and provide more structured open space adjacent to building and public right-of-way</p>	<p><b>The proposed setback area beyond 12' is a combination of paved hardscaping and landscaping as illustrated on the Landscape Plan L1.00. Fixed seating and decorative planting are proposed as shown</b></p>	<ul style="list-style-type: none"><li>The proposed integrated landscape and hardscape design extends sidewalk and ROW vocabulary from curb line to building edge.</li><li>Setback is consistent with 8th Avenue design recommendations that encourages central "street room" and active uses</li><li>Integration of fixed seating, retail terraces and occupiable spaces is more consistent with the intended residential character of 8th Avenue</li></ul>	<p><b>A-2: Streetscape Compatibility</b></p> <p><b>A-4: Human Activity</b></p> <p><b>A-5: Respect for Adjacent Sites</b></p> <p><b>C-1: Architectural Context</b></p> <p><b>D-1: Pedestrian Open Spaces and Entrances</b></p>



Begin Appendix



GRAPHITE

A-102

300 & 333 8th Ave N  
3014981 & 3014982

Design Recommendation  
May 21, 2014



VULCAN

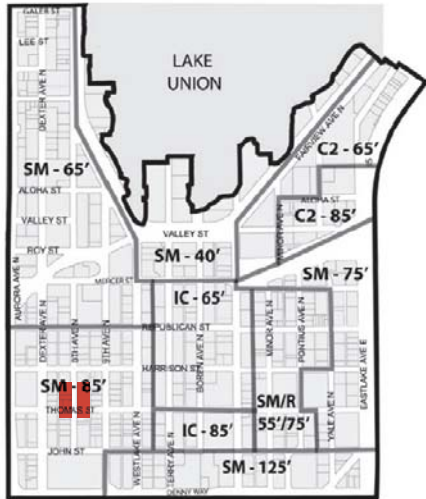


Zoning Analysis

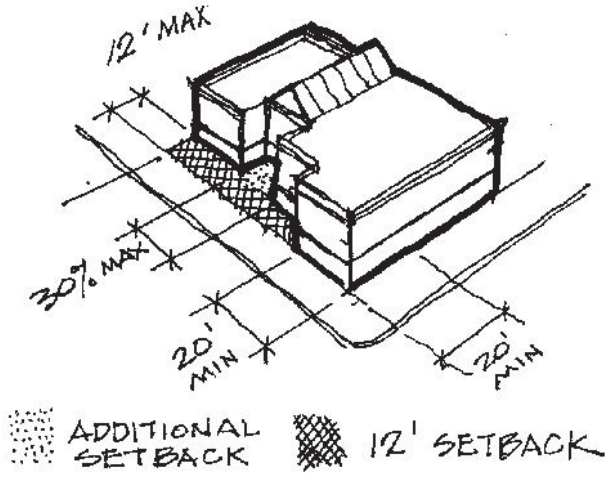
(Note: These projects are being reviewed under the previous SMC 23.76.026 C2 code.)

Addresses:	300 & 333 8th Avenue N 98109
DPD Project Numbers:	3014981 & 3014982
King County Parcel No. :	199120-1150, 199120-1187, 199120-1190, 199120-1195, 199120-1200, 199120-1295
Zone:	SM-85
Zone Overlay:	Lake Union Urban Center
Permitted Uses:	Commercial and Residential and others unless prohibited by SMC 23.48.006
Street Classifications:	Class 2 Pedestrian Streets (Thomas and Harrison Streets)
Street Level Uses:	No requirements for Class 2 Pedestrian Streets
Base FAR:	4.5
Maximum FAR:	5 (Maximum FAR permitted only for designated laboratory and research facility uses (SMC 23.48.017))
Uses Exempt from FAR:	1) All GFA below grade; 2) All GFA used for accessory parking located above grade; 3) All GFA in residential use; 4) GFA occupied by mechanical equipment, up to a maximum of 15%; 5) Rooftop mechanical equipment
Base Height Limit:	85'
Maximum Height Limit:	105' 105' Height permitted only if the following criteria are met: 1) At least two levels have floor-to-floor heights of 14', and 2) The additional height is used to accommodate mechanical equipment, and 3) The additional height permitted does not allow more than seven floors in zones with a 85 foot height limit, and 4) The height limit provisions of Section 23.48.016.A.1.b are satisfied.
Rooftop Features:	Parapets may extend up to 4 feet above the maximum height limit. Solar collectors may extend up to 7 feet above the maximum height limit with unlimited coverage. Rooftop features (penthouses, mechanical equipment, etc...) may extend up to 15 feet above maximum height limit up to a combined coverage limit of 25%. Rooftop features may cover up to a combined coverage limit of 65% provided that all mechanical equipment is screened and no feature is located closer than 10 feet from the roof edge.

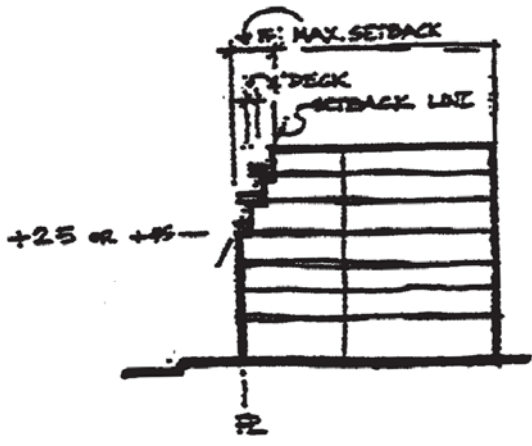
Setbacks:	Above 45', 1' setback is required for every 2' of vertical dimension to a maximum of 15' along Thomas and Harrison Streets.
Parking Requirement:	Commercial: 1 space for each 1000 square feet Access to parking is required to be from alley
Bicycle Parking Requirement:	Commercial: 1 per 12,000 square feet
Loading Requirement:	3 Berths (160,001 to 264,000 SF office use) Minimum 35' length Access to loading is required to be from alley
Façade Height requirement:	On Class 2 pedestrian Streets all facades shall have a minimum height of 25 feet (Thomas and Harrison).
Transparency Requirement:	Minimum of 60% of the width of street level façade must be transparent between 2 and 8 feet above side walk on Class 2 pedestrian streets (Thomas and Harrison).
Blank Façade Requirement:	Blank facades shall be limited to segments 15 feet wide. Blank façade width may be increased to 30 feet is the Director determines that the façade is enhanced by architectural detailing, artwork, landscaping, or other similar features that have visual interest.



Vested Zoning: SM-85'



Street-Level Setback





**Site Area (300 8th Ave N):**

43,097 SF with approximately 360 feet of frontage on 8th Avenue North and 120 feet of frontage on Harrison and Thomas Streets. The site borders an alley along its east boundary.

**Topography:**

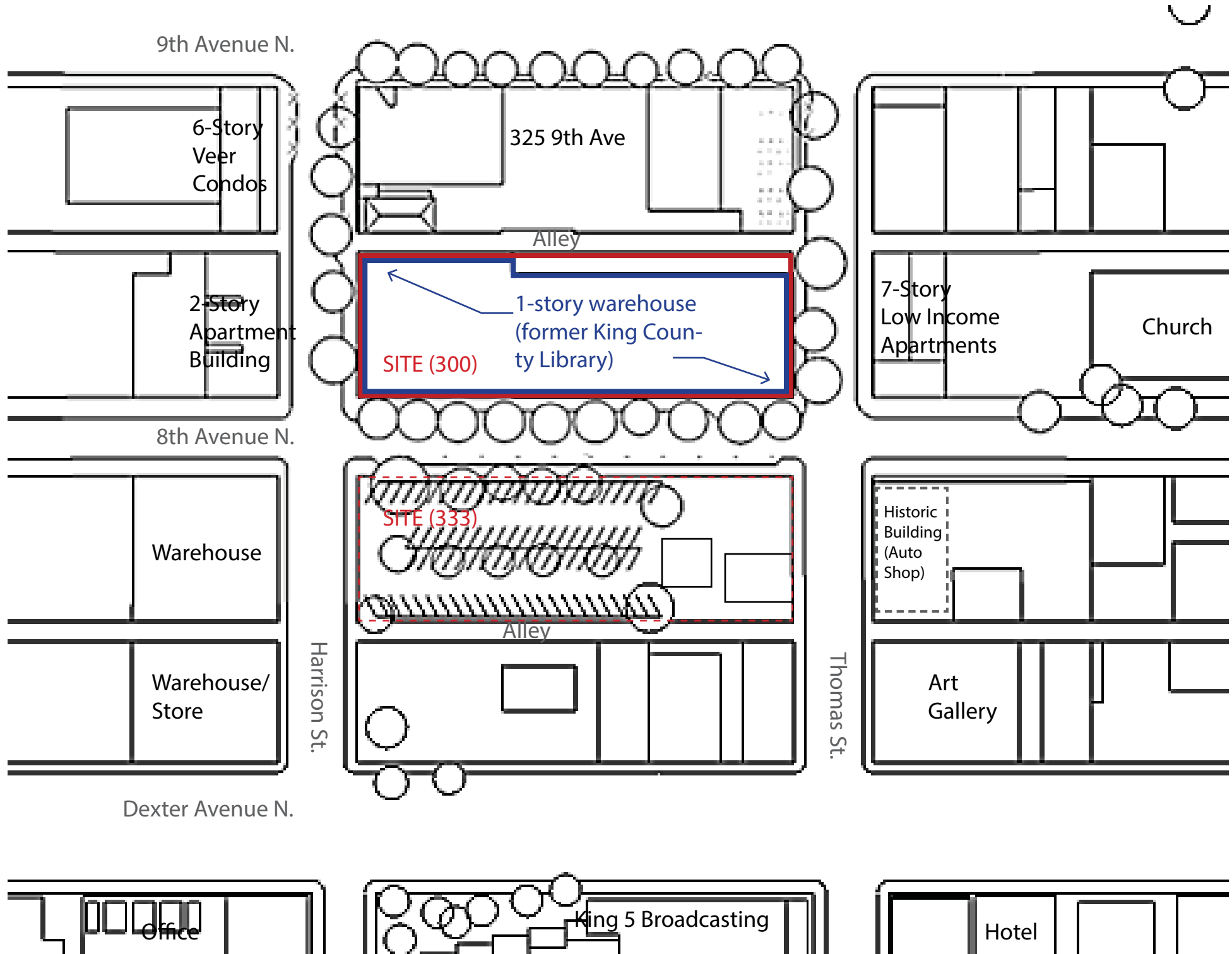
The site slopes from a low point of elevation 50.0' on the North-East corner to a high point of elevation 62.0' on the South-West corner of the site.

**Tree Survey:**

There are no exceptional trees located within the site boundary. Large street trees are located on 8th Avenue North. The trees identified are sweet gum trees and are documented on the survey. See Large Tree Locations & Sizes diagram (Sheet A-7) for more info.

**Existing Buildings:**

A warehouse and former King County Library Building of approximately 44,000 SF.





**Site Area (333 8th Ave N):**

43,097 SF with approximately 360 feet of frontage on 8th Avenue North and 120 feet of frontage on Harrison and Thomas Streets. The site borders an alley along its west boundary.

**Topography:**

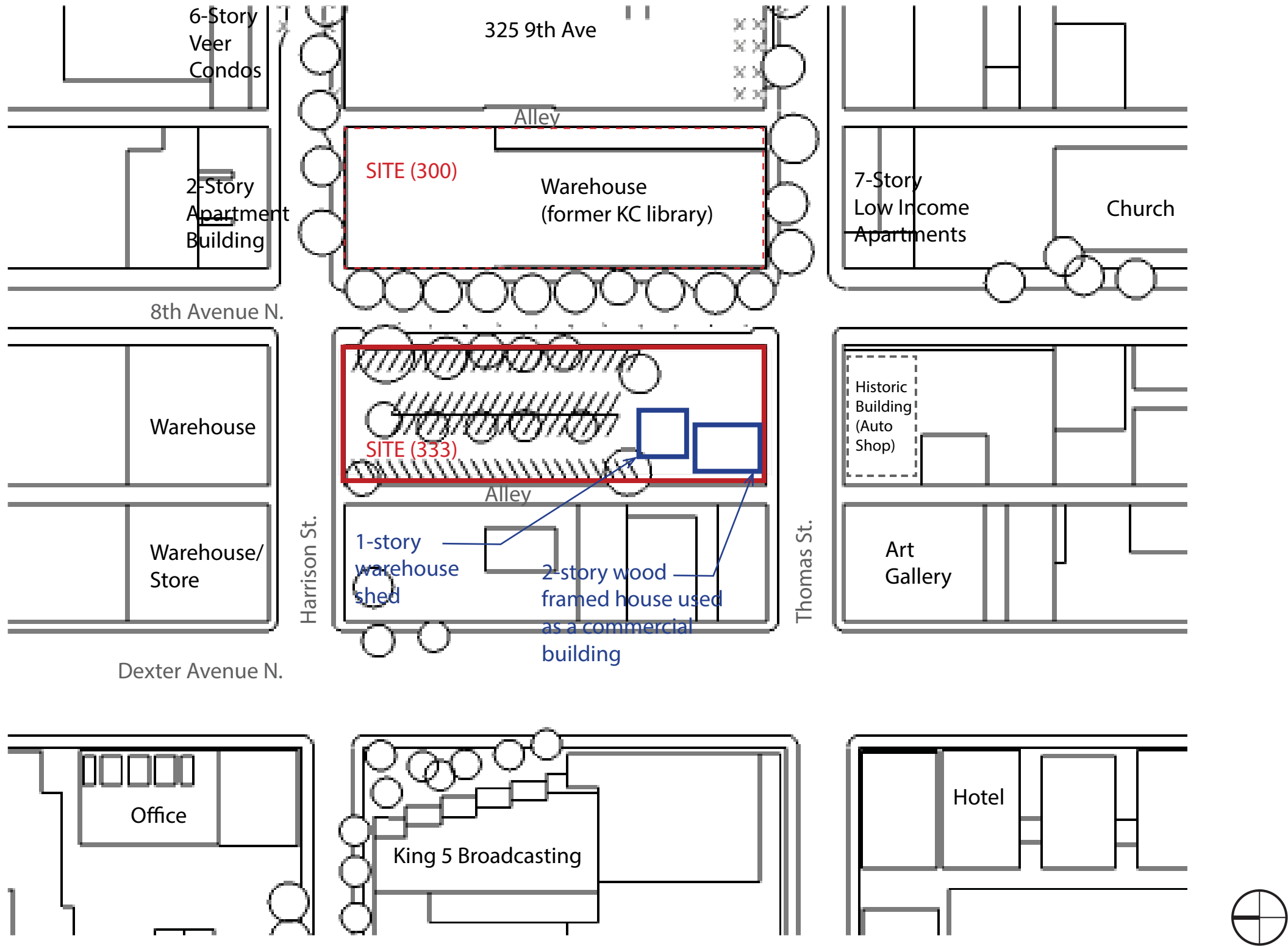
The site slopes from a low point of elevation 56.0' on the North-East corner to a high point of elevation 68.0' on the South-West corner of the site.

**Tree Survey:**

There are no exceptional trees located within the site boundary. Large street trees are located on 8th Avenue North. The trees identified are sweet gum trees and are documented on the survey. See Large Tree Locations & Sizes diagram (Sheet A-7) for more info.

**Existing Buildings and Site Elements:**

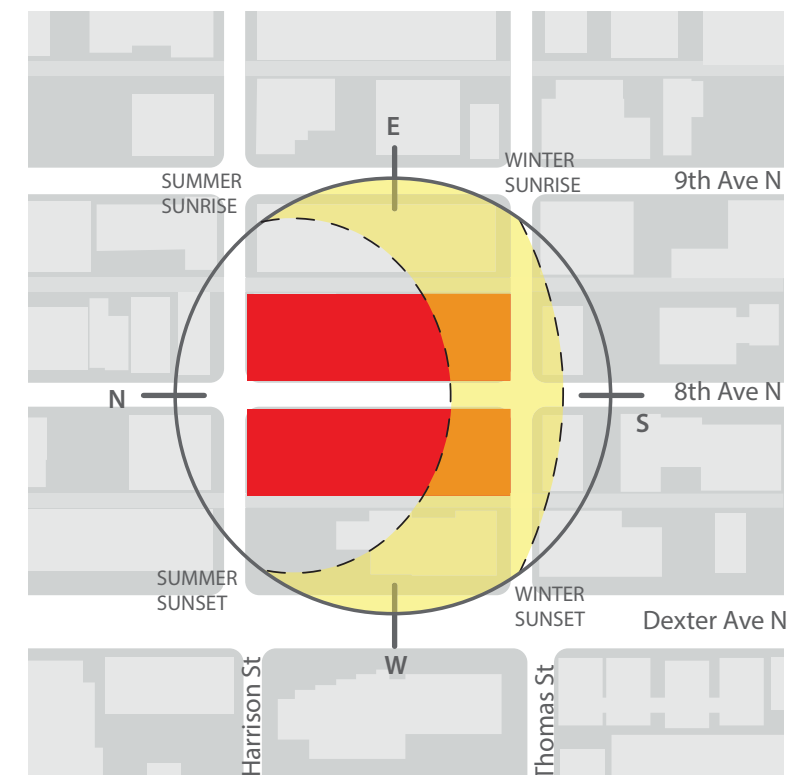
The site has an existing 80 stall surface parking lot, a 2-story wood frame service building and a 1-story 1225 SF warehouse.



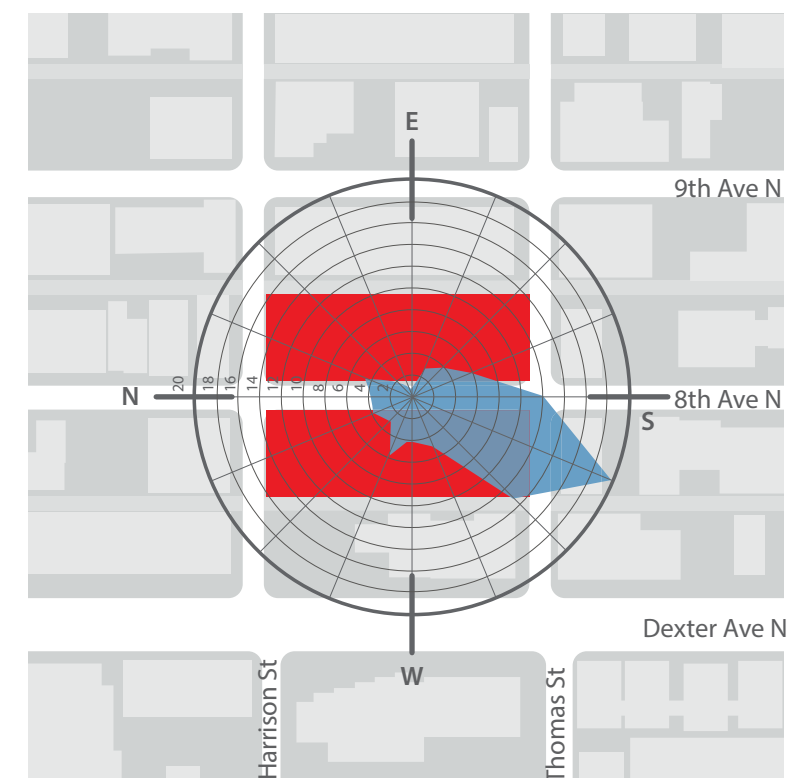




Views and Topography 



Solar Path



Wind (Yearly Average Direction %)



**GRAPHITE**

**A-106** | Environmental Analysis

300 & 333 8th Ave N

3014981 & 3014982

Design Recommendation

May 21, 2014





South Lake Union Street Concept  
(Street Character)

Per SOUTH LAKE UNION STREET CONCEPT PLANS  
Prepared for City of Seattle, April 2013 by:  
Weinstein A|U, CMG Landscape Architecture, CPL  
Civil Engineers

- 8th Ave N**
- Woonerf (Shared Street)
  - Pedestrian/bicycle emphasis
  - May restrict access to deliveries and emergency vehicles

- Thomas St**
- Green Street
  - Encourages bicycle/pedestrian
  - Substantial street tree canopy

- Harrison St**
- Mixed-Use Street
  - Transit route
  - Standard landscape

- BOULEVARD
- MIXED USE
- SHARED USE STREET (WOONERF)
- GREEN STREET
- FESTIVAL STREET



Image Credit:  
SOUTH LAKE UNION STREET CONCEPT PLANS  
Prepared for City of Seattle, April 2013 by:  
Weinstein A|U, CMG Landscape Architecture, CPL civil engineers

