

400 9th Ave North
Design Recommendation Package

West Design Review Board
August 28, 2013
DRB Project # 3014653



Project Information

Property Address 400 9th Avenue North
Seattle, Wa 98109

DPD project Number 3014653

Owner City Place VII
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Seattle, Wa 98104
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Development Objectives The applicant proposes to demolish an existing single story commercial building and replace with a new 12-story building with a total chargeable area of 312,459 sf. Office and accessory use will total 294, 912 sf. 3,083 sf of non-chargeable ground floor retail will be provided. Additionally the project will have 4 levels of below grade parking ,which will cover the entire site, for a total of 429 parking spaces. 14,002 sf of parking Level A is also chargeable to the FAR total. Public open space will be provided at the corner of 9th Ave. N. and Harrison St. with a total area of 7,622 sf. Automobile entry will be provided off the alley on the west side of the site along with 4 loading berths and building trash and recycling facilities.

Urban Design Analysis
9-Block Axonometric Diagram

The site is located within the South Lake Union Urban Center. The site is on the west side of the block bounded by Ninth Ave North, Westlake Ave North, Republican St and Harrison St.

The site can be accessed easily by public transportation including bus and streetcar, as well as by autos and pedestrians. The streetcar line runs half block east of the site along Westlake and the closest streetcar stop is on Westlake just south of Mercer. Regular bus services passes near the site and runs north-south along Fairview and Dexter and east-west along Denny. Bike lanes are located along Dexter Avenue. The site is also accessible to I-5 via Mercer Street and also SR99 which is located 3 blocks to the west. When the new SR-99 project is constructed, traffic from Pioneer Square will exit onto Republican Street. Access to North bound and South bound SR-99 will be from Harrison Street.



Urban Design Analysis
9-Block Axonometric Diagram

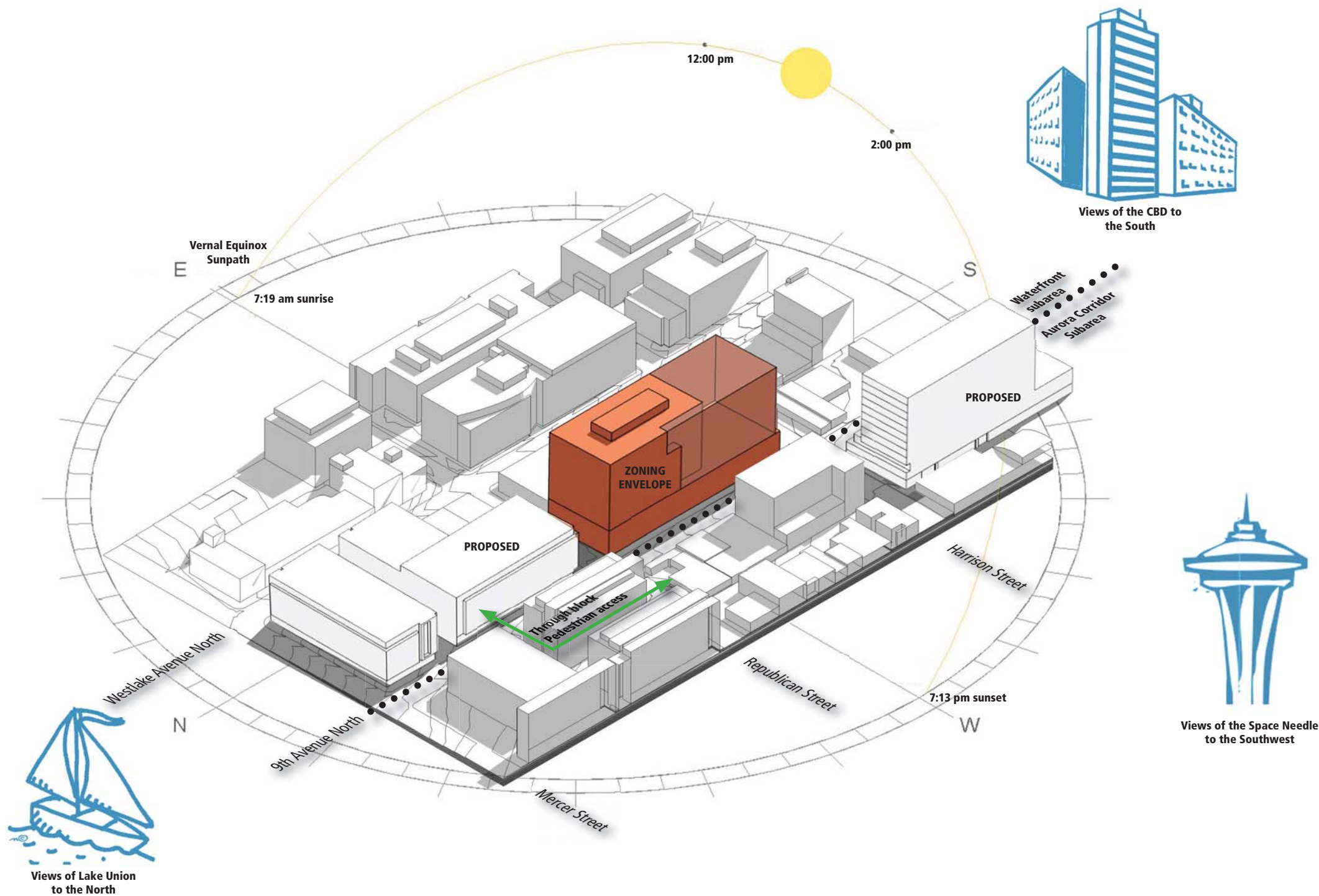
The axonometric and following narrative provide design cues that can be gleaned to develop design alternatives.

Sun path:
The site orients the building in a north south direction with the highest average amount of sun falling on the west side of the building throughout the work hours of a day.

Significant Views from site:
Significant Views include upper level partial views of Lake Union to the North, the Space Needle to the Southwest and the down town CBD to the South.

South Lake Union subareas:
9th Avenue North divides the South Lake Union subareas of "Aurora Corridor" to the west and 'Waterfront' to the East. The Aurora Corridor subarea is characterized by mixed use with primarily residential and retail. The Waterfront subarea is characterized by mixed use commercial, office, research and retail.

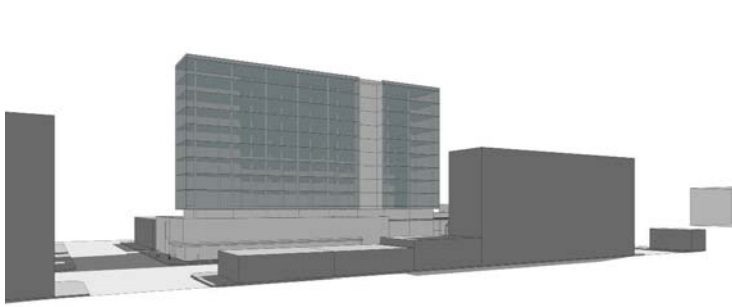
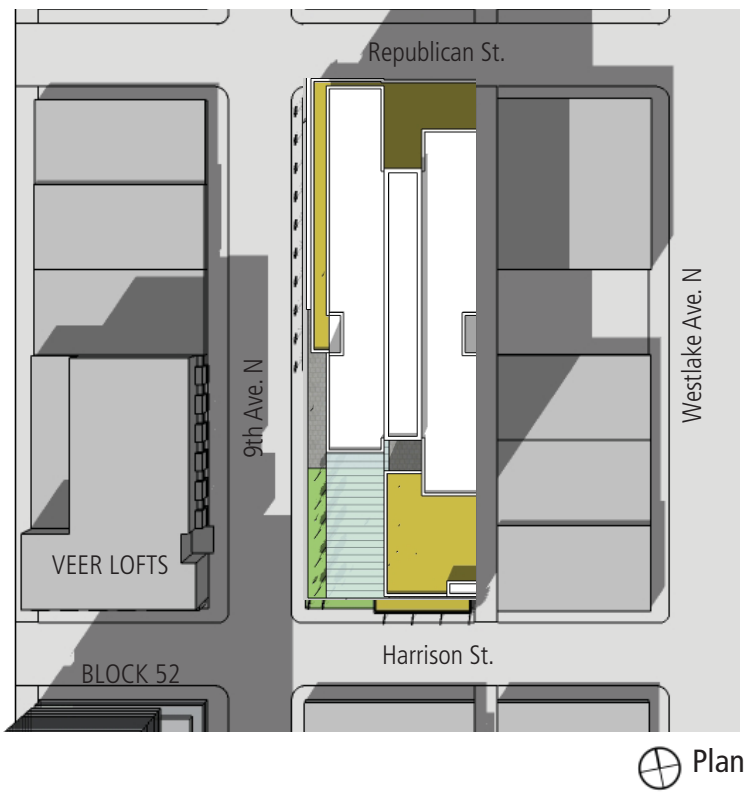
Through block connections:
Recent developments of South Lake Union are enhanced with through block connections and alleys designed for pedestrian use, such as at the University of Washington School of Medicine Phase 2 and Amazon Phases 1A, 3, 4 and 6 (under construction)



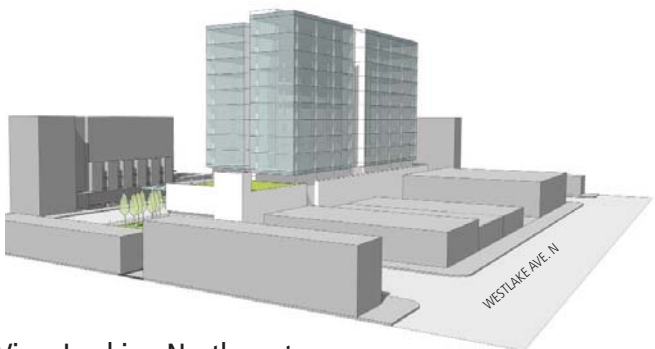
EDG Preferred Scheme
Approved 3/13

Feasible Architectural Concepts
Preferred Scheme _ "Split Bar"

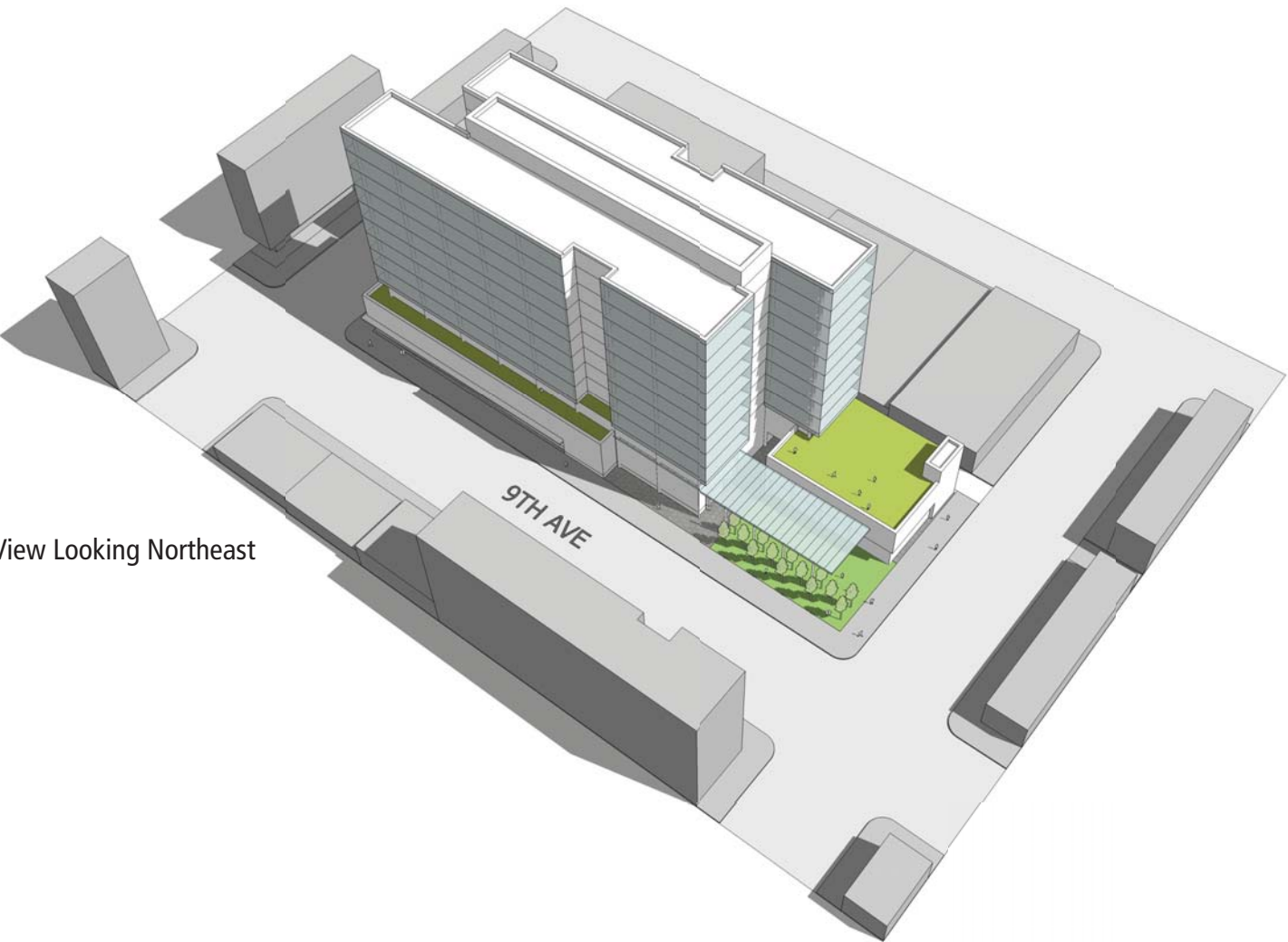
- Pros:**
- 1. The shifting of the split bars creates 180 degree+ views to both Lake Union, the downtown skyline and the Space Needle through a preserved view corridor.
 - 2. The form of the building allows for efficient planning.
 - 3. The open public space at the corner of 9th Ave & Harrison St (SW corner) relates to the surrounding context of the street garden at Veer Lofts and Block 54 (DPD# 3014639).
 - 4. The southwest orientation of the open public space promotes pedestrian activity into (and potentially through) the site and promotes maximum daylight for interior and exterior spaces alike.
 - 5. The manipulation of the multiple slender bars allow for modulation on the north facade reduces the building mass and provides a desirable urban presence along Republican St.



View Looking Southeast



View Looking Northwest



View Looking Northeast

1	2	3
Site Planning and Development Scale (A5, B1, C1, C2)	Open Space Mid-Block and Landscape Development (A1, A4, A10, D10, E2)	Building Character and Podium Scale (A2, C3, C4, D1, D2, D7, D8, E1)
<ul style="list-style-type: none">• Strong support for locating the tower at the northern portion of the site;• Strong support for the massing at the podium level and the responsiveness to adjacent and historical context (Tesla, Veer Lofts, historical “character” buildings); <hr/> <ul style="list-style-type: none">• Recommend providing a variety of articulation along 9th Ave N to ensure the block and facade do not feel too long;• Recommend the pedestrian environment along 9th Ave N allows for flexibility of future use and provides a variety of pedestrian interactions at this edge.	<ul style="list-style-type: none">• Strong support for the provision of open space at the sunny SW corner of the site;• Strong support for the seamless quality of the open space and the transition from public to private property (inclusive open space); <hr/> <ul style="list-style-type: none">• Recommend providing spatial signals that both the alley and the mid-block connection (using the alley to connect to future development) are public space and open around the clock.• Concern that any public canopy not overwhelm the public space and discourage use or passage through the public garden.• Ensure public safety and engagement at the ground plane (especially lighting) while taking into account glare issues for neighboring development.• Concern that concept consistency will be maintained. Ensure that the material “stitch” across different elements is legible.	<ul style="list-style-type: none">• Strong support for the massing at the podium level and the responsiveness to adjacent and historical context (Tesla, Veer Lofts, historical “character” buildings); <hr/> <ul style="list-style-type: none">• Recommend providing “a sense of safety and refuge for the pedestrian (and bicyclists) at the corner of 9th Ave N. and Republican St., a busy street and bound to get busier.”• Recommend providing “a more discernible sense of rhythm along the ground floor at 9th Ave N., providing for better pedestrian experience at the building.”• Recommend providing a “greater modulation at street level along 9th Ave N., greater transparency and provide for additional (if future) knockouts/entries along that face of the building.”

1
Site Planning and Development Scale
(A5, B1, C1, C2)

- Strong support for locating the tower at the northern portion of the site;
- Strong support for the massing at the podium level and the responsiveness to adjacent and historical context (Tesla, Veer Lofts, historical “character” buildings);
- Recommend providing a variety of articulation along 9th Ave N to ensure the block and facade do not feel too long;
- Recommend the pedestrian environment along 9th Ave N allows for flexibility of future use and provides a variety of pedestrian interactions at this edge.

Summary Response to South Lake Union Design Guideline:

A-5 | Respect for Adjacent Sites ☒ B-1 | Height, Bulk, and Scale Compatibility ☒ C-1 | Architectural Context ☒

Buildings should respect adjacent properties by being located on their sites to minimize disruption of the privacy and outdoor activities of residents in adjacent buildings.

The massing responses to the Veer Lofts and to the Tesla building across the alley were positive moves on the part of the design team.

The proposed scheme uses a two-story podium along 9th Ave N and at the public garden space at the southwest corner in order to provide justifies the building tow a massing buffer to the City Hardware and Veer Lofts buildings. A portion of the podium at Republican St. is held at two levels to afford the same connection at the historic Tesla building. In addition, the tower has been justified to the north to further enhance this buffer.

C-2 | Architectural Concept and Consistency ☒

Building design elements, details and massing should create a well-proportioned and unified building form and exhibit an overall architectural concept. Buildings should exhibit form and features identifying the functions within the building. In general, the roof line or top of the structure should be clearly distinguished from its facade walls.

At the Early Design Guidance Meeting the Board discussed the need to create a unified building that provided a synthesis between the podium, pavilion and office tower and thought the model in particular indicated a clear indication of moving in the direction of this desired synthesis.

The building podium and tower both employ a dynamic language of “slipped” volumes which suggest strong movement within the massing. This has been reinforced within the detailing at both the tower and podium by stitching materials from the tower into the podium language. At a macro level, program such as the retail pavilion (within the character building at the SW corner), the main building entrance and lobby (off the open space), and elevator lobbies (at “notch within tower mass) at tower office floors are all indicated in massing and with a differentiation of detailing.

Projects should be compatible with the scale of development anticipated by the applicable Land Use Policies for the surrounding area and should be sited and designed to provide a sensitive transition to near-by, less intensive zones. Projects on zone edges should be developed in a manner that creates a step in perceived height, bulk, and scale between anticipated development potential of the adjacent zones.

The Board agreed that the best strategy was shifting the bulk of the building to the north on the site while stepping the major mass of the building back from Harrison Street as well as setting the west facade back from 9th Avenue N. as proposed. The Board expressed a willingness to recommend approval of the departures requested from modulation restrictions along the 9th Avenue facade provided the seam between the tower and base was maintained and that the design team return with a more fully developed and convincing presentation of the podium level along 9th Avenue N., one that addressed concerns expressed about the impressions given of an unfriendly planer wall, lacking in variation, flexibility for future moves and for providing positive interactions with the pedestrian realm along the 9th Avenue sidewalk.

In addition to the massing moves described above, the design team has articulated the building in a way that provides distinct zones along 9th Ave. N. and Republican St. that vary the pedestrian experience and support existing and future development along these boundaries. At 9th Ave. N., the block has been broken into 3 major zones (from south to north - the public open space at the SW corner, the garden buffer and “stoop” connection which provides additional landscape buffer directly across from the VEER loft walk-up units and then the urban edge rounding the intersection at 9th Ave. N. and Republican St.). The building massing and articulation supports these zones by providing different volumes that pull back to provide a cue for where the public lobby and vertical circulation take place within the building. The lower level curtainwall framing along 9th Ave. N. provides multiple points of entry and varies to in its texture, and density (using fins and different modules of 30” and 60”) to provide differentiation along this edge. At Republican St., the podium massing has been broken into both two level and three level massing to further the variation.

New buildings proposed for existing neighborhoods with a well-defined and desirable character should be compatible with or complement the architectural character and siting pattern of neighboring buildings.

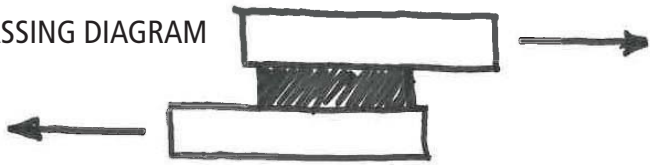
At the Early Design Guidance Meeting, the Board acknowledged that the preferred design embodied a desirable sense of deference both to the Veer Lofts and block of lower structures across Harrison Street to the south.

See response to Design Guideline A-1 for comment on massing. In addition, the materials chosen for the project seek to further integrate the project into both the past and present urban context of South Lake Union. The materials have been chosen for natural coloration and patina and no specific color accents have been chosen. The intention is for the podium to be rich with natural textural, color and detail and allow the building to tie into the existing context and age gracefully. The tower is detailed with the same level of craft but with a lighter, softer palette while still maintaining a crafted expression. Glass cladding with exposed fasteners have been chosen instead of curtainwall to give a more articulated feel to the tower. These details pull through the podium to help stitch these ideas together at the pedestrian realm.

Design Concept
"The Stitch"

CONCEPT SKETCHES

MASSING DIAGRAM



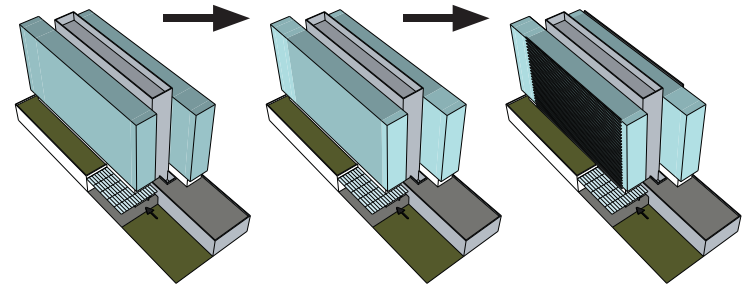
The concept uses a split bar massing that serves multiple purposes:

- The split bar gestures north toward the waterfront and south toward downtown Seattle, stitching together these landmark moments within the city;
- The split bar maximizes daylighting within the office tower while providing 180 degree views at the north and south where views are most dramatic. This move also takes advantage of a preserved view corridor to the Space Needle at the south end of the site;
- The massing minimizes the building bulk along all property edges;

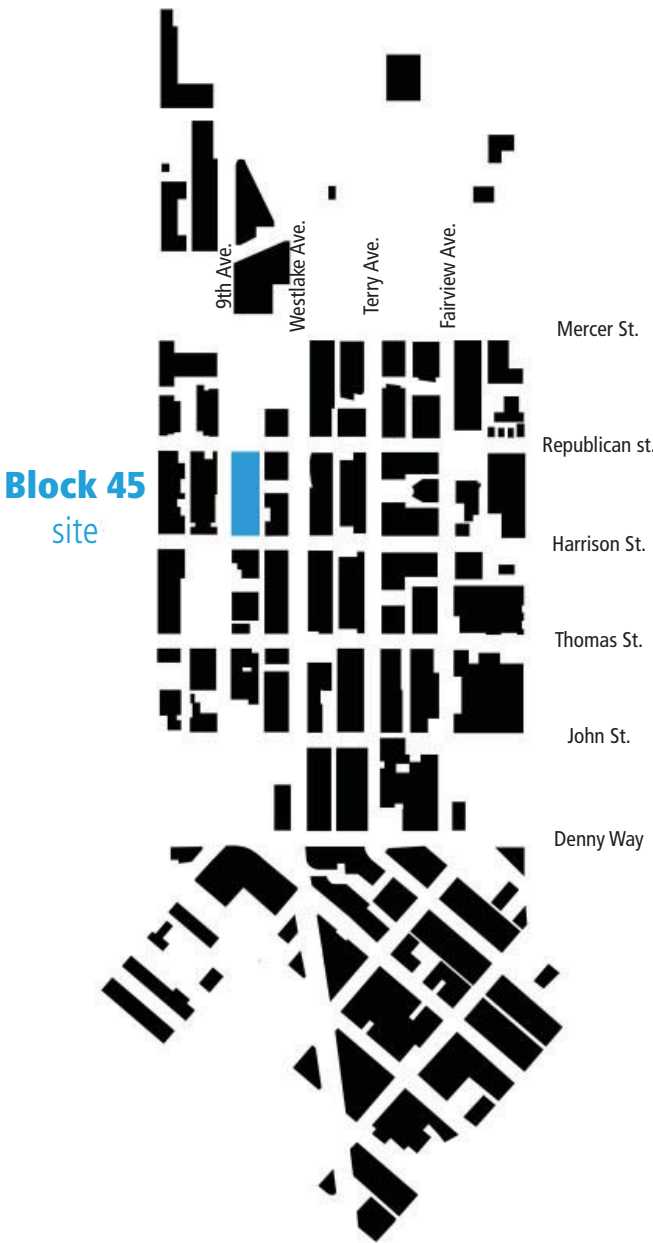
The attenuation of these office bars along the length of the site acts as a stitch which binds the building to both the landscape and the urban fabric, historic and new alike.

The articulation of the building uses a repetition of vertical elements to create a dynamic rhythm that recalls this stretching across the site and conceptually beyond the property.

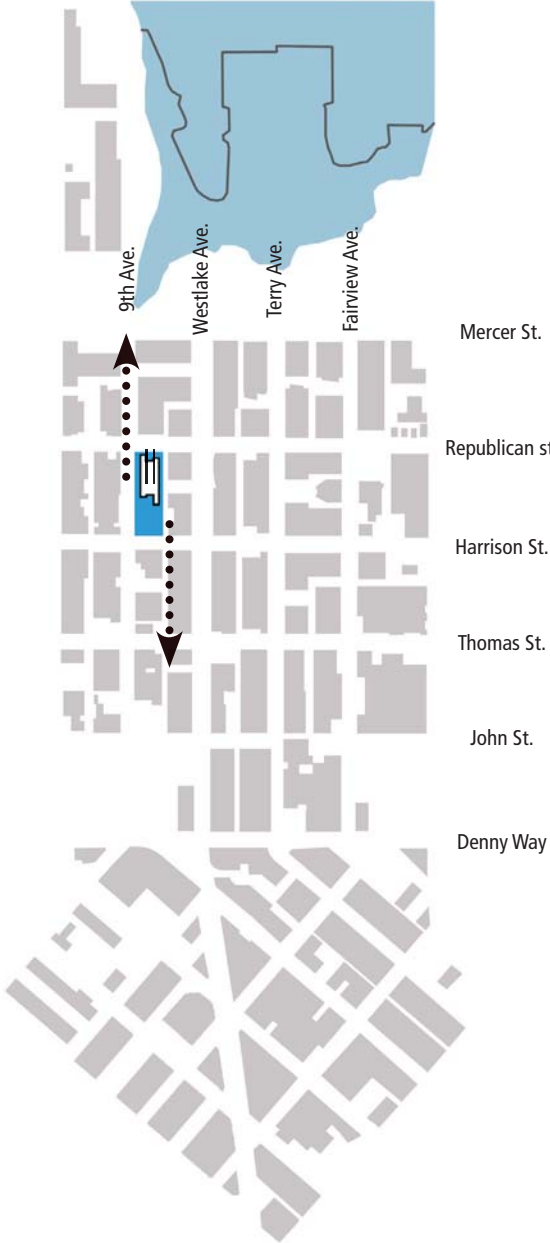
ARTICULATION DIAGRAM



Base Volume Emphasize Connection to Denny Triangle / Lake Union Drape E/W Elevations for Shading and reinforce energy of split bar scheme

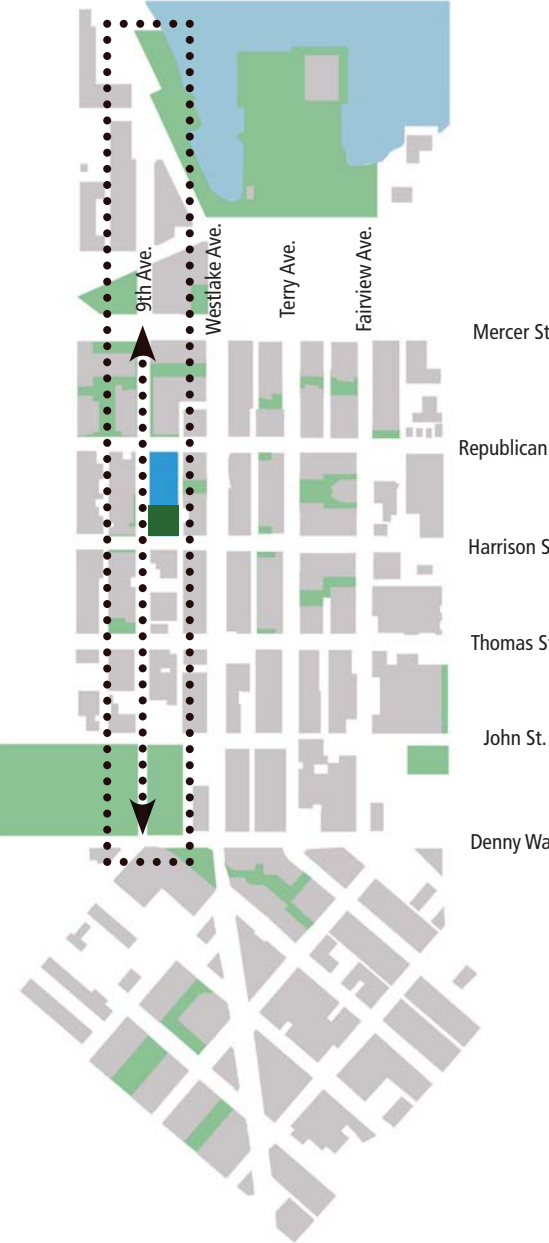


• Figure Ground Drawing - Existing building mass



Lake Union Historic Shoreline

- Block 45 was at one time near adjacent to the Lake Union shoreline. The stitch conceptually links the lake and Downtown through the dynamic split bar massing.

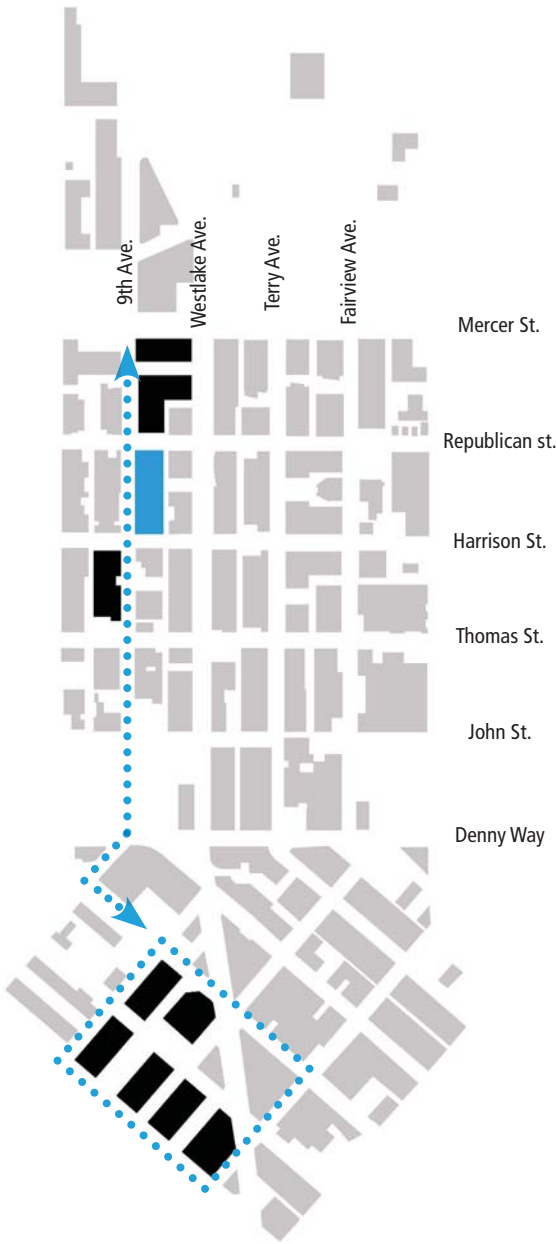


Lake Union and 9th Avenue Green Corridor

- The stitch concept links a series of green spaces along 9th Ave and anchors this necklace of spaces between Amazon Blocks 44 (north of 45) and 52 (south of 45).

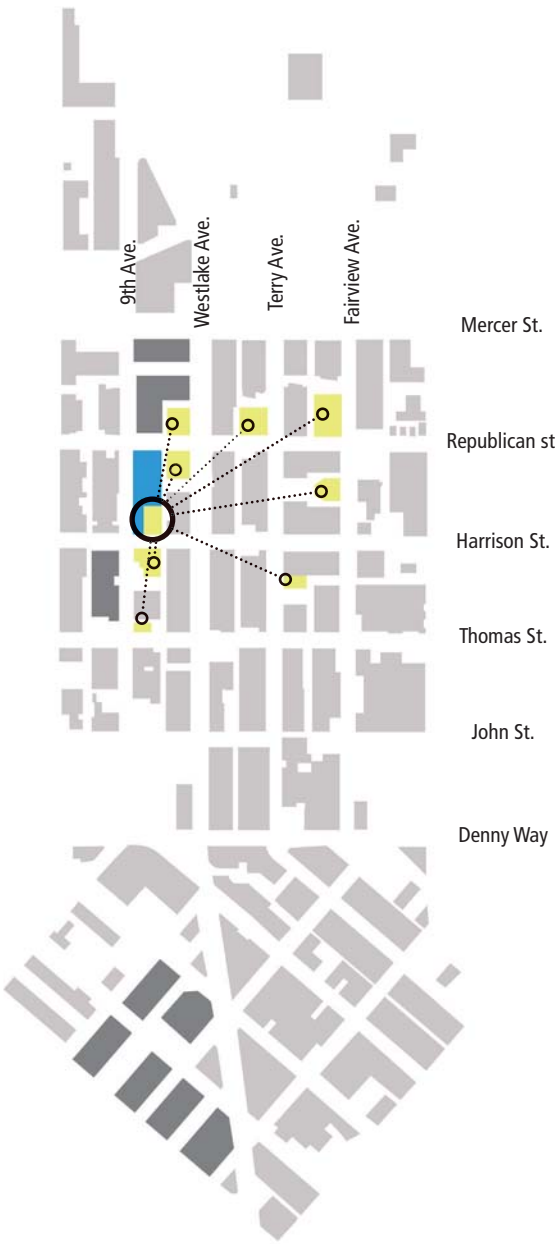
Design Concept

Diagrams & Precedent Imagery



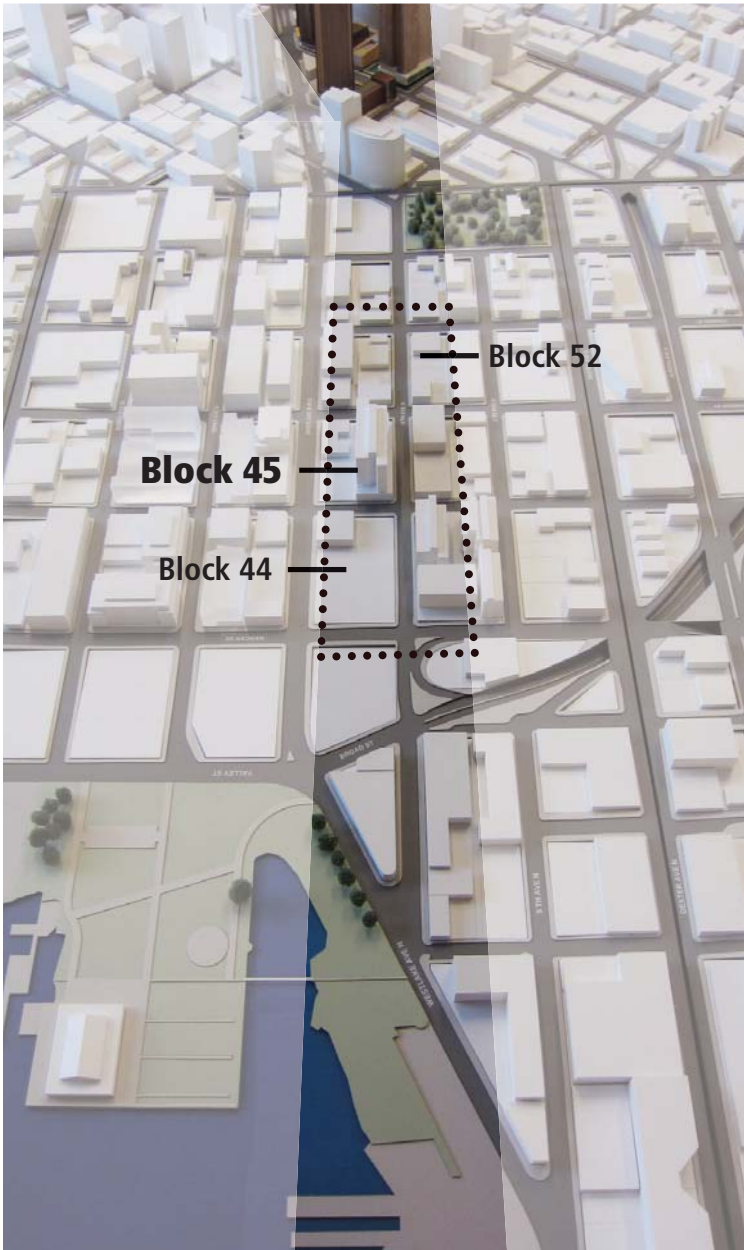
Amazon anchoring 9th Ave

- The stitch concept links blocks 44, 45, and 52 with Rufus 2.0 creating a new urban and pedestrian link along 9th Ave.



Character Buildings stitch time

- The scheme uses the language of historic “character” buildings to ground the south part of the site in scale and character with the existing context of South Lake Union.



Site Model

- Looking South from Lake Union toward Denny Triangle and Rufus 2.0.

Defining Ideas for Facade Articulation

Podium/Tower Scale Responsiveness

- ARTICULATED CRAFT AT ALL SCALES
- Differentiated Scale between podium and tower
- Differentiated texture and craft between vertical zones
- Color as integral to material exploration and not an overlay
- Obscure boundary of tower condition to reinforce outward reach and expression of building massing

Regional AND Urban Response

- Material/tectonic influence from region at large (PNW character)
- Material/tectonic influence from urban environment (Historic warehouse district, ties to the previous industry lumber, laundry, ship building, maintenance and repair).

Character Building

- Recall current scale of the urban environment
- Connected yet distinct building with higher level of texture and craft

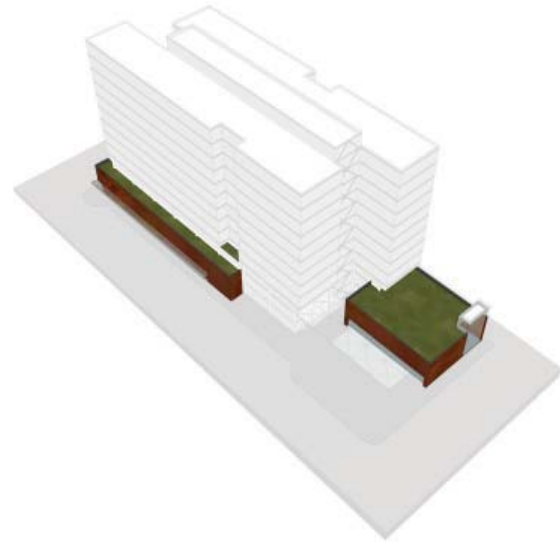
Solar Responsiveness

- Elevations articulated relative to exposure and views
- Shade elements at west elevation

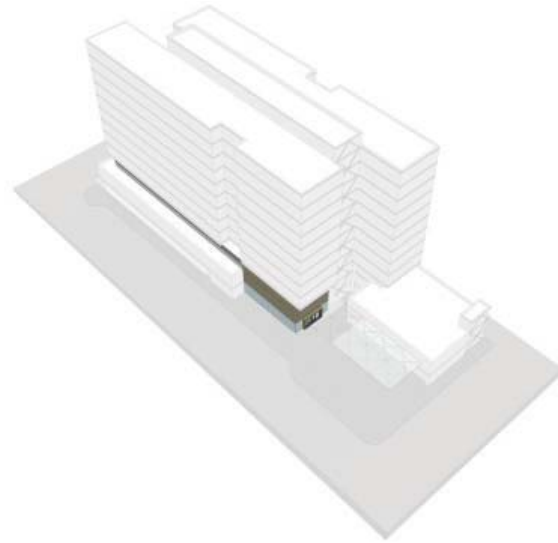
Garden Relationship

- Integration of Canopy and entry volume into garden sequence
- Character Building responsiveness to garden / courtyard

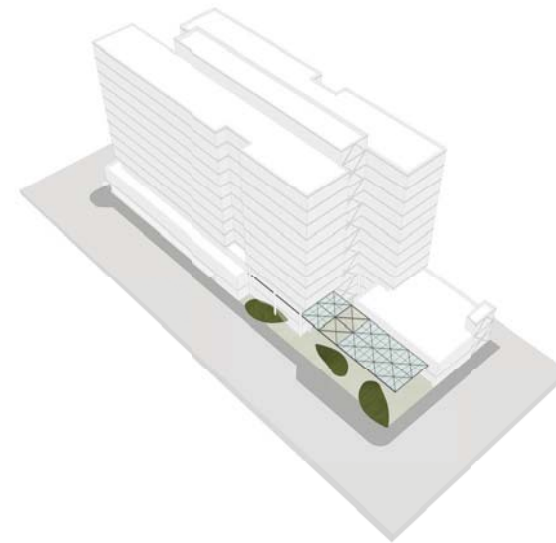
Design Concept



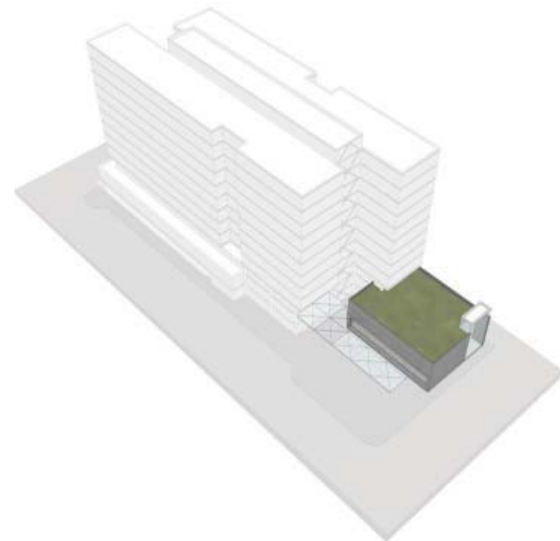
Podium | Dynamic street level development that suggest movement across the site



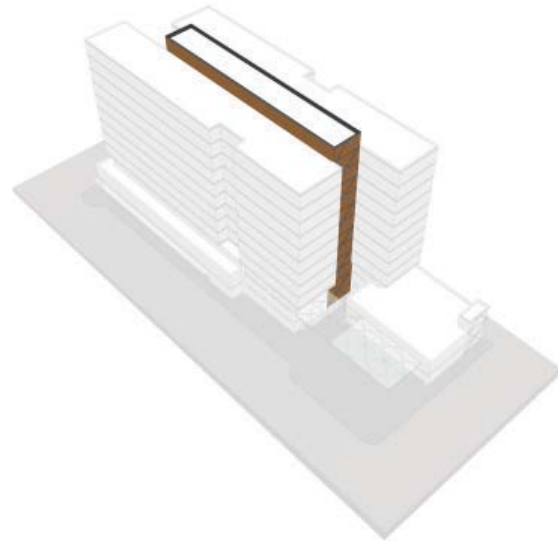
Entry | Terminus of the public garden space providing activated space throughout the day.



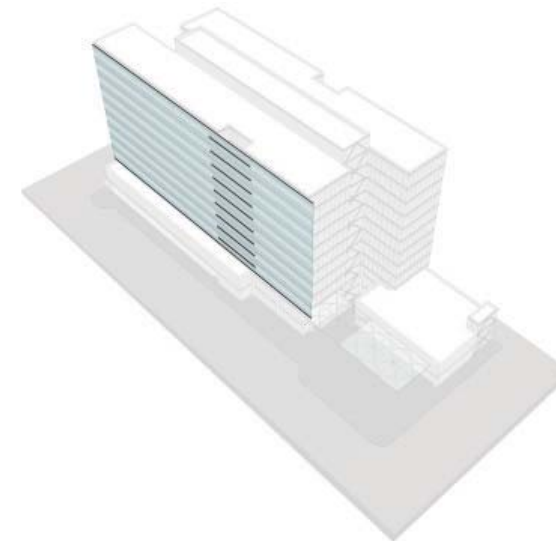
Landscape | generate an active, seamless garden courtyard that fuses public and private use throughout the day/night.



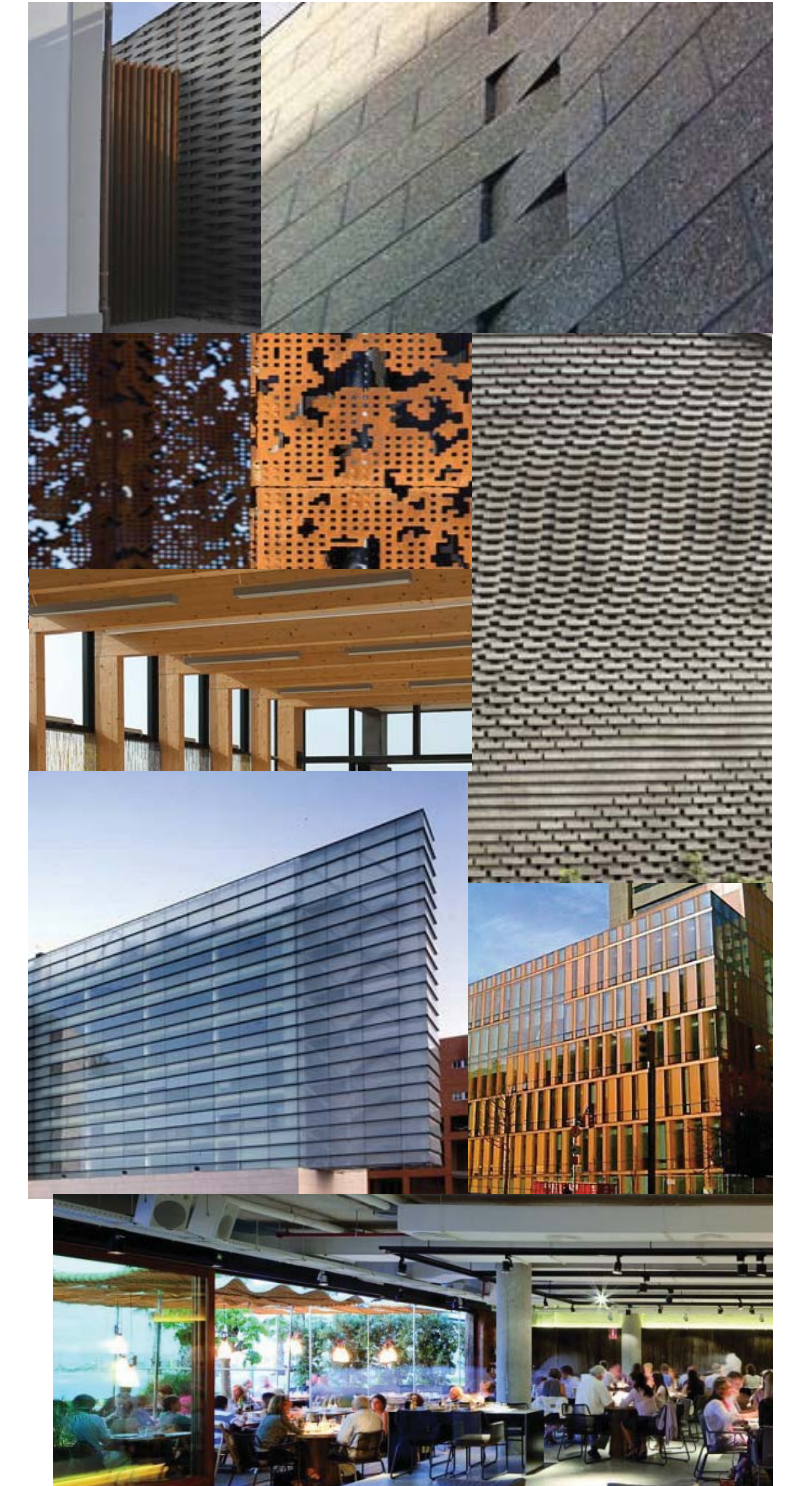
Character Building | Stitch past to present through familiar urban scale and reinforcement of building as a "crafted" product (rich material and detail).



Vertical Stitch | Articulating the core of the building as a solid mass arising from the site and juxtaposed against the lighter volumes of the office bars to reinforce the slipped bar planning dynamic.



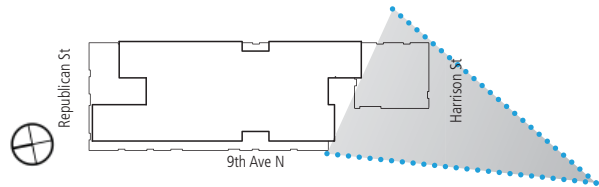
E/W Tower Elevations | Textural articulation that breaks the facade into multiple scales and uses vertical repetition to suggest a rhythmic movement across the site.



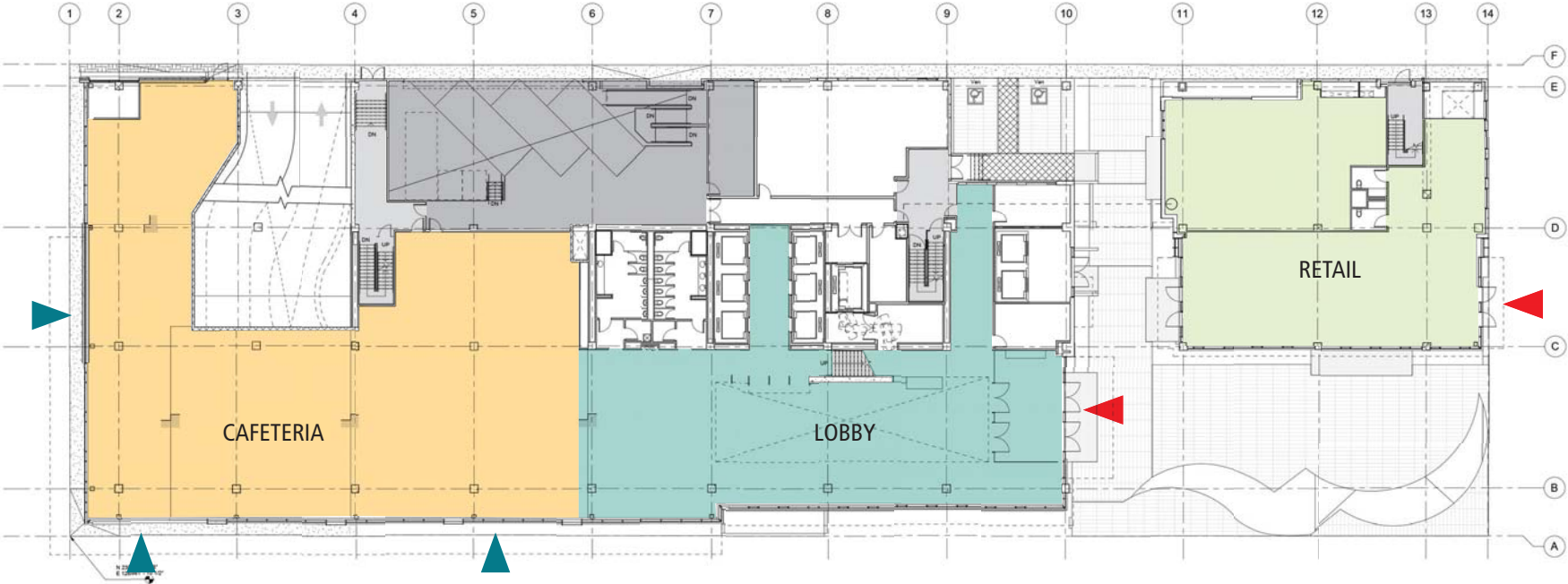
Architectural Concept
Site Planning and Tower Scale



Perspective looking NE (corner of 9th Ave N & Harrison St.)



Floor Plans



Level 1 Floor Plan

Legend

- ▶ Main Entrance
- ▬ Lobby
- ▬ Cafeteria
- ▬ Retail
- ▬ Stairs
- ▬ Parking
- ▬ Loading Dock
- ▬ Office
- ▬ Roof Terrace
- ▬ Street Canopy/Entry
- ▶ Potential Entrance (future)



Level 2 Floor Plan

Architectural Concept

Legend

Floor Plans

- ▶ Main Entrance
- ▬ Lobby
- ▬ Cafeteria
- ▬ Retail
- ▬ Stairs
- ▬ Parking
- ▬ Loading Dock
- ▬ Office
- ▬ Roof Terrace
- ▶ Potential Entrance (future)



Level 3 Floor Plan



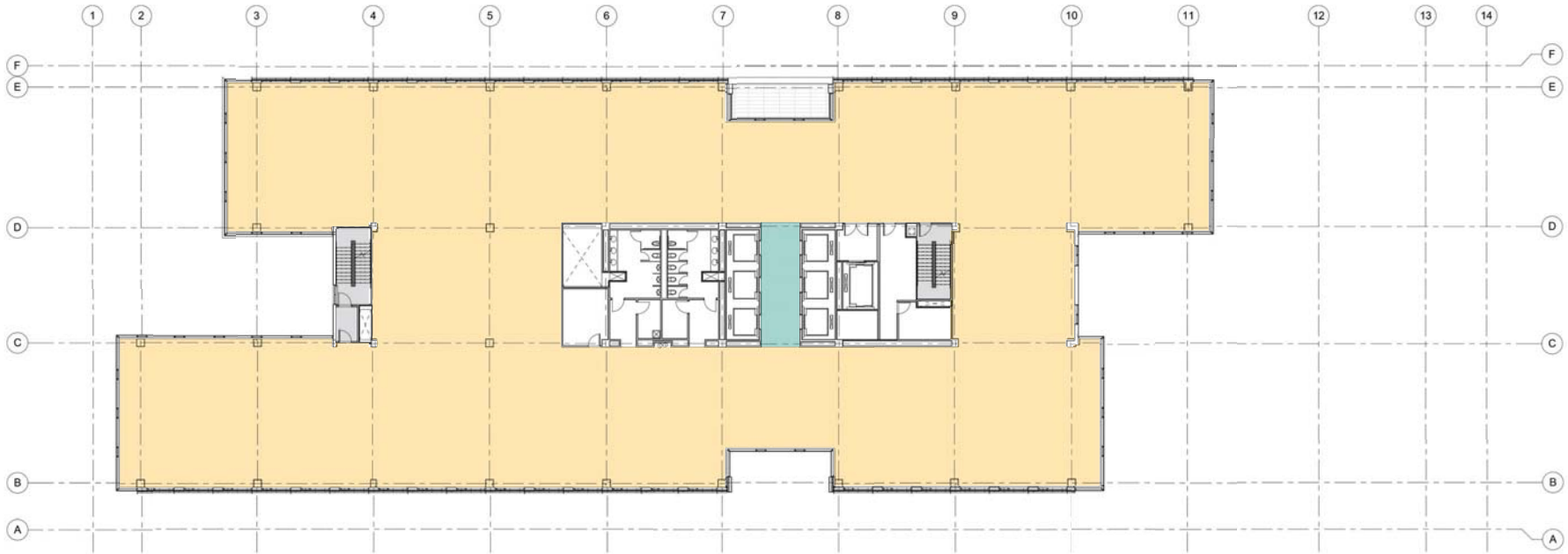
Level 4 Floor Plan

Architectural Concept

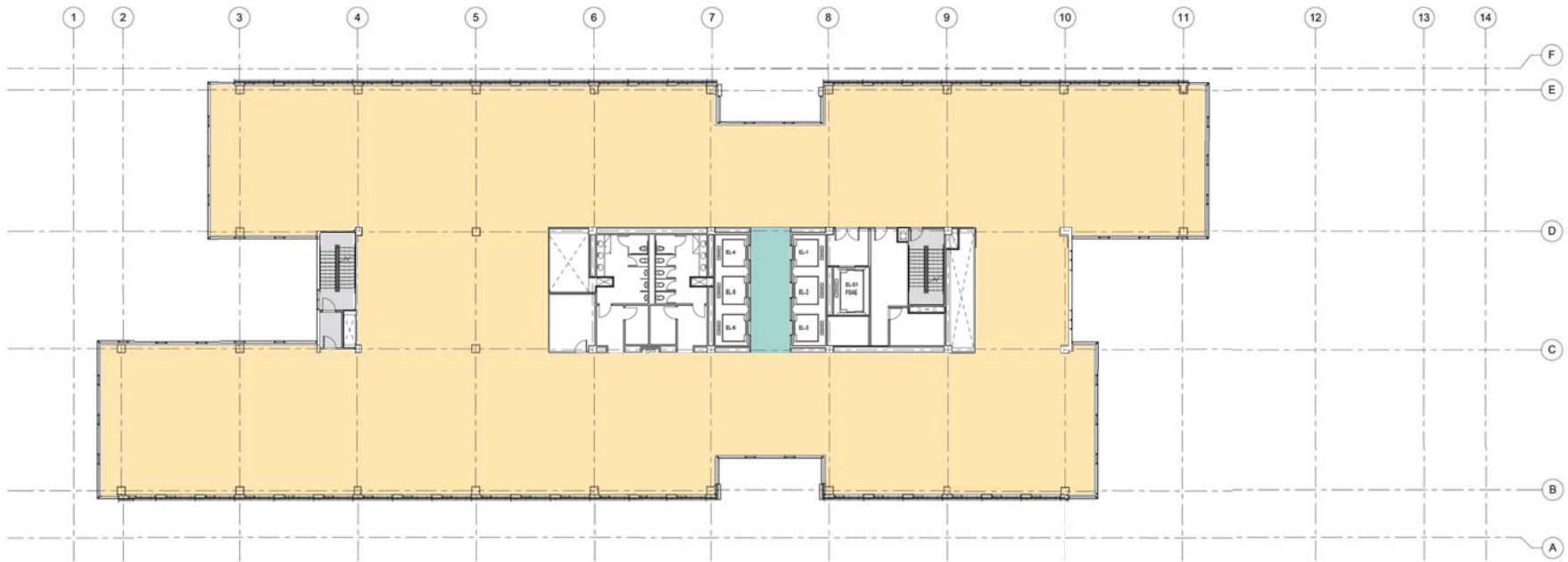
Floor Plans

Legend

- ▶ Main Entrance
- ▬ Lobby
- ▬ Cafeteria
- ▬ Retail
- ▬ Stairs
- ▬ Parking
- ▬ Loading Dock
- ▬ Office
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Level 5-7 Floor Plan

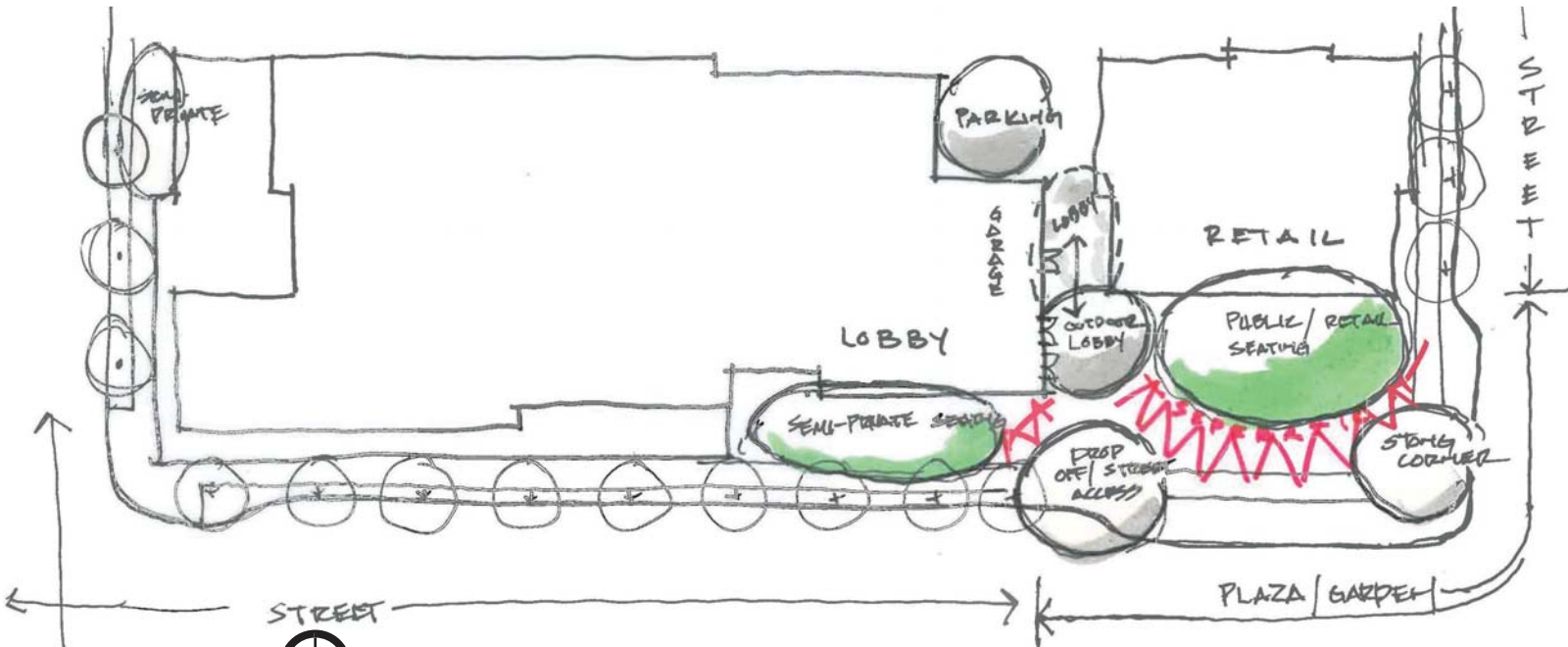


Level 8-12 Floor Plan

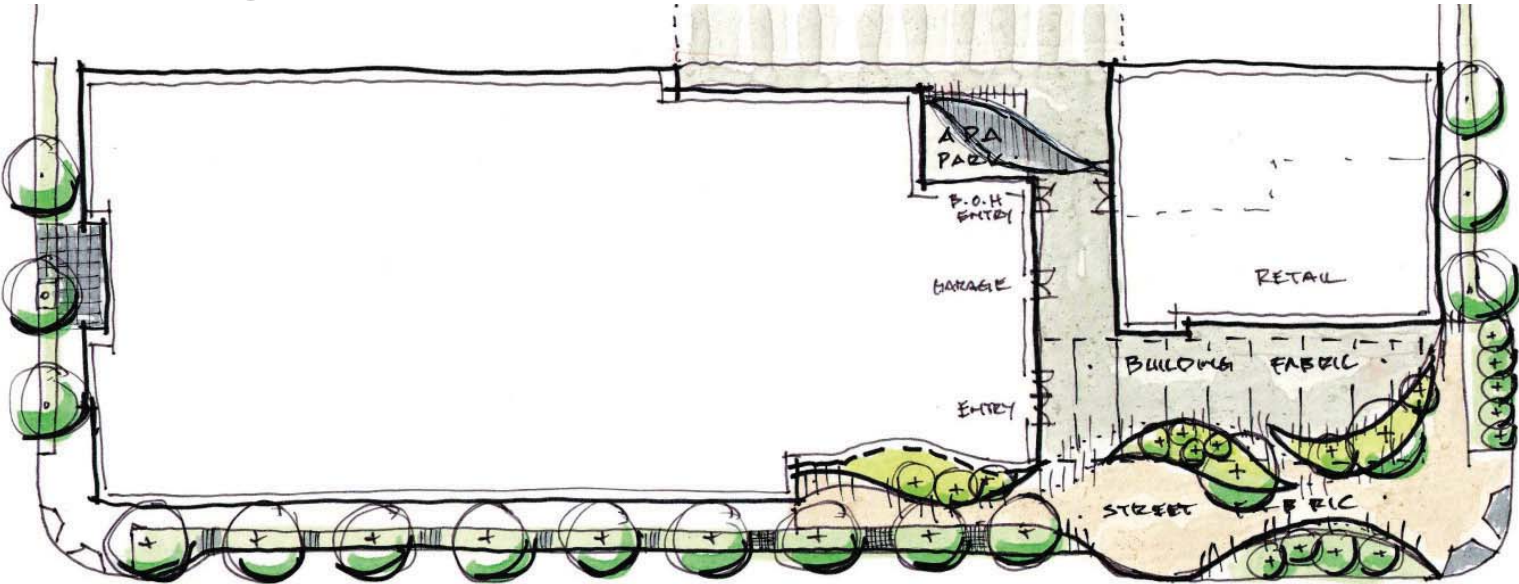
2 Open Space Mid-Block and Landscape Development (A1, A4, A10, D10, E2)				
Summary Response to South Lake Union Design Guideline:				
<ul style="list-style-type: none">Strong support for the provision of open space at the sunny SW corner of the site;Strong support for the seamless quality of the open space and the transition from public to private property (inclusive open space); <hr/> <ul style="list-style-type: none">Recommend providing spatial signals that both the alley and the mid-block connection (using the alley to connect to future development) are public space and open around the clock.Concern that any public canopy not feel massive and overwhelming the public space and discourage use of or passage through the public garden.Ensure public safety and engagement at the ground plane (especially lighting) while taking into account glare issues for neighboring development.Concern that concept consistency will be maintained. Ensure that the material "stitch" across different elements is legible.	<input checked="" type="checkbox"/> A-1 Responding to Site Characteristics	<input checked="" type="checkbox"/> A-4 Human Activity	<input checked="" type="checkbox"/> A-10 Corner Lots	<input checked="" type="checkbox"/>
	<p>The siting of buildings should respond to specific site conditions and opportunities such as non-rectangular lots, location on prominent intersections, unusual topography, significant vegetation and views or other natural features.</p> <p><i>The response of the open space at the southwest corner and scheme for providing for a through to-the-alley connection and future through-block connections were welcomed by the Board.</i></p>	<p>New Development should be sited and designed to encourage human activity on the street.</p> <p><i>The Board thought the open space at the southwest corner of the site was a fine move and generous in response to the presence of the Veer Lofts across 9th Avenue N.</i></p>	<p>Buildings on corner lots should be oriented to the corner and public street fronts. Parking and automobile access should be located away from corners.</p> <p><i>This was seen as one of the primary challenges for the project, providing amenity spaces that addressed programmatic needs for building entries while also providing comfort and security for the neighbors. It was important to provide clear spatial signs that the southeast corner space was intended for public use as would be the alley connector. The Board cautioned that the structure required by the covering or canopy over a portion of the amenity space not become so mass as to discourage passage or dalliance.</i></p>	
	<p>See landscape plans, elevations and sections on pages 20-24 for further development of this connection.</p>	<p>See landscape plans, elevations and sections on pages 20-24 for further development of this connection.</p>		
	<input checked="" type="checkbox"/> D-10 Commercial Lighting	<input checked="" type="checkbox"/> E-2 Respond to Site Characteristics	<input checked="" type="checkbox"/>	
	<p>Appropriate levels of lighting should be provided in order to promote visual interest and a sense of security for people in commercial districts during evening hours. Lighting may be provided by incorporation into the building facade, the underside of overhead weather protection, on and around street furniture, in merchandising display windows, in landscaped areas, and/or on signage.</p> <p><i>Ensure the lighting be designed to enhance the ground plane and to provide a glow rather than a glare for neighbors to the project. The Board expects the design team to come back with a lighting strategy that provides for that goal.</i></p>	<p>The siting of buildings should respond to specific site conditions and opportunities such as non-rectangular lots, location on prominent intersections, unusual topography, significant vegetation and views or other natural features.</p> <p><i>The Board awaits further details of the landscaping at plaza and terrace levels of the structure and would like the design team to address the possibility of allowing some public access to an upper terrace level as well as to spaces already indicated.</i></p>	<p>The southwest open space provides a series of large planters that provide a subtle sense of enclosure at the public garden while also maintaining a level of openness that provides direct sight and physical movement into and through the space. Multiple benches are provided within the garden and at the public edge to blur the boundary between public and private. The major canopy has been eliminated and replaced with more pedestrian/user focused parasols that will be able to float through the site depending on season and exposure. These parasols and accompanying seating are given over to public use.</p>	
	<p>See lighting information on pages x-x. The major focus of all lighting is to highlight the pedestrian experience and the podium as it relates to pedestrian use. The major lighting expression is a "cove" at the planter edges which will provide a diffuse glow at the ground plane while limiting glare and lighting pollution for adjacent properties and buildings.</p>	<p>While public access to upper level terraces is not allowed due to security concerns for the building tenant, the activities associated with these terraces are oriented to enhance the character and activity of the public spaces below. The podium has been left at two levels at the open space so that shadow impacts are mitigated at the lower space and so that the energy associated with the level three terrace is directly seen and consciously experienced below. At the terraces, there will be a fire pit, bbq area and bar seating along the roof edge which will allow users to peer over the edge and down to the street and garden below. The level four terrace is a more private space that will be used as a conference room in the garden.</p>		

Landscape Concept Concept Sketches and Diagrams

Site Diagram

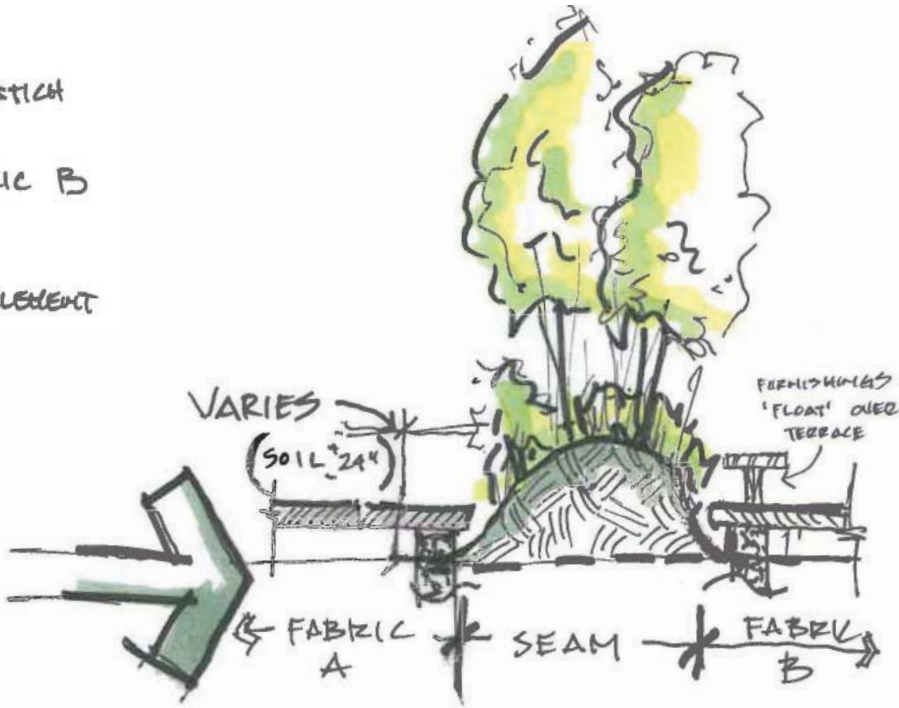
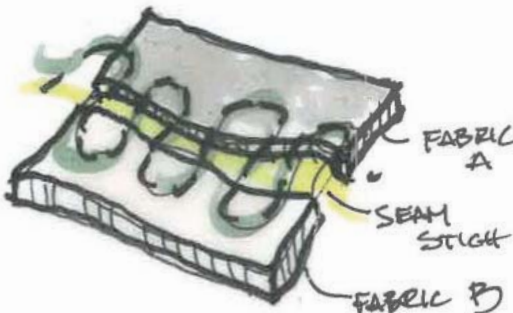
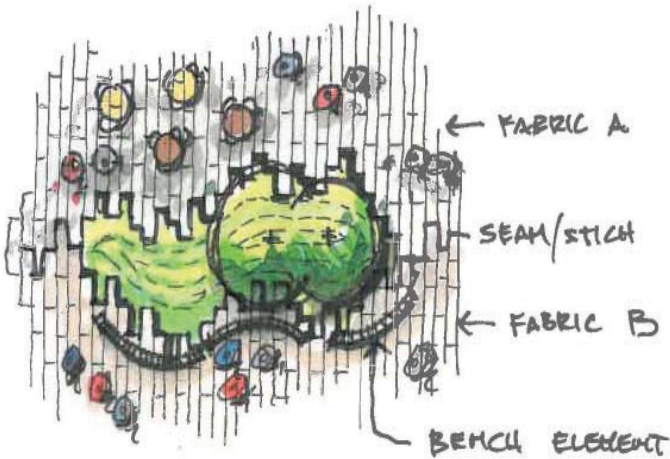


Concept plan



Seam | Landscape as Seam between Street and Garden

- Difference scale of urban fabric (street and garden);
- Opportunities for indoor/outdoor environment at both the character building and the entry main building entrance;
- Regional Materials;
- Urban Materials;
- Raw, Honest Materials;
- Link between South Lake Union Park and South Lake Union Core - of the 9th Ave. green corridor;
- Focus energy at the SW corner of the site (street garden)



Landscape Concept Precedent Imagery



Material Stitching - Macro

- Layered boundaries
- Multiple linked zones



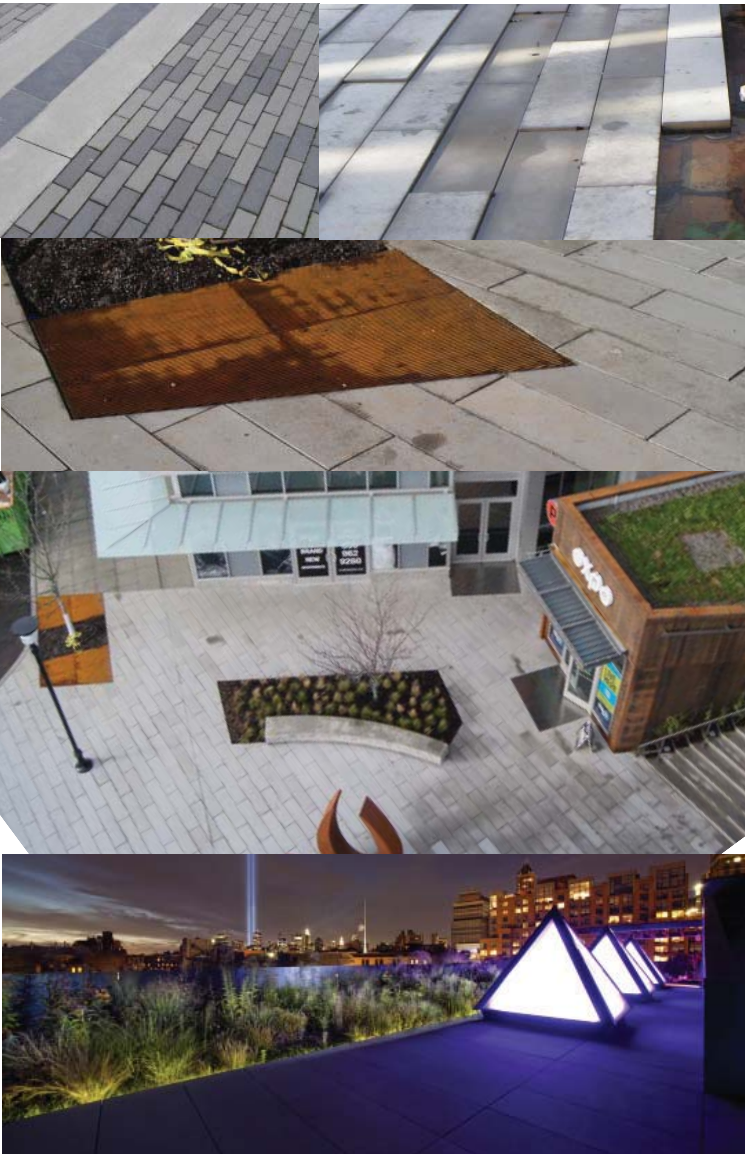
Material Stitching - Micro

- Obscured boundaries
- Vertical integration of stitch/seam concept



Pedestrian Parasol Opportunities and Site Furniture

- Organic Canopy Structures for PUBLIC USE
- Well Lit environment (day and night)
- Organic furniture blended into larger gesture



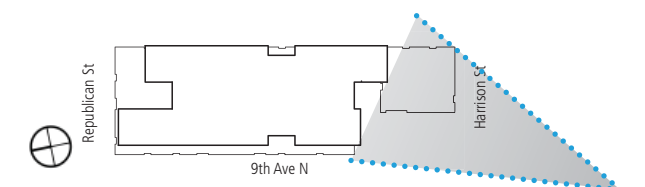
Ground Plane - Scaling

- Opportunities for multiple scale pavers
- Take garden edge to the street to expand the visual edge of the site
- Planter "cove" lighting for softer urban edge and safety

Site Concept
Open Space & Mid-Block Connection



Perspective SW Corner of Site (looking NE) | Public Open Space and Character Building

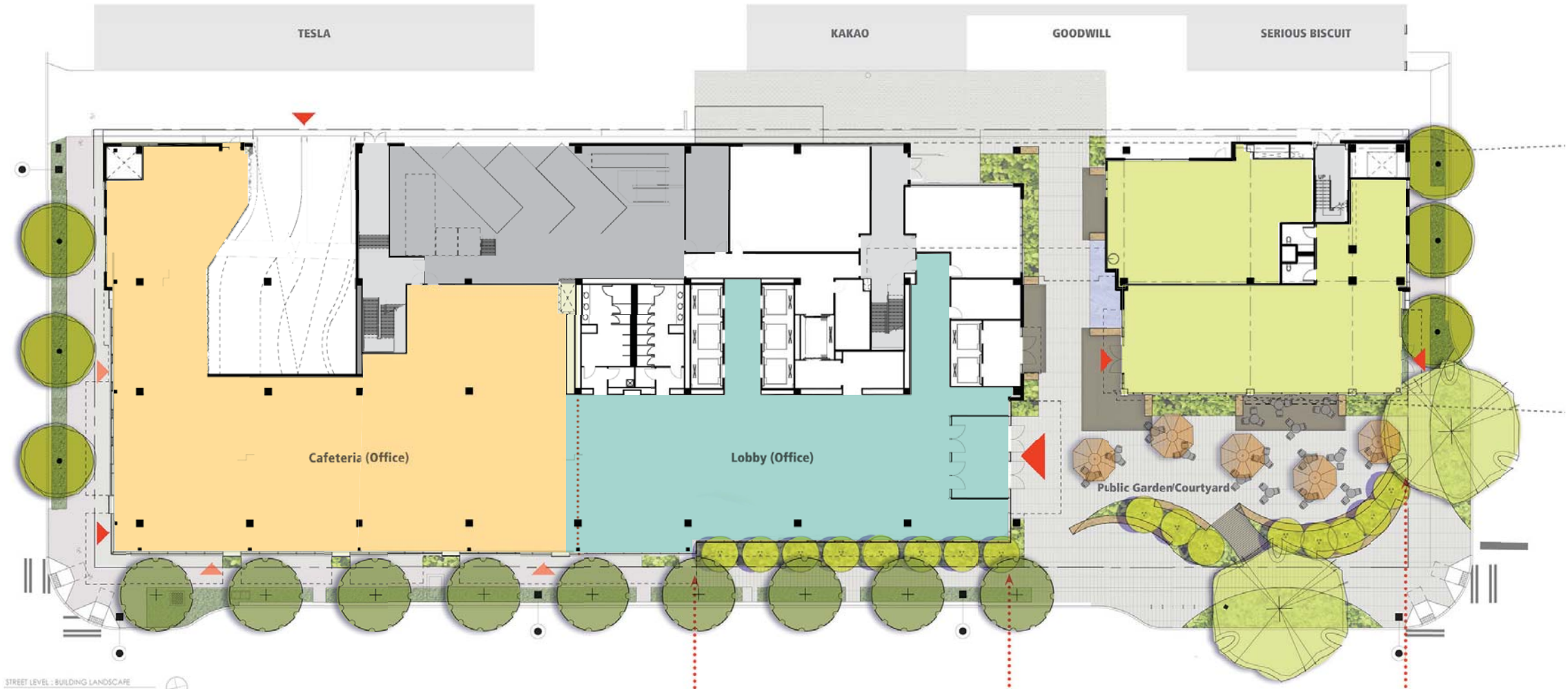


Landscape Concept

Landscape Plan - at grade

Legend

- ▶ Main Entrance
- ▬ Lobby
- ▬ Cafeteria
- ▬ Retail
- ▬ Stairs
- ▬ Parking
- ▬ Loading Dock
- ▬ Office
- ▬ Roof Terrace
- ▶ Potential Entrance (future)



TREES



PLANT MIX A: STREET PLANTING



PLANT MIX B: GARDEN PLANTING

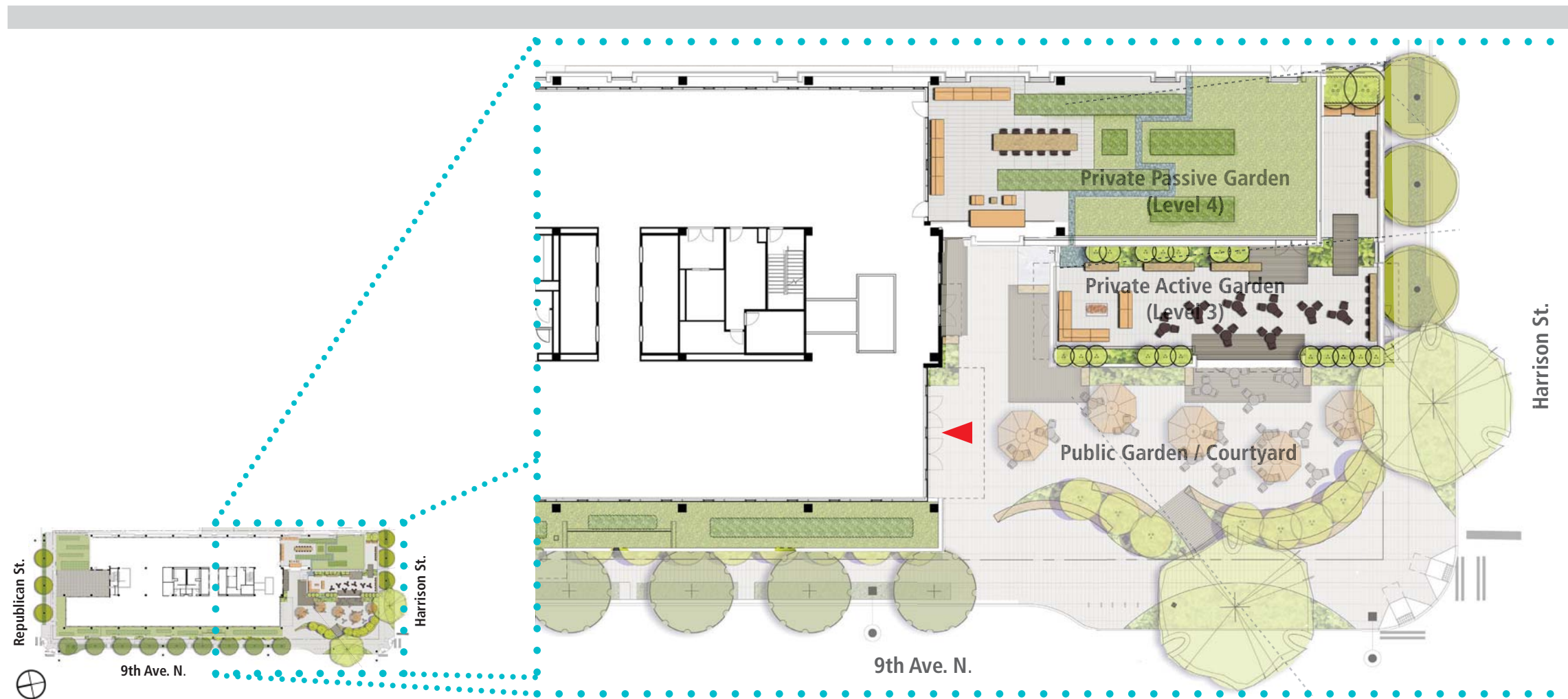


ADDITIONAL STREET GARDEN PLANTING



Landscape Concept

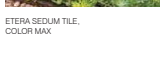
Enlarged Site Plan - Open Space & Mid-Block



GREEN ROOF MIX A



GREEN ROOF MIX B



PLANT MIX B: GARDEN PLANTING





PLANT MIX C





GARDEN FURNITURE





 CITY OF SEATTLE STANDARD 2X2 CAST IN PLACE STANDARD CONCRETE BIFORMAL, UNIFORM OTHERWISE NOTED, SEE CIVIL

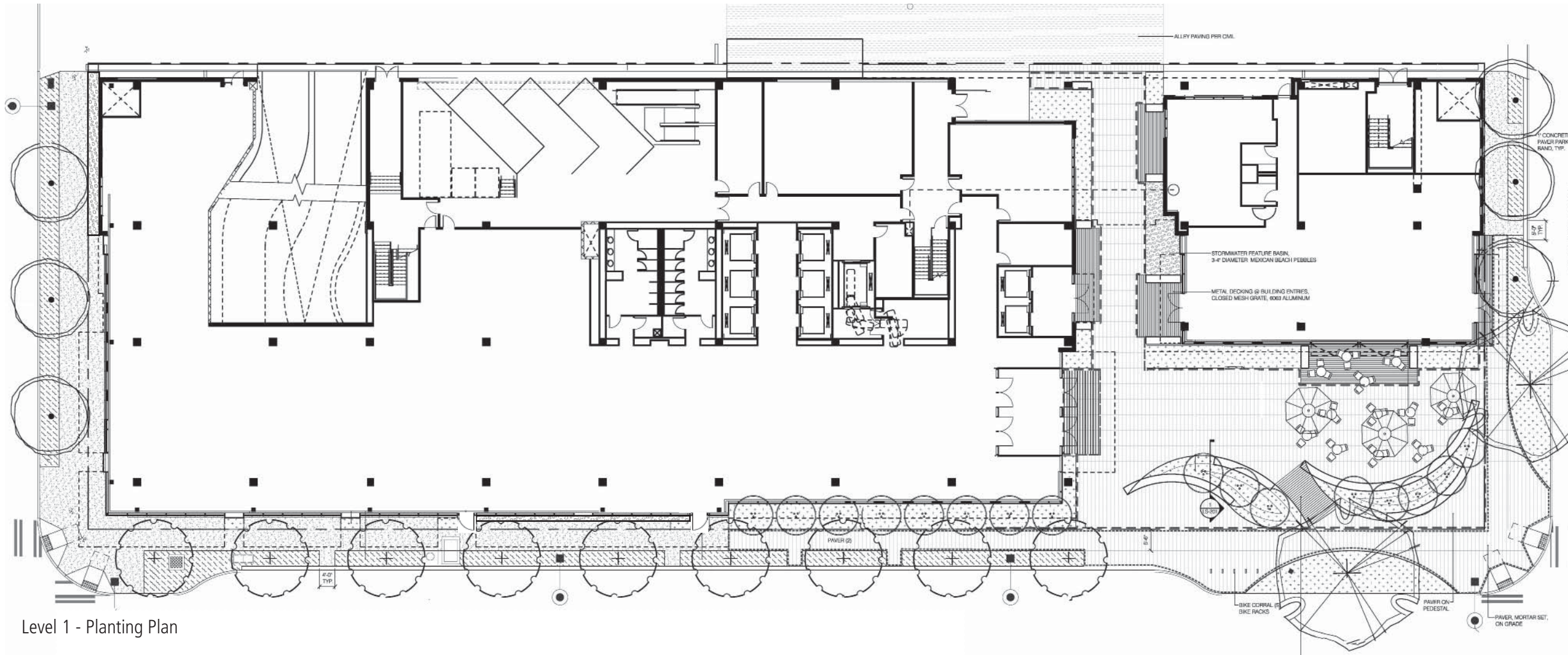
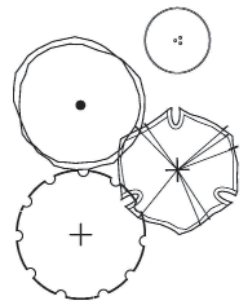
 SEE CIVIL FOR KEY PAVING DETAILS
(CAST IN PLACE CONCRETE WITH SAWCUT 1' X 1' GRID)

 STEPSTONE 4 X 1 PAVERS - COLOR 1
ON PEDESTAL OVER STRUCTURAL SLAB

 STEPSTONE 4 X 1 PAVERS - COLOR 1
MORTAR BED ON GRADE

 WOOD DECKING @ COURTYARD

 METAL DECKING @ BUILDING ENTRANCES,
CLOSED MESH GRATE, 6063 ALUMINUM



Level 1 - Planting Plan



SHRUBS/GROUNDCOVERS

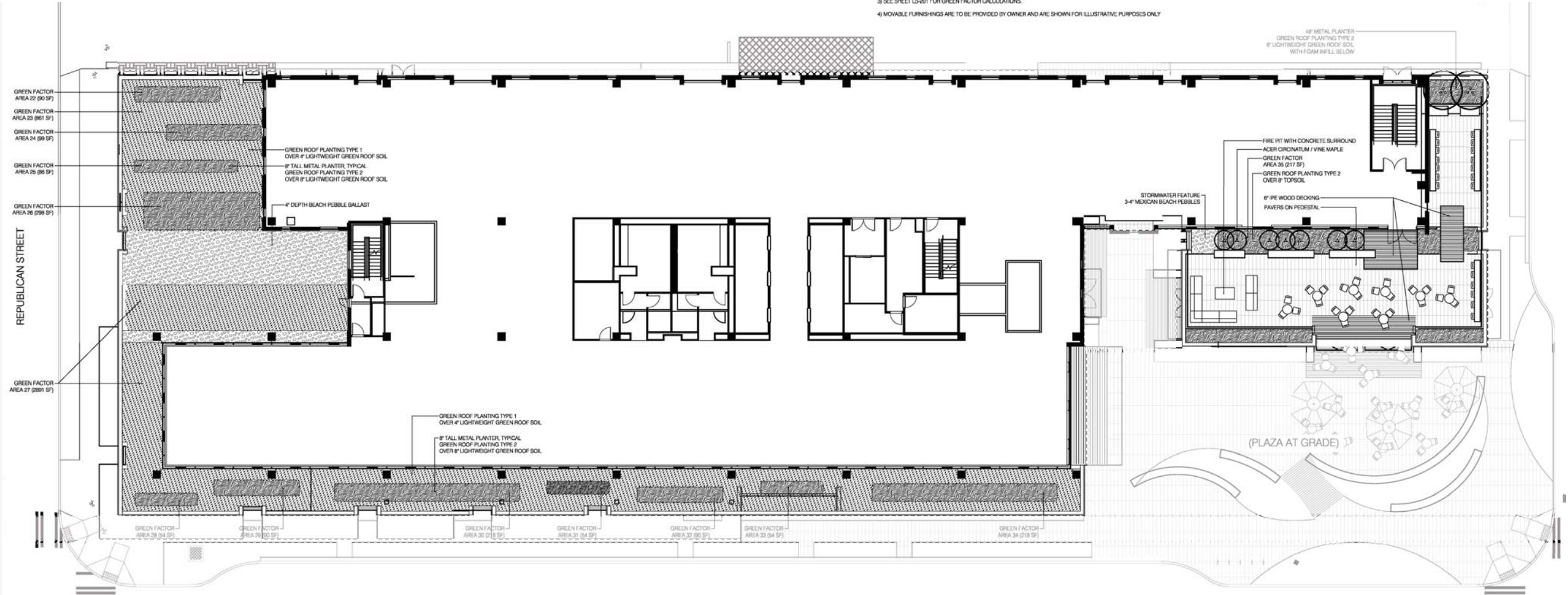
BOTANICAL NAME	COMMON NAME	SIZE	SPACING
GREEN ROOF MIX A: ATHYRIUM NIPONICUM 'PICTUM'	JAPANESE PAINTED FERN	1 GAL.	18" O.C.
BLECHNUM SPICANT	DEER FERN	1 GAL.	18" O.C.
POLYSTICHUM SETIFERUM	SHIELD FERN	1 GAL.	18" O.C.
GREEN ROOF MIX B: ETEPA SEDUM TILE, COLOR MAX			
PLANT MIX B: CAREX DOUGHOSTACHYA 'KAGA NISHIKI'	KAGA BROCADE SEDGE	1 GAL.	12" O.C.
MISCANTHUS SINENSIS 'YAKU JIMA'	YAKU JIMA MISCANTHUS	2 GAL.	36" O.C.
HELIOTRICHON SEMPERVIRENS	BLUE OAT GRASS	1 GAL.	24" O.C.
LIROPE GIGANTEA	GIANT LILY TURF	1 GAL.	24" O.C.
OPHIOPOGON PLANISCAPUS 'EBONYKNIGHT'	EBONY KNIGHT MONDO GRASS	1 GAL.	12" O.C.
TULIP BULB MIX ALLIUM BULBS			

THIRD FLOOR PLANT SCHEDULE

TREES			
QTY.	BOTANICAL NAME	COMMON NAME	SIZE
9	ACER ORONATUM OR MAGNOLIA GRANDIFLORA 'LITTLE GEM'	VINE MAPLE MULTISTEMMED LITTLE GEM SOUTHERN MAGNOLIA	8" 10"
			SEE PLAN
			SEE PLAN

LANDSCAPE NOTES

- 1) ALL PROPOSED IMPROVEMENTS IN THE PUBLIC R.O.W. WILL REQUIRE A R.O.W. USE PERMIT.
- 2) ALL LANDSCAPE AREAS ARE TO BE IRRIGATED.
- 3) SEE SHEET LS-201 FOR GREEN FACTOR CALCULATIONS.
- 4) MOVABLE FURNISHINGS ARE TO BE PROVIDED BY OWNER AND ARE SHOWN FOR ILLUSTRATIVE PURPOSES ONLY.



Level 3 - Planting Plan

Landscape Concept
Site Sections at Public Garden Space



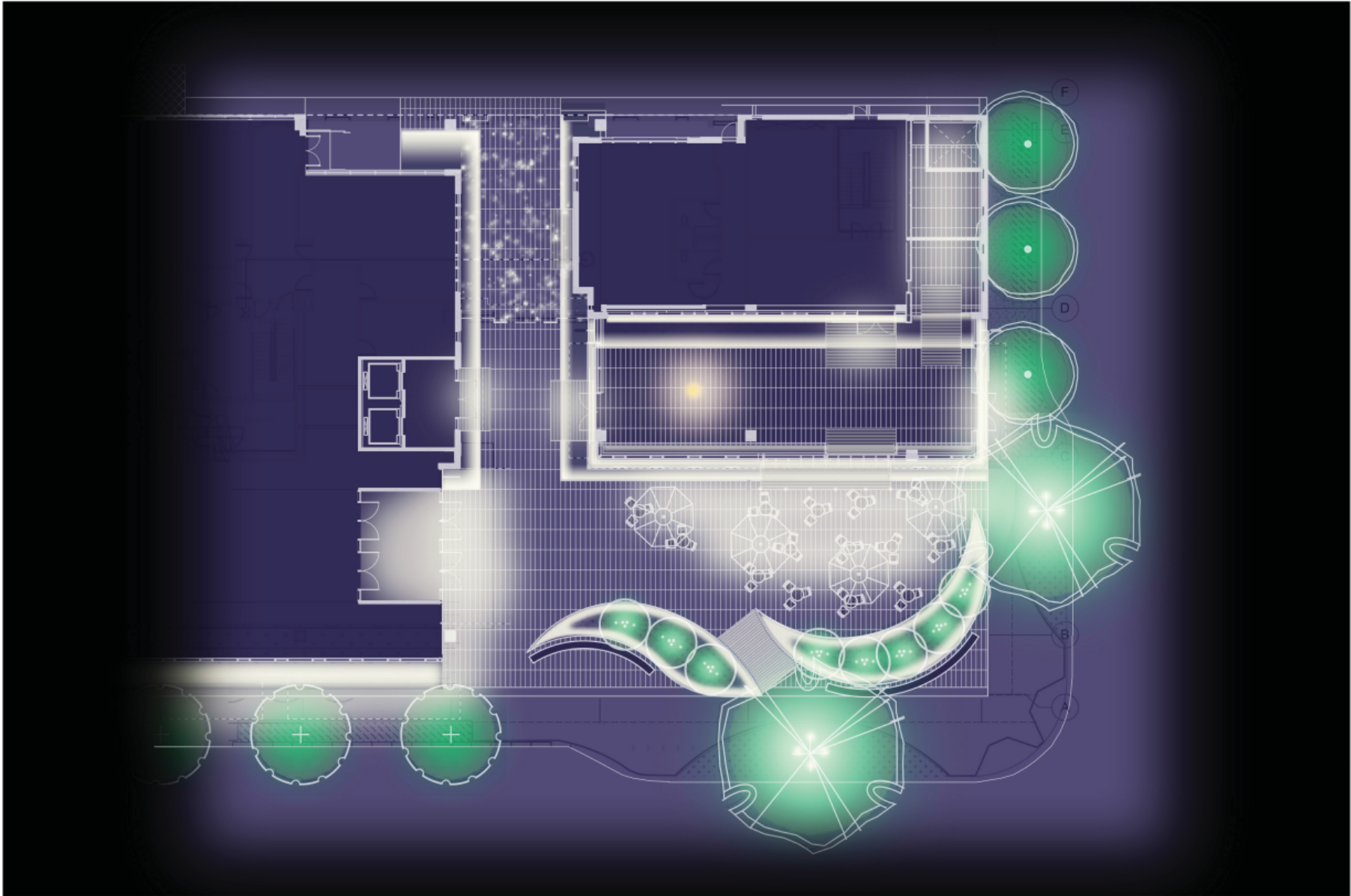
Lighting Concept
Site Lighting Plan

Concept

The lighting concept focuses on drawing the nighttime presence of the building to the pedestrian realm (podium level). The strategy uses a cove light application within the public courtyard to make the public realm feel as if it is a boardwalk floating above the landscape beds. This will make the building forms feel anchored within the site and also keep light pollution at a minimum.

Vertical floor-to-floor modules of the building will be highlighted using directional exterior sconces to bring focus to main points of entry within the larger building hierarchy.

Occupied roof decks will have enough lighting to provide comfortable levels to the users, but not direct light at or into neighboring residences and businesses.



Harrison St.

9th Ave. N.

Lighting Concept
Site Lighting Plan



Lighting Concept
Site Lighting Fixtures

1




Lucifer Lighting
Puk LED series light
integrated into canopy

2



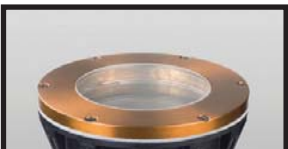

LED Linear VarioLED
Flex VENUS series for
planter edge light. See
architectural detail.

3




LED adjustable accent
by HK Lighting Group,
ZXL16-SQ series

4




In-ground uplights
by Winona Lighting,
Winscape Hensley LED
series

5




Inground up lighting for
water feature by ACDC
Lighting, magna series

6



Feature lighting at
underside of mid-block
connection TBD

7

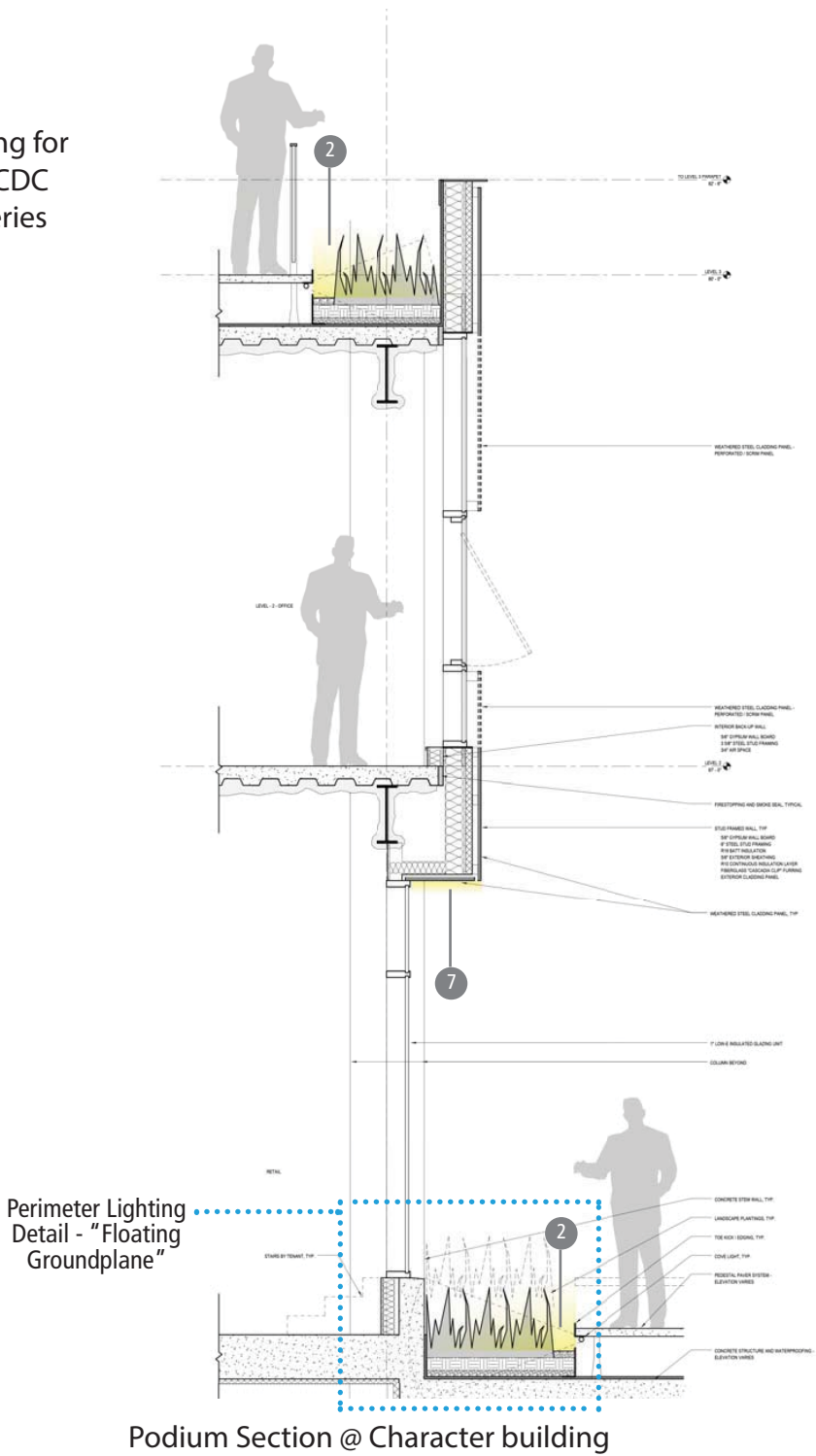


LED Linear VarioLED
HYDRA HD20 IP67
integrated into canopy.
See architectural detail.

8



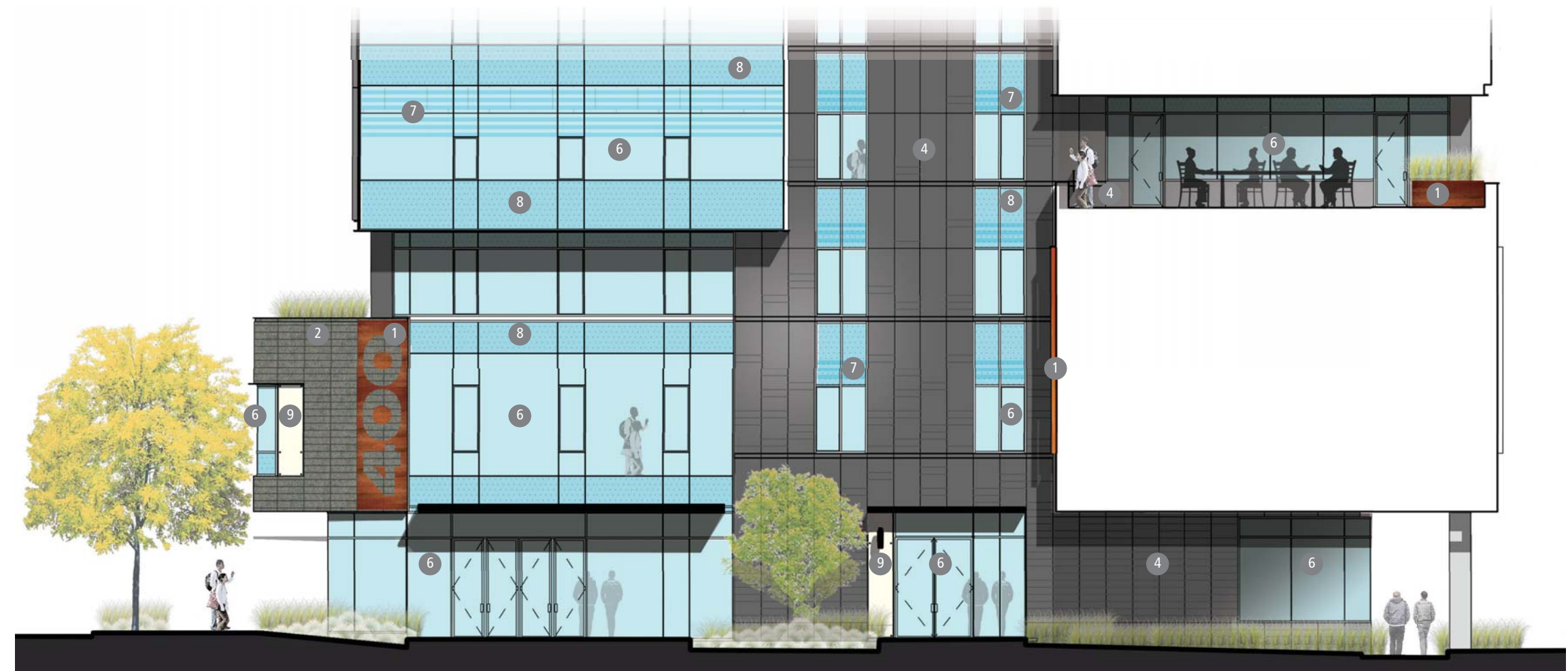
LED recessed
downlight



Site Concept
Mid-Block Connection & Main Entrance

Exterior Material Palette and Legend

- 1 Corten Steel
- 2 Polished Face CMU (large format 8" x 30" module)
- 3 White Architectural Concrete
- 4 Metal Panel (Gloss)
- 5 Metal Window System (Satin)
- 6 Vision Glass
- 7 Vision Glass (fritted)
- 8 Spandrel Glass
- 9 Glass Cladding Panel



Site Concept

Mid-Block Connection & Character Building



Exterior Material Palette and Legend

- 1 Corten Steel
- 2 Polished Face CMU (large format 8" x 30" module)
- 3 White Architectural Concrete
- 4 Metal Panel (Gloss)
- 5 Metal Window System (Satin)
- 6 Vision Glass
- 7 Vision Glass (fritted)
- 8 Spandrel Glass
- 9 Glass Cladding Panel

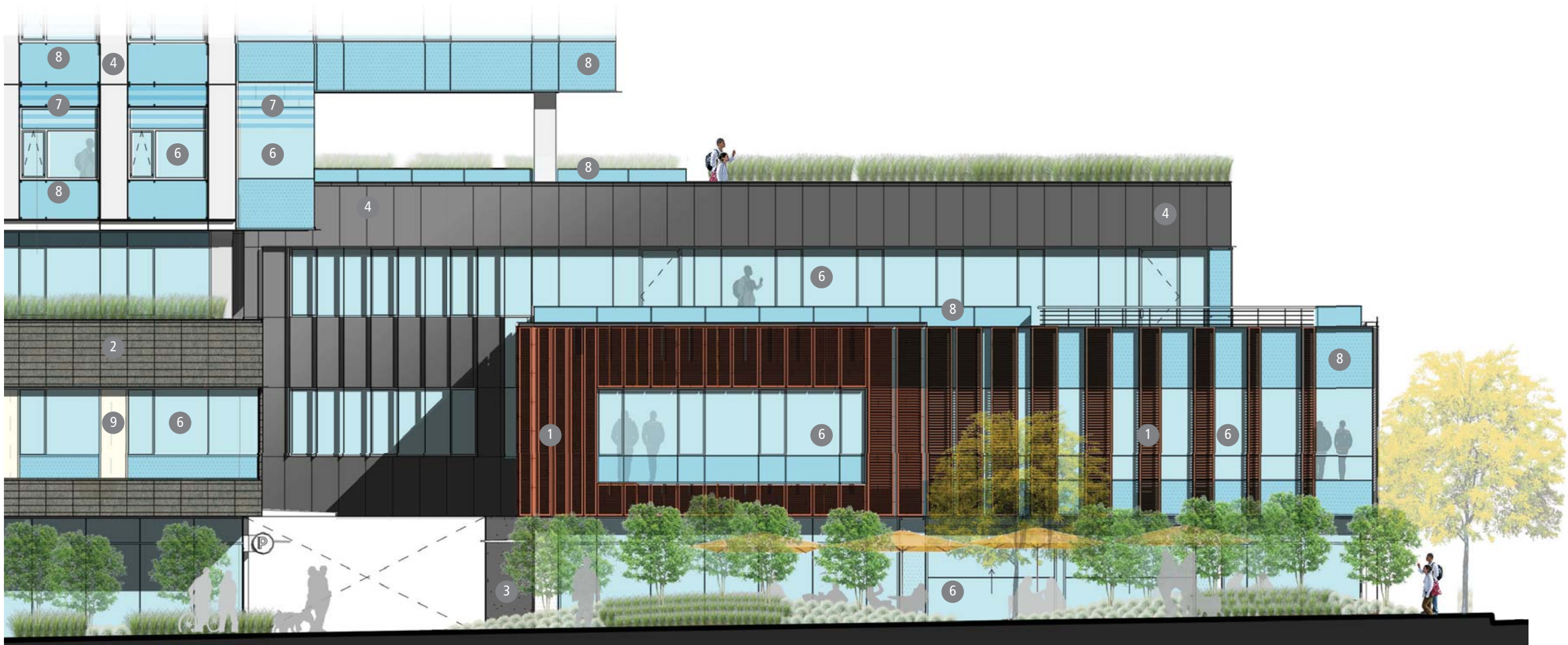
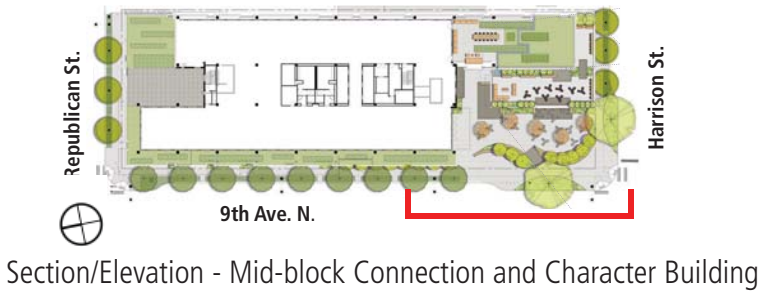


Section / Elevation - Character Building and Mid-block Connection

Site Concept
Mid-Block Connection & Character Building

Exterior Material Palette and Legend

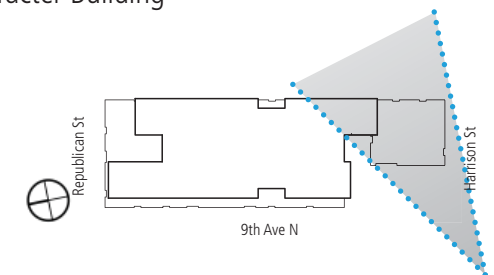
- 1 Corten Steel
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- 4 Metal Panel (Gloss)
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- 7 Vision Glass (fritted)
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- 9 Glass Cladding Panel



Site Concept
Mid-Block Connection & Character Building



Perspective SW Corner of Site (looking NE) | Public Open Space and Character Building

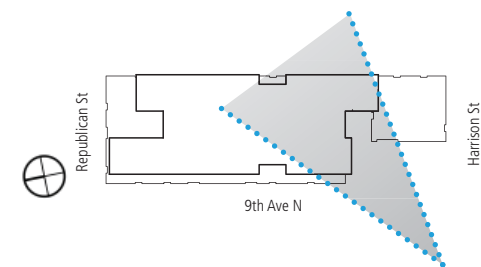


Site Concept
Mid-Block Connection & Main Entrance

Exterior Material Palette and Legend

- 1 Corten Steel
- 2 Polished Face CMU (large format 8" x 30" module)
- 3 Architectural Concrete
- 4 Metal Panel (Gloss)
- 5 Metal Window System (Satin)
- 6 Vision Glass
- 7 Vision Glass (fritted)
- 8 Spandrel Glass
- 9 Glass Cladding Panel
- 10 Perforate Metal Soffit Panel
- 11 Painted Metal Canopy

Perspective Main Entrance (looking NE) | Public Open Space and Mid-block Connection



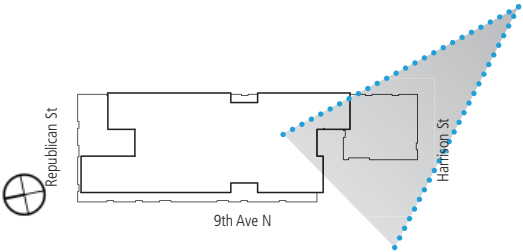
Site Concept Character Building



Exterior Material Palette and Legend

- 1 Corten Steel
- 2 Polished Face CMU (large format 8" x 30" module)
- 3 Architectural Concrete
- 4 Metal Panel (Gloss)
- 5 Metal Window System (Satin)
- 6 Vision Glass
- 7 Vision Glass (fritted)
- 8 Spandrel Glass
- 9 Glass Cladding Panel
- 10 Perforate Metal Soffit Panel
- 11 Painted Metal Canopy

Perspective SE Corner of Site (looking NW) | Character Building



EDG Board Recommendation
Summary of Recommendation Responses

3
Building Character and Podium Scale
(A2, C3, C4, D1, D2, D7, D8, E1)

- Strong support for the massing at the podium level and the responsiveness to adjacent and historical context (Tesla, Veer Lofts, historical “character” buildings);
- Recommend providing “a sense of safety and refuge for the pedestrian (and bicyclists) at the corner of 9th Ave N. and Republican St., a busy street and bound to get busier.”
- Recommend providing “a more discernable sense of rhythm along the ground floor at 9th Ave N., providing for better pedestrian experience at the building;”
- Recommend providing a “greater modulation at street level along 9th Ave N., greater transparency and provide for additional (if future) knockouts/entries along that face of the building;”

Summary Response to South Lake Union Design Guideline:

A-2 | Streetscape Compatibility

The siting of buildings should acknowledge and reinforce the existing desirable spatial characteristics of the right-of-way.

It was thought by the Board members that the landscaping responses, interlacing the east and the west sides of 9th Avenue N. were on the right track as was the choice to provide a large open space at the corner of Harrison Street and 9th Avenue N. It was acknowledged that Republican Street was a busy, car-dominated arterial, destined to become even busier. The Board was concerned that the corner of 9th Avenue N. and Republican Street allow ample room for pedestrians and not become overly pinched.

The design proposes the create a pedestrian buffer at the intersection of 9th Ave. N. and Republican St. At Republican St., a large planter is provided adjacent to the alley to help ground the mid-block environment. As one walks west, the planter gives way to an extended public sidewalk (+/- 9'-0" wide) which provides additional width for increased activity at the corner. This extended sidewalk width transitions around the corner along 9th Ave. N. As one moves south, the width returns to a normal 6' sidewalk where

D-7 | Personal Safety and Security

Project design should consider opportunities for enhancing personal safety and security in the environment under review.

There was no particular concerns expressed by members of the public or the Board regarding personal safety or security issues other than those ordinarily connected to the adequacy of nighttime lighting, etc.

See lighting plans and details on sheets 25-27

C-3 | Human Scale

The design of new buildings should incorporate architectural features, elements, and details to achieve a good human scale.

At the Early Design Guidance Meeting, the Board noted that the questions of scale and human interaction were matters of special concern along that portion of the structure along 9th Avenue N. north of the plaza area.

Seesummary for A-2 and podium sections on pages 41-43.

D-1 | Pedestrian Open Spaces and Entrances

Convenient and attractive access to the building’s entry should be provided. To ensure comfort and security, paths and entry areas should be sufficiently lighted and entry areas should be protected from the weather. Opportunities for creating lively, pedestrian-oriented open spaces should be considered.

As noted in earlier discussions, the Board indicated particular concerns regarding the comfort and security of pathways leading to and from the alley and the openness and invitational quality of the amenity space at the southwest corner of the site.

The character of the pedestrian realm at all locations seeks to truly seat the building within the site and soften the boundaries through landscape, lighting, and appropriate scale and width of pedestrian zones. Where the main entrance is located along the north edge of the public courtyard, the width is +/-20’ depending on where café tables reside. The width of the midblock connection is about 25’ where main building entrance and elevator lobby are located and then funnels down to 16’ with the use of planters along the building edge.

C-4 | Exterior Finish Materials

Building exteriors should be constructed of durable and maintainable materials that are attractive even when viewed up close. Materials that have texture, pattern, or lend themselves to a high quality of detailing are encouraged.

The Board indicated that the examples of “stitchery” of cladding materials shown both in the packet and the presentation provided the right direction for design development and provided strong suggestions crucial to a successful engaging design of the base of the structure along 9th Avenue N.

The materials chosen for the project are “honest” in there texture and color. The podium is to be rich with natural color and patina while the tower tends to be a bit “cleaner” and softer while maintaining an understanding of craft. The goal was not to pick colors but rather pick materials and details that expressed natural characteristics (rusted metal, exposed aggregate at podium) and technical detailing (glass cladding with expressed joints in lieu of curtainwall at E/W). The tower details pull through the podium to tie the different elements together.

D-8 | Treatment of Alleys

The design of alley entrances should enhance the pedestrian street front.

This should be considered, somewhat obliquely, in light of the proposal to create a connection to the alley at mid block and to create a special environment within and along the alley at that point.

The materials have been chosen for natural coloration and patina and no specific color accents have been chosen. The intention is for the podium to be rich with natural textural, color and detail and allow the building to tie into the existing context and age gracefully. The tower is detailed with the same level of craft but with a lighter, softer palette while still maintaining a crafted expression. Glass cladding with exposed fasteners have been chosen instead of curtainwall to give a more articulated feel to the tower. These details pull through the podium to help stitch these ideas together at the pedestrian realm.

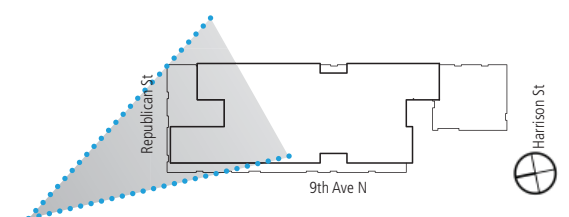


Podium Development and Scale
Podium @ 9th Ave N and Republican St.

Perspective Rendering



Perspective NW Corner of Site (looking SE) | North Podium



Podium Development and Scale
Podium @ 9th Ave N and Republican St.

Exterior Material Palette and Legend

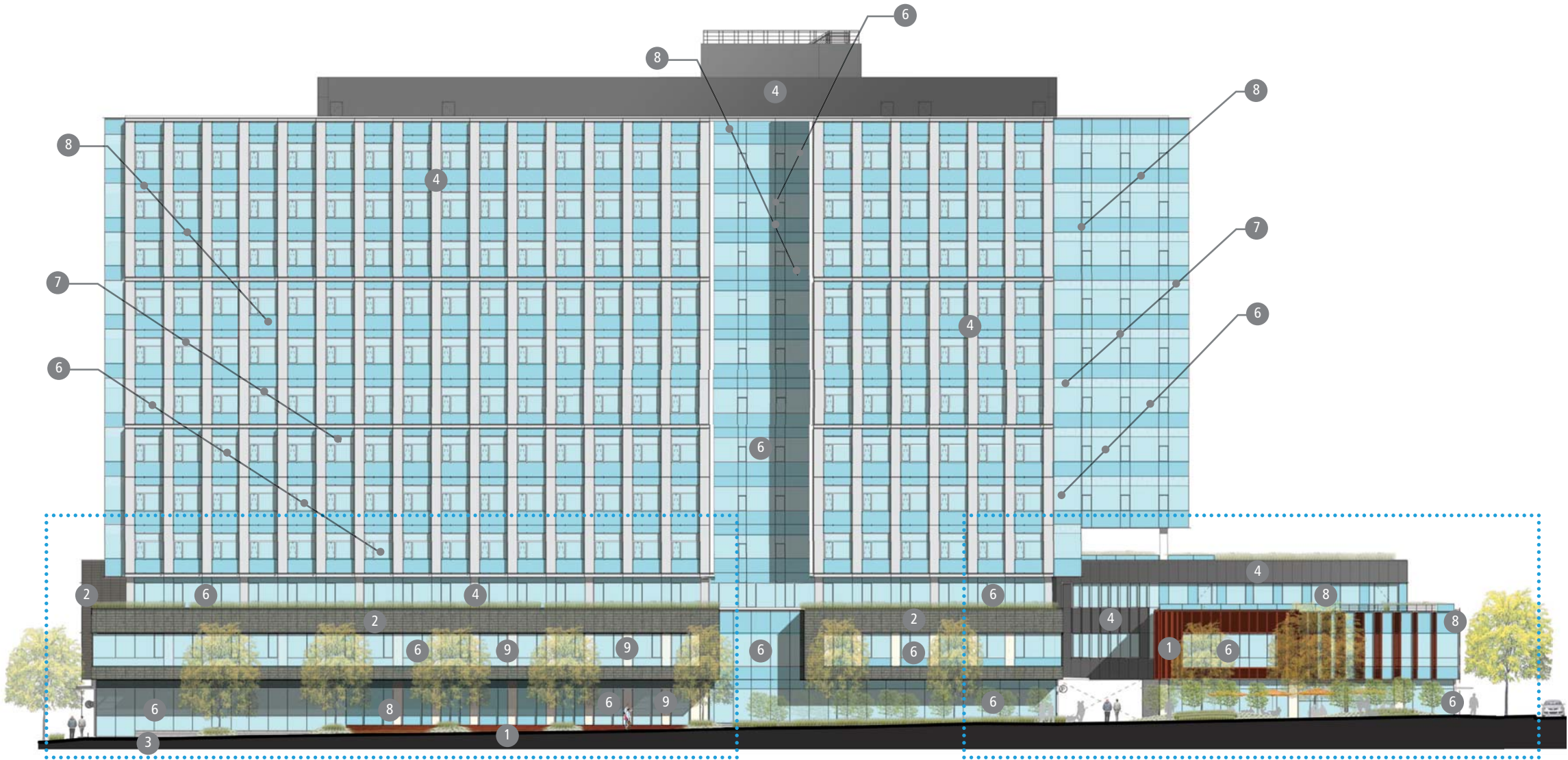
- 1 Corten Steel
- 2 Polished Face CMU (large format 8" x 30" module)
- 3 Architectural Concrete
- 4 Metal Panel (Gloss)
- 5 Metal Window System (Satin)
- 6 Vision Glass
- 7 Vision Glass (fritted)
- 8 Spandrel Glass
- 9 Glass Cladding Panel



Podium Development and Scale

Exterior Material Palette and Legend

- 1 Corten Steel
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- 9 Glass Cladding Panel



*SEE ENLARGED PODIUM ELEVATION ON PAGE 38

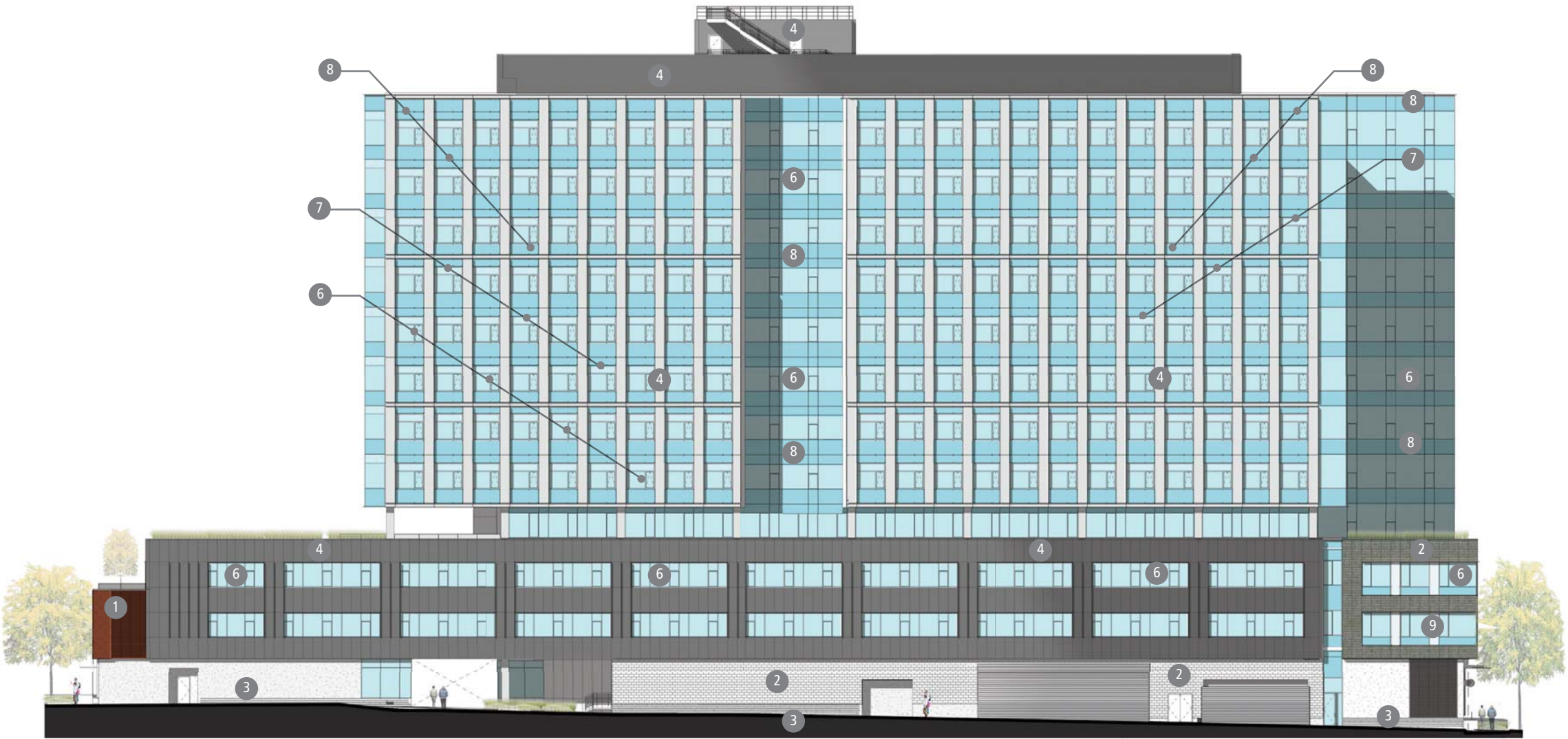
West Elevation

*SEE ENLARGED LANDSCAPE PODIUM ELEVATION ON PAGE 22

Podium Development and Scale
Podium @ 9th Ave N and Republican St.

Exterior Material Palette and Legend

- 1 Corten Steel
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- 6 Vision Glass
- 7 Vision Glass (fritted)
- 8 Spandrel Glass
- 9 Glass Cladding Panel

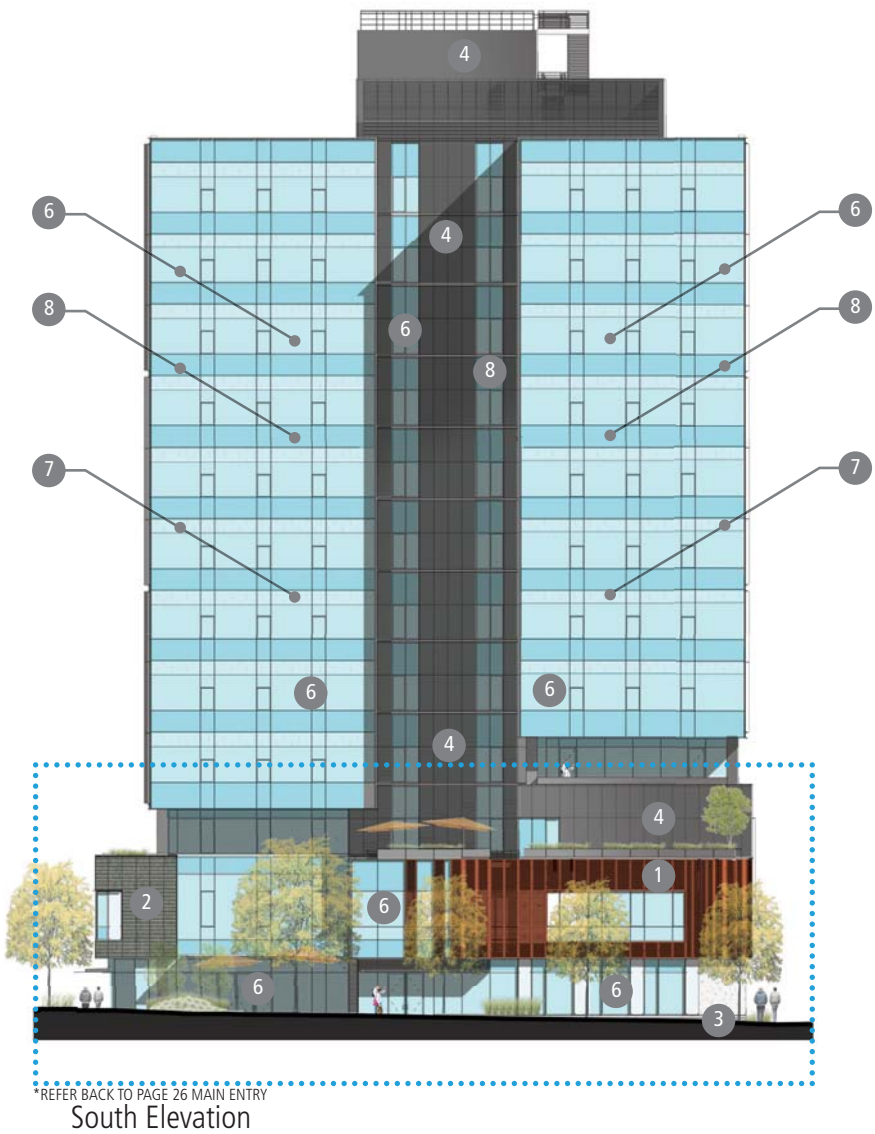
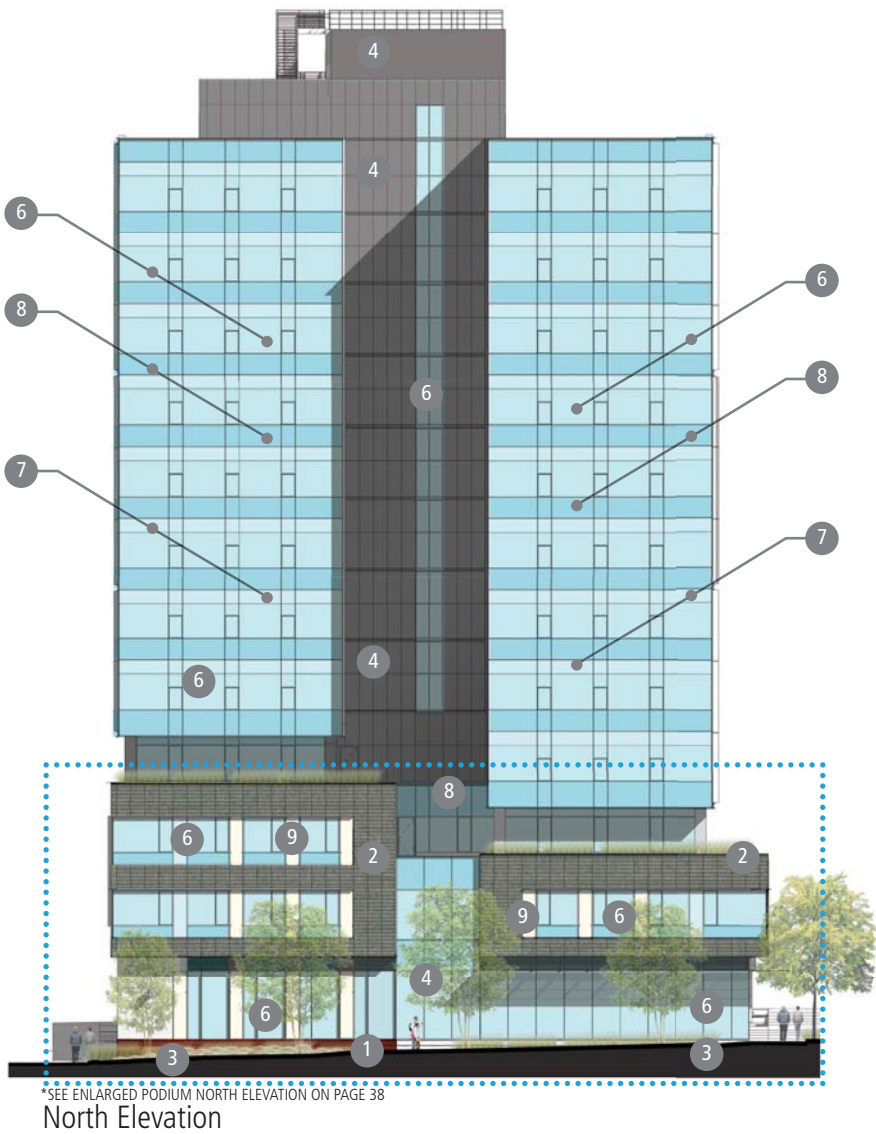


East Elevation

Podium Development and Scale
Podium @ 9th Ave N and Republican St.

Exterior Material Palette and Legend

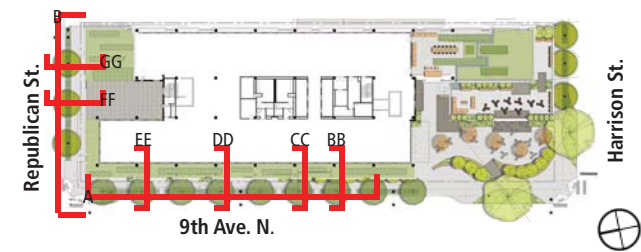
- 1 Corten Steel
- 2 Polished Face CMU (large format 8" x 30" module)
- 3 Architectural Concrete
- 4 Metal Panel (Gloss)
- 5 Metal Window System (Satin)
- 6 Vision Glass
- 7 Vision Glass (fritted)
- 8 Spandrel Glass
- 9 Glass Cladding Panel



Podium Development and Scale
Podium @ 9th Ave N and Republican St.

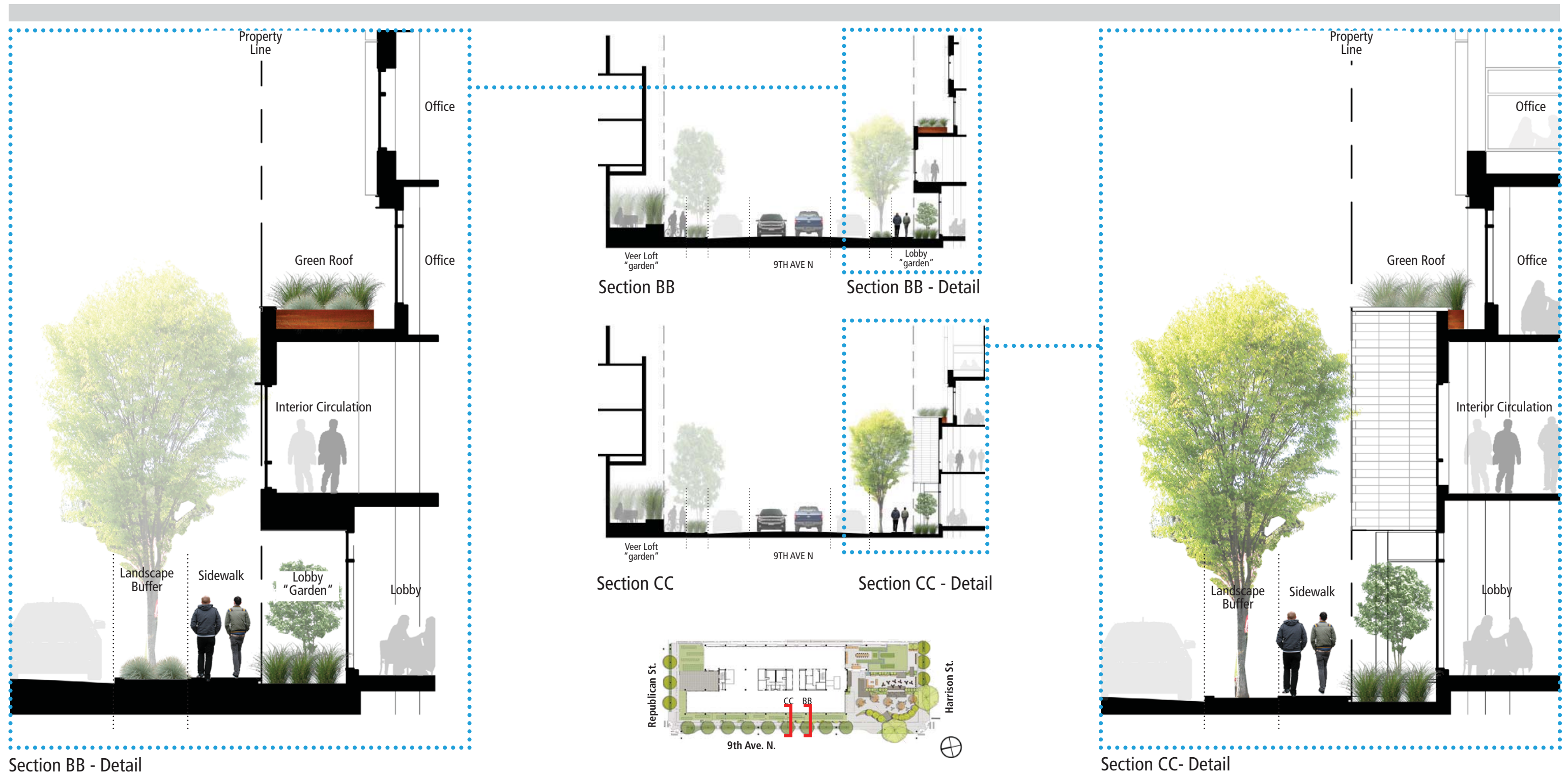
Exterior Material Palette and Legend

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- 5 Metal Window System (Satin)
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- 7 Vision Glass (fritted)
- 8 Spandrel Glass
- 9 Glass Cladding Panel

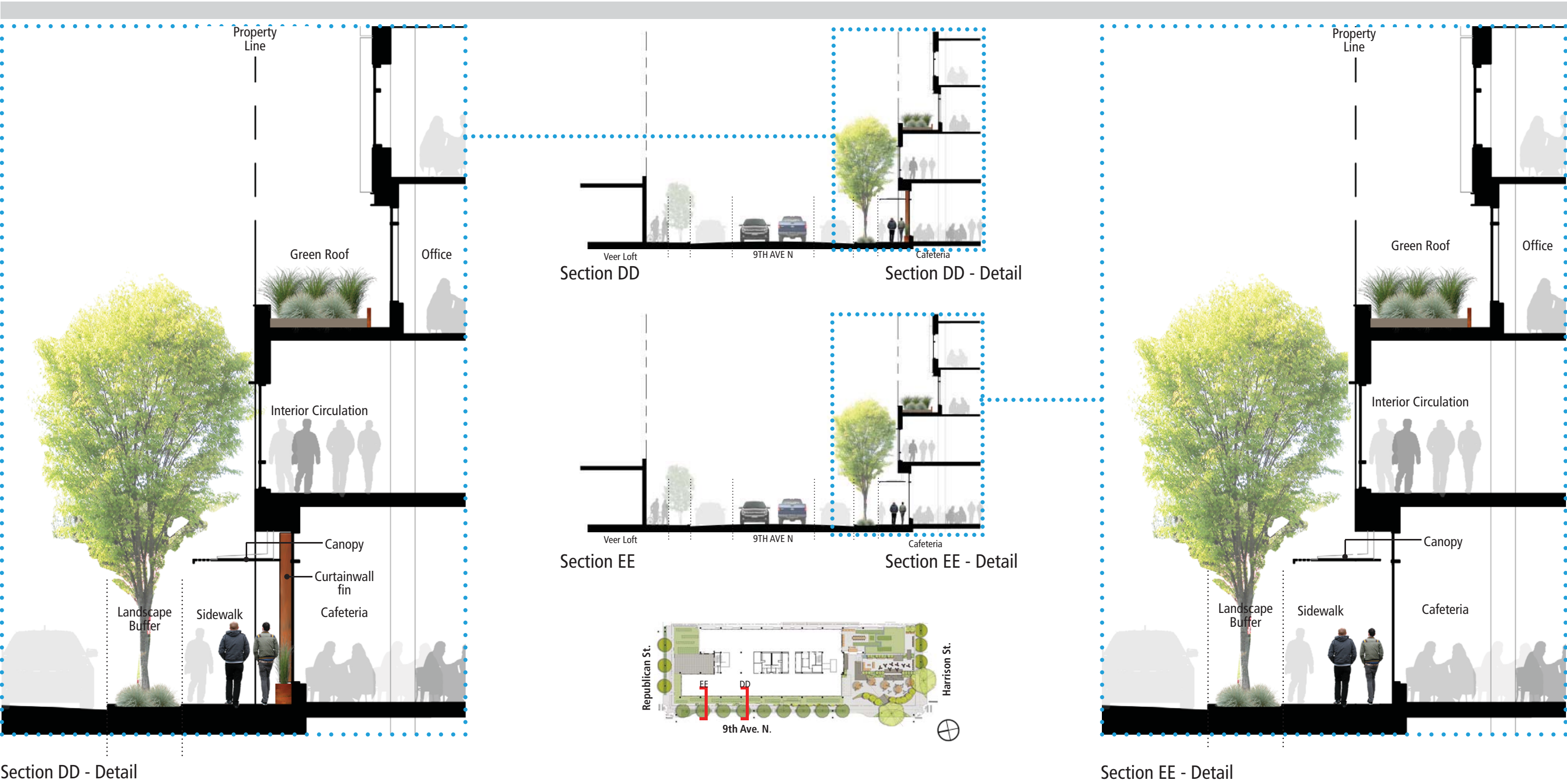


*Note: Sections BB & CC located on pg. 39, sections DD & EE located on pg. 40, sections FF & GG located on pg. 41

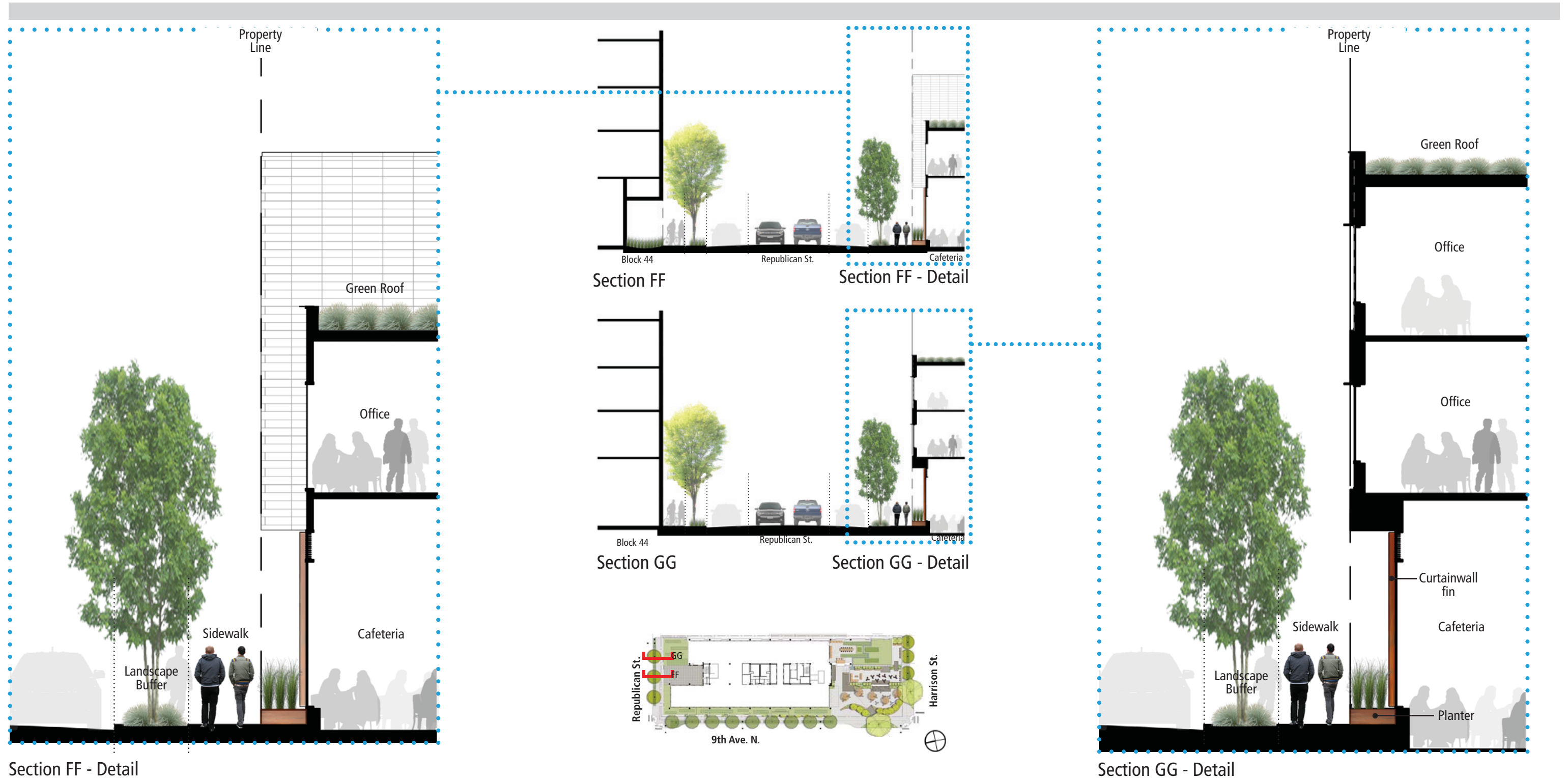
Podium Development and Scale
Podium @ 9th Ave N and Republican St.



Podium Development and Scale
Podium @ 9th Ave N and Republican St.



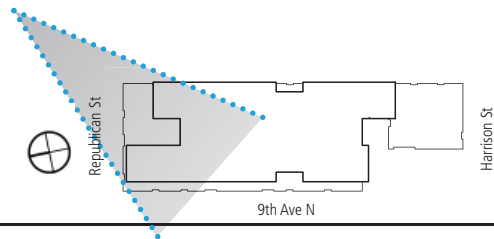
Podium Development and Scale
Podium @ 9th Ave N and Republican St.



Podium Development and Scale
Podium @ 9th Ave N and Republican St.

Exterior Material Palette and Legend

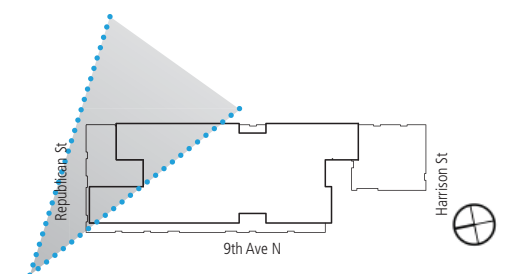
- 1 Corten Steel
- 2 Polished Face CMU (large format 8" x 30" module)
- 3 Architectural Concrete
- 4 Metal Panel (Gloss)
- 5 Metal Window System (Satin)
- 6 Vision Glass
- 7 Vision Glass (fritted)
- 8 Spandrel Glass
- 9 Glass Cladding Panel
- 10 Perforate Metal Soffit Panel



Podium Development and Scale Podium @ 9th Ave N and Republican St.

Exterior Material Palette and Legend

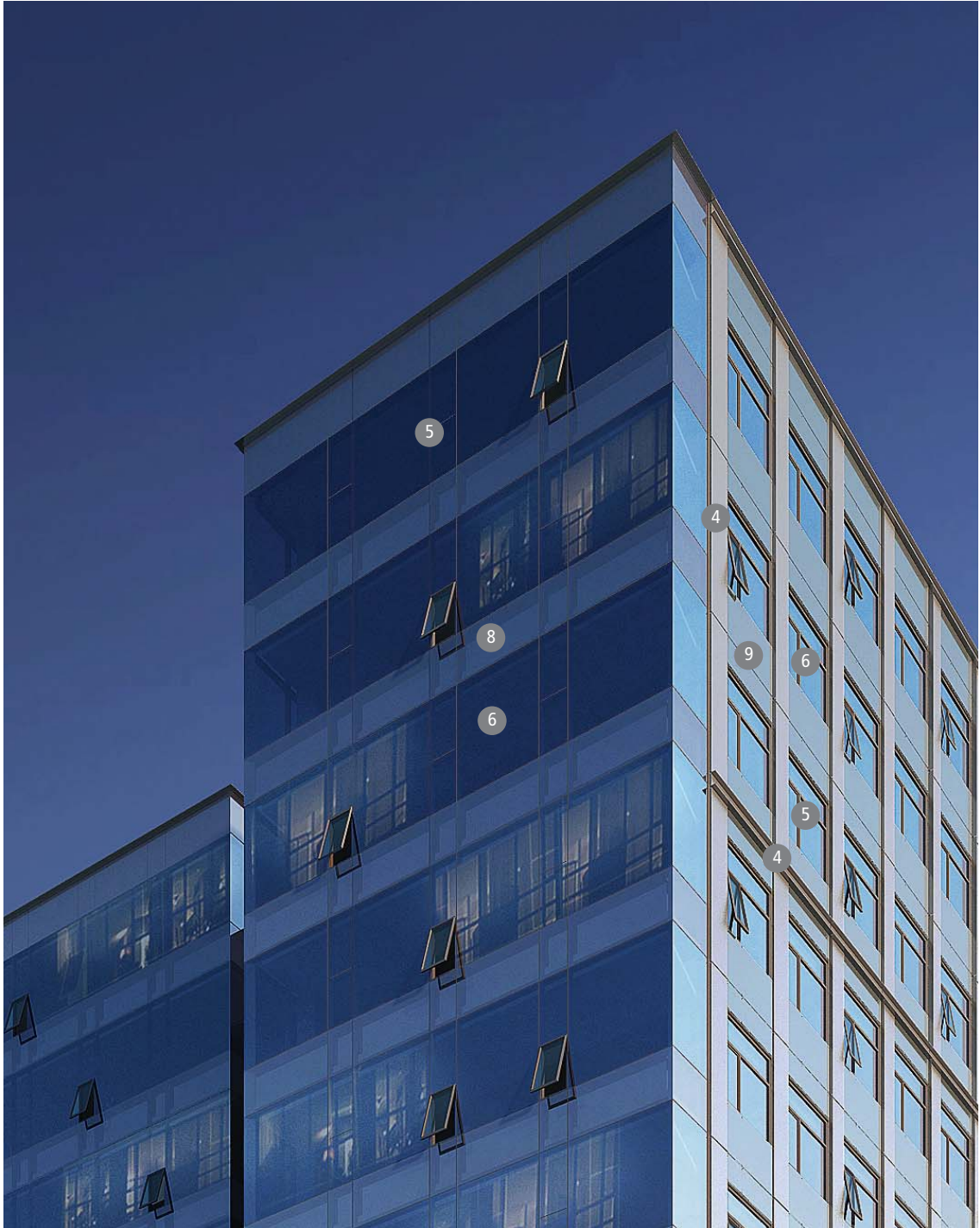
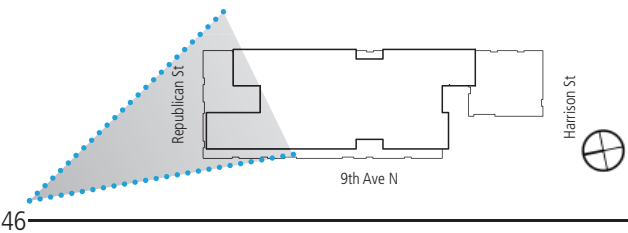
- ① Corten Steel
- ② Polished Face CMU (large format 8" x 30" module)
- ③ Architectural Concrete
- ④ Metal Panel (Gloss)
- ⑤ Metal Window System (Satin)
- ⑥ Vision Glass
- ⑦ Vision Glass (fritted)
- ⑧ Spandrel Glass
- ⑨ Glass Cladding Panel
- ⑩ Perforate Metal Soffit Panel



Podium Development and Scale
Podium @ 9th Ave N and Republican St.

Exterior Material Palette and Legend

- ① Corten Steel
- ② Polished Face CMU (large format 8" x 30" module)
- ③ Architectural Concrete
- ④ Metal Panel (Gloss) w/ varied depth vertical fin
- ⑤ Metal Window System (Satin)
- ⑥ Vision Glass
- ⑦ Vision Glass (fritted)
- ⑧ Spandrel Glass
- ⑨ Glass Cladding Panel
- ⑩ Perforate Metal Soffit Panel
- ⑪ Painted Metal Canopy



Enlarged Elevation A



Enlarged Elevation B

Design Departures

1. 23.48.013 D.1 Façade Modulation

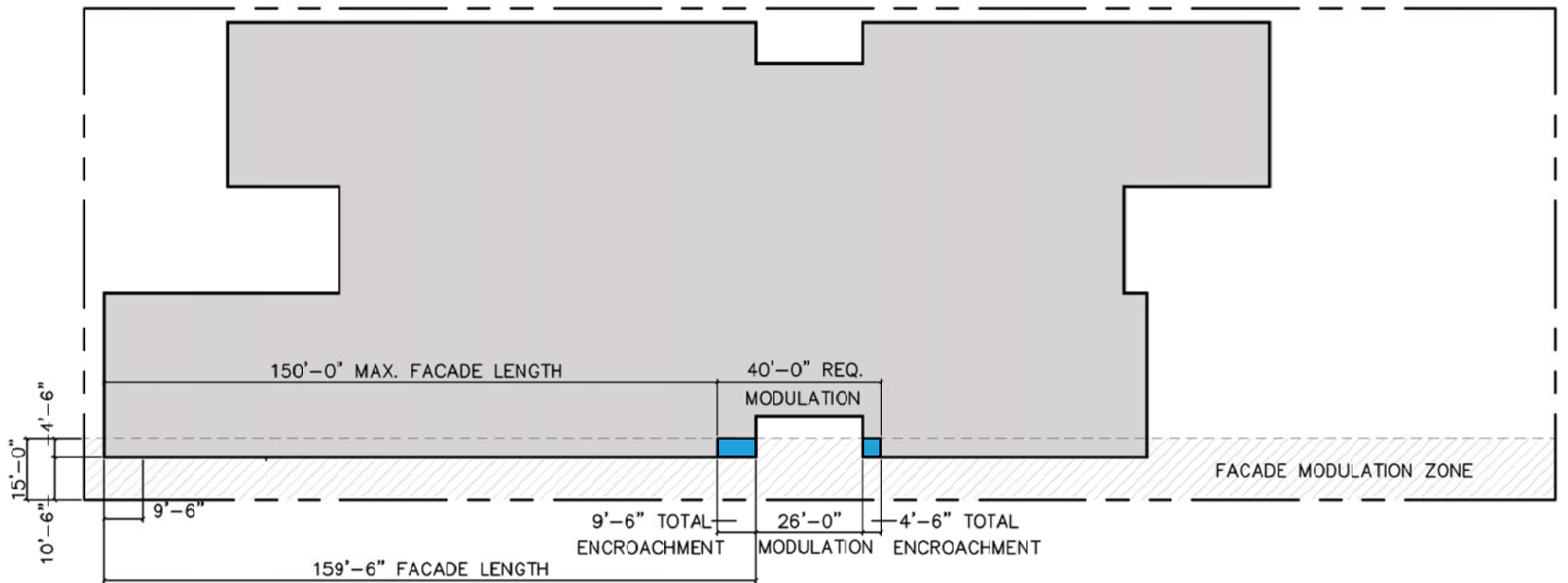
The preferred scheme seeks to decrease the overall bulk and scale of the building along 9th Avenue to better fulfill the following South Lake Union Supplemental Design Guidelines:

B-1 Height Bulk and Scale: The full tower mass is set back along the entire 9th Ave frontage to provide visual relief at this elevation. In addition, the elevation along 9th Ave has been modulated at the mid-block location to mitigate the perceived length of this facade. This is references the adjacent development at the mid-block condition.

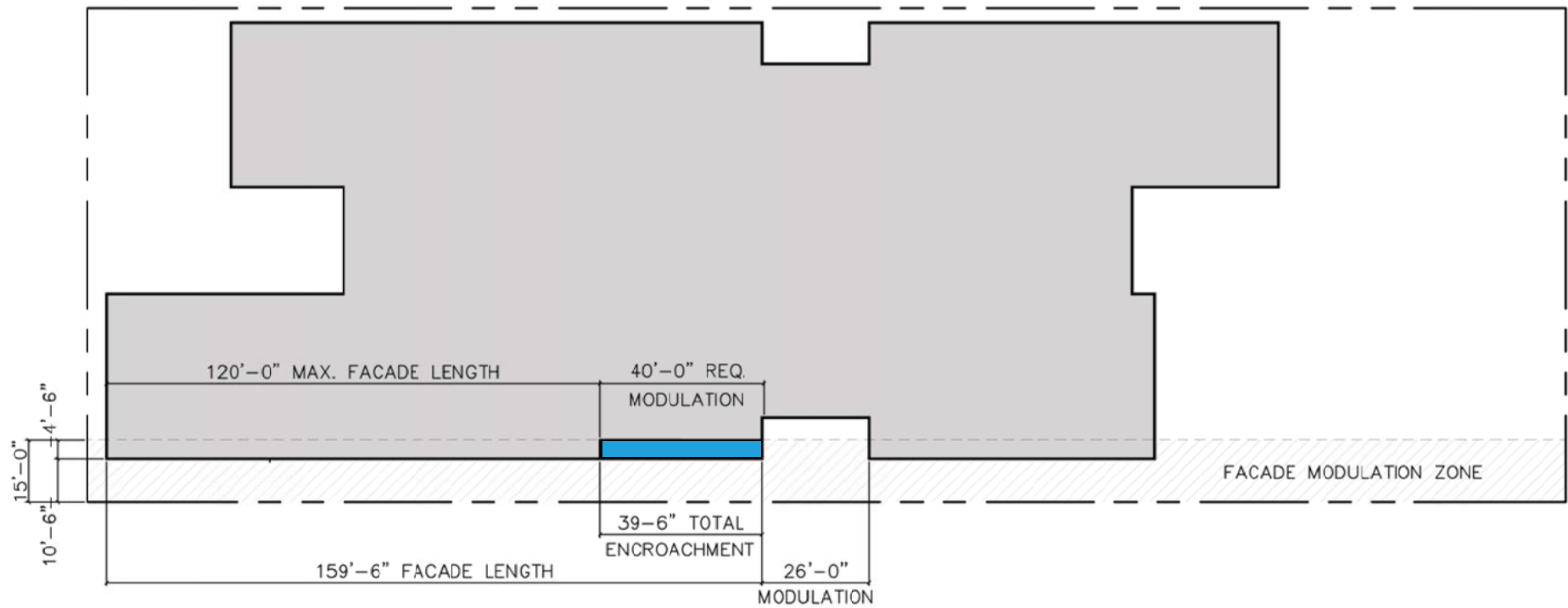
C-2 Architectural Concept and Consistency: The building concept clearly articulates a strong central spine and two articulated office bars that have been attenuated for massing relief within the urban environment and excellent daylighting opportunities within the office environment. The proposed modulation adheres to the spirit of the development standards (see B-1 above) while also maintaining a strong visual concept and more usable and flexible office floor plates.

To meet these supplemental design guidelines, the entire façade of the building along Ninth Avenue above the podium is setback a distance of 10'-6" from the street property line. However, because façade modulation affects the portion of the façade within 15' of the street property line, we seek a departure along Ninth Avenue for the following:

- A. Between 45' and 125' high, extend maximum façade length located within 15' of the street property line from 150' to 159'-6" and for the setback distance between façade lengths to be reduced from 40' to 26'.
- B. Between 125' and 160' high, extend maximum façade length located within 15' of the street property line from 120' to 159'-6" and for the setback distance between façade lengths to be reduced from 40' to 26'.



Typical Plan (45-125' above existing grade)



Typical Plan (125-160' above existing grade)