

325 9th Avenue North

Design Recommendation

West DRB meeting date: 17.July.2013

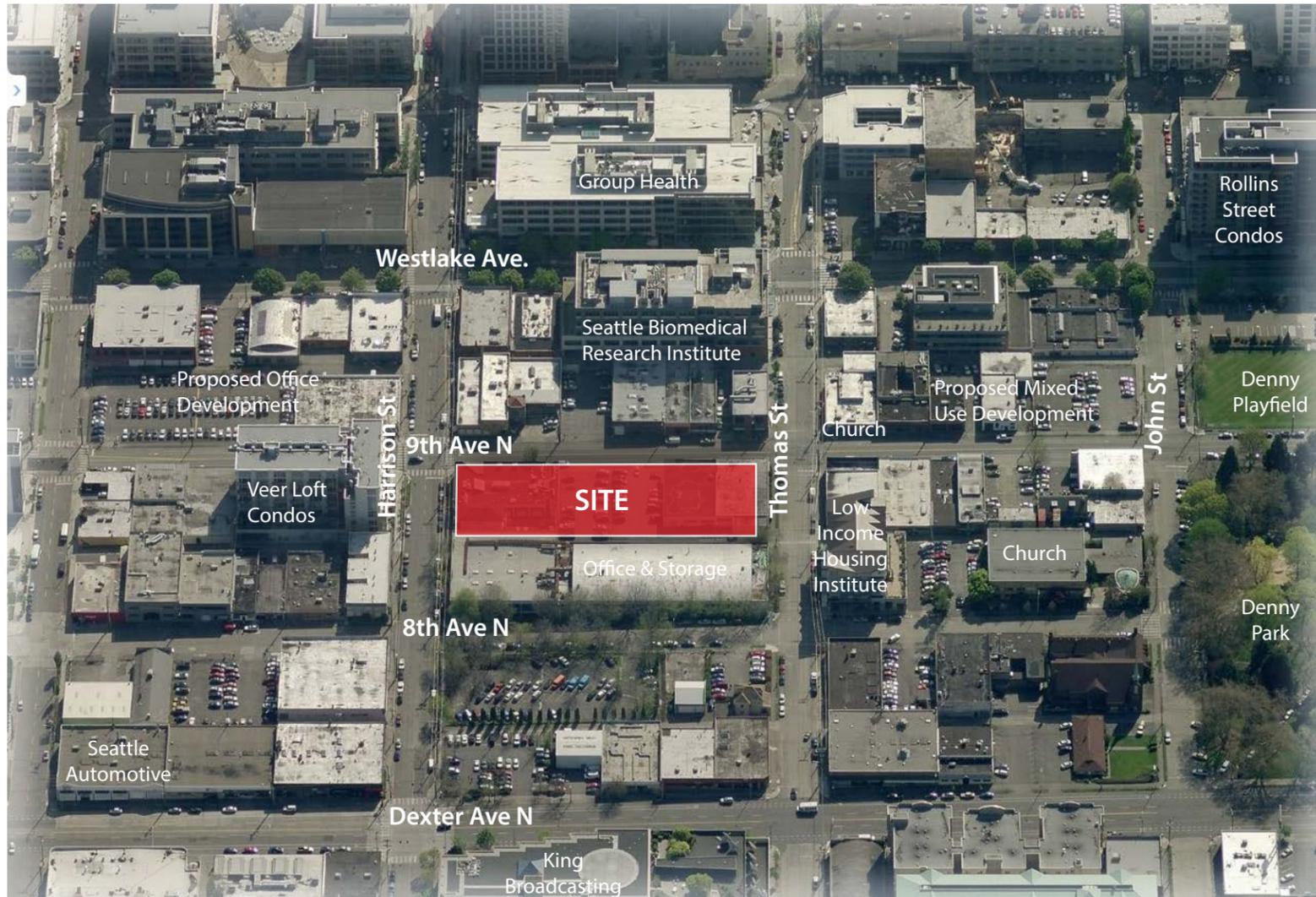
DPD Project Number: 3014639



GRAPHITE

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Project Info

Property Address

325 9th Avenue North
Seattle, WA 98109

DPD Project Number

3014639

Owner

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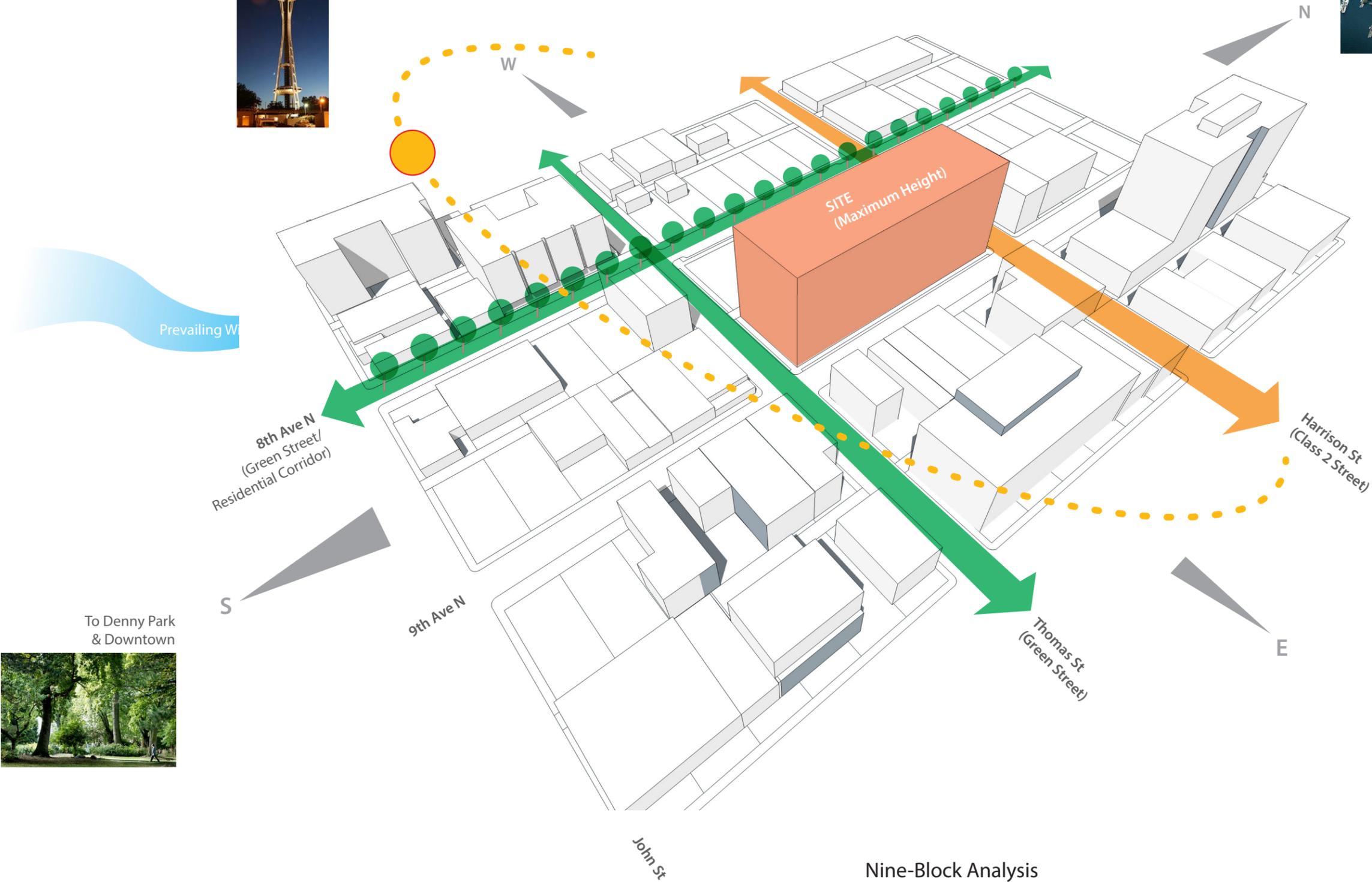
Development Objectives

The applicant proposes to build a 12-story structure with 314,798 square feet of total above-grade construction, including approximately 307,604 SF of Office use and approximately 4,210 SF of Retail. Below grade parking will be provided for approximately 443 cars. Also provided will be approximately 6,599 SF of Public Open Space at grade and 8,779 SF of Private Open Space. Primary building entries will be from 9th Avenue North and the corner of Ninth Avenue North and Harrison Street. Automobile entries will be from the alley bordering the site on the west. Four loading berths and trash and recycling facilities will also be accessible from the alley.

To Space Needle
& Olympic Mountains



To Lake Union



To Denny Park
& Downtown



Nine-Block Analysis

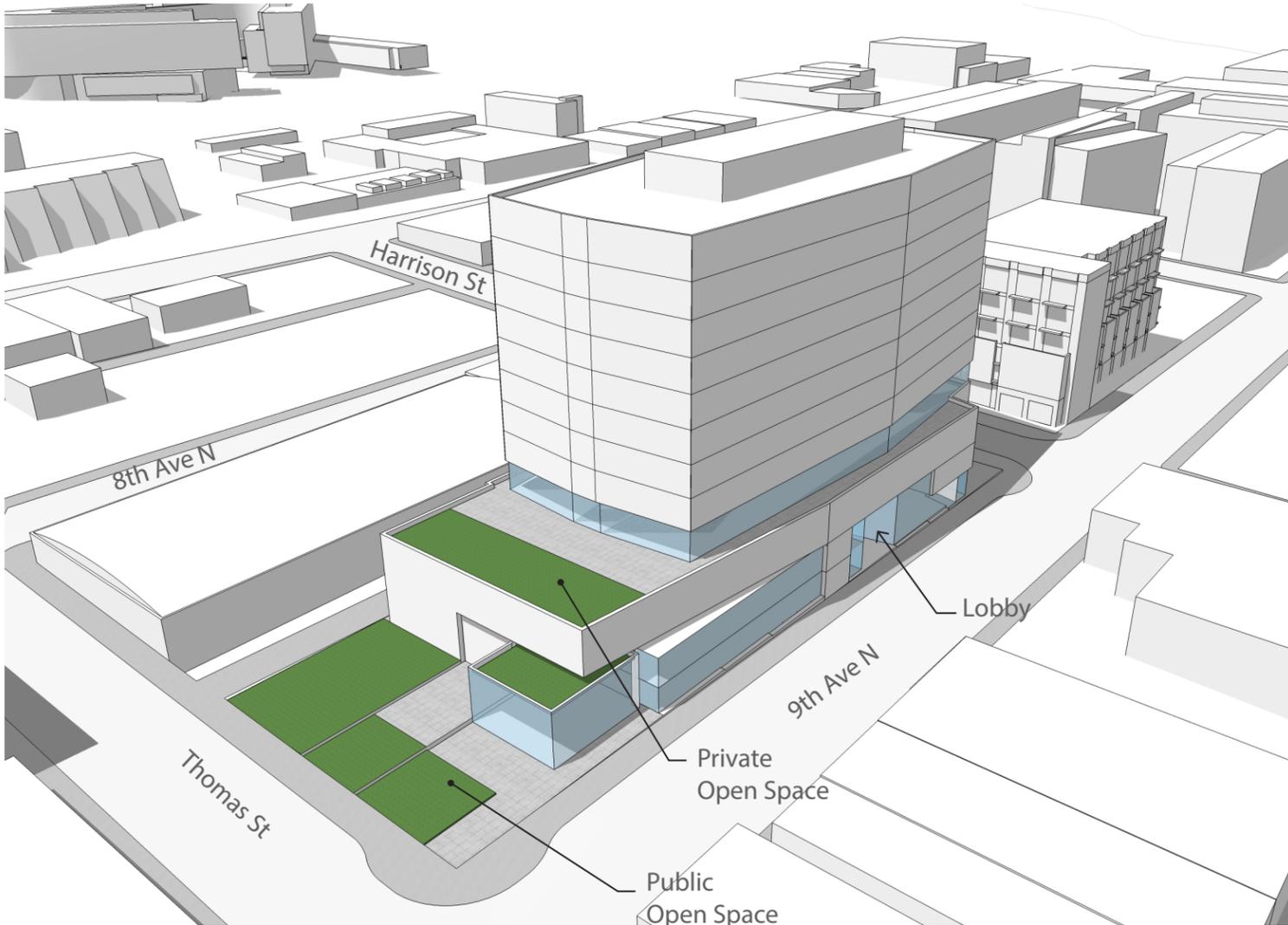




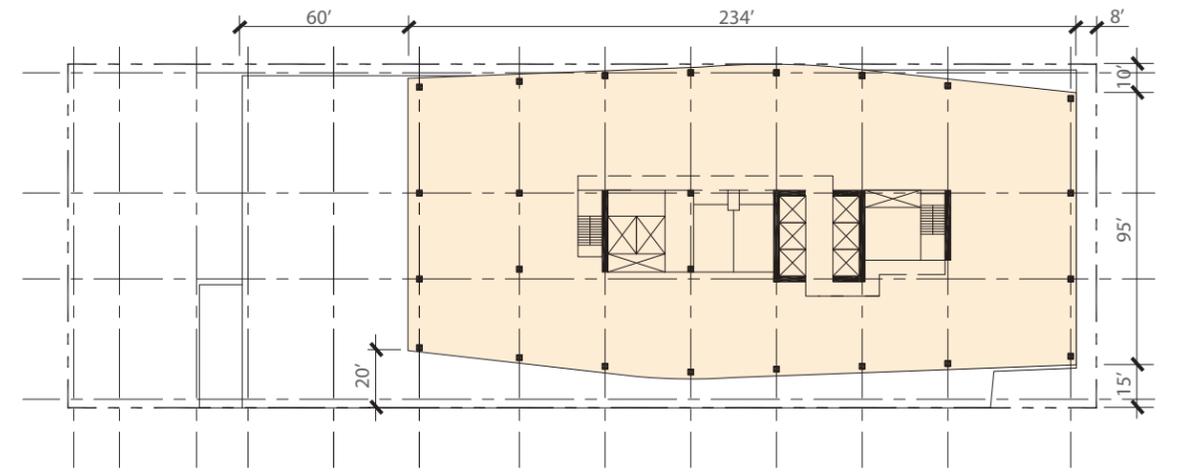
Street View From Northeast



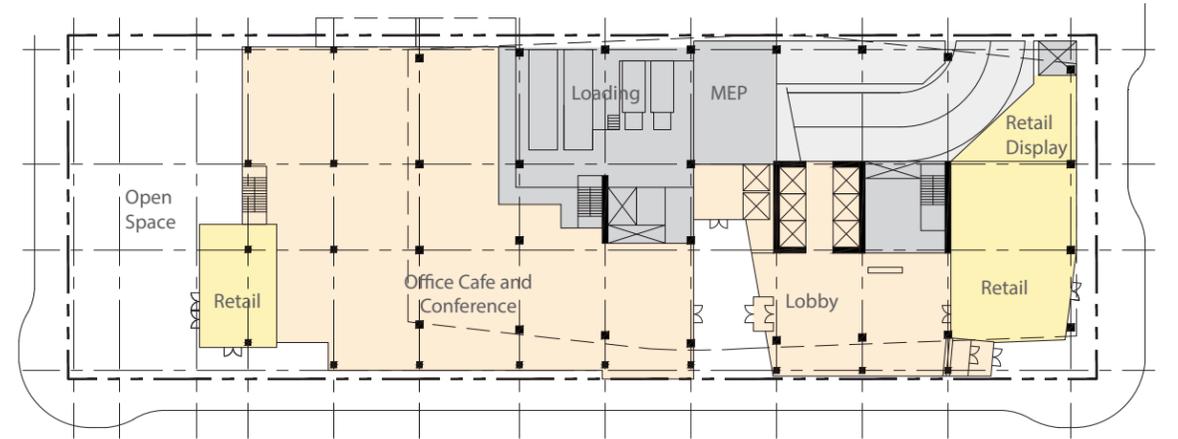
Street View From Southeast



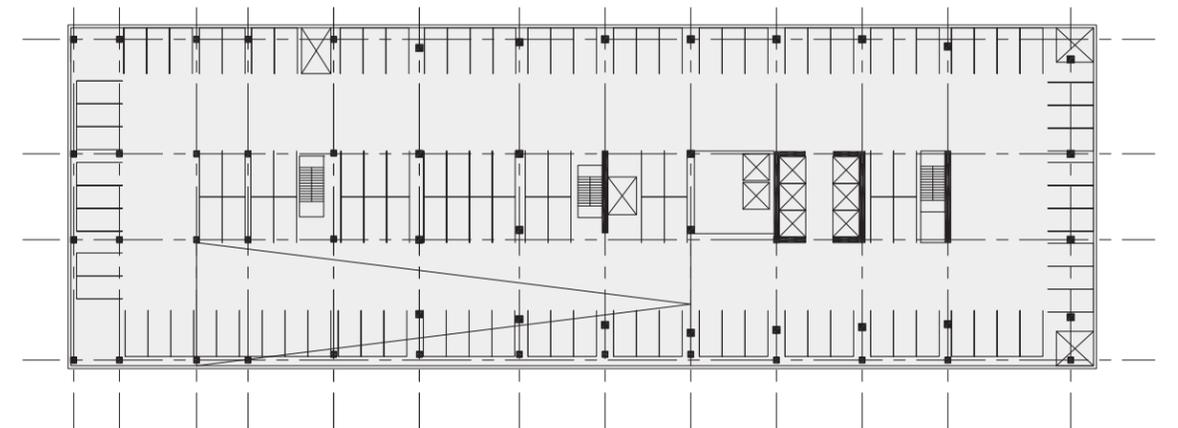
Looking Northwest



Typical Office Level



Ground Level



Garage Level



EDG Board Recommendations - Feb 27, 2013

Summary of Recommendation Responses

1. Site Planning and Proposed Tower Location (A-5, B-1, D-10)

- Supported strong base and tower expression
- Recommended that tower shift south approximately 30 ft
- Suggested east facade incorporate at least one more fold and/or recess
- Recommended considering strategies to reduce light pollution especially with respect to residential building to the north

2. Street Level Development (A-2, A-4, A-10, C-3, D-8)

- Endorsed active ground floor plan with corner entries, retail pavilions on 9th Ave, and setbacks to facilitate pedestrian movement
- Recommended transparency along all 3 ground level facades, with active functions on the perimeter
- Endorsed corner retail locations and character, as well as secondary lobby entrance from northeast corner
- Suggested increasing the recess of northeast retail corner glass
- Recommended that alley parking portal should be as far south as possible

3. Open Space & Landscape Development (A-10, C-3, D-1, D-7, E-2)

- Endorsed the retail activation of the south plaza
- Discussed the need for scale and pedestrian interest at all ground level street facing facades
- Supported deeply recessed office lobby, open space along Thomas St, and general direction of landscaping
- Recommended increasing permeability of bamboo along south sidewalk, activating the west part of the plaza, and tying landscape elements into concept

4. Architectural Character (C-2, C-3, B-1)

- Supported scale and relationship of base to street scale and context
- Supported the use of south facing terraces as amenity space and recommended that all lower roofs be designed as a sustainable 5th elevation
- Strongly endorsed the 'cribbing' facade concept and suggested that it inform development of lower facades
- Recommended additional folds or tapering on long facades



1. Site Planning and Proposed Tower Location (A-5, B-1, D-10)



9:00 am



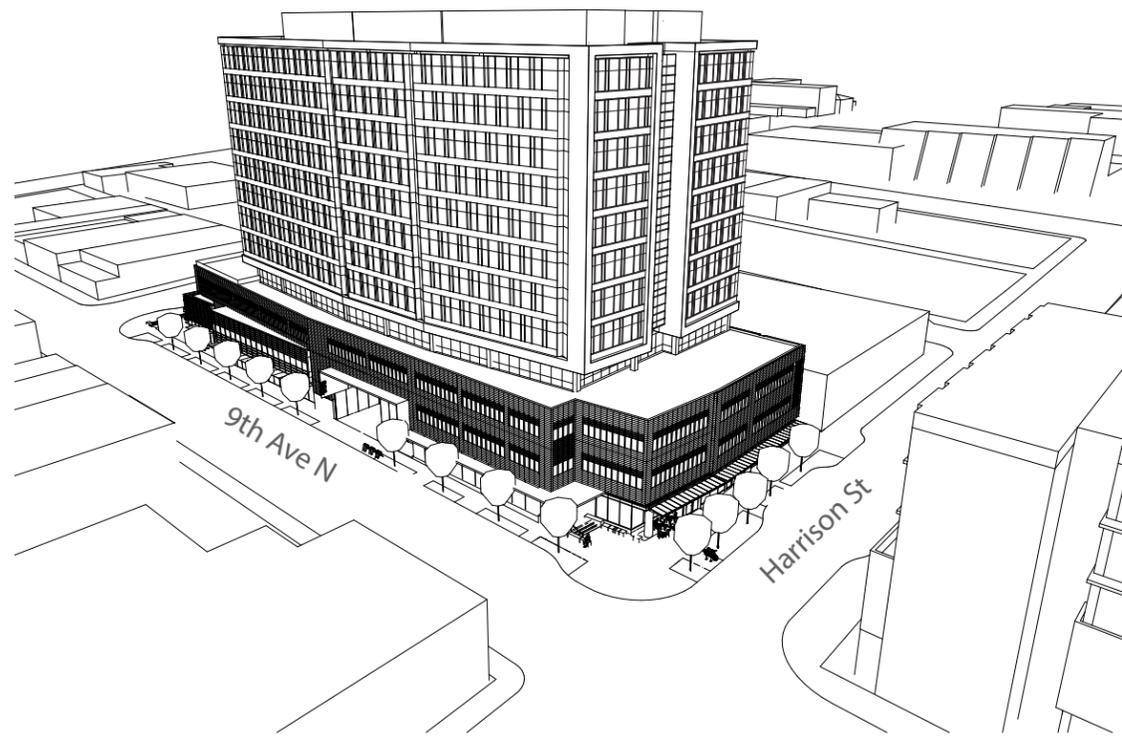
12:00 pm



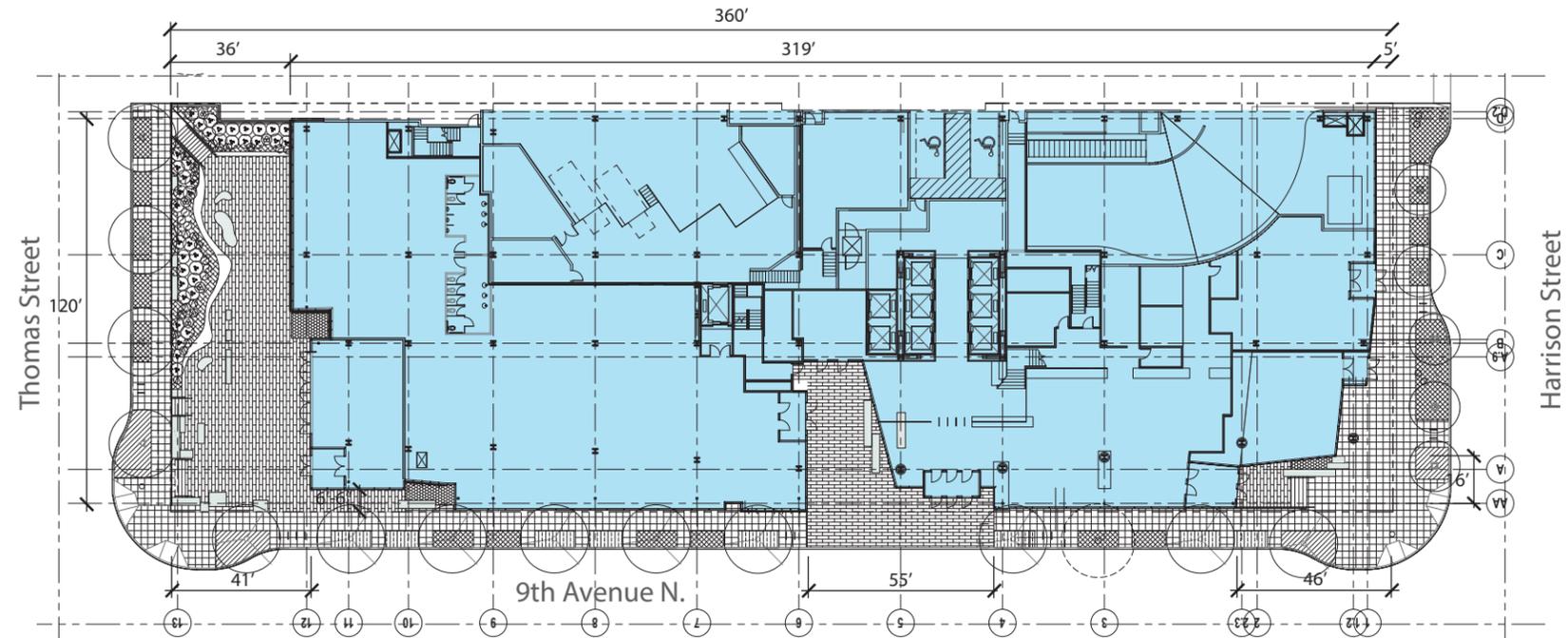
3:00 pm

Summer - June 21st

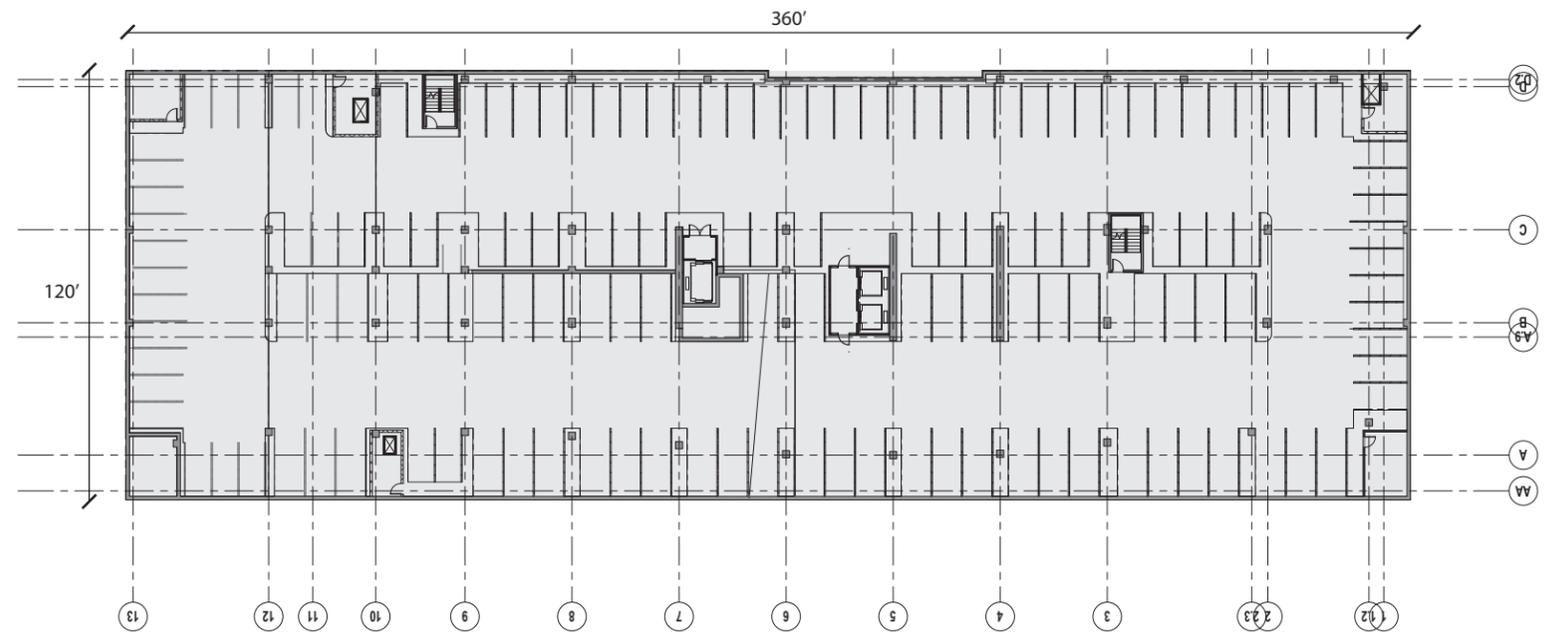
Base and Tower Expression



Perspective view from the northeast



First floor plan
(more detailed plan on pg A-14)



Typical basement plan



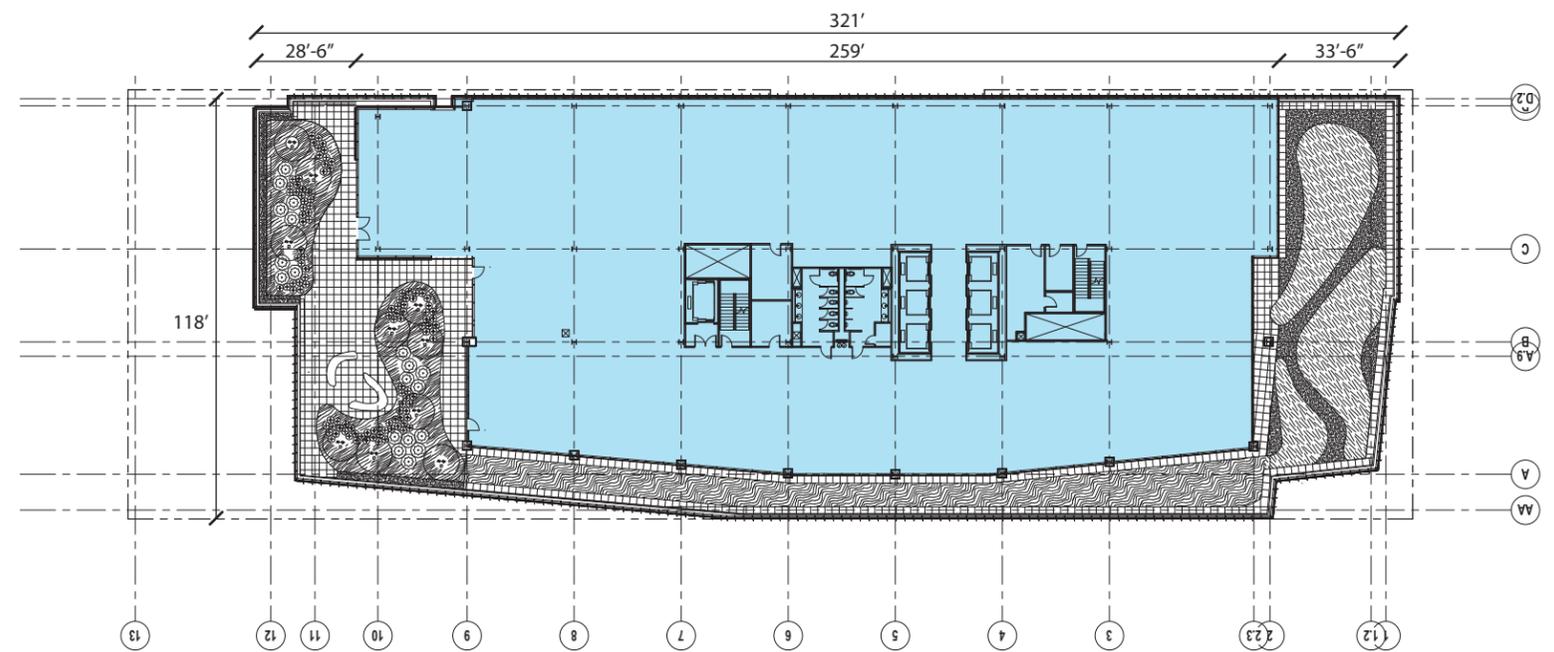
Base and Tower Expression



Perspective from the southeast



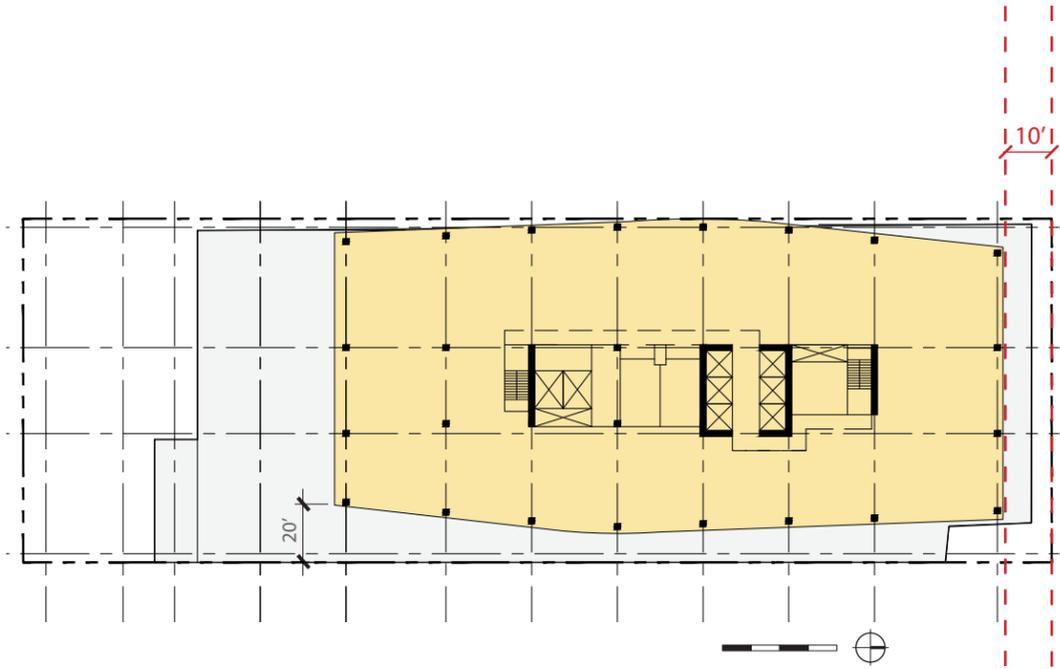
Typical tower floor plan



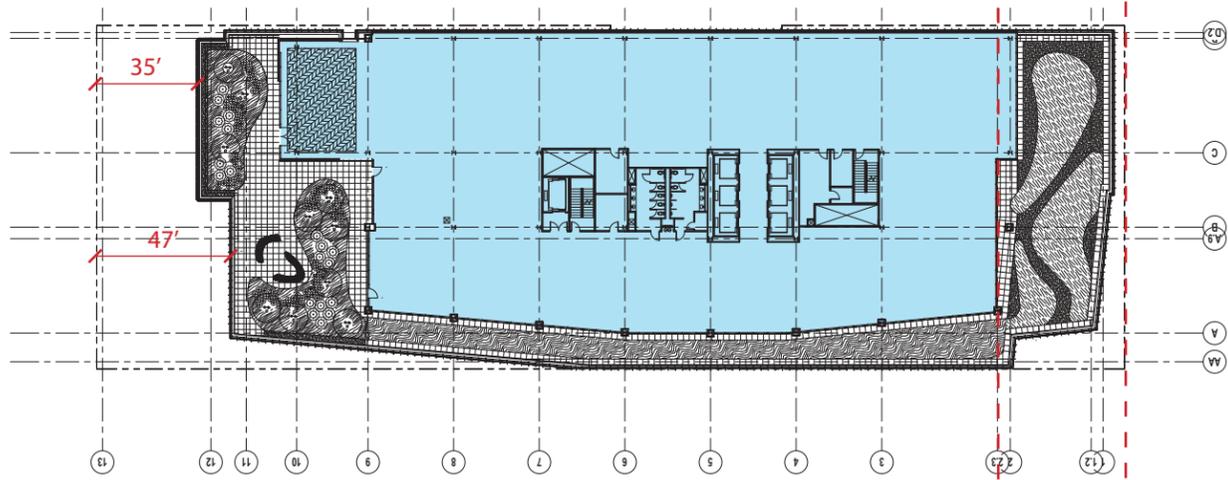
Fourth floor plan



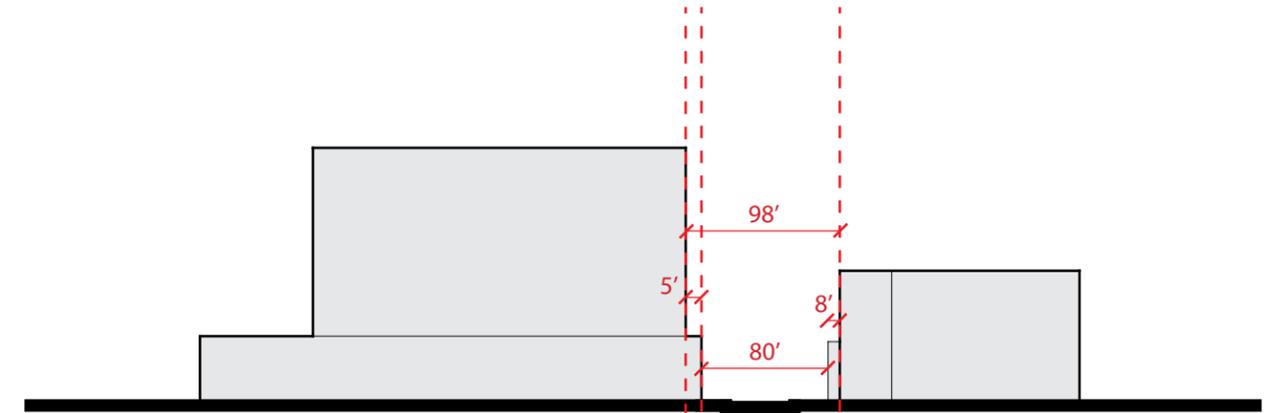
Tower Location



Original proposal - tower setback from property line

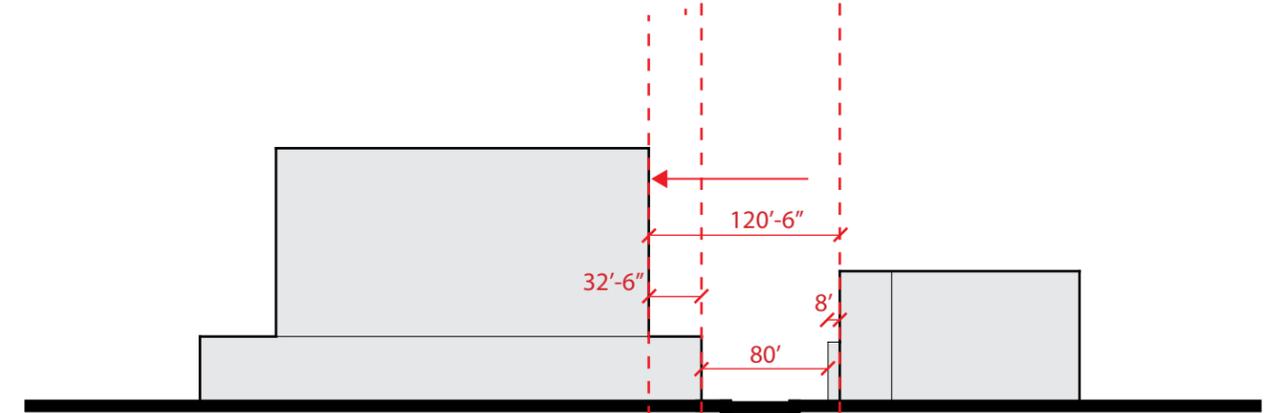


Current proposal - tower setback from property line



Original proposal - distance between proposed tower and existing lofts

Harrison Street

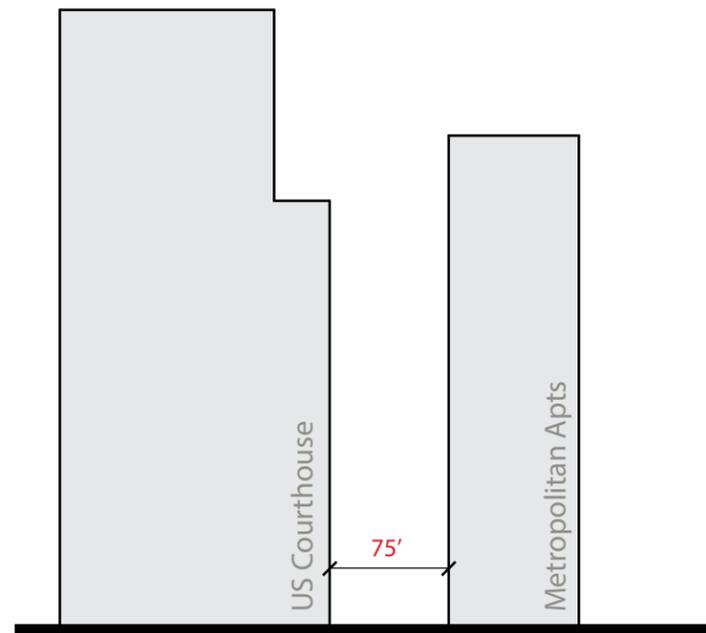
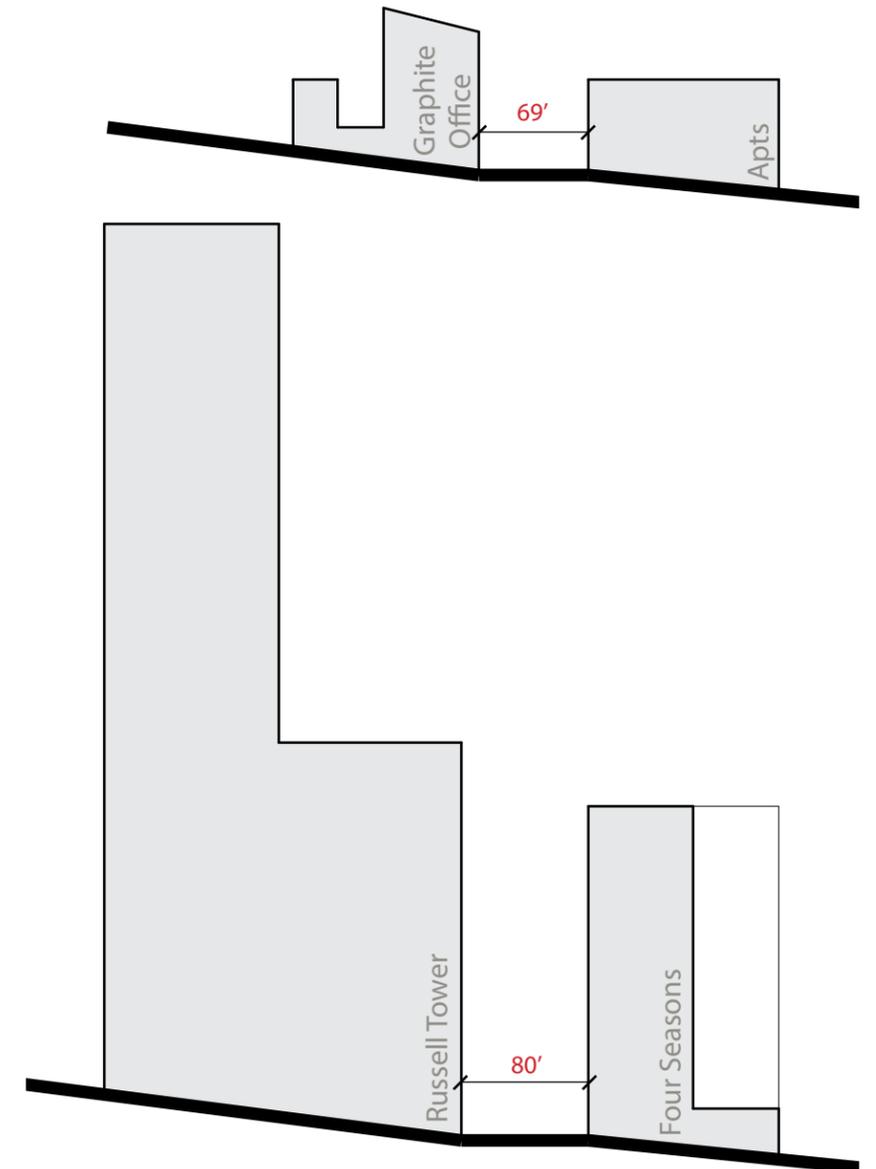
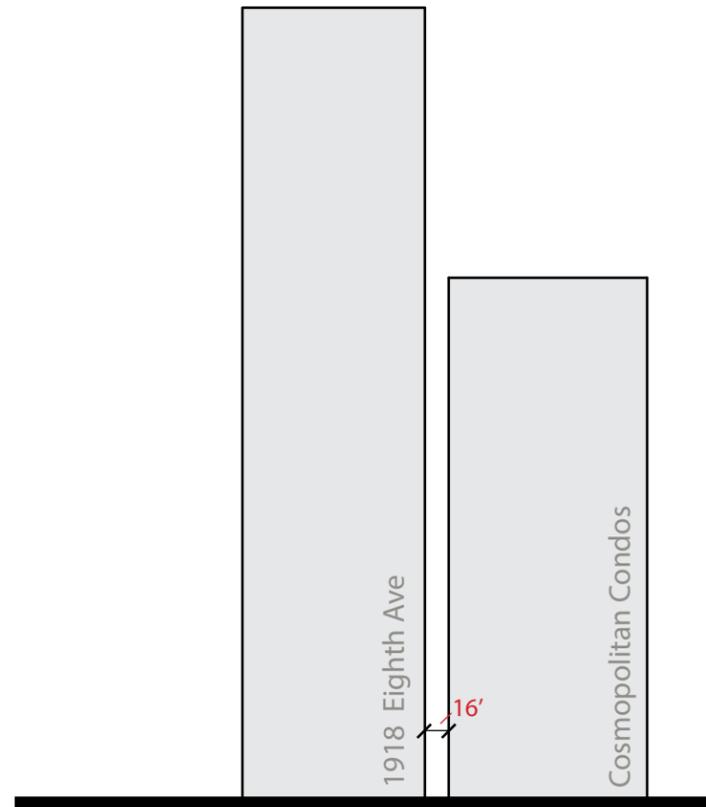


Current proposal - distance between proposed tower and existing lofts

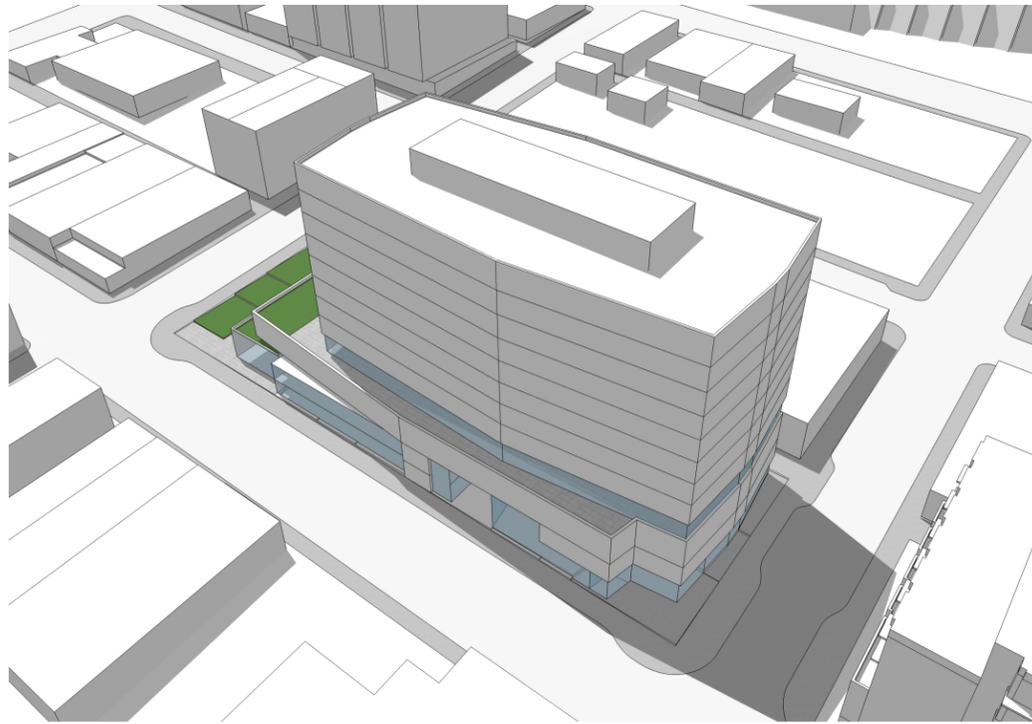
Harrison Street



Comparison with Local Projects



Folds and Tapering



EDG Design

Proposed Design



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A-10 | Site Planning And Proposed Tower Location

325 9th Avenue North
12018.00

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July 17, 2013





9:00 am

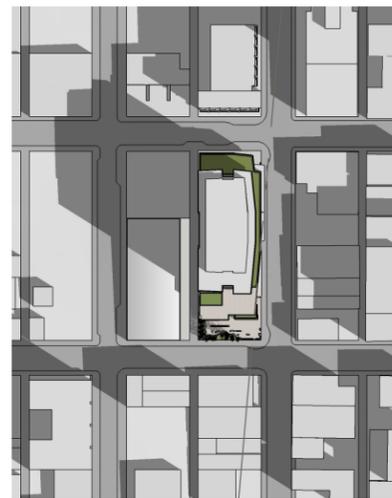


12:00 pm



3:00 pm

Summer - June 21st



9:00 am



12:00 pm



3:00 pm

Spring & Fall - March & Sept. 20th



9:00 am



12:00 pm



3:00 pm

Winter - December 21st



1. Summary - Site Planning and Proposed Tower Location

A-5 Respect for Adjacent Sites

- tower has shifted to approximately 38 ft south of the north property line ✓
- Window treatment and site lighting avoid light pollution and impact on neighboring residential ✓

B-1 Height Bulk & Scale Compatibility

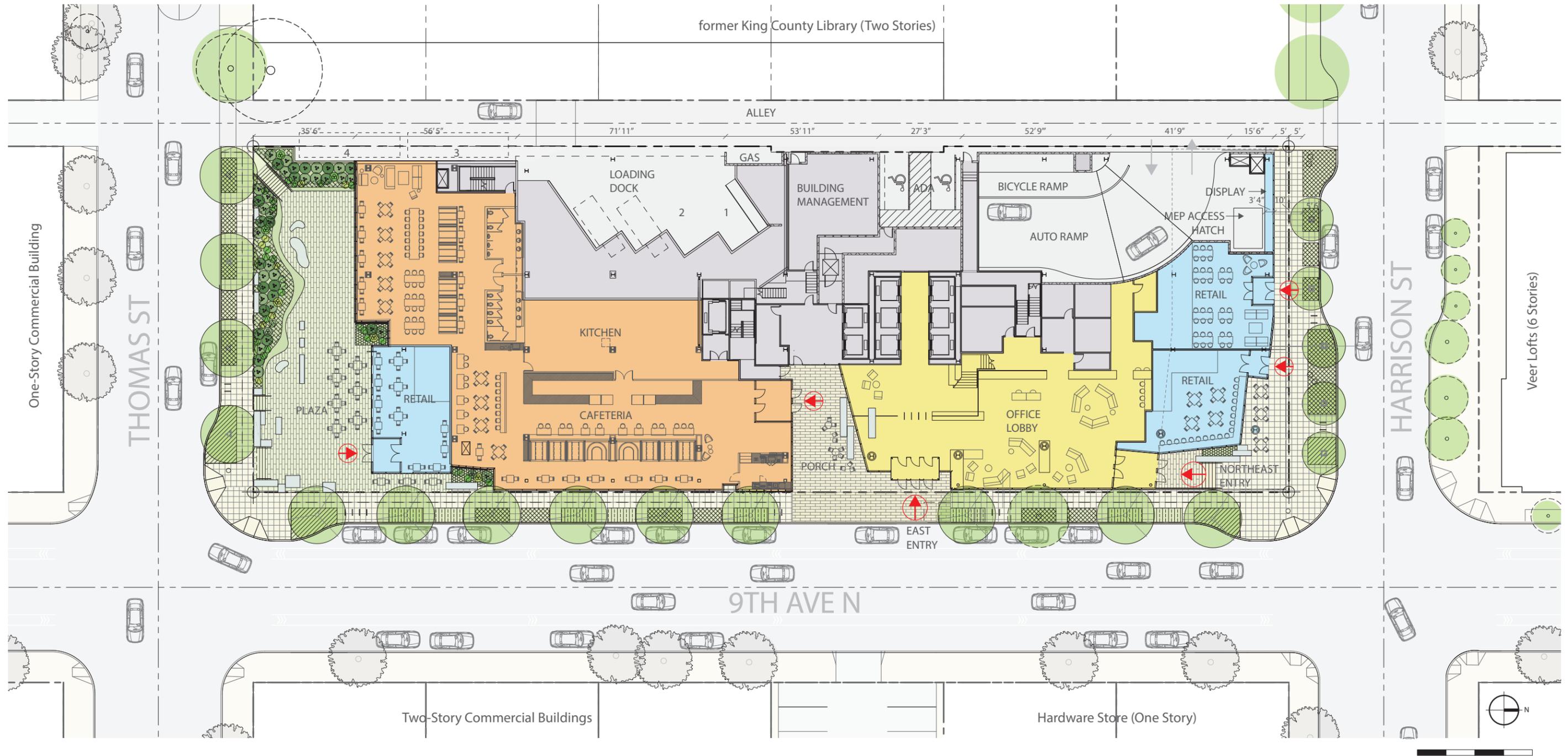
- strong base and tower expression has been reinforced ✓
- layered base provides folded planes that relate to the tower ✓
- folds and tapering have increased on the tall and 200 ft+ long tower facades..... ✓
- an additional fold and recess has been incorporated into the east facade..... ✓
- tapering of the tower's north end has been optimized to reduce shading to the north ✓



2. Street Level Development (A-2, A-4, A-10, C-3, D-8)



Active Ground Plane/Streetscape Activity





Ninth Avenue N. and Harrison Street



View of pedestrian activity/ transparency along 9th Avenue North.



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A-16 | Street Level Development

325 9th Avenue North

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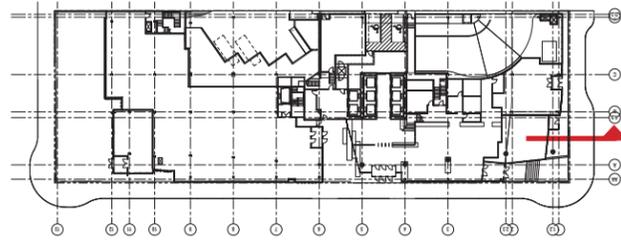
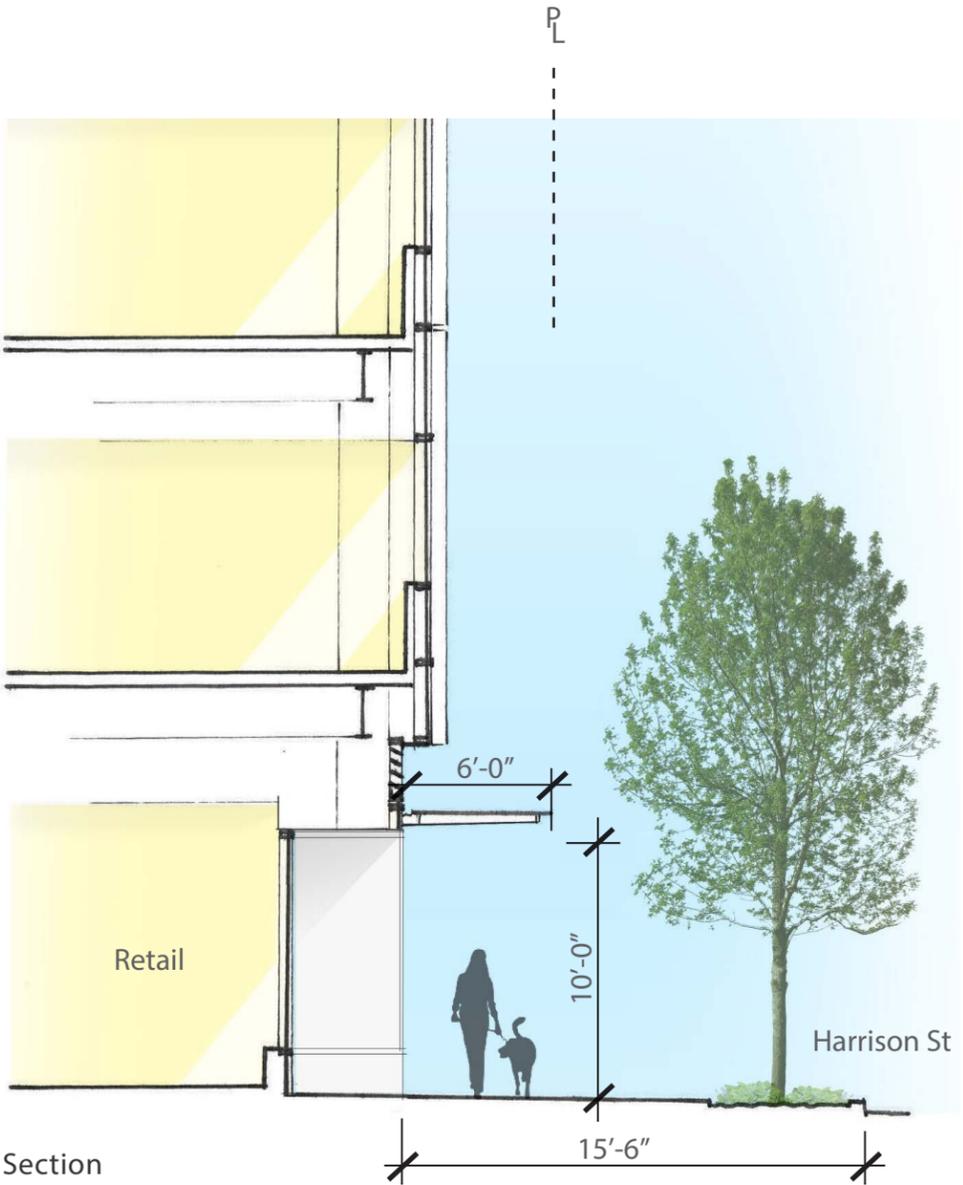
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Ninth Avenue N. and Harrison Street



- 1 Office Entry
- 2 Retail Patio
- 3 Integrated Seating & Planters
- 4 Canopy
- 5 Expanded Planting at Curb Bulbs



Ninth Avenue N. and Harrison Street



- 1 Office Entry
- 2 Parking Lobby Entry
- 3 Integrated Seating
- 4 Canopy
- 5 Lobby Beyond

View of main entry at 9th Avenue N



- 1 Auto and Bicycle Entry
- 2 Display Windows
- 3 Widened Sidewalk (10')
- 4 Canopy
- 5 Expanded Planting at Curb Bulbs

Alley at Harrison Street, mid-block



Thomas Street Elevation



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Street Level Development | A-19



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Ninth Avenue N. and Thomas Street



Glass pavilion character of south retail.
Retail used to activate public plaza.



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A-20 | Street Level Development

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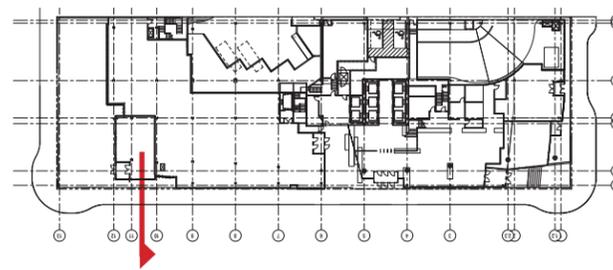
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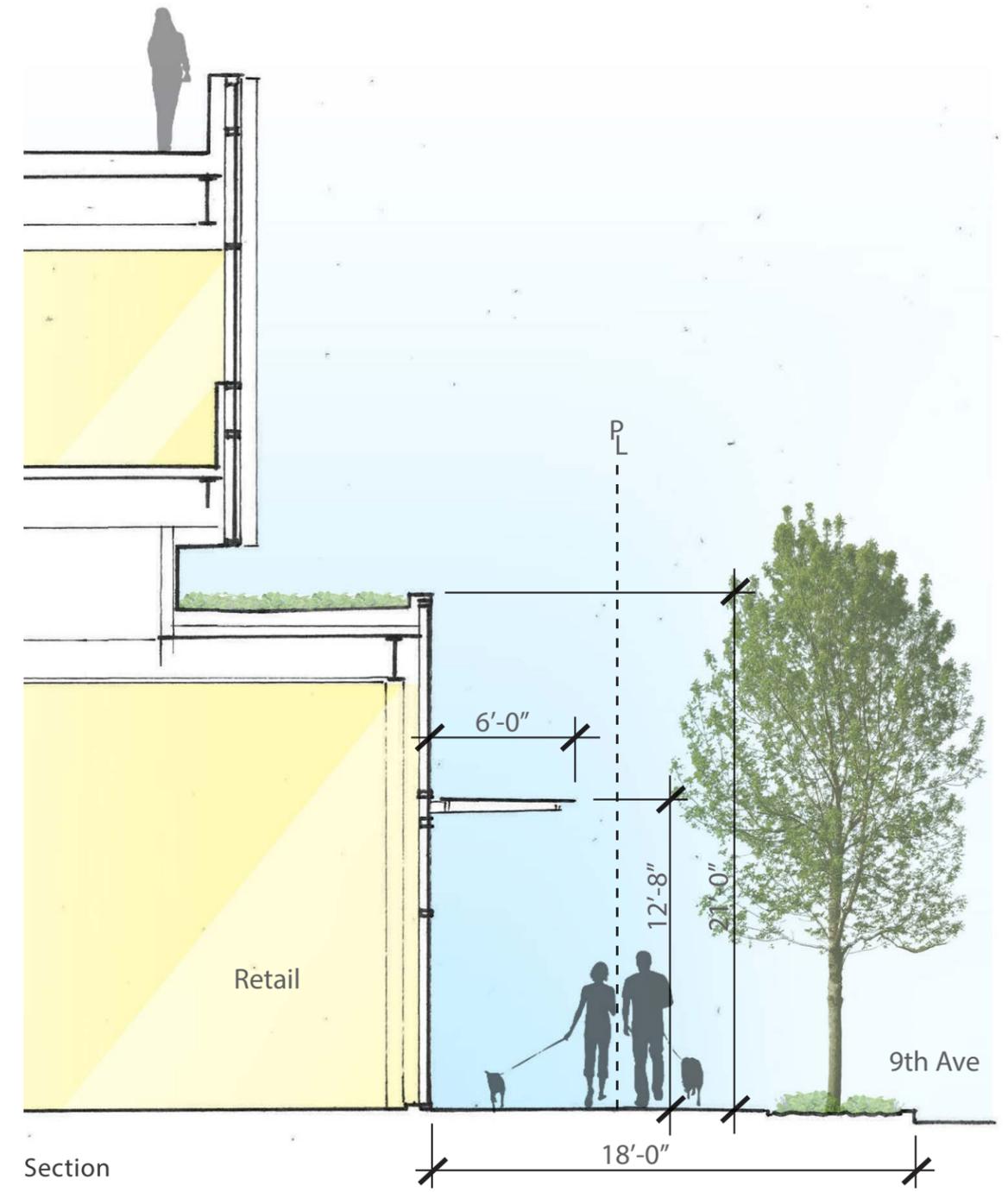
Ninth Avenue N. and Thomas Street



- 1 Public Plaza
- 2 Retail Pavilion
- 3 Integrating Seating
- 4 Transparent Bamboo Planting
- 5 Terraced Planting



Key Plan



Section



2. Summary - Street Level Development

A-2	Streetscape Compatibility	
	- active uses along all 3 streets	✓
	- corner entries	✓
	- parking/service/loading all located mid block on the alley	✓
	- retail pavilions at the 9th Avenue corners (recessed to facilitate pedestrian movement)	✓
	- 5 ft setback shown off Harrison with a rich landscape buffer at the curb	✓
	- permeable commercial frontage at the building wall	✓
A-4	Human Activity	
	- transparency along all 3 ground level facades	✓
	- active functions on the perimeter, and kitchens or conference rooms more inboard	✓
A-10	Corner Lots	
	- locations of retail which reinforce the corners	✓
	- glass pavilion character of the south retail	✓
	- activation of the south plaza and recessed café zone along 9th	✓
	- secondary lobby entrance from the northeast corner	✓
	- northeast retail corner glass has been recessed from 9th and from Harrison and extends to sidewalk	✓
C-3	Human Scale	
	- scale and pedestrian interest at all ground level, street facing facades	✓
	- "cribbing" façade concept has been developed further	✓
	- the "cribbing" concept has also informed the lower facades, canopies, and the plaza landscape design	✓
D-8	Treatment of Alleys	
	- parking portal is set as far south as possible	✓
	- the adjacent setback and curb design guides pedestrians to ensure safe sight lines and visibility	✓



3. Open Space & Landscape Development (A-10, C-3, D-1, D-7, E-2)



Story & Industry, Seattle



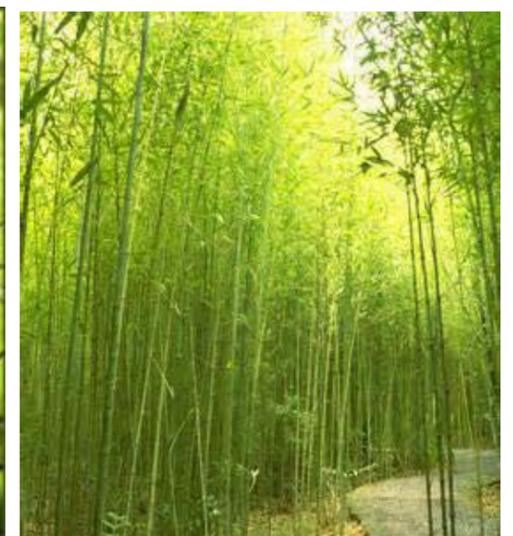
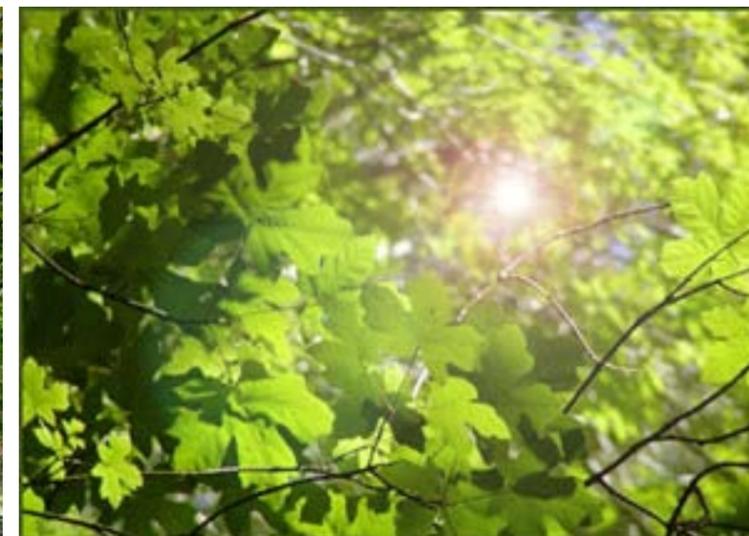
Poetic sculpture--seeing the utilities and infrastructure beautiful patterns of linear elements within something soft and excavated, something very new and exposed..



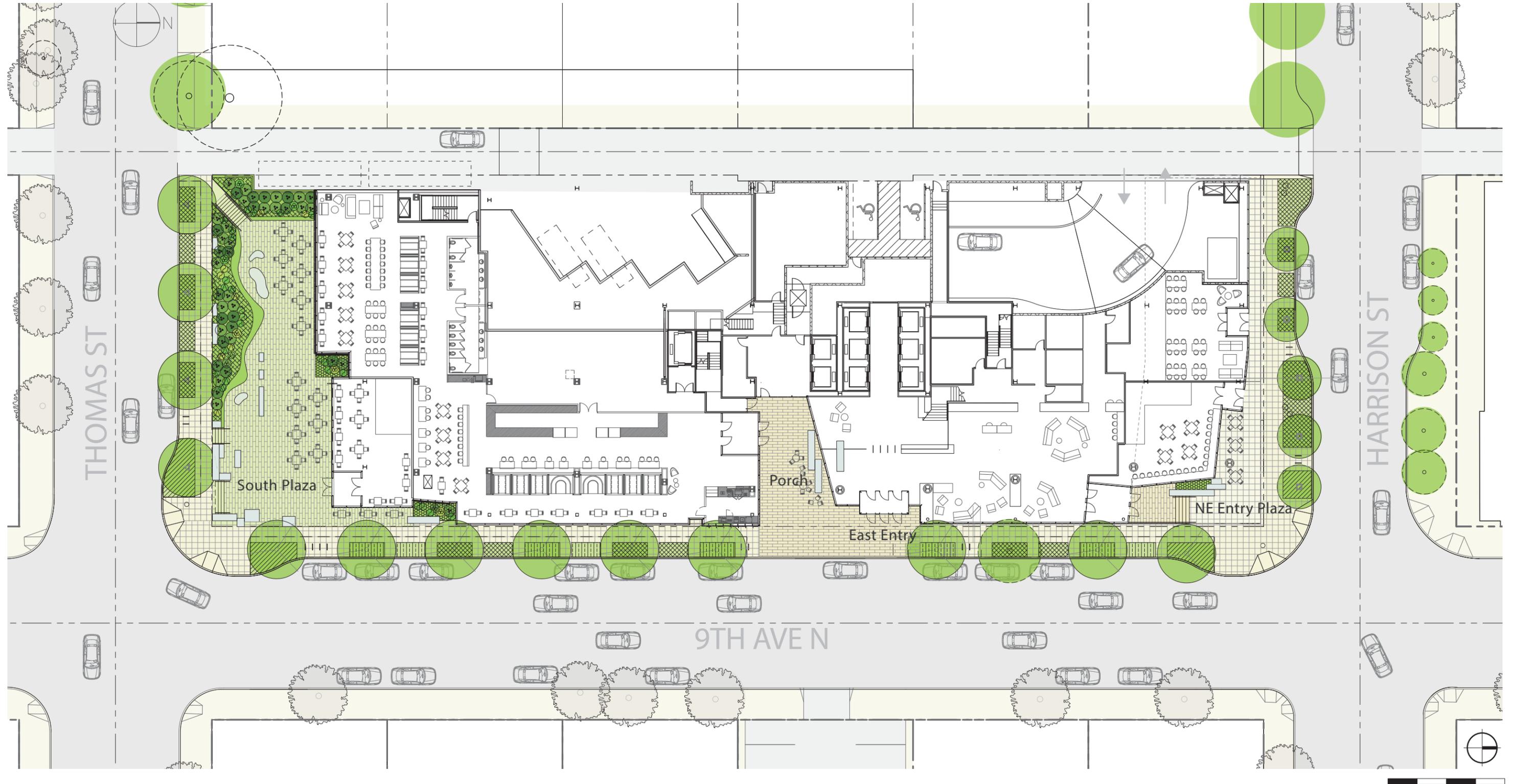
CONCEPT: excavation and transition, buildings perched on temporary structural cribbing above excavated earth--revealing rubble, elements of building foundations, the rocks, stones and granite are used as landscape elements--exposed concrete walls are part of the building base

Curvilinear site forms recall the sluicing of the regraded terrain and provide contrast to the orthogonal geometry of the seating elements and building itself.

CONCEPT: filtered, layered light. Like nearby Denny Park, the landscape development seeks to provide generous access to sunlight while enhancing the experience through layering of shade and shadow. Bamboo planters create a porous edge, allowing views in & out and dappled light in the plaza while movement in the breeze adds to the visual and auditory experience.



Ground Level



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A-24



Open Space and Landscape Development

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VULCAN



Street trees underplanted with low plantings



Street trees: Parkway Norway Maple



Zelkova



Little Leaf Linden



Bike racks



Low plantings: Compact Spirea



Dwarf Kelsey Dogwood



Common Rush



Robb's Spurge



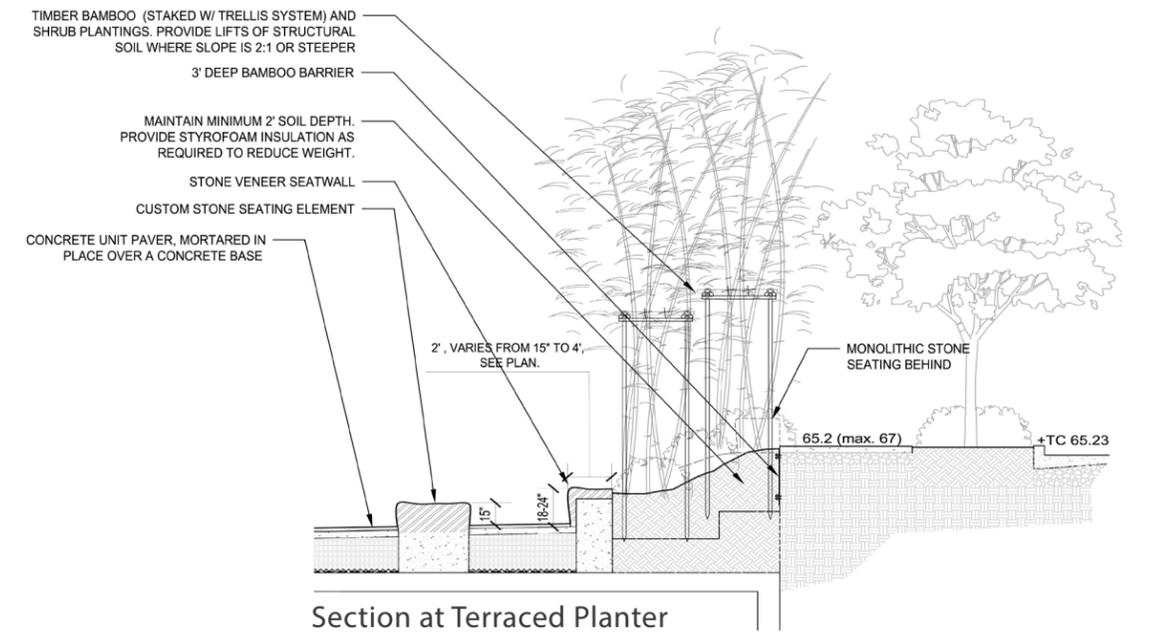
Great Camas

South Plaza



9th Ave N

- 1 Public Plaza
- 2 Thomas Street Access
- 3 Terraced Planter
- 4 Integrated Seating
- 5 Seasonal Seating



Sculptural seating



Fixed informal stone seating

Linear Concrete Unit Pavers



Henon Timber Bamboo



Plaza planting: Sweet box

Kerria

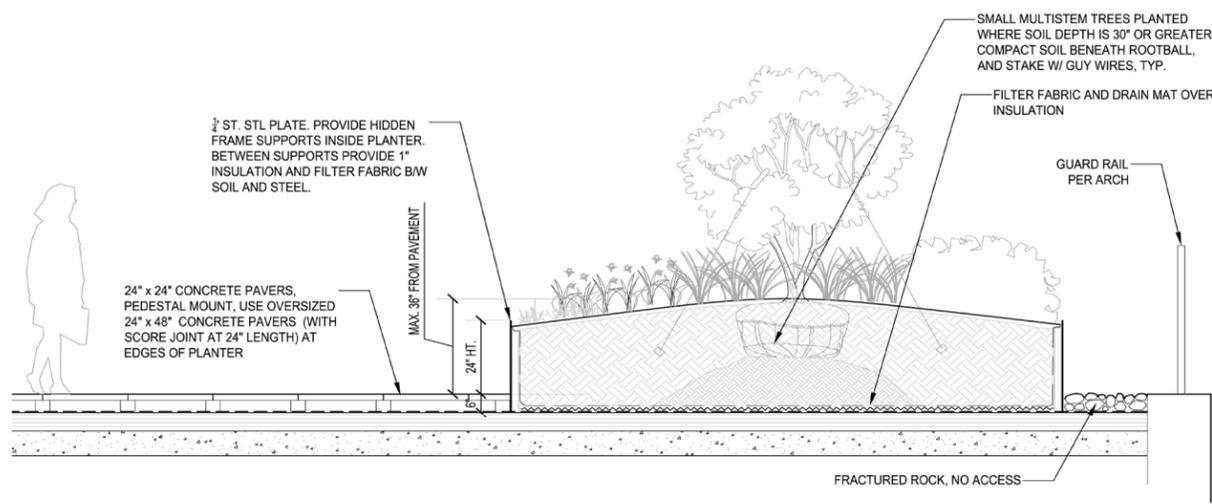
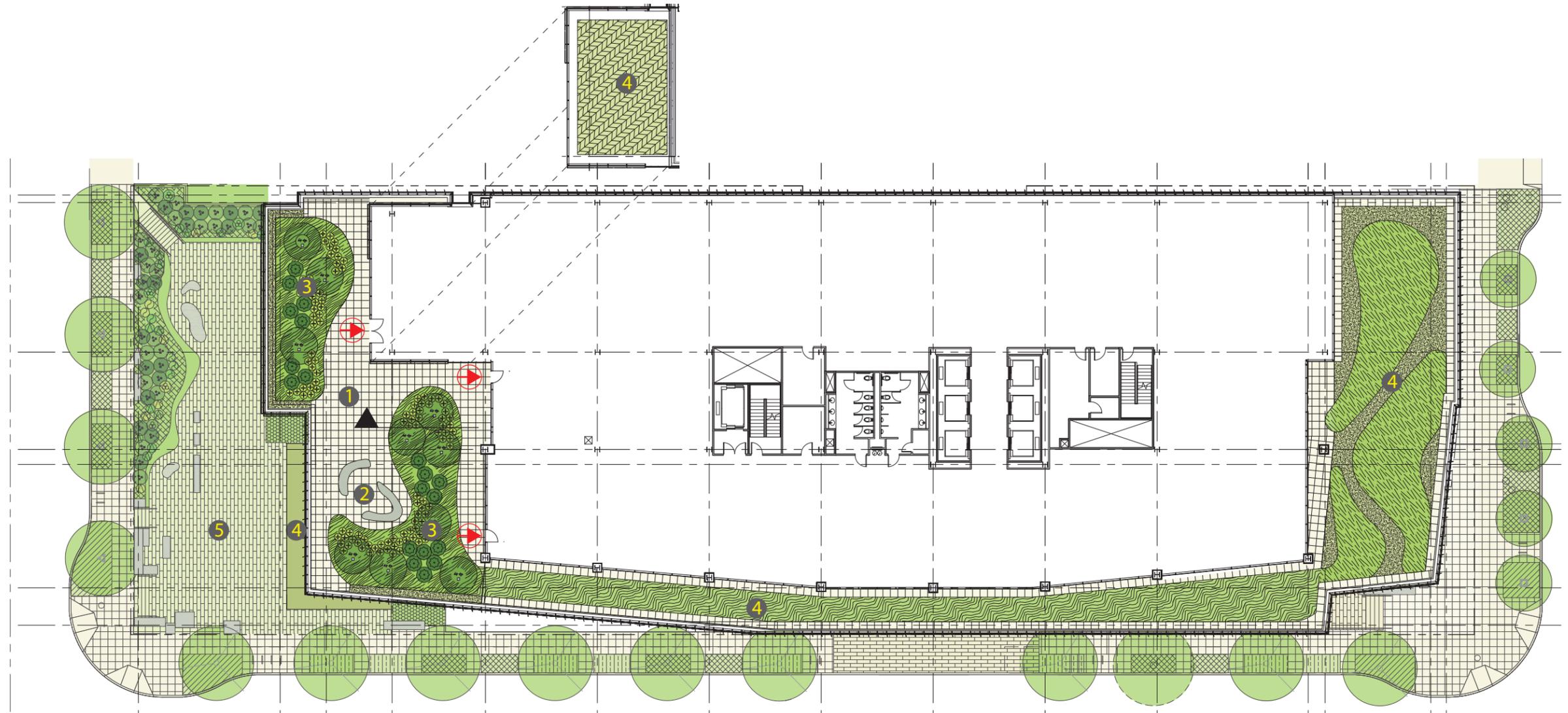
Goatsbeard

Liriope

Horsetail reed at building edge planters

"5th Elevation"

Level 4 Plan



Section at Raised Planter



- 1 Level 4 Office Terrace
- 2 Integrated Seating
- 3 Raised Planters
- 4 Extensive Green Roof
- 5 Plaza Below



GRAPHITE

A-28



Open Space and Landscape Development

325 9th Avenue North

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South Terrace and Green Roofs



Intensive greenroof: stainless steel planters with soil depths 24 to 36" (at trees)



Sculptural seating

24" Pedestal pavers



Extensive greenroofs: 6" soil depth



South terrace plantings: Manzanita



Fountain Grass



California Fuschia



Alpine Water Fern



Great Camas



Autumn Brilliance Serviceberry

Site Lighting



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A-30

OCULUS
LIGHT STUDIO

Open Space and Landscape Development

325 9th Avenue North

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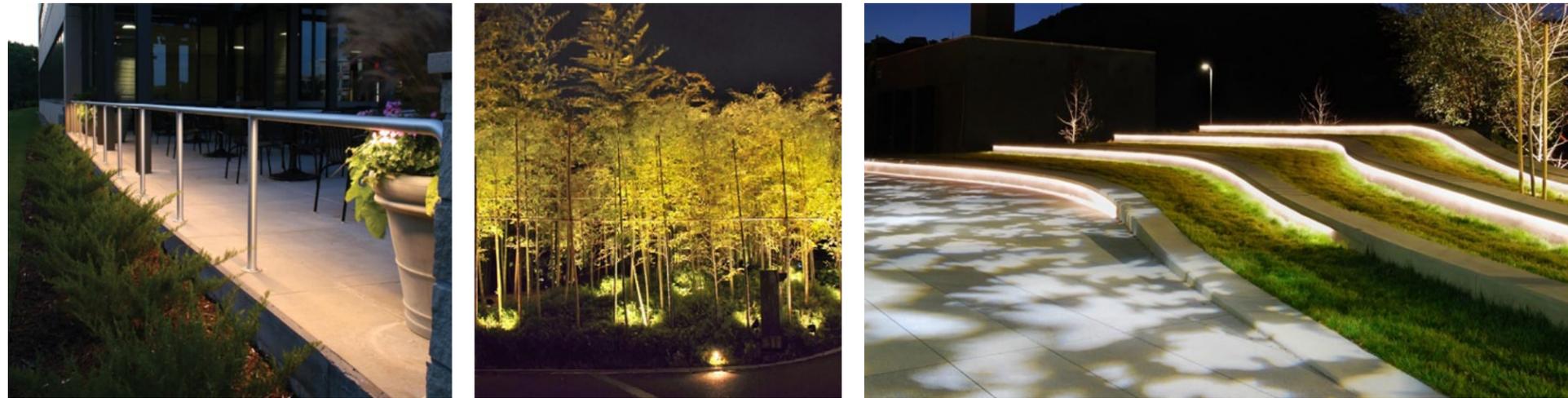
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VULCAN

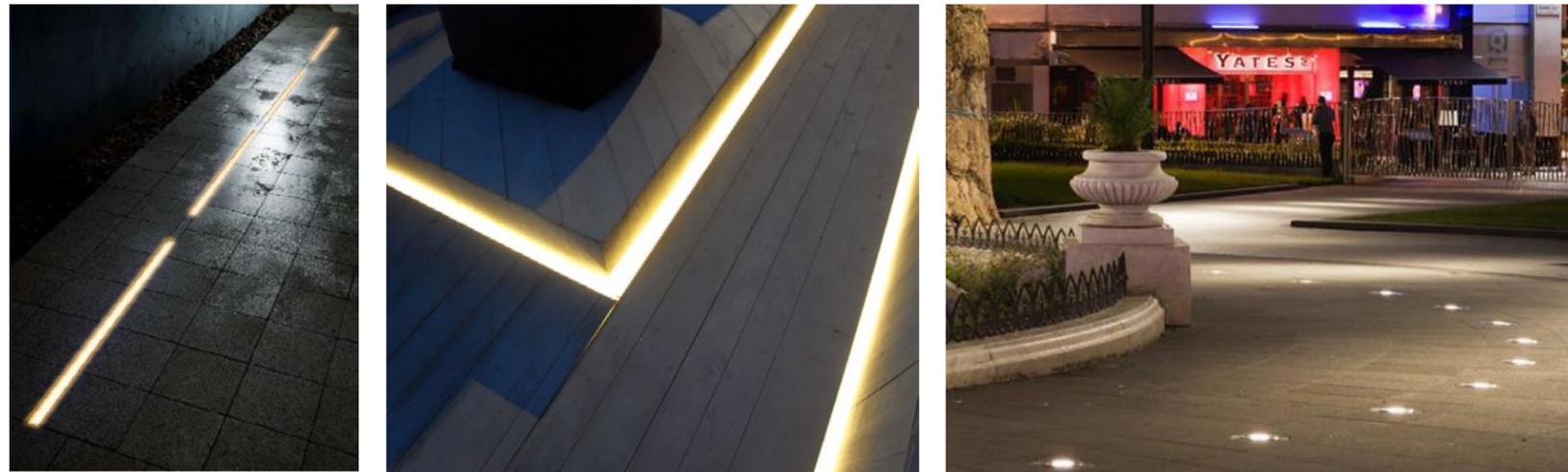
South Plaza

Uplit bamboo planting surrounds the space, with lighting integrated within handrails and under the undulating seat walls. Linear ingrades and moonlight complete the lighting composition.



Porch

Soft ingrade uplights light the porch frame. Linear ingrade uplights illuminate blocks of stone. Recessed lighting in the ceiling, provides an overall glow.

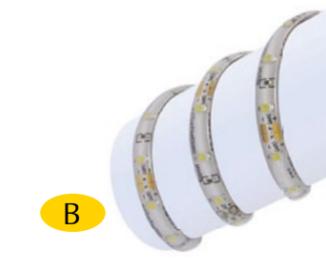


Canopies and Northeast Entry

Lights within handrails, and small LED downlights integrated within canopies, provide functional lighting with minimal lighting hardware.



Site Lighting



- A** LED lighting for steps integrated within handrails
- B** LED linear lighting under undulating seatwall
- C** LED linear ingrade uplight alongside stone blocks
- D** LED small profile downlight at canopies
- E** LED uplight located within bamboo planting
- F** LED ingrade uplight with frosted lens to light Porch "frame"
- G** LED linear downlights located within Porch ceiling
- H** Metal halide pattern projectors mounted off building for dappled light on Plaza

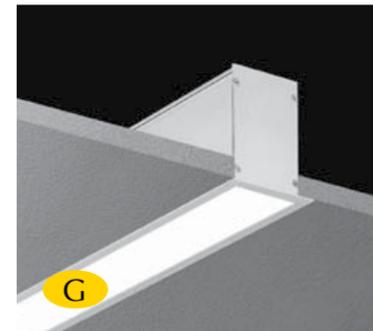




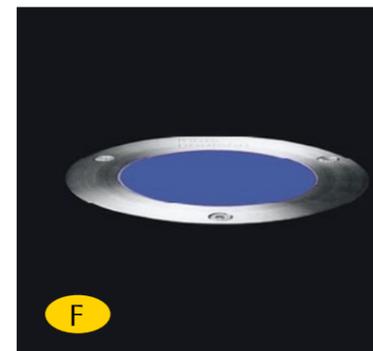
- A** LED lighting for steps integrated within handrails
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- G** LED linear downlights located within Porch ceiling
- H** Metal halide pattern projectors mounted off building for dappled light on Plaza



C



G



F

3. Summary - Open Space & Landscape Development

- A-10 Corner Lots**
 - locations of retail which reinforce the corners ✓
 - glass pavilion character of the south retail ✓
 - activation of the south plaza and recessed café zone along 9th ✓
 - secondary lobby entrance from the northeast corner ✓
 - northeast retail corner glass has been recessed from 9th and from Harrison slightly more ✓

- C-3 Human Scale**
 - scale and pedestrian interest at all ground level, street facing facades ✓
 - “cribbing” facade concept has been developed further ✓
 - the “cribbing” concept has also informed the lower facades, canopies, and the plaza landscape design ✓

- D-1 Pedestrian Open Spaces and Entrances**
 - deeply recessed office lobby with transparent sight lines and clear signage ✓
 - open space at grade at the south end of the site ✓
 - basic hardscape/planting proportions, and the mix of fixed and movable seating remains ✓
 - the proposed bamboo “wall” has become porous and new plant species have been introduced ✓
 - more walkways have been introduced ✓
 - cafe/retail open to the south and activate the space (on west edge as well as east edge) ✓
 - increased access to plaza reinforces it’s public nature ✓

- D-7 Personal Safety and Security**
 - open space edges have been developed to improve pedestrian permeability, visibility and safety ✓

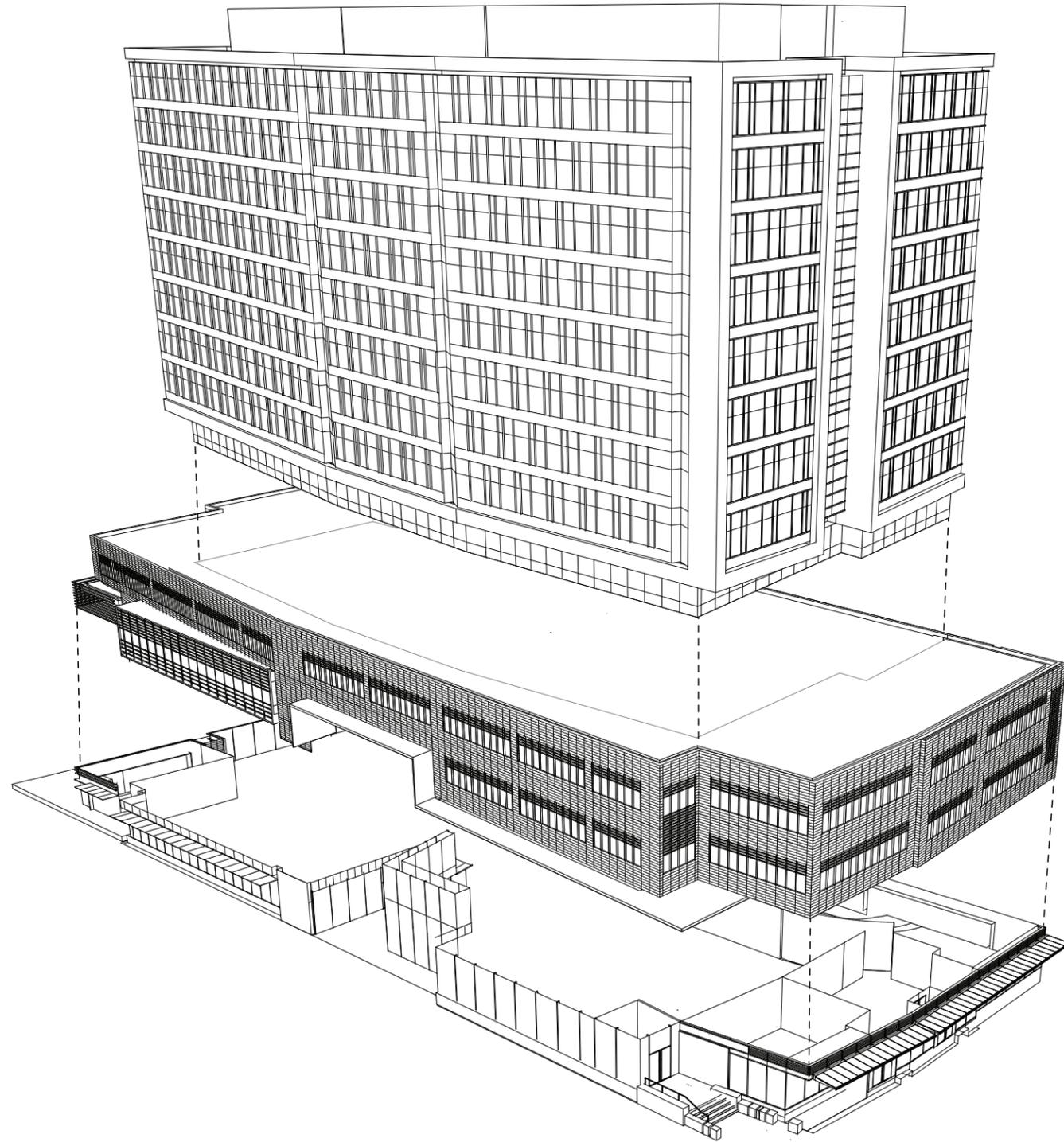
- E-2 Landscaping to Enhance the Building and/or Site**
 - “cribbing” concept has been integrated into the open space and landscape design ✓



4. Architectural Character (C-2, C-3, B-1)



Northeast corner streetscape character



Tower/Stacking

Metal and glass curtain wall
Continuous frames define volume
Light
Reflective

Podium/Layering/Wrapping

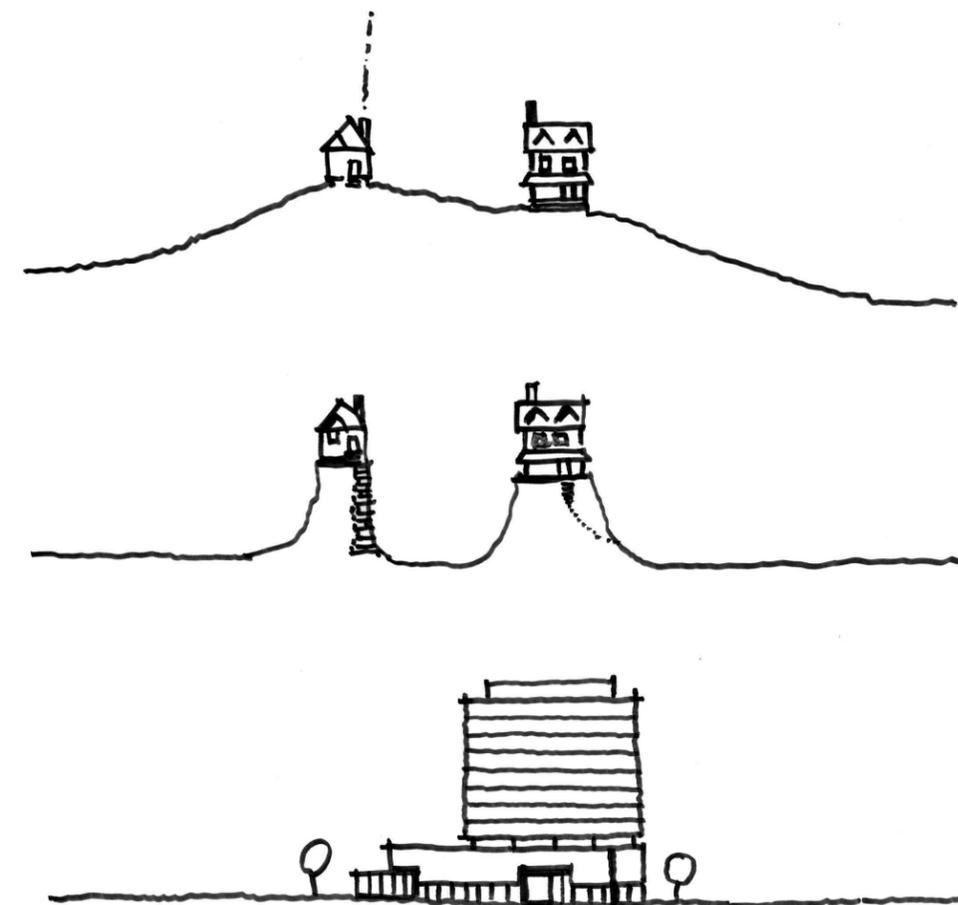
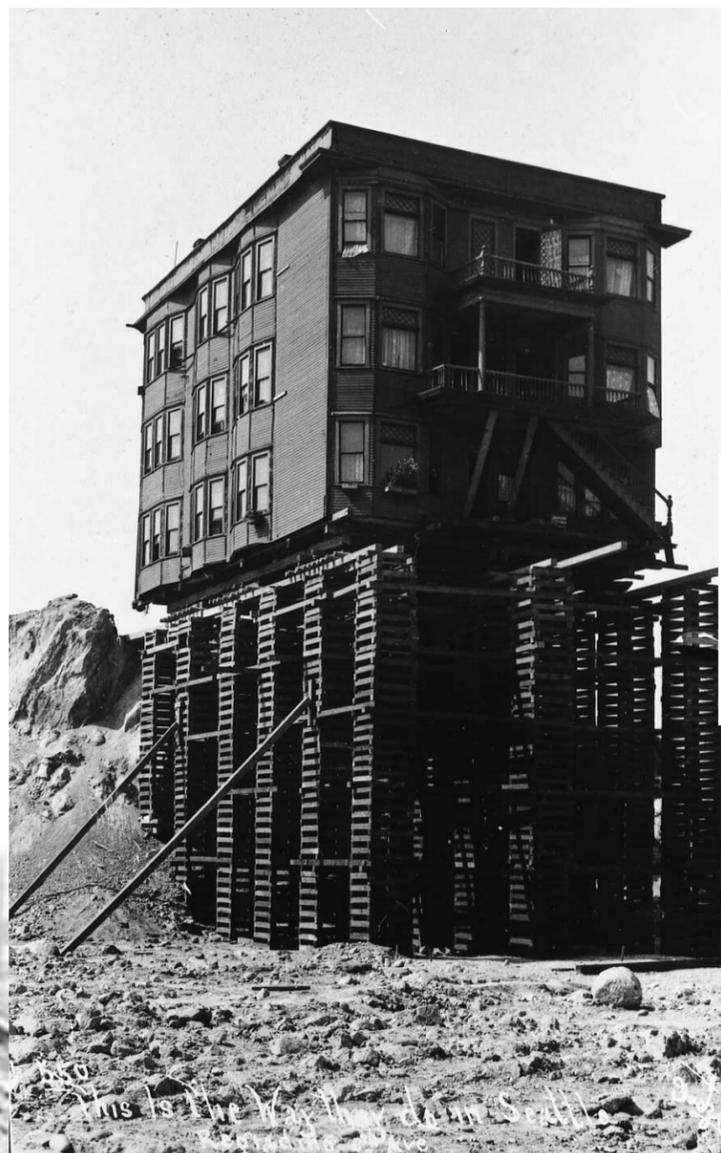
Masonry
Textured
Weave of vertical and horizontal
expression

**Base/Transition
Solid/Void**

Transparent storefront
Open

The necessary setbacks suggested by zoning and program requirements translate into a clear architectural layering vocabulary that is clearly legible in the building's volume and facade articulation





The design of Block 52 East seeks to draw from various historic cues derived from the Regrade transformation and the landscape and tectonic language accompanying this event.

- Transformation
- Dialogue between podium and tower
- Stacking, assembling, layering
- Interplay of solid and void
- Pattern and articulation



Aerial View from Southeast



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A-38 | Architectural Concept

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Design Recommendation
July 17, 2013





View from Southeast



- ① Vision Glass
- ② Spandrel Glass
- ③ Painted Metal Panel (metal 1)
- ④ Painted Metal Panel (metal 2)
- ⑤ Accent Panel
- ⑥ Painted Metal Sun Shade (metal 1)
- ⑦ Vertical Accent Mullion (metal 1)

Tower Detail

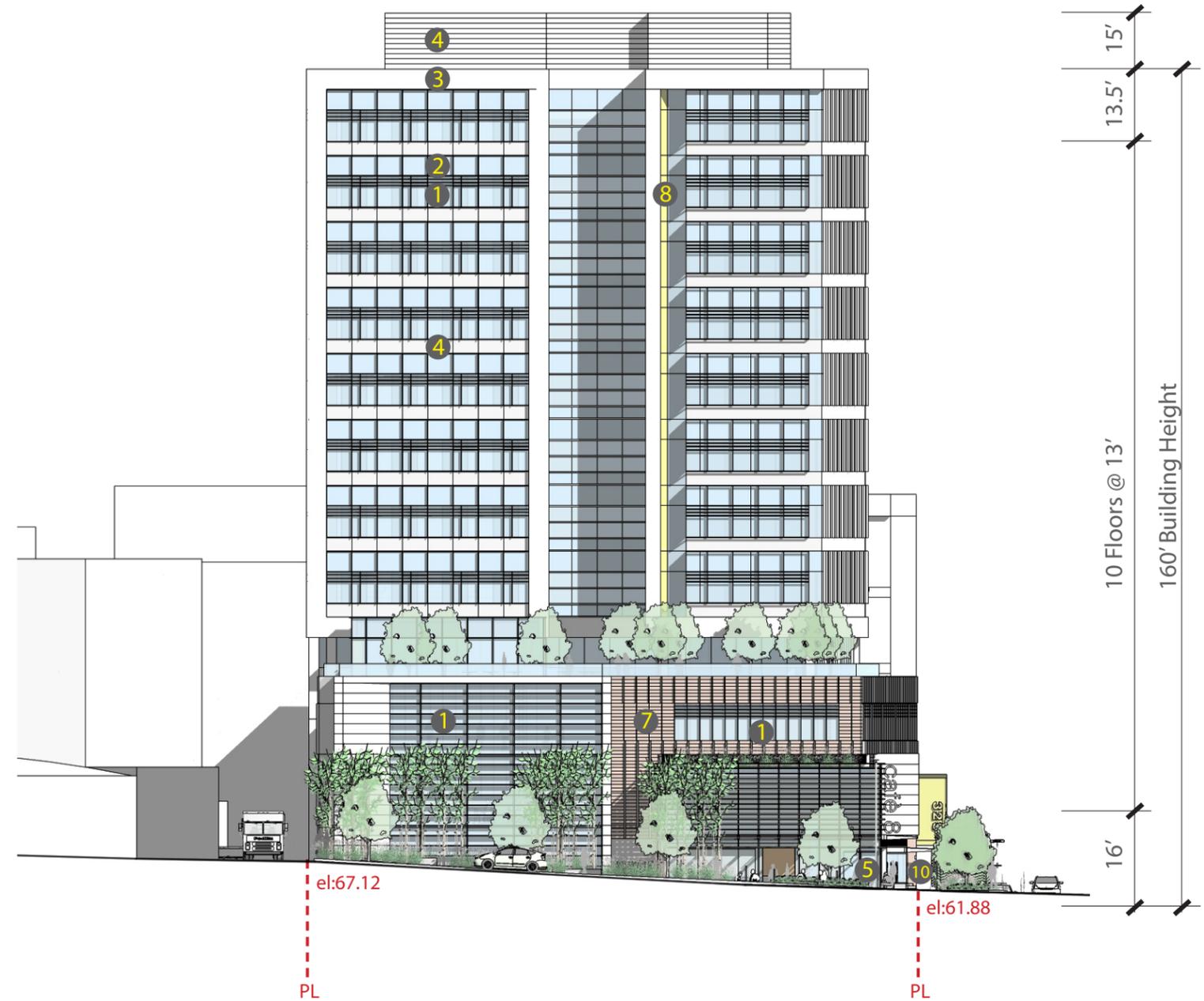
Note: see sheet A-46 for specific material references





South Elevation

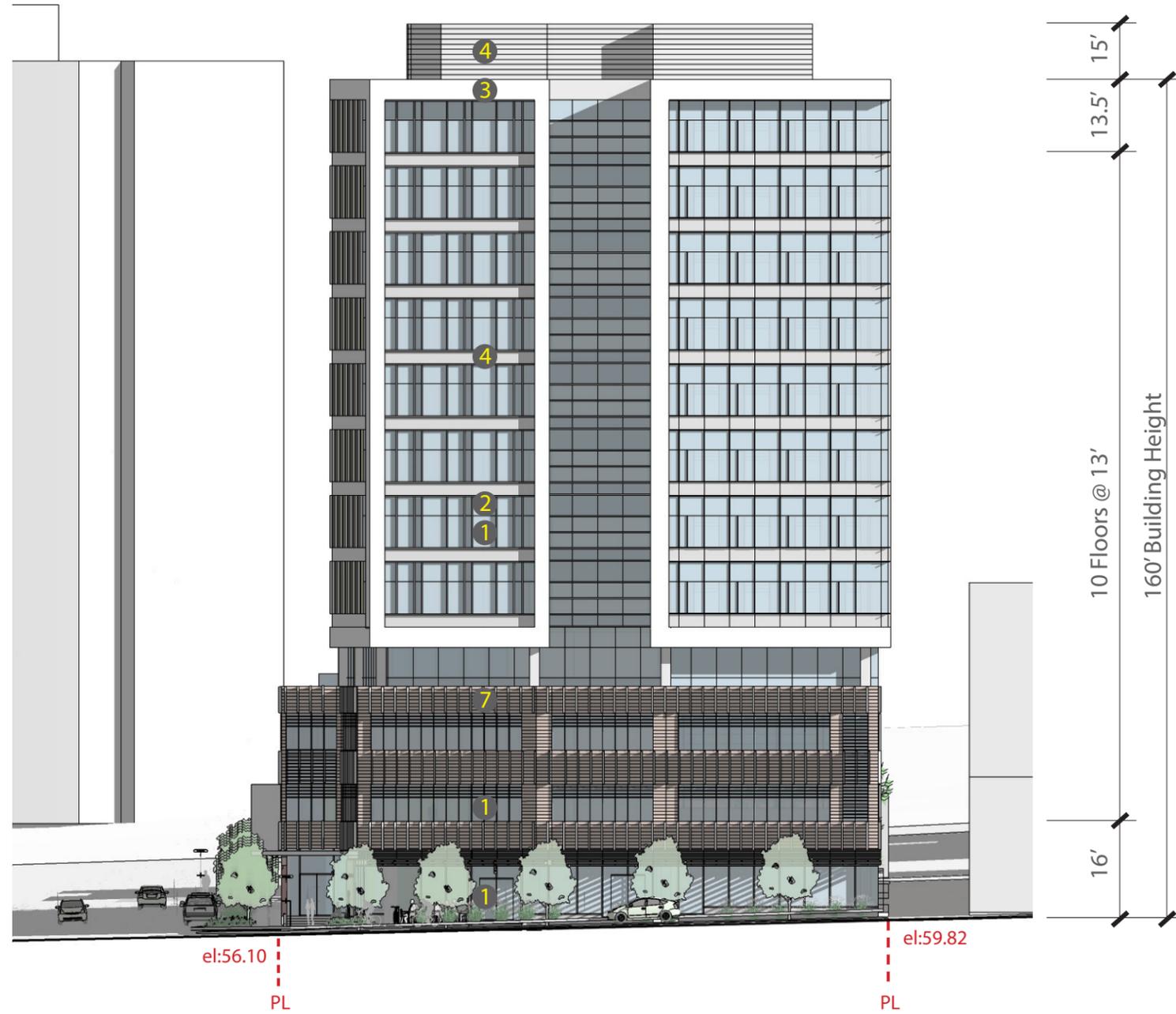
- 1 Vision Glass
- 2 Spandrel Glass
- 3 Metal 1
- 4 Metal 2
- 5 Metal 3
- 6 Metal 4
- 7 Masonry Cladding System
- 8 Accent Panel 1
- 9 Accent Panel 2
- 10 Stone 1
- 11 Stone 2
- 12 Masonry Paving Units
- 13 Cast-in-Place Concrete

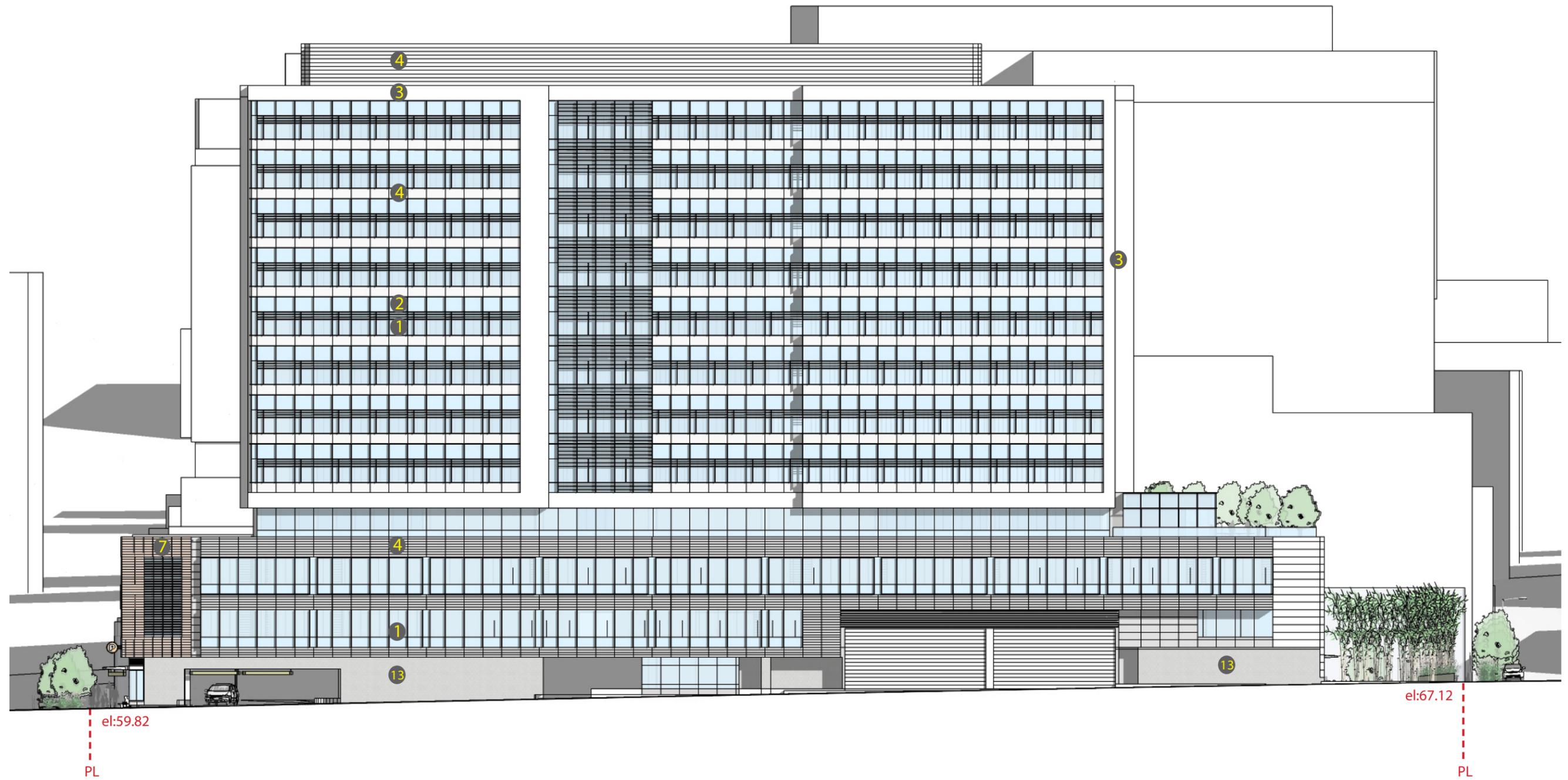




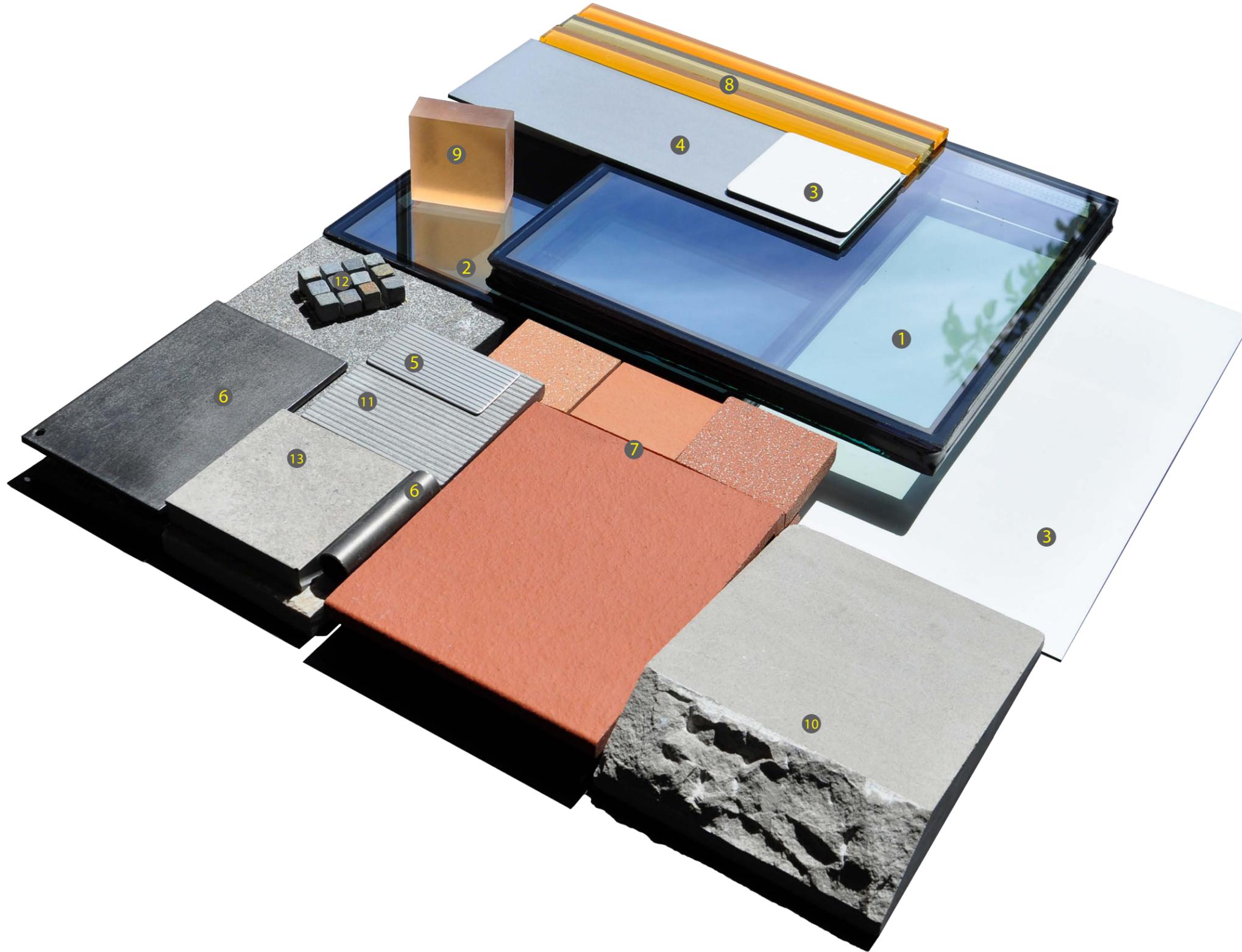
North Elevation

- ① Vision Glass
- ② Spandrel Glass
- ③ Metal 1
- ④ Metal 2
- ⑤ Metal 3
- ⑥ Metal 4
- ⑦ Masonry Cladding System
- ⑧ Accent Panel 1
- ⑨ Accent Panel 2
- ⑩ Stone 1
- ⑪ Stone 2
- ⑫ Masonry Paving Units
- ⑬ Cast-in-Place Concrete





Materials



Material Palette

- ① Vision Glass
 - Radiant LowE Glass
 - Tower Glazing
 - Podium Glazing
 - Storefront Glazing
- ② Spandrel Glass
 - Opaque LowE Glass
 - Tower Glazing
- ③ Metal 1
 - Curtain Wall Framing
 - Storefront Framing
 - Curtain Wall Panels
- ④ Metal 2
 - Curtain Wall Panels
- ⑤ Metal 3
 - Stainless Steel
 - Hardware and Site Furnishings
- ⑥ Metal 4
 - Natural Steel
 - Podium Accents
- ⑦ Masonry Cladding System
 - Podium Enclosure
- ⑧ Accent Panel 1
 - Curtain Wall Panels
- ⑨ Accent Panel 2
 - Signage & Lighting
- ⑩ Stone 1
 - Site Seating
- ⑪ Stone 2
 - Podium Accent Cladding
- ⑫ Masonry Paving Units
 - Plaza Paving
- ⑬ Cast-in-Place Concrete
 - Site Walls



4. Summary - Architectural Character

C-2 Architectural Concept and Consistency

- 45 ft base relationship to street scale and context ✓✓
- use of south facing terraces as amenity space ✓✓
- landscape design of terrace and lower roofs have been designed as a sustainable "5th elevation" ✓✓

C-3 Human Scale

- scale and pedestrian interest at all ground level, street facing facades ✓✓
- "cribbing" facade concept has been developed further ✓✓
- the "cribbing" concept has also informed the lower facades, canopies, and the plaza landscape design ✓✓

B-1 Height Bulk & Scale Compatibility

- strong base and tower expression has been reinforced ✓✓
- layered base provides folded planes that relate to the tower ✓✓
- tall and 200 ft+ long facades incorporate folds and tapering to diminish the shadow and bulk impacts. ✓✓
- an additional fold and recess has been incorporated into the east facade. ✓✓
- tapering of the tower's north end has been optimized to reduce shading to the north ✓✓

Design Departure

23.48.013.D Facade Modulation

We seek a design departure to allow the east facade of the tower to exceed the 120' length maximum (above 125' in height) and 150' length maximum (between 45'-125' in height).

The proposed tower outline (Exhibit B) would set back a greater volume of tower mass than the code complying tower outline (Exhibit A) despite the slightly longer encroachment area.

We seek to enhance the adjacent view corridors by narrowing the tower floor plate in the east-west direction in order to better fulfill the following South Lake Union Design Guidelines:

A-2 Streetscape Compatibility

The siting of buildings should acknowledge and reinforce the existing desirable spatial characteristics of the right-of-way.

B-1 Height, Bulk, and Scale

Encourage stepping back an elevation at upper levels for development taller than 55 feet to take advantage of views and increase sunlight at street level.



View of Option 1
Code Compliant



View of Option 3 (Preferred)
Departure Required

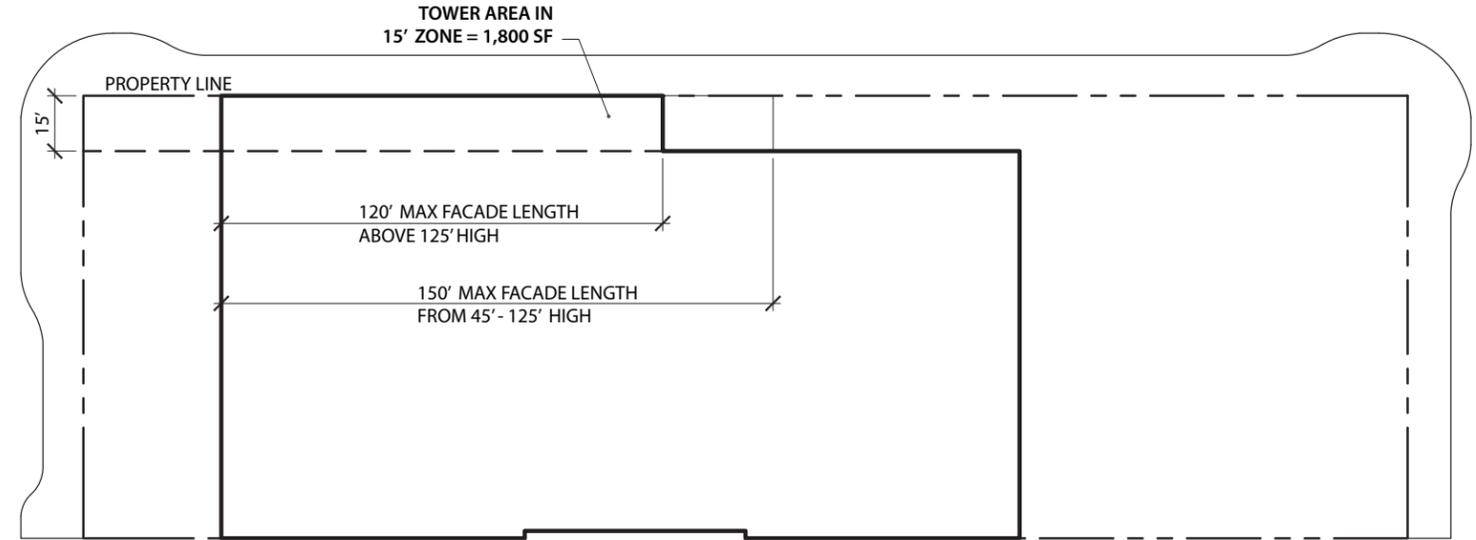


Exhibit A- Code Complying Tower Outline

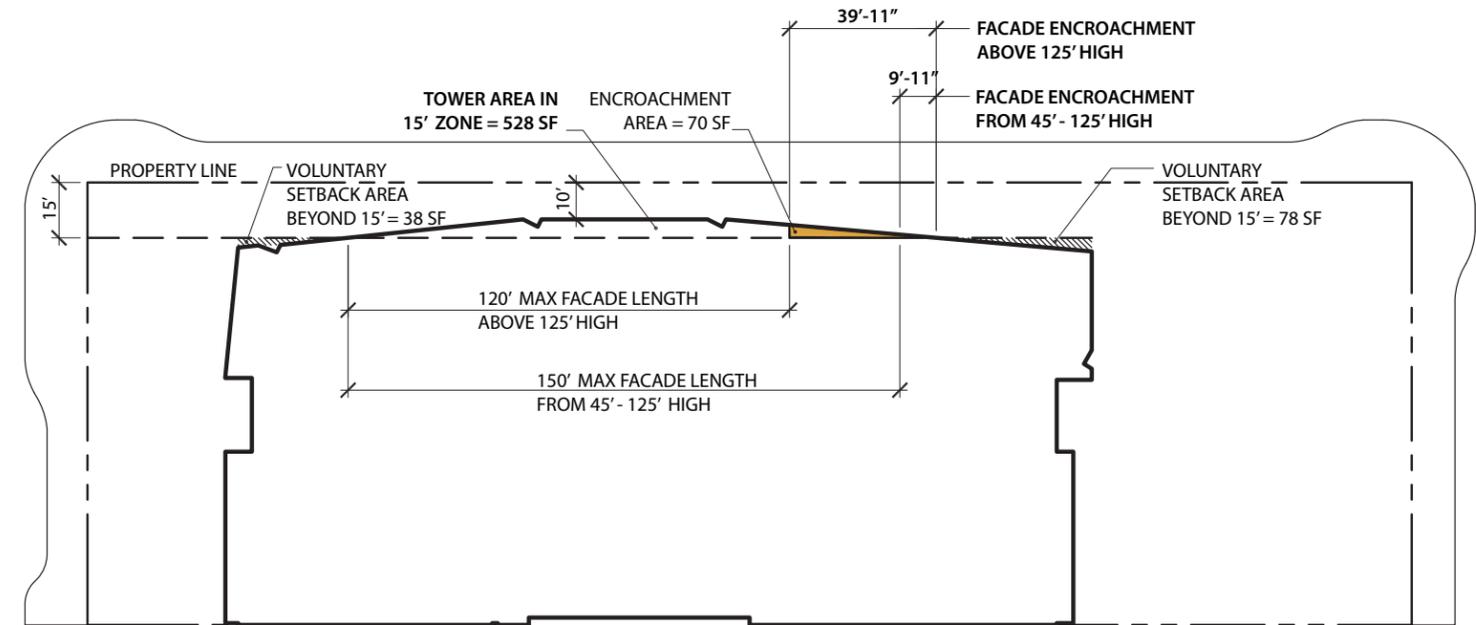


Exhibit B- Proposed Tower Outline

Summary

Allowed area in 15' setback zone	Proposed area in 15' setback zone	Encroachment area	Voluntary setback area beyond 15'
1,800 SF	528 SF	70 SF	116 SF



**Development Standard Departure Request
Project #3014639**

SMC Development Standard	Departure Request	Proposed	How the Code Departure Better Meets Design Guidelines	Applicable Design Guidelines
<p>SMC 23.48.013 (D) Upper-level development standards for specific building types in SM zones in the South Lake Union Urban Center Section (D) Façade Modulation</p> <p>Table B for 23.48.013 Maximum length of unmodulated façade within 15' of street lot line:</p> <ul style="list-style-type: none"> • 150' façade length for stories above the 45' podium height up to 125 feet. • 120' façade length for stories above 125' of building height. 	<p>Increase maximum façade length without modulation from within the zone 0' to 15' from property line along Ninth Avenue North - SMC 23.48.013(D)</p>	<p>Proposed façade length from 45'-125' = 159'-11" in length Proposed façade length above 125'= 159'-11" feet in length</p>	<ul style="list-style-type: none"> • The proposed tower footprint would set back a greater volume of tower mass than the code complying tower outline (see diagrams) despite the slightly longer tower facade length area. • The proposal seeks to enhance adjacent view corridors by narrowing the tower floor plate in the east-west direction in order to better fulfill Design Guidelines. • The proposal design responds to specific Design Review Board direction to incorporate "additional folds or recesses". • The proposal results in a narrower north tower façade facing the residential property across the street than the code-complying design, increasing daylight and privacy. • The code-complying design results in a wider floor plate in the east-west direction resulting in a narrower street corridor and reduced access to daylight and views in the public realm. 	<p>A-2 Streetscape Compatibility: The siting of buildings should acknowledge and reinforce the existing desirable spatial characteristics of the right-of-way.</p> <p>A-5 Respect for Adjacent Sites Buildings should respect adjacent properties by being located on their sites to minimize disruption of the privacy and outdoor activities of residents in adjacent buildings</p> <p>B-1 Height, Bulk, and Scale: Encourage stepping back an elevation at upper levels for development taller than 55 feet to take advantage of views and increase sunlight at street level.</p>

Appendix - Proposed Program Summary

Proposed Office Development

174.5 ft	fir-flr				
159.5 ft	15.00		mechanical PH	1,598	
146 ft	13.50	12	office	23,920	
133 ft	13.00	11	office	23,920	
120 ft	13.00	10	office	23,920	
107 ft	13.00	9	office	23,920	
94 ft	13.00	8	office	23,920	
81 ft	13.00	7	office	23,920	
68 ft	13.00	6	office	23,920	
55 ft	13.00	5	office	23,920	
42 ft	13.00	4	office	23,920	
28.5 ft	13.50	3	office	34,685	
15 ft	13.50	2	office	29,341	
		1A	office	12,174	
			1,386 exempt retail	20,334 office, lobby, common	2 loading/service stalls
15.00		1			### total L1
P1			parking	38,134	51
P2			parking	43,080	113
P3			parking	43,080	141
P4			parking	41,366	136

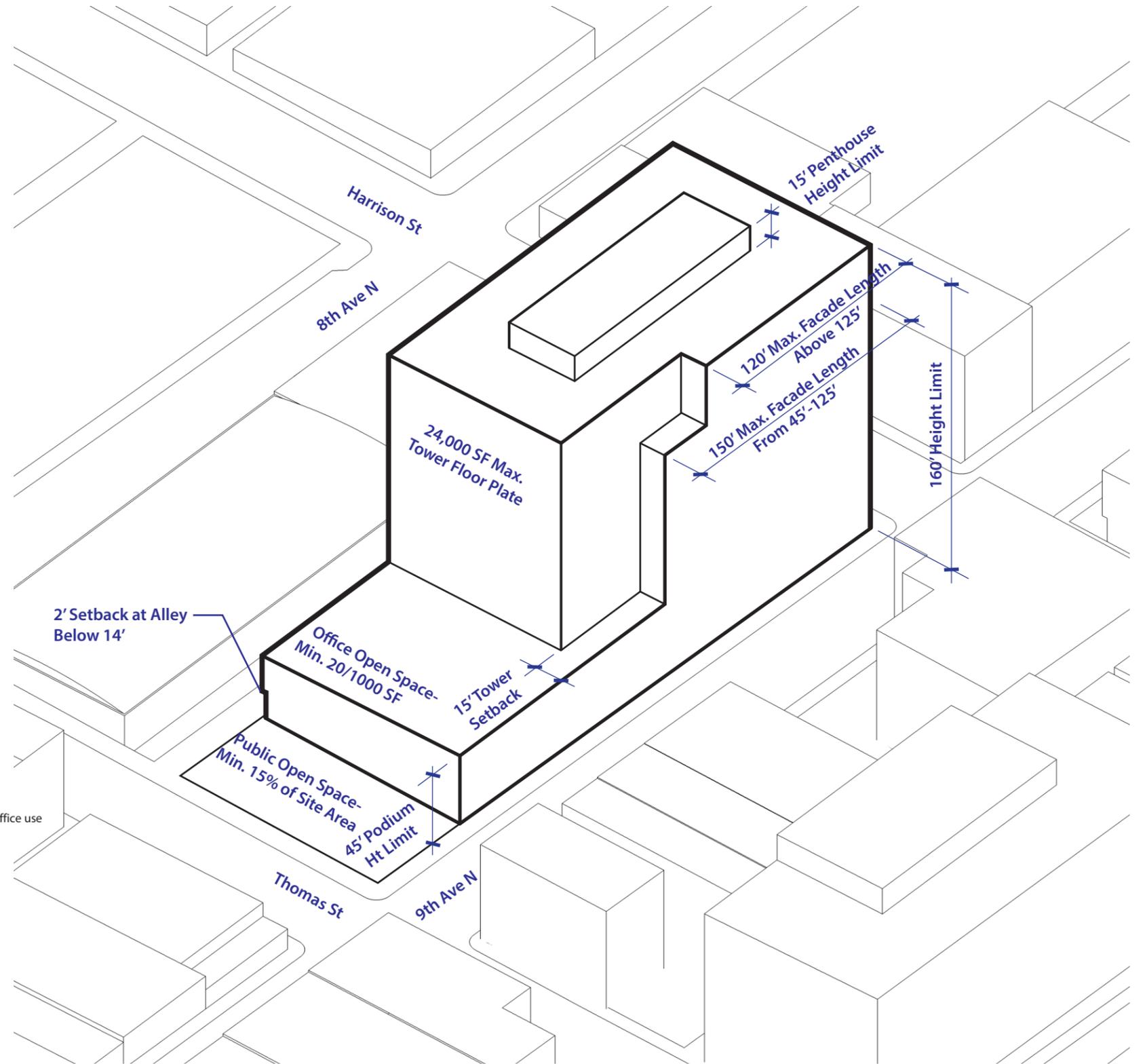
Area Summary

Site Area	43,097 ft ²
FAR with bonuses	7.0
Maximum Chargable FAR	301,679 ft²
Chargable Office Area	311,814 ft ²
Non-Chargable Rooftop Mechanical	1,598 ft ²
Non-Chargable Retail Area	1,386 ft ²
Sub-total Chargable Area	311,814 ft ²
3.5% Mechanical Deduction (FAR Exempt)	10,913 ft ²
Total Chargable Area	300,901 ft²
Total Above Grade Construction Area	314,798 ft²
Required Public Open Space at Grade	6,465 ft²
Required Private Open Space	6,153 ft²
Estimated Parking Area	165,660 ft²
Total Gross Construction Area	466,561 ft²

Minimum 15% of site area

20 sf for every 1000 sf of office use

443 Stalls



Appendix - Zoning Analysis

Address:	305 -9th Avenue N. 98109
King County Parcel Nos. :	199120-1255,199120-1265,199120-12275,199120-1280,199120-1285,199120-1290
Zone:	SM-160/85-240
Zone Overlay:	South Lake Union Urban Center
Permitted Uses:	Commercial and Residential and others unless prohibited by SMC 23.47.004(B)
Street Classifications:	Class 2 Pedestrian Street (Harrison St), Neighborhood Green Street (Thomas St)
Street Level Uses: 23.48.004(D)	No requirements for Class 2 Pedestrian Streets
Base FAR:	4.5
Maximum FAR:	7(Added 2.5 through PA, TDR, TDP)
Uses Exempt from FAR: 23.48.009D	1) All GFA below grade 2) Portions of a story 4ft. above new or existing grade 3) An Allowance for mechanical of 3.5 per cent 4) All gross area for solar collection and/or wind generation 5) All GFA in residential use 6) All GFA in retail use
Height Limit (commercial):	160'
Base Height Limit (res.):	85' (not applicable)
Max. Height Limit (res.):	240' (not applicable)
Rooftop Features:	Rooftop features (penthouses, mechanical equipment, etc...) may extend up to 15 feet above maximum height limit up to a combined coverage limit of 25% Rooftop features may cover up to a combined coverage limit of 65% provided that all mechanical equipment is screened and no feature is located closer than 10 feet from the roof edge
Setbacks:	None required for non-residential use other than those associated with facade length maximums
Floor Plate & Podium Ht. 23.48.013	45' Podium 24,000 SF Maximum tower plan (above podium) for buildings exceeding 85 feet in height Ave. Above 45' can = 30,000 SF provided lot >60,000 SF or preserves existing open space or qualifying land marked structure
Extra Floor Area / SM Zones: 23.48.011	thru Public Amenities Housing TDR Landmark TDR Open Space TDR Rural Development Credit Exchange
Façade Modulation:	Within 15 ft. of a street. 150 ft. Max. un-modulated façade from 45' to 125' 120 ft. Max. un-modulated façade above 125'
General Façade Requirements:	At least one primary pedestrian entrance or street-oriented courtyard no more than 3' above the sidewalk Class II streets min. façade height = 25 ft. On Class I pedestrian street 70 % of a façade length must be built on property line except for public amenity space requirements
Street Level Setbacks: 2B.48.014f	Except Class I Streets Max. = 12'

Façade Transparency Commercial Uses	Class II Street = 60% All other = 30% Total of all blank façade < 40% Increased blank façade through landscape, artwork, special details approved by Director
Amenity Area:	New structures containing more than 20 dwelling units shall provide amenity area on the lot in the amount equivalent to 5 percent of the total gross floor area in residential use. a. Maximum of 50% of the amenity area may be enclosed. b. The minimum horizontal dimension of residential amenity area is 15 feet, and no required amenity area shall be less than 225 square feet in size.
Parking Requirement:	Commercial: 1 space for each 1000 square feet
Bicycle Parking Requirement:	Commercial: 1 per 4,000 square feet long term 1 per 40,000 short term
Loading Requirement:	4 Berths required Minimum 35' length Access to loading is required to be from alley
Façade Height requirement: 23.48.014 b	On Class II pedestrian Streets all facades shall have a minimum height of 25 feet (Thomas and Harrison)
Transparency Requirement:	Minimum of 60% of the width of street level façade must be transparent between 2 and 8 feet above side walk on Class 2 pedestrian streets (Thomas and Harrison).
Blank Façade Requirement:	Blank facades shall be limited to segments 15 feet wide. Blank façade width may be increased to 30 feet is the Director determines that the façade is enhanced by architectural detailing, artwork, landscaping, or other similar features that have visual interest.
LEED:	Silver Minimum
Office Open Space: 23.48.022	20 SF per 1,000 SF of office use < 85,000 SF office buildings exempt On-site or dedicated off-site if within ¼-mile of site
Tower Limitation:	Only two towers per block A tower is any portion of structure taller than podium ht.
Tower Separation: 23.48.013 (G)	60' separation affecting residential towers
Landscaping 23.48.024	Green factor of .30 or greater



Appendix - Site Plan

Site Area:

43,097 SF with approximately 360 feet of frontage on 9th Ave N and 120 feet of frontage on Harrison & Thomas St.

Topography:

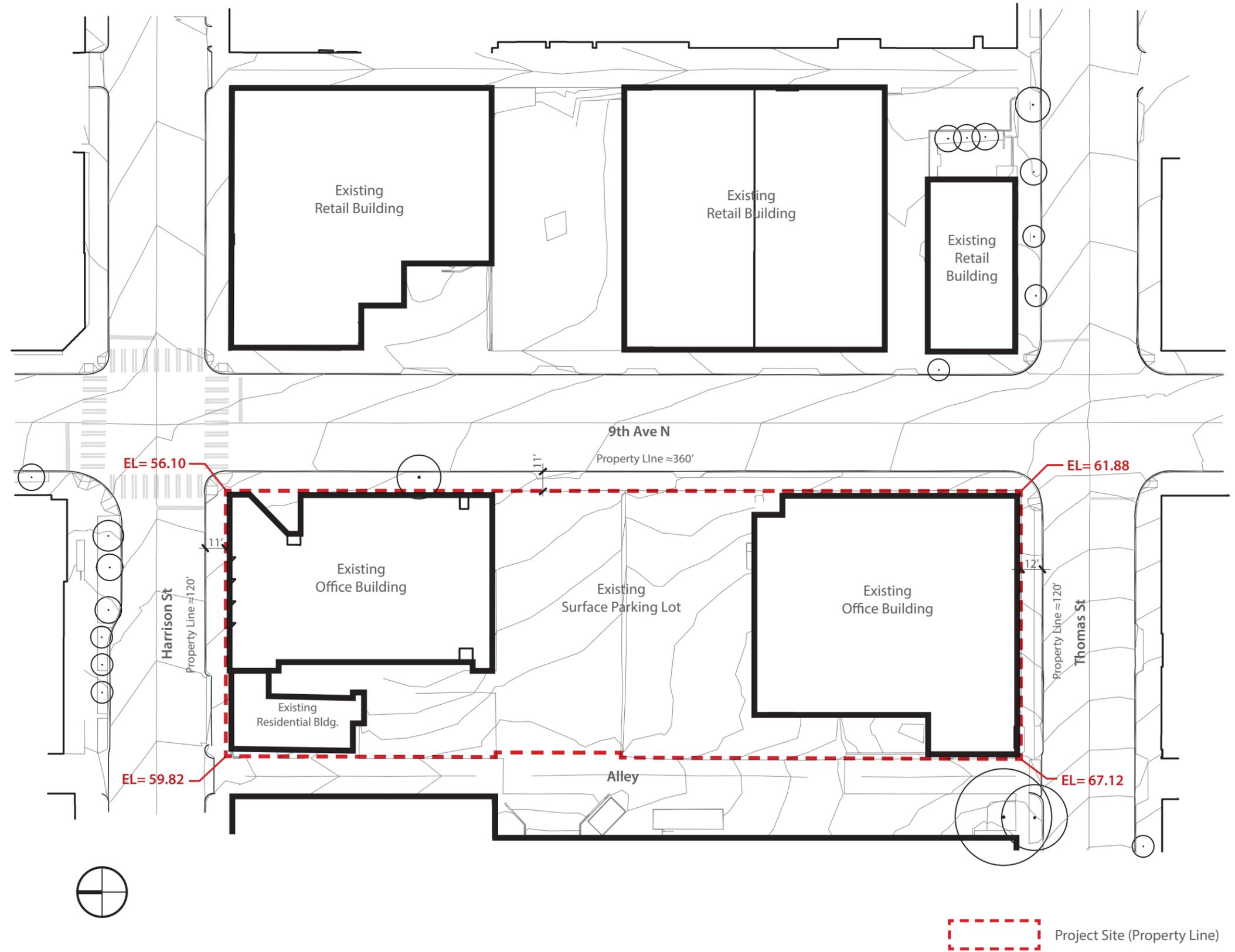
The site slopes from elevation 67.12' in the south-west corner down to 56.10' in the northeast corner.

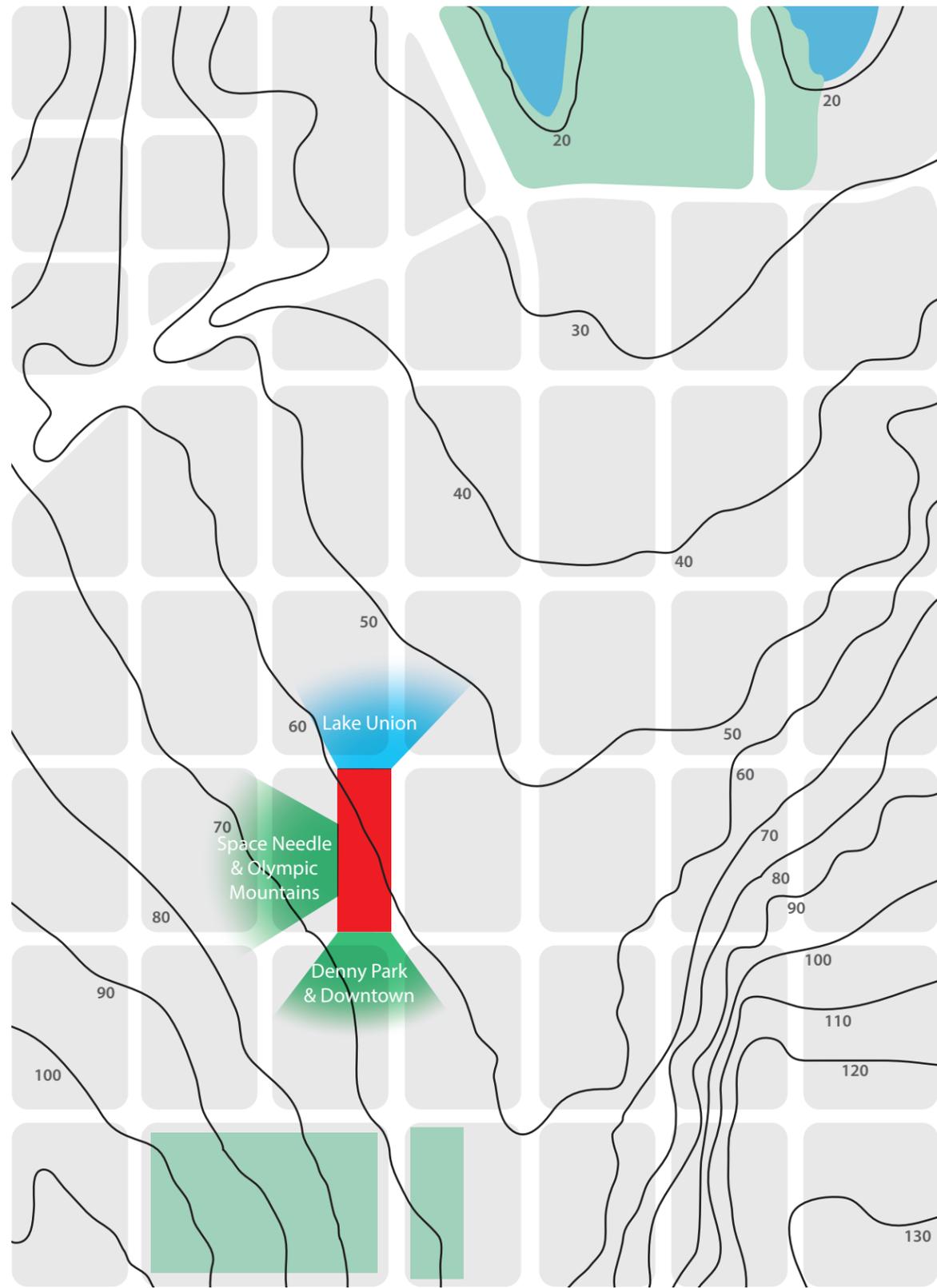
Tree Survey:

There are no significant trees on the site, or within the sidewalk Right-of-Way.

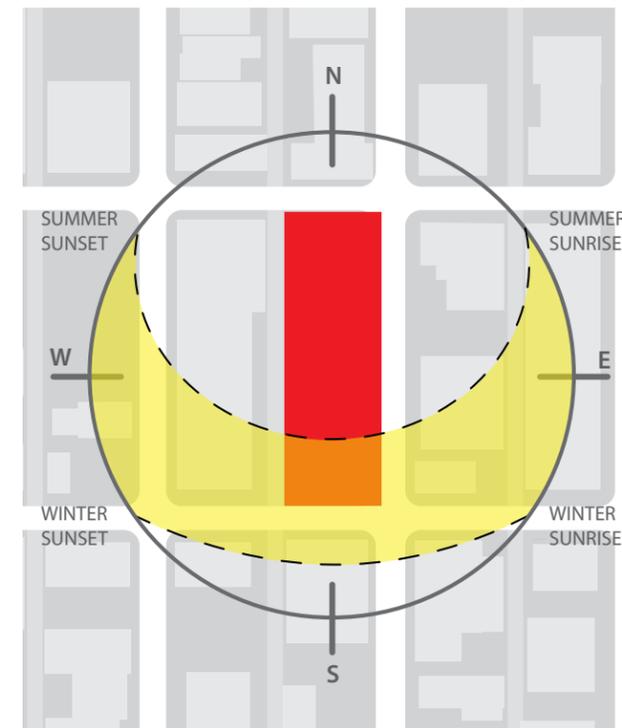
Existing Buildings:

There are two single-story and one three-story masonry buildings on the site that will be demolished. The central portion of the site is being used as two surface parking lots.

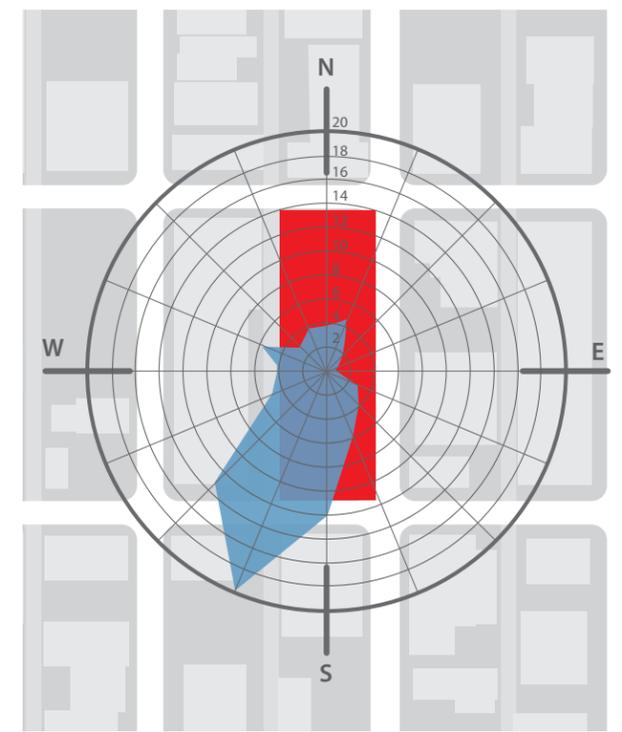




Views and Topography



Solar Path



Wind (Yearly Average Direction %)

Appendix - Vicinity



- SLU Street Car
- Green Street (Per DSLURZ)
- Class 1 Pedestrian Street
- Class 2 Pedestrian Street
- View Corridor Street
- Retail Oriented Street
- Heart Locations
- Bus Stop
- Street Car Stop



Appendix - Vicinity

